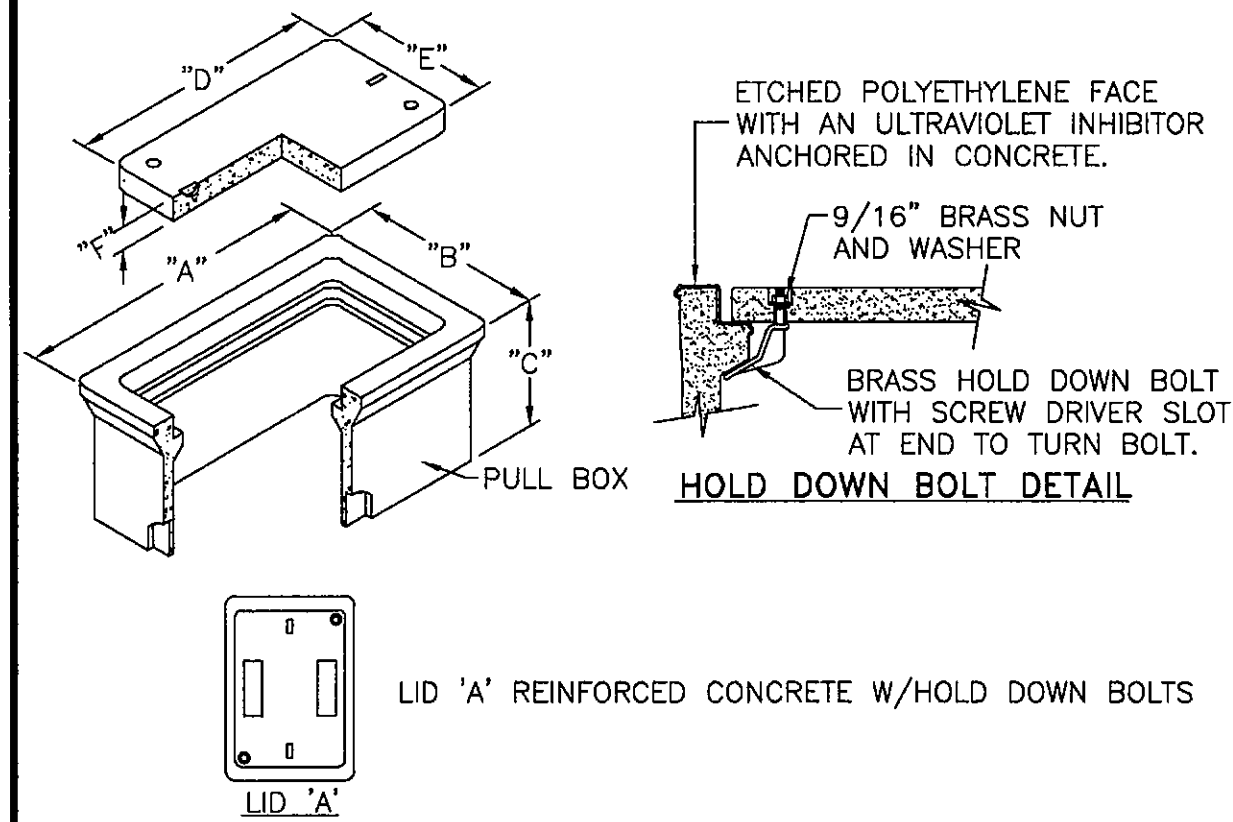


Final Plans

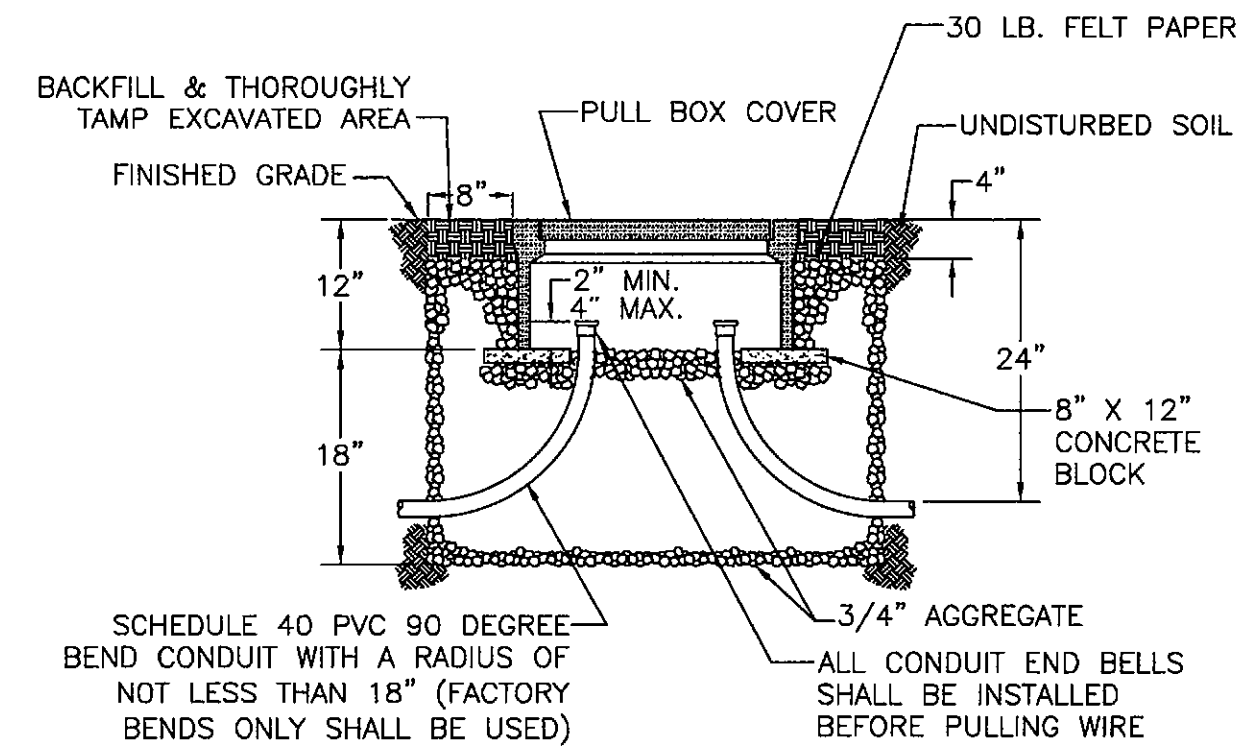
THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF WRIGHT ENGINEERING CORPORATION AND MAY NOT BE REPRODUCED OR MODIFIED FOR ANY USE WITHOUT THE EXPRESS WRITTEN PERMISSION OF WRIGHT ENGINEERING CORPORATION.



PULLBOX TYPE	DATA TABLE					
	PULLBOX LENGTH	PULLBOX WIDTH	PULLBOX HEIGHT	LID LENGTH	LID WIDTH	LID HEIGHT
	"A"	"B"	"C"	"D"	"E"	"F"
#3 1/2	19-3/4"	14-1/4"	12"	15-1/4"	10"	1-3/4"
#5	25-1/4"	15-3/4"	12"	20-5/8"	10-1/2"	2"
#7	34-3/4"	21-3/4"	12"	30-1/8"	17-5/8"	2"

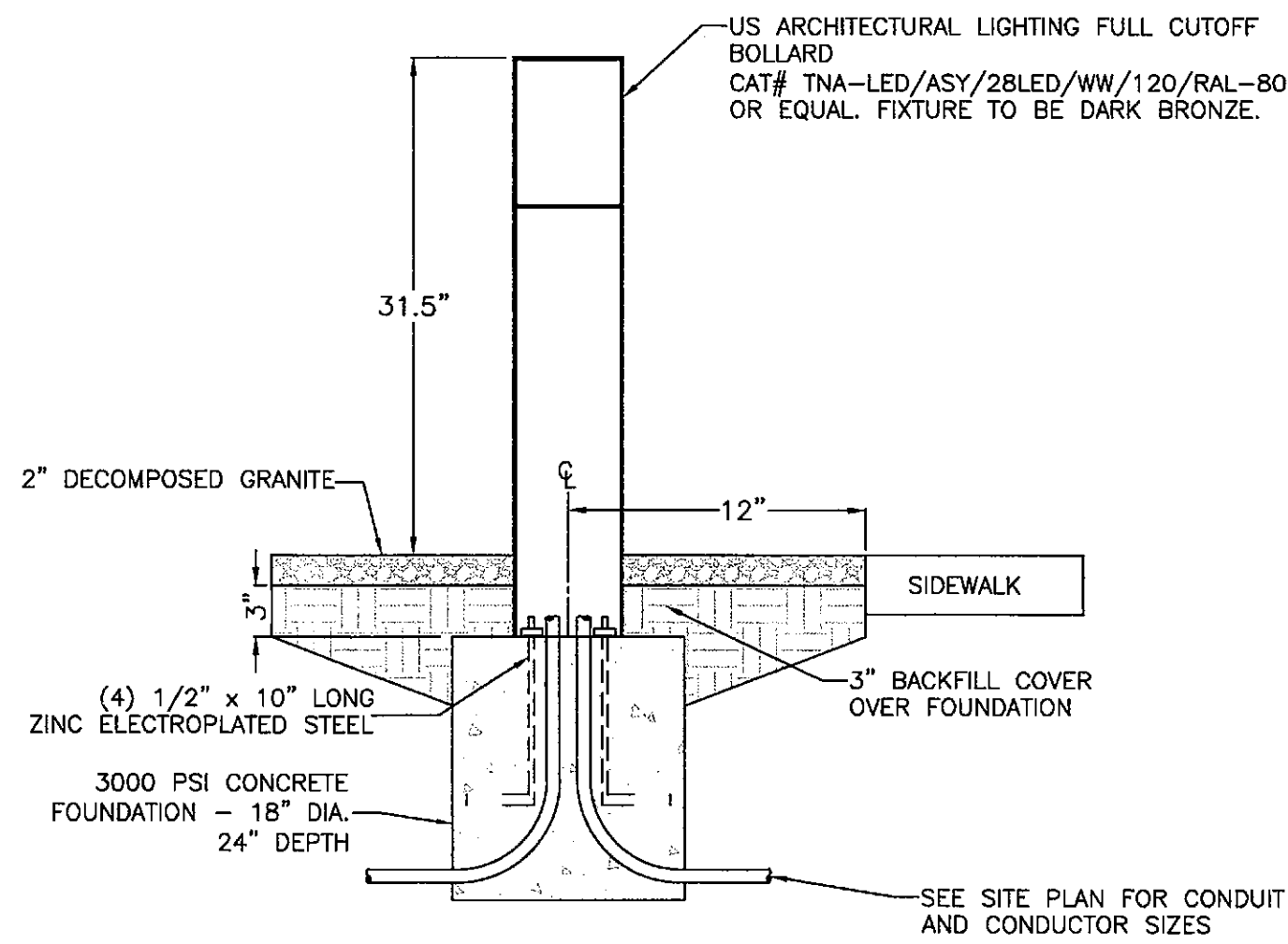
1 PULL BOX INSTALLATION

NO SCALE



GENERAL NOTES:

1. THE PULL BOX SHALL BE MADE OF A HIGH DENSITY REINFORCED CONCRETE MATERIAL WITH END & SIDE KNOCKOUTS, & NONSETTLING SHOULDERS TO MAINTAIN GRADE, MANUFACTURED WITH APPROXIMATE DIMENSIONS AS SHOWN.
2. STEEL REINFORCEMENT SHALL BE AS REGULARLY USED IN STANDARD PRODUCTS OF THE RESPECTIVE MANUFACTURER.
3. COVER LETTERING SHALL BE 1" LETTERS CAST IN STANDARD MARKINGS: "ELECTRIC" OR "HIGH VOLTAGE". AS REQUIRED.
4. THE PULL BOX SHALL HAVE AN ETCHED POLYETHYLENE FACE WITH AN ULTRAVIOLET INHIBITOR ANCHORED IN CONCRETE.
5. ALL CABLE & CONDUCTOR SPLICES SHALL BE CONNECTED WITH TYCO ELECTRONICS GELCAP-SL, NSI INDUSTRIES ESSLK-2/0, OR COPPER COMPRESSION H-TAP CONNECTOR OR APPROVED EQUAL & INSULATED WITH 3M SCOTCHCAST SPLICE KIT 85 SERIES, TYCO ELECTRONICS GELCAP SL, NSI INDUSTRIES GSS SERIES OR APPROVED EQUAL.



C BOLLARD LIGHT DETAIL

NO SCALE

*FIXTURE 'C' TO BE PAINTED DARK BRONZE

SOLID STATE AREA LIGHTING

TORNADO SERIES-LED SPECIFICATIONS

HOUSING
Durable corrosion resistant low copper cast aluminum alloy A356 (60-2% Cu) having a minimum wall thickness of 1/8". Top is crowned for water run off, and retainer screw cavities are open for drainage. Top is fully gasketed and secured by (4) stainless steel allen screws. Access Panel(s) is fully gasketed and retained by (2) stainless steel allen screws located below the lens. Body secures to Mounting Stanchion by means of a cast aluminum wedge lock secured by a single stainless steel bolt and accessed through the access panel.

LED OPTICAL MODULE
Low copper A356 alloy (<.2% copper) cast aluminum housing. Integrated clear tempered 3/16" glass lens sealed with a continuous silicone gasket protects emitters (LED's) and emitter Reflector-Prism optics, and seals the module from water intrusion and environmental contaminants. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Each emitter is optically controlled by a Reflector-Prism injection molded from H12 acrylic (3 types per module: one from 0° - 50°; one from 50° - 65°; one from 65° - 72°). Each Reflector-Prism has indexing pins for aiming and is secured to an optical plate made of matte black anodized aluminum. The optical plate locates every Reflector-Prism over an emitter. Reflector-Prisms are secured to the optical plate with a UV curing adhesive. The Reflector-Prisms are arrayed to produce IES Type II, IES Type III, IES Type IV, and IES Type V-3Q distributions. The entire Optical Module is field rotatable in 90° increments. Both module and drivers are factory wired using water resistant, insulated cord. Lens, module and drivers are field replaceable.

LED EMITTERS
High Output LED's are driven of 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

LED DRIVER
UL and CUL recognized High Power Factor. Constant Current LED drivers operate on input voltages from 120V-277VAC, 50/60Hz. Consult Factory for 347-480VAC. Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

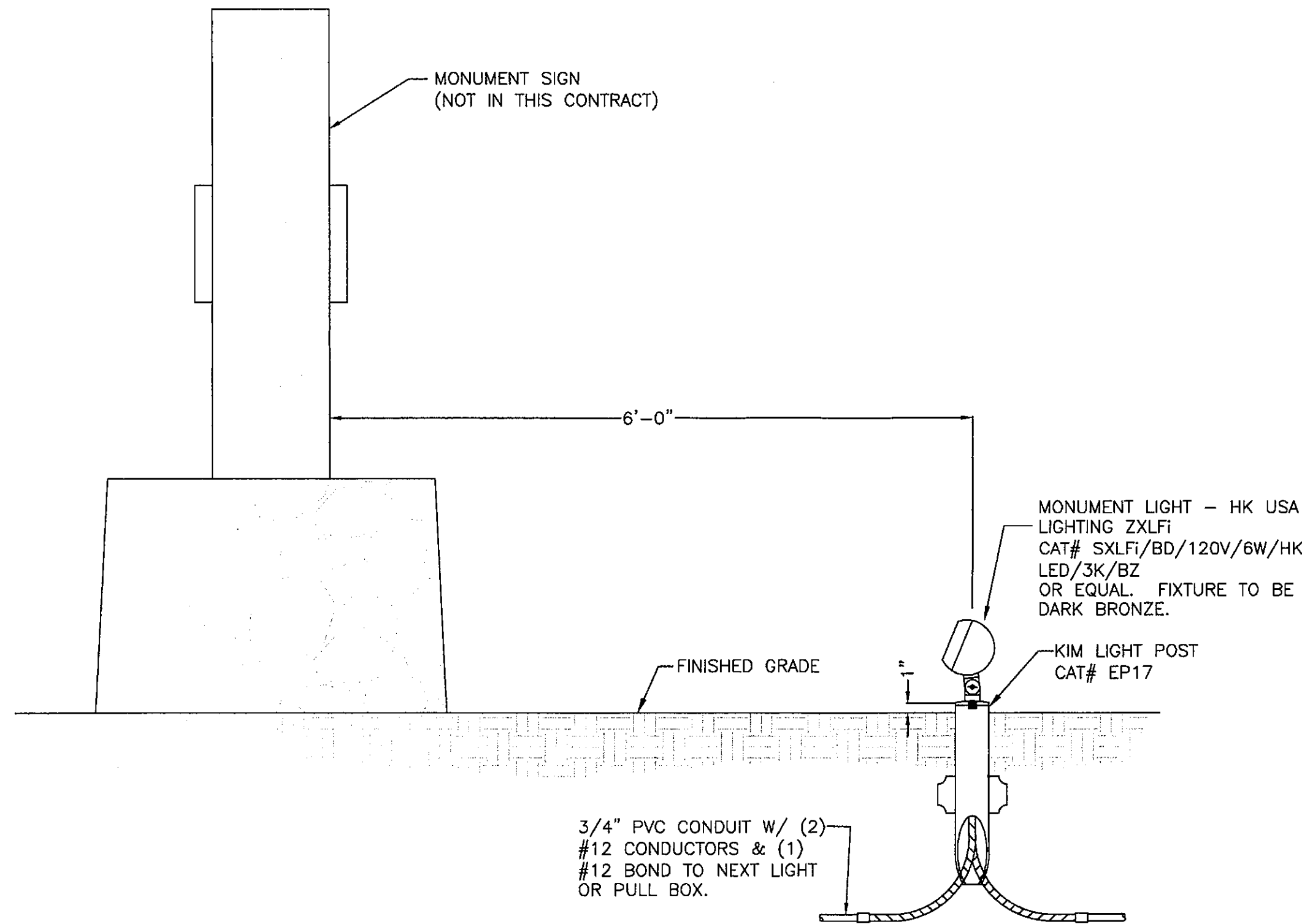
FINISH
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Texture finish is standard.

U.S. Architectural Lighting

8471010 Avenue D, Naperville, IL 60563
Phone (630) 232-2000 Fax (630) 232-0001
www.usalighting.com

U.S. ARCHITECTURAL LIGHTING

FIXTURE 'C'



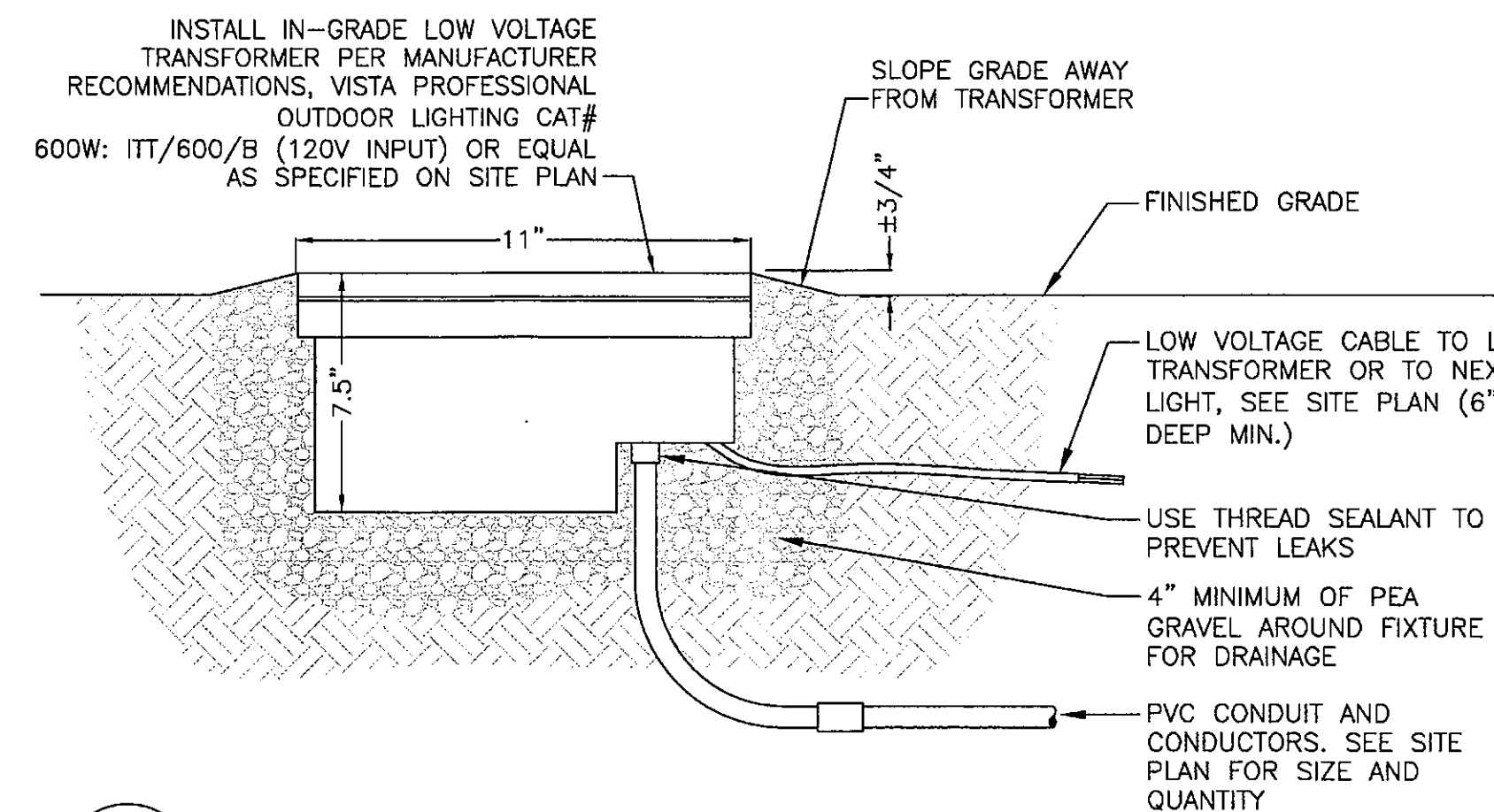
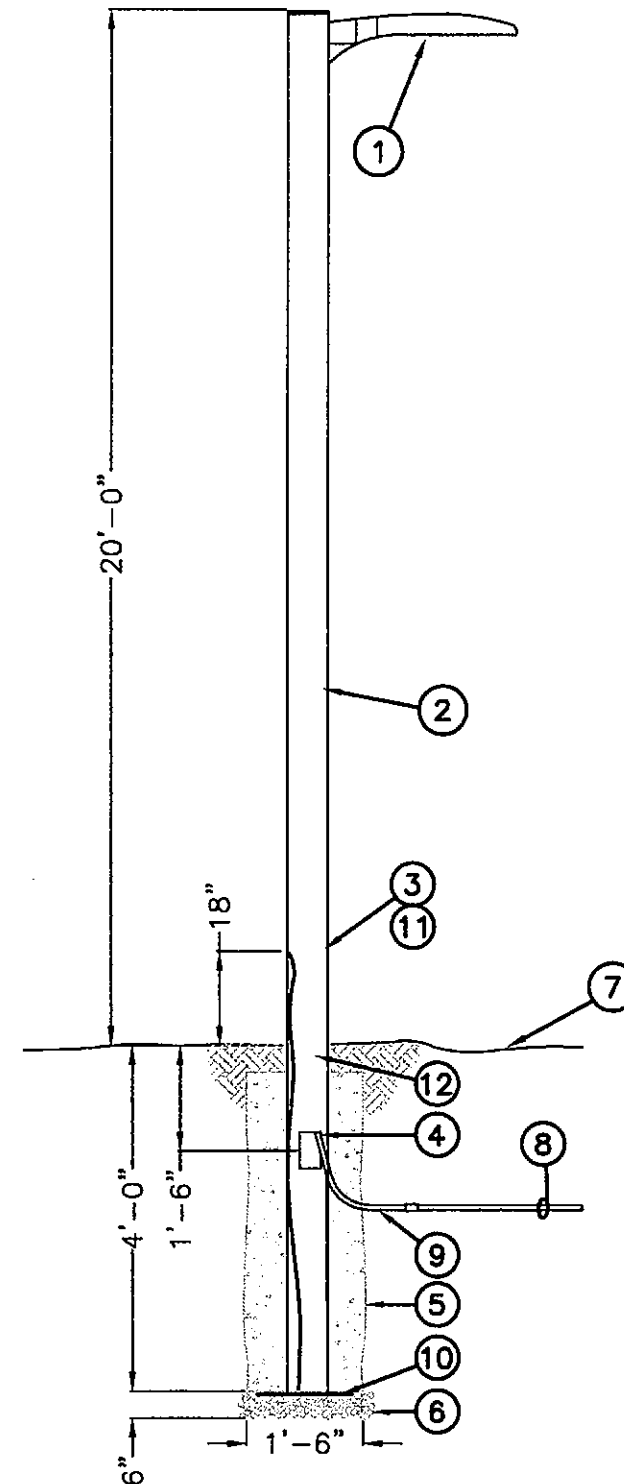
B MONUMENT UPLIGHT DETAIL

NO SCALE

- 1 LITHONIA LIGHTING DSXO, 35 WATT LED LUMINAIRE WITH TYPE III IES PHOTOMETRIC DISTRIBUTION, AND STANDARD DARK-BRONZE FINISH. CAT#DSXO LED/20C/530/30K/T3M/120/SPA/DOBXD OR EQUAL
- 2 5" SQUARE TUBE-STEEL DIRECT BURIED POLE. FINISH SHALL BE POLYESTER POWDER COAT WITH MINIMUM 2.5 MILS THICKNESS. COLOR TO MATCH FIXTURE.
- 3 FLUSH MOUNTED HANDHOLE WITH TAMPERPROOF SCREWS. POLE MANUFACTURER TO PLACE HANDHOLE SO THAT IT WILL BE LOCATED 18" ABOVE FINISHED GRADE TO CENTER AFTER INSTALLATION. INSTALL POLE WITH HANDHOLE FACING AWAY FROM PATH/SIDEWALK, WHERE POSSIBLE. WHERE POLE IS INSTALLED AGAINST WALL, HANDHOLE TO FACE PATH. PROVIDE A FACTORY INSTALLED GROUND WIRE WHICH IS CONNECTED TO THE HANDHOLE. CONNECT THE ELECTRICAL SYSTEM GROUND WIRE TO THIS POLE GROUND WIRE. FOR TWO POLE CIRCUITS PROVIDE BUSSMAN #HEX FUSE HOLDER FOR INLINE FUSING. FOR SINGLE POLE CIRCUITS PROVIDE BUSSMAN #HEB FUSE HOLDER FOR INLINE FUSING.
- 4 APERTURE IN POLE BASE FOR UNDERGROUND WIRING. PROVIDE TWO (2) EACH POLE AT 180 DEGREES FROM EACH OTHER AND 90 DEGREES FROM HANDHOLE. TAPE OPENINGS PRIOR TO BACKFILLING THE DRILLED HOLE.
- 5 AFTER POLE HAS BEEN ALIGNED AND IS PLUMB, BLOCK POLE IN PLACE UNDERGROUND, BACKFILL HOLE WITH CEMENTIOUS EARTH BACKFILL TO A POINT 4" BELOW FINISHED GRADE, BACKFILL THE REMAINING 4" WITH SURROUNDING SOIL. CEMENTIOUS EARTH BACKFILL - MIX ONE PART DRY CEMENT POWDER TO FIFTEEN PARTS CLEAN, WASHED SAND.
- 6 1" WASHED RIVER ROCK, COMPACT BEFORE SETTING POLE.
- 7 FINISHED GRADE.
- 8 ELECTRICAL BRANCH CIRCUIT. SEE LIGHTING SITE PLAN FOR SIZES, ETC.
- 9 INSTALL PVC SCHEDULE 40 CONDUIT INTO POLE BASE.
- 10 COIL 20' OF #10 SOLID COPPER BOND. RUN BOND THROUGH POLE TO FACTORY INSTALLED GROUND WIRE IN HAND HOLE.
- 11 PROVIDE BUSSMAN #HEB FUSE HOLDER, ON EACH UNGROUNDED CONDUCTOR, WITH 5 AMP FUSES FOR INLINE FUSING. WHERE CIRCUIT IS SPLICED IN HANDHOLE, MAKE ALL SPLICES WITH UL486D WET LISTED WIRE NUTS, EQUAL TO DRYCONN AQUA WATERPROOF CONNECTORS. PROVIDE 18" MINIMUM OF SLACK IN THE CONDUCTORS.
- 12 POLE BASE TO BE DIPPED OR COATED INSIDE AND OUT WITH A COAL TAR EPOXY, 6-8 MILS THICK WHEN DRY, TO A POINT 6" ABOVE FINISHED GRADE. PAINT EXPOSED COATING TO MATCH POLE COLOR.

A SITE LIGHT DETAIL

NO SCALE



6 IN-GRADE LV TRANSFORMER

NO SCALE

ARIZONA BLUE STAKE
CALL TWO WORKING DAYS
BEFORE YOU DIG
811 or
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

WRIGHT ENGINEERING
PROJECT NO:
16009
DESIGN BY: DJE
DRAWN BY: DJE
CHECKED BY: CMT

WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5829 • FAX 480.497.5807
www.wrightengr.com

PROJECT: TITLE:

SCOTTSDALE, ARIZONA
THE GALLERY
LIGHTING AND ELECTRICAL PLANS
ELECTRICAL DETAILS

NO. DATE SUBMITTALS/REVISIONS (DESCRIPTIONS)

1	12/15/16	1ST SUBMITTAL
2	1/25/17	SUBMITTAL
3	5/25/17	SUBMITTAL
4	6/05/17	SUBMITTAL
5	7/13/17	SUBMITTAL
6	7/25/17	SUBMITTAL

Professional Engineer
5735
CLIFFORD M.
TOLMAN
Arizona
Exp. 3-31-17

DRAWING NO:
SE3.2
OF 6

ZONING - 12-ZN-2015
POOL

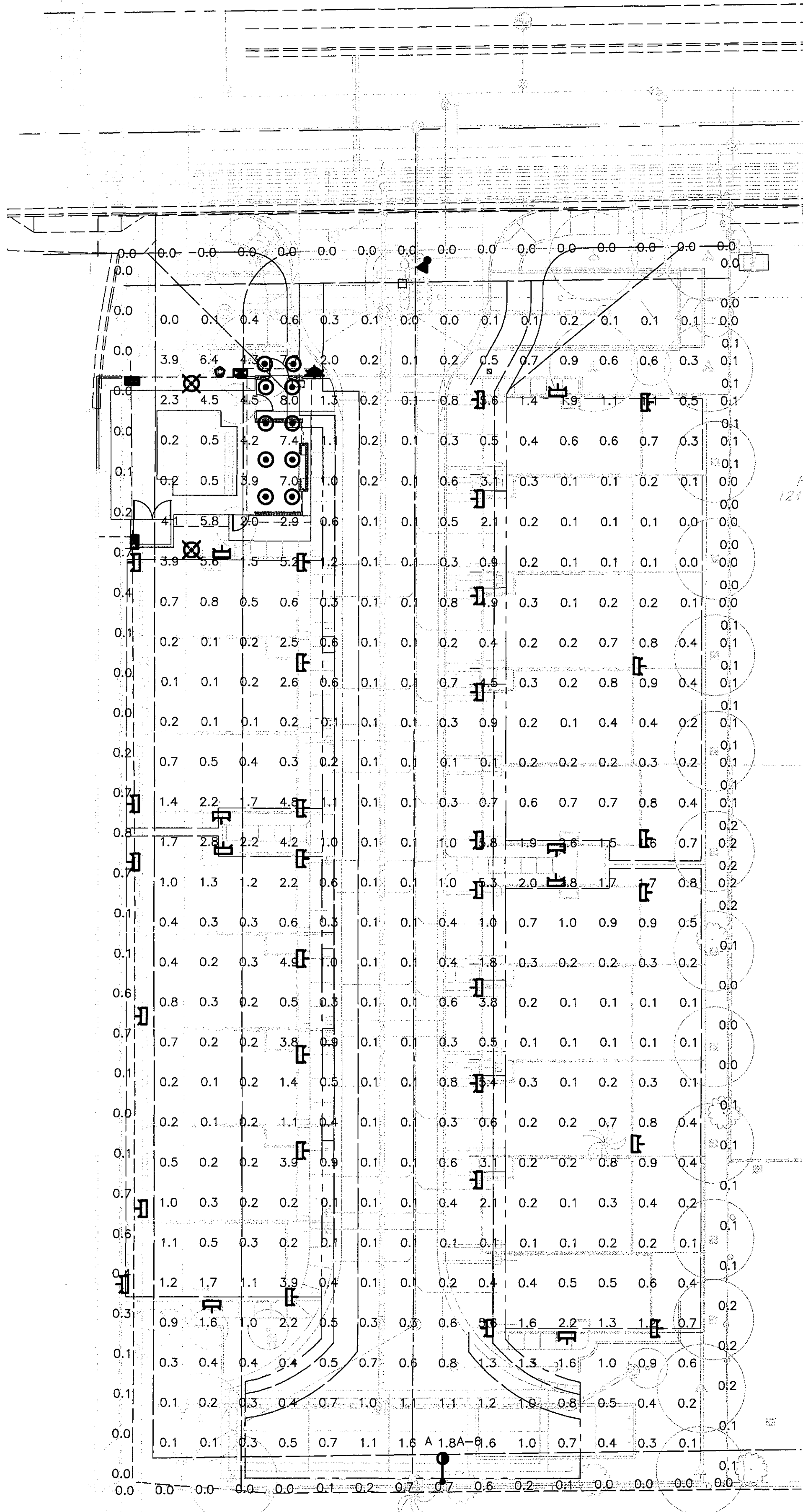
PRELIMINARY PLAT - 4-PP-2015
AMENITY - 6910-15-7

IMPROVEMENT PLANS - 6910-15-1
THEME WALL - 6910-15-8

PLAN REVIEW - 6910-15-5
ABANDONMENT - 6-AB-2015

H:\2016\16009-The Gallery_SE16009_SE.dwg

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF WRIGHT ENGINEERING CORPORATION AND MAY NOT BE REPRODUCED OR MODIFIED FOR ANY USE WITHOUT THE EXPRESS WRITTEN PERMISSION OF WRIGHT ENGINEERING CORPORATION.



PHOTOMETRIC RESULTS

Site Analysis
421 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.8
Maximum 8.0
Minimum 0.0
Avg:Min N/A
Max:Min N/A
Coef Var 1.54
UnifGrad N/A

Perimeter Analysis
94 points at z=6
VERTICAL FOOTCANDLES
Average 0.3
Maximum 0.8
Minimum 0.0
Avg:Min N/A
Max:Min N/A

LEGEND

- LITHONIA LIGHTING RECESSED DOWNLIGHTING
CANDELA FILE: '6BPMW_LED.ies'
LAMP: LED
LAMP LUMENS: 610
COLOR TEMPERATURE: 3,000K
FIXTURE LENS HEIGHT: 9'-0"
TOTAL LIGHT LOSS FACTOR: 1.0
- WAC LIGHTING WALL MOUNTED LIGHT
CANDELA FILE: 'WS-W5318-GH.ies'
LAMP: LED
LAMP LUMENS: 250
COLOR TEMPERATURE: 3,000K
FIXTURE LENS HEIGHT: 6'-0"
TOTAL LIGHT LOSS FACTOR: 1.0
- US ARCHITECTURAL LIGHTING BOLLARD
CANDELA FILE: 'TNS-28LED-NW.ies'
LAMP: LED
LAMP LUMENS: 1,346
COLOR TEMPERATURE: 3,000K
FIXTURE LENS HEIGHT: 3'-0"
TOTAL LIGHT LOSS FACTOR: 1.0
- HK LIGHTING GROUP INC. SIGN LIGHT
CANDELA FILE: 'ZXL-FI.ies'
LAMP: LED
LAMP LUMENS: 262
COLOR TEMPERATURE: 3,000K
FIXTURE LENS HEIGHT: 0'-6"
TOTAL LIGHT LOSS FACTOR: 1.0
- LITHONIA LIGHTING AREA LIGHT
CANDELA FILE: 'DSX0_LED_20C_530_30K_T3M_MVOLT.ies'
LAMP: LED
LAMP LUMENS: 4,142
COLOR TEMPERATURE: 3,000K
FIXTURE LENS HEIGHT: 16'-0"
TOTAL LIGHT LOSS FACTOR: 1.0
- PROGRESS LIGHTING COACH LIGHT
CANDELA FILE: 'WS-W2605-BZ.ies'
LAMP: LED
LAMP LUMENS: 800
COLOR TEMPERATURE: 3,000K
FIXTURE LENS HEIGHT: PER ARCHITECTURAL PLANS
TOTAL LIGHT LOSS FACTOR: 1.0

EXTERIOR LIGHTING:

ORDINANCE

- ALL EXTERIOR LUMINAIRES MOUNTED EIGHT (8) FEET OR HIGHER SHALL BE DIRECTED DOWNWARD.
- ANY EXTERIOR LUMINAIRE WITH A TOTAL INITIAL LUMEN OUTPUT OF GREATER THAN 1600 SHALL HAVE AN INTEGRAL LIGHT SHIELD.

DRB STIPULATIONS

- ALL EXTERIOR LUMINAIRES SHALL MEET ALL IES REQUIREMENTS FOR FULL CUTOFF, AND SHALL BE AIMED DOWNWARD AND AWAY FROM PROPERTY LINE EXCEPT FOR SIGN LIGHTING, PARKING LOT CANOPY LIGHTING AND LANDSCAPE LIGHTING.
- INCORPORATE THE FOLLOWING PARKING LOT AND SITE LIGHTING REQUIREMENTS INTO THE PROJECT'S DESIGN:
 - THE MAINTAINED AVERAGE HORIZONTAL LUMINANCE LEVEL, AT GRADE ON THE SITE, SHALL NOT EXCEED 2.5-FOOT-CANDLES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION.
 - THE MAINTAINED MAXIMUM HORIZONTAL LUMINANCE LEVEL, AT GRADE ON THE SITE, SHALL NOT EXCEED 8.0-FOOT-CANDLES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION.
 - THE INITIAL VERTICAL LUMINANCE AT 6-FOOT ABOVE, ALONG THE ENTIRE PROPERTY LINE SHALL NOT EXCEED 0.8-FOOT-CANDLES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION.
 - THE TOTAL LUMEN PER LUMINAIRE SHALL NOT EXCEED 24,000 LUMENS.

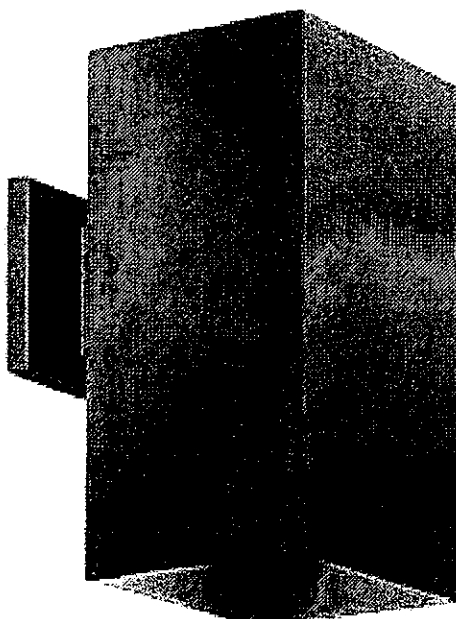


DATE: _____ TYPE: _____
NAME: _____
PROJECT: _____

Halogen/incandescent
P5643-20
Square

6" square with heavy duty aluminum construction and die cast wall bracket. Powder coated finish.

Category: Outdoor
Finish: Antique Bronze (painted)
Construction: Aluminum construction
metal shade



Width: 6"
Height: 12"
Depth: 8-7/8"
H/CTR: 4-1/2"

APPROVED
FINAL PLANS PLANNING
DATE: 08/27/16
BY: [Signature]

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted Mounting strap for outlet box included Back plate covers a standard 4" hexagonal recessed outlet box 4-1/2" sq.	Pre-wired 6" of wire supplied 120V	Quantity: 1 250/150V PAR-38 or BR-40 Medium porcelain socket	cSAsus Wet location listed 1 year warranty Companion fixtures are available

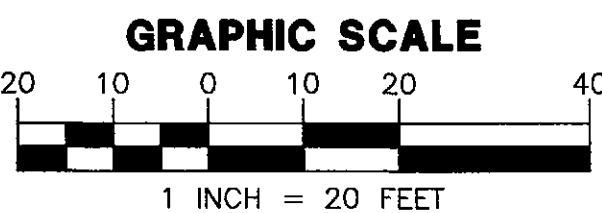
COACH LIGHT TO
BE PAINTED
DARK BRONZE

701 Millennium Blvd. Greenville, South Carolina 29607

www.progresslighting.com

Rev. 05/16

COACH LIGHT

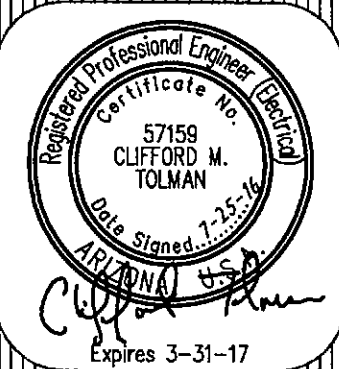


WRIGHT ENGINEERING
PROJECT NO:
16009
DESIGN BY: DJE
DRAWN BY: DJE
CHECKED BY: CMT

WRIGHT
engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5829 • FAX 480.497.5807
www.wrightengr.com

PROJECT: TITLE:
SCOTTSDALE, ARIZONA
THE GALLERY
LIGHTING AND ELECTRICAL PLANS
ELECTRICAL DETAILS

NO.	DATE	SUBMITTALS/REVISIONS (DESCRIPTIONS)
1	12/15/16	1ST SUBMITTAL
2	4/21/16	SUBMITTAL
3	5/25/16	SUBMITTAL
4	6/03/16	SUBMITTAL
5	7/13/16	SUBMITTAL
6	7/25/16	SUBMITTAL

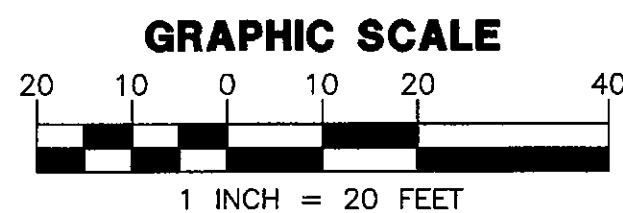
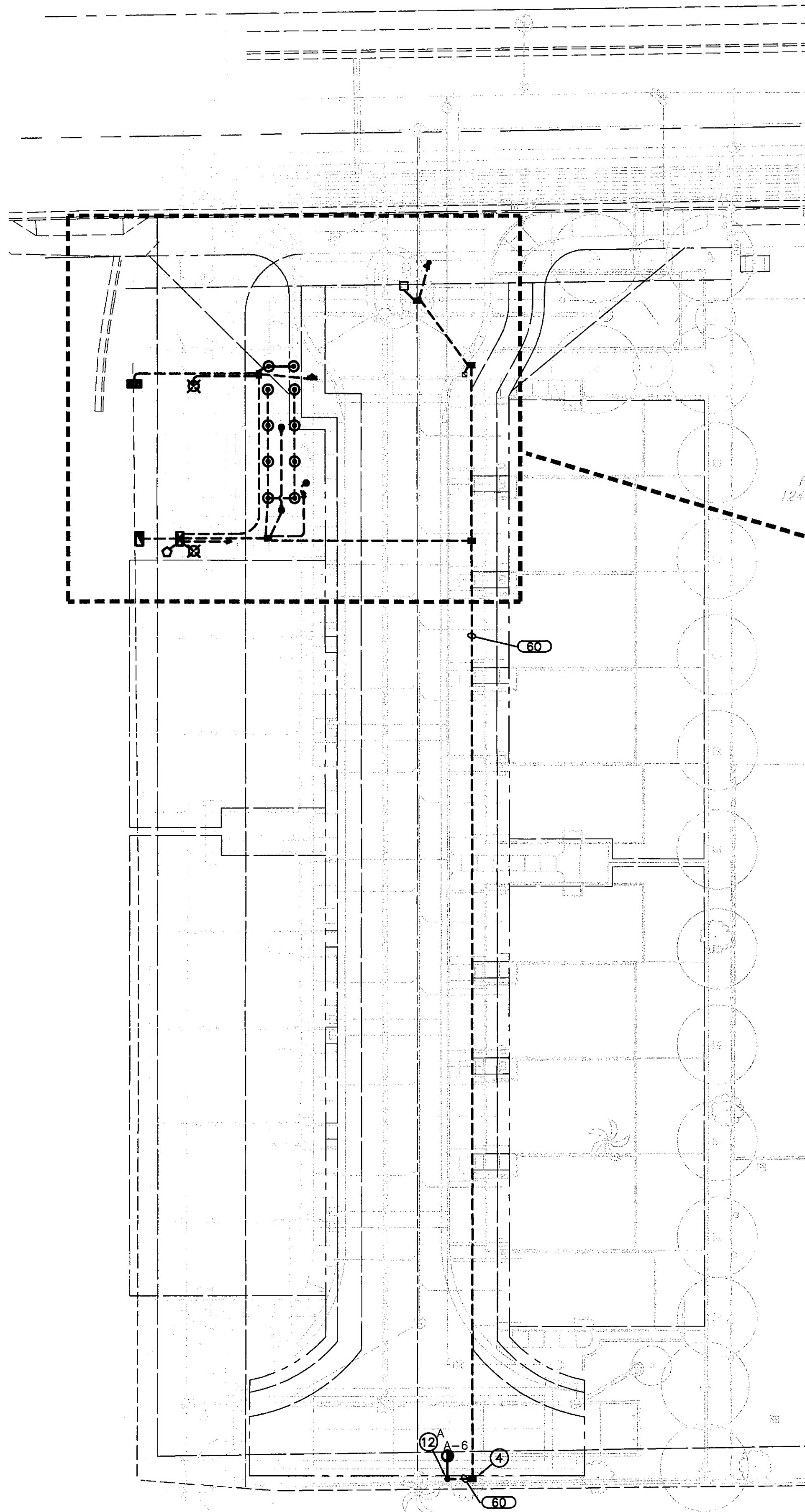


DRAWING NO:
SE4.1
OF 6

PLAN REVIEW - 6810-15-5 IMPROVEMENT PLANS - 6810-15-1 PRELIMINARY PLAT - 4-PP-2015 ZONING - 12-ZN-2015
ABANDONMENT - 6-AB-2015 THEME WALL - 6810-15-6 AMENITY - 6810-15-7 POOL - 3877-16

H:\2016\16009-The Gallery SE\16009_SE.dwg

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF WRIGHT ENGINEERING CORPORATION AND MAY NOT BE REPRODUCED OR MODIFIED FOR ANY USE WITHOUT THE EXPRESS WRITTEN PERMISSION OF WRIGHT ENGINEERING CORPORATION.



LIGHT FIXTURE SCHEDULE							
SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP	CCT	DETAIL	KEY
	LITHONIA LIGHTING	DSX0 LED/20C/530/30K/T3M/120/SPA/HS/DBXD	120	35W LED	3000K	DETAIL 5 AREA LIGHT SHEET SE3.2	A
	HK USA LIGHTING	XSLFI/BD/120V/8W/HK/LED/3K/BZ	120	8W LED	3000K	DETAIL 4 MONUMENT UPLIGHT SHEET SE3.2	B
	U.S. ARCHITECTURAL	TNA-LED/SYM/28LED/WW/120/RAL7004/T	120	32W LED	3000K	DETAIL 3 BOLLARD LIGHT SHEET SE3.2	C
	WAC LIGHTING	WS-W5318/GH	120	15W LED	3000K	SEE LANDSCAPE PLANS	D
	LITHONIA LIGHTING	60PA/LED/30K 90CRI	120	10W LED	3000K	SEE ARCHITECTURAL PLANS	E

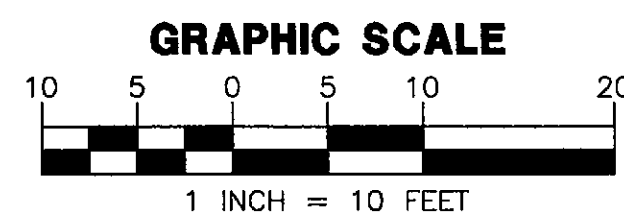
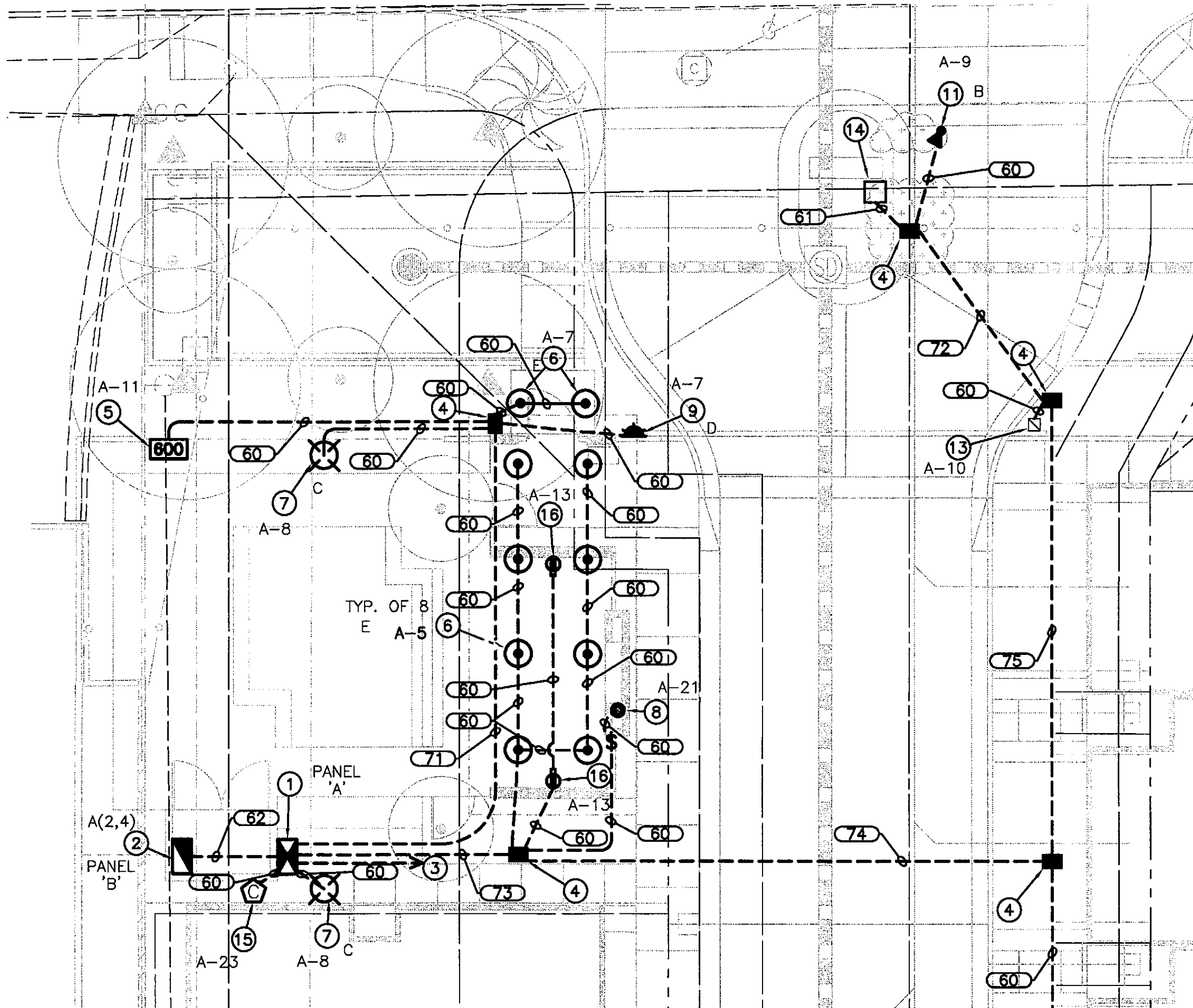
EXTERIOR LIGHTING:

ORDINANCE

- ALL EXTERIOR LUMINAIRES MOUNTED EIGHT (8) FEET OR HIGHER SHALL BE DIRECTED DOWNWARD.
- ANY EXTERIOR LUMINAIRE WITH A TOTAL INITIAL LUMEN OUTPUT OF GREATER THAN 1800 SHALL HAVE AN INTEGRAL LIGHT SHIELD.

DRB STIPULATIONS

- ALL EXTERIOR LUMINAIRES SHALL MEET ALL IES REQUIREMENTS FOR FULL CUTOFF, AND SHALL BE AIMED DOWNWARD AND AWAY FROM PROPERTY LINE EXCEPT FOR SIGN LIGHTING, PARKING LOT CANOPY LIGHTING AND LANDSCAPE LIGHTING.
- INCORPORATE THE FOLLOWING PARKING LOT AND SITE LIGHTING REQUIREMENTS INTO THE PROJECT'S DESIGN:
 - THE MAINTAINED AVERAGE HORIZONTAL LUMINANCE LEVEL, AT GRADE ON THE SITE, SHALL NOT EXCEED 2.5-FOOT-CANDLES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION.
 - THE MAINTAINED MAXIMUM HORIZONTAL LUMINANCE LEVEL, AT GRADE ON THE SITE, SHALL NOT EXCEED 8.0-FOOT-CANDLES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION.
 - THE INITIAL VERTICAL LUMINANCE AT 6-FOOT ABOVE, ALONG THE ENTIRE PROPERTY LINE SHALL NOT EXCEED 0.8-FOOT-CANDLES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION.
 - THE TOTAL LUMEN PER LUMINAIRE SHALL NOT EXCEED 24,000 LUMENS.



NOTES

- 100 AMP, 120/240V, 1Ø, 3W, METERED WALL MOUNTED SERVICE ENTRANCE SECTION AND CONTROL EQUIPMENT. SEE DETAILS ON SHEET SE3.1.
- 60 AMP, 120/240V, 1Ø, 3W, WALL MOUNTED PANEL. SEE DETAILS ON SHEET SE3.1.
- PROPOSED POWER CO. SECONDARY CONDUIT. INSTALL PER POWER CO. REQUIREMENTS AND SPECIFICATIONS. EXTEND FROM PROPOSED TRANSFORMER LOCATION TO PROPOSED ELECTRICAL SERVICE. LOCATIONS SHOWN FOR CONTRACTOR CONVENIENCE ONLY. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- #3-1/2 CONCRETE PULL BOX, SEE DETAIL 1 ON SHEET SE3.2.
- LOW VOLTAGE TRANSFORMER PER DETAIL 6 ON SHEET SE3.2. NUMBER IN TRANSFORMER SYMBOL ON SITE PLAN REPRESENTS WATTAGE OF TRANSFORMER.
- RECESSED CEILING LIGHT, SEE ARCHITECTURAL PLANS FOR INSTALLATION DETAILS AND LOCATION. INSTALL 1/2" CONDUIT WITH 2-#12 CU CONDUCTORS AND 1-#12 GROUND CONCEALED IN CEILING BETWEEN LIGHTS. SEE LIGHT FIXTURE SCHEDULE.
- LED BOLLARD PER DETAIL C ON SHEET SE3.2.
- FIREPLACE IGNITOR. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL CONDUIT, CONDUCTORS AND CONNECTIONS BETWEEN IGNITOR AND ELECTRICAL SERVICE. COORDINATE WITH LANDSCAPE PLANS FOR EXACT LOCATION AND DETAILS. ROUTE POWER THROUGH WALL MOUNTED WEATHERPROOF SWITCH AT 42" ABOVE GRADE LOCATED ON SIDE OF FIREPLACE AS SHOWN ON SITE PLAN.
- 15W WALL MOUNTED SCONCE WAC LIGHTING CAT# WS-W5318/GH OR EQUAL.
- IN-GRADE UP LIGHT PER DETAIL 2 ON SHEET SE3.2.
- STEM MOUNTED FLOOD PER DETAIL B ON SHEET SE3.2.
- POLE MOUNTED AREA LIGHT PER DETAIL A ON SHEET SE3.2.
- GATE CONTROLLER LOCATION. COORDINATE WITH GATE CONTRACTOR FOR EXACT LOCATION AND DETAILS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT, STUB UPS, 120V CONDUCTORS, 120V SPLICES AND OTHER NECESSARY COMPONENTS FOR A COMPLETE SYSTEM.
- GATE KEYPAD. COORDINATE WITH GATE CONTRACTOR FOR EXACT LOCATION AND DETAILS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT.
- IRRIGATION CONTROLLER. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL CONDUIT, CONDUCTORS AND CONNECTIONS BETWEEN CONTROLLER AND ELECTRICAL SERVICE. COORDINATE WITH LANDSCAPE PLANS FOR EXACT LOCATION AND DETAILS.
- 20A GFCI DUPLEX RECEPTACLE WITH METAL WEATHERPROOF WHILE IN USE COVER WALL MOUNTED 24" ABOVE GRADE. ROUTE CONDUIT THROUGH STRUCTURE SUPPORT. COORDINATE WITH OTHER TRADES.

LEGEND

- 100 AMP, 120/240V, 1Ø, 3W, METERED ELECTRIC PEDESTAL.
- 60 AMP, 120/240V, 1Ø, 3W, METERED ELECTRIC PEDESTAL.
- #3-1/2 CONCRETE PULL BOX
- LOW VOLTAGE TRANSFORMER
- GATE MOTOR
- GATE KEYPAD
- IRRIGATION CONTROLLER
- UNDERGROUND CONDUIT
- ABOVE GROUND CONDUIT
- A-1 CIRCUIT NUMBER
- CONDUIT TAG, SEE WIRE & CONDUIT TABLE
- FIREPLACE IGNITOR
- RECEPTACLE
- FIREPLACE SWITCH

WIRE & CONDUIT TABLE

CONDUIT		WIRE		REMARKS
NO.	SIZE	POWER	GROUND	(CKT #)
60	1"	2-#12	1-#12	TYP.
61	1"	DETECTABLE	PULL ROPE	TYP.
62	1.5"	3-#6	1-#10	A(2,4)
71	1.5"	2-#12	1-#12	A-7
		2-#12		A-8
		2-#12		A-11
		DETECTABLE	PULL ROPE	TYP.
72	1"	2-#12	1-#12	A-9
		DETECTABLE	PULL ROPE	TYP.
		2-#12		A-5
		2-#12		A-6
73	1"	2-#12	1-#12	A-9
		2-#12		A-10
		2-#12		A-13
		2-#12		A-21
74	1.5"	2-#12	1-#12	A-6
		2-#12		A-9
		2-#12		A-10
		DETECTABLE	PULL ROPE	TYP.
75	1"	2-#12	1-#12	A-9
		2-#12		A-10
		DETECTABLE	PULL ROPE	TYP.

APPROVED
FINAL PLANS PLANNING
DATE 02/24/16
APPROVED BY [Signature]



ARIZONA BLUE STAKE
CALL TWO WORKING DAYS
BEFORE YOU DIG
Dial 811 or
602-263-1100
1-800-STAKE-IT
(OUTSIDE ARIZONA COUNTY)

WRIGHT ENGINEERING
PROJECT NO:
16009

DESIGN BY: DJE
DRAWN BY: DJE
CHECKED BY: CMT

WRIGHT
engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5829 • FAX 480.497.5807
www.wrightengr.com

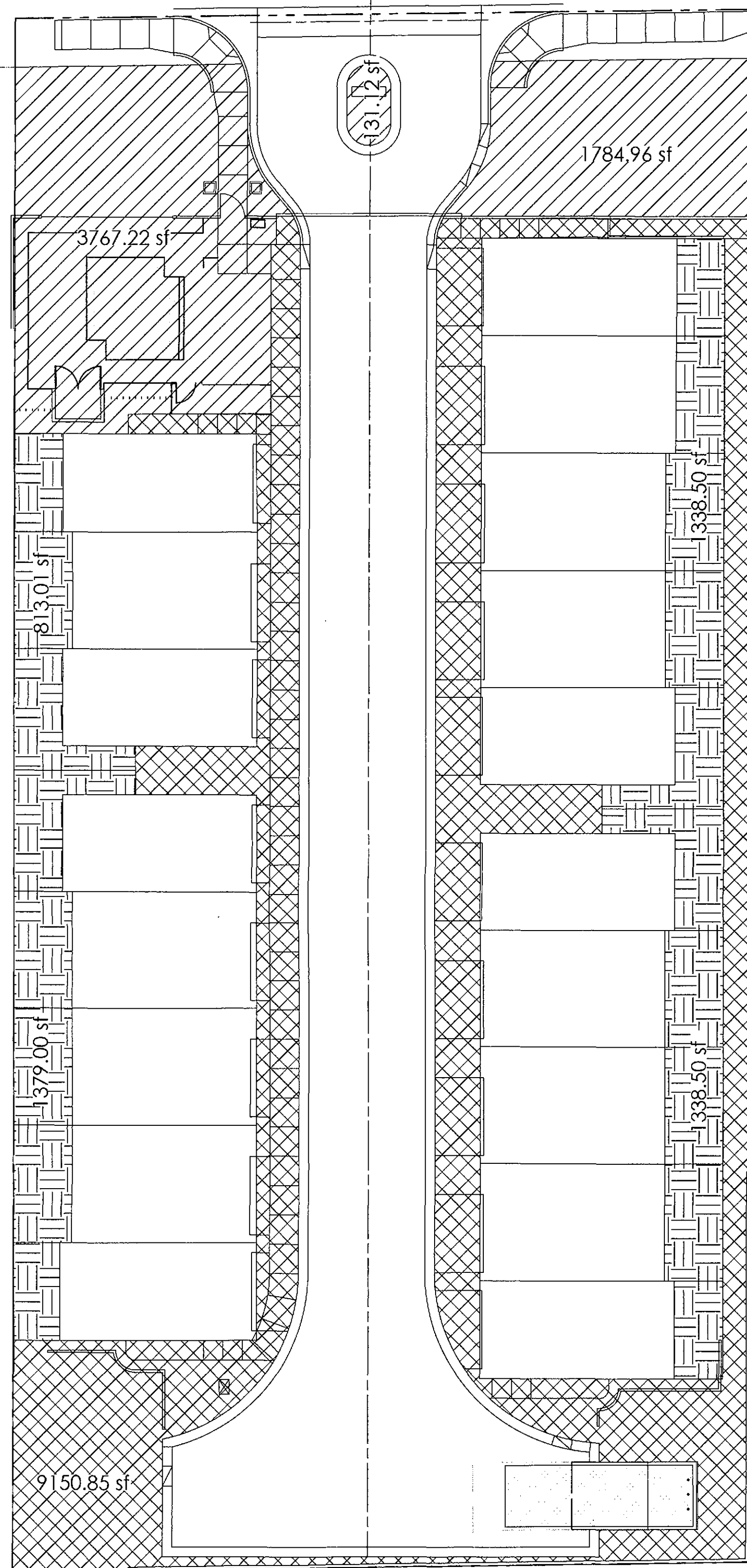
PROJECT: TITLE:
**SCOTTSDALE, ARIZONA
THE GALLERY
LIGHTING AND ELECTRICAL PLANS
ELECTRICAL SITE PLAN**

NO.	DATE	SUBMITTALS/REVISIONS (DESCRIPTIONS)
1	12/15/15	1ST SUBMITTAL
2	4/21/16	SUBMITTAL
3	5/25/16	SUBMITTAL
4	6/03/16	SUBMITTAL
5	7/13/16	SUBMITTAL
6	7/25/16	SUBMITTAL

Professional Engineer Seal
57150
CLIFFORD M. TOLMAN
Date Stamped 7-25-16
Expire 3-31-17

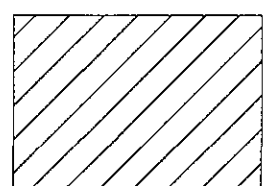
DRAWING NO:
SE2.1
OF 6

PLAN REVIEW - 6/10-15-15
IMPROVEMENT PLANS - 6/10-15-15
THEME WALL - 6/10-15-15
ABANDONMENT - 6-AB-2015
PRELIMINARY PLAT - 4-PP-2015
AMENITY - 6/10-15-7
ZONING - 12-ZN-2015
POOL 3977-16



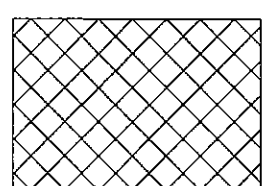
OPEN SPACE PLAN

OPEN SPACE CALCULATIONS



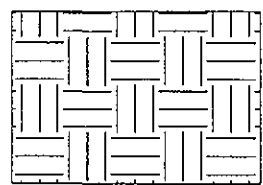
FRONTAGE OPEN SPACE

REQUIRED: 3,040 SF SF.
(152 LF x 20 FT)
PROVIDED: 5,683 SF.



COMMON OPEN SPACE

REQUIRED: 10,296 SF.
(22% OF NET)
PROVIDED: 14,834 SF.
(ALL NON-PRIVATE O/S)



PRIVATE OPEN SPACE

REQUIRED: +/- 3,200 SF.
PROVIDED: +/- 4,869 SF.

SITE DATA:

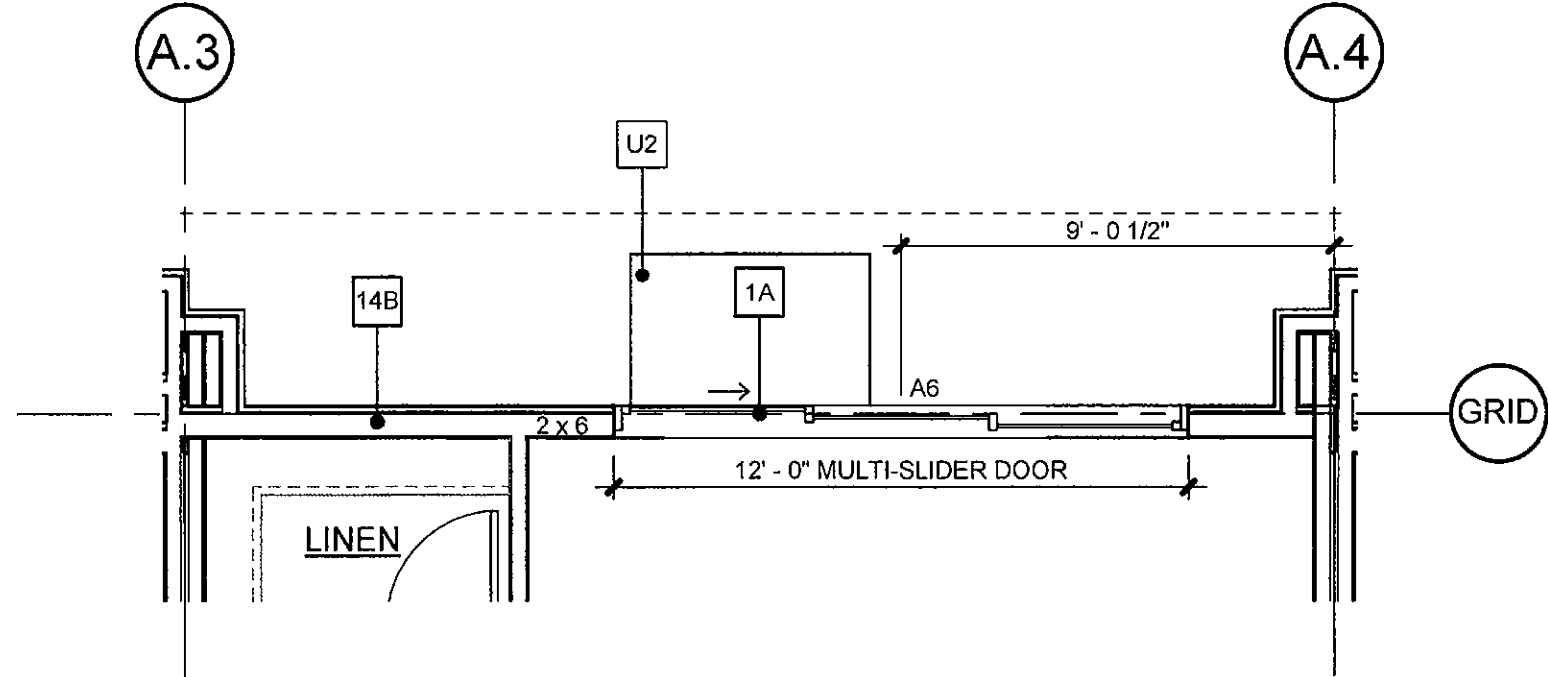
SITE AREA (NET): 46,800 SF. (1.1 AC. +/-)
SITE AREA (GROSS): 51,400 SF. (1.2 AC. +/-)
GROSS DENSITY: 15 DU/AC.
CURRENT ZONING: C-3
PROPOSED ZONING: R-5
PROPOSED # OF LOTS: 18
PARKING REQUIRED: 2 SPACES/UNIT TO BE PROVIDED IN GARAGE - ALL OTHER PARKING TO BE OFF-SITE.

VICINITY MAP:

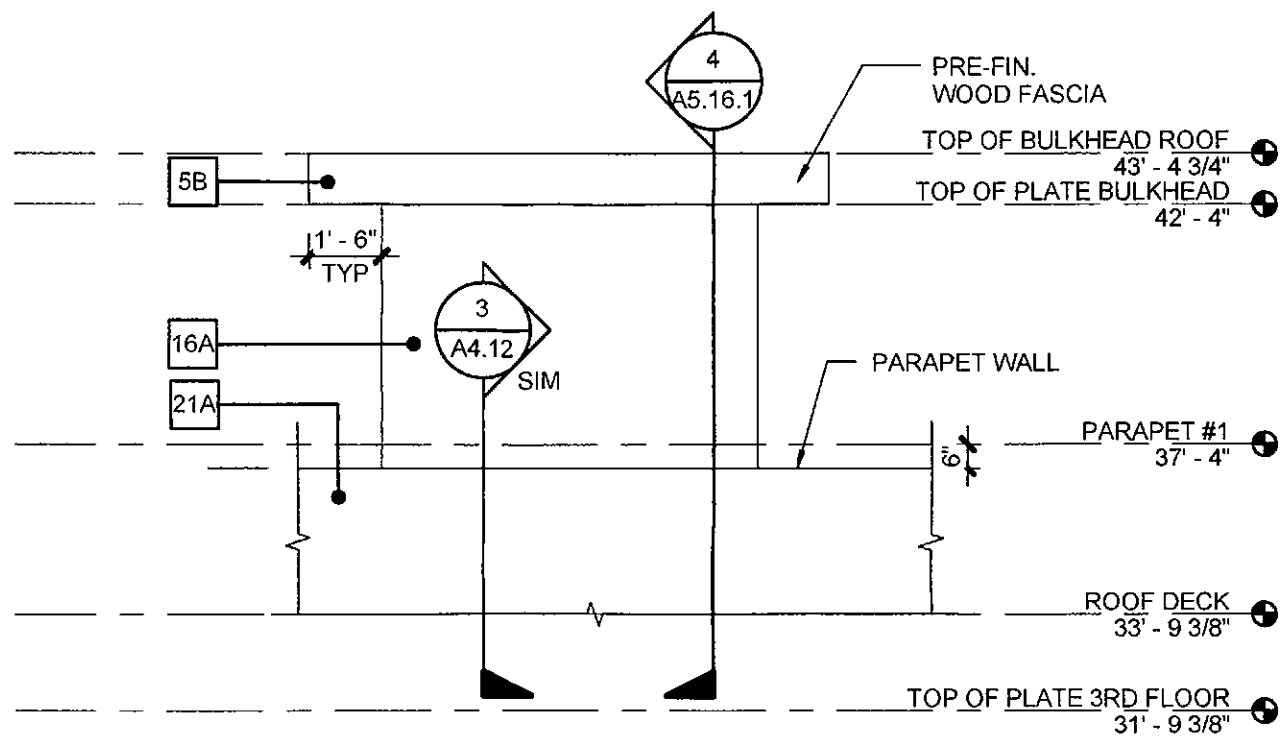


APPROVED
FINAL PLANS PLANNING
DATE 08/27/16 APPROVED BY [Signature]

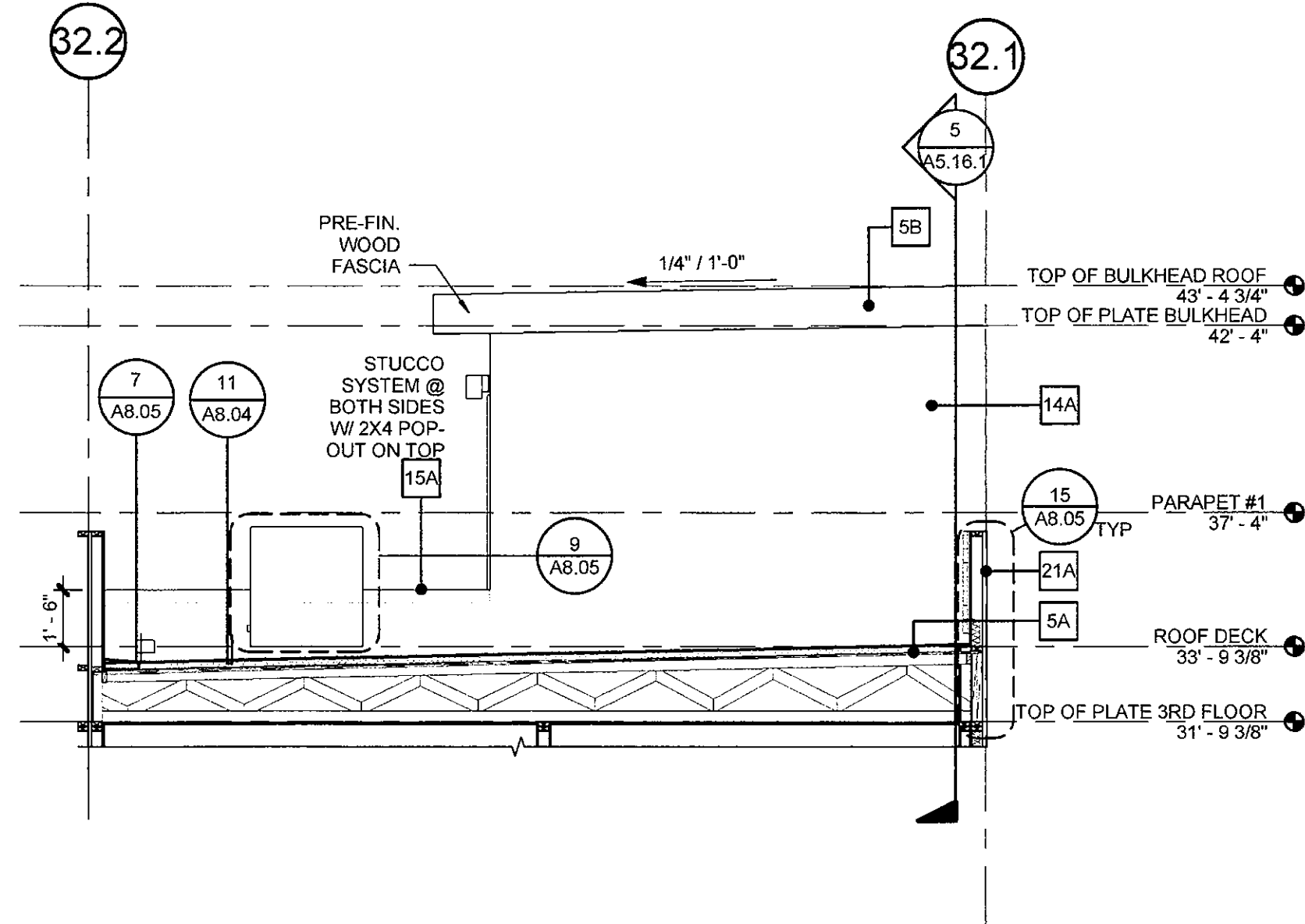
PLAN REVIEW 6910-15-5 | PRELIMINARY PLAT 4-PP-2015 | ZONING 12-ZN-2015 | ABANDONMENT 6-AB-2015 | THEME WALL 6910-15-8 | AMENITY 6910-15-7 | POOL 3977-1



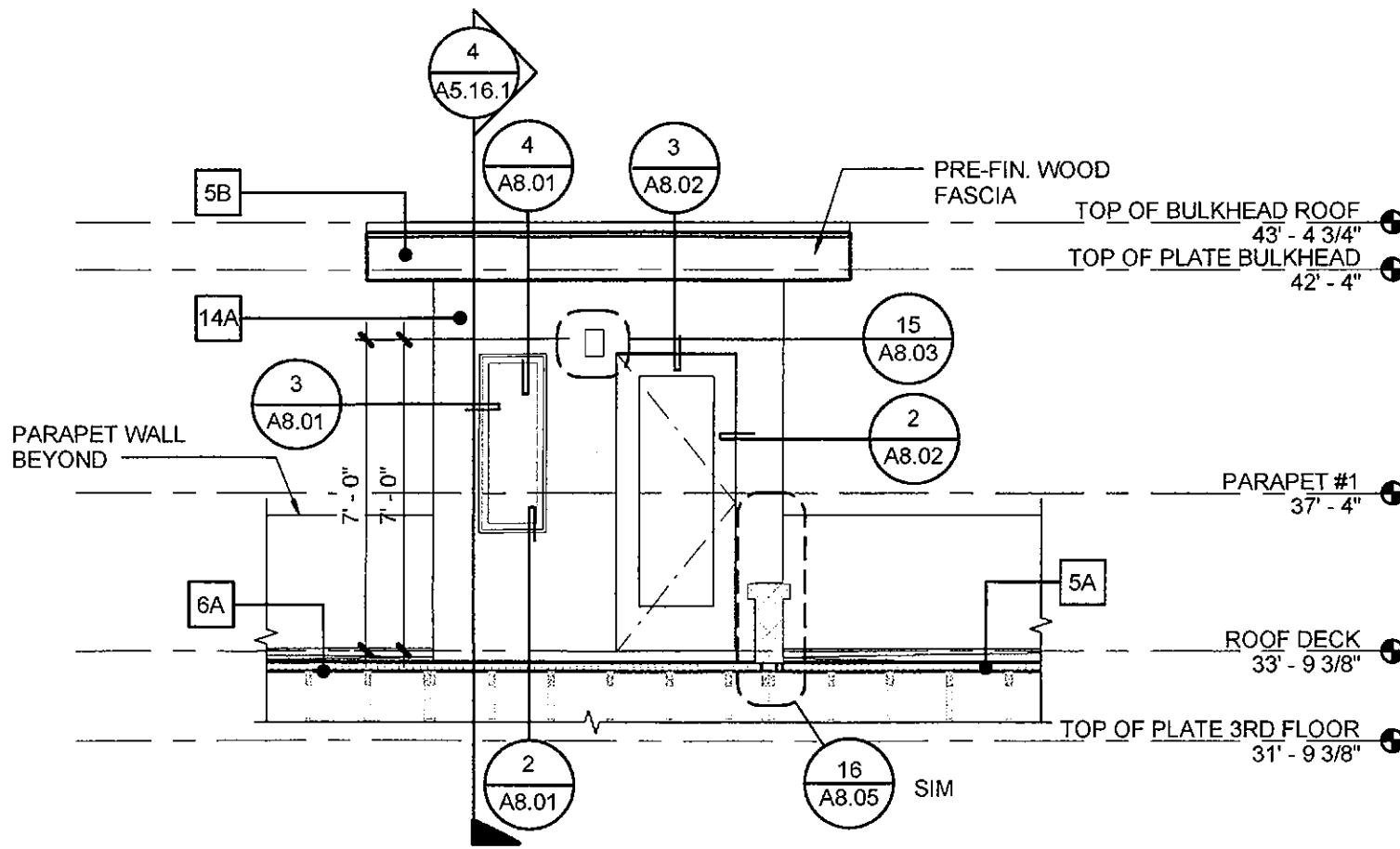
1 32-1212 - OPT. MULTI-SLIDE DOOR
A5.16.2 SCALE: 1/4" = 1'-0"



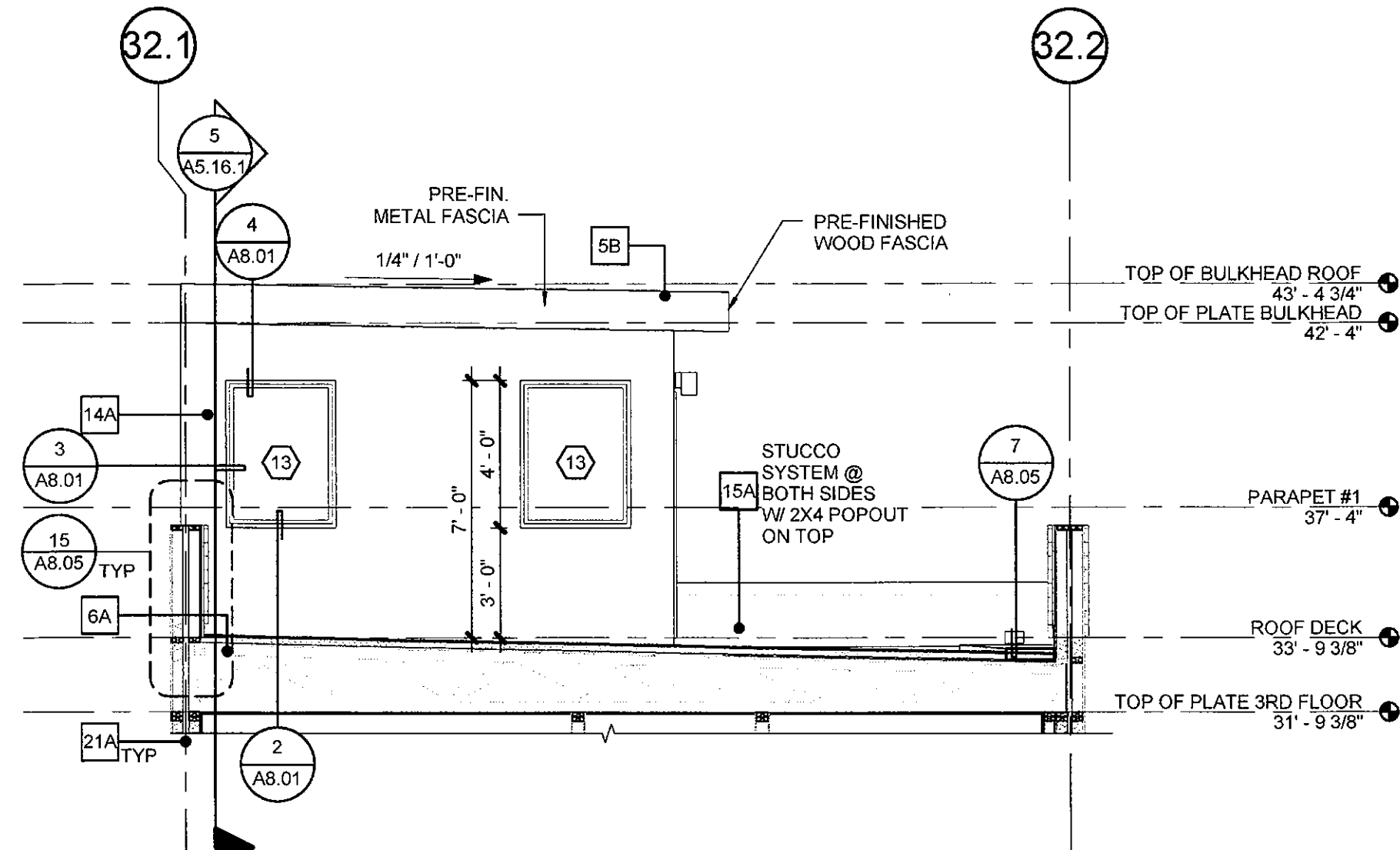
6 32-1212 - ROOFTOP RIGHT SIDE ELEV
A5.16.2 SCALE: 1/4" = 1'-0"



4 32-1212 - ROOFTOP FRONT ELEVATION
A5.16.2 SCALE: 1/4" = 1'-0"



5 32-1212 - ROOFTOP LEFT SIDE ELEV
A5.16.2 SCALE: 1/4" = 1'-0"



7 32-1212 - ROOFTOP REAR ELEVATION
A5.16.2 SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- 1 SEE BUILDING FLOOR PLANS FOR WINDOW AND DOOR TAGS.
- 2 SEE THE SHEET A5.11 FOR WINDOW AND DOOR SCHEDULES.
- 3 SIDING TYPE, REVEALS & BUILDING COLORS SHALL RAP AROUND CORNERS INTO RECESSED AREAS UNLESS OTHERWISE NOTED.
- 4 SEE 5/8.01 FOR TYPICAL SEALANT JOINTS.
- 5 SEE 3/8.05 FOR TYPICAL ROOF PENETRATIONS.
- 6 SEE 15/8.03 FOR DETAILS AT ELECTRICAL LIGHTS, COMMUNICATION PANEL AND EQUIPMENT.
- 7 SEE 17, 18 & 19/8.03 FOR SADDLE FLASHING DETAILS AS NEEDED.
- 8 SEE 1 & 16/8.03 FOR PLUMBING, ELECTRICAL AND MECHANICAL PENETRATIONS.
- 9 SEE 17/A8.01 FOR OPENING WEATHER WRAP DETAILS.

ELEVATION LEGEND

	AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW7551 GREEK VILLA
	AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW7048 URBAN BRONZE
	STONE VENEER FINISH: CORONADO 3" SPLIT LIMESTONE GENOA SANDS
	PREMANUFACTURED VERTICAL SUNSHADE COLOR: SW 6990 CAVIAR
FASCIA	COLOR: SW 6990 CAVIAR
ENTRY DOOR	COLOR: SW 6990 CAVIAR
GARAGE DOOR	COLOR: SW 6990 CAVIAR
	LIGHT FIXTURE. COLOR: SW 6990 CAVIAR

APPROVED
FINAL PLANS PLANNING
10/23/2016
APPROVED BY

MINIMUM BUILDING REQUIREMENTS FOR THE EXTERIOR ENVELOPE FOR NOISE LEVEL REDUCTION

MINIMUM BUILDING REQUIREMENTS FOR NOISE LEVEL REDUCTION OF WALLS PARALLEL AND ADJACENT TO THE EASTERN PROPERTY LINE.

1. EXTERIOR WALLS:
 - A. STUD WALLS SHALL BE AT LEAST FOUR INCHES IN NOMINAL DEPTH AND SHALL BE FINISHED ON THE EXTERIOR SIDE WITH STUCCO, SIDING, OR VENEER.
 - B. INTERIOR SURFACE OF THE EXTERIOR WALLS SHALL BE MINIMUM 1/2" GYPSUM, INSTALLED ON THE STUDS.
 - C. SHEATHING PANELS, WHERE APPLICABLE, SHALL BE BUTTED TIGHTLY AND COVERED ON THE EXTERIOR WITH OVERLAPPING BUILDING PAPER.
 - D. INSULATION MATERIAL AT LEAST 3" THICK SHALL BE INSTALLED THROUGHOUT AND BETWEEN WALL STUDS.
2. WINDOWS:
 - A. WINDOWS SHALL HAVE A SOUND TRANSMISSION CLASS RATING OF STC-30 OR LOWER.
 - B. ALL GLAZING SHALL BE DUAL PANED WITH OVERALL THICKNESS OF 3/4".
 - C. ALL OPERABLE WINDOW GLAZING SHALL BE WEATHER-STRIPPED AND AIRTIGHT.



HanmiGlobal Partner

Otak, Inc
51 West Third Street
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6505

Gallery Townhomes

7107 E. Earll Drive
Scottsdale, AZ

K. Hovnanian Homes

20830 N Tatum Blvd
Suite 250
Phoenix, AZ 85050

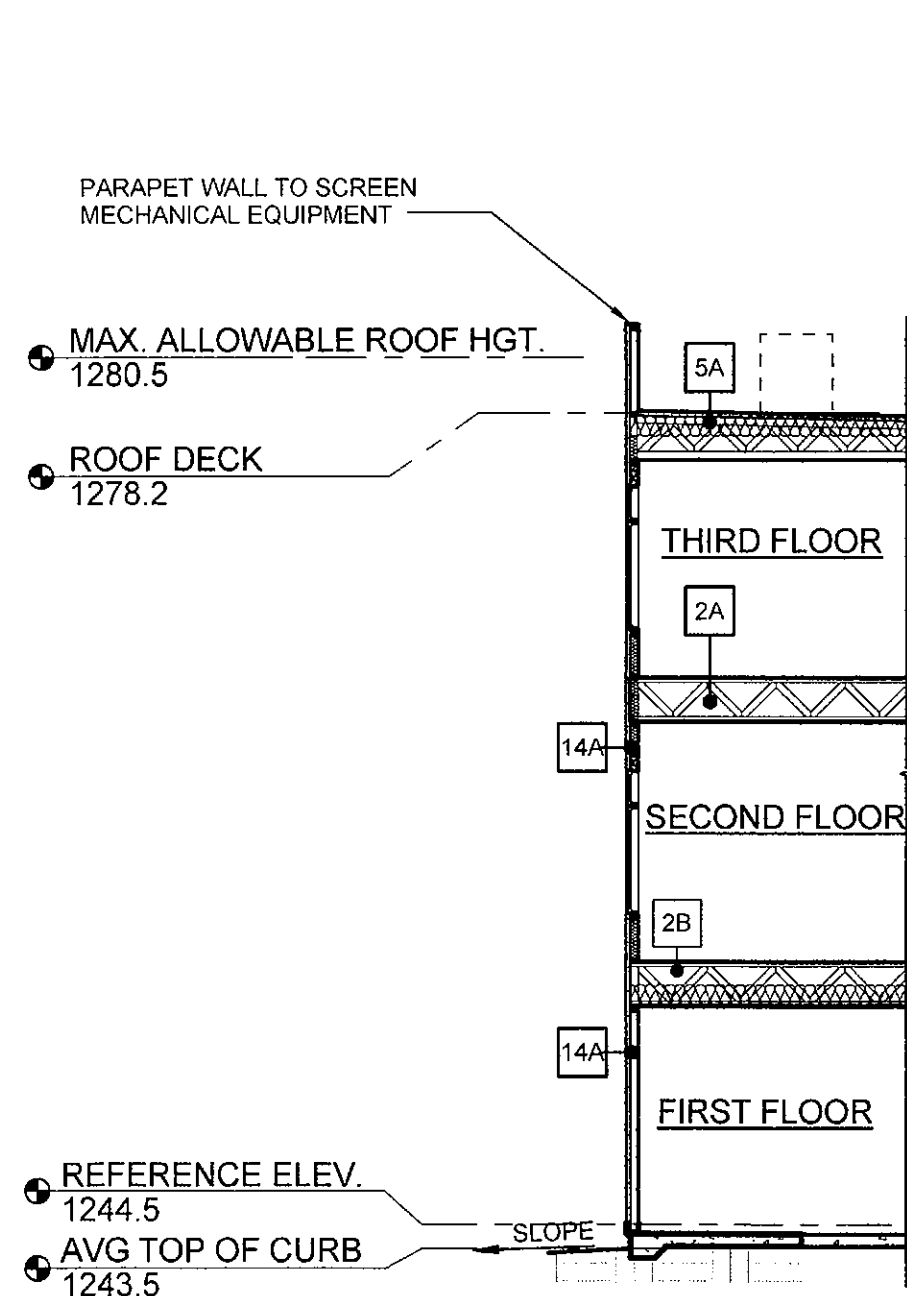


32-1212 Plan Options

2	08/02/16	CITY COMMENTS
1	06/08/16	REVISIONS
#	Date	Description
Revisions		
	March 11, 2016	
Date		
PP		
Designed By		
Author		
Drawn By		
PP		
Checked By		
17736		
Project Number		

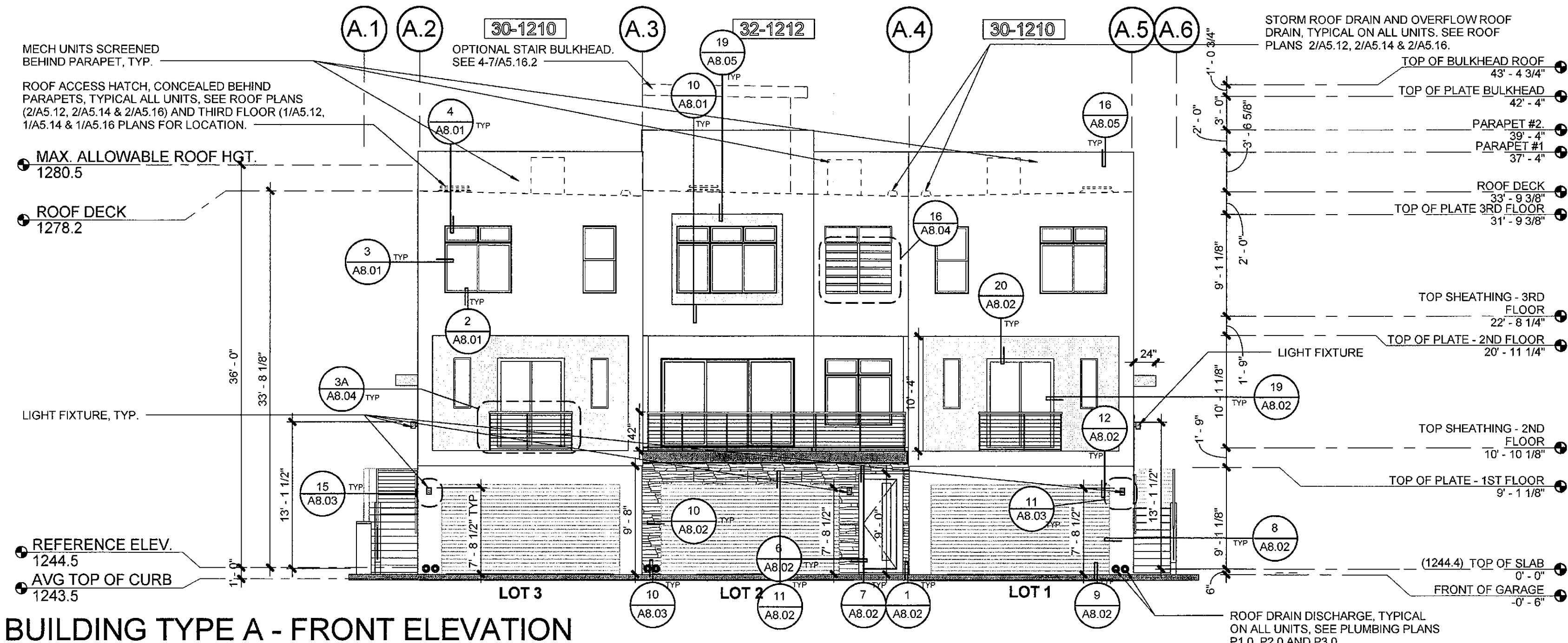
A5.16.2

Sheet Number
Copyright 2015 ©
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.



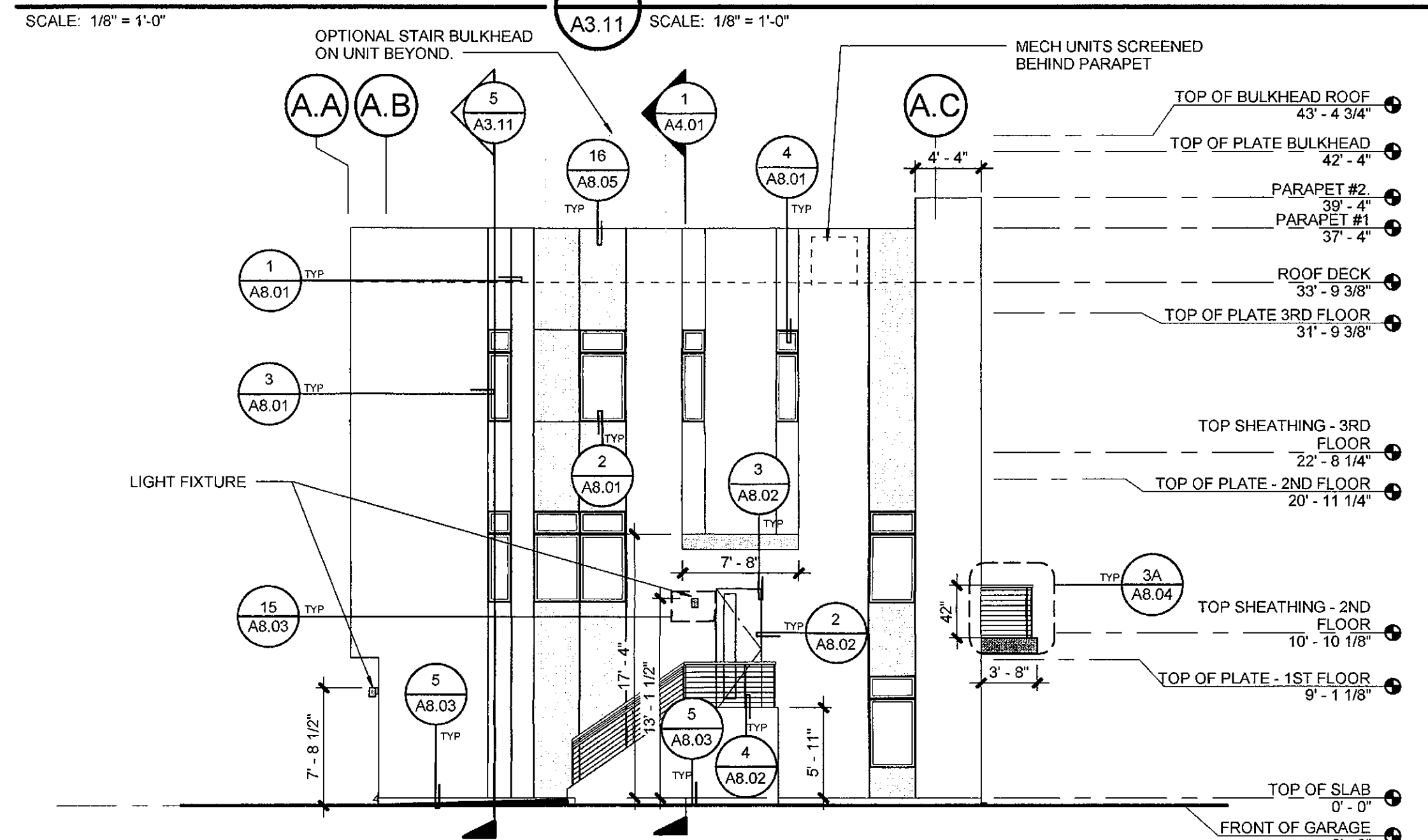
TYPICAL WALL SECTION

SCALE: 1/8" = 1'-0"



BUILDING TYPE A - FRONT ELEVATION

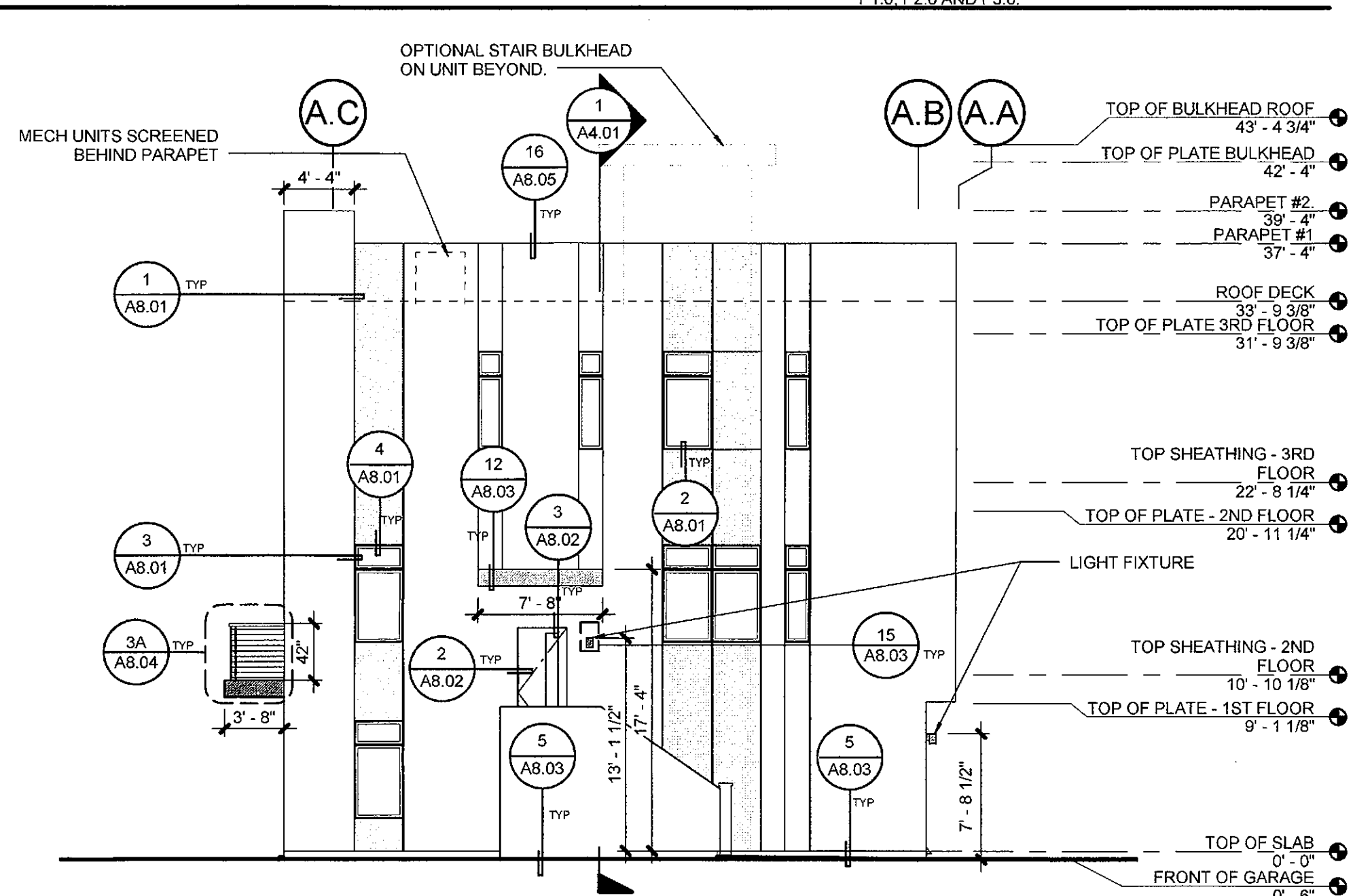
SCALE: 1/8" = 1'-0"



BUILDING TYPE A - RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

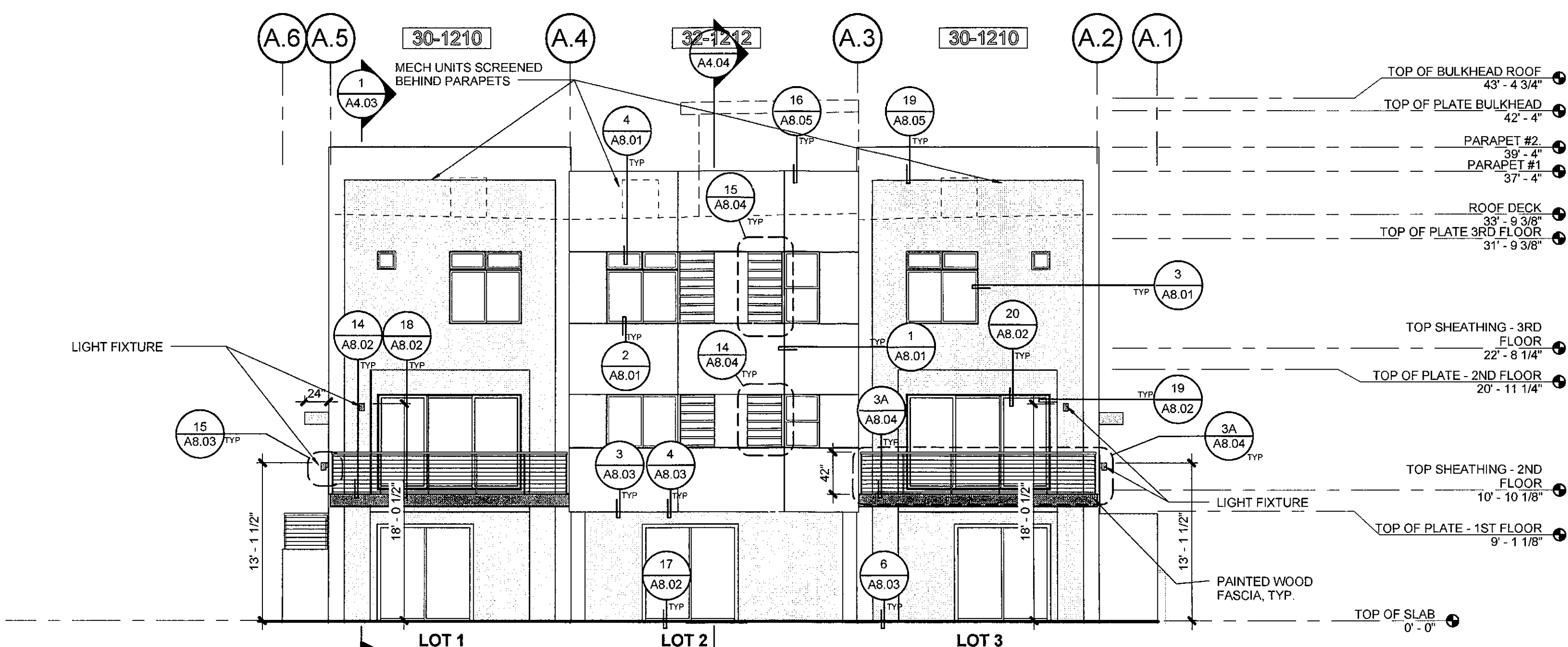
(SEE 1/A3.11 FOR ADDITIONAL INFO)



BUILDING TYPE A - LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

(SEE 1/A3.11 FOR ADDITIONAL INFO)



BUILDING TYPE A - REAR ELEVATION

SCALE: 1/8" = 1'-0"

(SEE 1/A3.11 FOR ADDITIONAL INFO)

ELEVATION NOTES

- SEE BUILDING FLOOR PLANS FOR WINDOW AND DOOR TAGS.
- SEE THE SHEET A1.11 FOR WINDOW AND DOOR SCHEDULES.
- SIDING TYPE, REVEALS & BUILDING COLORS SHALL RAP AROUND CORNERS INTO RECESSED AREAS UNLESS OTHERWISE NOTED.
- SEE 5/8.01 FOR TYPICAL SEALANT JOINTS.
- SEE 3/8.05 FOR TYPICAL ROOF PENETRATIONS.
- SEE 15/8.03 FOR DETAILS AT ELECTRICAL LIGHTS, COMMUNICATION PANEL AND EQUIPMENT.
- SEE 17, 18 & 19/8.03 FOR SADDLE FLASHING DETAILS AS NEEDED.
- SEE 1 & 16/8.03 FOR PLUMBING, ELECTRICAL AND MECHANICAL PENETRATIONS.
- SEE 17/A8.01 FOR OPENING WEATHER WRAP DETAILS.

ELEVATION LEGEND

- AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW7551 GREEK VILLA
- AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW7048 URBAN BRONZE
- STONE VENEER FINISH: CORONADO 3" SPLIT LIMESTONE GENOA SANDS
- PREMANUFACTURED VERTICAL SUNSHADE. COLOR: SW 6990 CAVIAR

- FASCIA. COLOR: SW 6990 CAVIAR
- ENTRY DOOR. COLOR: SW 6990 CAVIAR
- GARAGE DOOR. COLOR: SW 6990 CAVIAR
- LIGHT FIXTURE. COLOR: SW 6990 CAVIAR

APPROVED
FINAL PLANS PLANNING
DATE: 8/22/2016
APPROVED BY: [Signature]

MINIMUM BUILDING REQUIREMENTS FOR THE EXTERIOR ENVELOPE FOR NOISE LEVEL REDUCTION

- MINIMUM BUILDING REQUIREMENTS FOR NOISE LEVEL REDUCTION OF WALLS PARALLEL AND ADJACENT TO THE EASTERN PROPERTY LINE.
- EXTERIOR WALLS:**
 - STUD WALLS SHALL BE AT LEAST FOUR INCHES IN NOMINAL DEPTH AND SHALL BE FINISHED ON THE EXTERIOR SIDE WITH STUCCO, SIDING, OR VENEER.
 - INTERIOR SURFACE OF THE EXTERIOR WALLS SHALL BE MINIMUM 1/2" GYPSUM, INSTALLED ON THE STUDS.
 - SHEATHING PANELS, WHERE APPLICABLE, SHALL BE BUTTED TIGHTLY AND COVERED ON THE EXTERIOR WITH OVERLAPPING BUILDING PAPER.
 - INSULATION MATERIAL AT LEAST 3" THICK SHALL BE INSTALLED THROUGHOUT AND BETWEEN WALL STUDS.
 - WINDOWS:**
 - WINDOWS SHALL HAVE A SOUND TRANSMISSION CLASS RATING OF STC-30 OR LOWER.
 - ALL GLAZING SHALL BE DUAL PANED WITH OVERALL THICKNESS OF 3/4".
 - ALL OPERABLE WINDOW GLAZING SHALL BE WEATHER-STRIPPED AND AIRTIGHT.



HanmiGlobal Partner

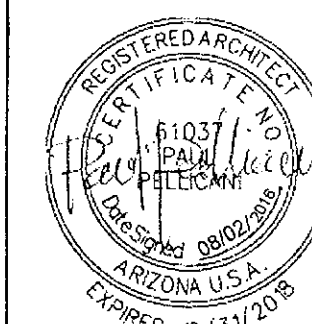
Otak, Inc
51 West Third Street
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6505

Gallery Townhomes

7107 E. Earll Drive
Scottsdale, AZ

K. Hovnanian Homes

20830 N Tatum Blvd
Suite 250
Phoenix, AZ 85050



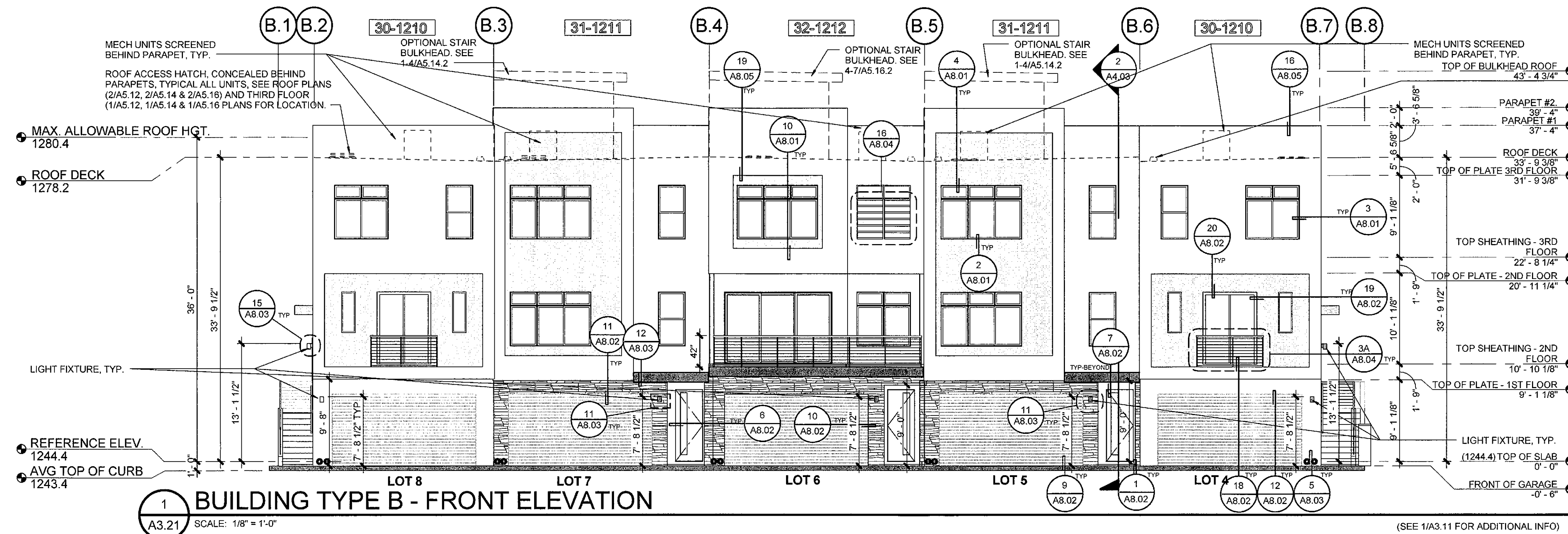
Exterior Elevations
Building A,
3-Plex, Gallery
Site #1

2 08/02/16 CITY COMMENTS
1 06/08/16 REVISIONS

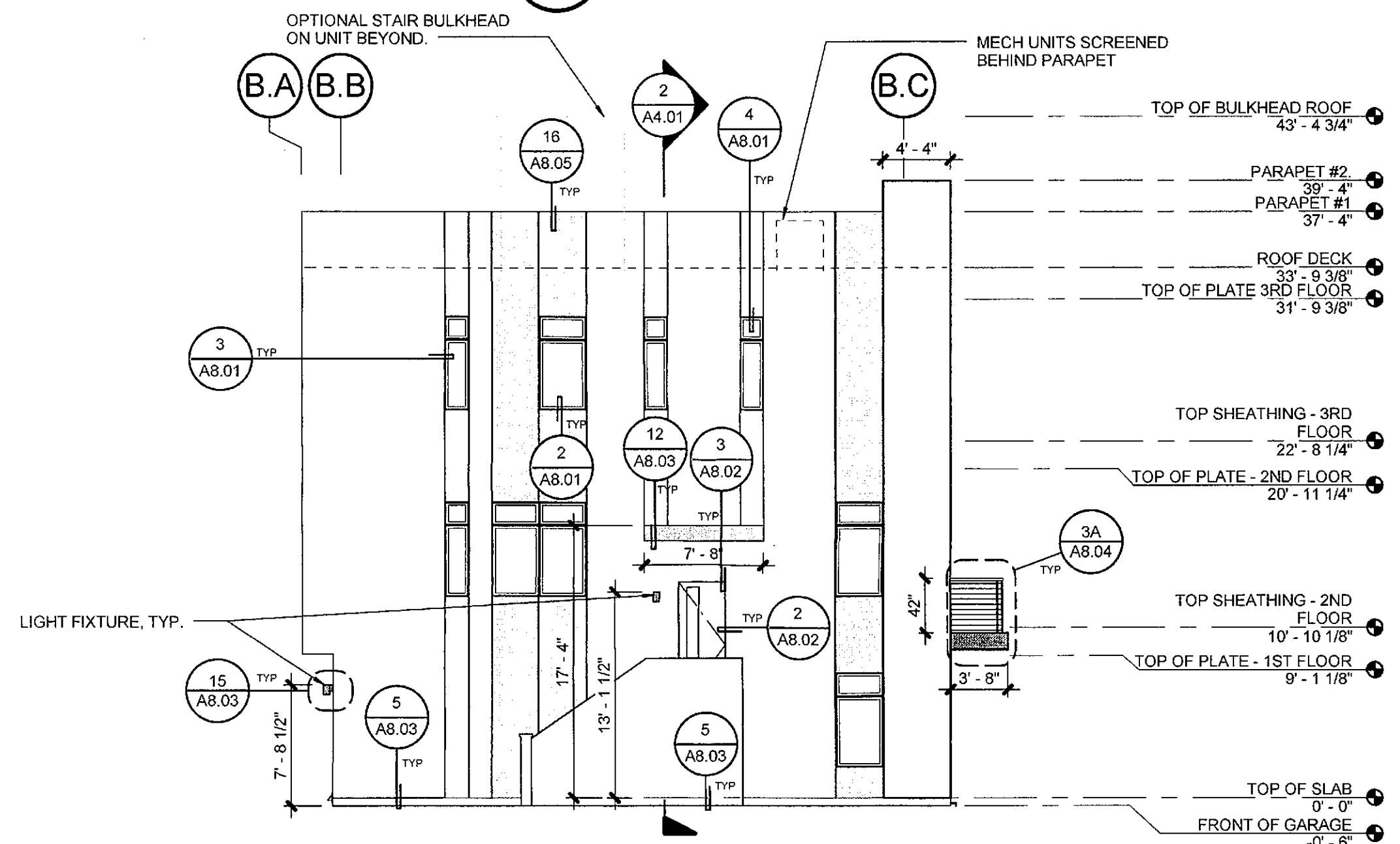
Date Description
Revisions
March 11, 2016
Date
PP
Designed By
Author
Drawn By
PP
Checked By
17736
Project Number

A3.11

Sheet Number
Copyright 2015 ©
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

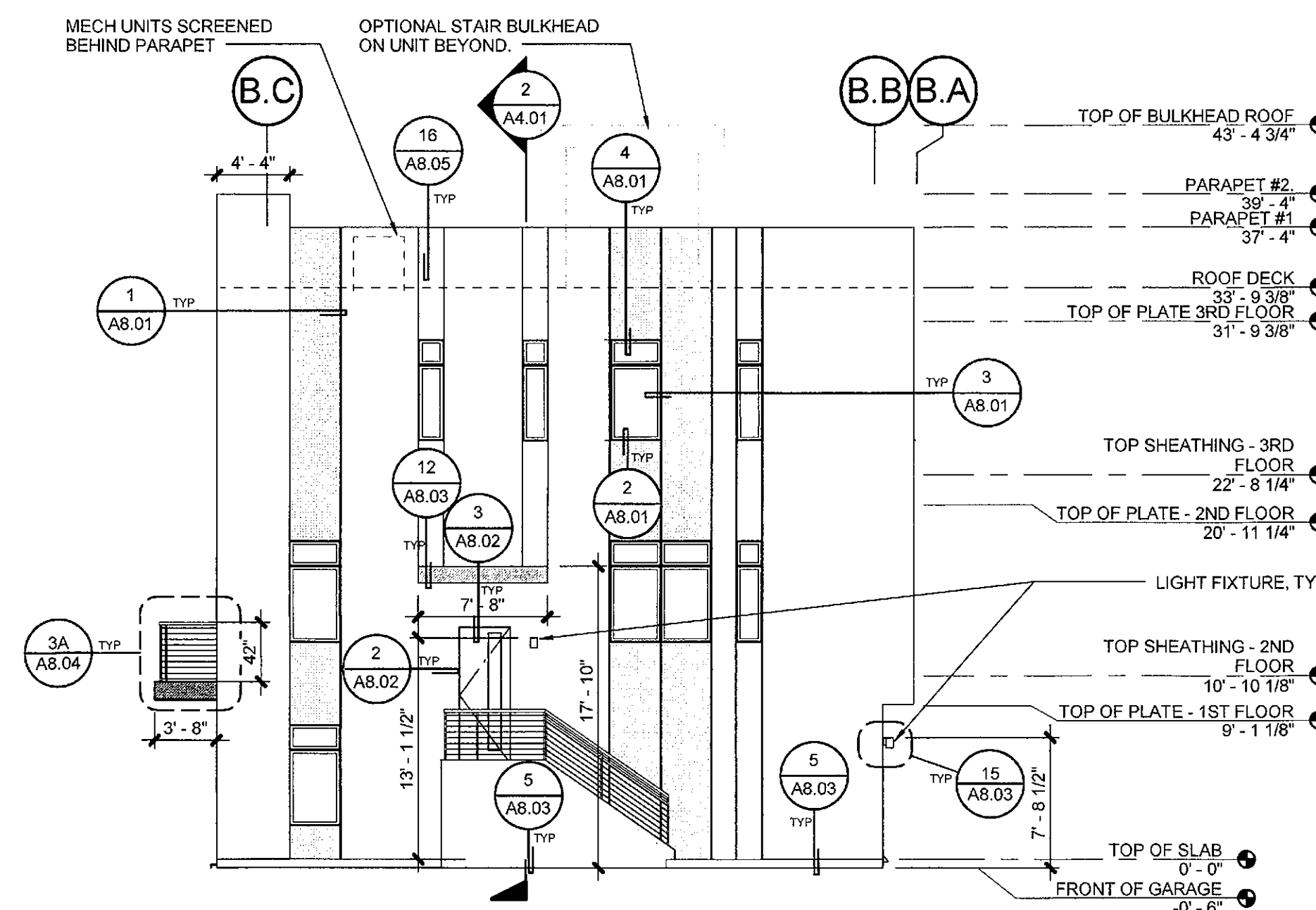


1 BUILDING TYPE B - FRONT ELEVATION
A3.21 SCALE: 1/8" = 1'-0"



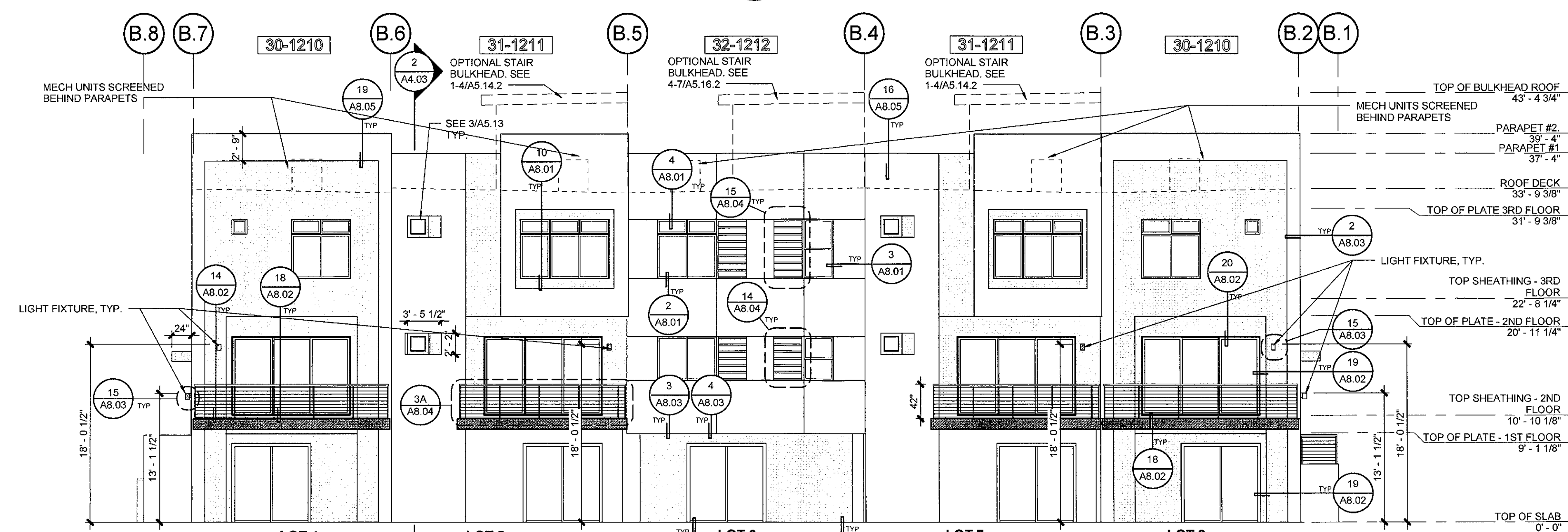
2 BUILDING TYPE B - RIGHT SIDE ELEVATION
A3.21 SCALE: 1/8" = 1'-0"

(SEE 1/A3.11 FOR ADDITIONAL INFO)



3 BUILDING TYPE B - LEFT SIDE ELEVATION
A3.21 SCALE: 1/8" = 1'-0"

(SEE 1/A3.11 FOR ADDITIONAL INFO)



4 BUILDING TYPE B - REAR ELEVATION
A3.21 SCALE: 1/8" = 1'-0"

(SEE 1/A3.11 FOR ADDITIONAL INFO)

ELEVATION NOTES

- SEE BUILDING FLOOR PLANS FOR WINDOW AND DOOR TAGS.
- SEE THE SHEET A1.11 FOR WINDOW AND DOOR SCHEDULES.
- SIDING TYPE, REVEALS & BUILDING COLORS SHALL RAP AROUND CORNERS INTO RECESSED AREAS UNLESS OTHERWISE NOTED.
- SEE 5/8.01 FOR TYPICAL SEALANT JOINTS.
- SEE 3/8.05 FOR TYPICAL ROOF PENETRATIONS.
- SEE 15/8.03 FOR DETAILS AT ELECTRICAL LIGHTS, COMMUNICATION PANEL AND EQUIPMENT.
- SEE 17, 18 & 19/8.03 FOR SADDLE FLASHING DETAILS AS NEEDED.
- SEE 1 & 18/8.03 FOR PLUMBING, ELECTRICAL AND MECHANICAL PENETRATIONS.
- SEE 17/A8.01 FOR OPENING WEATHER WRAP DETAILS.

ELEVATION LEGEND

- AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW7551 GREEK VILLA
- AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW7048 URBAN BRONZE
- STONE VENEER FINISH: CORONADO 3" SPLIT LIMESTONE GENOA SANDS
- PREMANUFACTURED VERTICAL SUNSHADE. COLOR: SW6960 CAVIAR

- FASCIA COLOR: SW6960 CAVIAR
- ENTRY DOOR COLOR: SW6960 CAVIAR
- GARAGE DOOR COLOR: SW6960 CAVIAR
- LIGHT FIXTURE. COLOR: SW6960 CAVIAR

APPROVED
FINAL PLANS
DATE: 8/22/16
APPROVED BY: [Signature]

MINIMUM BUILDING REQUIREMENTS FOR THE EXTERIOR ENVELOPE FOR NOISE LEVEL REDUCTION

- MINIMUM BUILDING REQUIREMENTS FOR NOISE LEVEL REDUCTION OF WALLS PARALLEL AND ADJACENT TO THE EASTERN PROPERTY LINE.
- EXTERIOR WALLS:**
 - STUD WALLS SHALL BE AT LEAST FOUR INCHES IN NOMINAL DEPTH AND SHALL BE FINISHED ON THE EXTERIOR SIDE WITH STUCCO, SIDING, OR VENEER.
 - INTERIOR SURFACE OF THE EXTERIOR WALLS SHALL BE MINIMUM 1/2" GYPSUM, INSTALLED ON THE STUDS.
 - SHEATHING PANELS, WHERE APPLICABLE, SHALL BE BUTTED TIGHTLY AND COVERED ON THE EXTERIOR WITH OVERLAPPING BUILDING PAPER.
 - INSULATION MATERIAL AT LEAST 3" THICK SHALL BE INSTALLED THROUGHOUT AND BETWEEN WALL STUDS.
 - WINDOWS:**
 - WINDOWS SHALL HAVE A SOUND TRANSMISSION CLASS RATING OF STC-30 OR LOWER.
 - ALL GLAZING SHALL BE DUAL PANELED WITH OVERALL THICKNESS OF 3".
 - ALL OPERABLE WINDOW GLAZING SHALL BE WEATHER-STRIPPED AND AIRTIGHT.



HanmiGlobal Partner
Otak, Inc
51 West Third Street
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6505

Gallery Townhomes
7107 E. Earll Drive
Scottsdale, AZ

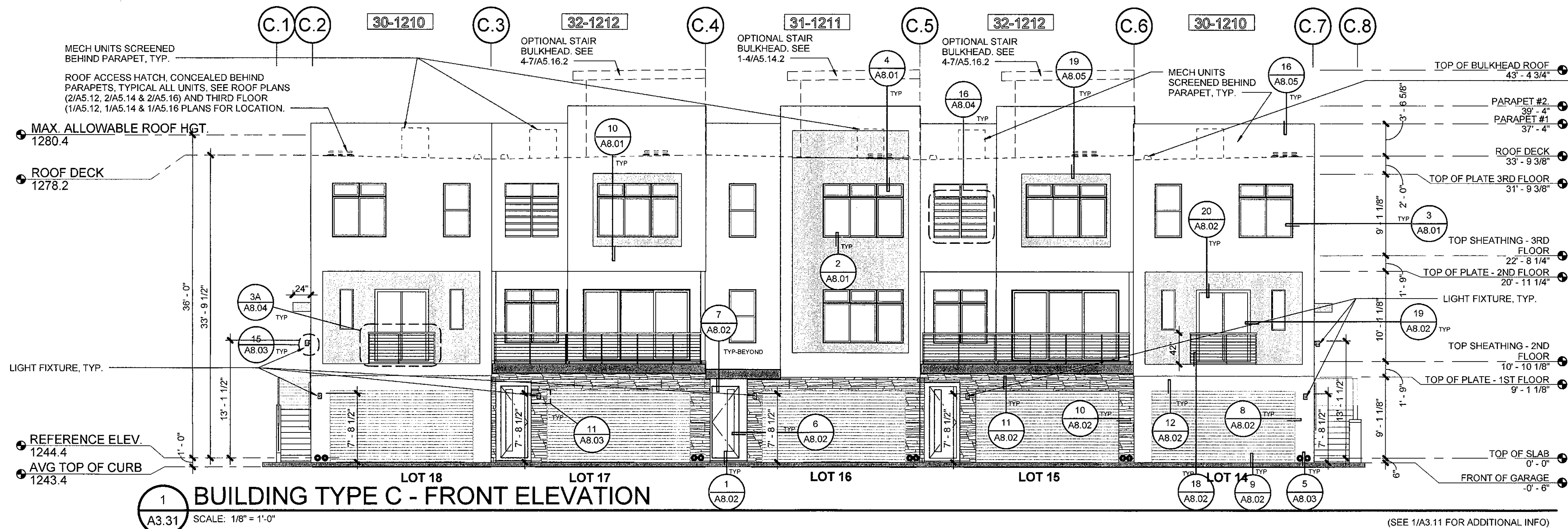
K. Hovnanian Homes
20830 N Tatum Blvd
Suite 250
Phoenix, AZ 85050



Exterior Elevations
Building B,
5-Plex, Gallery
Site #2

2	08/02/16	CITY COMMENTS
1	06/08/16	REVISIONS
#	Date	Description
Revisions		
	March 11, 2016	
	Date	
PP	Designed By	
	Author	
	Drawn By	
PP	Checked By	
	17736	
	Project Number	

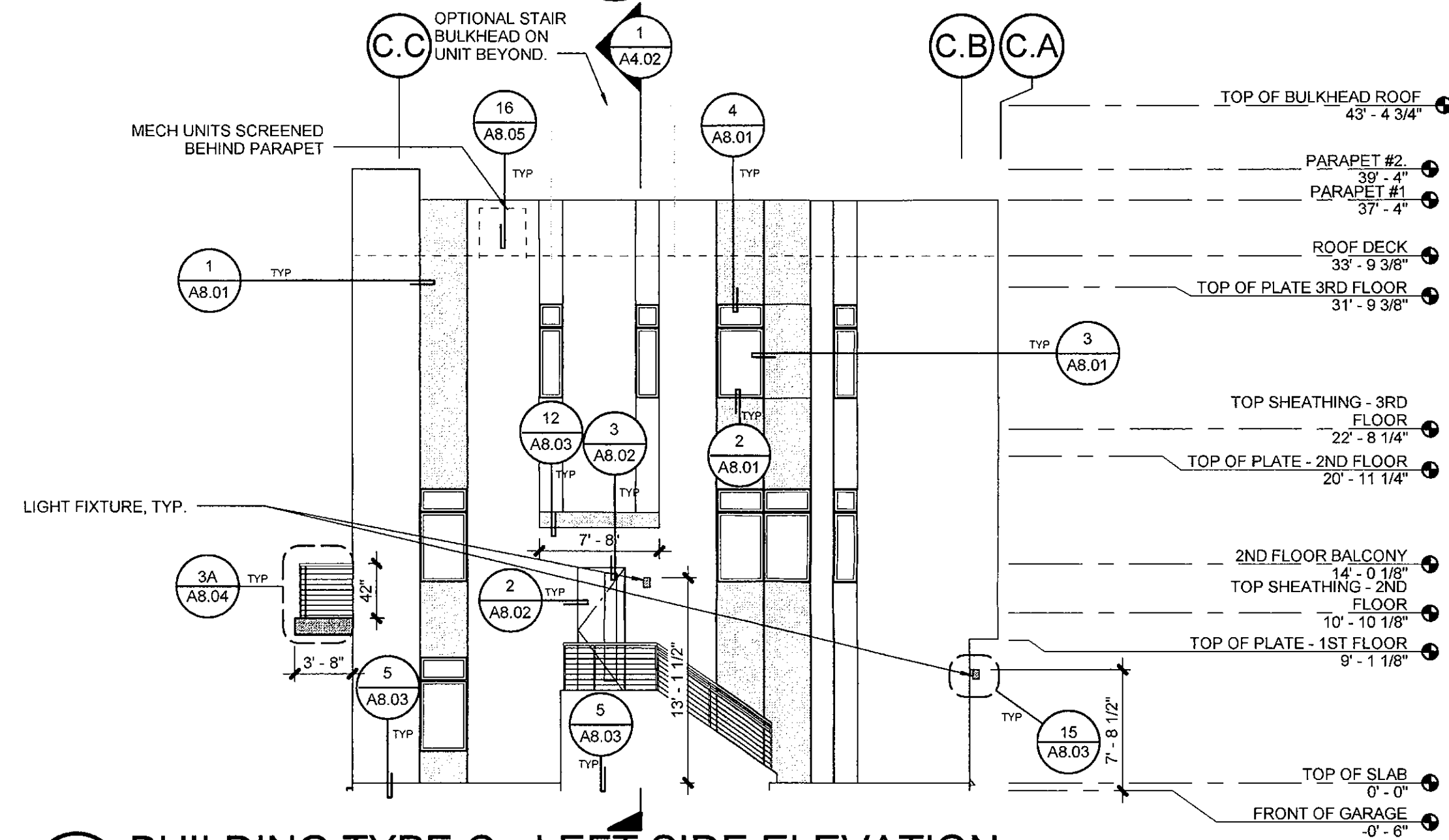
A3.21
Sheet Number
Copyright 2015 ©
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.



BUILDING TYPE C - FRONT ELEVATION

A3.31 SCALE: 1/8" = 1'-0"

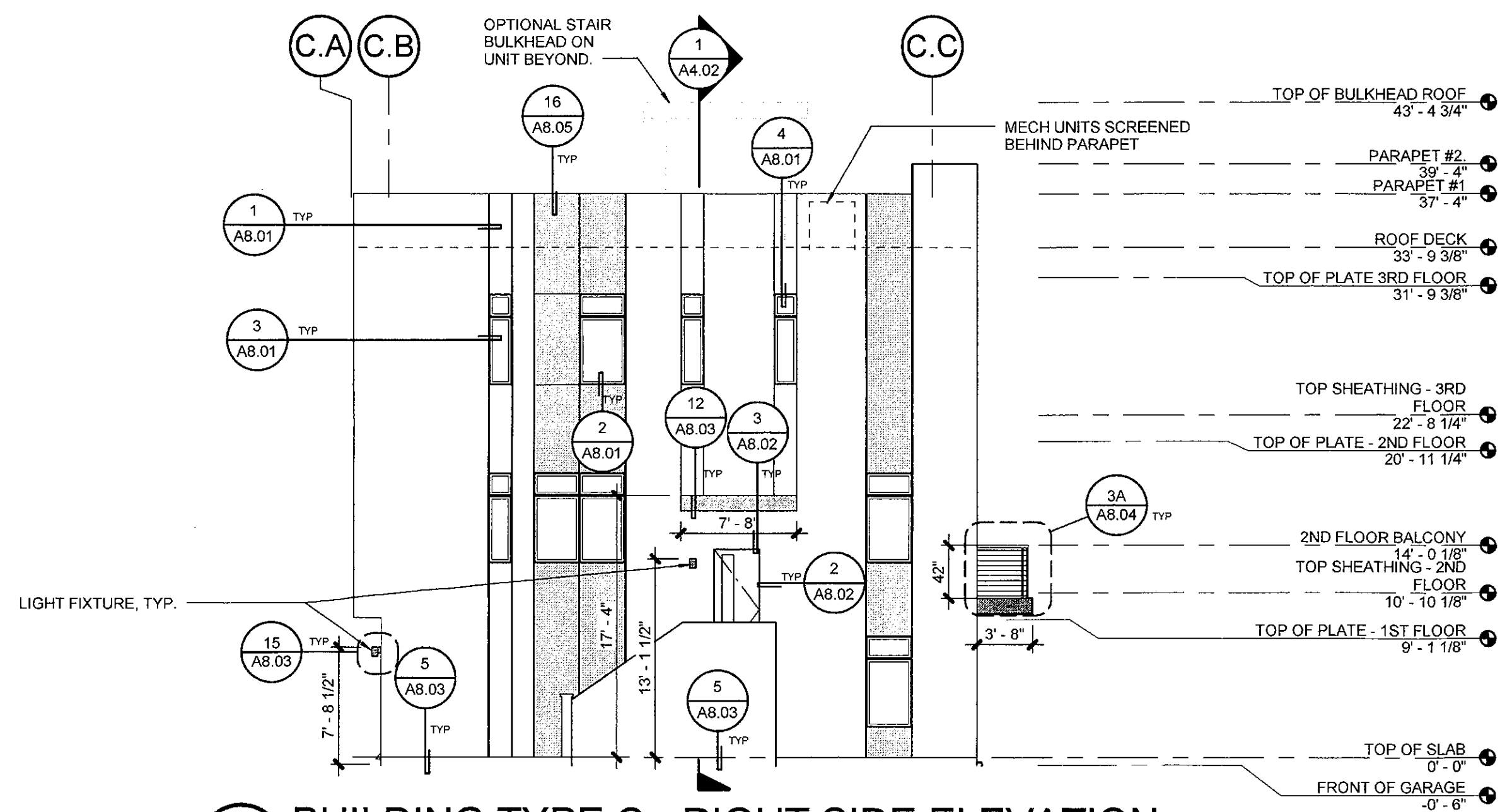
(SEE 1/A3.11 FOR ADDITIONAL INFO)



BUILDING TYPE C - LEFT SIDE ELEVATION

A3.31 SCALE: 1/8" = 1'-0"

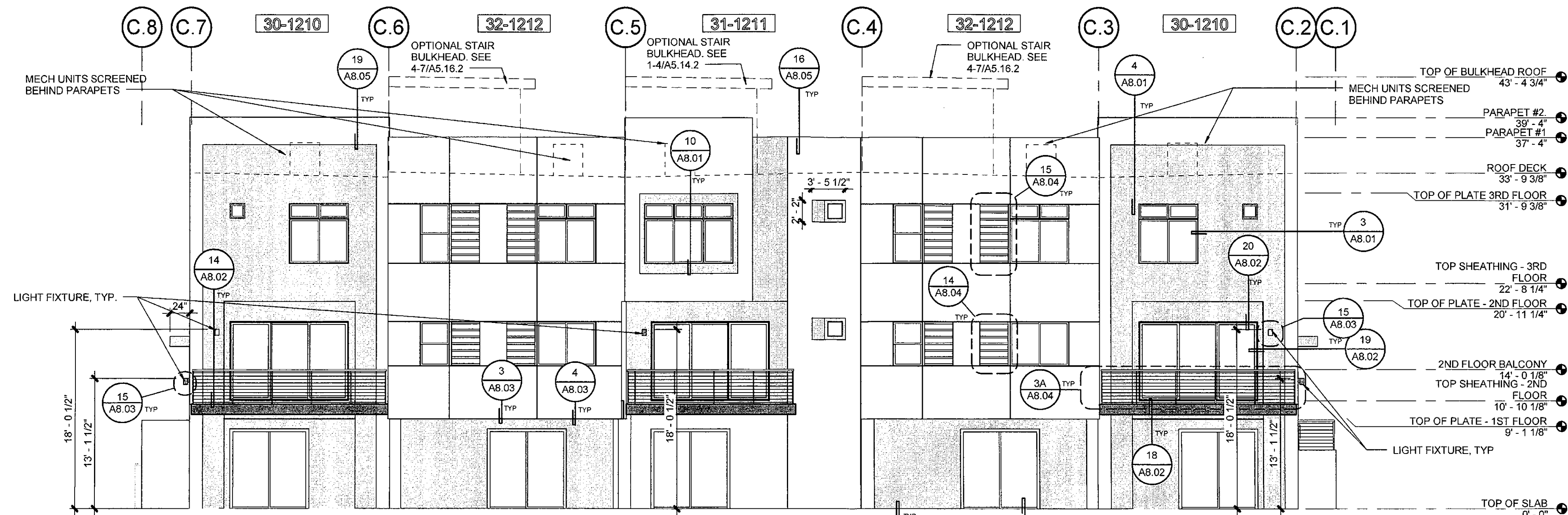
(SEE 1/A3.11 FOR ADDITIONAL INFO)



BUILDING TYPE C - RIGHT SIDE ELEVATION

A3.31 SCALE: 1/8" = 1'-0"

(SEE 1/A3.11 FOR ADDITIONAL INFO)



BUILDING TYPE C - REAR ELEVATION

A3.31 SCALE: 1/8" = 1'-0"

(SEE 1/A3.11 FOR ADDITIONAL INFO)

ELEVATION NOTES

- SEE BUILDING FLOOR PLANS FOR WINDOW AND DOOR TAGS.
- SEE THE SHEET A1.11 FOR WINDOW AND DOOR SCHEDULES.
- SIDING TYPE, REVEALS & BUILDING COLORS SHALL RAP AROUND CORNERS INTO RECESSED AREAS UNLESS OTHERWISE NOTED.
- SEE 5/8.01 FOR TYPICAL SEALANT JOINTS.
- SEE 3/8.05 FOR TYPICAL ROOF PENETRATIONS.
- SEE 15/8.03 FOR DETAILS AT ELECTRICAL LIGHTS, COMMUNICATION PANEL AND EQUIPMENT.
- SEE 17, 18 & 19/8.03 FOR SADDLE FLASHING DETAILS AS NEEDED.
- SEE 1 & 16/8.03 FOR PLUMBING, ELECTRICAL AND MECHANICAL PENETRATIONS.
- SEE 17/A8.01 FOR OPENING WEATHER WRAP DETAILS.

ELEVATION LEGEND

- AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW 7551 GREEK VILLA
- AMERIMIX FIBER BASE COAT STUCCO SYSTEM OR APPROVED EQUAL. COLOR: SW 7048 URBAN BRONZE
- STONE VENEER FINISH: CORONADO 3" SPLIT LIMESTONE GENOA SANDS
- PREMANUFACTURED VERTICAL SUNSHADE. COLOR: SW 6990 CAVIAR
- FASCIA. COLOR: SW 6990 CAVIAR
- ENTRY DOOR. COLOR: SW 6990 CAVIAR
- GARAGE DOOR. COLOR: SW 6990 CAVIAR
- LIGHT FIXTURE. COLOR: SW 6990 CAVIAR

APPROVED
FINAL PLANS PLANNING
08/23/2016
DATE

MINIMUM BUILDING REQUIREMENTS FOR THE EXTERIOR ENVELOPE FOR NOISE LEVEL REDUCTION

- MINIMUM BUILDING REQUIREMENTS FOR NOISE LEVEL REDUCTION OF WALLS PARALLEL AND ADJACENT TO THE EASTERN PROPERTY LINE.
- EXTERIOR WALLS:**
 - STUD WALLS SHALL BE AT LEAST FOUR INCHES IN NOMINAL DEPTH AND SHALL BE FINISHED ON THE EXTERIOR SIDE WITH STUCCO, SIDING, OR VENEER.
 - INTERIOR SURFACE OF THE EXTERIOR WALLS SHALL BE MINIMUM 1/2" GYPSUM, INSTALLED ON THE STUDS.
 - SHEATHING PANELS, WHERE APPLICABLE, SHALL BE BUTTED TIGHTLY AND COVERED ON THE EXTERIOR WITH OVERLAPPING BUILDING PAPER.
 - INSULATION MATERIAL AT LEAST 3" THICK SHALL BE INSTALLED THROUGHOUT AND BETWEEN WALL STUDS.
 - WINDOWS:**
 - WINDOWS SHALL HAVE A SOUND TRANSMISSION CLASS RATING OF STC-30 OR LOWER.
 - ALL GLAZING SHALL BE DUAL PANELED WITH OVERALL THICKNESS OF 3".
 - ALL OPERABLE WINDOW GLAZING SHALL BE WEATHER-STRIPPED AND AIRTIGHT.



HanmiGlobal Partner

Otak, Inc

51 West Third Street

Tempe, AZ 85281

Phone 480.557.6670

Fax 480.557.6505

Gallery Townhomes

7107 E. Earl Drive

Scottsdale, AZ

K. Hovnanian Homes

20830 N Tatum Blvd

Suite 250

Phoenix, AZ 85050



Exterior Elevations
Building C,
5-Plex, Gallery
Site #3

2 08/02/16 CITY COMMENTS
1 06/08/16 REVISIONS
Date Description
Revisions
March 11, 2016
Date

PP
Designed By
Author
Drawn By
PP

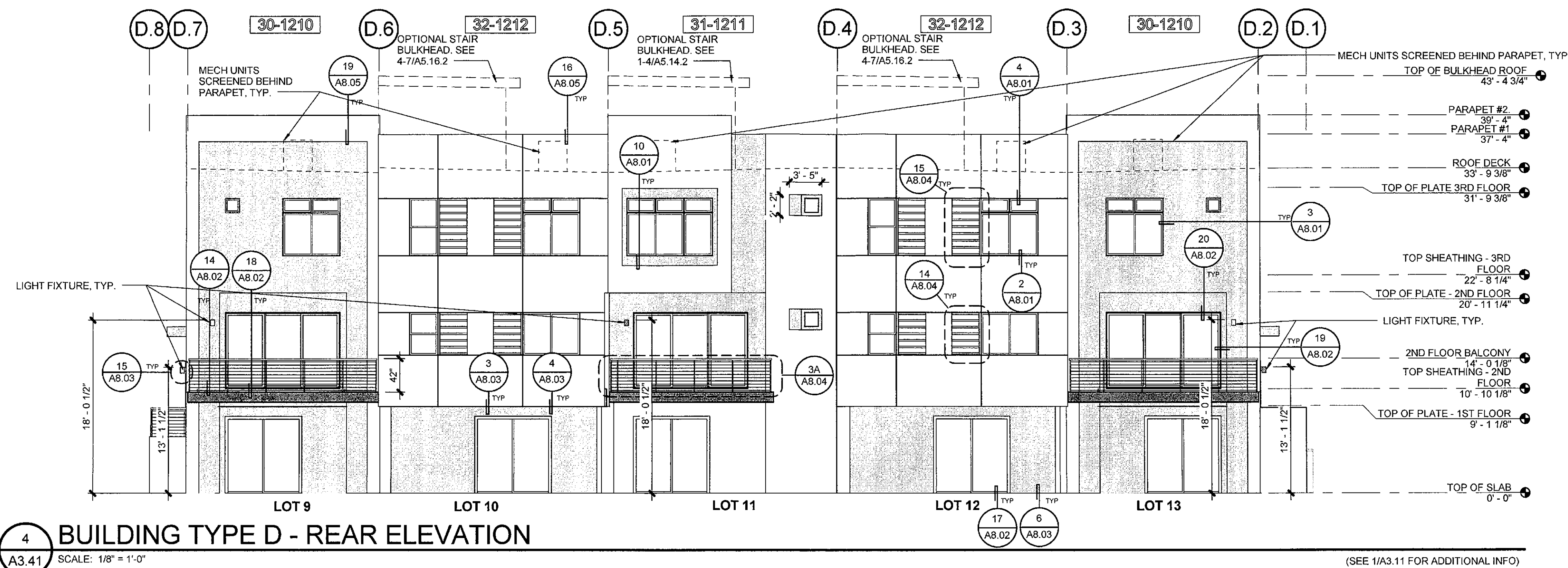
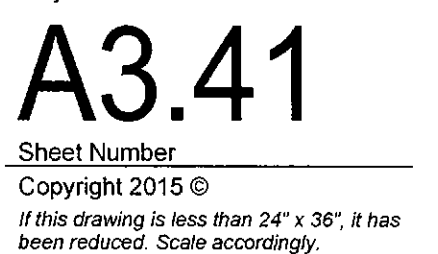
Checked By
17736
Project Number

Copyright 2015 ©
If this drawing is less than 24" x 36", it has been reduced. Scale accordingly.

A3.31

Sheet Number

PLAN REVIEW 6910-15-5 | PRELIMINARY PLAT 4-PP-2015 | ZONING 12-ZN-2015 | ABANDONMENT 6-AB-2015 | THEME WALL 6910-15-8 | AMENITY 6910-15-7 | POOL 3977-1



GENERAL NOTES

PARCEL 3: THE SOUTH 80.00 FEET OF THE OLENE PLACE, ACCORDING TO THE PLAT OF RECORD IN THE COUNTY RECORDER OF MARICOPA, ARIZONA, RECORDED AS BOOK 48 OF MAPS, PAGE 5, AND THAT PORTION OF MARSHALL AVENUE ABANDONED BY RESOLUTION RECORDED IN INSTRUMENT NO. 84-0493240, RECORDS OF MARICOPA COUNTY, ARIZONA; EXCEPT THE EAST 121.81 FEET OF SAID OLENE PLACE; EXCEPT THE WEST 30.00 FEET OF SAID OLENE PLACE.

1. SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 15 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION.
2. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
3. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
4. THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' INSPECTION SERVICES DIVISION.
5. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
6. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
7. A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVED OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
8. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
9. FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
10. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
11. PATIO UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
12. ALL EXTERIOR MECHANICAL, UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF TALLEST UNIT. (DETAILS ARE STILL REQUIRED).
13. ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
14. NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
15. ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
16. NO CHAIN LINK FENCING SHALL BE ALLOWED.
17. NO TURF AREAS SHALL BE PROVIDED.
18. NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.

FIRE DEPARTMENT GENERAL NOTES

1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE.
2. FIRE LANES AND EMERGENCY ACCESS SHALL BE PROVIDED AND MARKED IN COMPLIANCE WITH CITY ORDINANCE AND INTERNATIONAL FIRE CODE REQUIREMENTS.
3. PROVIDE ALL WEATHER ACCESS ROADS (MINIMUM 16" IN WIDTH) TO ALL BUILDINGS AND HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
4. PROVIDE A KNOX ACCESS SYSTEM WITH KEY SWITCH AND PREEMPTION DEVICE OVERRIDE FOR AUTOMATIC GATES.
5. A FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AND COMPLY WITH CURRENTLY ADOPTED NFPA STANDARDS.
6. FIRELINES, SPRINKLERS AND STANDPIPE SYSTEMS SHALL BE FLUSHED AND PRESSURE TESTED PER NFPA STANDARDS AND SCOTTSDALE REVISED CODES.

APN: 130-17-001, 002, 003B, 004A, 004B, 004C, 005B, 007C, 008A & 009A
 PARCELS: PARCEL 1 + PARCEL 2 + PARCEL 3
 ADDRESS: 7107 E. EARLL DRIVE, SCOTTSDALE AZ 85251
 ZONING: R-5
 PROPOSED # OF LOTS: 18

GROSS ACRES: 53,054 SQ FT (1.2 ACRES)
 NET ACRES: 47,916 SQ FT (1.1 ACRES)
 ON-SITE IMPERVIOUS (BUILDINGS): 15,155 SF (.35 ACRES)
 ON-SITE IMPERVIOUS (ROADS, WALKS) 37,899 SF (.87 ACRES)

	<u>REQUIRED</u>	<u>PROVIDED</u>
VEHICLE PARKING :	2 SPACES/UNIT	2 SPACES/UNIT WITHIN GAR
(2 VEHICLE SPACES/UNIT @ 18 UNITS = 36 SPACES WITHIN GARAGE)		
(ALL OTHER PARKING TO BE OFFSITE)		

BICYCLE PARKING: 2 SPACES 1 RACK
(36 VEHICLE SPACES \div 40 = 2 BICYCLE SPACES)

	<u>REQUIRED</u>	<u>PROVIDED</u>
FRONTAGE OPEN SPACE	3040 SF (152 LF X 20 FT)	5,750 SF
COMMON OPEN SPACE	10,296 SF (22% OF NET)	15,763 (ALL NON-PRIVATE OPEN SPACE)
PRIVATE OPEN SPACE	+/- 3,200 SF	+/- 4,419 SF

OCCUPANCY CLASSIFICATION: R-3
AUTOMATIC FIRE EXTINGUISHING SYSTEM: SPRINKLER SYSTEM PER NFPA 13D
BUILDING HEIGHT: 39.4'
NUMBER OF STORIES: 3

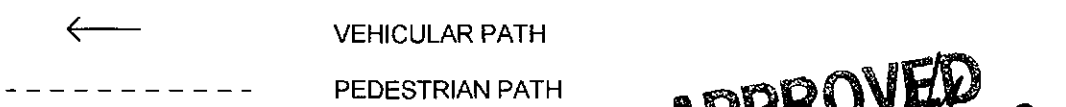
BUILDING DATA:
GROSS FLOOR AREA: 43,486 SQ FT

BUILDING 1 TYPE A	1 TOTAL BUILDING	BUILDING 3 TYPE C	1 TOTAL B
NUMBER OF TOWNHOMES	3	NUMBER OF TOWNHOMES	5
CONSTRUCTION TYPE	V-B	CONSTRUCTION TYPE	V-B
NUMBER OF FLOORS	3	NUMBER OF FLOORS	3
BUILDING AREA	7,001 SF	BUILDING AREA	12,161 SF
BUILDING HEIGHT*	33' - 8 1/8"	BUILDING HEIGHT*	33' - 9 1/2"

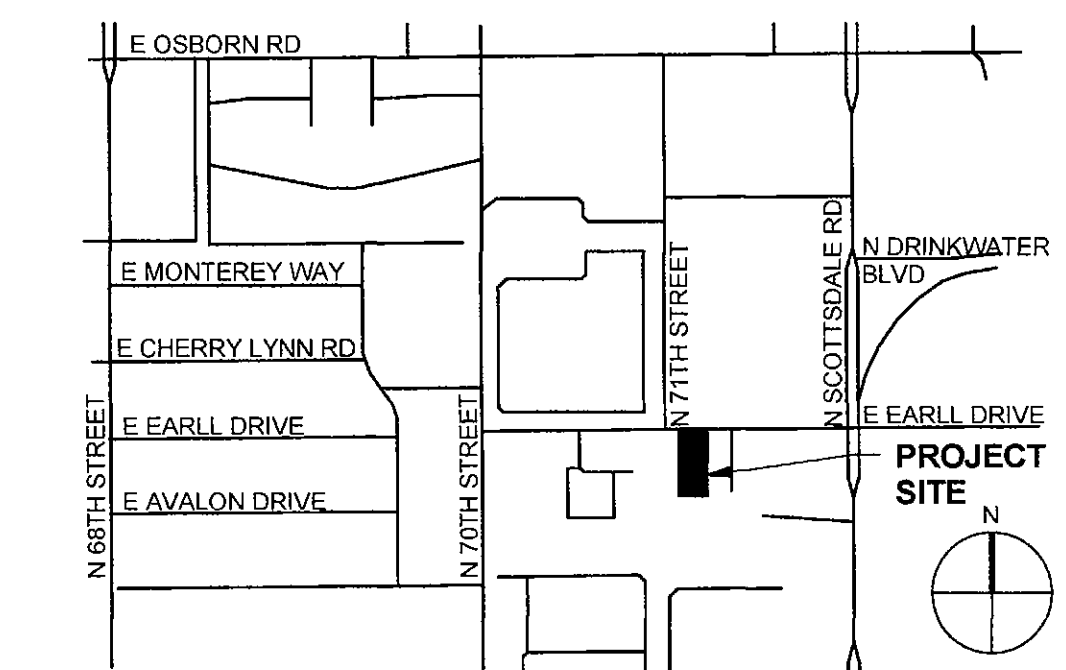
BUILDING 2 TYPE B	1 TOTAL BUILDING	BUILDING 4 TYPE D	1 TOTAL B
NUMBER OF TOWNHOMES	5	NUMBER OF TOWNHOMES	5
CONSTRUCTION TYPE	V-B	CONSTRUCTION TYPE	V-B
NUMBER OF FLOORS	3	NUMBER OF FLOORS	3
BUILDING AREA	12,163 SF	BUILDING AREA	12,161 SF
BUILDING HEIGHT*	33' - 9 1/2"	BUILDING HEIGHT*	33' - 9 1/2"

BUILDING HEIGHT IS THE DISTANCE FROM A POINT OF REFERENCE 12" ABOVE THE AVERAGE ELEVATION OF THE CURB ADJACENT TO THE PROPERTY TO THE TOP OF THE ROOF DECK.
ROOFTOP EQUIPMENT IS SCREENED BY A PARAPET ON TOP OF THE ROOF THAT HAS BEEN DESIGNED TO BE INTEGRAL WITH THE BUILDING DESIGN. SEE BUILDING ELEVATION SHEETS 3.11, 3.21, 3.31 & 3.41.

LEGEND



VICINITY MAP



HanmiGlobal Partner
Otak, Inc
51 West Third Street
Tempe, AZ 85281
Phone 480.557.6670
Fax 480.557.6505

**Gallery
Townhomes**
107 E. Earll Drive
Scottsdale, AZ

**K. Hovnanian
Homes**
0830 N Tatum Blvd
Suite 250
Phoenix, AZ 85050



Architectural Site Plan

Date	Description
08/02/16	CITY COMMENTS
06/08/16	REVISIONS

March 11, 2016

ate

Designed By _____

Author _____

Drawn By

Checked By _____

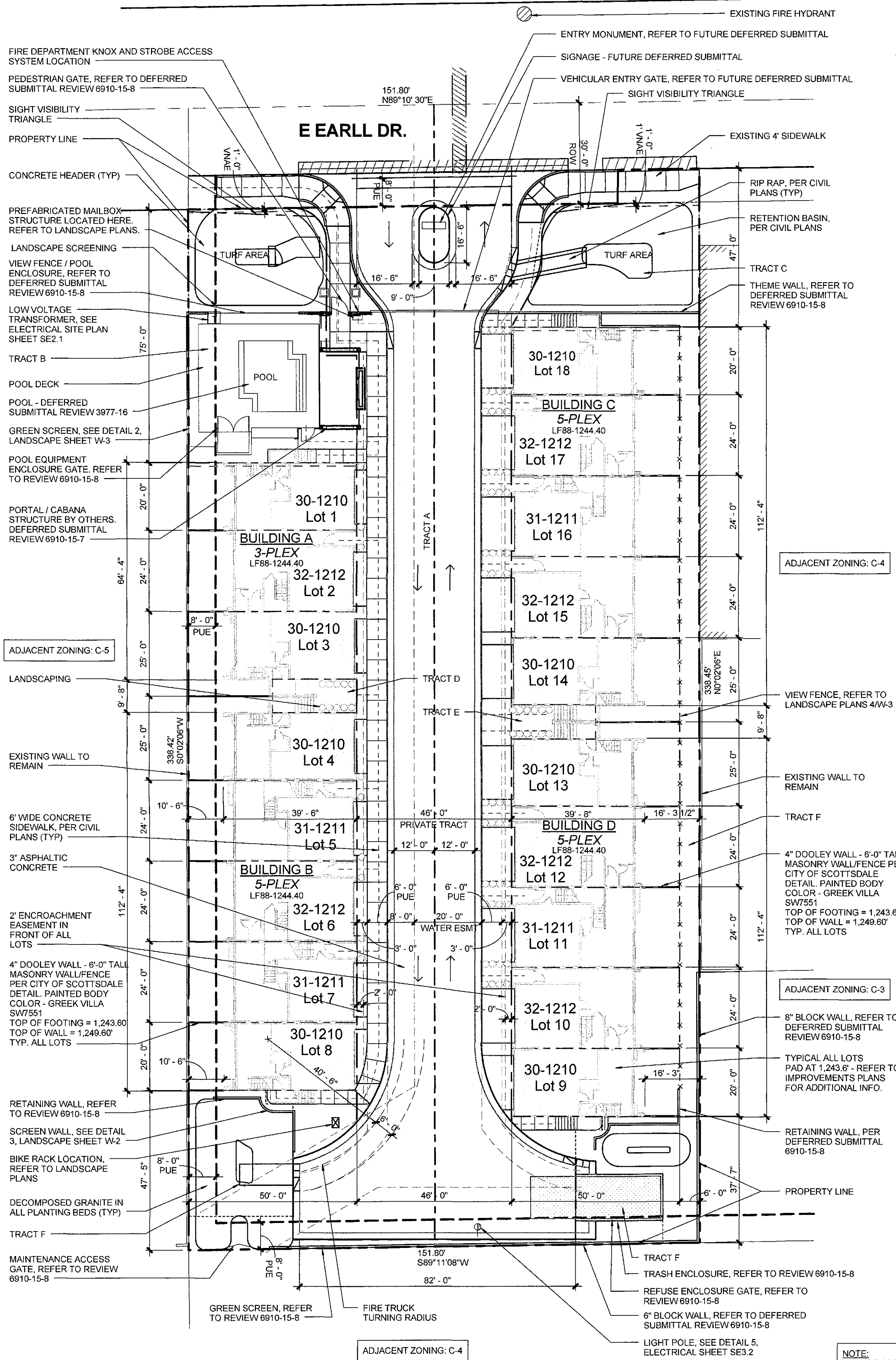
7736

A O O O

AU.02

Sheet Number _____

this drawing is less than 24" x 36", it has been reduced. Scale accordingly.



1 ARCHITECTURAL SITE PLAN

A0.02 SCALE: 1" = 20'-0"

