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Resolution No. 10561

Planning Commission Hearing 8/24/2016

City Council Hearing 10/10/2016

**Case History**

1048-PA-2015

**42-UP-2011#3**

**Boondocks Patio & Grill**





# CITY COUNCIL REPORT

Meeting Date: October 10, 2016  
 General Plan Element: *Land Use*  
 General Plan Goal: *Create a sense of community through land uses*

## ACTION

### Boondocks Patio & Grill 42-UP-2011#3

#### Request to consider the following:

Find that the Conditional Use Permit criteria have been met and adopt Resolution No. 10561 approving a Conditional Use Permit for Live Entertainment on an existing +/- 9,609-square foot establishment with Downtown/Office Residential Type 2 Downtown Overlay (D/OR-2 DO) zoning located at 4341 N. 75th Street.

#### Goal/Purpose of Request

The applicant's request is for a Conditional Use Permit for Live Entertainment at an existing bar located at 4341 North 75th Street between the hours of 5:00 p.m. and 12:00 a.m. Monday through Thursday, 5:00 p.m. and 2:00 a.m. on Friday, and between 10:00 a.m. and 2:00 a.m. on Saturday and between 10:00 a.m. and 12:00 a.m. on Sunday. This CUP would replace one that was approved in 2014 (but expired) in 2016. The applicant is proposing the same operation that has existed at this site for many years.

#### Key Items for Consideration

- Conditional Use Permit Criteria
- Significant revitalization is occurring in the area with mixed-use commercial and residential.
- Conditional Use Permit for Live Entertainment approved for this property in 2014 expired in July 2016.
- Planning Commission heard this case on August 24, 2016 and recommended approval with a 6-0 vote.

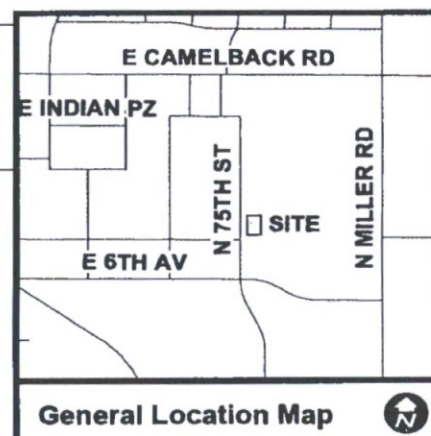
## OWNER

Mal & Flip, LLC

## APPLICANT CONTACT

Jacob Kory  
 Boondocks, LLC  
 480-949-8454

Action Taken \_\_\_\_\_



## LOCATION

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4341 North 75th Street

## BACKGROUND

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### General Plan

The Land Use Element of the General Plan designates the site as Mixed-Use Neighborhoods. This category includes higher density residential, office and retail uses.

### Character Area Plan

The Downtown Future Land Use map of the Downtown Plan designates the site as Downtown Multiple Use Type 2 within the Conceptual Downtown Drinkwater Urban Neighborhood. This land use designation encourages a diverse mix of uses to create a strong urban neighborhood setting.

### Zoning

The site is zoned Downtown / Office Residential – Type 2, Downtown Overlay (D/OR-2 DO) zoning. This district allows for commercial and residential in a mixed use format. The property currently has a Conditional Use Permit for a Bar, and had a Conditional Use Permit for Live Entertainment that expired on July 1, 2016.

### Context

The subject property is located at 4341 North 75th Street, which is north of the northeast corner of East Stetson Drive and North 75th Street. The uses within the vicinity of the existing building are office, hotel, retail uses, future multi-family, and mixed use developments. Please refer to context graphics attached.

### Other Related Policies, References:

5-IP-2007	Approval of a request to purchase thirty (13) in-lieu parking credits
21-UP-2007	Approval of a request for a Conditional Use Permit for a bar
21-UP-2007#2	Approval of a request to amend the site and floor plan for a bar
2-ZN-2007	Approval of a request to rezone a property from Highway Commercial District Downtown Overlay (C-3 DO) and Parking P-2; Passenger Vehicle Parking Downtown Overlay (P-2- DO) to Downtown District, Office/Residential Type 2, Downtown Overlay (D/OR-2 DO) zoning
42-UP-2011	Approval of a Conditional Use Permit for Live Entertainment with a one (1) year expiration
42-UP-2011#2	Approval of a Conditional Use Permit for Live Entertainment with a two (2) year expiration



## APPLICANTS PROPOSAL

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### Development Information

- Existing Use: Bar with Live Entertainment
- Proposed Use: Bar with Live Entertainment
- Buildings/Description: Existing one story structure
- Parcel Size: ±9,609 square feet
- Parking Required: 50 spaces
- Parking Provided: 37 leased parking spaces, and 13 in-lieu parking credits.
- Floor Area: 3,819 square feet – interior and 3,298 square foot exterior patio

## IMPACT ANALYSIS

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### Conditional Use Permit

Conditional Use Permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and City Council has found as follows:

- A. That the granting of such Conditional Use Permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
  1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
    - **There are no anticipated impacts arising from noise, smoke, odor, dust, vibration or illumination. The live entertainment will occur indoors and outdoors at an existing bar, and will be limited to the hours between 5:00 p.m. and 12:00 a.m. Monday through Thursday, 5:00 p.m. and 2:00 a.m. on Friday, 10:00 a.m. and 2:00 a.m. on Saturday, and 10:00 a.m. and 12:00 a.m. on Sunday.**
  2. Impact on surrounding areas resulting from an unusual volume or character of traffic.
    - **The proposed live entertainment use is not anticipated to impact existing traffic in the area. The live entertainment use will be accessory to the existing bar use.**
- B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.
  - **The site is surrounded by a mix of various bar, mixed use development (commercial and residential), offices, restaurant, retail, and other live entertainment uses. The proposed live entertainment use is an accessory use to the existing bar and is reasonably compatible with the existing uses in the surrounding area.**
- C. The additional conditions specified in Section 1.403, as applicable, have been satisfied. The proposal meets the provisions for Live Entertainment as identified in Zoning Ordinance

Section 1.403.K., including:

1. The applicant has provided and obtained City approval of a written Security and Maintenance Plan.
  - **The applicant has submitted a Public Safety Plan that has been approved by the City of Scottsdale Police Department (Attachment #5). This plan addresses the requirements of the Security and Maintenance Plan requirements.**
2. The applicant has provided written evidence that sound resulting from indoor live entertainment will be contained within the building, except where external speakers are permitted by Conditional Use Permit to allow indoor live entertainment to be heard outdoors.
  - **The proposed live entertainment Conditional Use Permit includes both indoor and outdoor areas for live entertainment performances. Speakers are provided on the patio, and are directed inward. In addition, no speaker will be provided on the top of the perimeter wall. The applicant has committed that the live entertainment, including performances by a disc jockey (DJ) or juke box will comply with the City's noise ordinance. The stipulations have been incorporated that require compliance with the City noise ordinance, as well as additional noise stipulations.**
3. The applicant has provided a lighting plan that addresses exterior lighting on the property, in accordance with Article VII. of the Zoning Ordinance and the Security and Maintenance Plan requirements.
  - **The applicant's lighting plan was submitted and approved with the Development Review Board application, 46-DR-2006. The applicant is not proposing to modify the site's exterior lighting.**
4. The applicant has provided a floor plan which identifies the areas for the primary use and for accessory functions, including but not limited to areas for performances.
  - **The applicant has provided a site and floor plan, Exhibit A to Attachment 1 that identifies the locations of the live entertainment. The plan identifies several areas in the building and out on the patio. The applicant's narrative states, and staff has stipulated, that no more than one live entertainment location may be use at any one time.**
5. If the establishment is not in the Downtown Area, and access to the establishment is from a street other than one classified by the Transportation Master Plan as minor collector or greater, the applicant shall provide a traffic analysis which complies with the City's transportation guidelines. The traffic analysis shall demonstrate that the level of service on all streets accessed by the use meets the City's standards.
  - **The establishment is in the Downtown Area.**



6. If the Zoning Administrator determines that a parking study is necessary the applicant shall provide a study which complies with the City's requirements.
  - **The Zoning Administrator has determined that a parking study is not required.**
7. The owner shall provide any additional information required by the Zoning Administrator to evaluate the impacts of the proposed use upon the area.
  - **No additional information has been required by the Zoning Administrator.**
8. All building openings such as doors, windows and movable wall panels shall be closed but not locked, except as permitted by Conditional Use Permit. Doors and service windows may be opened temporarily to allow passage.
  - **This application for a Conditional Use Permit for Live Entertainment includes allowing building opening between the patio and indoor restaurant during live entertainment performances. The recently completed patio structures and repositioned speakers have been incorporated to minimize sound from emanating from the premises.**
9. No external speakers used for live entertainment or outdoor live entertainment activities will be permitted on the premises of a use, which is located within five hundred (500) feet of a residential district shown on Table 4.100.A.
  - **No single-family residential district is located within five hundred (500) feet of the subject property. The nearest residential district to the subject property is approximately seven hundred (700) feet to the north. Closer residential uses existing in the vicinity including the apartments under construction across 75<sup>th</sup> Street are in the Downtown District, which is a mixed use district.**
10. The owner and operator shall comply with all plans approved as part of the Conditional Use Permit.
  - **The owner and operator has stated that they will comply with all plans approved as part of the Conditional Use Permit.**
11. All patron entrances shall be illuminated in accordance with the Building Code and the exterior lighting plans approved by the Development Review Board.
  - **An existing exterior lighting plan was submitted and approved by the Development Review Board, 46-DR-2006. Subsequent construction documents have been approved and permitted that demonstrate compliance with the Building Code.**
12. Noise generated from the live entertainment shall conform to the City's Noise Ordinance.
  - **The applicant has agreed that all live entertainment will conform to the City of**



**Scottsdale's Noise Ordinance.**

- The applicant has agreed to a condition of approval stipulation that noise generated from the live entertainment use shall not exceed sixty eight (68) decibels at a distance of one hundred (100) feet measured from the property line of the establishment.

**Public Safety**

The applicant has received approval of a Public Safety Plan from the Scottsdale Police Department. Over the timeframe (4 years) of the past two Conditional Use Permits for Live Entertainment (42-UP-2011 and 42-UP-2011#2), only one complaint has been received by the Scottsdale Police Department, which was resolved in a timely manner. No impacts are anticipated as a result of the proposed live entertainment use to existing police or fire services in the area.

**Community Involvement**

The applicant has notified all property owners within 750 feet of the site. In addition, the applicant held an open house regarding the proposed use on April 6, 2016. A summary of the Citizen Involvement is included as Attachment #6. The city also notified all property owners within 750 feet of the site. Prior to the open house meeting and the applicant sending a separate letter to the Condo Marquessa Association, staff received several phone calls and emails from the residents pertaining to the concern that this application was to modify and increase the allowed decibels levels than what was previously approved. Once the residents were correctly informed regarding this application, staff has not received any additional comments.

**OTHER BOARDS & COMMISSIONS**

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**Planning Commission**

Planning Commission heard this case on August 24, 2016 and recommended approval with a 6-0 vote.

**Staff's Recommendation to Planning Commission**

Staff recommended that the Planning Commission find that the Conditional Use Permit criteria have been met, and make a recommendation to City Council for approval, per the attached stipulations.

**STAFF RECOMMENDATION**

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**Recommended Approach:**

Find that the Conditional Use Permit criteria have been met and adopt Resolution No. 10561 approving a Conditional Use Permit for Live Entertainment on an existing +/- 9,609 square foot establishment with Downtown/Office Residential Type 2 Downtown Overlay (D/OR-2 DO) zoning located at 4341 N. 75th Street.

**RESPONSIBLE DEPARTMENT**

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Planning and Development Services  
Current Planning Services

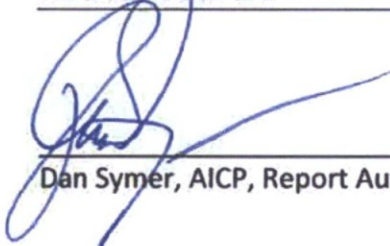
**STAFF CONTACT**

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Dan Symer, AICP  
Senior Planner  
480-312-4218  
E-mail: dsymer@ScottsdaleAZ.gov

**APPROVED BY**

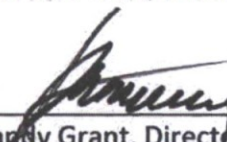
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\_\_\_\_\_  
Dan Symer, AICP, Report Author

\_\_\_\_\_  
Date 9/23/2016

  
\_\_\_\_\_  
Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

\_\_\_\_\_  
Date 9/22/2016

  
\_\_\_\_\_  
Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

\_\_\_\_\_  
Date 9/28/16

## ATTACHMENTS

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1. Resolution No. 10561  
Exhibit 1: Context Aerial  
Exhibit 2: Stipulations  
Exhibit A to Exhibit 2: Site Plan  
Exhibit 3: Additional conditions
2. Applicant's Narrative
3. Aerial Close-Up
4. Zoning Map
5. Public Safety Plan
6. Citizen Involvement
7. City Notification Map
8. August 24, 2016 Planning Commission minutes



RESOLUTION NO. 10561

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, ADOPTING A CONDITIONAL USE PERMIT FOR LIVE ENTERTAINMENT FOR AN EXISTING +/- 9,609-SQUARE FOOT ESTABLISHMENT WITH DOWNTOWN/OFFICE RESIDENTIAL TYPE 2 DOWNTOWN OVERLAY (D/OR-2 DO) ZONING LOCATED AT 4341 N. 75TH STREET.

WHEREAS, the Planning Commission held a public hearing on August 24, 2016; and

WHEREAS, the City Council, held a public hearing on October 10, 2016.

NOW, THEREFORE, LET IT BE RESOLVED, by the City Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. That the City Council finds:

- a) that the granting of this conditional use permit per stipulations set forth on Exhibit 2 will not be materially detrimental to the public health, safety or welfare based on, but not limited to, the following factors: damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination and impact on surrounding areas resulting from an unusual volume or character of traffic;
- b) that the characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas; and
- c) that compliance with the additional conditions for live entertainment, set forth on Exhibit 3, is required.

Section 2. That a description of the conditional use permit is set forth in Case No. 42-UP-2011#3. The property that is subject to the conditional use permit is shown on Exhibit 1 and the conditional use permit approval is conditioned upon compliance with all of the stipulations that are set forth in Exhibits 2 and 3. All exhibits are incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

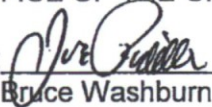
ATTEST:

CITY OF SCOTTSDALE, an Arizona  
Municipal Corporation

By: \_\_\_\_\_  
Carolyn Jagger  
City Clerk

By: \_\_\_\_\_  
W.J. "Jim" Lane  
Mayor

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY

By:  \_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Joe Padilla, Deputy City Attorney





**Boondocks Patio & Grill**

Resolution No. 10561  
Exhibit 1  
Page 1 of 1

**42-UP-2011#3**



## **Conditional Use Permit – Live Entertainment**

### **Stipulations:**

### **Boondocks Patio & Grill for Case Number: 42-UP-2011#3**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

#### **GOVERNANCE**

1. **APPLICABILITY.** All stipulations of this case, 42-UP-2011#3, supersede all of the stipulations of cases 42-UP-2011, 42-UP-2011#2, 21-UP-2007 and 21-UP-2007#2 for a Bar continue to apply, as amended.

#### **OPERATIONS**

2. **CONFORMANCE TO THE CONCEPTUAL SITE AND FLOOR PLAN.** The interior layout of the premises shall be in substantial conformance with the conceptual site and floor plan submitted by Aline Architecture and with the city staff date of 04/22/2014, attached as Exhibit A to Exhibit 2. Any proposed significant change to the conceptual site and floor plan as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
3. **HOURS OF LIVE ENTERTAINMENT.** The hours of the live entertainment for this establishment shall be limited to:

	Allowed Start of the Live Entertainment	To	Required End of the Live Entertainment
Sunday	10:00 a.m.	To	12:00 a.m.
Monday	5 p.m.	To	12:00 a.m.
Tuesday	5 p.m.	To	12:00 a.m.
Wednesday	5 p.m.	To	12:00 a.m.
Thursday	5 p.m.	To	12:00 a.m.
Friday	5 p.m.	To	2:00 a.m.
Saturday	10:00 a.m.	To	2:00 a.m.

4. **PUBLIC SAFETY PLAN.** The live entertainment shall conform to Public Safety Plan approved by, and on record with the City of Scottsdale's Police Department and the Planning and Development Services Department. A copy of the approved Public Safety Plan shall be maintained on site. Within 10 days after a request by the City Manager or designee, the owner shall provide an update of the Public Safety Plan to the Scottsdale Police Department and the Planning and Development Services Department. At least ten (10) days before any operational change of the live entertainment, or any promotional event (excluding Special Events), that modifies the requirements or contents of the Public Safety Plan, the owner shall submit a revised Public Safety Plan to the Scottsdale Police Department and the Planning and Development Services Department. Any revised Public Safety Plan shall be

subject to approval by the City of Scottsdale's Police Department and Planning and Development Services Department.

5. LOCATIONS OF LIVE ENTERTAINMENT. No more than one live entertainment location identified on the site and floor plan may be used for a live entertainment performance at any one time.
6. USE OF SOUND AMPLIFICATION. Live entertainment shall use the building sound amplification and speaker system to amplify live entertainment performances, or a portable amplification system with a maximum of two portable speaker cabinets. Each portable speaker cabinet shall be limited to two speakers.
7. OUTDOOR SPEAKERS. The outdoor speakers shall be limited number and locations indicated on the site and floor plan. The number and locations indicated on the site/ floor plan does not include the two portable speaker cabinets indicated in stipulations number 6. When utilized, the two portable speaker cabinets shall be located in the live entertainment area identified on the site and floor plan that currently being utilized for the live entertainment performance.
8. NOISE. Noise generated from the live entertainment use shall not exceed sixty eight (68) decibels at a distance of one hundred (100) feet measured from the property line of the establishment.
9. NOISE. In addition to the City's Noise Ordinance (Ordinance No. 3192, Article II, Chapter 19 of the Scottsdale Revised Code) and condition number 9 above, noise generated from performances by a disc jockey (DJ), or music played on a juke box, and any speakers or other amplification equipment, shall not exceed ambient noise levels consistent to the use and the character of the area during hours of operation, as determined by the Zoning Administrator, or designee.

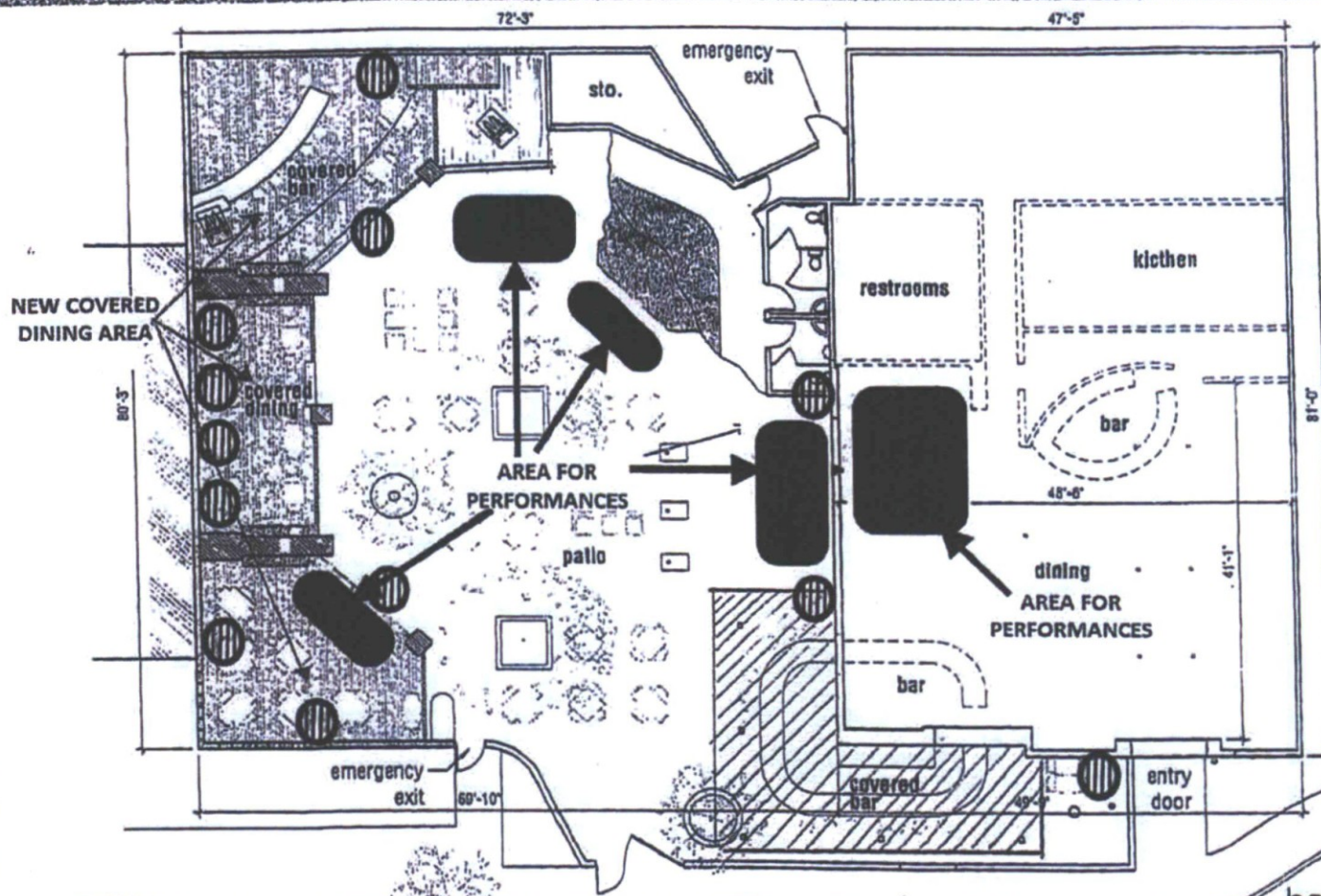
#### **PARKING**

10. PARKING ASSURANCE AGREEMENT. Thirty (30) days before the expiration of the assurance agreement, the owner shall submit a new assurance agreement to the Zoning Administrator, subject to city review and approval. If the owner is unable to obtain the required parking under an assurance agreement, to the satisfaction of the Zoning Administrator or designee, it may be grounds for a revocation the Conditional Use Permit.

#### **ADMINISTRATIVE PROCESS**

11. CONDITIONAL USE PERMIT ADMINISTRATIVE REVIEW. Within ten (10) days after a request by the Zoning Administrator or designee, the owner, shall submit a letter to the Zoning Administrator or designee demonstrating compliance with all stipulations. A deviation from any stipulations or change in the floor plan may be grounds for revocation of the Conditional Use Permit.
12. CHANGES IN OWNERSHIP. Within ten (10) days after a change in ownership, the owner shall provide notice to the Zoning Administrator in writing of any such ownership change.





 **OUTDOOR SPEAKER LOCATIONS**

**NOTE: NO MORE THAN ONE PERFORMANCE  
AREA WILL BE UTILIZED AT ANY ONE TIME**

**boondocks**  
4341 n. 75th. street  
date: january 21, 2014



K.

*Live entertainment.*

1.  
The applicant has provided and obtained City approval of a written Security and Maintenance Plan.
2.  
The applicant has provided written evidence that sound resulting from indoor live entertainment will be contained within the building, except where external speakers are permitted by Conditional Use Permit to allow indoor live entertainment to be heard outdoors.
3.  
The applicant has provided a lighting plan that addresses exterior lighting on the property, in accordance with Article VII. of the Zoning Ordinance and the Security and Maintenance Plan requirements.
4.  
The applicant has provided a floor plan which identifies the areas for the primary use and for accessory functions, including but not limited to areas for performances.
5.  
If the establishment is not in the Downtown Area, and access to the establishment is from a street other than one classified by the Transportation Master Plan as minor collector or greater, the applicant shall provide a traffic analysis which complies with the City's transportation guidelines. The traffic analysis shall demonstrate that the level of service on all streets accessed by the use meets the City's standards.
6.  
If the Zoning Administrator determines that a parking study is necessary the applicant shall provide a study which complies with the City's requirements.
7.  
The owner shall provide any additional information required by the Zoning Administrator to evaluate the impacts of the proposed use upon the area.
8.  
All building openings such as doors, windows and movable wall panels shall be closed but not locked, except as permitted by Conditional Use Permit. Doors and service windows may be opened temporarily to allow passage.
9.  
No external speakers used for live entertainment or outdoor live entertainment activities will be permitted on the premises of a use, which is located within five hundred (500) feet of a residential district shown on Table 4.100.A.
10.  
The owner and operator shall comply with all plans approved as part of the Conditional Use Permit.
11.  
All patron entrances shall be illuminated in accordance with the Building Code and the exterior lighting plans approved by the Development Review Board.
12.  
Noise generated from the live entertainment shall conform to the City's Noise Ordinance.



Boondocks Patio & Grill

4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251

Conditional Use Permit Application Narrative

Boondocks Patio & Grill has applied for a Conditional Use Permit for the purpose of live music at the establishment. This property is well established in the community and has had a restaurant/bar use since 1962. At this point, the establishment has had a Conditional Use Permit for live music for the past four (4) years. The original Conditional Use Permit at this property was for Spanish Fly Lounge (Case#42-UP-2011) and it expired 4/13/2013. The currently active Conditional Use Permit was renewed 7/1/2014 and is set to expire on 7/1/16. Resolution No 9805 found:

- a. That the granting of this conditional use permit per stipulations set forth on Exhibit 2 will not be materially detrimental to the public health, safety or welfare based on, but not limited to, the following factors: damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination and impact on surrounding areas resulting from an unusual volume or character of traffic;
- b. That the characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas; and
- c. That compliance with the additional conditions for live entertainment, set forth on Exhibit 3, is required

The hours of live entertainment use would be Monday through Thursday from 5pm to 12am. Friday from 5pm to 2am, Saturday from 10am to 2am and Sunday from 10am to 12am. The area for live music is displayed in the attached floor configuration.

Conditional Use Permit Criteria for Live Entertainment

1.401 Conditional Use Permit Criteria

A. That the granting of such conditional use permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:

1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
  - The property has a Conditional Use Permit for Live Entertainment that has been in place since July 2014. The previous Conditional Use Permit for Live Entertainment was in place from April 2012 (Case Number 42-UP-2011). No damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination is anticipated. The music from the live entertainment will conform to the City of Scottsdale's Noise Ordinance. No formal complaints were filed during the previous or current use permit for live entertainment duration.
2. Impact on surrounding areas resulting from an unusual volume or character or traffic.

- The proposed live entertainment is not anticipated to affect the surrounding areas with an unusual volume or character or traffic. The proposed live entertainment is primarily an accessory use to the function of the restaurant and bar operations. The proposed live entertainment will be similar to the live entertainment that has been active for the previous two years.

B. The characteristic of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.

- The property has operated as a bar/restaurant since 1962 and has been compatible with the types of uses permitted in the surrounding areas. There are currently several office, bar, mixed use, restaurant and other live entertainment uses existing in the area. The proposed live entertainment is primary an accessory use to the function of the restaurant and bar operations. The proposed live entertainment uses will continue what has been the regular operations of the current establishment.

C. The additional conditions specified in Section 1.403, as applicable, have been satisfied.

- See below

#### 4.403.K Live Entertainment.

1. The applicant has provided and obtained City approval of a written Security and Maintenance Plan

- Security and Maintenance Plan was submitted when opening business as Boondocks Patio & Grill and renewed. A copy of that Security Plan has been submitted with this application

2. The applicant has provided written evidence that sound resulting from indoor live entertainment will be contained within the building, except where external speakers are permitted by Conditional Use Permit to allow indoor live entertainment to be heard outdoors.

- The live entertainment conditional use permit includes both indoor and outdoor areas. There are two, large, covered, fire sprinkler certified patios constructed in the open patio. One on the north wall and one on the west side of the building. The roof is pitched in a direction to keep sound inside the property. Small speakers are located under the roofing structure to allow for ambient sound under the structure and are all facing down and in towards the patio. There has been no change to the structure or speaker location since the previous Use Permit had been issued.
- Live entertainment performed indoor, on the patio or under the patio structure will all be contained within the property and will comply with the City's Noise Ordinance regardless of whether music is live entertainment, DJ or Juke Box.

3. The applicant has provided a lighting plan that addresses exterior lighting on the property, in accordance with article VII. Of the Zoning Ordinance and Security and Maintenance Plan requirements.



- The existing exterior lighting plan was submitted and approved for the property. This plan is on file with the Planning, and Development Services Division.
4. The applicant has provided a floor plan which identifies the areas for the primary use and accessory function, including but not limited to areas for performances.
- Floor plan included with the application has the performance areas noted
5. If the establishment is not in the Downtown Area, and access to the establishment is from a street other than one classified by the Transportation master Plan as minor collector or greater, the application shall provide a traffic analysis which complies with the City's transportation guidelines. The traffic analysis shall demonstrate that the level of service on all streets accessed by the use meets the City's standards.
- Establishment is in the Downtown area
6. If the Zoning Administrator determines that a parking study is necessary, the applicant shall provide a study which complies with the City requirements.
- The Zoning Administration has determined that a parking study is not required
7. The owner shall provide any additional information required by the Zoning Administrator to evaluate the impacts of the proposed use upon the area.
- No additional information has been requested by the Zoning Administrator
8. All building openings such as doors, windows and movable wall panels shall be closed but not locked, except as permitted by Conditional Use Permit. Doors and service windows may be opened temporarily to allow passage.
- The proposed conditional use permit includes building openings between patio and the indoor restaurant to be opened during any live music performances indoor or on the patio. The north structure, the west roofing and the placement of the speakers allow music to be heard inside the establishment and on the patio during any live music. There has been no changes to the structure or speaker positions since the current Use Permit has been issued. The City's Noise Ordinance regulations will be adhered to regardless of type of music being played. Live music indoors, on the patio, DJ, jukebox or background music played through our sound system.
9. No External speakers used for live entertainment or outdoor live entertainment activities will be permitted on the premises of a use, which is located within five hundred (500) feet of a residential district shown on Table 4.100.A.
- There is not a residential district shown on Table 4.100.A located within 500 feet of the property
10. The owner and operator shall comply with all plans approved as part of the Conditional Use Permit

- The owner and operator will comply with all plans approved as part of the Conditional Use Permit

11. All patron entrances shall be illuminated in accordance with the Building Code and the exterior lighting plans approved by the Development Review Board.

- The existing exterior lighting plan was submitted and approved with Development Review Board and are compliant with building codes. Construction documents were previously approved and permitted. All city inspections pertaining to these plans and documents have been completed.

12. Noise generated from the live entertainment shall conform to the City's Noise Ordinance.

- All noise from live entertainment will conform to the City of Scottsdale's Noise Ordinance.

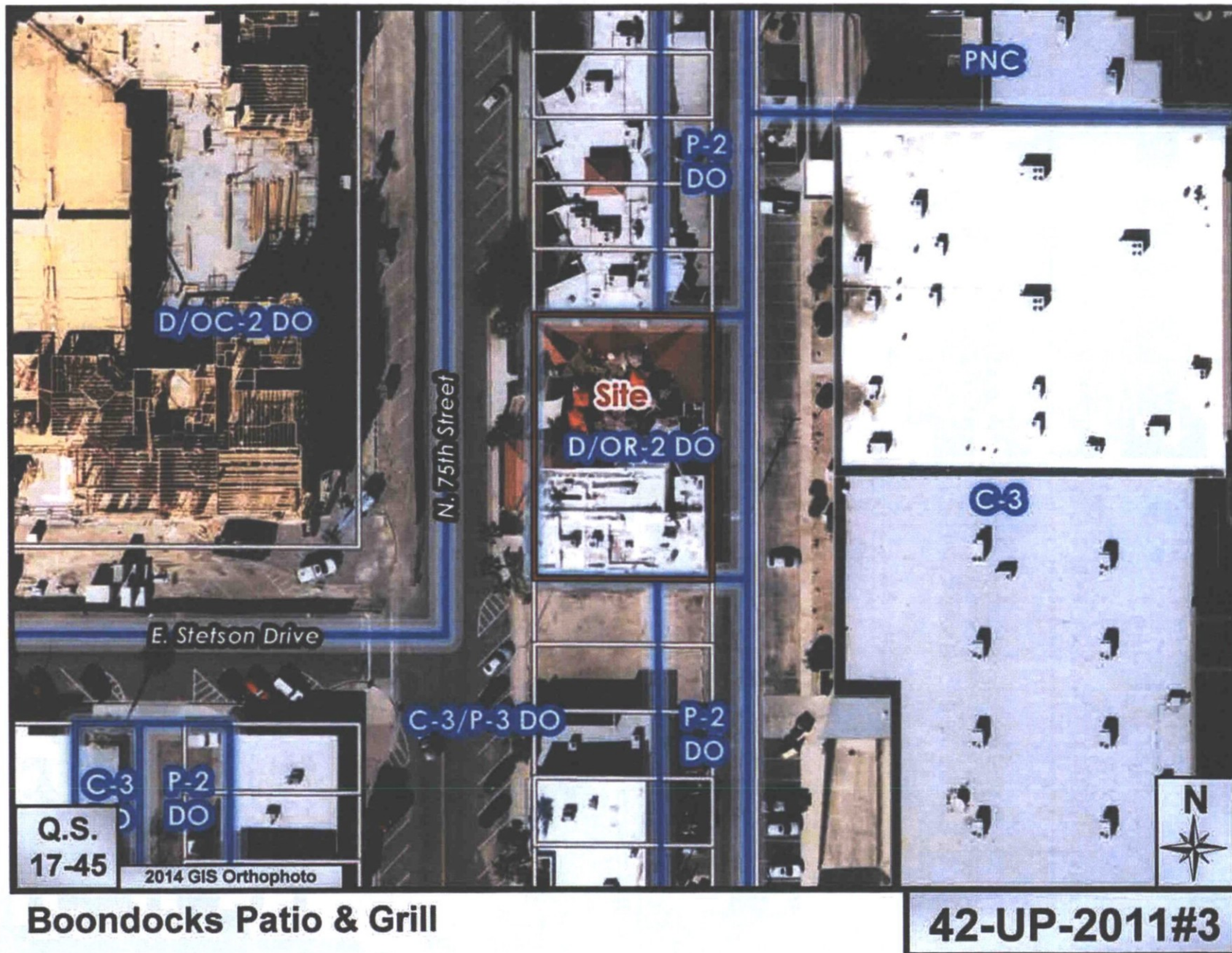




**Boondocks Patio & Grill**

**42-UP-2011#3**







SPD File# 400791  
Returned for Corrections: \_\_\_\_\_  
Expiration Date: 050618  
CoS TPT \_\_\_\_\_



Date Submitted: 040716  
Date of Approval: 050616  
Liquor License #: 06070240  
CoS Spirituous Liquor \_\_\_\_\_

## City of Scottsdale Public Safety Plan Application

### 1. Objective:

The purpose of this ordinance is to promote the general health, safety and welfare of citizens, visitors, businesses and the community in general by requiring businesses that engage in certain activities within the city to file, follow and keep current a public safety plan.

### 2. Identification:

- A. Scottsdale Address: 4341 N. 75th St. Scottsdale AZ 85251  
B. SFD Building Occupancy Limit: 193 + 220 = 413 (inside + patio)  
C. Occupancy Type (circle one): A-2 (bar, tavern, night club, restaurant), A-3 (dance hall), or A-4 (skating rink, WestWorld)  
D. Staffing Ratios:  
a. 1:50+1:75 (500+Patrons)      1:75 (60% Food Sales)      1:100 (90% Fixed Seating)  
b. You must include supporting documentation for ratios of 1:75 and 1:100.  
E. Company Entity (Corporation, LLC, Partnership, etc): SCOTTSDALE BANDOCKS LLC  
F. DBA (doing business as): BOONDOCKS PATIO & GRILL  
G. Company Members: (please use addendum, if necessary):  
45% JACOB KORY BLAKE KORY, GABRIEL KORY 10%.  
H. Contact Information:  
a. Mobile Phone: 480 202 3203  
b. Business Phone: 480 949 8454  
c. Email: jacobokory@gmail.com  
d. In Case of Emergency: JACOB KORY 480 202 3203

### 3. APPLICABILITY: This application for a Public Safety Plan is submitted because my business engages in the following activity(ies) (MARK ONE OR MORE ACTIVITIES IN WHICH YOU ENGAGE):

- ☒ Age Verification is Requested for Admittance.  
☐ Provide a Disc Jockey  
☐ Provide an Adult Service as Defined in Section SRC 16-237  
☐ Teen Dances, Consistent with Section SRC 16-391, are conducted.  
☐ A Promoter is Utilized.

### 4. PLAN OF OPERATION:

- a. The plan of operation includes a crowd management plan, hours of operation, and identification of peak hours (presumption: 9PM-2AM, Thursday-Saturday):

Hours of Operation:

Monday: 11am - 2am  
Tuesday: 11am - 2am  
Wednesday: 11am - 2am  
Thursday: 11am - 2am  
Friday: 11am - 2am  
Saturday: 11am - 2am  
Sunday: 11am - 2am

Initials of Applicant

I HAVE RECEIVED AN APPROVED  
COPY OF MY PUBLIC SAFETY PLAN <sup>PI</sup>

ATTACHMENT #5

42-UP-2011#3  
5/11/2016



Peak Hours:

Monday: NONE  
Tuesday: NONE  
Wednesday: NONE  
Thursday: NONE  
Friday: 10pm - 12am  
Saturday: 10am - 12am  
Sunday: NONE

5. NARRATIVE:

a. YOU MUST ATTACH A NARRATIVE OF YOUR PLAN OF OPERATION TO THIS APPLICATION WHICH INCLUDES THE FOLLOWING ELEMENTS:

- i. Diagram of Building Including Interior Build-Outs; 8.5"x11" (see example)
- ii. Diagram of Parcel or Lot; 8.5"x11" (see example)
- iii. Scottsdale Fire Department Approved Occupancy Limit
- iv. Safety Conditions and Considerations
- v. Crowd Management Plan
- vi. Patron Parking, Ingress, Egress, Vehicular and Pedestrian Traffic Control
- vii. Log of All Employees Including: Full Legal Name, Date of Birth, Current Address, Job Title, and Contact Phone Number (see SRC 23-57 for special requirements and ratio of security officers to patrons) (Similar to the Title 4 Requirements)
- viii. Contact Person and Information Designating Who Is Authorized to Receive and Handle Complaints from the Public or City of Scottsdale on Behalf of the Business
- ix. Evacuation Routes
- x. Evidence of Security Uniform With the Word "Security" on Both Front and Back and In Letters At Least 3-Inches in Height (see SRC 23-57.F)
- xi. Statement Regarding the Number of Security Staff Available During Peak Times and the Ratio of Security Staff to Patrons
- xii. Statement Regarding Use, If Applicable (i.e. 60% food sales, 90% fixed seating)

6. All final documents, including the narrative required by Section 5, submitted in support of this public safety plan application are incorporated into the approved public safety plan as conditions and requirements by this reference.
7. The provisions of Scottsdale Revised Code Sections 23-50 through 23-76 are incorporated into this public safety plan as conditions and requirements by this reference. Failure to comply with these code sections shall be considered a violation of this public safety plan.

As part of this application, I have read and understand the City of Scottsdale Public Safety Plan Ordinance. On behalf of Bonacks, I agree that Bonacks, and its employees will comply with the Public Safety Plan Ordinance and its City approved public safety plan. I also certify that all the information submitted as part of this application is true and correct to the best of my knowledge.

  
Signature of Applicant

 5/16/16

3/20/16  
Date Signed

Please email the completed application to: [PSP@ScottsdaleAZ.gov](mailto:PSP@ScottsdaleAZ.gov)

Initials of Applicant 



## Public Safety Plan - Contact Persons

The following persons are designated to receive and handle complaints from the public or City of Scottsdale:

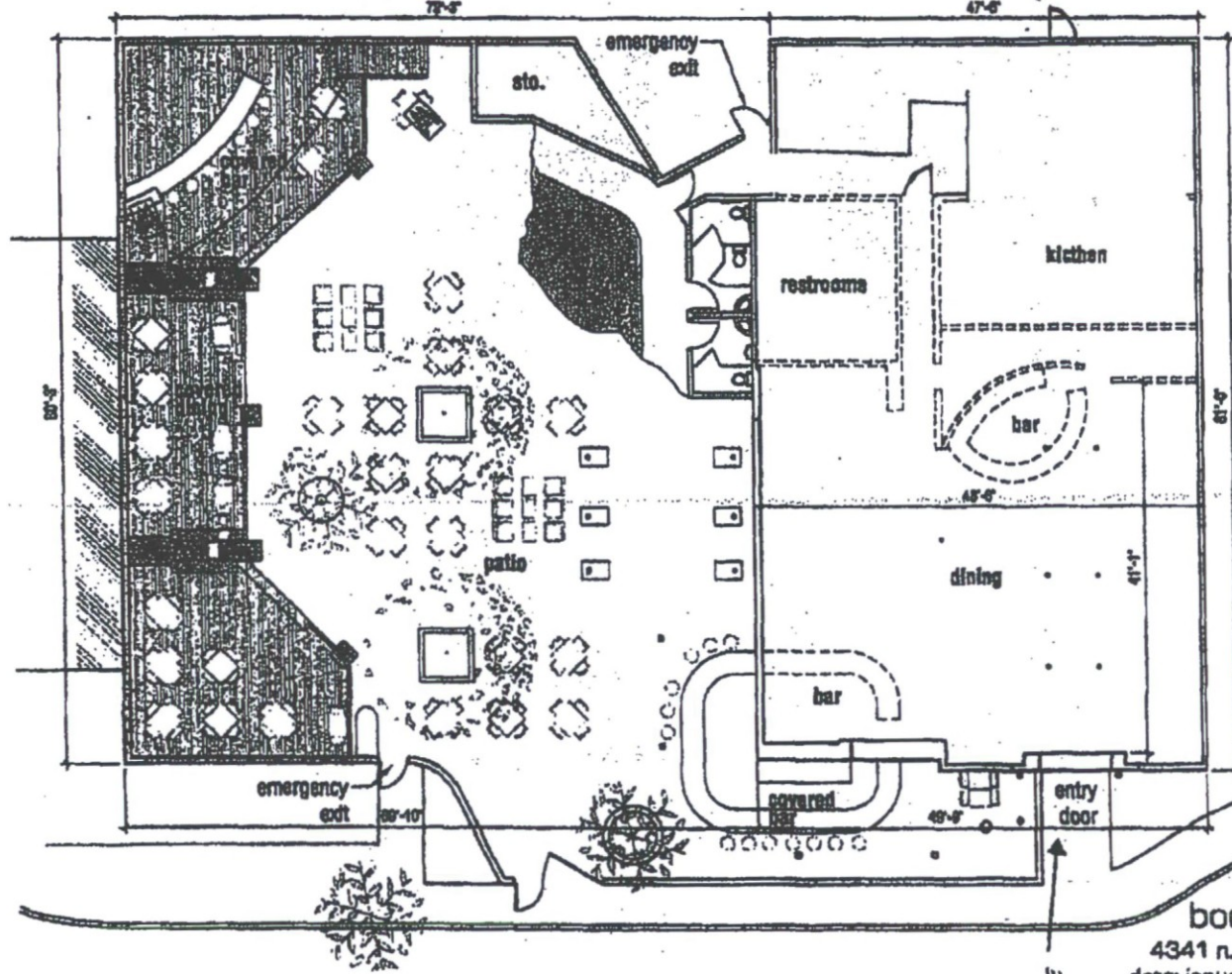
Name	Position	Contact#
JACOBO KEY	OWNER	480.202.3203
TIM FETTING	GM	480.236.7621

Submitted by: \_\_\_\_\_

All information must be current. (per SRC 28-55)



Negative ?



EMERGENCY EXIT

emergency exit

emergency exit

sto.

restrooms

kitchen

bar

dining

bar

covered bar

entry door

boondocks  
4341 n. 75th. street  
date: january 21, 2014



Main Entrance



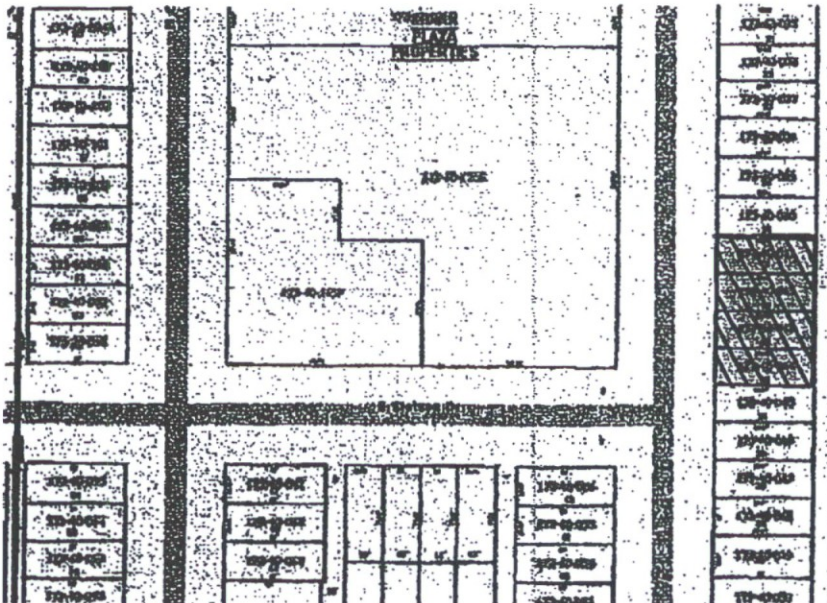
Handwritten signature or initials.



Handwritten signature or initials.

**Diagram of Parcel**  
**Boondocks Patio & Grill**  
**4341 North 75<sup>th</sup> Street, Scottsdale, AZ 85251**





PARCEL NUMBER

173-40-041  
 173-40-042  
 173-40-043  
 173-40-044

*[Handwritten signature]*

*[Handwritten signature]*



**Scottsdale Police Department  
Public Safety Plan**


**Boondocks Patio & Grill  
4341 North 75<sup>th</sup> Street  
Scottsdale, AZ 85251**

**Statement Regarding Maximum Occupancy**

**We have not yet received a Certificate of Maximum Occupancy from the  
Scottsdale Fire Department (SFD).**

**Our maximum occupancy, as identified by the SFD is 418-persons, with 198-  
person capacity inside and a 220-person capacity on the patio.**

**We agree to provide the Scottsdale Police Department with a copy of our  
Certificate of Maximum Occupancy upon receipt.**

~~OWNERSHIP DISCLOSURE~~ 



## NARRATIVE CV

1

**Welcome to the Boondocks Patio & Grill Team! Boondocks prides itself on our amazing staff and outstanding customer service.**

**The following manual will help you understand your job duties as a security team member and how to properly perform them.**

### Job Duties Overview

The primary job duties as a security personnel employee of Boondocks Patio & Grill are as follows:

- Check the legal age of patrons
- Provide a safe environment by enforcing house rules and state laws.
- Perform fundamental safety tasks.
- Provide security for both staff and patrons.
- Monitor individuals based on occupancy, intoxication and aggressive behavior.
- Reduce liability by anticipating problematic patron behavior.
- Keep items such as chairs, tables, glassware ect out of exit ways and organized to reduce the risk of injury to staff and guests.
- Monitor all exits and inform patrons of acceptable exits during a non emergency.

**Floor Chart:** There are 3 main floor positions for Security team members. Positions will be posted each shift. Your floor position for each shift will often change, so it is imperative you take the time to understand each of the positions and the duties associated with each of them. Learning the table numbers, bar names, exit names and general layout of Boondocks is extremely important. When there is a need for a table to be cleared, clean and clear the table being as polite, accommodating as possible to guests. It is also important to know your fellow employees names. Often you will be called to help out a certain individual with their duties and it is not only important for you to know who your co-workers are, but for co-worker to trust you to help in their safety should it be needed.

**Front Door:** Checking IDs, allowing guests in and out, managing line, making sure no drinks or glassware leave the premise, managing persons count. In addition to the mentioned duties, there may be at times a dress code that will be enforced. The Front Door team member is the first person that is representing Boondocks when a customer arrives. It is extremely important to make that customer feel welcome and accepted into Boondocks. We are a neighborhood bar and our goal is to make the customer feel that Boondocks is their bar. \*NOTE: there is always at least one person at our entrance no matter what is going on.\*

**Interior Bar:** Supporting the door, making sure no one enters through another emergency exit to the building. Making sure patrons do not enter "back of the house" areas. Making sure no drinks or glassware leaves the premise, helping gather glassware on tables, watching patrons in your section, cleaning up any spills or broken glassware. You might also be asked to seat or check on patrons making it important to know table numbers and sections. Making sure that pool table, video games, dart boards ect are being used in a safe manner.

**Patio:** Supporting the door, making sure no one enters through another emergency exit to the building. Making sure no one jumps the patio fence in either direction: in or out. All exiting patrons should be guided to the designated exit door and checked for any beverage or glassware leaving. Watching patrons in your section, cleaning up any spills or broken glassware. Collecting glassware in the vicinity, clearing tables and making sure that outdoor games are being used in a safe manner.

**Front Door:** The Front Door position is critical to the proper flow and smooth workings of the entire establishment. There are several key points to making sure the front door is working efficiently and properly.

Boondocks Patio & Grill

Applicant Initials





**Age Verification:** It is one of the most important roles of door personnel to check and verify the legal age of patrons entering the establishment. Precautions should be taken at the door to cover liability issues. The four steps in checking ID are First, ask for ID. Second, insure the ID is valid (on of the five acceptable forms) and unaltered. Third compare the presenter with the photograph. Lastly, make sure the ID indicates the patron is 21 or older. Boondocks Policy is to log all persons under the age of 25-years old. Arizona law states that if you allow an underage person inside WITHOUT LOGGING THEIR ID IT IS PRESUMED YOU KNEW THEY WERE UNDERAGE.

**Wrist Bands:** If wristbands are utilized to identify persons who are old enough to consume/possess alcoholic beverages, wristbands will be securely placed on patrons' wrists and checked for tightness.

**Occupancy Count:** It is imperative that the door personnel know the maximum occupancy of the establishment to comply with Fire Marshal regulations. Clickers are used at the entrance and exit points in order to keep track of occupancy and to assure that maximum occupancy is not exceeded. If the Fire Marshal does come by to check local fire regulations, be sure to contact the manager on duty and inform them. The maximum occupancy at Boondocks is \_\_\_\_\_ patrons inside, and \_\_\_\_\_ patrons outside for a total occupancy of \_\_\_\_\_ persons.

**Line:** During busy nights, a line is a common occurrence as patrons try to enter the establishment as the occupancy approaches peak numbers. It is important to remember to start a line before maximum occupancy is reached. This allows you some room to work without exceeding the maximum occupancy. Things to pay attention to while forming a line are large parties on the guest list and regulars. Allowing yourself room to work with assures you that when VIP patrons or regulars arrive you can quickly grant them access without exceeding maximum occupancy. Attention to the flow to the establishment is also important. Allowing enough room for people to move and enjoy themselves without being too cramped in is for the enjoyment and safety of our customers.

**Dress Code:** The purpose of our dress code is to keep and promote the proper atmosphere which is greatly influenced by the crowd. Boondocks is a casual, neighborhood bar so common sense when making decisions is a must. The dress code required by Boondocks relates to the safety and well being of our patrons and staff. If the attire does not fit the atmosphere of the establishment, be polite and explain why entry is being denied. If a customer is respectfully asking for the manager on duty go ahead and find the manager and explain the situation. If the manager decides that the patron is ok, an exception to the dress code may be made.

**Patrons Behavior:** If a patron trying to gain entry into Boondocks seems overly intoxicated or aggressive, politely refuse him entry. It is illegal to grant entry to a person who is obviously intoxicated. By refusing entry at the door you can prevent issues inside.

**Interior / Patio:** While working inside and on the patio as a security team member it is important to be diligent and attentive to your surroundings. The safety and satisfaction of our customers is our top priority. The following key points will help guide you in the right direction to offer the best experience for our guests.

**Patrons:** One of the main job duties of a security is to maintain a fun and safe atmosphere for our guests, staff, and musicians. You will have to deal with rude or unruly guests. The Boondocks policy when dealing with an unruly patron is non-confrontational. Communication is critical: Instead of being aggressive when dealing with unruly guests, be polite and explain the issue and what needs to be done to correct it. This could be as simple as telling the patron they cannot stand on the tables, or explain to them why they must leave the premises. Be on the lookout for guests who are too intoxicated, bumping into other patrons, or engaging in any activity that disrupts the atmosphere of the establishment. If you escort a patron out ask if they need a cab or help them provide safe transportation every time.

**Obvious Intoxication:** Arizona Revised Statutes, 4:244.14 states that "obviously intoxicated" means inebriated to the extent that a person's physical faculties are substantially impaired and the impairment is shown by significantly uncoordinated physical action or significant physical dysfunction that would have been obvious to a

Boondocks Patio & Grill

Applicant Initials



reasonable person. Obviously intoxicated patrons must be removed from the licensed establishment within 30 minutes of when the licensee or employee of the licensee knew or should have known the patron was obviously intoxicated. If you escort a patron out ask if they need a cab or help them provide safe transportation every time.

**Fights:** When a physical altercation does happen, it is your job as security to be as professional and effective in escorting the parties off the premises. This also goes for patrons that are overly intoxicated. Security shall not use excessive physical force; doing so will lead to disciplinary action. Please read and sign the Security Personnel Policy and liability Consent Form located in this document. Make sure if you do escort a patron out for the night that the door personnel are aware of the status of that patron. If a patron is involved in a fight, they are out with no questions. All fights must be reported to the manager on duty and an incident report shall be filled out. When filling out the incident report be sure to be thorough and detailed in your explanation of the account. Remember, patrons who are disorderly must be removed immediately from the serving area.

**Safe Ride Home:** If a patron is perceived to be obviously intoxicated, they will be offered a taxi, limo, or other means of safe transportation so that they will be dissuaded from driving. If they choose to drive contrary to security staff's advice, Scottsdale Police Department will be contacted. Additionally, an incident report documenting the offer must be produced and provided to a manager for each patron offered a safe ride home.

**911:** In case of a fire or other emergency, patrons will be evacuated through all emergency exits away from the threat. If you do not have personal knowledge that emergency services have been contacted, you must call 911 immediately.

**House Rules and Laws:** Boondocks Patio & Grill has it's own set of house rules to be enforced by security as well as making sure local laws are being followed. Make sure you know and understand these rules. Understanding the liquor laws are also highly important. It is highly encouraged that you as a security team member attend a liquor class in order to better understand, follow and assure these regulations are being followed.

Basic Rules are as follows:

1. No standing on the furniture
2. Customers may only smoke outside
3. Customers may not pour their own bottles, bottle locks must be used
4. No drinks or glassware outside the establishment (patio is ok)
5. Fighting, aggressive behavior, over intoxication and illegal substances are not tolerated.
6. Taking pictures of the staff so that they may feel uncomfortable is not tolerated.
7. Grabbing or inappropriate touching of staff is not tolerated.

**Cooperation With Scottsdale Fire Department:** The Scottsdale Fire Department makes sure that Boondocks Patio & Grill is adhering to fire codes and occupancy restrictions. If the Fire Marshal contacts you while at work be sure to notify the manager on duty immediately. The front door count is very important. It is important that the door count is accurate and that the maximum occupancy of \_\_\_\_\_ patrons is not exceeded. Make sure all exits are clear from obstructions, including the back exits. Make sure there are no spills or broken glass left unattended.

**Cooperation with Law Enforcement:** The Arizona Department of Liquor Licenses and Control (ADLLC) is comprised of sworn officers that enforce local and state liquor laws. It is important that you, as a security member, know the basic law. ADLLC and/or SPD may also ask you questions as an employee of Boondocks Patio & Grill to test your knowledge of these laws. Property checking IDs is a critical duty of the security staff. Making sure you can recognize fake IDs is extremely important. Some IDs may also be real but do not belong to the person handing it to you. In this case, closely examining the picture to match it to the person is imperative. Look at things like weight, eye color, height and any distinct facial features. Ask questions such as what year they graduated from high school.

Boondocks Patio & Grill

Applicant Initials



**Employee Dress Code:** It is important you are dressed in your Security uniform, jeans or shorts and comfortable shoes that are appropriate for work. Hats are ok, as long as they are approved by management.

**Closing Duties:** The closing duties checklist covers all closing duties for Security staff members. At the end of each night you will be assigned closing duties. The checklist will explain what is involved in each closing duty. When you are finished with your closing duty, make sure you check out with management before clocking out and leaving.

**SECURITY CLOSING PROCEDURES CHECKLIST \*\*Security staff is to checkout with management before leaving\*\***

1. **Trash:** Trash is to be taken out every night. Trash bags must also be changed on a nightly basis. Once the trash cans have been dumped and re-bagged they are to be arranged neatly by the bar. Remember to close the dumpster once you dump all of the trash. Should trash cans be dirty due to a ripped trash bag, rinse the trashcan and re-bag.
2. **Bar:** The bar mats must be taken out nightly, hung on the bar mat hanger, rinsed and the bar mat hanger must be rolled back into the walk in cooler walkway storage for air drying. All restrooms must be cleared of trash and patrons. All TV's must be turned off and covered. All gas lamps must be turned off and gas shut off.
3. **Perimeter Sweep Front, Side and Back Alley:** On a nightly basis the front, side and back perimeter must be thoroughly swept. All trash, including cigarettes, napkins, bottles, straws and other assorted trash must be cleaned up. A flashlight is to be used during the sweeping process to insure all trash is swept up and removed. Trash in bushes, gravel and dirt in the front, side and back of Boondocks must either be swept or picked up by hand. Boondocks Patio & Grill is a neighborhood establishment. Boondocks will make it our responsibility to make sure the "neighborhood" is kept free of trash, even if it is not ours. Nightly, you will walk along 75<sup>th</sup> St as well as in the alley behind Boondocks to pick up any trash in our neighbors landscaping or parking. (bottles, cans, flyers, plastic cups, fast food bags ect) When walking away from Boondocks you will go in groups of no less than two to ensure safety and communication.
4. **Patio:** The patio is to be swept on a nightly basis and re-set. The patio and bar needs to be secured and locked.
5. **Chairs:** Chairs should be re-set and inspected at the end of each shift to ensure that they are clean and in a good condition. Any broken chair should be removed and reported to management so a replacement may be secured.
6. **Miscellaneous:** Make sure that all patrons have left the establishment safely, all items left by patrons are turned into management and all exits are secured.

**SECURITY PERSONNEL POLICY AND LIABILITY CONSENT FORM**

The primary job duties of the Security Personnel (Door Host / Bouncers) are to check the legal age of patrons entering the establishment, ensure and enforce the house rules, perform fundamental public safety tasks, provide basic security to both the establishment and the patrons and to monitor entry of individuals on the basis of occupant capacity, intoxication and /or aggressive behavior. Due to these job duties, Security Personnel may be given the capacity to carry out certain, fundamental safety tasks.

These task include but are not limited to enforcing the house rules, escorting disorderly patrons out of the establishment, and/or prohibiting entry into the establishment for any due cause. While the performance of some essential job duties may require reasonable force, the safety of all patrons must be taken into consideration. Boondocks Patio & Grill expressly prohibits the use of excessive force in the performance of any essential job duty in any situation. Boondocks Patio & Grill has a **NO STRIKE POLICY**, meaning that no staff member will strike a patron or employee unless it is absolutely necessary in a self-defense situation or the defense of an innocent person. If a strike is administered to a patron under any circumstances a report must be submitted to the manager before going home.

Boondocks Patio & Grill

Applicant Initials

Security Personnel (Door Host / Bouncer) exceed their authority when he or she uses excessive force in any way that would reasonably be considered irrationally violent and /or inflicts serious physical harm on any patron. In any circumstance where Security Personnel (Door Host / Bouncer) uses excessive force, the employee may be found criminally responsible of assault and may consequently be held personally liable for the injuries he or she inflicted on the patron.

Therefore the Security Personnel (Doorman/ Bouncer) must understand and accept that they may be found responsible for any legal consequences that may result from the use of excessive force, including any and all monetary settlements as well as any other form of criminal and/or civil charges.

### **PERSONNEL POLICY AND LIABILITY CONSENT RECEIPT FORM**

#### **Acknowledgement of Security Personnel Policy and Liability Consent Form**

I have read and understand this Security Personnel Policy and Liability Consent Form and will adhere to the policies, protocols and guidelines of Boondocks Patio & Grill.

\_\_\_\_\_  
Print Employee Name

\_\_\_\_\_  
DATE

\_\_\_\_\_  
Employee Signature

### **DRUG AND ALCOHOL POLICY**

Boondocks Patio & Grill strives to maintain a workplace free of drugs and alcohol and to discourage drug and alcohol abuse by its employees. Misuse of alcohol or drugs by employees can impair the ability of employees to perform their duties, as well as adversely affect our customers' confidence in our company.

**Alcohol:** Employees are prohibited from using or being under the influence of alcohol while performing company business, while operating a motor vehicle in the course of business or for any job related purpose or while on company premises before or while working. Boondocks Patio & Grill does not condone any use of alcohol for any member of the staff at anytime while on the job.

**Illegal Drugs:** Boondocks Patio & Grill employees are prohibited from using or being under the influence of illegal drugs while at Boondocks Patio & Grill or while on a company facility or worksite. You may not use, manufacture, distribute, purchase, transfer or possess an illegal drug while in facilities, while operating a motor vehicle for any job-related purpose or while on the job or while performing company business. This policy does not prohibit the proper use of medication under the direction of a physician; however, misuse of such

 Boondocks Patio & Grill

Applicant Initials 



medications are prohibited. Should the proper use of medication under the direction of a physician affect your job responsibilities, then you will not be allowed to work under those conditions.

**Disciplinary Action:** Employees who violate this policy may be disciplined or terminated, even for a first offense. Violations include refusal to consent to and comply with testing and search procedures as described.

**Searches:** Boondocks Patio & Grill management may conduct searches for illegal drugs or alcohol on company facilities or worksites without prior notice to employees. Such searches may be conducted at any time. Employees are expected to cooperate fully. Searches of employees and their personal property may be conducted when there is reasonable suspicion to believe that the employee has violated this policy or when circumstances or workplace conditions justify such a search. Personal property may include, but is not limited to purses, boxes, briefcases, as well as any property that is provided for employees personal use such as bags, lockers, shelves and backpacks. Any employee's consent to a search is required as a condition of employment and the employee's refusal to consent may result in disciplinary action, including termination.

**Drug Testing:** Boondocks Patio & Grill may require a blood test, urinalysis, hair test or other drug or alcohol screening of employees suspected of using or being under the influence of drugs or alcohol or where other circumstances or workplace conditions justify such testing. The refusal to consent to testing may result in disciplinary action, including termination. Drug testing may be administered pre-employment, post accident, randomly or for reasonable suspicion.

#### **Drug and Alcohol Policy Receipt Form**

##### **Acknowledgement of Drug and Alcohol Policy**

I have read and understand this Drug and Alcohol Policy and will adhere to the policies, protocols and guidelines of Boondocks Patio & Grill Drug and Alcohol Policy.

\_\_\_\_\_  
Print Employee Name

\_\_\_\_\_  
DATE

\_\_\_\_\_  
Employee Signature

Boondocks Patio & Grill

Applicant Initials



NARRATIVE V



## Scottsdale Fire Department

### Scottsdale Public Safety Plan – Crowd Management Plan General Checklist

- Verify the fire extinguishers are visible and accessible prior to opening.
- Verify Exits are marked and illuminated prior to opening.
  - Test emergency lights and exit signs monthly.
- Verify all exits and egress paths to the exits are not blocked or obstructed inside and outside of the building prior to opening and throughout business hours. This includes being obstructed by patrons waiting in line.
- Verify that all security personnel have working radio communication with each other and management.
- Verify that security personnel have counters to count occupants IN and OUT at all entrances and exits. (General admission, VIP and all exits if separate from entrance)
- Verify that security staff knows the maximum occupant load for the building and patio.
- Verify that security staff knows that when the occupant load is reached, they hold the door and compare patrons IN for equal patrons OUT, for the rest of operating business hours.
- The establishment is required to obtain Scottsdale Fire Department approval/permits for special events, fireworks, fire dancers and haze machines. Birthday Sparklers/Open flame devices are NOT permitted in bars, night clubs or restaurants.
- The establishment needs to number the security personnel locations on the floor plan and provide details on their responsibilities. Refer to the Scottsdale Fire Department – Scottsdale Public Plan – Security Positions & Responsibilities and the establishment Floor Plan documents.





Scottsdale Fire Department  
Scottsdale Public Safety Plan – Security Positions & Responsibilities

Broncocks Patio & Grill

Establishment

Jacob Kolt

Establishment Representative

Date Implemented

Refer to the Security Positions & Responsibilities Floor Plan for this establishment.

Use position numbers only on both the floor plan and this document – no names.

- Which position is responsible for keeping an IN and OUT count?

Position(s): FRONT DOOR SECURITY

- How many of the following:

○ General Admission Entrance(s):	<u>1</u>
○ VIP Entrance(s):	<u>1</u>
○ Exit(s):	<u>1</u>
○ Exit Only: <u>EMERGENCY</u>	<u>5</u>

All entrances/exits are required to maintain an IN and OUT count and positions will communicate numbers to each other throughout business hours to maintain occupant load.

- Which position is responsible to call 911 in case of an emergency situation, medical or fire?

Position(s): MANAGER(S) 3 POSITIONS

- Which position is responsible to turn the music off, turn the lights up and instruct patrons what to do in case of an emergency situation?

Position(s): MANAGER(S)

- Which position is responsible to maintain exit and egress paths clear?

Position(s): POSITIONS



Scottsdale Fire Department  
Scottsdale Public Safety Plan – Security Positions & Responsibilities

Additional Establishment Comments

MANAGER(S) : RESPONSIBLE TO SHUT OFF MUSIC, TURN LIGHTS UP AND  
INSTRUCT/INFORM PATRONS IN THE EVENT OF AN EMERGENCY SITUATION.  
DEPENDING ON THE LOCATION OF THE EMERGENCY, ALL SECURITY STAFF  
AND MANAGERS ARE RESPONSIBLE TO CALL 911 IN CASE OF EMERGENCY  
SITUATIONS.



4341 n 75th st scottsdale - Google Maps  
BOONDOCKS PATIO GRILL

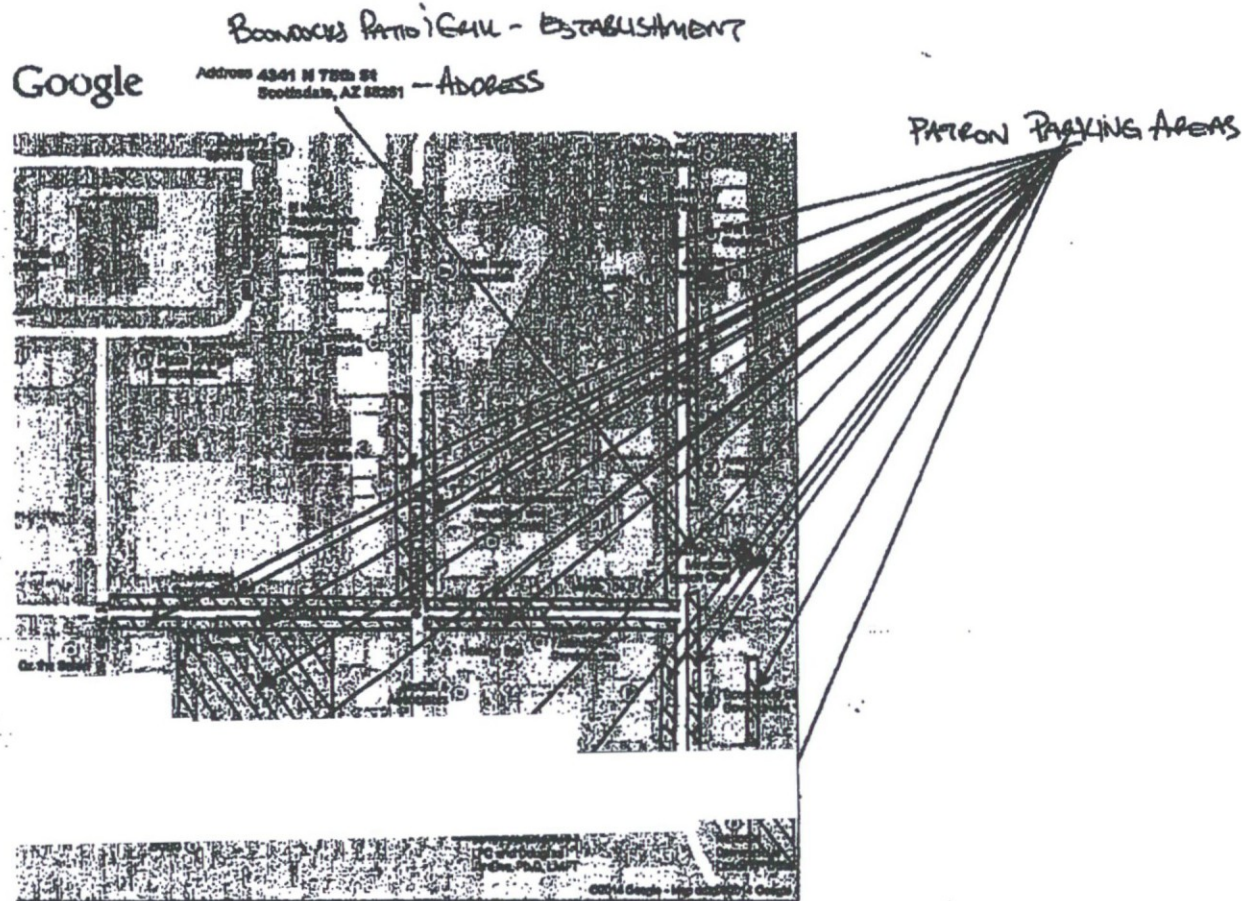
— ADDRESS  
— ESTABLISHMENT

CITY OF SCOTTSDALE - PUBLIC SAFETY PLAN  
SAMPLE PARKING AREAS

PATRON  
PARKING



NARRATIVE VI.



NEGATIVE V.C.



# Employee Log

Business Name:

version 2016-07

Boondocks Patio & Grill

Last Name	First Name	Middle Name	Birth Date	Address	City	State	Zip	Phone	Position	Contractor
Kory	Jacobo	Andres	4/15/1978	6818 E. 6th St.	Scottsdale	AZ	85251	(480) 202-3203	Owner	
Fetting	Tim	UNKNOWN	10/31/1988	8801 E. Bellevue	Scottsdale	AZ	85257	(480) 238-7821	Manager	
Curran	Keegan	James	3/21/1989	1016 E. Tempe Dr.	Tempe	AZ	85281	(602) 888-6200	Security	
Olms	Matt	Lee	11/23/1983	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(480) 800-4374	Manager	
Kogan	Mike	Ian	11/15/1990	5858 E. Kathleen Rd	Scottsdale	AZ	85254	(802) 803-1338	Manager	
Riddick	Joseph	UNKNOWN	1/30/1981	8586 E. Indian School Rd #C	Scottsdale	AZ	85251	(520) 831-4918	Guest Services	
Travers	Robert	Thomas	8/28/1982	4114 N. 87th Way	Scottsdale	AZ	85251	(480) 543-7084	Guest Services	
Matkowski	Kelly	Marie	8/20/1987	1535 N. Scottsdale, Rd. #2028	Tempe	AZ	85281	(830) 400-0279	Guest Services	
Martinez	Mercy	UNKNOWN	2/1/1990	742 S. Catalina St	Gilbert	AZ	85233	(888) 213-1397	Guest Services	
Soloman	Barry	Matthew	6/15/1973	8514 E. Chaparral Rd.	Scottsdale	AZ	85250	(715) 357-7133	Guest Services	
St. Clair	Joey	UNKNOWN	6/4/1971	6829 E. 2nd St. #4	Scottsdale	AZ	85251	(802) 743-0837	Guest Services	
Sinovic	Senada	UNKNOWN	3/11/1994	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(480) 468-8510	Guest Services	
Mack	Payton	UNKNOWN	11/25/1982	3313 N. 88th St. #231	Scottsdale	AZ	85251	(480) 384-8099	Guest Services	
Webb	Meagan	UNKNOWN	12/28/1990	8250 Hill Dr.	Swartz Creek	MI	48473	(810) 569-5489	Guest Services	
Perez	Breanna	UNKNOWN	1/2/1993	6400 E. Thomas Rd. #2022	Scottsdale	AZ	85251	(828) 981-2453	Server	
Oshenryk	Courtney	UNKNOWN	9/4/1992	4435 N. 78th St #152A	Scottsdale	AZ	85251	(802) 828-4532	Server	
Melo	Gina	UNKNOWN	6/30/1984	4307 E. Campbell Ave	Phoenix	AZ	85018	(802) 531-9725	Server	
UNKNOWN	Stephanie	UNKNOWN	UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKNOWN	(802) 788-0302	Server	
Contreras	Madelyne	UNKNOWN	6/8/1994	989 S. Ash Ave	Tempe	AZ	85281	(615) 329-5748	Server	
George	Michael	UNKNOWN	8/13/1992	8508 W. 87th Way	Scottsdale	AZ	85250	(480) 768-3497	Security	
Conklin	Kyle	James	2/11/1974	17 South Surfside Dr	Gilbert	AZ	85233	(803) 502-7826	Security	
Shelton	Justin	UNKNOWN	9/22/1989	8220 E. Vista Dr.	Scottsdale	AZ	85250	(480) 277-3870	Security	
Wells	Parker	UNKNOWN	9/9/1993	7857 Penrose Dr	Gilbert	AZ	85288	UNKNOWN	Security	
Mele	Sam	UNKNOWN	UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKNOWN	UNKNOWN	Security	
Rovis	Jo	UNKNOWN	12/5/1976	816 E. Hampson Ave	Mesa	AZ	85204	UNKNOWN	Security	
UNKNOWN	Jesse	UNKNOWN	UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKNOWN	UNKNOWN	Security	
UNKNOWN	Anthony	UNKNOWN	UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKNOWN	UNKNOWN	Security	
Brto	Nathaliad	UNKNOWN	UNKNOWN	2433 W. Campbell Ave	Phoenix	AZ	85015	(623) 755-2885	Kitchen	
Olivares	Humberto	UNKNOWN	12/19/1994	4341 N. 75th St	Scottsdale	AZ	85251	(480) 434-7714	Kitchen	
Olivares	Alfonso	UNKNOWN	9/13/1998	7327 E. Taylor St	Scottsdale	AZ	85257	UNKNOWN	Kitchen	
Canales	Vladimir	UNKNOWN	2/12/1988	3408 E. Culver St	Phoenix	AZ	85008	(480) 388-8081	Kitchen	

## Public Safety Plan - Contact Persons

The following persons are designated to receive and handle complaints from the public or City of Scottsdale:

Name	Position	Contact#
JACOBO KEY	OWNER	480.202.3203
TIM FETTING	GM	480.236.7621

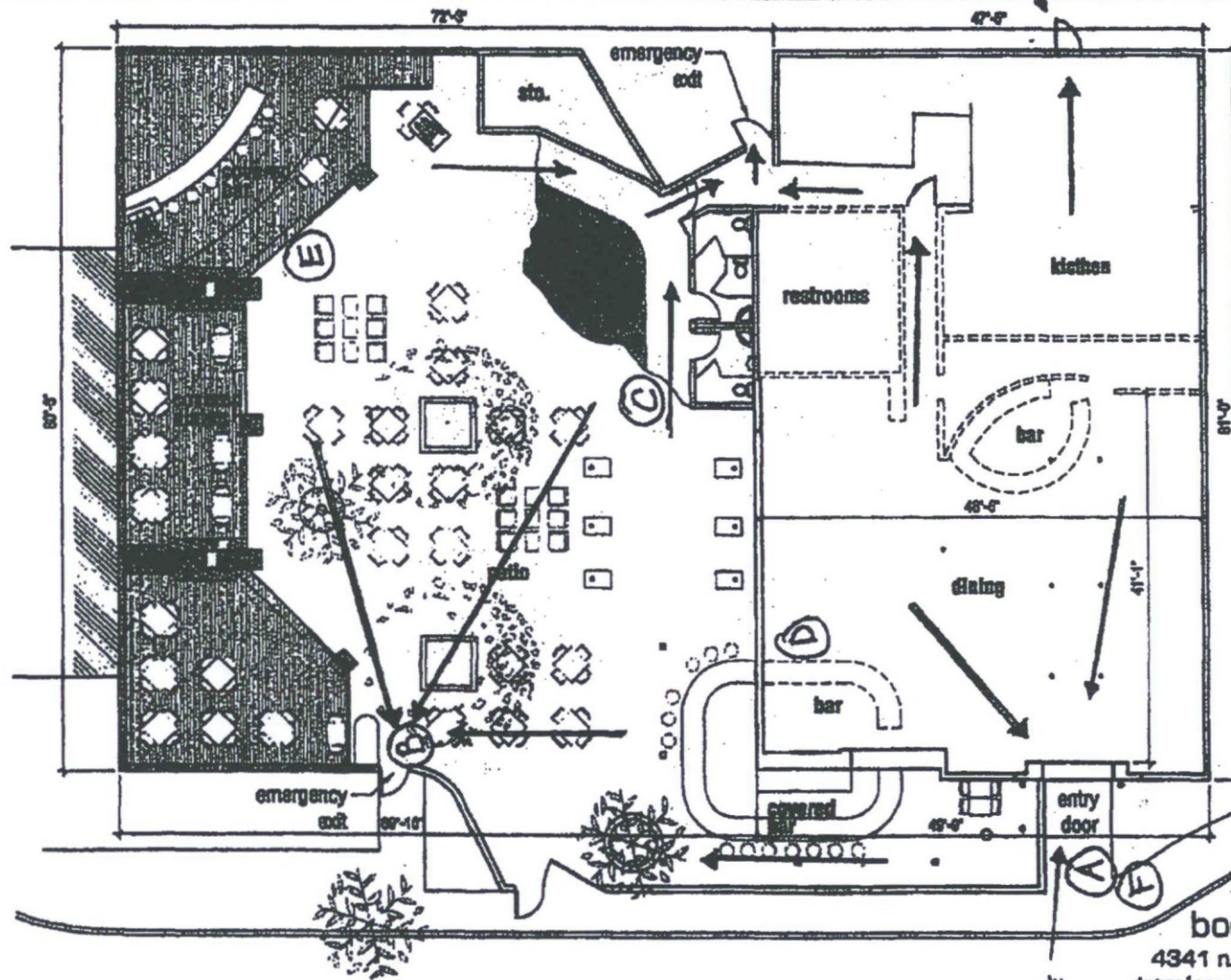
Submitted by: \_\_\_\_\_

All information must be current. (per SRC 28-55)





NEGATIVE ix  
EVACUATION ROUTES FIRE RISK SAFETY PLAN



EMERGENCY  
EXIT

MAIN  
ENTRANCE

boondocks  
4341 n. 76th. street  
date: january 21, 2014



## **Scottsdale Fire Department**

### **Scottsdale Public Safety Plan – Security Positions & Responsibilities**

#### **Additional Establishment Comments**

**MANAGER(S):** Responsible to shut off music, turn lights up and instruct / Inform patrons in the event of an emergency situation. Depending on the location n of the emergency, all security staff and managers are responsible to call 911 in case of emergency situations.

**POSITION A & F:** Responsible for checking ID, keeping in/out path clear and maintaining a line if needed. Checks exiting patrons for glassware / drinks and maintains head count. Stops intoxicated individuals from entering the establishment. Communicates with management & security current occupancy. Responsible for maintaining at least 1 security staff member at front door regardless of situation until all patrons have left the establishment.

**POSITION B:** Responsible for watching emergency exit and instructing exit paths should an emergency occur. Keep exit clear, picks up glassware in area and looks for any intoxicated patrons.

**POSITION C:** Responsible for watching emergency exit and instructing exit paths should an emergency occur. Keeps exit clear, picks up glassware in area and looks for any intoxicated patrons. Periodically checks on restrooms.

**POSITION D:** Responsible for main bar and interior areas. Picks up glassware and looks for intoxicated patrons. Responsible for 75<sup>th</sup> St. fence. Instructs patrons to closest / safest exit should an emergency occur.

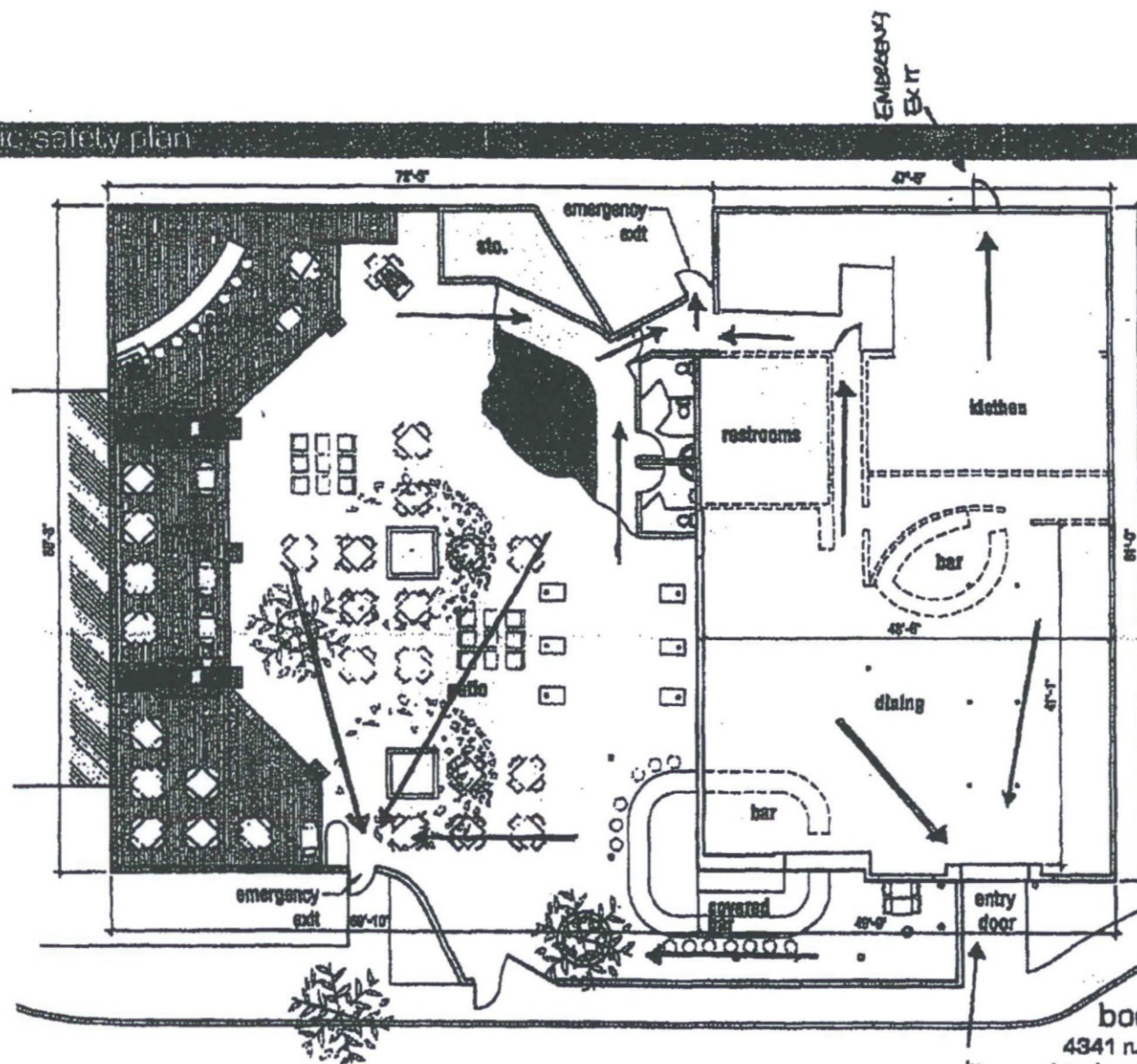
**POSITION E:** Responsible for outside bar area. Picks up glassware and looks for intoxicated patrons. Instructs patrons to closest exit should emergency occur.

**POSITION F-H:** Roams designated sections looking for intoxicated patrons. Picks up glassware and periodically checks on interior bathrooms. Responsible for instructing patrons to exits should an emergency occur.





NEGATIVE ix  
EVACUATION ROUTES FOR PUBLIC SAFETY PLAN



EMERGENCY  
EXIT

emergency  
exit

sto.

restrooms

kitchen

bar

dining

bar

covered

entry door

emergency  
exit

boondocks

4341 n. 75th. street

date: january 21, 2014



MAIN  
ENTRANCE

**Scottsdale Police Department  
Public Safety Plan**

**Boondocks Patio & Grill  
4341 North 75<sup>th</sup> Street  
Scottsdale, AZ 85251**

**Evidence of Security Uniforms**



Security uniforms will be black t-shirts with white lettering. The lettering will read, "SECURITY" and will be a minimum of three-inches in height and written on front and back. All employees identified as security employees, including security managers, must wear the above-described uniform.

A handwritten signature in black ink, located at the bottom left of the page.

A handwritten signature in black ink, located at the bottom right of the page.



Narrative XL.

CITY OF SCOTTSDALE - PUBLIC SAFETY PLAN  
STATEMENT REGARDING NUMBER OF SECURITY OFFICERS

Boondocks Patio & Grill  
4341 N. 75th St.  
Scottsdale, AZ 85251

Statement Regarding Number of Security Officers

Boondocks Patio & Grill is committed to providing a safe environment for it's patrons and staff, and understands that the industry standard ratio is a security officer to occupant ratio of 1:50.

Occupancy: The Scottsdale Fire Marshall allows us a maximum occupancy of 418 persons.

Security Staffing: Boondocks Patio & Grill employs 7 security officers and 2 security manager, for a total of 9 security staff. The security officers and managers have attended the requisite Public Safety Plan Security Training and therefore, may be considered when calculating the ratio of security staff to occupants.

Ratio of Occupancy to Security Officers: Based on our maximum occupancy and property use, we are required to maintain a security officer to occupant minimum ratio of 1:50. As the result of our employed security staff and maximum occupancy, we will have a security officer to occupant ratio of 1:46 during peak hours.

Required Ratio: 1:50

Actual Ratio: 1:46.44 (based on 9 security staff and a maximum occupancy of 418 persons)

NARRATIVE xii.

statement regarding nubmer of security needed  
CITY OF SCOTTSDALE - PUBLIC SAFETY PLAN  
STATEMENT REGARDING NUMBER OF SECURITY OFFICERS

Boondocks Patio & Grill  
4341 N. 75th St.  
Scottsdale, AZ 85251

Statement Regarding Special Requirements

Security to Pation Ratio: 1:50

Boondocks Patio & Grill is a neighborhood bar with a Series 06 Bar License.

Boondocks Patio & Grill does not meet the minimum of 60% of food sales criteria and understands that it must maintain a security to occuppant ratio of 1:50



## **ADDENDUM TO PUBLIC SAFETY PLAN**

### **Boondocks Patio & Grill**

#### **Parking**

In order to reduce criminal activity and reduce neighborhood complaints that can negatively affects the nearby businesses, we are responsible for the designated parking area to include any lots used by our contracted valet company. It is our responsibility to ensure that parking areas utilized by patrons and employees will be routinely patrolled by security staff to prevent the parking areas from being used:

1. As a gathering place;
2. For consumption of spirituous liquor;
3. For violations of state or city law;
4. For acts of violence, or disorderly conduct.

Management will ensure that all patrons have left the parking areas within thirty minutes after the designated closing time.

If a valet is used, it is our responsibility to ensure the valet company meets all the requirements of the City of Scottsdale and has a valid valet license and permit prior to conducting valet business.

#### **Refuse Plan**

It is our responsibility to ensure refuse containers are properly used and the area in and around the business is kept clean. Failure to do so will result in an investigation and possible citation from the City of Scottsdale Code Enforcement or other governmental agencies.

After closing, we will be responsible for refuse pick-up and any necessary cleaning, and for any refuse found within a 300-foot (three-hundred) radius of the business. This responsibility will also include patron parking lot(s), valet parking lot(s) and employee parking lot(s).

All bottles, trash, and/or bodily fluids and refuse found on streets, sidewalks, private property, and empty lots within the above designated areas will be placed in the designated business refuse container and/or cleaned appropriately.

A handwritten signature in black ink, consisting of a stylized 'R' followed by a horizontal line and a diagonal stroke.

# Employee Log

Business Name:

version 2016-07

Boondocks Patio & Grill

Last Name	First Name	Middle Name	Suffix	Birth Date	Address	City	State	Zip	Phone	Position	Contractor
Kory	Jacobo	Andres	NONE	4/15/1978	6816 E. 8th St.	Scottsdale	AZ	85251	(480) 202-3203	Owner	
Fetting	Tim	Richard	NONE	10/31/1968	6901 E. Bellevue	Scottsdale	AZ	85257	(480) 236-7621	Manager	
Curran	Keegan	James	NONE	3/21/1989	1016 E. Tempe Dr.	Tempe	AZ	85281	(602) 686-5200	Security	
Olms	Matt	Lee	NONE	11/23/1983	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(480) 600-4374	Manager	
Kogan	Mike	Ian	NONE	11/15/1990	5856 E. Kathleen Rd	Scottsdale	AZ	85254	(602) 803-1338	Manager	
Riddick	Joseph	Adam	NONE	1/30/1981	8566 E. Indian School Rd #G	Scottsdale	AZ	85251	(520) 831-4918	Guest Services	
Travers	Robert	Thomas	NONE	6/28/1982	4114 N. 87th Way	Scottsdale	AZ	85251	(480) 543-7084	Guest Services	
Makowski	Kelly	Marie	NONE	8/20/1987	1535 N. Scottsdale, Rd. #2029	Tempe	AZ	85281	(602) 400-0279	Guest Services	
Martinez	Mercy	NONE	NONE	2/1/1990	742 S. Catalina St.	Gilbert	AZ	85233	(989) 213-1397	Guest Services	
Soloman	Barry	Matthew	NONE	6/15/1973	8514 E. Chaparral Rd.	Scottsdale	AZ	85250	(715) 357-7133	Guest Services	
St. Clair	Joey	Patrick	NONE	6/4/1971	6929 E. 2nd St. #4	Scottsdale	AZ	85251	(602) 743-0837	Guest Services	
Sinovic	Senada	NONE	NONE	3/11/1994	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(480) 486-9510	Guest Services	
Mack	Payton	Ariene	NONE	11/25/1992	3313 N. 68th St. #231	Scottsdale	AZ	85251	(480) 364-6099	Guest Services	
Webb	Meagan	Julia	NONE	12/28/1990	8225 E. Crestwood Way	Scottsdale	AZ	85250	(810) 569-5489	Guest Services	
Perez	Breanna	Nicole	NONE	1/2/1993	8400 E. Thomas Rd. #2022	Scottsdale	AZ	85251	(928) 961-2453	Server	
Osharyk	Courtney	LaVonne	NONE	9/4/1992	4435 N. 78th St #152A	Scottsdale	AZ	85251	(602) 628-4532	Server	
Contreras	Madelyne	Marie	NONE	6/8/1994	969 S. Ash Ave	Tempe	AZ	85281	(818) 329-5748	Server	
George	Michael	Christopher	NONE	8/13/1992	6508 W. 87th Way	Scottsdale	AZ	85250	(480) 766-3497	Security	
Conklin	Kyle	NONE	NONE	2/11/1974	17 South Surfside Dr	Gilbert	AZ	85233	(603) 502-7626	Security	
Wells	Parker	Ryan	NONE	9/9/1993	7857 Penrose Dr	Gilbert	AZ	85298	(949) 439-9722	Security	
Mele	Samson	James	NONE	1/27/1992	9750 E. Celtic Dr.	Scottsdale	AZ	85260	(480) 993-7278	Security	
Rovle	Joseph	Elio	NONE	12/5/1978	816 E. Hampton Ave	Mesa	AZ	85204	(480) 232-3275	Security	
Olivares	Humberto	NONE	NONE	12/19/1994	4341 N. 75th St	Scottsdale	AZ	85251	(480) 434-7714	Kitchen	
Olivares	Alfonso	NONE	NONE	9/13/1998	7327 E. Taylor St.	Scottsdale	AZ	85257	(480) 434-7714	Kitchen	
Canales	Vladimir	Alberto	NONE	2/12/1988	3406 E. Culver St	Phoenix	AZ	85008	(480) 388-9061	Kitchen	



## NEIGHBORHOOD NOTIFICATION

### Boondocks Patio & Grill Live Music Permit

In accordance to the requirements for our Live Music Permit Renewal, we held an Open House Meeting at 4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251. On March 25<sup>th</sup> the Early Notification of Project under Consideration sign was posted at Boondocks Patio & Grill located at the above mentioned address facing 75<sup>th</sup> St. (a photo of the location has been submitted). In addition to the required posting, letters were sent out to all addresses within the required radius of the Open House Meeting (a photo of the letters and a copy has been submitted)

On April 6<sup>th</sup>, 2016 the Open House Meeting took place at Boondocks Patio & Grill where 25 neighbors attended. I have attached the signup sheet as well as comment cards and email correspondence.

Upon the initial introduction at the Open House, it was apparent that the main concern that neighbors had was actually not a concern at all. There was some miss-information that had been circulated to residences at Marquessa Condominiums. The miss-information was that we were applying to raise the decibel maximum for Scottsdale for our location. This is not the case and once it was explained that the purpose of the Open House was for a renewal of our existing permit with no changes to it, most all concerns diminished.

The Open House was attended by Councilman David Smith as well as Sonnie Kirtly, Chair for The Coalition of Greater Scottsdale (COGS). Both had positive feedback for Boondocks and our live music and what it brings to the community.



## **BOONDOCKS** PATIO & GRILL

4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251

(480) 949-8454

March 22, 2016

Dear Neighboring Property Owner,

The purpose of this letter is to advise you of our Conditional Use Permit for Live Entertainment application that will be submitted to the City of Scottsdale for Boondocks Patio & Grill located at 4341 N. 75<sup>th</sup> St.

Boondocks Patio & Grill is a relaxed, neighborhood restaurant featuring good company and great comfort food. This property is well established in the community and has had a restaurant and bar use since 1962. Boondocks Patio & Grill is seeking to renew our Conditional Use Permit for Live Entertainment to allow live music in the establishment from the hours of 5pm – 12am Monday – Thursday, 5pm to 2am on Friday, 12pm to 2am on Saturday and 12pm to 12am on Sunday. There will be no additional amplification or speakers added to the restaurant and Boondocks will continue to abide by the City of Scottsdale's noise ordinance as well as continue to be considerate of our neighbors.

If you would like more information, we are holding a neighborhood open house and welcome you to attend. It will be held on Wednesday April 6<sup>th</sup> from 5pm to 6pm at Boondocks Patio & Grill. Our address is 4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251. If you cannot attend but would like more information, please contact me at (480)949-8454 or email me at [info@boondocksaz.com](mailto:info@boondocksaz.com).

Best regards,

Jacob Kory

Managing Member

Scottsdale Boondocks LLC

42-UP-2011#3  
5/11/2016



# EARLY NOTIFICATION OF PROJECT UNDER CONSIDERATION

## NEIGHBORHOOD OPEN HOUSE MEETING

DATE: 4/6/16

TIME: 5-6 PM

LOCATION: 4341 N. 75TH ST. SCOTTSDALE, AZ 85251

**SITE ADDRESS 4341 N. 75TH ST. SCOTTSDALE, AZ 85251**

### PROJECT OVERVIEW:

- REQUEST: CONDITIONAL USE PERMIT
- DESCRIPTION OF PROJECT AND PROPOSED USE: PROPOSED USE  
LIVE MUSIC PERMIT FOR BOONDOCKS PATIO & GRILL
- SITE ACREAGE: +/- 9609 SQUARE FEET OR +/- .22 ACRES
- SITE ZONING: D/OR - 2 DO

**APPLICANT/ CONTACT: JACOB KORY**

**PHONE NUMBER: 480.202.3203**

**EMAIL: JACOBOKORY@GMAIL.COM**

**CITY CONTACT: DAN SYMER**

**PHONE NUMBER: 480.312.4218**

**EMAIL: DSYMER@SCOTTSDALEAZ.GOV**

**PRE-APPLICATION#: 1048A-PA-2015 AVAILABLE AT CITY OF SCOTTSDALE: 480-312-7000**

**PROJECT INFORMATION MAY BE RESEARCHED AT: [HTTP://WWW.SCOTTSDALEAZ.GOV/PROJECTS/](http://WWW.SCOTTSDALEAZ.GOV/PROJECTS/)**

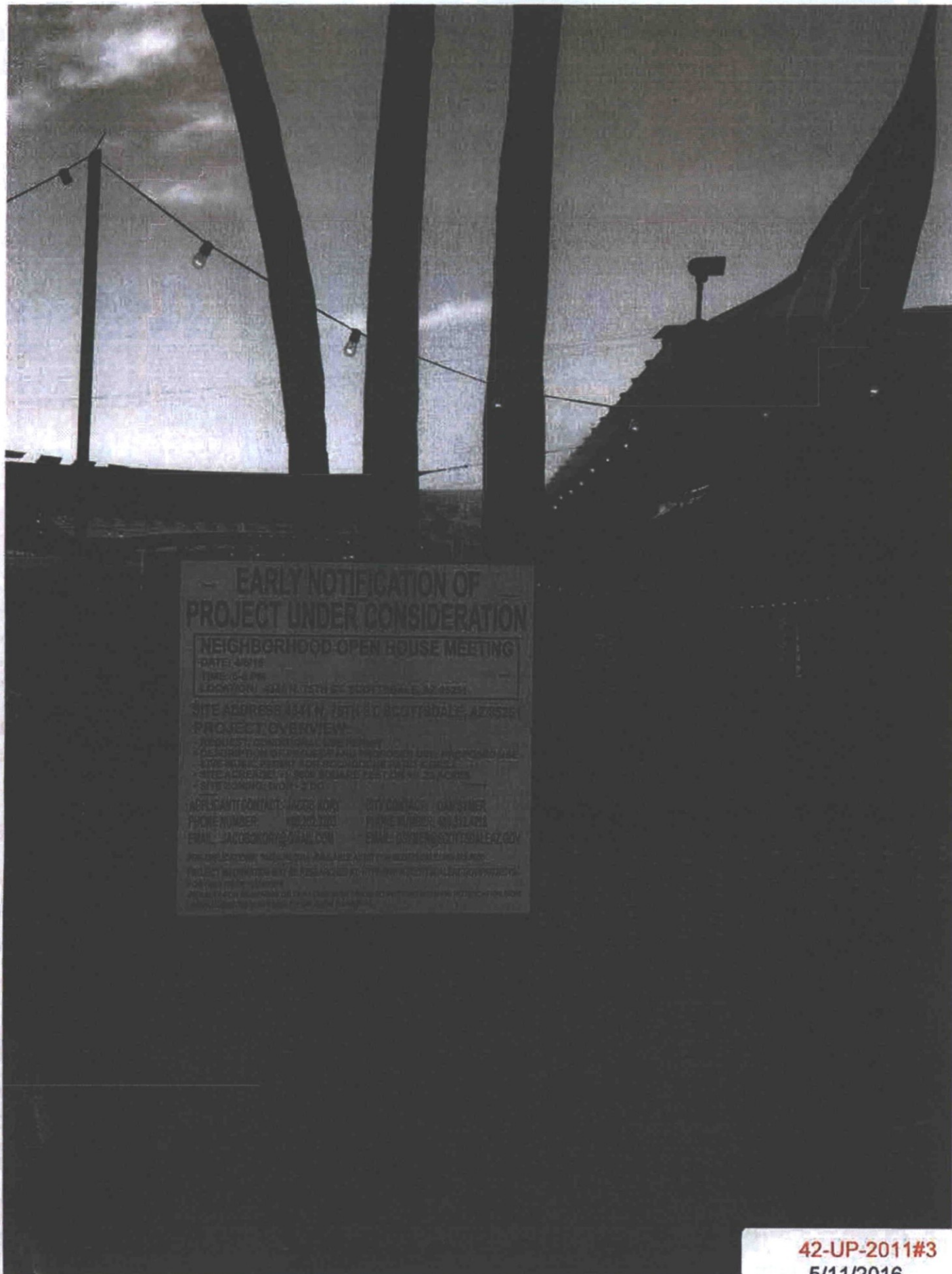
**POSTING DATE: 3/25/2016**

**-PENALTY FOR REMOVING OR DEFACING SIGN PRIOR TO POSTING HEARING NOTIFICATION SIGN**

**- APPLICANT RESPONSIBLE FOR SIGN REMOVAL**

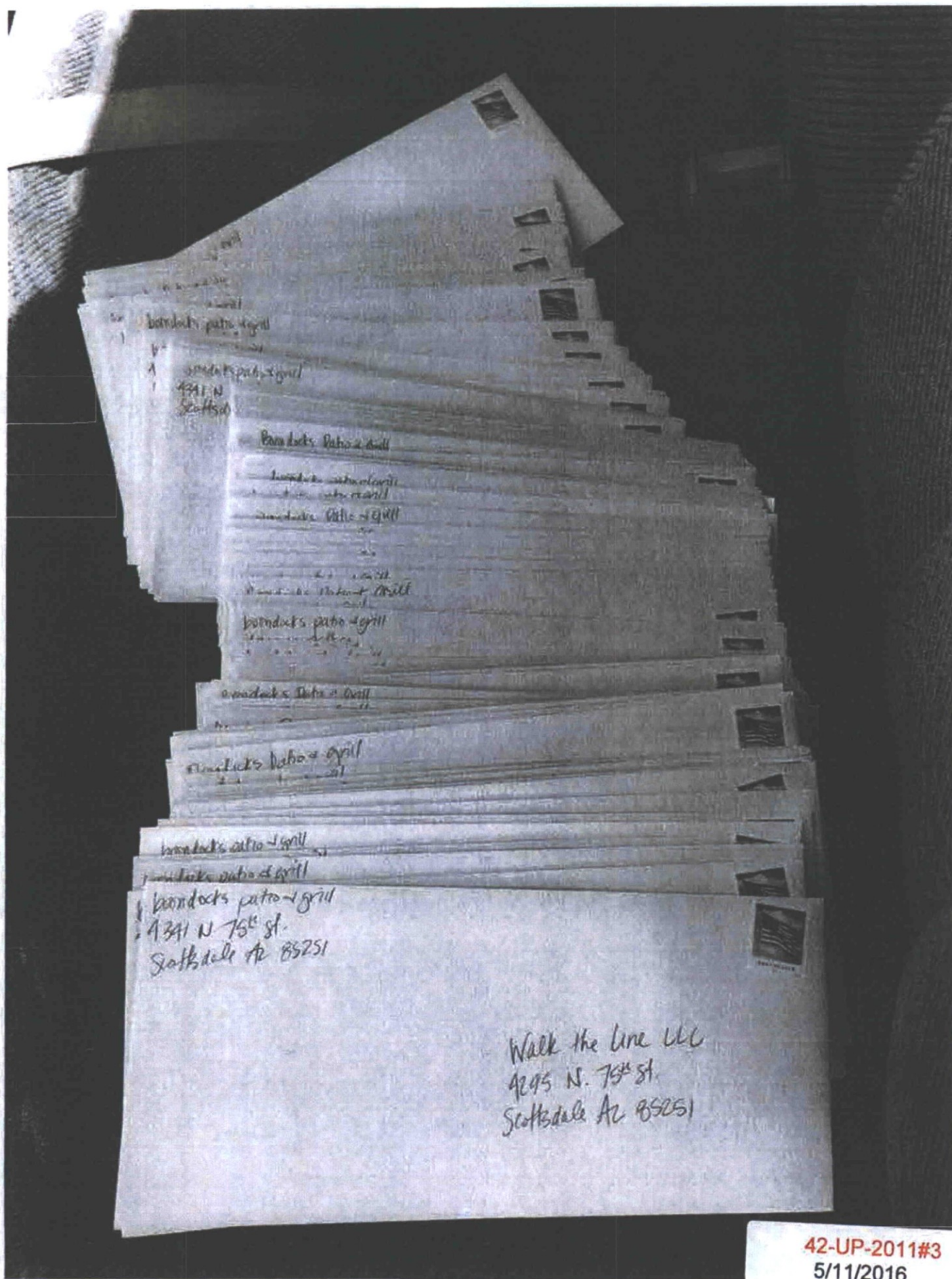
**42-UP-2011#3**

**5/11/2016**



42-UP-2011#3  
5/11/2016





42-UP-2011#3  
5/11/2016





# Community Input Certification

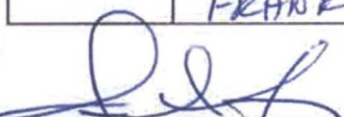
CASE NO: \_\_\_\_\_

PROJECT LOCATION: Boondocks Patio: GRU  
4341 N. 75th ST. SCOTTSDALE, AZ 85251

## COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

DATE	NAME (Person, Organization, Etc. and Address)	TYPE OF CONTACT		
		Meeting	Phone	Letter
4/6/16	Betty Bitterman		480-998-9886	
	R. Chernov	X		
	Sheila Bitterman	X	480-998-9886	
	Peg Brown	X	480-4181-3970	
	Deck King	X	480-481-6096	
	William Hoeman	X	480-874-1693	
	Leah Smith Patin <sup>seton</sup> <sub>mark</sub>	X	480-949-4242	
	Georgia Drummond	X	480-547-3667	
	Cindy Adams	X	480-322-7136	
	Bill Adams	X	480-694-8666	
	FRANK TASSO	X	760-	

  
Signature of owner/applicant

4.6.16  
Date

### Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088





# Community Input Certification

CASE NO: \_\_\_\_\_


Bounded by Paris & GCU

PROJECT LOCATION: 4341 N. 75th ST. SCOTTSDALE, AZ 85251

## COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

DATE	NAME (Person, Organization, Etc. and Address)	TYPE OF CONTACT		
		Meeting	Phone	Letter
4-6-16	HERBERT BLAKE	X		
4-6-16	Joe Diggs Tr/w/stockdale	X		
4-6-16	TIM DRUMMOND	X		
4/6/16	Nisa Paris Stetson	X		
4/6/16	Matt Dwyer/Arcadia Mgmt. Group	X		
4/6/16	Anita Imele	X		
4/5/16	KENT & BONNIE CORNELISON			EMAIL

  
Signature of owner/applicant

4-6-16  
Date

### Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



# Community Input Certification

CASE NO: \_\_\_\_\_

Boundaries Ratio? Gell

PROJECT LOCATION: 4341 N. 75<sup>th</sup> ST. SCOTTSDALE, AZ 85251

## COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

DATE	NAME (Person, Organization, Etc. and Address)	TYPE OF CONTACT		
		Meeting	Phone	Letter
4.6.16	Matthew Coats	✓		
4.6.16	Hennika Thornburgh	✓		
	Eric Berman	✓		
	Andrew Berman	✓		
4/6/16	Mark M. L.	✓		
4/6/16	Hannelori Armstrong 4916 N. Woodmere Fairway #3 Scottsdale AZ 85251			
4/6/16	Mary Christmas 4300 N. Miller Rd #208	✓		

Signature of owner/applicant

4.6.16  
Date

### Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

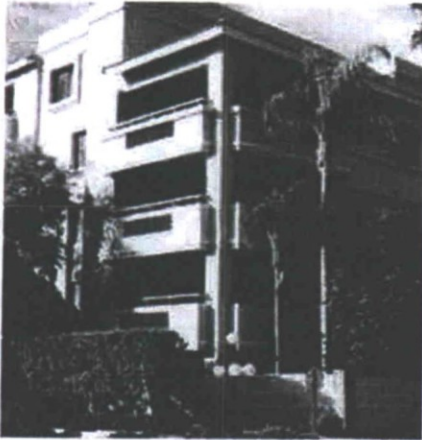




Home

Amenities

## Welcome to the Scottsdale Marquessa Website



Located near historic downtown Scottsdale, The Marquessa is in the heart of it all with access to popular restaurants, bistros, night clubs, cultural activities, and abundant shopping. With more than 125 galleries and museums, the exciting downtown Scottsdale Art & Shopping Districts are a year-round celebration of the arts. Scottsdale Center for the Arts, whose center hosts nearly 1,000 performances annually is less than 10 minutes away. Scottsdale is home to nearly 20 area golf courses, including Grayhawk Golf Club and the prestigious Tournament Players Club.



4200 N Miller Rd., Scottsdale Arizona 480-945-5400 f-480-945-0079  
Member of the "Scottsdale Counsel of Homeowners Association"

42-UP-2011#3  
5/11/2016



Jacob Kory &lt;jacobokory@gmail.com&gt;

---

**Re: Boondocks Neighborhood Open House**

1 message

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**Sonnie Kirtley** <azsonnie@gmail.com>  
To: Jacob Kory <jacobokory@gmail.com>

Sun, Apr 10, 2016 at 12:12 PM

Thanks for the follow-up, Jake...Sonnie COGS chair

On Apr 10, 2016 11:41 AM, "Jacob Kory" <jacobokory@gmail.com> wrote:

I wanted to reach out to everyone that left comment cards with contact information and personally thank you for taking time out of your day last week to attend Boondocks Patio & Grill's open house with regards to our application to renew our existing live music permit.

From reading all the comments and speaking with many of you individually, the response was overwhelmingly positive with regards to keeping the live music use permit that we currently operate with. In addition to the positive response, it was also understood by us that our neighbors and neighborhood would like to keep the volume within the current limits allowed in the Entertainment Area noise ordinance. Each of our managers have access to a decibel meter and have been trained and will continue to be trained to use it and actively regulate our sound not only when we have live music, but also when we have a DJ or event.

In case you do not already have it, Boondocks Patio & Grill's phone number is 480-949-8454 with any questions, comments or concerns. You can always email me directly here with the same.

Thank you again,  
Jake Kory  
Managing Partner  
Boondocks Patio & Grill

42-UP-2011#3  
5/11/2016





Jacob Kory &lt;jacobokory@gmail.com&gt;

---

**Re: Boondocks**

1 message

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**Jacob Kory** <jacobokory@gmail.com>

Thu, Apr 7, 2016 at 8:55 AM

To: kcv &lt;kcvall@valley@aol.com&gt;

Cc: dsymer@scottsdale.gov

Good morning Kent and Bonnie,

Thank you for your inquiry regarding Boondocks Patio & Grill renewal for our live music use permit. As you know, we had our neighborhood open house yesterday at Boondocks to allow anyone in the area to stop by, discuss and comment on our renewal application. We had roughly 25 people in attendance including The Coalition of Greater Scottsdale (COGS). The majority of attendees currently live at Marquessa.

From a couple emails that I had received and had forwarded to me for our review in the last couple days along with the initial conversations I had with Marquessa residents at our open house yesterday, it was quite evident that there might be some misunderstanding and/or miscommunication regarding our application for our permit. The emails and the initial conversations from yesterday regarded concerns about Boondocks Patio & Grill applying to raise the decibel level allowed by City of Scottsdale Ordinance. Let me assure you, that this is NOT what Boondocks Patio & Grill is applying for. Boondocks Patio & Grill is simply applying for a renewal of an existing permit that we currently have that allows us to play live music on our patio. The existing permit has been in place at this location since 2011 and for the last two years that Boondocks has been operating, our management is tasked with keeping the sound at or below the City of Scottsdale ordinance regardless if the music is coming from a DJ, any sporting events that we televise with sound or a live performance.

I want to extend an open invitation to you to call, email or we can meet at Boondocks to discuss any concerns or questions that you might have regarding our renewal application.

Thank you again for your inquiry and I look forward to hearing from you with any questions.

Jake Kory

Managing Partner

Boondocks Patio & Grill

On Wed, Apr 6, 2016 at 3:09 PM, kcv <kcvall@valley@aol.com> wrote:

Mr. Kory and Mr. Symer

We reside at the Marquessa Condominiums and have lived here since 2002. During this time the noise at night, especially Thursday thru Saturday has continued to increase and exceed their 10 o'clock limit.

I am not in favor of raising the decibel level at Boondocks. I would like the 10 o'clock time limit to be enforced. You increase Boondocks and the whole bar area will feel they can raise their decibel level also. Boondocks knew they were opening their bar in a residential area. I don't believe the residential area have to tolerate higher decible levels of which we can now hear in our home, condominium 411.

Please respect our community's wishes.

Kent and Bonnie Cornelison

Marquessa, 411

42-UP-2011#3  
5/11/2016

Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Hunnika Thoenburgh  
Address: 7777 E. Heatherbrae #213 Scottsdale  
Phone: 928-710-4846  
Email: hunnika@hotmail.com

Please tell us your thoughts and suggestions regarding the proposed project:

I enjoy the live music at Boondocks I think it makes for an inviting atmosphere. Living local and being a regular it is one of the main reasons I come here. It also send people here from out of town, this brings in money for old town as a whole. You can have music from anywhere but to be able to go and listen to local live music is a welcome addition to the neighborhood.



**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

Name: MATTHEW Comtois  
Address: 7125 N. Drinkwater Blvd.  
Phone: 440 829 5790  
Email: MATTHEW Comtois 1@gmail

**Please tell us your thoughts and suggestions regarding the proposed project:**

LIVE RIGHT AROUND THE CORNER AND LOVE  
FREQUENTING BOONDOCKS. LOVE THE LIVE MUSIC  
AND EVENT. LIVING CLOSE MAKES IT EASY TO  
COME OVER AND ENJOY LIVE MUSIC AND GREAT  
STAFF!

**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

Name: Andrew Berman  
Address: 4111 N. Drinkwater Blvd  
Phone: 845-536-8398  
Email: aberman327@gmail.com

**Please tell us your thoughts and suggestions regarding the proposed project:**

I live near by the Boondocks Patio  
and grill and enjoy walking over  
for food and drinks. They have  
a good outdoor area which is  
a lot of fun.



**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

**Name:** Eric Berman

**Address:** 4111 N Drinkwater Blvd

**Phone:** (845) 536-2183

**Email:** eric.berman92@gmail.com

**Please tell us your thoughts and suggestions regarding the proposed project:**

I think the music is great!  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_

**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

Name: Michael McCormack  
Address: 3371 1<sup>st</sup> Ave  
Phone: 978-930-2800  
Email: vze2mmsk@msn.com

**Please tell us your thoughts and suggestions regarding the proposed project:**

Please allow Boondocks to have  
live music & continue to contribute  
to local economy By bringing  
tourism and jobs if not not  
Boondocks it will be another place  
Doing the same thing



Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Hannelori Armstrong  
Address: 4916 N. Woodmere Fairway #3 Scottsdale AZ 85251  
Phone: 480-208-4595  
Email: iriedance@yahoo.com

Please tell us your thoughts and suggestions regarding the proposed project:

Let Boondocks continue to be a great  
clean fun place with quality live music  
that draws respectful patrons and gives  
us a great option to the shoeman nightclub  
area.

Please Please Please Keep Boondocks  
"Boondocks"

Hannelori Armstrong

**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

Name: Math DUS  
Address: 3726 E. Weldon Ave Phx, AZ 85018  
Phone: (480) 322-9507  
Email: matthewdus@hotmail.com

**Please tell us your thoughts and suggestions regarding the proposed project:**

I have been coming to Boondocks (Spanish Fly)  
for years. It's a great part of Scottsdale and  
would only improve with the live music permit.  
I encourage the City of Scottsdale to approve the  
permit.



Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: ANTHONY M. SLAWN/OK  
Address: PO BOX A3241, CH1420, IL 60690-3241  
Phone: 312-207-1676  
Email: TONYTAHATTY@AOL.COM

Please tell us your thoughts and suggestions regarding the proposed project:

OK - IF REASONABLE HOURS & DOZIBOZ  
\_\_\_\_\_  
\_\_\_\_\_  
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Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Sonnie Kirtley  
Address: 7904 E Chaparral A-110 PMSB127  
Phone: 602 717 3886  
Email: cogs@cogsaz.net

Please tell us your thoughts and suggestions regarding the proposed project:

COGS The Coalition of Greater  
Chino Seattledale

Support live music  
if within decibel  
standards for neighbors



**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

Name: TIM DRUMMOND  
Address: 4200 N. MILLER RD UNIT 413  
Phone: 602 483 2906  
Email: ~~tor~~ torrefin@gmail.com

**Please tell us your thoughts and suggestions regarding the proposed project:**

Put up some sound suppression  
barriers. We currently can hear the  
weekend concerts clearly in our  
apartment. Good fences make good  
neighbors.

~~Q~~

Boondocks Patio & Grill  
Neighborhood Input/Comment Card

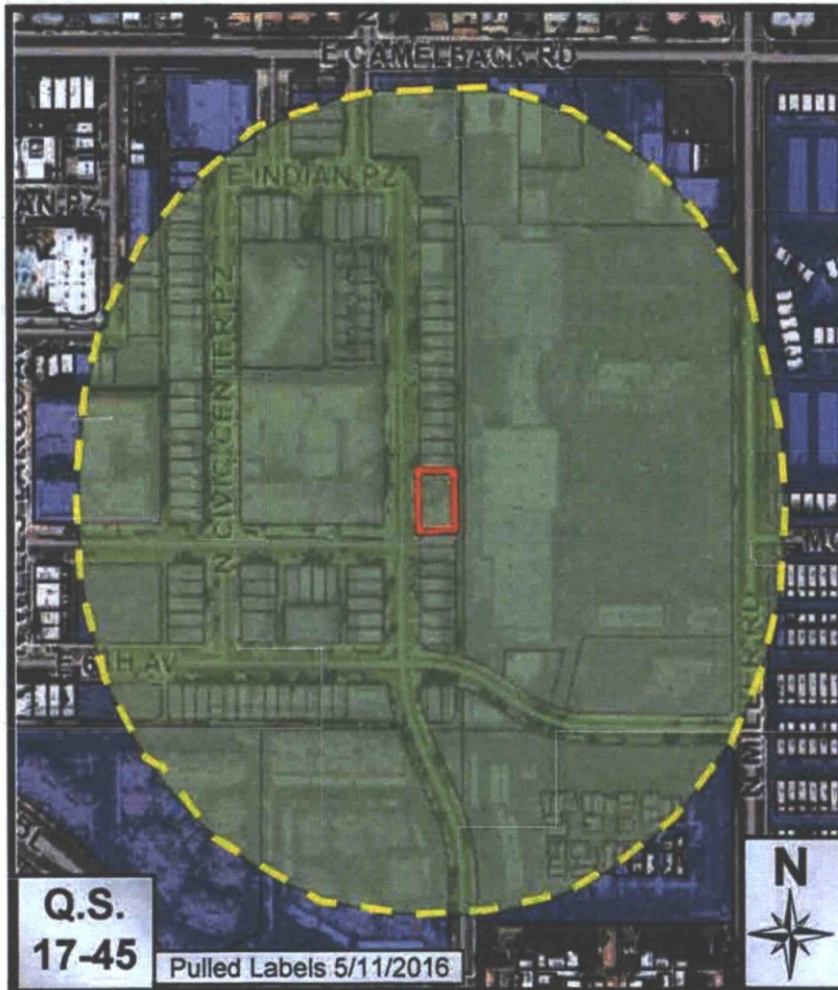
Name: Bill Adams  
Address: 4200 N. Miller Rd 105  
Phone: 480-694-8666  
Email: WLA@arizona.net@gmail.com

Please tell us your thoughts and suggestions regarding the proposed project:

Operation has been improvement in  
neighborhood. No problem with request.



## City Notifications – Mailing List Selection Map



### Map Legend:



Site Boundary



Properties within 750-feet  
96 Postcards

### Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor
- City Website-Projects in the hearing process

**Boondocks Patio & Grill**

**42-UP-2011#3**

ATTACHMENT #7



**SCOTTSDALE PLANNING COMMISSION  
KIVA-CITY HALL  
3939 DRINKWATER BOULEVARD  
SCOTTSDALE, ARIZONA**

**WEDNESDAY, AUGUST 24, 2016**

**\*DRAFT SUMMARIZED MEETING MINUTES\***

**PRESENT:** Michael Edwards, Chair  
Matthew Cody, Vice Chair  
Larry S. Kush, Commissioner  
David Brantner, Commissioner  
Ali Fakh, Commissioner  
Paul Alessio, Commissioner

**ABSENT:** Michael J. Minnaugh, Commissioner

**STAFF:** Tim Curtis  
Joe Padilla  
Dan Symer  
Brad Carr  
Greg Bloemberg

**CALL TO ORDER**

Chair Edwards called the regular session of the Scottsdale Planning Commission to order at 5:00 p.m.

**ROLL CALL**

A formal roll call was conducted confirming members present as stated above.

\* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ.gov, search "Planning Commission"



### **MINUTES REVIEW AND APPROVAL**

1. Approval of August 10, 2016 Regular Meeting Minutes including the Study Session.

**COMMISSIONER BRANTNER MOVED TO APPROVE THE AUGUST 10, 2016 REGULAR MEETING MINUTES INCLUDING THE STUDY SESSION, SECONDED BY COMMISSIONER ALESSIO, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).**

### **EXPEDITED AGENDA**

2. 42-UP-2011#3 (Boondocks Patio & Grill)

Request by owner for a Conditional Use Permit for Live Entertainment on an existing +/-9,609-square foot establishment located at 4341 N. 75th Street with Downtown/Office Residential Type 2 Downtown Overlay (D/OR-2 DO) zoning. Staff contact person is Dan Symer, AICP, 480-312-4218. Applicant contact person is Jacob Kory, 480-949-8454.

3. 3-ZN-2016 (70th Street Lofts)

Request by owner for a Zoning District Map Amendment from Highway Commercial, Downtown Overlay (C-3/DO) zoning to Downtown/Downtown Multiple Use - Type 2 Downtown Overlay (D/DMU-2/DO) zoning on a +/-0.4-acre site located at 3425 N. 70th Street and 7002,7004,7006 E. 6th Avenue. Staff contact person is Dan Symer, AICP, 480-312-4218. Applicant contact person is Lance D. Baker, 480-948-9766.

4. 11-ZN-2016 (70th & Earll Townhomes)

Request by owner for a Zoning District Map Amendment from Single-family Residential (R1-7) zoning to Medium Density Residential (R-3) zoning on a +/-0.47-acre site located at 3114 N. 70th Street. Staff contact person is Brad Carr, AICP, 480-312-7713. Applicant contact person is Steven Bruckal, 480-309-4163.

**Item No's 2, 3, & 4: Recommended City Council approve cases 42-UP-2011#3, 3-ZN-2016 and 11-ZN-2016, by a vote of 6-0; Motion by Commissioner Brantner, per the staff recommended stipulations, based upon the finding that the Conditional Use Permit criteria have been met and the proposed Zoning District Map Amendment are consistent and conforms with the adopted General Plan, 2<sup>nd</sup> by Commissioner Kush.**

5. 7-GP-2016 (Skye on McDowell - Phase II)

Request by owner for a non-major General Plan Amendment to the City of Scottsdale General Plan 2001 to change the land use designation from Mixed Use Neighborhoods to Urban Neighborhoods on a 3.2 +/- acre site located at 6801 E. McDowell Road. Staff contact person is Greg Bloemberg, 480-312-4306. Applicant contact person is John Berry, 480-385-2727.

6. 16-ZN-2016 (Skye on McDowell - Phase II)

Request by owner for a Zoning District Map Amendment from Highway Commercial (C-3) to Multi-Family Residential (R-5) zoning on a 3.2 +/- acre site located at 6801 E. McDowell Road. Staff contact person is Greg Bloemberg, 480-312-4306. Applicant contact person is John Berry, 480-385-2727.

**Item No's 5 & 6: Recommended City Council approve cases 7-GP-2016 and 16-ZN-2016 by a vote of 5-0; Motion by Commissioner Brantner, for a non-major General Plan amendment to the City of Scottsdale General Plan 2001 to change the land use designation from Mixed Use to Urban Neighborhoods, per the staff recommended stipulations, based up on the finding that the proposed Zoning District Map Amendment is consistent and conforms with the adopted General Plan, 2<sup>nd</sup> by Commissioner Kush, Commissioner Fakhri recused himself.**

**ADJOURNMENT**

With no further business to discuss, the regular session of the Planning Commission adjourned at 5:05 p.m.



# PLANNING COMMISSION REPORT



Meeting Date: August 24, 2016  
General Plan Element: *Land Use*  
General Plan Goal: *Create a sense of community through land uses*

## ACTION

### Boondocks Patio & Grill 42-UP-2011#3

#### Request to consider the following:

1. Find that the Conditional Use Permit criteria have been met, and recommend that the City Council approve a Conditional Use Permit for Live Entertainment at an existing bar located at 4341 North 75<sup>th</sup> Street with Downtown District, Office/Residential Type 2, Downtown Overlay (D/OR-2 DO) zoning.

#### Key Items for Consideration

- Conditional Use Permit Criteria
- Significant revitalization is occurring in the area with mixed-use commercial and residential.
- Conditional Use Permit for Live Entertainment approved for this property in 2014 expired in July 2016.

## OWNER

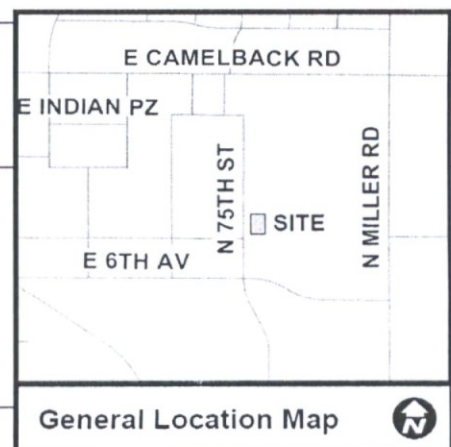
Mal & Flip, LLC

## APPLICANT CONTACT

Jacob Kory  
Boondocks, LLC  
480-949-8454

## LOCATION

4341 North 75th Street



## BACKGROUND

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### General Plan

The Land Use Element of the General Plan designates the site as Mixed-Use Neighborhoods. This category includes higher density residential, office and retail uses.

### Character Area Plan

The Downtown Future Land Use map of the Downtown Plan designates the site as Downtown Multiple Use Type 2 within the Conceptual Downtown Drinkwater Urban Neighborhood. This land use designation encourages a diverse mix of uses to create a strong urban neighborhood setting.

### Zoning

The site is zoned Downtown / Office Residential – Type 2, Downtown Overlay (D/OR-2 DO) zoning. This district allows for commercial and residential in a mixed use format. The property currently has a Conditional Use Permit for a Bar, and had a Conditional Use Permit for Live Entertainment that expired on July 1, 2016.

### Context

The subject property is located at 4341 North 75th Street, which is north of the northeast corner of East Stetson Drive and North 75th Street. The uses within the vicinity of the existing building are office, hotel, retail uses, future multi-family, and mixed use developments. Please refer to context graphics attached.

### Other Related Policies, References:

5-IP-2007	Approval of a request to purchase thirty (13) in-lieu parking credits
21-UP-2007	Approval of a request for a Conditional Use Permit for a bar
21-UP-2007#2	Approval of a request to amend the site and floor plan for a bar
2-ZN-2007	Approval of a request to rezone a property from Highway Commercial District Downtown Overlay (C-3 DO) and Parking P-2; Passenger Vehicle Parking Downtown Overlay (P-2- DO) to Downtown District, Office/Residential Type 2, Downtown Overlay (D/OR-2 DO) zoning
42-UP-2011	Approval of a Conditional Use Permit for Live Entertainment with a one (1) year expiration
42-UP-2011#2	Approval of a Conditional Use Permit for Live Entertainment with a two (2) year expiration

## APPLICANTS PROPOSAL

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### Goal/Purpose of Request

The applicant's request is for a Conditional Use Permit for Live Entertainment at an existing bar



located at 4341 North 75th Street between the hours of 5:00 p.m. and 12:00 a.m. Monday through Thursday, 5:00 p.m. and 2:00 a.m. on Friday, and between 10:00 a.m. and 2:00 a.m. on Saturday and between 10:00 a.m. and 12:00 a.m. on Sunday.

### **Development Information**

- Existing Use: Bar with Live Entertainment
- Proposed Use: Bar with Live Entertainment
- Buildings/Description: Existing one story structure
- Parcel Size: ±9,609 square feet
- Parking Required: 50 spaces
- Parking Provided: 37 leased parking spaces, and 13 in-lieu parking credits.
- Floor Area: 3,819 square feet – interior and 3,298 square foot exterior patio

### **IMPACT ANALYSIS**

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#### **Conditional Use Permit**

Conditional Use Permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and City Council has found as follows:

- A. That the granting of such Conditional Use Permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
  1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
    - **There are no anticipated impacts arising from noise, smoke, odor, dust, vibration or illumination. The live entertainment will occur indoors and outdoors at an existing bar, and will be limited to the hours between 5:00 p.m. and 12:00 a.m. Monday through Thursday, 5:00 p.m. and 2:00 a.m. on Friday, 10:00 a.m. and 2:00 a.m. on Saturday, and 10:00 a.m. and 12:00 a.m. on Sunday.**
  2. Impact on surrounding areas resulting from an unusual volume or character of traffic.
    - **The proposed live entertainment use is not anticipated to impact existing traffic in the area. The live entertainment use will be accessory to the existing bar use.**
- B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.
  - **The site is surrounded by a mix of various bar, mixed use development (commercial and residential), offices, restaurant, retail, and other live entertainment uses. The proposed live entertainment use is an accessory use to the existing bar and is reasonably compatible with the existing uses in the surrounding area.**

- C. The additional conditions specified in Section 1.403, as applicable, have been satisfied. The proposal meets the provisions for Live Entertainment as identified in Zoning Ordinance Section 1.403.K., including:
1. The applicant has provided and obtained City approval of a written Security and Maintenance Plan.
    - **The applicant has submitted a Public Safety Plan that has been approved by the City of Scottsdale Police Department (Attachment #5). This plan addresses the requirements of the Security and Maintenance Plan requirements.**
  2. The applicant has provided written evidence that sound resulting from indoor live entertainment will be contained within the building, except where external speakers are permitted by Conditional Use Permit to allow indoor live entertainment to be heard outdoors.
    - **The proposed live entertainment Conditional Use Permit includes both indoor and outdoor areas for live entertainment performances. Speakers are provided on the patio, and are directed inward. In addition, no speaker will be provided on the top of the perimeter wall. The applicant has committed that the live entertainment, including performances by a disc jockey (DJ) or juke box will comply with the City's noise ordinance. The stipulations have been incorporated that require compliance with the City noise ordinance, as well as additional noise stipulations.**
  3. The applicant has provided a lighting plan that addresses exterior lighting on the property, in accordance with Article VII. of the Zoning Ordinance and the Security and Maintenance Plan requirements.
    - **The applicant's lighting plan was submitted and approved with the Development Review Board application, 46-DR-2006. The applicant is not proposing to modify the site's exterior lighting.**
  4. The applicant has provided a floor plan which identifies the areas for the primary use and for accessory functions, including but not limited to areas for performances.
    - **The applicant has provided a site and floor plan, Exhibit A to Attachment 1 that identifies the locations of the live entertainment. The plan identifies several areas in the building and out on the patio. The applicant's narrative states, and staff has stipulated, that no more than one live entertainment location may be use at any one time.**
  5. If the establishment is not in the Downtown Area, and access to the establishment is from a street other than one classified by the Transportation Master Plan as minor collector or greater, the applicant shall provide a traffic analysis which complies with the City's transportation guidelines. The traffic analysis shall demonstrate that the level of service on all streets accessed by the use meets the City's standards.



- **The establishment is in the Downtown Area.**
6. If the Zoning Administrator determines that a parking study is necessary the applicant shall provide a study which complies with the City's requirements.
    - **The Zoning Administrator has determined that a parking study is not required.**
  7. The owner shall provide any additional information required by the Zoning Administrator to evaluate the impacts of the proposed use upon the area.
    - **No additional information has been required by the Zoning Administrator.**
  8. All building openings such as doors, windows and movable wall panels shall be closed but not locked, except as permitted by Conditional Use Permit. Doors and service windows may be opened temporarily to allow passage.
    - **This application for a Conditional Use Permit for Live Entertainment includes allowing building opening between the patio and indoor restaurant during live entertainment performances. The recently completed patio structures and repositioned speakers have been incorporated to minimize sound from emanating from the premises.**
  9. No external speakers used for live entertainment or outdoor live entertainment activities will be permitted on the premises of a use, which is located within five hundred (500) feet of a residential district shown on Table 4.100.A.
    - **No single-family residential district is located within five hundred (500) feet of the subject property. The nearest residential district to the subject property is approximately seven hundred (700) feet to the north. Closer residential uses existing in the vicinity including the apartments under construction across 75<sup>th</sup> Street are in the Downtown District, which is a mixed use district.**
  10. The owner and operator shall comply with all plans approved as part of the Conditional Use Permit.
    - **The owner and operator has stated that they will comply with all plans approved as part of the Conditional Use Permit.**
  11. All patron entrances shall be illuminated in accordance with the Building Code and the exterior lighting plans approved by the Development Review Board.
    - **An existing exterior lighting plan was submitted and approved by the Development Review Board, 46-DR-2006. Subsequent construction documents have been approved and permitted that demonstrate compliance with the Building Code.**
  12. Noise generated from the live entertainment shall conform to the City's Noise Ordinance.

- The applicant has agreed that all live entertainment will conform to the City of Scottsdale's Noise Ordinance.
- The applicant has agreed to a condition of approval stipulation that noise generated from the live entertainment use shall not exceed sixty eight (68) decibels at a distance of one hundred (100) feet measured from the property line of the establishment.

### **Public Safety**

The applicant has received approval of a Public Safety Plan from the Scottsdale Police Department. Over the timeframe (4 years) of the past two Conditional Use Permits for Live Entertainment (42-UP-2011 and 42-UP-2011#2), only one complaint has been received by the Scottsdale Police Department, which was resolved in a timely manner. No impacts are anticipated as a result of the proposed live entertainment use to existing police or fire services in the area.

### **Community Involvement**

The applicant has notified all property owners within 750 feet of the site. In addition, the applicant held an open house regarding the proposed use on April 6, 2016. A summary of the Citizen Involvement is included as Attachment #6. The city also notified all property owners within 750 feet of the site. Prior to the open house meeting and the applicant sending a separate letter to the Condo Marquessa Association, staff received several phone calls and emails from the residents pertaining to the concern that this application was to modify and increase the allowed decibels levels than what was previously approved. Once the residents were correctly informed regarding this application, staff has not received any additional comments.

## **OPTIONS & STAFF RECOMMENDATION**

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### **Recommended Approach:**

Staff recommends that the Planning Commission find that the Conditional Use Permit criteria have been met, and make a recommendation to City Council for approval, per the attached stipulations.

## **RESPONSIBLE DEPARTMENT**

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### **Planning and Development Services**

Current Planning Services

## **STAFF CONTACT**

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Dan Symer, AICP

Senior Planner

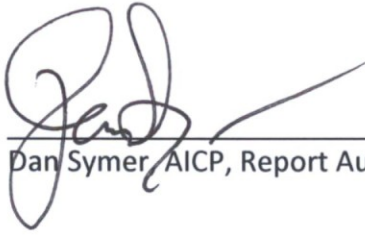
480-312-4218

E-mail: dsymer@ScottsdaleAZ.gov



**APPROVED BY**

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Dan Symer, AICP, Report Author

8-16-2016

Date



Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

8/16/2016

Date



Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

8/17/16

Date

**ATTACHMENTS**

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1. Stipulations  
Exhibit A to Attachment 1: Site Plan
2. Applicant's Narrative
3. Context Aerial
- 3A. Aerial Close-Up
4. Zoning Map
5. Public Safety Plan
6. Citizen Involvement
7. City Notification Map

## **Conditional Use Permit – Live Entertainment**

### **Stipulations:**

#### **Boondocks Patio & Grill for**

**Case Number: 42-UP-2011#3**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

#### **GOVERNANCE**

1. **APPLICABILITY.** All stipulations of this case, 42-UP-2011#3, supersede all of the stipulations of cases 42-UP-2011, 42-UP-2011#2, 21-UP-2007 and 21-UP-2007#2 for a Bar continue to apply, as amended.

#### **OPERATIONS**

2. **CONFORMANCE TO THE CONCEPTUAL SITE AND FLOOR PLAN.** The interior layout of the premises shall be in substantial conformance with the conceptual site and floor plan submitted by Aline Architecture and with the city staff date of 04/22/2014, attached as Exhibit A to Attachment 1. Any proposed significant change to the conceptual site and floor plan as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
3. **HOURS OF LIVE ENTERTAINMENT.** The hours of the live entertainment for this establishment shall be limited to:

	Allowed Start of the Live Entertainment	To	Required End of the Live Entertainment
Sunday	10:00 a.m.	To	12:00 a.m.
Monday	5 p.m.	To	12:00 a.m.
Tuesday	5 p.m.	To	12:00 a.m.
Wednesday	5 p.m.	To	12:00 a.m.
Thursday	5 p.m.	To	12:00 a.m.
Friday	5 p.m.	To	2:00 a.m.
Saturday	10:00 a.m.	To	2:00 a.m.

4. **PUBLIC SAFETY PLAN.** The live entertainment shall conform to Public Safety Plan approved by, and on record with the City of Scottsdale's Police Department and the Planning, Neighborhoods, and Transportation Division. A copy of the approved Public Safety Plan shall be maintained on site. Within 10 days after a request by the City Manager or designee, the owner shall provide an update of the Public Safety Plan to the Scottsdale Police Department and the Planning and Development Services Department. At least ten (10) days before any operational change of the live entertainment, or any promotional event (excluding Special Events), that modifies the requirements or contents of the Public Safety Plan, the owner shall submit a revised Public Safety Plan to the Scottsdale Police Department and the Planning and Development Services Department. Any revised Public



Safety Plan shall be subject to approval by the City of Scottsdale's Police Department and the Planning, Neighborhoods, and Transportation Division.

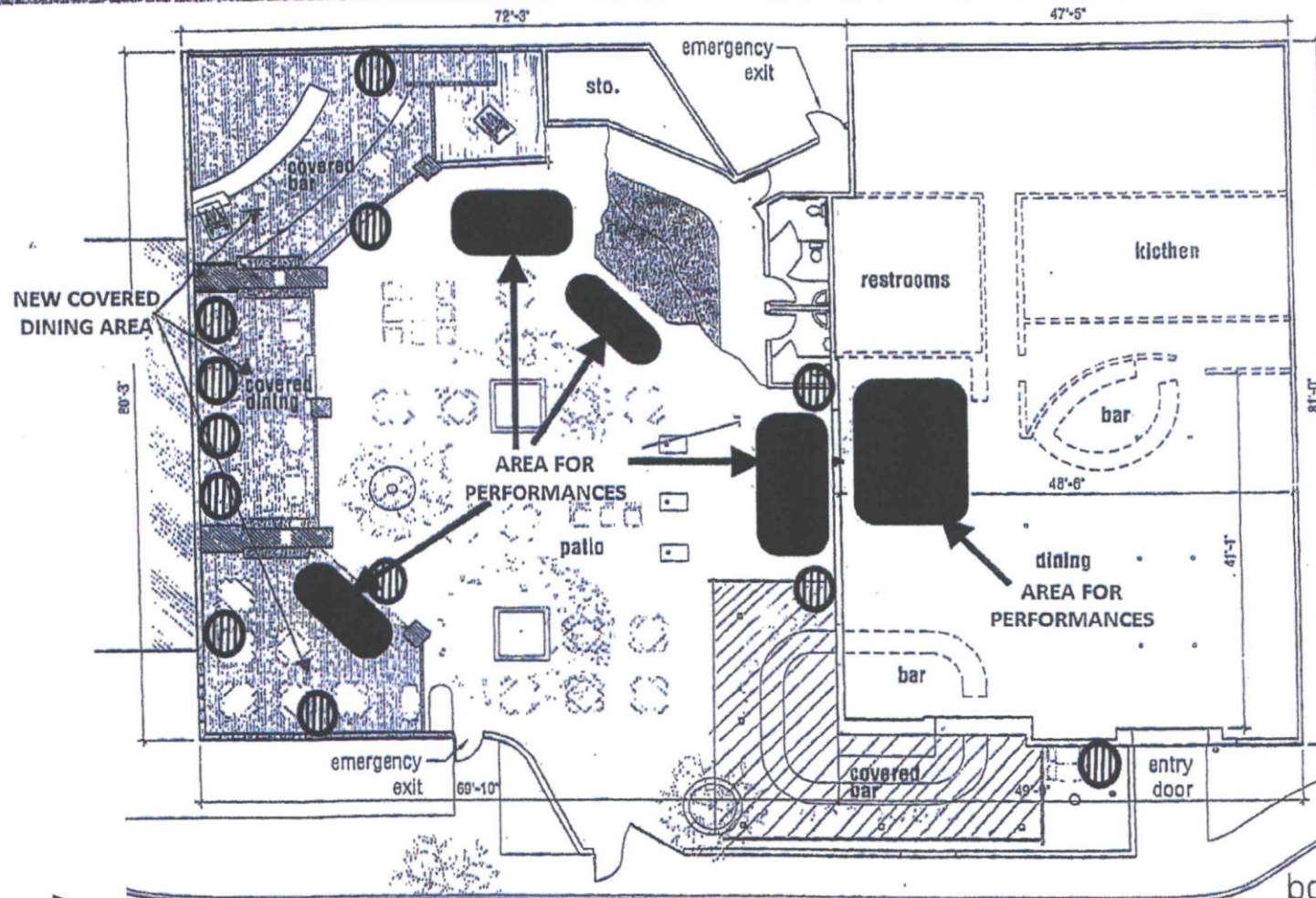
5. LOCATIONS OF LIVE ENTERTAINMENT. No more than one live entertainment location identified on the site and floor plan may be used for a live entertainment performance at any one time.
6. USE OF SOUND AMPLIFICATION. Live entertainment shall use the building sound amplification and speaker system to amplify live entertainment performances, or a portable amplification system with a maximum of two portable speaker cabinets. Each portable speaker cabinet shall be limited to two speakers.
7. OUTDOOR SPEAKERS. The outdoor speakers shall be limited number and locations indicated on the site and floor plan. The number and locations indicated on the site/ floor plan does not include the two portable speaker cabinets indicated in stipulations number 6. When utilized, the two portable speaker cabinets shall be located in the live entertainment area identified on the site and floor plan that currently being utilized for the live entertainment performance.
8. NOISE. Noise generated from the live entertainment use shall not exceed sixty eight (68) decibels at a distance of one hundred (100) feet measured from the property line of the establishment.
9. NOISE. In addition to the City's Noise Ordinance (Ordinance No. 3192, Article II, Chapter 19 of the Scottsdale Revised Code) and condition number 9 above, noise generated from performances by a disc jockey (DJ), or music played on a juke box, and any speakers or other amplification equipment, shall not exceed ambient noise levels consistent to the use and the character of the area during hours of operation, as determined by the Zoning Administrator, or designee.

#### **PARKING**

10. PARKING ASSURANCE AGREEMENT. Thirty (30) days before the expiration of the assurance agreement, the owner shall submit a new assurance agreement to the Zoning Administrator, subject to city review and approval. If the owner is unable to obtain the required parking under an assurance agreement, to the satisfaction of the Zoning Administrator or designee, it may be grounds for a revocation the Conditional Use Permit.

#### **ADMINISTRATIVE PROCESS**

11. CONDITIONAL USE PERMIT ADMINISTRATIVE REVIEW. Within ten (10) days after a request by the Zoning Administrator or designee, the owner, shall submit a letter to the Zoning Administrator or designee demonstrating compliance with all stipulations. A deviation from any stipulations or change in the floor plan may be grounds for revocation of the Conditional Use Permit.
12. CHANGES IN OWNERSHIP. Within ten (10) days after a change in ownership, the owner shall provide notice to the Zoning Administrator in writing of any such ownership change.



NOTE: NO MORE THAN ONE PERFORMANCE  
AREA WILL BE UTILIZED AT ANY ONE TIME

boondocks  
4341 n. 75th. street  
date: january 21, 2014

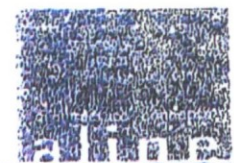


Exhibit A to  
Attachment 1

42-UP-2011#3  
4/22/14



Boondocks Patio & Grill

4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251

Conditional Use Permit Application Narrative

Boondocks Patio & Grill has applied for a Conditional Use Permit for the purpose of live music at the establishment. This property is well established in the community and has had a restaurant/bar use since 1962. At this point, the establishment has had a Conditional Use Permit for live music for the past four (4) years. The original Conditional Use Permit at this property was for Spanish Fly Lounge (Case#42-UP-2011) and it expired 4/13/2013. The currently active Conditional Use Permit was renewed 7/1/2014 and is set to expire on 7/1/16. Resolution No 9805 found:

- a. That the granting of this conditional use permit per stipulations set forth on Exhibit 2 will not be materially detrimental to the public health, safety or welfare based on, but not limited to, the following factors: damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination and impact on surrounding areas resulting from an unusual volume or character of traffic;
- b. That the characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas; and
- c. That compliance with the additional conditions for live entertainment, set forth on Exhibit 3, is required

The hours of live entertainment use would be Monday through Thursday from 5pm to 12am. Friday from 5pm to 2am, Saturday from 10am to 2am and Sunday from 10am to 12am. The area for live music is displayed in the attached floor configuration.

Conditional Use Permit Criteria for Live Entertainment

1.401 Conditional Use Permit Criteria

A. That the granting of such conditional use permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:

1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
  - The property has a Conditional Use Permit for Live Entertainment that has been in place since July 2014. The previous Conditional Use Permit for Live Entertainment was in place from April 2012 (Case Number 42-UP-2011). No damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination is anticipated. The music from the live entertainment will conform to the City of Scottsdale's Noise Ordinance. No formal complaints were filed during the previous or current use permit for live entertainment duration.
2. Impact on surrounding areas resulting from an unusual volume or character or traffic.

- The proposed live entertainment is not anticipated to affect the surrounding areas with an unusual volume or character or traffic. The proposed live entertainment is primarily an accessory use to the function of the restaurant and bar operations. The proposed live entertainment will be similar to the live entertainment that has been active for the previous two years.
- B. The characteristic of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.
- The property has operated as a bar/restaurant since 1962 and has been compatible with the types of uses permitted in the surrounding areas. There are currently several office, bar, mixed use, restaurant and other live entertainment uses existing in the area. The proposed live entertainment is primary an accessory use to the function of the restaurant and bar operations. The proposed live entertainment uses will continue what has been the regular operations of the current establishment.
- C. The additional conditions specified in Section 1.403, as applicable, have been satisfied.
- See below

#### 4.403.K Live Entertainment.

1. The applicant has provided and obtained City approval of a written Security and Maintenance Plan
  - Security and Maintenance Plan was submitted when opening business as Boondocks Patio & Grill and renewed. A copy of that Security Plan has been submitted with this application
2. The applicant has provided written evidence that sound resulting from indoor live entertainment will be contained within the building, except where external speakers are permitted by Conditional Use Permit to allow indoor live entertainment to be heard outdoors.
  - The live entertainment conditional use permit includes both indoor and outdoor areas. There are two, large, covered, fire sprinkler certified patios constructed in the open patio. One on the north wall and one on the west side of the building. The roof is pitched in a direction to keep sound inside the property. Small speakers are located under the roofing structure to allow for ambient sound under the structure and are all facing down and in towards the patio. There has been no change to the structure or speaker location since the previous Use Permit had been issued.
  - Live entertainment performed indoor, on the patio or under the patio structure will all be contained within the property and will comply with the City's Noise Ordinance regardless of whether music is live entertainment, DJ or Juke Box.
3. The applicant has provided a lighting plan that addresses exterior lighting on the property, in accordance with article VII. Of the Zoning Ordinance and Security and Maintenance Plan requirements.



- The existing exterior lighting plan was submitted and approved for the property. This plan is on file with the Planning, and Development Services Division.
4. The applicant has provided a floor plan which identifies the areas for the primary use and accessory function, including but not limited to areas for performances.
- Floor plan included with the application has the performance areas noted
5. If the establishment is not in the Downtown Area, and access to the establishment is from a street other than one classified by the Transportation master Plan as minor collector or greater, the application shall provide a traffic analysis which complies with the City's transportation guidelines. The traffic analysis shall demonstrate that the level of service on all streets accessed by the use meets the City's standards.
- Establishment is in the Downtown area
6. If the Zoning Administrator determines that a parking study is necessary, the applicant shall provide a study which complies with the City requirements.
- The Zoning Administration has determined that a parking study is not required
7. The owner shall provide any additional information required by the Zoning Administrator to evaluate the impacts of the proposed use upon the area.
- No additional information has been requested by the Zoning Administrator
8. All building openings such as doors, windows and movable wall panels shall be closed but not locked, except as permitted by Conditional Use Permit. Doors and service windows may be opened temporarily to allow passage.
- The proposed conditional use permit includes building openings between patio and the indoor restaurant to be opened during any live music performances indoor or on the patio. The north structure, the west roofing and the placement of the speakers allow music to be heard inside the establishment and on the patio during any live music. There has been no changes to the structure or speaker positions since the current Use Permit has been issued. The City's Noise Ordinance regulations will be adhered to regardless of type of music being played. Live music indoors, on the patio, DJ, jukebox or background music played through our sound system.
9. No External speakers used for live entertainment or outdoor live entertainment activities will be permitted on the premises of a use, which is located within five hundred (500) feet of a residential district shown on Table 4.100.A.
- There is not a residential district shown on Table 4.100.A located within 500 feet of the property
10. The owner and operator shall comply with all plans approved as part of the Conditional Use Permit

- The owner and operator will comply with all plans approved as part of the Conditional Use Permit

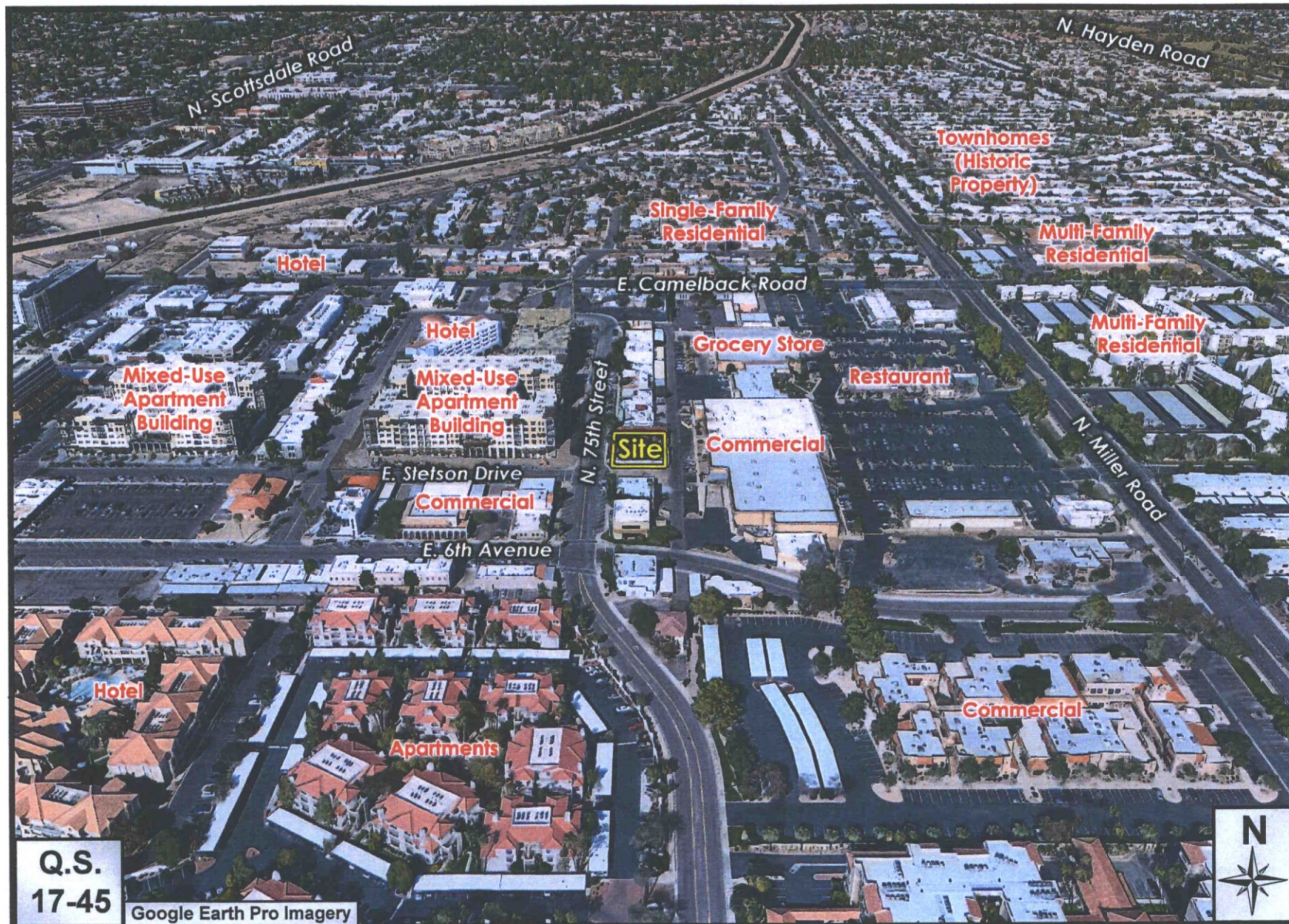
11. All patron entrances shall be illuminated in accordance with the Building Code and the exterior lighting plans approved by the Development Review Board.

- The existing exterior lighting plan was submitted and approved with Development Review Board and are compliant with building codes. Construction documents were previously approved and permitted. All city inspections pertaining to these plans and documents have been completed.

12. Noise generated from the live entertainment shall conform to the City's Noise Ordinance.

- All noise from live entertainment will conform to the City of Scottsdale's Noise Ordinance.

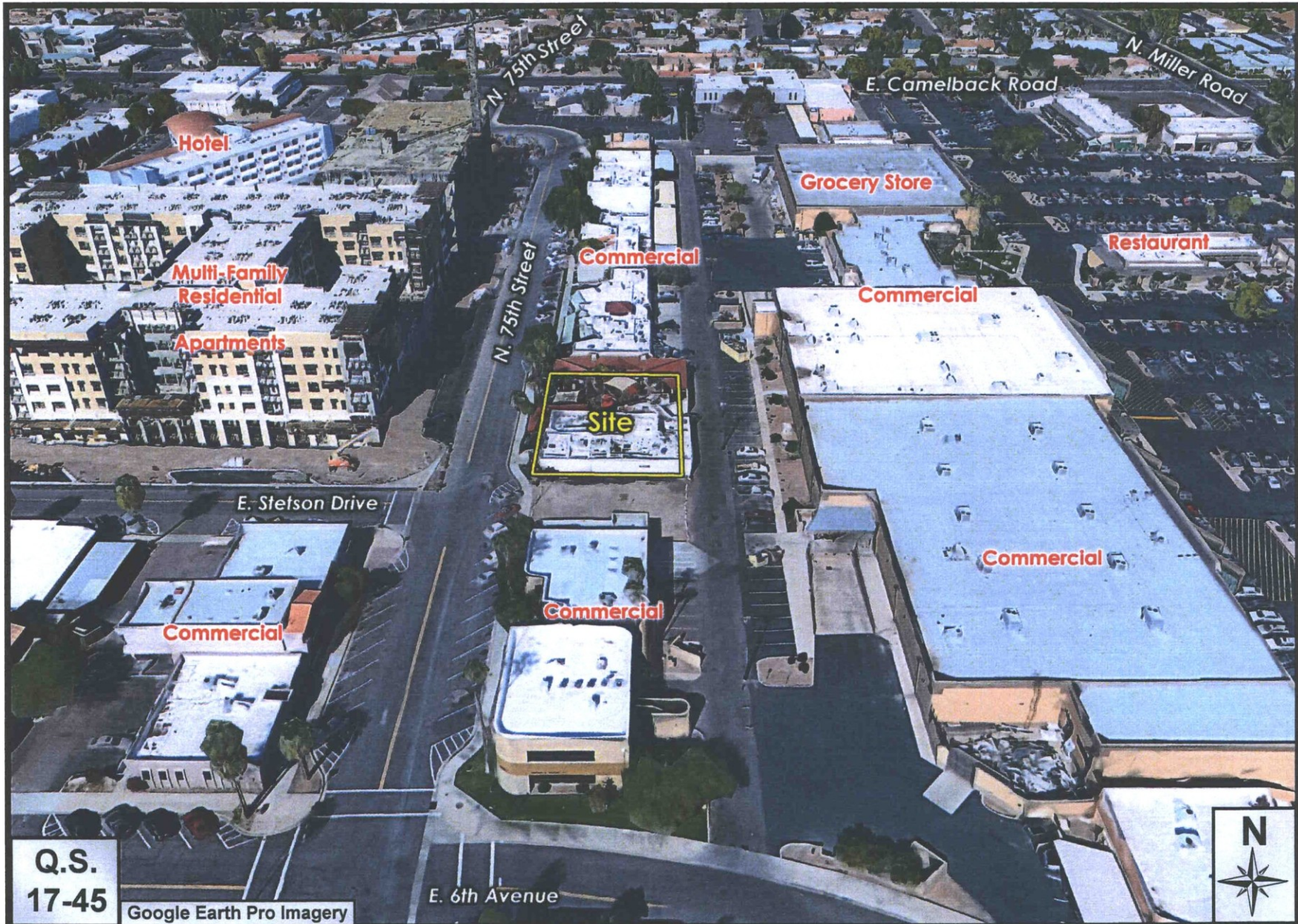




Boondocks Patio & Grill

42-UP-2011#3

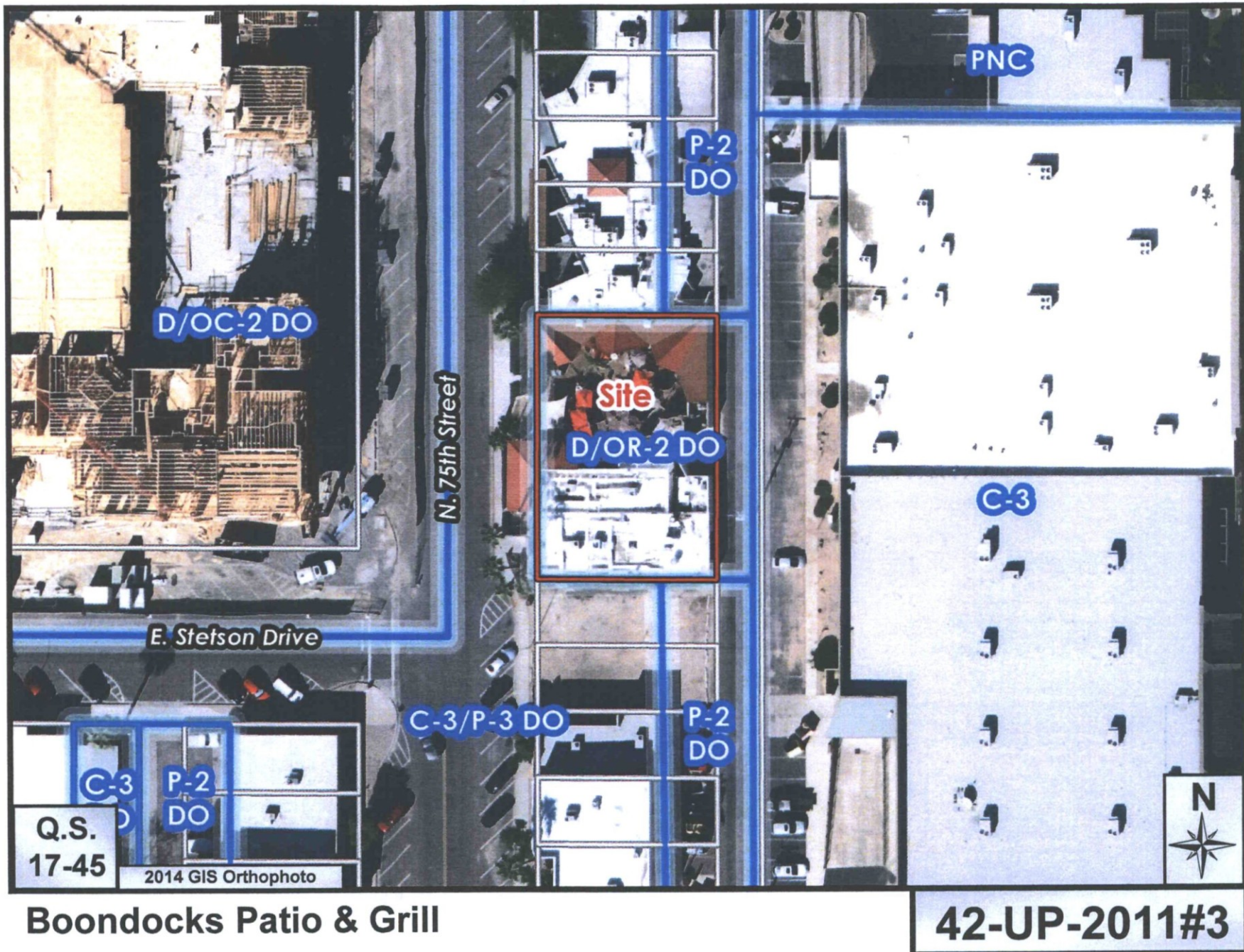




Boondocks Patio & Grill

42-UP-2011#3





Boondocks Patio & Grill

42-UP-2011#3



SPD File# 400791  
Returned for Corrections: \_\_\_\_\_  
Expiration Date: 050518  
CoS TPT \_\_\_\_\_



Date Submitted: 040716  
Date of Approval: 050616  
Liquor License #: 06070240  
CoS Spirituous Liquor \_\_\_\_\_

## City of Scottsdale Public Safety Plan Application

### 1. Objective:

The purpose of this ordinance is to promote the general health, safety and welfare of citizens, visitors, businesses and the community in general by requiring businesses that engage in certain activities within the city to file, follow and keep current a public safety plan.

### 2. Identification:

- A. Scottsdale Address: 4341 N. 75th St. Scottsdale AZ 85251  
B. SFD Building Occupancy Limit: 193 + 220 = 413 (inside + patio)  
C. Occupancy Type (circle one): A-2 (bar, tavern, night club, restaurant), A-3 (dance hall), or A-4 (skating rink, WestWorld)  
D. Staffing Ratios:  
a. 1:50+1:75 (500+Patrons) 1:75 (60% Food Sales) 1:100 (90% Fixed Seating)  
b. You must include supporting documentation for ratios of 1:75 and 1:100.  
E. Company Entity (Corporation, LLC, Partnership, etc): SCOTTSDALE BOWLOCKS LLC  
F. DBA (doing business as): BOWLOCKS PATIO & GRILL  
G. Company Members: (please use addendum, if necessary):  
45% JACOB KORY BLAKE KORY, GABRIEL KORY 10%.  
H. Contact Information:  
a. Mobile Phone: 480 202-3203  
b. Business Phone: 480-949-8454  
c. Email: jacobkory@gmail.com  
d. In Case of Emergency: JACOB KORY 480-202-3203

### 3. APPLICABILITY: This application for a Public Safety Plan is submitted because my business engages in the following activity(ies) (MARK ONE OR MORE ACTIVITIES IN WHICH YOU ENGAGE):

- ☒ Age Verification is Requested for Admittance.  
☐ Provide a Disc Jockey  
☐ Provide an Adult Service as Defined in Section SRC 16-237  
☐ Teen Dances, Consistent with Section SRC 16-391, are conducted.  
☐ A Promoter is Utilized.

### 4. PLAN OF OPERATION:

- a. The plan of operation includes a crowd management plan, hours of operation, and identification of peak hours (presumption: 9PM-2AM, Thursday-Saturday):

Hours of Operation:

Monday: 11am - 2am  
Tuesday: 11am - 2am  
Wednesday: 11am - 2am  
Thursday: 11am - 2am  
Friday: 11am - 2am  
Saturday: 11am - 2am  
Sunday: 11am - 2am

Initials of Applicant

I HAVE RECEIVED AN APPROVED  
COPY OF MY PUBLIC SAFETY PLAN PI

ATTACHMENT #5

42-UP-2011#3  
5/11/2016



Peak Hours:

Monday: NONE  
Tuesday: NONE  
Wednesday: NONE  
Thursday: NONE  
Friday: 10pm - 12am  
Saturday: 10pm - 12am  
Sunday: NONE

5. NARRATIVE:

a. YOU MUST ATTACH A NARRATIVE OF YOUR PLAN OF OPERATION TO THIS APPLICATION WHICH INCLUDES THE FOLLOWING ELEMENTS:

- i. Diagram of Building Including Interior Build-Outs; 8.5"x11" (see example)
- ii. Diagram of Parcel or Lot; 8.5"x11" (see example)
- iii. Scottsdale Fire Department Approved Occupancy Limit
- iv. Safety Conditions and Considerations
- v. Crowd Management Plan
- vi. Patron Parking, Ingress, Egress, Vehicular and Pedestrian Traffic Control
- vii. Log of All Employees Including: Full Legal Name, Date of Birth, Current Address, Job Title, and Contact Phone Number (see SRC 23-57 for special requirements and ratio of security officers to patrons) (Similar to the Title 4 Requirements)
- viii. Contact Person and Information Designating Who Is Authorized to Receive and Handle Complaints from the Public or City of Scottsdale on Behalf of the Business
- ix. Evacuation Routes
- x. Evidence of Security Uniform With the Word "Security" on Both Front and Back and In Letters At Least 3-Inches in Height(see SRC 23-57.F)
- xi. Statement Regarding the Number of Security Staff Available During Peak Times and the Ratio of Security Staff to Patrons
- xii. Statement Regarding Use, if Applicable (i.e. 60% food sales, 90% fixed seating)

6. All final documents, including the narrative required by Section 5, submitted in support of this public safety plan application are incorporated into the approved public safety plan as conditions and requirements by this reference.
7. The provisions of Scottsdale Revised Code Sections 23-50 through 23-76 are incorporated into this public safety plan as conditions and requirements by this reference. Failure to comply with these code sections shall be considered a violation of this public safety plan.

As part of this application, I have read and understand the City of Scottsdale Public Safety Plan Ordinance. On behalf of Bonacks, I agree that Bonacks, and its employees will comply with the Public Safety Plan Ordinance and its City approved public safety plan. I also certify that all the information submitted as part of this application is true and correct to the best of my knowledge.

  
Signature of Applicant

 5/6/16

3/20/16  
Date Signed

Please email the completed application to: [PSPO@ScottsdaleAZ.gov](mailto:PSPO@ScottsdaleAZ.gov)

Initials of Applicant 

# Public Safety Plan - Contact Persons

The following persons are designated to receive and handle complaints from the public or City of Scottsdale:

Name	Position	Contact#
JACOBO KEY	OWNER	480.202.3203
TIM FETTING	GM	480.236.7621

Submitted by: \_\_\_\_\_

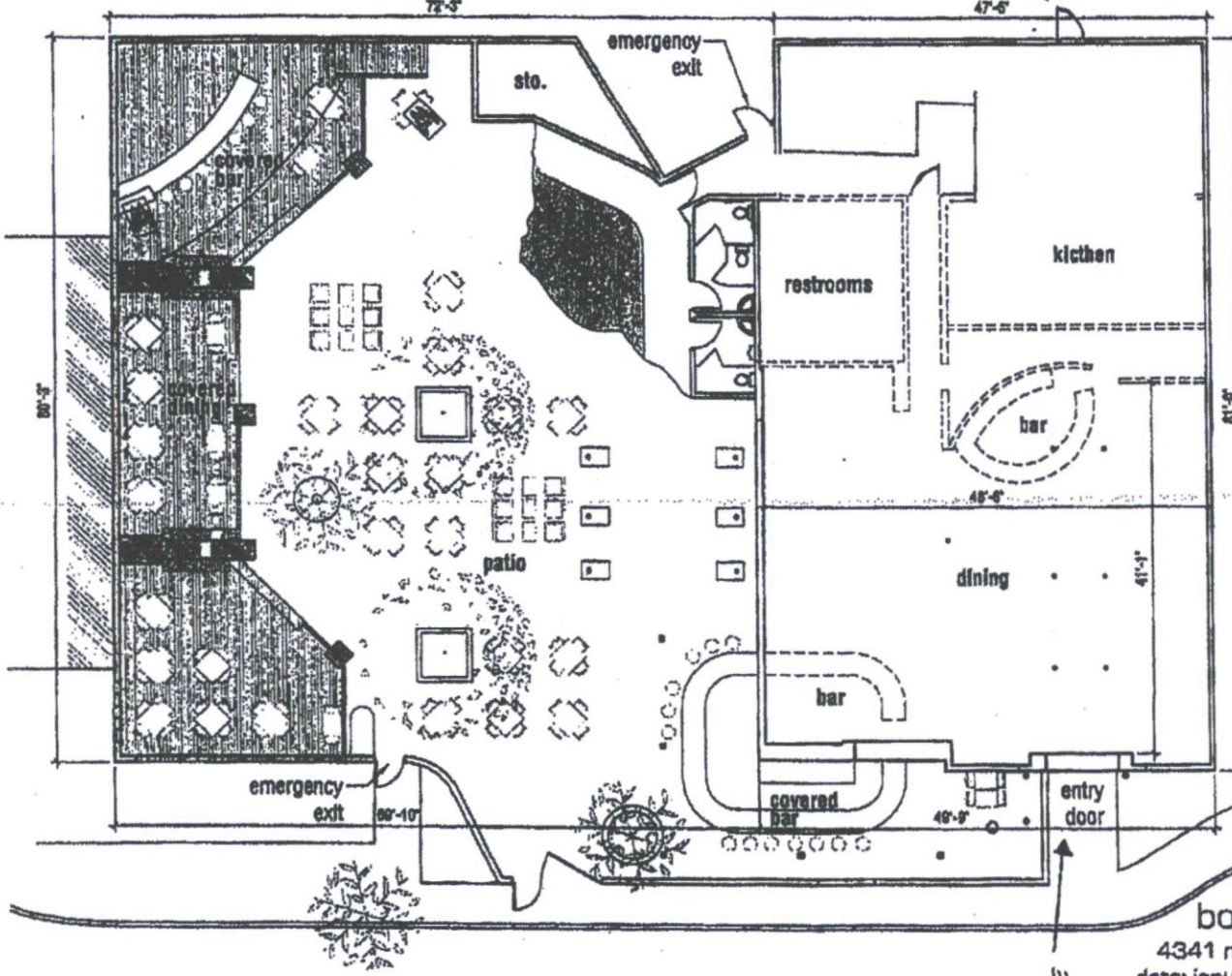
All information must be current. (per SRC 28-55)





public safety plan

a-1



boondocks  
4341 n. 75th. street  
date: january 21, 2014



MAIN  
ENTRANCE

Negative i



Handwritten signature or initials.

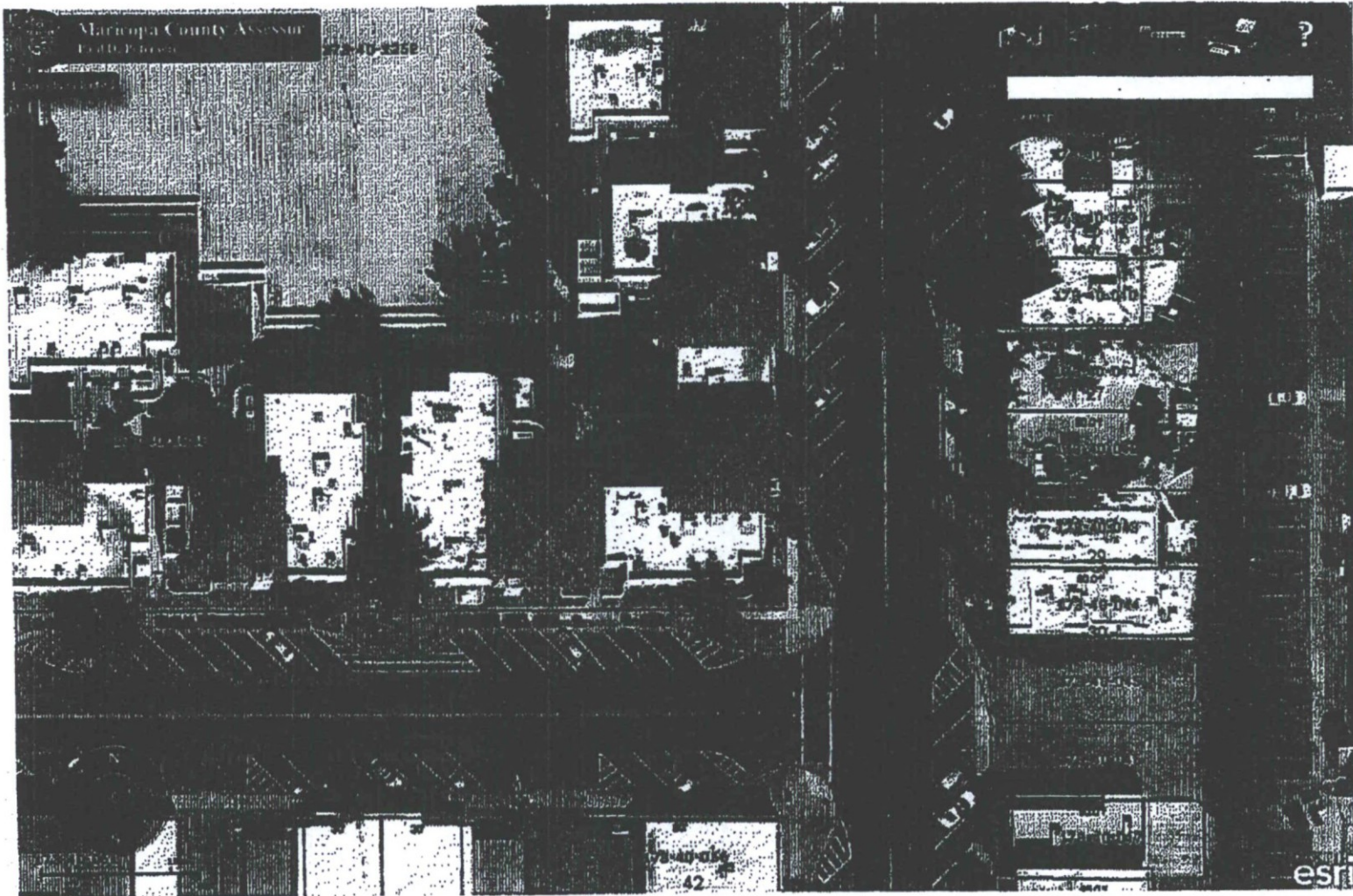
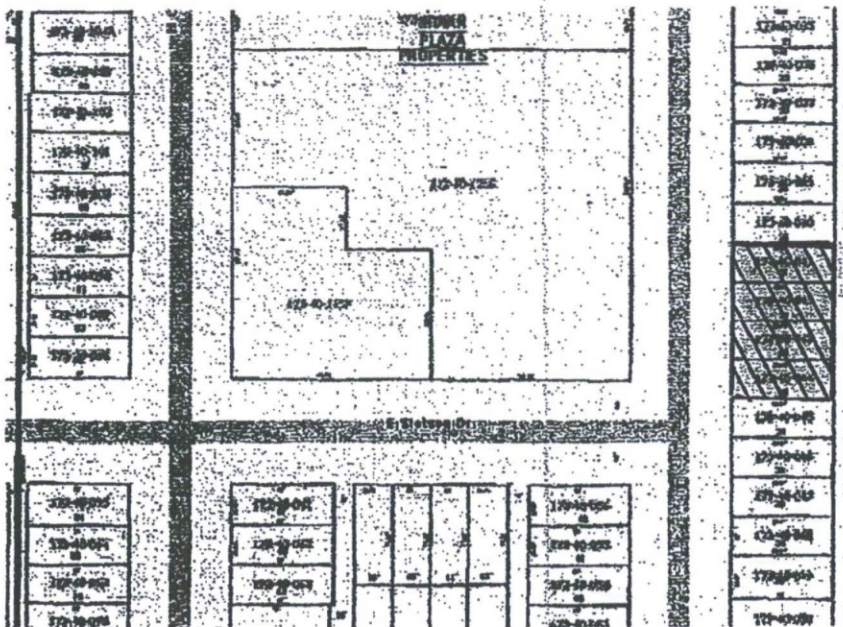


Diagram of Parcel  
Boondocks Patio & Grill  
4341 North 75<sup>th</sup> Street, Scottsdale, AZ 85251

Handwritten signature or initials.







PARCEL NUMBER

173-40-041  
 173-40-042  
 173-40-043  
 173-40-044

Scottsdale Police Department  
Public Safety Plan

Boondocks Patio & Grill  
4341 North 75<sup>th</sup> Street  
Scottsdale, AZ 85251

**Statement Regarding Maximum Occupancy**

We have not yet received a Certificate of Maximum Occupancy from the Scottsdale Fire Department (SFD).

Our maximum occupancy, as identified by the SFD is 418-persons, with 198-person capacity inside and a 220-person capacity on the patio.

We agree to provide the Scottsdale Police Department with a copy of our Certificate of Maximum Occupancy upon receipt.

~~OWNERSHIP DISCLOSURE~~ 





**Welcome to the Boondocks Patio & Grill Team! Boondocks prides itself on our amazing staff and outstanding customer service.**

**The following manual will help you understand your job duties as a security team member and how to properly perform them.**

### **Job Duties Overview**

The primary job duties as a security personnel employee of Boondocks Patio & Grill are as follows:

- Check the legal age of patrons
- Provide a safe environment by enforcing house rules and state laws.
- Perform fundamental safety tasks.
- Provide security for both staff and patrons.
- Monitor individuals based on occupancy, intoxication and aggressive behavior.
- Reduce liability by anticipating problematic patron behavior.
- Keep items such as chairs, tables, glassware ect out of exit ways and organized to reduce the risk of injury to staff and guests.
- Monitor all exits and inform patrons of acceptable exits during a non emergency.

**Floor Chart:** There are 3 main floor positions for Security team members. Positions will be posted each shift. Your floor position for each shift will often change, so it is imperative you take the time to understand each of the positions and the duties associated with each of them. Learning the table numbers, bar names, exit names and general layout of Boondocks is extremely important. When there is a need for a table to cleared, clean and clear the table being as polite, accommodating as possible to guests. It is also important to know your fellow employees names. Often you will be called to help out a certain individual with their duties and it is not only important for you to know who your co-workers are, but for co-worker to trust you to help in their safety should it be needed.

**Front Door:** Checking IDs, allowing guests in and out, managing line, making sure no drinks or glassware leave the premise, managing persons count. In addition to the mentioned duties, there may be at times a dress code that will be enforced. The Front Door team member is the first person that is representing Boondocks when a customer arrives. It is extremely important to make that customer feel welcome and accepted into Boondocks. We are a neighborhood bar and our goal is to make the customer feel that Boondocks is their bar. \*NOTE: there is always at least one person at our entrance no matter what is going on.\*

**Interior Bar:** Supporting the door, making sure no one enters through another emergency exit to the building. Making sure patrons do not enter "back of the house" areas. Making sure no drinks or glassware leaves the premise, helping gather glassware on tables, watching patrons in your section, cleaning up any spills or broken glassware. You might also be asked to seat or check on patrons making it important to know table numbers and sections. Making sure that pool table, video games, dart boards ect are being used in a safe manor.

**Patio:** Supporting the door, making sure no one enters through another emergency exit to the building. Making sure no one jumps the patio fence in either direction: in or out. All exiting patrons should be guided to the designated exit door and checked for any beverage or glassware leaving. Watching patrons in your section, cleaning up any spills or broken glassware. Collecting glassware in the vicinity, clearing tables and making sure that outdoor games are being used in a safe manor.

**Front Door:** The Front Door position is critical to the proper flow and smooth workings of the entire establishment. There are several key points to making sure the front door is working efficiently and properly.

Boondocks Patio & Grill

Applicant Initials






**Age Verification:** It is one of the most important roles of door personnel to check and verify the legal age of patrons entering the establishment. Precautions should be taken at the door to cover liability issues. The four steps in checking ID are First, ask for ID. Second, insure the ID is valid (on of the five acceptable forms) and unaltered. Third compare the presenter with the photograph. Lastly, make sure the ID indicates the patron is 21 or older. Boondocks Policy is to log all persons under the age of 25-years old. Arizona law states that if you allow an underage person inside **WITHOUT LOGGING THEIR ID IT IS PRESUMED YOU KNEW THEY WERE UNDERAGE.**

**Wrist Bands:** If wristbands are utilized to identify persons who are old enough to consume/possess alcoholic beverages, wristbands will be securely placed on patrons' wrists and checked for tightness.

**Occupancy Count:** It is imperative that the door personnel know the maximum occupancy of the establishment to comply with Fire Marshal regulations. Clickers are used at the entrance and exit points in order to keep track of occupancy and to assure that maximum occupancy is not exceeded. If the Fire Marshal does come by to check local fire regulations, be sure to contact the manager on duty and inform them. The maximum occupancy at Boondocks is \_\_\_\_\_ patrons inside, and \_\_\_\_\_ patrons outside for a total occupancy of \_\_\_\_\_ persons.

**Line:** During busy nights, a line is a common occurrence as patrons try to enter the establishment as the occupancy approaches peak numbers. It is important to remember to start a line before maximum occupancy is reached. This allows you some room to work without exceeding the maximum occupancy. Things to pay attention to while forming a line are large parties on the guest list and regulars. Allowing yourself room to work with assures you that when VIP patrons or regulars arrive you can quickly grant them access without exceeding maximum occupancy. Attention to the flow to the establishment is also important. Allowing enough room for people to move and enjoy themselves without being too cramped in is for the enjoyment and safety of our customers.

**Dress Code:** The purpose of our dress code is to keep and promote the proper atmosphere which is greatly influenced by the crowd. Boondocks is a casual, neighborhood bar so common sense when making decisions is a must. The dress code required by Boondocks relates to the safety and well being of our patrons and staff. If the attire does not fit the atmosphere of the establishment, be polite and explain why entry is being denied. If a customer is respectfully asking for the manager on duty go ahead and find the manager and explain the situation. If the manager decides that the patron is ok, an exception to the dress code may be made.

**Patrons Behavior:** If a patron trying to gain entry into Boondocks seems overly intoxicated or aggressive, politely refuse him entry. It is illegal to grant entry to a person who is obviously intoxicated. By refusing entry at the door you can prevent issues inside.

**Interior / Patio:** While working inside and on the patio as a security team member it is important to be diligent and attentive to your surroundings. The safety and satisfaction of our customers is our top priority. The following key points will help guide you in the right direction to offer the best experience for our guests.

**Patrons:** One of the main job duties of a security is to maintain a fun and safe atmosphere for our guests, staff, and musicians. You will have to deal with rude or unruly guests. The Boondocks policy when dealing with an unruly patron is non-confrontational. Communication is critical: Instead of being aggressive when dealing with unruly guests, be polite and explain the issue and what needs to be done to correct it. This could be as simple as telling the patron they cannot stand on the tables, or explain to them why they must leave the premises. Be on the lookout for guests who are too intoxicated, bumping into other patrons, or engaging in any activity that disrupts the atmosphere of the establishment. If you escort a patron out ask if they need a cab or help them provide safe transportation every time.

**Obvious Intoxication:** Arizona Revised Statutes, 4:244.14 states that "obviously intoxicated" means inebriated to the extent that a person's physical faculties are substantially impaired and the impairment is shown by significantly uncoordinated physical action or significant physical dysfunction that would have been obvious to a

Boondocks Patio & Grill

Applicant Initials



reasonable person. Obviously intoxicated patrons must be removed from the licensed establishment within 30 minutes of when the licensee or employee of the licensee knew or should have known the patron was obviously intoxicated. If you escort a patron out ask if they need a cab or help them provide safe transportation every time.

**Fights:** When a physical altercation does happen, it is your job as security to be as professional and effective in escorting the parties off the premises. This also goes for patrons that are overly intoxicated. Security shall not use excessive physical force; doing so will lead to disciplinary action. Please read and sign the Security Personnel Policy and Liability Consent Form located in this document. Make sure if you do escort a patron out for the night that the door personnel are aware of the status of that patron. If a patron is involved in a fight, they are out with no questions. All fights must be reported to the manager on duty and an incident report shall be filled out. When filling out the incident report be sure to be thorough and detailed in your explanation of the account. Remember, patrons who are disorderly must be removed immediately from the serving area.

**Safe Ride Home:** If a patron is perceived to be obviously intoxicated, they will be offered a taxi, limo, or other means of safe transportation so that they will be dissuaded from driving. If they choose to drive contrary to security staff's advice, Scottsdale Police Department will be contacted. Additionally, an incident report documenting the offer must be produced and provided to a manager for each patron offered a safe ride home.

**911:** In case of a fire or other emergency, patrons will be evacuated through all emergency exits away from the threat. If you do not have personal knowledge that emergency services have been contacted, you must call 911 immediately.

**House Rules and Laws:** Boondocks Patio & Grill has it's own set of house rules to be enforced by security as well as making sure local laws are being followed. Make sure you know and understand these rules. Understanding the liquor laws are also highly important. It is highly encouraged that you as a security team member attend a liquor class in order to better understand, follow and assure these regulations are being followed.

Basic Rules are as follows:

1. No standing on the furniture
2. Customers may only smoke outside
3. Customers may not pour their own bottles, bottle locks must be used
4. No drinks or glassware outside the establishment (patio is ok)
5. Fighting, aggressive behavior, over intoxication and illegal substances are not tolerated.
6. Taking pictures of the staff so that they may feel uncomfortable is not tolerated.
7. Grabbing or inappropriate touching of staff is not tolerated.

**Cooperation With Scottsdale Fire Department:** The Scottsdale Fire Department makes sure that Boondocks Patio & Grill is adhering to fire codes and occupancy restrictions. If the Fire Marshal contacts you while at work be sure to notify the manager on duty immediately. The front door count is very important. It is important that the door count is accurate and that the maximum occupancy of \_\_\_\_\_ patrons is not exceeded. Make sure all exits are clear from obstructions, including the back exits. Make sure there are no spills or broken glass left unattended.

**Cooperation with Law Enforcement:** The Arizona Department of Liquor Licenses and Control (ADLLC) is comprised of sworn officers that enforce local and state liquor laws. It is important that you, as a security member, know the basic law. ADLLC and/or SPD may also ask you questions as an employee of Boondocks Patio & Grill to test your knowledge of these laws. Property checking IDs is a critical duty of the security staff. Making sure you can recognize fake IDs is extremely important. Some IDs may also be real but do not belong to the person handing it to you. In this case, closely examining the picture to match it to the person is imperative. Look at things like weight, eye color, height and any distinct facial features. Ask questions such as what year they graduated from high school.

Boondocks Patio & Grill

Applicant Initials



**Employee Dress Code:** It is important you are dressed in your Security uniform, jeans or shorts and comfortable shoes that are appropriate for work. Hats are ok, as long as they are approved by management.

**Closing Duties:** The closing duties checklist covers all closing duties for Security staff members. At the end of each night you will be assigned closing duties. The checklist will explain what is involved in each closing duty. When you are finished with your closing duty, make sure you check out with management before clocking out and leaving.

**SECURITY CLOSING PROCEDURES CHECKLIST \*\*Security staff is to checkout with management before leaving\*\***

1. **Trash:** Trash is to be taken out every night. Trash bags must also be changed on a nightly basis. Once the trash cans have been dumped and re-bagged they are to be arranged neatly by the bar. Remember to close the dumpster once you dump all of the trash. Should trash cans be dirty due to a ripped trash bag, rinse the trashcan and re-bag.
2. **Bar:** The bar mats must be taken out nightly, hung on the bar mat hanger, rinsed and the bar mat hanger must be rolled back into the walk in cooler walkway storage for air drying. All restrooms must be cleared of trash and patrons. All TV's must be turned off and covered. All gas lamps must be turned off and gas shut off.
3. **Perimeter Sweep Front, Side and Back Alley:** On a nightly basis the front, side and back perimeter must be thoroughly swept. All trash, including cigarettes, napkins, bottles, straws and other assorted trash must be cleaned up. A flashlight is to be used during the sweeping process to insure all trash is swept up and removed. Trash in bushes, gravel and dirt in the front, side and back of Boondocks must either be swept or picked up by hand. Boondocks Patio & Grill is a neighborhood establishment. Boondocks will make it our responsibility to make sure the "neighborhood" is kept free of trash, even if it is not ours. Nightly, you will walk along 75<sup>th</sup> St as well as in the alley behind Boondocks to pick up any trash in our neighbors landscaping or parking. (bottles, cans, flyers, plastic cups, fast food bags ect) When walking away from Boondocks you will go in groups of no less than two to ensure safety and communication.
4. **Patio:** The patio is to be swept on a nightly basis and re-set. The patio and bar needs to be secured and locked.
5. **Chairs:** Chairs should be re-set and inspected at the end of each shift to ensure that they are clean and in a good condition. Any broken chair should be removed and reported to management so a replacement may be secured.
6. **Miscellaneous:** Make sure that all patrons have left the establishment safely, all items left by patrons are turned into management and all exits are secured.

**SECURITY PERSONNEL POLICY AND LIABILITY CONSENT FORM**

The primary job duties of the Security Personnel (Door Host / Bouncers) are to check the legal age of patrons entering the establishment, ensure and enforce the house rules, perform fundamental public safety tasks, provide basic security to both the establishment and the patrons and to monitor entry of individuals on the basis of occupant capacity, intoxication and /or aggressive behavior. Due to these job duties, Security Personnel may be given the capacity to carry out certain, fundamental safety tasks.

These task include but are not limited to enforcing the house rules, escorting disorderly patrons out of the establishment, and/or prohibiting entry into the establishment for any due cause. While the performance of some essential job duties may require reasonable force, the safety of all patrons must be taken into consideration. Boondocks Patio & Grill expressly prohibits the use of excessive force in the performance of any essential job duty in any situation. Boondocks Patio & Grill has a **NO STRIKE POLICY**, meaning that no staff member will strike a patron or employee unless it is absolutely necessary in a self-defense situation or the defense of an innocent person. If a strike is administered to a patron under any circumstances a report must be submitted to the manager before going home.

Boondocks Patio & Grill

Applicant Initials






Security Personnel (Door Host / Bouncer) exceed their authority when he or she uses excessive force in any way that would reasonably be considered irrationally violent and /or inflicts serious physical harm on any patron. In any circumstance where Security Personnel (Door Host / Bouncer) uses excessive force, the employee may be found criminally responsible of assault and may consequently be held personally liable for the injuries he or she inflicted on the patron.

Therefore the Security Personnel (Doorman/ Bouncer) must understand and accept that they may be found responsible for any legal consequences that may result from the use of excessive force, including any and all monetary settlements as well as any other form of criminal and/or civil charges.

### PERSONNEL POLICY AND LIABILITY CONSENT RECEIPT FORM

Acknowledgement of Security Personnel Policy and Liability Consent Form

I have read and understand this Security Personnel Policy and Liability Consent Form and will adhere to the policies, protocols and guidelines of Boondocks Patio & Grill.

\_\_\_\_\_  
Print Employee Name

\_\_\_\_\_  
DATE

\_\_\_\_\_  
Employee Signature

### DRUG AND ALCOHOL POLICY

Boondocks Patio & Grill strives to maintain a workplace free of drugs and alcohol and to discourage drug and alcohol abuse by its employees. Misuse of alcohol or drugs by employees can impair the ability of employees to perform their duties, as well as adversely affect our customers' confidence in our company.

**Alcohol:** Employees are prohibited from using or being under the influence of alcohol while performing company business, while operating a motor vehicle in the course of business or for any job related purpose or while on company premises before or while working. Boondocks Patio & Grill does not condone any use of alcohol for any member of the staff at anytime while on the job.

**Illegal Drugs:** Boondocks Patio & Grill employees are prohibited from using or being under the influence of illegal drugs while at Boondocks Patio & Grill or while on a company facility or worksite. You may not use, manufacture, distribute, purchase, transfer or possess an illegal drug while in facilities, while operating a motor vehicle for any job-related purpose or while on the job or while performing company business. This policy does not prohibit the property use of medication under the direction of a physician; however, misuse of such

Boondocks Patio & Grill

Applicant Initials

medications are prohibited. Should the proper use of medication under the direction of a physician affect your job responsibilities, then you will not be allowed to work under those conditions.

**Disciplinary Action:** Employees who violate this policy may be disciplined or terminated, even for a first offense. Violations include refusal to consent to and comply with testing and search procedures as described.

**Searches:** Boondocks Patio & Grill management may conduct searches for illegal drugs or alcohol on company facilities or worksites without prior notice to employees. Such searches may be conducted at any time. Employees are expected to cooperate fully. Searches of employees and their personal property may be conducted when there is reasonable suspicion to believe that the employee has violated this policy or when circumstances or workplace conditions justify such a search. Personal property may include, but is not limited to purses, boxes, briefcases, as well as any property that is provided for employees personal use such as bags, lockers, shelves and backpacks. Any employee's consent to a search is required as a condition of employment and the employee's refusal to consent may result in disciplinary action, including termination.

**Drug Testing:** Boondocks Patio & Grill may require a blood test, urinalysis, hair test or other drug or alcohol screening of employees suspected of using or being under the influence of drugs or alcohol or where other circumstances or workplace conditions justify such testing. The refusal to consent to testing may result in disciplinary action, including termination. Drug testing may be administered pre-employment, post accident, randomly or for reasonable suspicion.

#### **Drug and Alcohol Policy Receipt Form**

##### **Acknowledgement of Drug and Alcohol Policy**

I have read and understand this Drug and Alcohol Policy and will adhere to the policies, protocols and guidelines of Boondocks Patio & Grill Drug and Alcohol Policy.

\_\_\_\_\_  
Print Employee Name

\_\_\_\_\_  
DATE

\_\_\_\_\_  
Employee Signature

Boondocks Patio & Grill

Applicant Initials







NARRATIVE V

## Scottsdale Fire Department

### Scottsdale Public Safety Plan – Crowd Management Plan General Checklist

- Verify the fire extinguishers are visible and accessible prior to opening.
- Verify Exits are marked and illuminated prior to opening.
  - Test emergency lights and exit signs monthly.
- Verify all exits and egress paths to the exits are not blocked or obstructed inside and outside of the building prior to opening and throughout business hours. This includes being obstructed by patrons waiting in line.
- Verify that all security personnel have working radio communication with each other and management.
- Verify that security personnel have counters to count occupants IN and OUT at all entrances and exits. (General admission, VIP and all exits if separate from entrance)
- Verify that security staff knows the maximum occupant load for the building and patio.
- Verify that security staff knows that when the occupant load is reached, they hold the door and compare patrons IN for equal patrons OUT, for the rest of operating business hours.
- The establishment is required to obtain Scottsdale Fire Department approval/permits for special events, fireworks, fire dancers and haze machines. Birthday Sparklers/Open flame devices are **NOT** permitted in bars, night clubs or restaurants.
- The establishment needs to number the security personnel locations on the floor plan and provide details on their responsibilities. **Refer to the Scottsdale Fire Department – Scottsdale Public Plan – Security Positions & Responsibilities and the establishment Floor Plan documents.**



Scottsdale Fire Department  
Scottsdale Public Safety Plan – Security Positions & Responsibilities

Bonaville Patio & Grill

Establishment

Jacob Kelly

Establishment Representative

Date Implemented

Refer to the Security Positions & Responsibilities Floor Plan for this establishment.

Use position numbers only on both the floor plan and this document – no names.

- Which position is responsible for keeping an IN and OUT count?

Position(s): Front Door Security

- How many of the following:

o General Admission Entrance(s):	<u>1</u>
o VIP Entrance(s):	<u>1</u>
o Exit(s):	<u>1</u>
o Exit Only: <u>Emergency</u>	<u>5</u>

All entrances/exits are required to maintain an IN and OUT count and positions will communicate numbers to each other throughout business hours to maintain occupant load.

- Which position is responsible to call 911 in case of an emergency situation, medical or fire?

Position(s): MANAGER(S) ? POSITIONS

- Which position is responsible to turn the music off, turn the lights up and instruct patrons what to do in case of an emergency situation?

Position(s): MANAGER(S)

- Which position is responsible to maintain exit and egress paths clear?

Position(s): POSITIONS





Scottsdale Fire Department  
Scottsdale Public Safety Plan – Security Positions & Responsibilities

Additional Establishment Comments

MANAGER(S) : RESPONSIBLE TO SHUT OFF MUSIC, TURN LIGHTS UP AND  
INSTRUCT/INFORM PATRONS IN THE EVENT OF AN EMERGENCY SITUATION.  
DEPENDING ON THE LOCATION OF THE EMERGENCY, ALL SECURITY STAFF  
AND MANAGERS ARE RESPONSIBLE TO CALL 911 IN CASE OF EMERGENCY  
SITUATIONS.

A handwritten signature in the bottom left corner.

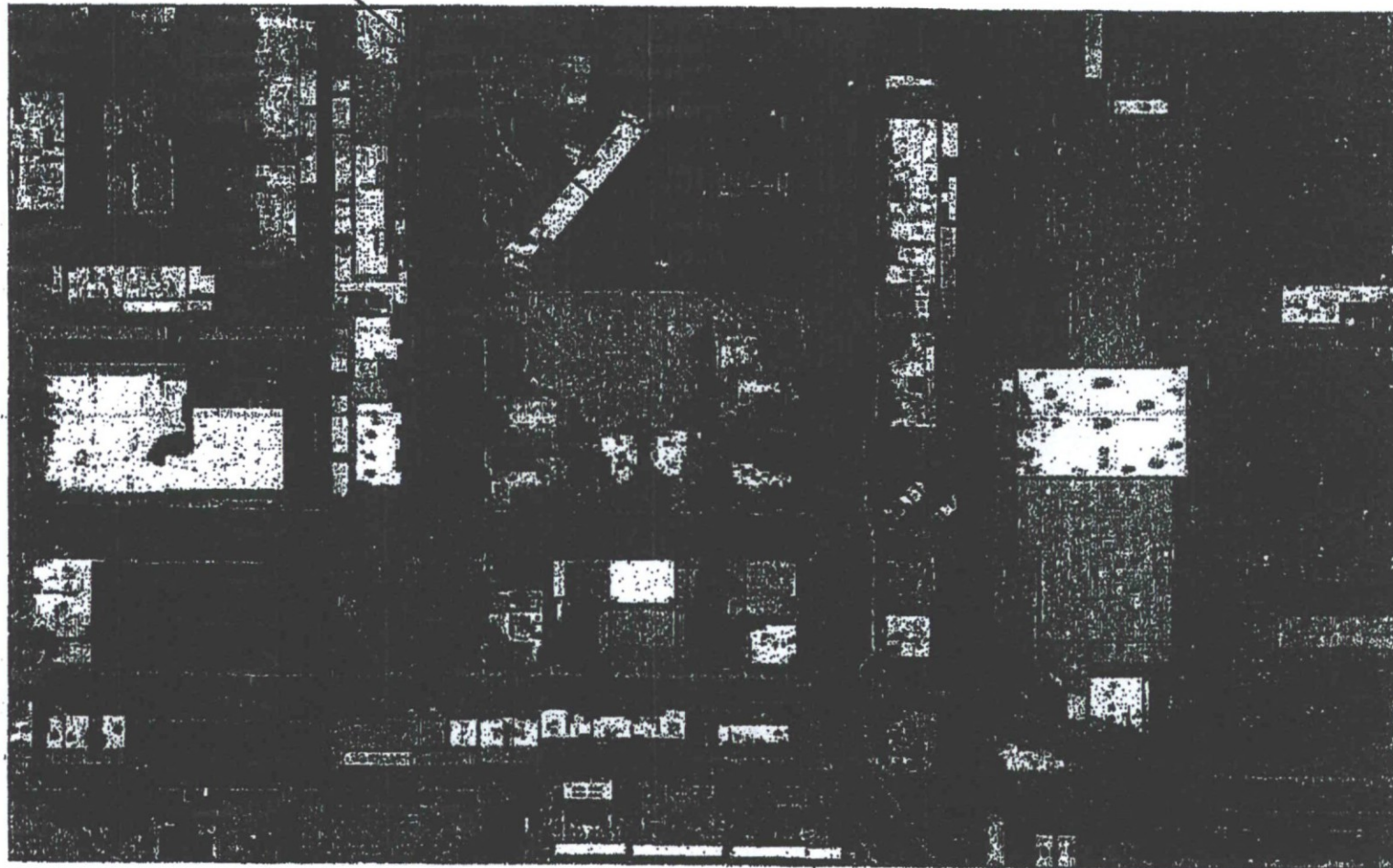
A handwritten signature in the bottom right corner.

4341 n 75th st scottsdale - Google Maps — ADDRESS  
BOONDOCKS PATIO? GRILL — ESTABLISHMENT

CITY OF SCOTTSDALE - PUBLIC SAFETY PLAN  
SAMPLE PARKING AREAS

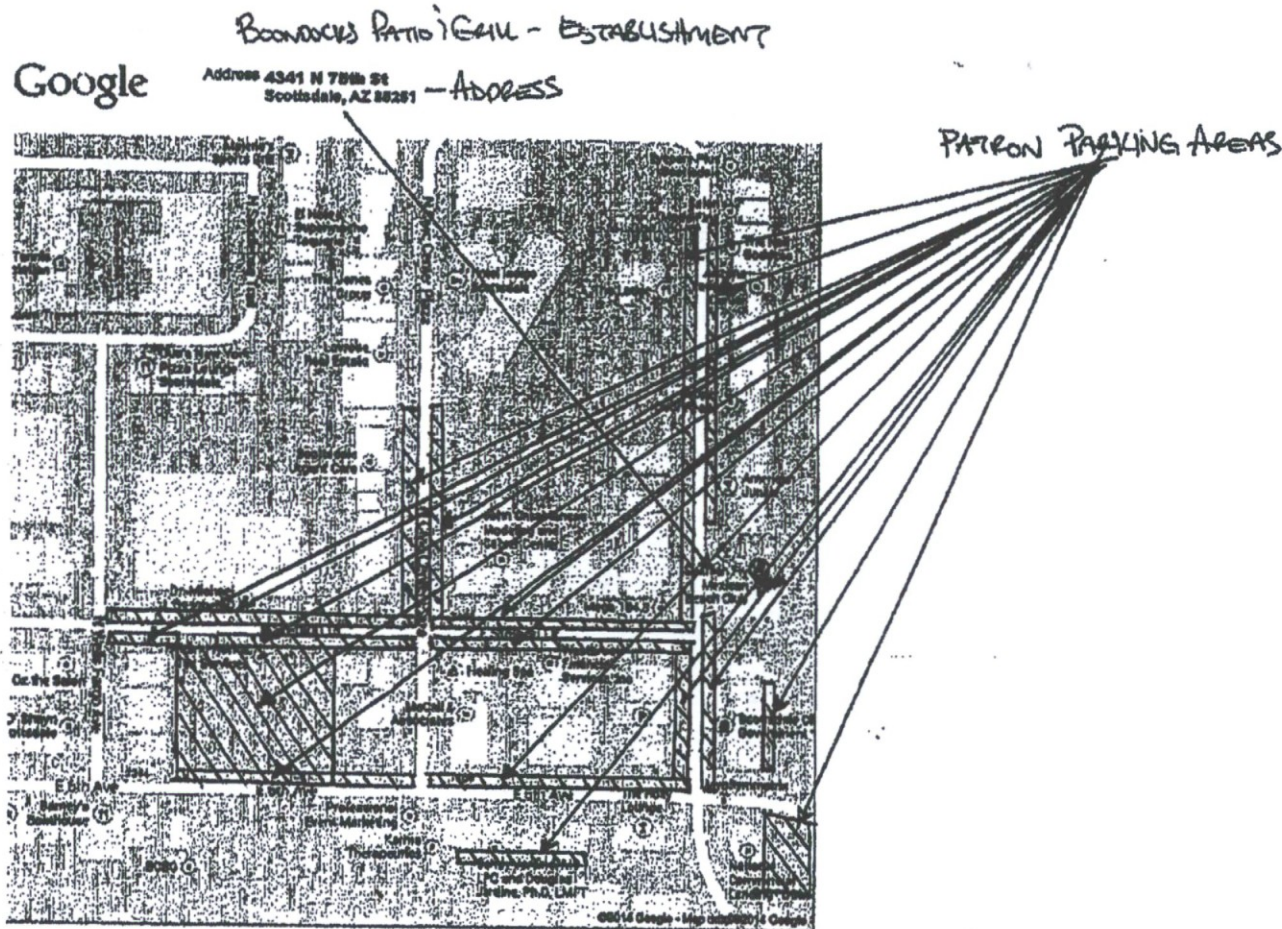


PATRON  
PARKING



NARRATIVE VI.





# Employee Log

Business Name:

version 2018-07

Boondocks Patio & Grill

Last Name	First Name	Middle Name	Suffix	Birth Date	Address	City	State	Zip	Phone	Position	Contractor
Kory	Jacobo	Andres		4/15/1978	6816 E. 8th St.	Scottsdale	AZ	85251	(480) 202-3203	Owner	
Fetting	Tim	UNKNOWN		10/31/1968	6901 E. Bellevue	Scottsdale	AZ	85257	(480) 236-7621	Manager	
Curran	Keegan	James		3/21/1989	1016 E. Tempe Dr.	Tempe	AZ	85281	(602) 686-5200	Security	
Olms	Matt	Lee		11/23/1983	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(480) 800-4374	Manager	
Kogan	Mike	Ian		11/15/1990	5856 E. Kathleen Rd	Scottsdale	AZ	85254	(602) 803-1338	Manager	
Riddick	Joseph	UNKNOWN		1/30/1981	8566 E. Indian School Rd #C	Scottsdale	AZ	85251	(520) 831-4918	Guest Services	
Travers	Robert	Thomas		6/28/1982	4114 N. 87th Way	Scottsdale	AZ	85251	(480) 543-7084	Guest Services	
Makowski	Kelly	Marie		8/20/1987	1535 N. Scottsdale, Rd. #2029	Tempe	AZ	85281	(603) 400-0279	Guest Services	
Martinez	Mercy	UNKNOWN		2/1/1990	742 S. Catalina St	Gilbert	AZ	85233	(989) 213-1397	Guest Services	
Soloman	Barry	Matthew		6/15/1973	8514 E. Chaparral Rd.	Scottsdale	AZ	85250	(715) 357-7133	Guest Services	
St. Clair	Joey	UNKNOWN		6/4/1971	6929 E. 2nd St. #4	Scottsdale	AZ	85251	(602) 743-0837	Guest Services	
Sinovic	Senada	UNKNOWN		3/11/1994	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(480) 466-9510	Guest Services	
Mack	Payton	UNKNOWN		11/25/1992	3313 N. 88th St. #231	Scottsdale	AZ	85251	(480) 384-6099	Guest Services	
Webb	Meagan	UNKNOWN		12/28/1990	6250 Hill Dr.	Swartz Creek	MI	48473	(810) 569-5469	Guest Services	
Perez	Breanna	UNKNOWN		1/2/1993	6400 E. Thomas Rd. #2022	Scottsdale	AZ	85251	(928) 981-2453	Server	
Oshanyk	Courtney	UNKNOWN		9/4/1992	4435 N. 78th St #152A	Scottsdale	AZ	85251	(602) 628-4532	Server	
Maio	Gina	UNKNOWN		6/30/1994	4307 E. Campbell Ave	Phoenix	AZ	85018	(602) 531-9725	Server	
UNKNOWN	Stephanie	UNKNOWN		UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKKNWON	(602) 769-0302	Server	
Contreras	Madelyne	UNKNOWN		6/8/1994	999 S. Ash Ave	Tempe	AZ	85281	(616) 329-5748	Server	
George	Michael	UNKNOWN		9/13/1992	8508 W. 87th Way	Scottsdale	AZ	85250	(480) 768-3497	Security	
Conklin	Kyle	James		2/11/1974	17 South Surfside Dr	Gilbert	AZ	85233	(603) 502-7626	Security	
Shelton	Justin	UNKNOWN		9/22/1989	8220 E. Vista Dr.	Scottsdale	AZ	85250	(480) 277-3670	Security	
Wells	Parker	UNKNOWN		9/9/1993	7857 Penrose Dr	Gilbert	AZ	85288	UNKNOWN	Security	
Mele	Sam	UNKNOWN		UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKKNWON	UNKNOWN	Security	
Rovie	Jo	UNKNOWN		12/5/1978	616 E. Hampon Ave	Mesa	AZ	85204	UNKNOWN	Security	
UNKNOWN	Jesse	UNKNOWN		UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKKNWON	UNKNOWN	Security	
UNKNOWN	Anthony	UNKNOWN		UNKNOWN	UNKNOWN	UNKNOWN	AZ	UNKKNWON	UNKNOWN	Security	
Brito	Natividad	UNKNOWN		UNKNOWN	2433 W. Campbell Ave	Phoenix	AZ	85015	(623) 755-2685	Kitchen	
Olivares	Humberto	UNKNOWN		12/19/1994	4341 N. 75th St	Scottsdale	AZ	85251	(480) 434-7714	Kitchen	
Olivares	Alfonso	UNKNOWN		9/13/1998	7327 E. Taylor St.	Scottsdale	AZ	85257	UNKNOWN	Kitchen	
Canales	Vladimir	UNKNOWN		2/12/1988	3406 E. Culver St	Phoenix	AZ	85008	(480) 386-9061	Kitchen	



## Public Safety Plan - Contact Persons

The following persons are designated to receive and handle complaints from the public or City of Scottsdale:

Name	Position	Contact#
JACOBO KEY	OWNER	480.202.3203
TIM FETTING	GM	480.236.7621

Submitted by: \_\_\_\_\_

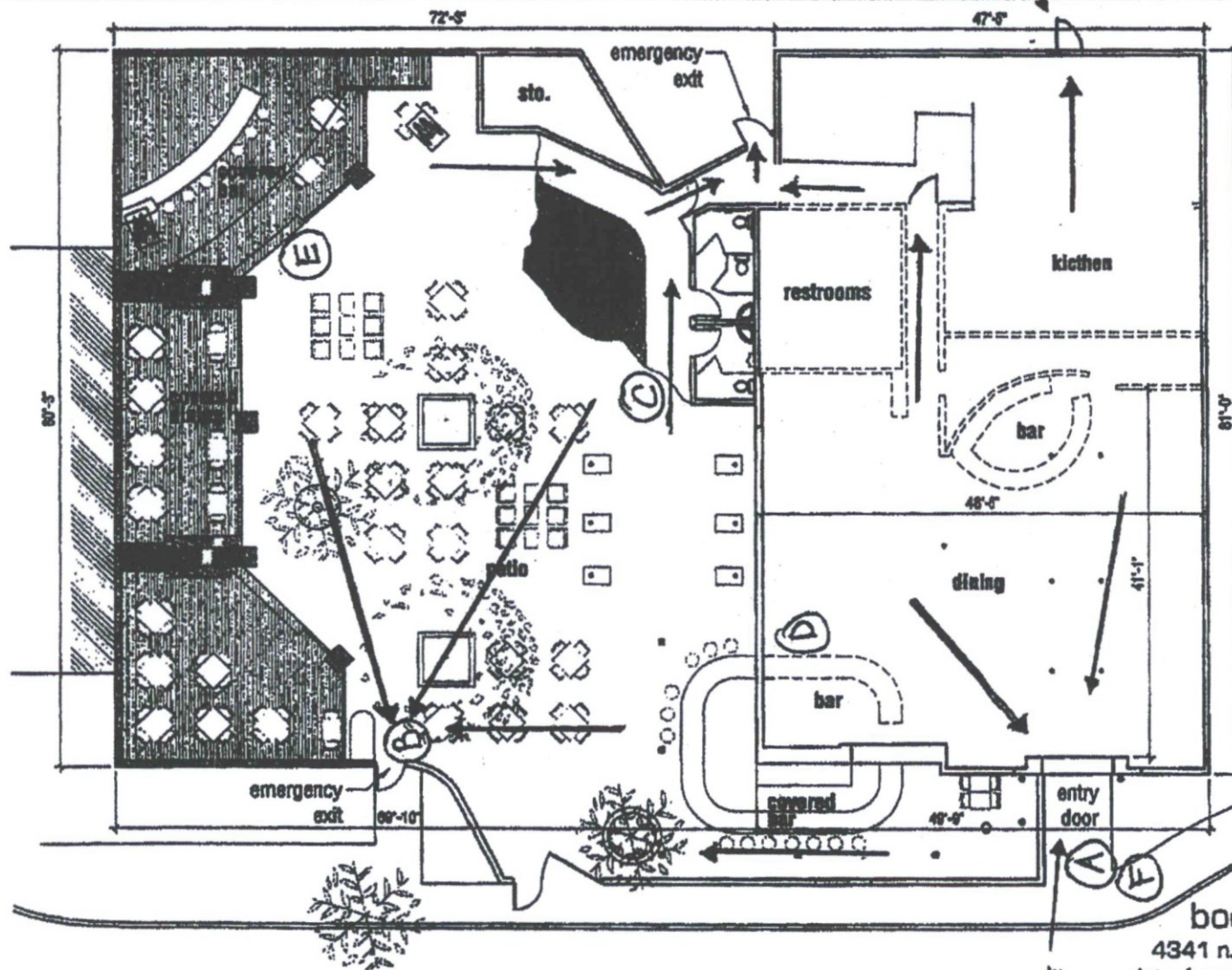
All information must be current. (per SRC 28-55)



public safety plan

a-1

NEGATIVE ix  
EVACUATION ROUTES FOR PUBLIC SAFETY PLAN



boondocks  
4341 n. 75th. street  
date: january 21, 2014



MAIN  
ENTRANCE





## **Scottsdale Fire Department**

### **Scottsdale Public Safety Plan – Security Positions & Responsibilities**

#### **Additional Establishment Comments**

**MANAGER(S):** Responsible to shut off music, turn lights up and instruct / inform patrons in the event of an emergency situation. Depending on the location n of the emergency, all security staff and managers are responsible to call 911 in case of emergency situations.

**POSITION A & F:** Responsible for checking ID, keeping in/out path clear and maintaining a line if needed. Checks exiting patrons for glassware / drinks and maintains head count. Stops intoxicated individuals from entering the establishment. Communicates with management & security current occupancy. Responsible for maintaining at least 1 security staff member at front door regardless of situation until all patrons have left the establishment.

**POSITION B:** Responsible for watching emergency exit and instructing exit paths should an emergency occur. Keep exit clear, picks up glassware in area and looks for any intoxicated patrons.

**POSITION C:** Responsible for watching emergency exit and instructing exit paths should an emergency occur. Keeps exit clear, picks up glassware in area and looks for any intoxicated patrons. Periodically checks on restrooms.

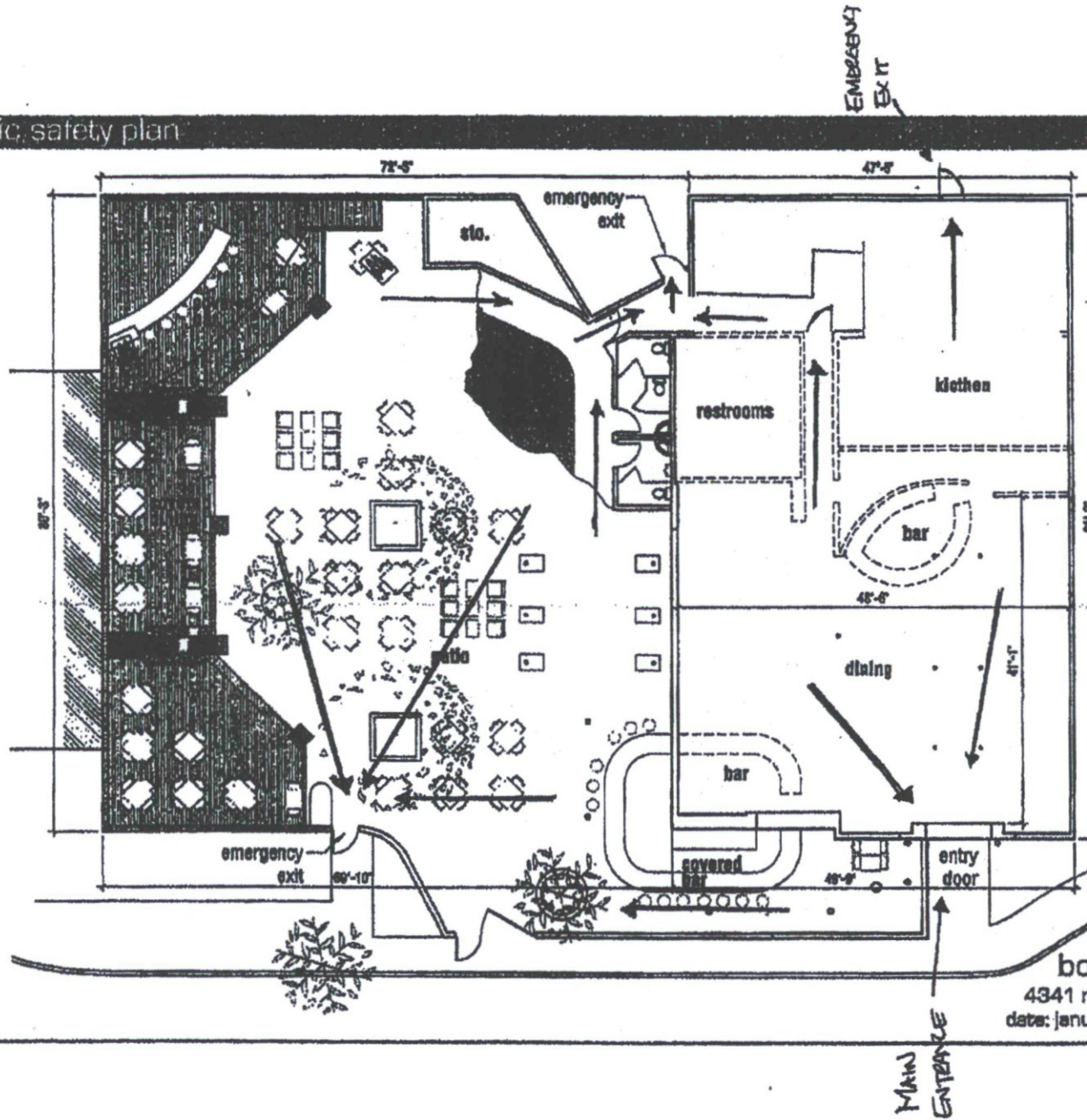
**POSITION D:** Responsible for main bar and interior areas. Picks up glassware and looks for intoxicated patrons. Responsible for 75<sup>th</sup> St. fence. Instructs patrons to closest / safest exit should an emergency occur.

**POSITION E:** Responsible for outside bar area. Picks up glassware and looks for intoxicated patrons. Instructs patrons to closest exit should emergency occur.

**POSITION F-H:** Roams designated sections looking for intoxicated patrons. Picks up glassware and periodically checks on interior bathrooms. Responsible for instructing patrons to exits should an emergency occur.



NEGATIVE ix  
EVACUATION ROUTES FOR PUBLIC SAFETY PLAN



boondocks  
4341 n. 75th. street  
date: january 21, 2014





**Scottsdale Police Department  
Public Safety Plan**

**Boondocks Patio & Grill  
4341 North 75<sup>th</sup> Street  
Scottsdale, AZ 85251**

**Evidence of Security Uniforms**



Security uniforms will be black t-shirts with white lettering. The lettering will read, "SECURITY" and will be a minimum of three-inches in height and written on front and back. All employees identified as security employees, including security managers, must wear the above-described uniform.

A handwritten signature in black ink, located at the bottom left of the page.

A handwritten signature in black ink, located at the bottom right of the page.

NARRATIVE xl.

CITY OF SCOTTSDALE - PUBLIC SAFETY PLAN  
STATEMENT REGARDING NUMBER OF SECURITY OFFICERS

Boondocks Patio & Grill  
4341 N. 75th St.  
Scottsdale, AZ 85251

Statement Regarding Number of Security Officers

Boondocks Patio & Grill is committed to providing a safe environment for it's patrons and staff, and understands that the industry standard ratio is a security officer to occupant ratio of 1:50.

Occupancy: The Scottsdale Fire Marshall allows us a maximum occupancy of 418 persons.

Security Staffing: Boondocks Patio & Grill employs 7 security officers and 2 security manager, for a total of 9 security staff. The security officers and managers have attended the requisite Public Safety Plan Security Training and therefore, may be considered when calculating the ratio of security staff to occupants.

Ratio of Occupancy to Security Officers: Based on our maximum occupancy and property use, we are required to maintain a security officer to occupant minimum ratio of 1:50. As the result of our employed security staff and maximum occupancy, we will have a security officer to occupant ratio of 1:46 during peak hours.

Required Ratio: 1:50

Actual Ratio: 1:46.44 (based on 9 security staff and a maximum occupancy of 418 persons)



NARRATIVE xii.

statement regarding number of security needed  
CITY OF SCOTTSDALE - PUBLIC SAFETY PLAN  
STATEMENT REGARDING NUMBER OF SECURITY OFFICERS

Boondocks Patio & Grill  
4341 N. 75th St.  
Scottsdale, AZ 85251

Statement Regarding Special Requirements

Security to Patron Ratio: 1:50

Boondocks Patio & Grill is a neighborhood bar with a Series 06 Bar License.

Boondocks Patio & Grill does not meet the minimum of 60% of food sales criteria and understands that it must maintain a security to occupant ratio of 1:50



## **ADDENDUM TO PUBLIC SAFETY PLAN**

### **Boondocks Patio & Grill**

#### **Parking**

In order to reduce criminal activity and reduce neighborhood complaints that can negatively affects the nearby businesses, we are responsible for the designated parking area to include any lots used by our contracted valet company. It is our responsibility to ensure that parking areas utilized by patrons and employees will be routinely patrolled by security staff to prevent the parking areas from being used:

1. As a gathering place;
2. For consumption of spirituous liquor;
3. For violations of state or city law;
4. For acts of violence, or disorderly conduct.

Management will ensure that all patrons have left the parking areas within thirty minutes after the designated closing time.

If a valet is used, it is our responsibility to ensure the valet company meets all the requirements of the City of Scottsdale and has a valid valet license and permit prior to conducting valet business.

#### **Refuse Plan**

It is our responsibility to ensure refuse containers are properly used and the area in and around the business is kept clean. Failure to do so will result in an investigation and possible citation from the City of Scottsdale Code Enforcement or other governmental agencies.

After closing, we will be responsible for refuse pick-up and any necessary cleaning, and for any refuse found within a 300-foot (three-hundred) radius of the business. This responsibility will also include patron parking lot(s), valet parking lot(s) and employee parking lot(s).

All bottles, trash, and/or bodily fluids and refuse found on streets, sidewalks, private property, and empty lots within the above designated areas will be placed in the designated business refuse container and/or cleaned appropriately.





# Employee Log

Business Name:

version 2015-07

Boondocks Patio & Grill

<u>Last Name</u>	<u>First Name</u>	<u>Middle Name</u>	<u>Suffix</u>	<u>Birth Date</u>	<u>Address</u>	<u>City</u>	<u>State</u>	<u>Zip</u>	<u>Phone</u>	<u>Position</u>	<u>Contractor</u>
Kory	Jacobo	Andres	NONE	4/15/1978	6816 E. 6th St.	Scottsdale	AZ	85251	(480) 202-3203	Owner	
Fetting	Tim	Richard	NONE	10/31/1968	6901 E. Bellevue	Scottsdale	AZ	85257	(480) 236-7621	Manager	
Curran	Keegan	James	NONE	3/21/1989	1016 E. Tempe Dr.	Tempe	AZ	85281	(602) 686-5200	Security	
Olms	Matt	Lee	NONE	11/23/1983	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(469) 600-4374	Manager	
Kogan	Mike	Ian	NONE	11/15/1990	5856 E. Kathleen Rd	Scottsdale	AZ	85254	(602) 803-1338	Manager	
Riddick	Joseph	Adam	NONE	1/30/1981	8566 E. Indian School Rd #G	Scottsdale	AZ	85251	(520) 831-4918	Guest Services	
Travers	Robert	Thomas	NONE	6/28/1982	4114 N. 87th Way	Scottsdale	AZ	85251	(480) 543-7084	Guest Services	
Makowski	Kelly	Marie	NONE	8/20/1987	1535 N. Scottsdale, Rd. #2029	Tempe	AZ	85281	(630) 400-0279	Guest Services	
Martinez	Mercy	NONE	NONE	2/1/1990	742 S. Catalina St	Gilbert	AZ	85233	(989) 213-1397	Guest Services	
Soloman	Barry	Matthew	NONE	6/15/1973	8514 E. Chaparral Rd.	Scottsdale	AZ	85250	(715) 357-7133	Guest Services	
St. Clair	Joey	Patrick	NONE	6/4/1971	6929 E. 2nd St. #4	Scottsdale	AZ	85251	(602) 743-0837	Guest Services	
Sinovic	Senada	NONE	NONE	3/11/1994	3131 N. 70th St. #2003	Scottsdale	AZ	85251	(480) 466-9510	Guest Services	
Mack	Payton	Arlene	NONE	11/25/1992	3313 N. 68th St. #231	Scottsdale	AZ	85251	(480) 364-6099	Guest Services	
Webb	Meagan	Julia	NONE	12/28/1990	8225 E. Crestwood Way	Scottsdale	AZ	85250	(810) 569-5469	Guest Services	
Perez	Breanna	Nicole	NONE	1/2/1993	6400 E. Thomas Rd. #2022	Scottsdale	AZ	85251	(928) 961-2453	Server	
Oshanyk	Courtney	LaVonne	NONE	9/4/1992	4435 N. 78th St #152A	Scottsdale	AZ	85251	(602) 628-4532	Server	
Contreras	Madelyne	Marie	NONE	6/8/1994	969 S. Ash Ave	Tempe	AZ	85281	(616) 329-5748	Server	
George	Michael	Christopher	NONE	9/13/1992	6508 W. 87th Way	Scottsdale	AZ	85250	(480) 766-3497	Security	
Conklin	Kyle	NONE	NONE	2/11/1974	17 South Surfside Dr	Gilbert	AZ	85233	(603) 502-7626	Security	
Wells	Parker	Ryan	NONE	9/9/1993	7857 Penrose Dr	Gilbert	AZ	85298	(949) 439-9722	Security	
Mele	Samson	James	NONE	1/27/1992	9750 E. Celtic Dr.	Scottsdale	AZ	85260	(480) 993-7278	Security	
Rovie	Joseph	Elio	NONE	12/5/1978	616 E. Hampon Ave	Mesa	AZ	85204	(480) 232-3275	Security	
Olivares	Humberto	NONE	NONE	12/19/1994	4341 N. 75th St	Scottsdale	AZ	85251	(480) 434-7714	Kitchen	
Olivares	Alfonso	NONE	NONE	9/13/1998	7327 E. Taylor St.	Scottsdale	AZ	85257	(480) 434-7714	Kitchen	
Canales	Vladimir	Alberto	NONE	2/12/1988	3406 E. Culver St	Phoenix	AZ	85008	(480) 388-9061	Kitchen	

## NEIGHBORHOOD NOTIFICATION

### Boondocks Patio & Grill Live Music Permit

In accordance to the requirements for our Live Music Permit Renewal, we held an Open House Meeting at 4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251. On March 25<sup>th</sup> the Early Notification of Project under Consideration sign was posted at Boondocks Patio & Grill located at the above mentioned address facing 75<sup>th</sup> St. (a photo of the location has been submitted). In addition to the required posting, letters were sent out to all addresses within the required radius of the Open House Meeting (a photo of the letters and a copy has been submitted)

On April 6<sup>th</sup>, 2016 the Open House Meeting took place at Boondocks Patio & Grill where 25 neighbors attended. I have attached the signup sheet as well as comment cards and email correspondence.

Upon the initial introduction at the Open House, it was apparent that the main concern that neighbors had was actually not a concern at all. There was some miss-information that had been circulated to residences at Marquessa Condominiums. The miss-information was that we were applying to raise the decibel maximum for Scottsdale for our location. This is not the case and once it was explained that the purpose of the Open House was for a renewal of our existing permit with no changes to it, most all concerns diminished.

The Open House was attended by Councilman David Smith as well as Sonnie Kirtly, Chair for The Coalition of Greater Scottsdale (COGS). Both had positive feedback for Boondocks and our live music and what it brings to the community.





## **BOONDOCKS** PATIO & GRILL

4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251

(480) 949-8454

March 22, 2016

Dear Neighboring Property Owner,

The purpose of this letter is to advise you of our Conditional Use Permit for Live Entertainment application that will be submitted to the City of Scottsdale for Boondocks Patio & Grill located at 4341 N. 75<sup>th</sup> St.

Boondocks Patio & Grill is a relaxed, neighborhood restaurant featuring good company and great comfort food. This property is well established in the community and has had a restaurant and bar use since 1962. Boondocks Patio & Grill is seeking to renew our Conditional Use Permit for Live Entertainment to allow live music in the establishment from the hours of 5pm – 12am Monday – Thursday, 5pm to 2am on Friday, 12pm to 2am on Saturday and 12pm to 12am on Sunday. There will be no additional amplification or speakers added to the restaurant and Boondocks will continue to abide by the City of Scottsdale's noise ordinance as well as continue to be considerate of our neighbors.

If you would like more information, we are holding a neighborhood open house and welcome you to attend. It will be held on Wednesday April 6<sup>th</sup> from 5pm to 6pm at Boondocks Patio & Grill. Our address is 4341 N. 75<sup>th</sup> St. Scottsdale, AZ 85251. If you cannot attend but would like more information, please contact me at (480)949-8454 or email me at [info@boondocksaz.com](mailto:info@boondocksaz.com).

Best regards,

Jacob Kory

Managing Member

Scottsdale Boondocks LLC

# EARLY NOTIFICATION OF PROJECT UNDER CONSIDERATION

## NEIGHBORHOOD OPEN HOUSE MEETING

DATE: 4/6/16

TIME: 5-6 PM

LOCATION: 4341 N. 75TH ST. SCOTTSDALE, AZ 85251

**SITE ADDRESS 4341 N. 75TH ST. SCOTTSDALE, AZ 85251**

### PROJECT OVERVIEW:

- REQUEST: CONDITIONAL USE PERMIT
- DESCRIPTION OF PROJECT AND PROPOSED USE: PROPOSED USE  
LIVE MUSIC PERMIT FOR BOONDOCKS PATIO & GRILL
- SITE ACREAGE: +/- 9609 SQUARE FEET OR +/- .22 ACRES
- SITE ZONING: D/OR - 2 DO

**APPLICANT/ CONTACT: JACOB KORY**

**PHONE NUMBER: 480.202.3203**

**EMAIL: JACOBOKORY@GMAIL.COM**

**CITY CONTACT: DAN SYMER**

**PHONE NUMBER: 480.312.4218**

**EMAIL: DSYMER@SCOTTSDALEAZ.GOV**

**PRE-APPLICATION#: 1048A-PA-2015 AVAILABLE AT CITY OF SCOTTSDALE: 480-312-7000**

**PROJECT INFORMATION MAY BE RESEARCHED AT: [HTTP://WWW.SCOTTSDALEAZ.GOV/PROJECTS/](http://www.scottsdaleaz.gov/projects/)**

**POSTING DATE: 3/25/2016**

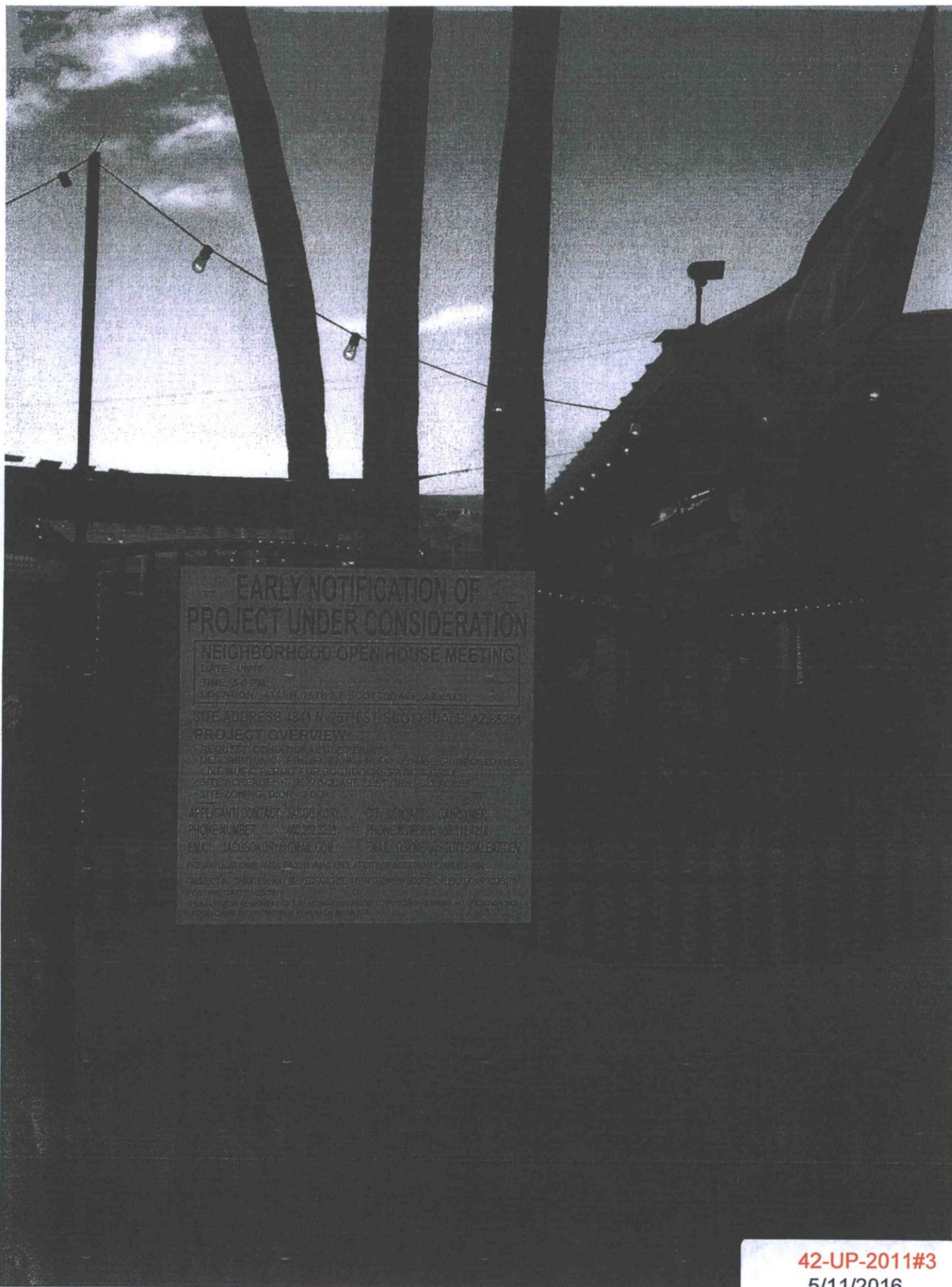
**-PENALTY FOR REMOVING OR DEFACING SIGN PRIOR TO POSTING HEARING NOTIFICATION SIGN**

**- APPLICANT RESPONSIBLE FOR SIGN REMOVAL**

**42-UP-2011#3**

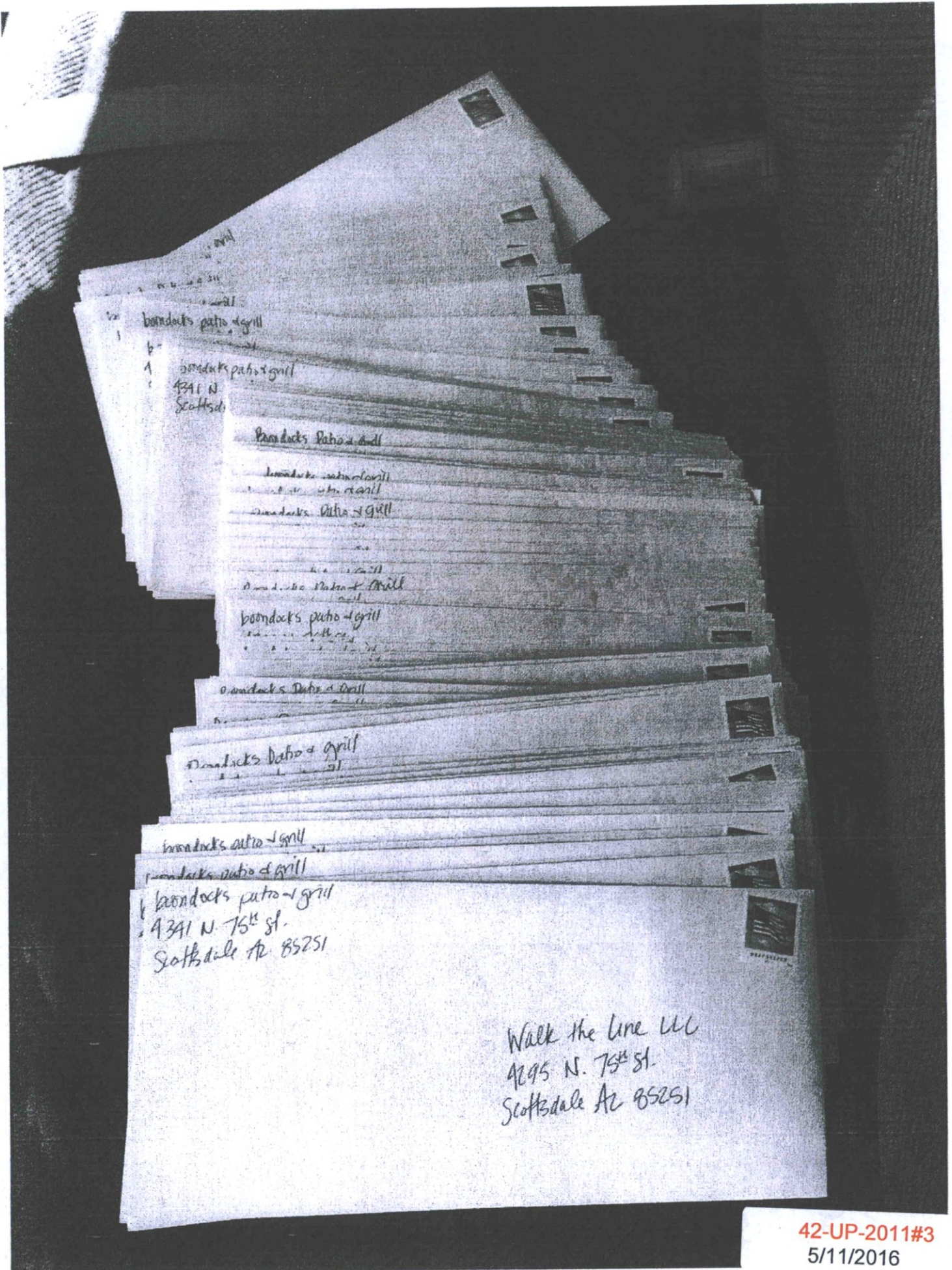
**5/11/2016**





42-UP-2011#3  
5/11/2016





42-UP-2011#3  
5/11/2016





# Community Input Certification

CASE NO: \_\_\_\_\_

PROJECT LOCATION: Boondocks Patio; GRU  
4341 N. 75th ST. SCOTTSDALE, AZ 85251

## COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

DATE	NAME (Person, Organization, Etc. and Address)	TYPE OF CONTACT		
		Meeting	Phone	Letter
4/6/16	Betty Bitterman		480-998-9886	
	R. Chernov	X		
	Sheila Bitterman	X	480-998-9886	
	Peggy Brown	X	480-481-3970	
	Deek King	X	480-481-6096	
	William Hoeman	X	480 874 1693	
	Leah Smith Patin <sup>seton</sup> <sub>mgr</sub>	X	480 949 4242	
	Georgia Drummond	X	480.547 3667	
	Cindy Adams	X	480 322 7136	
	Bill Adams	X	480-694 8666	
	FRANK TASSO	X	760-	

Signature of owner/applicant

Date

4.6.16

## Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



# Community Input Certification

CASE NO: \_\_\_\_\_

Bonobooks Paris & Kim

PROJECT LOCATION: 4341 N. 75<sup>th</sup> ST. SCOTTSDALE, AZ 85251

## COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

DATE	NAME (Person, Organization, Etc. and Address)	TYPE OF CONTACT		
		Meeting	Phone	Letter
4-6-16	HERBERT BLAKE	X		
4-6-16	Joe Diggs Trijw/stockdale	X		
4-6-16	TIM DRUMMOND	X		
4/6/16	Nisa Paris Stetson	X		
4/6/16	Matt Dus/Arcadia Mgmt. Group	X		
4/6/16	Anita Imeli	X		
4/5/16	KENT & BONNIE CORNELISON			EMAIL

Signature of owner/applicant

Date

4.6.16

## Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088





# Community Input Certification

CASE NO: \_\_\_\_\_

PROJECT LOCATION: Bonnie's Patio? Grill  
4341 N. 75<sup>th</sup> ST. SCOTTSDALE, AZ 85251

## COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

DATE	NAME (Person, Organization, Etc. and Address)	TYPE OF CONTACT		
		Meeting	Phone	Letter
4.6.16	Matthew Contis	✓		
4.6.16	Hennika Thornburgh	✓		
	Eric Berman	✓		
	Andrew Berman	✓		
4/6/16	Mark M. Loh	✓		
4/6/16	Hannelori Armstrong 4916 N. Woodmere Fairway #3 Scottsdale AZ 85251			
4/6/16	Mary Christmas 4200 N. Mullett Rd #208	✓		

Signature of owner/applicant \_\_\_\_\_

Date 4.6.16

## Planning, Neighborhood & Transportation Division

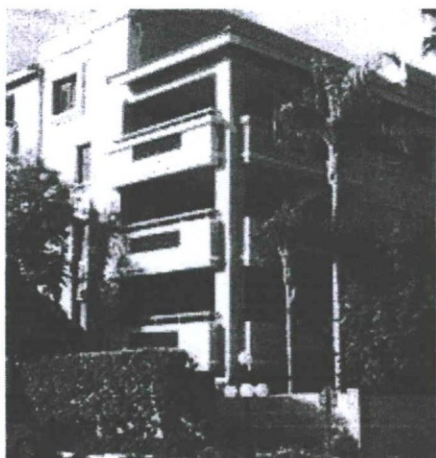
7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



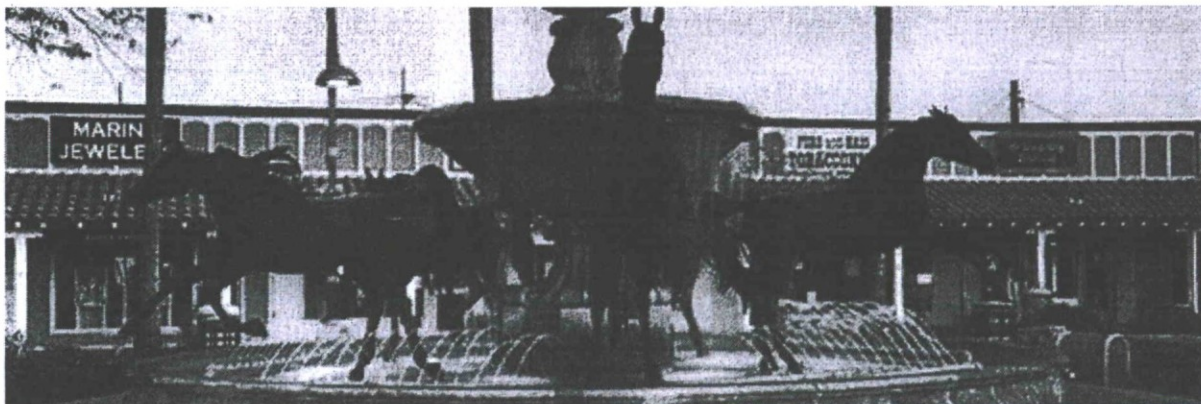
Home

Amenities

## Welcome to the Scottsdale Marquessa Website



Located near historic downtown Scottsdale, The Marquessa is in the heart of it all with access to popular restaurants, bistros, night clubs, cultural activities, and abundant shopping. With more than 125 galleries and museums, the exciting downtown Scottsdale Art & Shopping Districts are a year-round celebration of the arts. Scottsdale Center for the Arts, whose center hosts nearly 1,000 performances annually is less than 10 minutes away. Scottsdale is home to nearly 20 area golf courses, including Grayhawk Golf Club and the prestigious Tournament Players Club.



4200 N Miller Rd., Scottsdale Arizona 480-945-5400 f-480-945-0079

Member of the "Scottsdale Counsel of Homeowners Association"





Jacob Kory &lt;jacobokory@gmail.com&gt;

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**Re: Boondocks Neighborhood Open House**

1 message

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**Sonnie Kirtley** <azsonnie@gmail.com>  
To: Jacob Kory <jacobokory@gmail.com>

Sun, Apr 10, 2016 at 12:12 PM

Thanks for the follow-up, Jake...Sonnie COGS chair

On Apr 10, 2016 11:41 AM, "Jacob Kory" <jacobokory@gmail.com> wrote:

I wanted to reach out to everyone that left comment cards with contact information and personally thank you for taking time out of your day last week to attend Boondocks Patio & Grill's open house with regards to our application to renew our existing live music permit.

From reading all the comments and speaking with many of you individually, the response was overwhelmingly positive with regards to keeping the live music use permit that we currently operate with. In addition to the positive response, it was also understood by us that our neighbors and neighborhood would like to keep the volume within the current limits allowed in the Entertainment Area noise ordinance. Each of our managers have access to a decibel meter and have been trained and will continue to be trained to use it and actively regulate our sound not only when we have live music, but also when we have a DJ or event.

In case you do not already have it, Boondocks Patio & Grill's phone number is 480-949-8454 with any questions, comments or concerns. You can always email me directly here with the same.

Thank you again,  
Jake Kory  
Managing Partner  
Boondocks Patio & Grill

42-UP-2011#3  
5/11/2016



Jacob Kory &lt;jacobokory@gmail.com&gt;

**Re: Boondocks**

1 message

**Jacob Kory** <jacobokory@gmail.com>

Thu, Apr 7, 2016 at 8:55 AM

To: kcv &lt;kcvvalley@aol.com&gt;

Cc: dsymer@scottsdale.gov

Good morning Kent and Bonnie,

Thank you for your inquiry regarding Boondocks Patio & Grill renewal for our live music use permit. As you know, we had our neighborhood open house yesterday at Boondocks to allow anyone in the area to stop by, discuss and comment on our renewal application. We had roughly 25 people in attendance including The Coalition of Greater Scottsdale (COGS). The majority of attendees currently live at Marquessa.

From a couple emails that I had received and had forwarded to me for our review in the last couple days along with the initial conversations I had with Marquessa residents at our open house yesterday, it was quite evident that there might be some misunderstanding and/or miscommunication regarding our application for our permit. The emails and the initial conversations from yesterday regarded concerns about Boondocks Patio & Grill applying to raise the decibel level allowed by City of Scottsdale Ordinance. Let me assure you, that this is NOT what Boondocks Patio & Grill is applying for. Boondocks Patio & Grill is simply applying for a renewal of an existing permit that we currently have that allows us to play live music on our patio. The existing permit has been in place at this location since 2011 and for the last two years that Boondocks has been operating, our management is tasked with keeping the sound at or below the City of Scottsdale ordinance regardless if the music is coming from a DJ, any sporting events that we televise with sound or a live performance.

I want to extend an open invitation to you to call, email or we can meet at Boondocks to discuss any concerns or questions that you might have regarding our renewal application.

Thank you again for your inquiry and I look forward to hearing from you with any questions.

Jake Kory

Managing Partner

Boondocks Patio & Grill

On Wed, Apr 6, 2016 at 3:09 PM, kcv <kcvvalley@aol.com> wrote:

Mr. Kory and Mr. Symer

We reside at the Marquessa Condominiums and have lived here since 2002. During this time the noise at night, especially Thursday thru Saturday has continued to increase and exceed their 10 o'clock limit.

I am not in favor of raising the decibel level at Boondocks. I would like the 10 o'clock time limit to be enforced. You increase Boondocks and the whole bar area will feel they can raise their decibel level also. Boondocks knew they were opening their bar in a residential area. I don't believe the residential area have to tolerate higher decible levels of which we can now hear in our home, condominium 411.

Please respect our community's wishes.

Kent and Bonnie Cornelison

Marquessa, 411

42-UP-2011#3

5/11/2016



Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Hunnika Thoenburgh  
Address: 7777 E. Heatherbrae #213 Scottsdale  
Phone: 928-710-4846  
Email: hunnika@hotmail.com

Please tell us your thoughts and suggestions regarding the proposed project:

I enjoy the live music at Boondocks I think it makes for an inviting atmosphere. Living local and being a regular it is one of the main reasons I come here. I also send people here from out of town this brings in money for the town as a whole. You can have music from all over anywhere but to be able to go and listen to local live music is a welcome addition to the neighborhood.

Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: MATTHEW Comtois  
Address: 7125 N. Drinkwater Blvd.  
Phone: 440 829 5790  
Email: MATTHEW Comtois 1@gmail

Please tell us your thoughts and suggestions regarding the proposed project:

LIVE RIGHT AROUND THE CORNER AND LOVE  
FREQUENTING BOONDOCKS. LOVE THE LIVE MUSIC  
AND EVENT. LIVING CLOSE MAKES IT EASY TO  
COME OVER AND ENJOY LIVE MUSIC AND GREAT  
STAFF!



**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

Name: Andrew Berman  
Address: 4111 N. Drinkwater Blvd  
Phone: 845-536-8398  
Email: aberman327@gmail.com

**Please tell us your thoughts and suggestions regarding the proposed project:**

I live near by the Boondocks Patio  
and grill and enjoy walking over  
for food and drinks. They have  
a good outdoor area which is  
a lot of fun.

**Boondocks Patio & Grill  
Neighborhood Input/Comment Card**

Name: Eric Berman

Address: 411 N Drinkwater Blvd

Phone: (845) 536-2183

Email: eric.berman92@gmail.com

**Please tell us your thoughts and suggestions regarding the proposed project:**

I think the music is great!  
\_\_\_\_\_  
\_\_\_\_\_  
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Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Michael McCormack  
Address: 3371 1st Ave  
Phone: 978-930-2800  
Email: vze2mmsk@msa.com

Please tell us your thoughts and suggestions regarding the proposed project:

Please allow Boondocks to have  
live music & continue to contribute  
to local economy By bringing  
tourism and jobs if not not  
Boondocks it will be another place  
Doing the same thing

Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Hannelori Armstrong  
Address: 4916 N. Woodmere Fairway #3 Scottsdale AZ 85251  
Phone: 480-208-4595  
Email: iriedance@yahoo.com

Please tell us your thoughts and suggestions regarding the proposed project:

Let Boondocks continue to be a great  
clean fun place with quality live music  
that draws respectful patrons and gives  
us a great option to the Shoeman nightclub  
area.

Please Please Please keep Boondocks  
"Boondocks"

=====

Hannelori Armstrong



Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Math DUS  
Address: 3726 E. Weldon Ave, Phx, AZ 85018  
Phone: (480) 322-9507  
Email: matthewdus@hotmail.com

Please tell us your thoughts and suggestions regarding the proposed project:

I have been coming to Boondocks (Spanish Fly)  
for years. It's a great part of Scottsdale and  
would only improve with the live music permit.  
I encourage the City of Scottsdale to approve the  
permit.

Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: ANTHONY M. SLOWINSKI

Address: PO BOX A3241, CHICAGO, IL 60690-3241

Phone: 312-207-1676

Email: TONYTAHATTY@AOL.COM

Please tell us your thoughts and suggestions regarding the proposed project:

OK - IF REASONABLE HOURS & DOZIBOLS  
\_\_\_\_\_  
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Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Sonnie Kistler  
Address: 7904 E Chaparral A-110 PMB127  
Phone: 602 717 3886  
Email: cogs@cogsaz.net

Please tell us your thoughts and suggestions regarding the proposed project:

COGS The Coalition of Greater  
Chino Scottsdale

Support live music  
if within decibel  
standards for neighbors

Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: TIM DRUMMOND  
Address: 4200 N. MILLER RD UNIT 413  
Phone: 602 483 2906  
Email: ~~tim~~ torretim@gmail.com

Please tell us your thoughts and suggestions regarding the proposed project:

Put up some sound suppression  
barriers. We currently can hear the  
weekend concerts clearly in our  
apartment. Good fences make good  
neighbors.

~~tim~~



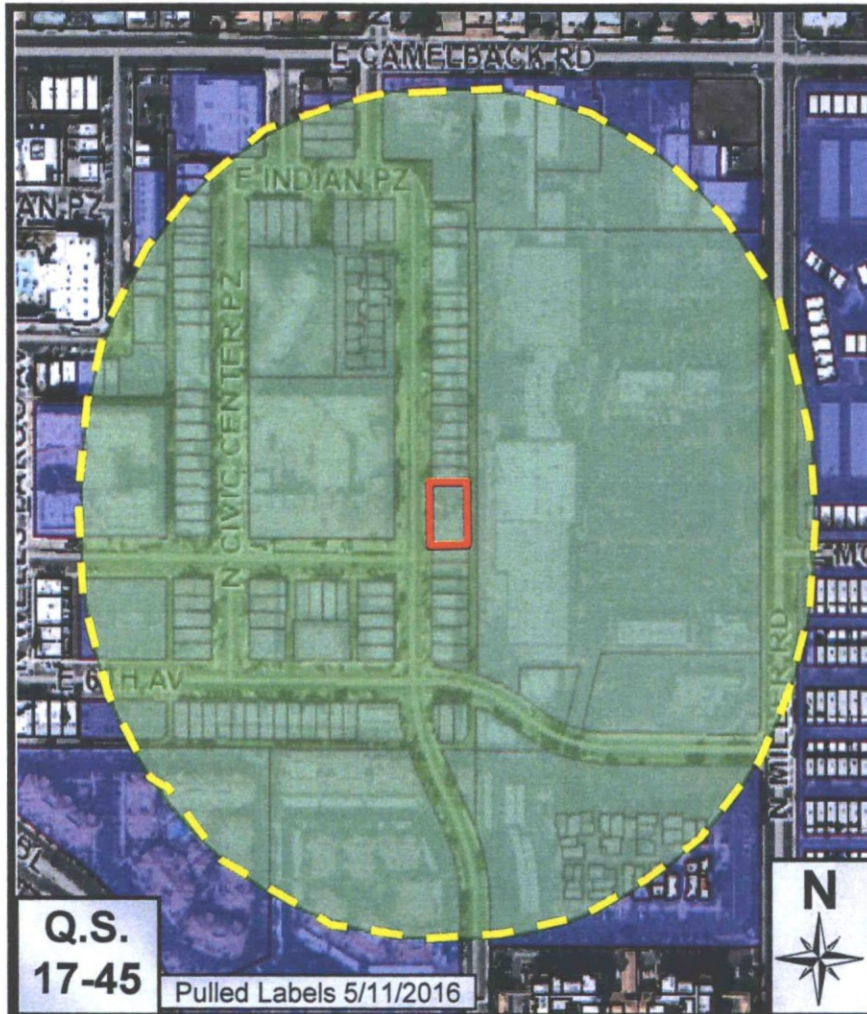
Boondocks Patio & Grill  
Neighborhood Input/Comment Card

Name: Bill Adams  
Address: 4200 N. Miller Rd 105  
Phone: 480-694-8666  
Email: WLA@arizona@gmail.com

Please tell us your thoughts and suggestions regarding the proposed project:

Operation has been improvement in  
neighborhood. No problem with request.

## City Notifications – Mailing List Selection Map



### Map Legend:



Site Boundary



Properties within 750-feet  
96 Postcards

### Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor
- City Website-Projects in the hearing process

**Boondocks Patio & Grill**

**42-UP-2011#3**

ATTACHMENT #7