

**Full Size**

**8.5 x 11**

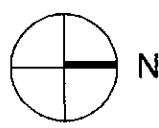
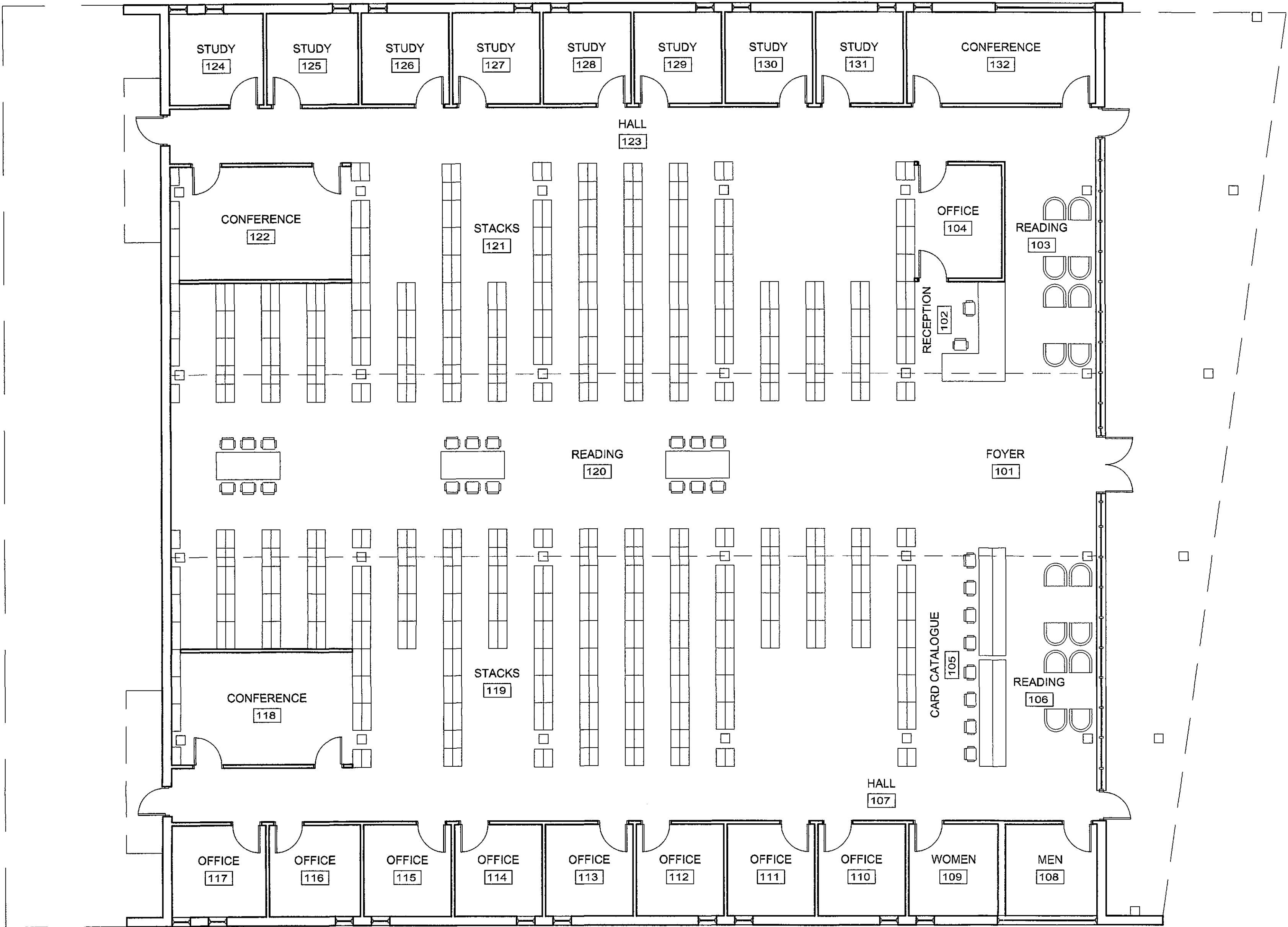
**11 x 17**

**(site plan, landscape, elevations)**



A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260



FIRST FLOOR PLAN 1  
1/8" = 1'-0"

ROOM FINISH LEGEND							
WALL FINISH MATERIALS		CEILING FINISH MATERIALS		FLOOR FINISH MATERIALS			
GWB	GYPSUM WALL BOARD - PAINTED	GWB	GWB- PTD, SATIN	CONC1	CLEAR SEALED CONCRETE		
MRGWB	COLOR TBD - SATIN	MRGWB	MOISTURE RESISTANT GWB- PTD, SATIN	CONC2	GROUND & POLISHED CONCRETE		
TILE 1	MOISTURE RESISTANT GWB, PAINTED	A.C.T.	24"x24"x1/2" ACOUSTICAL GRID W/ TEGULAR	CARPET 1	SHAW CONTRACT BROADLOOM		
TILE 2	COLOR TBD - SATIN	EXPOSED	TILE	CARPET 2	SHAW CONTRACT VCT-BACKED CARPET TILE		
EXIST	DAL TILE #0750 3' x 6' MATTE	EXIST	EXPOSED ROOF STRUCTURE	RUBBER	ATMOSPHERE RECYCLED RUBBER FLOORING		
WALL BASE MATERIALS			EXISTING TO REMAIN	TILE	DAL-TILE LARGE FORMAT SLIP RESISTANT		
RBR1	4" RUBBER BASE STRAIGHT PROFILE			VINYL	6" VINYL PLANK (20mm THK, COLOR TBD)		
WOOD	COLOR TBD			VINYL2	6" VINYL PLANK (20mm THK, COLOR TBD)		
STL	4" SOLID WOOD BASE, STAIN TBD						
EXIST	4" STL STRAP BASE, CLEAR SEALED						
EXIST	EXISTING TO REMAIN						

LIBRARY ROOM FINISH SCHEDULE							
ROOM TAG	NAME	WALLS	FLOOR	BASE	CEILING	CEILING HEIGHT	REMARKS
L101	FOYER	-	CONC2	-	STR	STR	--
L102	RECEPTION	-	CONC2	-	STR	STR	--
L103	READING AREA	-	CONC2	-	STR	STR	--
L104	OFFICE	GWB	CONC2	RBR1	STR	STR	--
L105	CATALOGUE	-	CONC2	-	STR	STR	--
L106	READING AREA	-	CONC2	-	STR	STR	--
L107	HALL	GWB	CONC2	RBR1	STR	STR	--
L108	MEN	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L109	WOMEN	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L110	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L111	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L112	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L113	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L114	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L115	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L116	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L117	OFFICE	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L118	CONFERENCE	GWB	CONC2	RBR1	A.C.T.	10'-0"	--
L119	STACKS	-	CONC2	-	STR	STR	--
L120	READING TABLES	-	CONC2	-	STR	STR	--
L121	STACKS	-	CONC2	-	STR	STR	--
L122	CONFERENCE	GWB	CONC2	RBR1	A.C.T.	10'-0"	--
L123	HALL	GWB	CONC2	RBR1	STR	10'-0"	--
L124	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L125	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L126	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L127	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L128	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L129	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L130	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L131	STUDY	GWB	CARPET1	RBR1	A.C.T.	10'-0"	--
L132	CONFERENCE	GWB	CARPET2	RBR1	A.C.T.	10'-0"	--

STIPUL

RETAIN FOR

APPROVE

11-29-14

DATE

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED

11-24-14  
DATE

INITIALS

Drawn

JC

Checked

PJL

Job Number

1605

Drawing

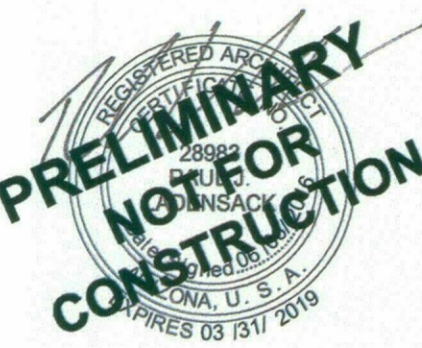
NEW LIBRARY

FLOOR PLAN

Sheet

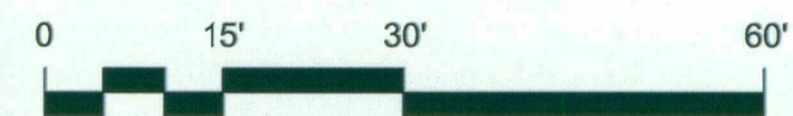
A2.1





RESIDENTIAL COMMUNITY WALKING TRAIL CULVERT EXISTING CHAPEL NEW LIBRARY DRIVEWAY RESIDENTIAL COMMUNITY

EXTENTS OF PROPERTY



STREETSCAPE ELEVATION

SCALE: 1/16" = 1'-0"

1

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
11-24-16  
DATE INITIALS

5-UP-2016  
5/19/16

A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

ISSUE		
DATE	REV	FOR
5.1.16		

Drawn	RL
Checked	PJL
Job Number	1605
Drawing	STREETSCAPE ELEVATION
Sheet	

A1.4



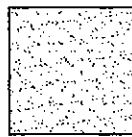
PROJECT DATA

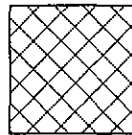
PROJECT DATA ZONING: R1-35  
NET LOT AREA: 205,851 SF  
BUILDING HEIGHT: 29'-10"

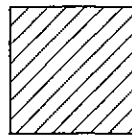
REQUIRED OPEN SPACE:  
MAX BUILDING HEIGHT = 29'-10" PROPOSED (30'-0" ALLOWED)  
FIRST 12' OF HEIGHT = 10% x NET LOT AREA = 20,585.1 SF  
NEXT 17.83' OF HEIGHT = 17.83' x .004 x 205,851 = 14,681.29 SF

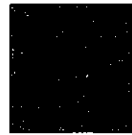
OPEN SPACE REQUIRED (NOT INCLUDING PARKING LOT LANDSCAPING)  
= 20,585.1 + 14,681.29 = 35,266.39 (17%)  
OPEN SPACE PROVIDED = 41,970 SF

PARKING LOT LANDSCAPING REQUIRED  
PARKING LOT AREA x 15% = 83,365 SF x .15 = 12,503 SF  
PARKING LOT LANDSCAPE PROVIDED = 27,178 SF

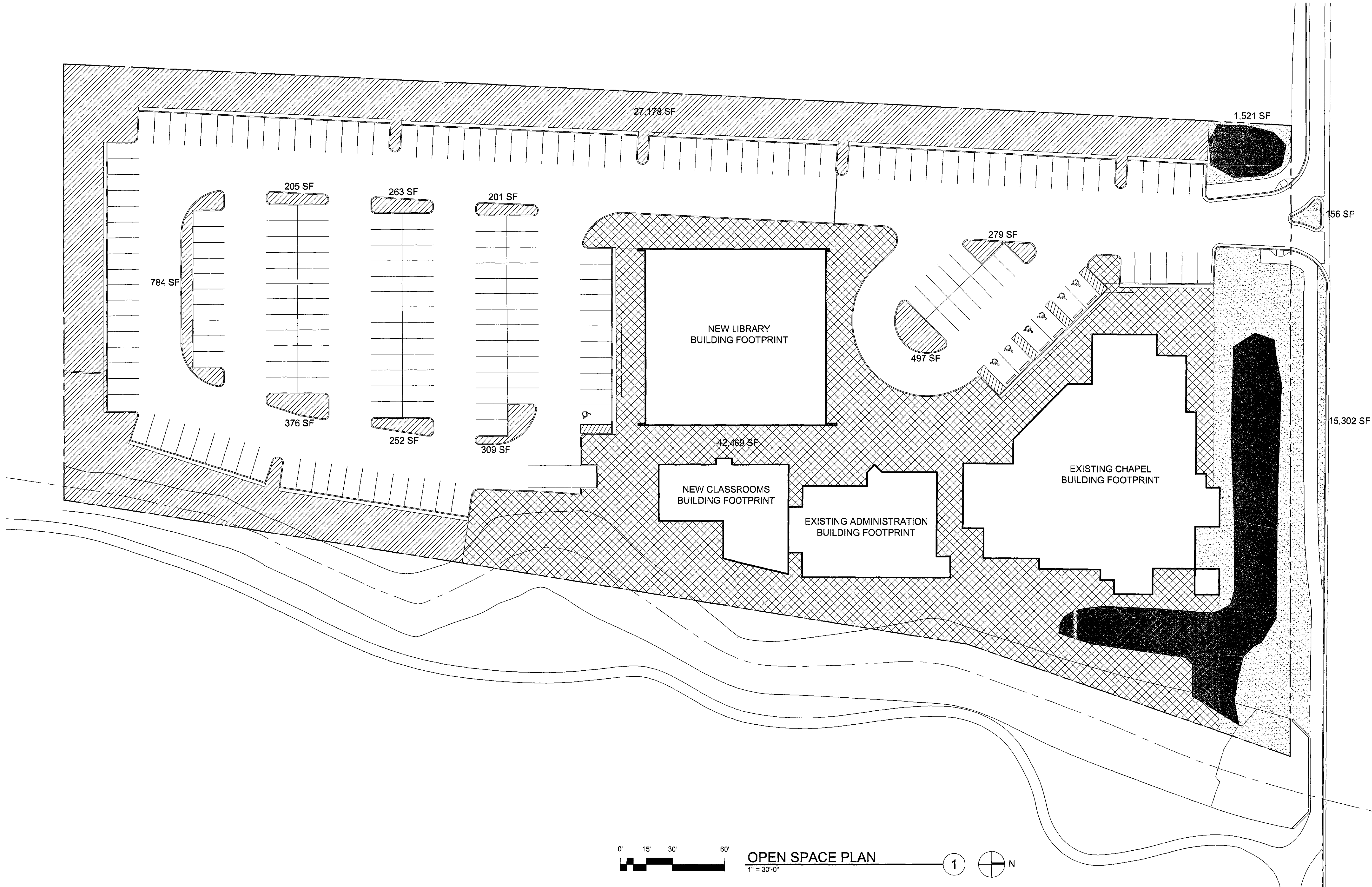
- 

DENOTES FRONT OPEN SPACE  
16,979 SF TOTAL
- 

DENOTES OPEN SPACE OTHER THAN FRONTAL OPEN  
41,970 SF TOTAL
- 

DENOTES PARKING LOT LANDSCAPING  
27,178 SF TOTAL
- 

DENOTES RETENTION BASIN IN FRONT OPEN SPACE  
8,812 SF TOTAL



CCBG

Architects, Inc.  
PHOENIX SAN DIEGO  
102 E BUCHANAN PHOENIX, AZ 85004  
P.602.258.2211 F.602.255.0909



A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

ISSUE		
DATE	REV	FOR
5.1.16		

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
11-28-16  
DATE INITIALS

Drawn	RL
Checked	PJL
Job Number	1605
Drawing	OPEN SPACE
PLAN	
Sheet	

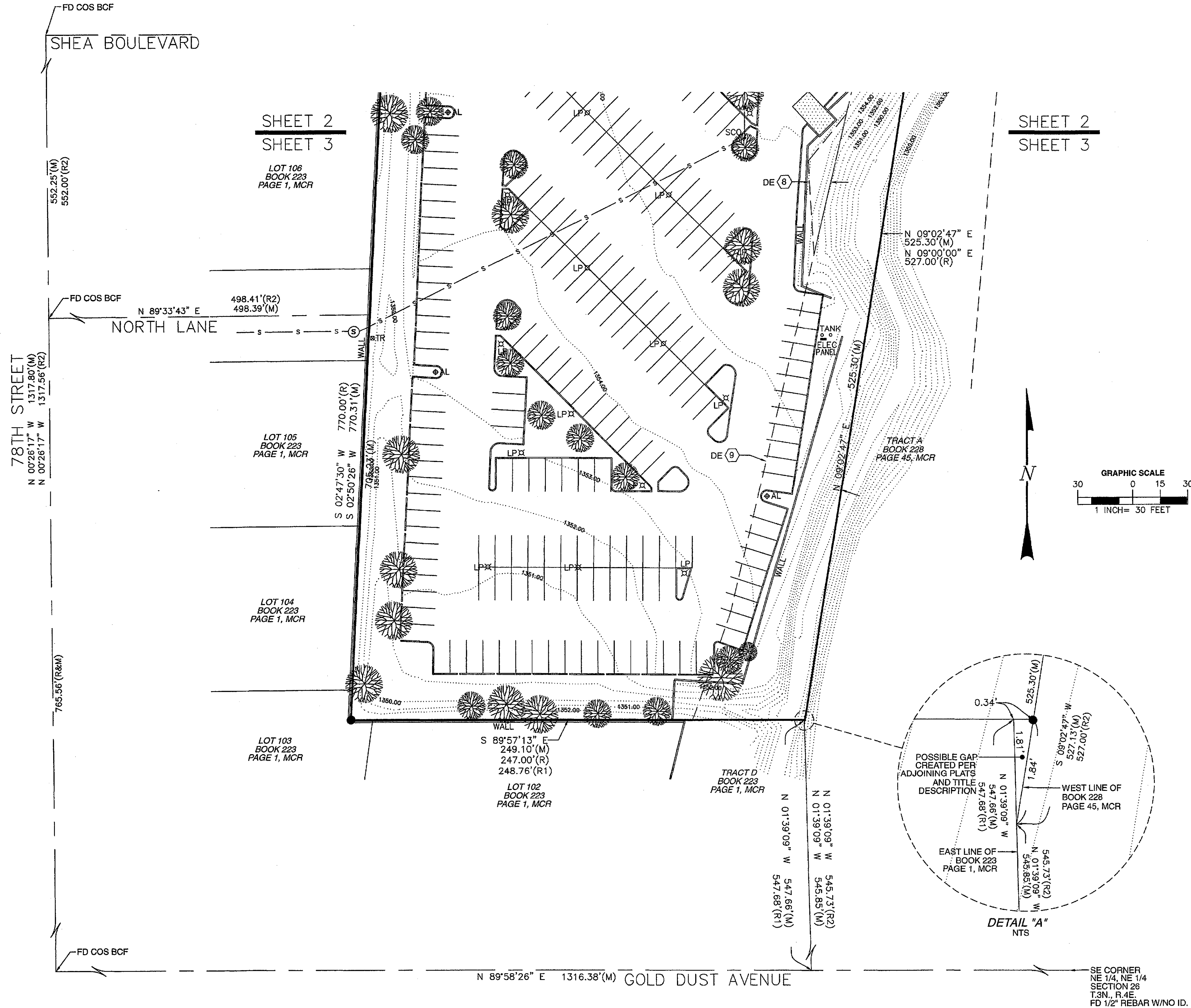
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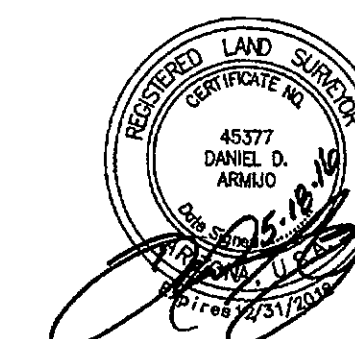






LEGEND

MCR	MARICOPA COUNTY RECORDS
COS	CITY OF SCOTTSDALE
BOHH	BRASS CAP IN HANDHOLE
BCF	BRASS CAP FLUSH
FD	FOUND
ID	IDENTIFICATION
DE	DRAINAGE EASEMENT
EE	ELECTRIC EASEMENT
C EE	CENTERLINE OF ELECTRIC EASEMENT
(M)	MEASURED DATA
(R)	RECORD DATA (TITLE REPORT)
(R1)	RECORD DATA BOOK 228, PAGE 45
(R2)	RECORD DATA BOOK 223, PAGE 1
WV	WATER VALVE
PP	POWER POLE
CATV	CABLE TV VAULT
CTR	CABLE TV RISER
FH	FIRE HYDRANT
WMB	WATER METER BOX
WBP	WATER BACKFLOW PREVENTOR
AL	AREA LIGHT
ECB	ELECTRIC CABINET
LP	LIGHT POLE
TR	TELEPHONE RISER
SCO	SEWER CLEANOUT
(S)	SEWER MANHOLE
---	PROPERTY LINE
---	ADJOINER LINE
---	CENTER LINE
---	EASEMENT LINE (AS NOTED)
---	CONCRETE
---	TREE OR BUSH
●	PROPERTY CORNER SET 1/2" REBAR W/CAP "AWLS 45377"

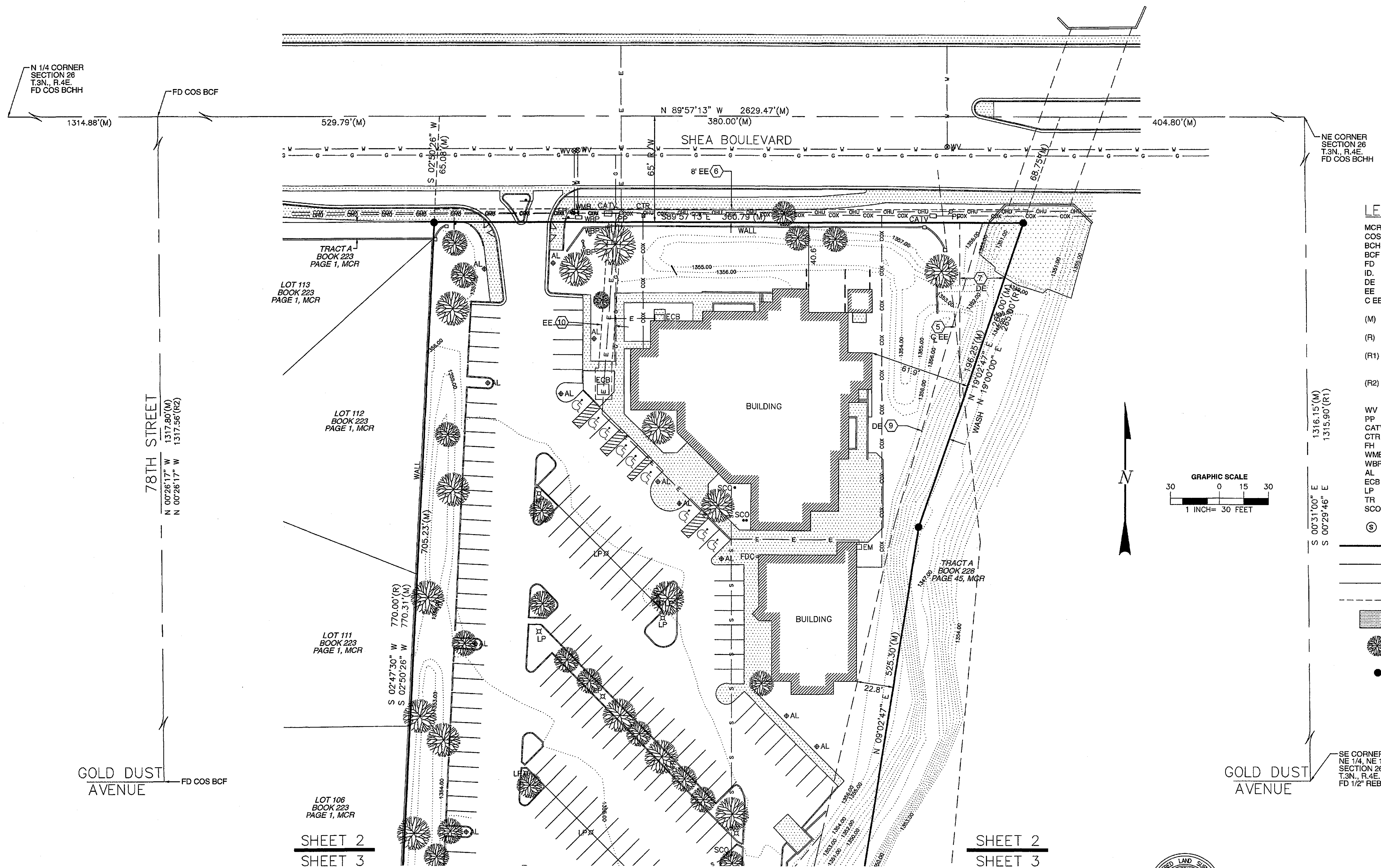


ALTA/ACSM LAND TITLE SURVEY  
SECTION 26  
TOWNSHIP 3 NORTH, RANGE 4 EAST  
OF THE G.S.R.B. & M.  
MARICOPA COUNTY, ARIZONA

**AW**  
LAND  
SURVEYING, LLC  
P.O. BOX 2170, CHANDLER, AZ 85244  
(480) 244-7630 (480) 243-4287

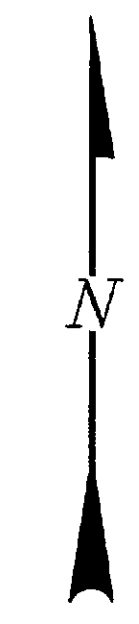
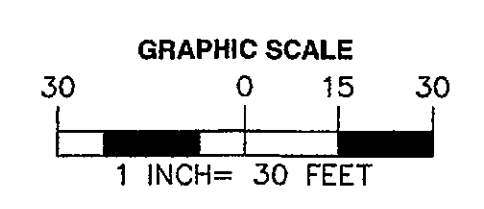
DRAWN BY: DDA CHECKED BY: DDA DATE: 5/18/16 JOB NO.: 16-027 SHEET NO. 3 OF 3





LEGEND

- |               |                                 |
|---------------|---------------------------------|
| MCR           | MARICOPA COUNTY RECORDS         |
| COS           | CITY OF SCOTTSDALE              |
| BCHH          | BRASS CAP IN HANDHOLE           |
| BCF           | BRASS CAP FLUSH                 |
| FD            | FOUND                           |
| ID            | IDENTIFICATION                  |
| DE            | DRAINAGE EASEMENT               |
| EE            | ELECTRIC EASEMENT               |
| C EE          | CENTERLINE OF ELECTRIC EASEMENT |
| (M)           | MEASURED DATA                   |
| (R)           | RECORD DATA (TITLE REPORT)      |
| (R1)          | RECORD DATA BOOK 228, PAGE 45   |
| (R2)          | RECORD DATA BOOK 223, PAGE 1    |
| WV            | WATER VALVE                     |
| PP            | POWER POLE                      |
| CATV          | CABLE TV VAULT                  |
| CTR           | CABLE TV RISER                  |
| FH            | FIRE HYDRANT                    |
| WMB           | WATER METER BOX                 |
| WBP           | WATER BACKFLOW PREVENTOR        |
| AL            | AREA LIGHT                      |
| ECB           | ELECTRIC CABINET                |
| LP            | LIGHT POLE                      |
| TR            | TELEPHONE RISER                 |
| SCO           | SEWER CLEANOUT                  |
| (S)           | SEWER MANHOLE                   |
| ---           | PROPERTY LINE                   |
| ---           | ADJOINER LINE                   |
| ---           | CENTER LINE                     |
| ---           | EASEMENT LINE (AS NOTED)        |
| [Hatched Box] | CONCRETE                        |
| [Tree Symbol] | TREE OR BUSH                    |
| [Dot]         | PROPERTY CORNER SET 1/2\"/>     |



ALTA/ACSM LAND TITLE SURVEY  
SECTION 26  
TOWNSHIP 3 NORTH, RANGE 4 EAST  
OF THE G.S.R.B. & M.  
MARICOPA COUNTY, ARIZONA

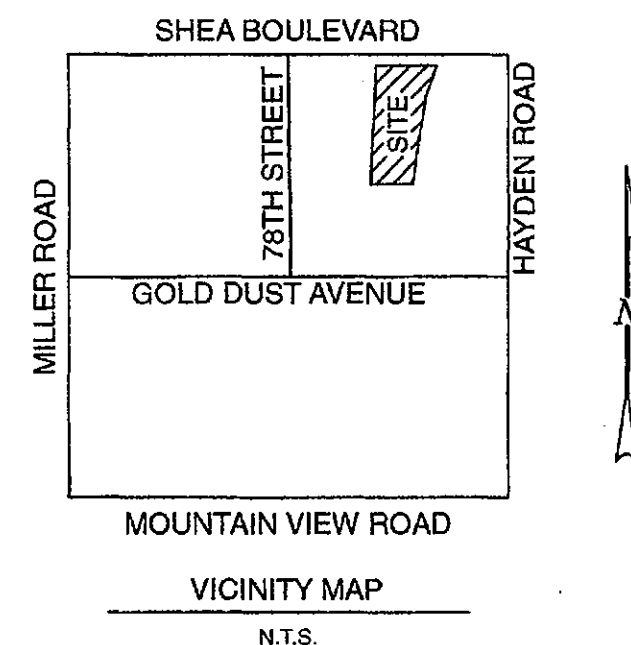
**AW LAND SURVEYING, LLC**  
P.O. BOX 2170, CHANDLER, AZ 85244  
(480) 244-7630 (480) 243-4287

DRAWN BY: DDA CHECKED BY: DDA DATE: 5/18/16 JOB NO.: 16-027 SHEET NO. 2 OF 3



# ALTA/ACSM LAND TITLE SURVEY

OF A PORTION OF THE NORTHEAST QUARTER OF SECTION 26,  
TOWNSHIP 3 NORTH, RANGE 4 EAST,  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA.



## SCHEDULE "B" ITEMS

1. TAXES WHICH MAY BE ASSESSED OR LEVIED SUBSEQUENT TO THE EFFECTIVE DATE HEREIN, AND SUBSEQUENT YEARS. TAX IDENTIFICATION NO.: 175-47-008

2. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

3. RESERVATIONS CONTAINED IN THE PATENT

FROM: THE UNITED STATES OF AMERICA  
TO: CLARENCE E. HOVER  
RECORDING DATE: MARCH 10, 1917  
RECORDING NO: BOOK 120 OF DEEDS, PAGE 490

WHICH AMONG OTHER THINGS RECITES AS FOLLOWS:

SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING, OR OTHER PURPOSES AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS, AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS AND DECISIONS OF THE COURTS, AND THE RESERVATION FROM THE LANDS HEREBY GRANTED, A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES.

4. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE HEREIN DESCRIBED LAND AS SHOWN ON THE MAP

RECORDING NO: BOOK 5 OF ROAD MAPS, PAGE 28

5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: ELECTRIC LINES  
RECORDING NO: DOCKET 1444, PAGE 127

6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: ELECTRIC LINES  
RECORDING NO: DOCKET 11674, PAGE 12

7. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: LEVIES, DIKES, CHANNELS AND OTHER WORKS OF DRAINAGE  
RECORDING NO: DOCKET 16462, PAGE 215

8. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: DRAINAGE  
RECORDING NO: 95-477920

9. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: DRAINAGE  
RECORDING NO: 95-477921

10. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: ELECTRIC LINES  
RECORDING NO: 96-586994

11. MATTERS (INCLUDING, BUT NOT LIMITED TO, A REVERSION RIGHT) CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: GENERAL WARRANTY DEED  
DATED: DECEMBER 01, 2007  
RECORDING DATE: DECEMBER 03, 2007  
RECORDING NO: 20071274697

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

12. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT

ENTITLED: MEMORANDUM OF LEASE  
LESSOR: SHEA CHAPEL, LLC  
LESSEE: SCOTTSDALE BIBLE CHURCH, AN ARIZONA NONPROFIT CORPORATION  
RECORDING DATE: DECEMBER 03, 2007  
RECORDING NO: 20071275158

13. MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/ACSM LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.

14. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.

## PARCEL DESCRIPTION

THAT PART OF THE NORTHEAST QUARTER OF SECTION TWENTY-SIX (26), TOWNSHIP THREE (3) NORTH, RANGE FOUR (4) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 26 AND RUNNING THENCE WEST (ASSUMED BEARING) ALONG THE NORTH LINE OF SAID SECTION 26 A DISTANCE OF 404.80 FEET TO THE NORTHEAST CORNER OF THE PREMISES HEREIN DESCRIBED, SAID POINT BEING IN THE CENTER LINE OF THAT CERTAIN COUNTY ROAD COMMONLY KNOWN AS SHEA BOULEVARD, AND ALSO BEING THE TRUE POINT OF BEGINNING;

THENCE CONTINUING WEST ALONG THE NORTH LINE OF SAID SECTION 26 A DISTANCE OF 380 FEET;

THENCE SOUTH 2 DEGREES 47 MINUTES 30 SECONDS WEST A DISTANCE OF 770 FEET;

THENCE EAST PARALLEL TO THE NORTH LINE OF SAID SECTION 26 A DISTANCE OF 247 FEET TO A POINT;

THENCE NORTH 9 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 527 FEET TO A POINT;

THENCE NORTH 19 DEGREES 00 MINUTES 00 SECONDS EAST A DISTANCE OF 265 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THAT PART CONVEYED TO THE CITY OF SCOTTSDALE IN DEED RECORDED IN DOCKET 16462, PAGE 213, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE SOUTH 32 FEET OF THE NORTH 65 FEET OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, LYING EAST OF AND ADJOINING A LINE DRAWN AT AN ANGLE OF 87 DEGREES 12 MINUTES 30 SECONDS, AS MEASURED FROM WEST TO SOUTH, FROM THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 26, AT A POINT ON SAID NORTH LINE BEING 784.8 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER LYING WEST OF AND ADJOINING A LINE DRAWN AT AN ANGLE OF 71 DEGREES, AS MEASURED FROM WEST TO SOUTH, FROM THE NORTH LINE OF SAID NORTHEAST QUARTER, AT A POINT ON SAID NORTH LINE BEING 404.8 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER.

## NOTES: (Table "A" Items")

- SET A 1/2" REBAR W/CAP "AWLS 45377" AT PROPERTY CORNERS AS SHOWN HEREON UNLESS OTHERWISE NOTED.
- AREA IS 205,850.8 SQUARE FEET OR 4.726 ACRES, MORE OR LESS.
- THIS SURVEY SHOWS ABOVE GROUND UTILITIES, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITY LINES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION MADE AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CLIENT IS HEREBY ADVISED THAT EXCAVATION MAY BE NECESSARY TO EXPOSE UNDERGROUND UTILITIES TO CONFIRM EXACT LOCATION.
- THERE ARE 298 REGULAR PARKING SPACES AND 9 HANDICAP PARKING SPACES.
- ADJOINER INFORMATION IS PER MARICOPA COUNTY ASSESSOR WEBSITE.

## BASIS OF BEARING

THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 4 EAST, USING A BEARING OF NORTH 89°57'13" WEST AS SHOWN ON THE FINAL PLAT OF LA CUESTA III, RECORDED IN BOOK 223, PAGE 1, MARICOPA COUNTY RECORDS.

## BENCHMARK

BENCHMARK IS A CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE, BEING THE NORTH QUARTER CORNER OF SECTION 26, T.3N., R.4E. ELEVATION = 1355.13' NAVD 88.

## FLOOD ZONE DESIGNATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" (DOTTED) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 04013C1760L, DATED OCTOBER 16, 2013. ZONE "X" IS DEFINED AS AREAS OF 0.2% ANNUAL FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

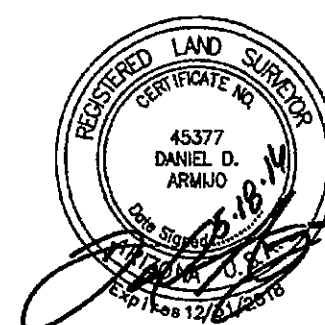
## GENERAL NOTES

- ALL TITLE INFORMATION IS BASED ON A COMMITMENT FOR TITLE INSURANCE PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, COMMITMENT NO. 01841980-003-170, WITH AN EFFECTIVE DATE OF DECEMBER 9, 2015.
- A.R.S. 32-151 STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OR FINDINGS THAT ARE SUBJECT TO THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- SURVEY FIELD WORK WAS COMPLETED ON APRIL 8, 2016.
- THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

## CERTIFICATION

TO: PHOENIX SEMINARY, INC., AN ARIZONA NONPROFIT CORPORATION  
SHEA CHAPEL, LLC, AN ARIZONA NONPROFIT LIMITED LIABILITY COMPANY  
COMMONWEALTH LAND TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES TABLE A ITEMS 1-4, 8, 9, 11(A)(B), AND 13 THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.



ALTA/ACSM LAND TITLE SURVEY  
SECTION 26  
TOWNSHIP 3 NORTH, RANGE 4 EAST  
OF THE G.S.R.B. & M.  
MARICOPA COUNTY, ARIZONA

**AW**  
LAND  
SURVEYING, LLC  
P.O. BOX 2170, CHANDLER, AZ 85244  
(480) 244-7630 (480) 243-4287

DRAWN BY: DDA CHECKED BY: DDA DATE: 5/18/16 JOB NO.: 16-027 SHEET NO. 1 OF 3



PROJECT DATA

PROJECT CONTACTS:

OWNER:  
SCOTTSDALE BIBLE CHURCH  
7801 E. Shea Blvd.  
Scottsdale, AZ 85260

ARCHITECT:  
CCBG ARCHITECTS  
102 E. Buchanan St.  
Phoenix, AZ 85004  
Paul Ladensack 602.258.2211

PROJECT ADDRESS:

7901 E. Shea Blvd.  
Scottsdale, AZ 85260

PROJECT DESCRIPTION:

THE EXPANSION WILL INCLUDE A ONE STORY ADDITION TO THE EXISTING ADMINISTRATION BUILDING AND A NEW 10,500 SF ONE STORY LIBRARY. THE EXISTING ADMINISTRATION BUILDING WILL RECEIVE NEW INTERIOR FINISHES. A NEW CENTRAL DROP OFF AREA WILL BE INCORPORATED INTO THE EXISTING PARKING CONFIGURATION. THE ARCHITECTURE OF THE NEW LIBRARY BLENDS WITH THE EXISTING BUILDINGS BOTH IN MASSING AND FORM.

GOVERNING:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING

BUILDING CODES:

CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES.  
2012 Scottsdale Building Safety Administrative Code  
2012 International Energy Conservation Code (IECC)  
2012 International Residential Code (IRC)  
2012 International Existing Building Code (IEBC)  
2012 International Building Code (IBC)  
2012 International Mechanical Code (IMC)  
2011 National Electrical Code (NEC)  
2012 International Plumbing Code (IPC)  
2012 International Fire Code (IFC)  
Current Zoning Ordinances

ZONING & APN:

175-47-008 (R1-35) & FOOTHILLS OVERLAY

OCCUPANCY:

EXISTING CHAPEL BLDG	A-3
EXISTING ADMIN BLDG	B
NEW LIBRARY BLDG	A-3
NEW CLASSROOM BLDG	E

SITE AREA/COVERAGE:

175-47-008 205,851 SF, 4.73 ACRES (NET)  
228,449 SF, 5.24 ACRES (GROSS)

EXISTING CHAPEL BLDG	13,392 SF
EXISTING ADMIN BLDG	4,636 SF
NEW LIBRARY BLDG	10,520 SF
NEW CLASSROOM BLDG	3,262 SF
TOTAL	31,810 SF

SITE COVERAGE - 25% ALLOWED  
ACTUAL: 31,810/205,851 = 15.5%

LIBRARY BLDG HEIGHT:

MAX PER ORDINANCE FOR R1-35: 30'-0"  
F.F. ELEVATION 1357.32' + 29'-10" = 1387.15'  
T.O.C. FROM SHEA BLVD -1357.31'  
TOTAL = 29.84' < 30'

ACTUAL NORTH PARAPET: 29'-10"  
OCCUPIED SPACE: 29'-10"

CLASSROOM BLDG HEIGHT:

MAX PER ORDINANCE FOR R1-35: 30'-0"  
F.F. ELEVATION 1357.32' + 16'-0" = 1373.32'  
T.O.C. @ MIDPOINT OF SHEA -1357.62'  
TOTAL = 16.01' < 30'

ACTUAL NORTH PARAPET: 16'-0"  
OCCUPIED SPACE: 16'-0"

CONSTRUCTION TYPE:

EXISTING CHAPEL BLDG	V-B
EXISTING ADMIN BLDG	V-B
NEW LIBRARY BLDG	V-B
NEW CLASSROOM BLDG	V-B

SPRINKLER SYSTEM:

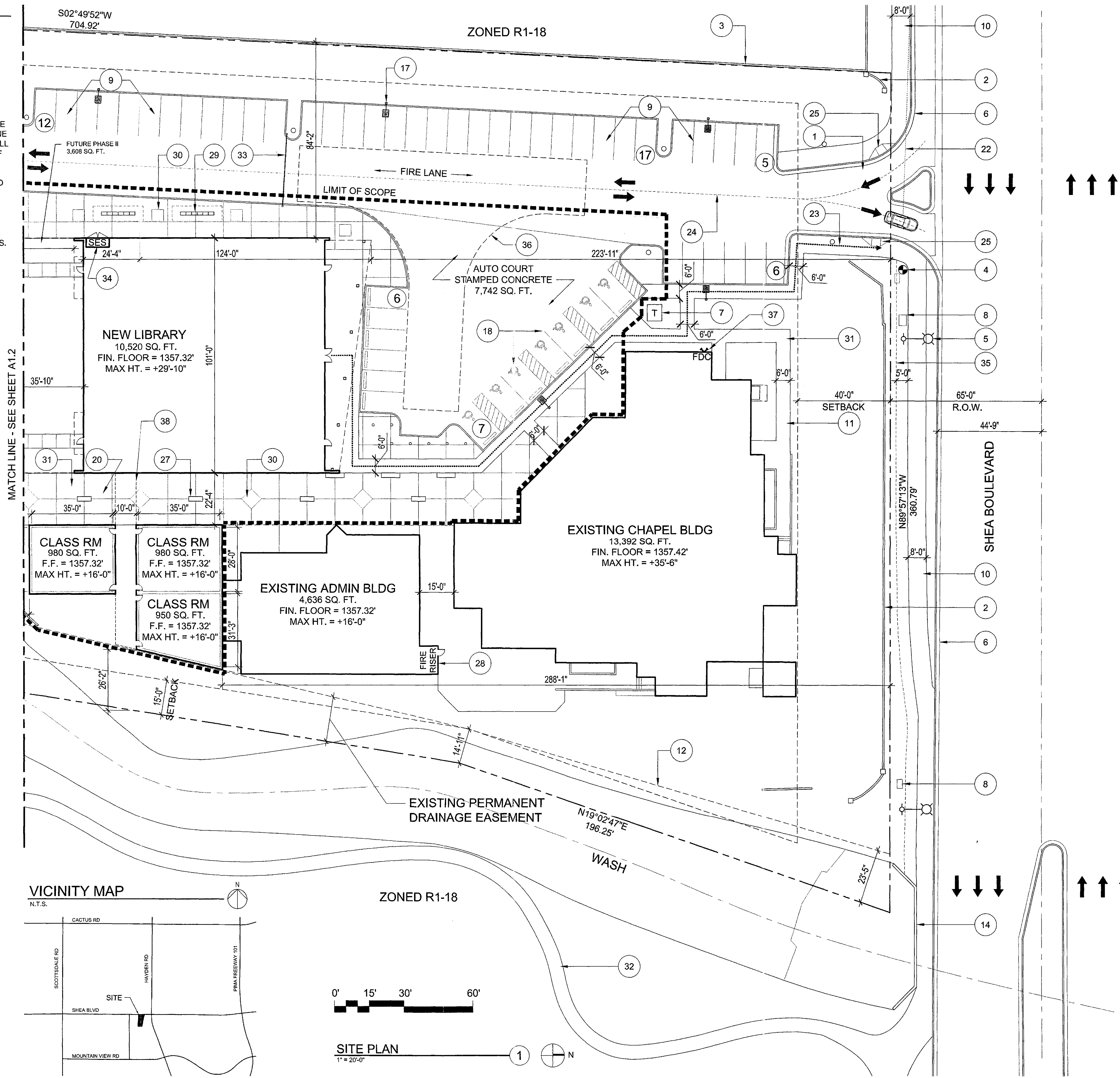
EXISTING CHAPEL BLDG	FULLY SPRINKLERED
EXISTING ADMIN BLDG	FULLY SPRINKLERED
NEW LIBRARY BLDG	FULLY SPRINKLERED
NEW CLASSROOM BLDG	FULLY SPRINKLERED

BUILDING AREA:

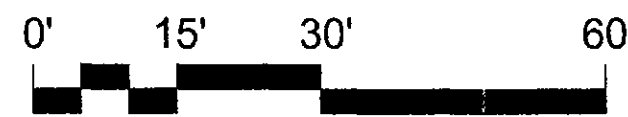
EXISTING CHAPEL BLDG	13,392 SF
EXISTING ADMIN BLDG	4,636 SF
NEW LIBRARY BLDG	10,520 SF
NEW CLASSROOM BLDG	3,262 SF

SETBACKS:

175-47-008  
SHEA BLVD: 40'-0" SETBACK  
SIDE YARD (EAST): 15'-0" SETBACK  
SIDE YARD (WEST): 15'-0" SETBACK  
REAR YARD: 35'-0" SETBACK



VICINITY MAP



SITE PLAN

1" = 20'-0"

CCBG

Architects, Inc.  
PHOENIX SAN DIEGO  
102 E BUCHANAN PHOENIX, AZ 85004  
P.602.258.2211 F.602.255.0909

\*Preliminary\*  
NOT FOR CONSTRUCTION  
JCalhoun : 09/06/2016 4:24:21 PM

A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

5-UP-2016 09/07/16		
ISSUE		
DATE	REV	FOR
05.18.16		DR / CUP SUBMITTAL
07.15.16		RESUBMITTAL
09.06.16		CUP SUBMITTAL

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED

DATE 11-28-16 INITIALS

Drawn	RL
Checked	PJL
Job Number	1605
Drawing	SITE PLAN

Sheet

A1.1

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## PROJECT DATA

## PROJECT CONTACTS:

OWNER  
SCOTTSDALE BIBLE CHURCH  
7601 E. Shea Blvd.  
Scottsdale, AZ 85260

ARCHITECT  
CCBG ARCHITECTS  
102 E. Buchanan St.  
Phoenix, AZ 85004  
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CONTACT: Paul Ladensack

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THE EXPANSION WILL INCLUDE A ONE STORY ADDITION TO THE EXISTING ADMINISTRATION BUILDING AND A NEW 10,500 SF ONE STORY LIBRARY. THE EXISTING ADMINISTRATION BUILDING WILL RECEIVE NEW INTERIOR FINISHES. A NEW CENTRAL DROP OFF AREA WILL BE INCORPORATED INTO THE EXISTING PARKING CONFIGURATION. THE ARCHITECTURE OF THE NEW LIBRARY BLENDS WITH THE EXISTING BUILDINGS BOTH IN MASSING AND FORM.

## GOVERNING:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING

## BUILDING CODES:

CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES.  
2012 Scottsdale Building Safety Administrative Code  
2012 International Energy Conservation Code (IECC)  
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2012 International Plumbing Code (IPC)  
2012 International Fire Code (IFC)  
Current Zoning Ordinances

## ZONING &amp; APN:

175-47-008 (R1-35) & FOOTHILLS OVERLAY

## OCCUPANCY:

EXISTING CHAPEL BLDG  
EXISTING ADMIN BLDG  
NEW LIBRARY BLDG  
NEW CLASSROOM BLDG

A-3  
B  
A-3  
E

## SITE AREA/COVERAGE:

175-47-008 205,851 SF, 4.73 ACRES (NET)  
228,449 SF, 5.24 ACRES (GROSS)

EXISTING CHAPEL BLDG 13,392 SF  
EXISTING ADMIN BLDG 4,636 SF  
NEW LIBRARY BLDG 10,520 SF  
NEW CLASSROOM BLDG 3,430 SF  
TOTAL 31,978 SF

SITE COVERAGE - 25% ALLOWED  
ACTUAL: 31,978/205,851 = 15.5%

## LIBRARY BLDG HEIGHT:

MAX PER ORDINANCE FOR R1-35: 30'-0"  
F.F. ELEVATION 1357.32' + 29'-10" = 1387.15'  
T.O.C. @ MIDPOINT OF SHEA = 1357.62'  
TOTAL = 29.53' < 30'

## CLASSROOM BLDG HEIGHT:

MAX PER ORDINANCE FOR R1-35: 30'-0"  
F.F. ELEVATION 1357.32' + 23'-0" = 1380.32'  
T.O.C. @ MIDPOINT OF SHEA = 1357.62'  
TOTAL = 22.7' < 30'

ACTUAL NORTH PARAPET:  
OCCUPIED SPACE: 29'-10"  
29'-10"

## CONSTRUCTION TYPE:

EXISTING CHAPEL BLDG V-B  
EXISTING ADMIN BLDG V-B  
NEW LIBRARY BLDG V-B  
NEW CLASSROOM BLDG V-B

## SPRINKLER SYSTEM:

EXISTING CHAPEL BLDG FULLY SPRINKLERED  
EXISTING ADMIN BLDG FULLY SPRINKLERED  
NEW LIBRARY BLDG FULLY SPRINKLERED  
NEW CLASSROOM BLDG FULLY SPRINKLERED

## BUILDING AREA:

EXISTING CHAPEL BLDG 13,392 SF  
EXISTING ADMIN BLDG 4,636 SF  
NEW LIBRARY BLDG 10,520 SF  
NEW CLASSROOM BLDG 3,430 SF

## SETBACKS:

175-47-008  
SHEA BLVD: 40'-0" SETBACK  
SIDE YARD (EAST): 15'-0" SETBACK  
SIDE YARD (WEST): 15'-0" SETBACK  
REAR YARD: 35'-0" SETBACK

## PARKING:

EXISTING CHAPEL BLDG  
SANCTUARY @ 1/4 800 SF

TOTAL = 200 SPACES REQ'D

EXISTING ADMIN BLDG  
OFFICES @ 1/250 SQ FT 2,046 SQ FT

TOTAL = 9 SPACES REQ'D

= 209 TOTAL PARKING SPACES REQUIRED  
= 224 TOTAL PARKING SPACES PROVIDED

\* THE LIBRARY BUILDING & CLASSROOM BUILDING IS A  
NON-CONCURRENT USE WITH THE CHAPEL BUILDING.

NEW LIBRARY BLDG  
LIBRARY @ 1/300 SQ FT 4,905 SQ FT  
CONFERENCE RMS @ 1/50 SQ FT 686 SQ FT  
OFFICE/STUDY RMS @ 1/250 SQ FT 1,755 SQ FT

TOTAL = 38 SPACES REQ'D

NEW CLASSROOM BLDG  
CLASSROOMS @ 1/2 EMPLOYEES 4 EMPLOYEES  
@ 1/4 STUDENTS 190 STUDENTS

TOTAL = 50 SPACES REQ'D

= 88 TOTAL PARKING SPACES REQUIRED  
= 224 TOTAL PARKING SPACES ONSITE

ACCESSIBLE PARKING  
ONSITE PARKING: 201 TO 300 SPACES = 7 SPACES REQ'D  
7 SPACES PROVIDED

BICYCLE PARKING  
@ 1/10 PARKING SPACES 209 SPACES

TOTAL = 21 SPACES REQ'D  
27 SPACES PROVIDED

## SENSITIVE BUILDING DESIGN CONCEPT PLAN AND PROPOSED DESIGN GUIDELINES

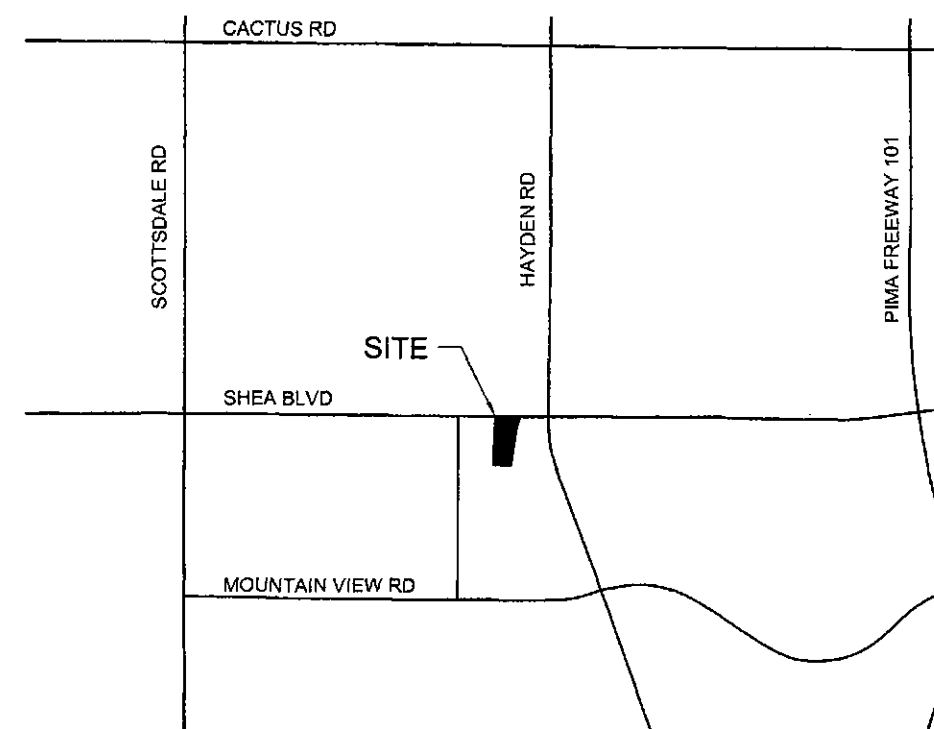
1. NO REFLECTIVE BUILDING MATERIALS WILL BE USED.
2. PAINT COLORS THAT ARE USED FOR THE NEW BUILDINGS WILL NOT EXCEED A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 40%.
3. EXTERIOR PAINT AND MATERIAL COLORS WILL NOT EXCEED A VALUE OF 6 AS INDICATED IN THE MUNSSELL BOOK OF COLOR.
4. THE VEGETATION PALLET WILL CONSIST OF DESERT PLANTS THAT ARE NATIVE TO THE SONORAN DESERT SPECIES.
5. THE USE OF TURF WILL NOT BE INCORPORATED INTO THE SITE.
6. ALL PARKING AND STAGING AREAS WILL BE SCREENED FROM THE STREET AND NEIGHBORING PROPERTIES BY WALLS AND VEGETATION.

## CONSERVATION AREA, SCENIC CORRIDOR, VISTA CORRIDOR PLAN

1. THE OBJECTIVE FOR THE NEW DESIGN IS TO PRESERVE THE SCENIC CORRIDOR BY PROTECTING THE CHARACTER OF THE NATURAL SONORAN DESERT LANDSCAPE ALONG THE EXISTING WASH AND SHEA BLVD.
2. THE LANDSCAPE ALONG SHEA BLVD. AND THE WASH ARE CURRENTLY IN EXCELLENT CONDITION AND THE GOAL IS TO KEEP THESE AREAS UNDISTURBED.
3. THE TWO (2) NEW ACCESSORY BUILDINGS ARE POSITIONED ON THE SITE WITH A GREATER SETBACK WHICH CONTROLS THE VISUAL IMPACT OF THE BUILDINGS HEIGHT AND SIZE FROM THE CORRIDOR.
4. THE DESIGN WILL STRENGTHEN THE PEDESTRIAN SCALE ALONG THE CORRIDOR BY PRESERVING THE EXISTING MULTI-USE PATH WITHIN THE SCENIC EASEMENT.
5. THE EXISTING WASH WILL REMAIN IN A NATURAL STATE AND OPEN FOR WILDLIFE EGRESS AND VISUAL ACCESS.
6. ALL NEW PLANTING WILL BE LOW WATER USE PLANT MATERIAL AND IT WILL MATCH THE SURROUNDING NATIVE VEGETATION.

## VICINITY MAP

N.T.S.



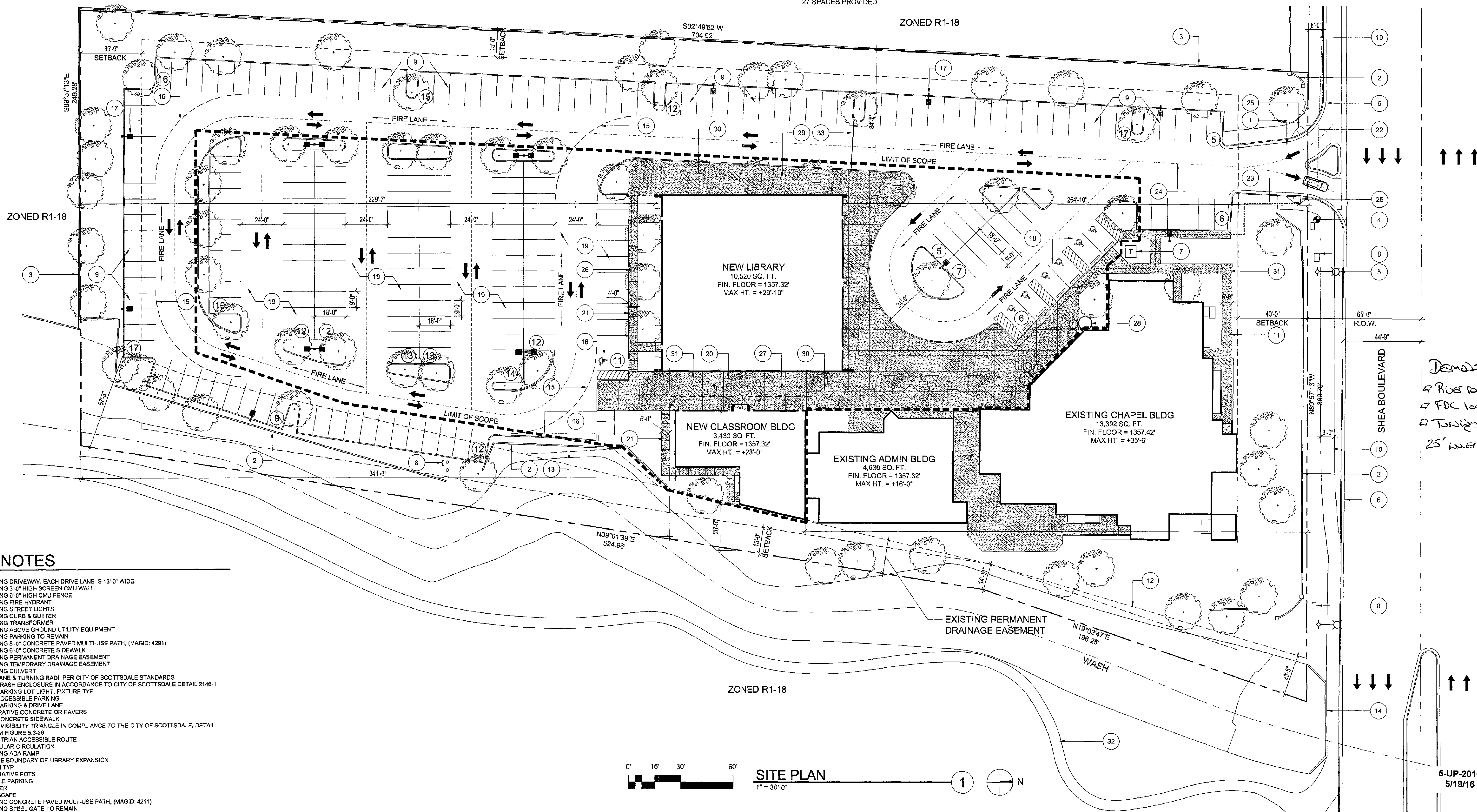
CCBG

Architects, Inc.

PHOENIX SAN DIEGO

102 E BUCHANAN PHOENIX, AZ 85004

P. 602.258.2211 F. 602.255.0909



## KEYNOTES

1. EXISTING DRIVEWAY. EACH DRIVE LANE IS 13'-0" WIDE.
2. EXISTING 3'-0" HIGH SCREEN CMU WALL
3. EXISTING 6'-0" HIGH CMU FENCE
4. EXISTING FIRE HYDRANT
5. EXISTING STREET LIGHTS
6. EXISTING CURB & GUTTER
7. EXISTING TRANSFORMER
8. EXISTING ABOVE GROUND UTILITY EQUIPMENT
9. EXISTING PARKING TO REMAIN
10. EXISTING 6'-0" CONCRETE PAVED MULTI-USE PATH. (MAGID: 4251)
11. EXISTING 6'-0" CONCRETE SIDEWALK
12. EXISTING PERMANENT DRAINAGE EASEMENT
13. EXISTING TEMPORARY DRAINAGE EASEMENT
14. EXISTING CULVERT
15. FIRE LANE & TURNING RADII PER CITY OF SCOTTSDALE STANDARDS
16. NEW TRASH ENCLOSURE IN ACCORDANCE TO CITY OF SCOTTSDALE DETAIL 2146-1
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18. NEW ACCESSIBLE PARKING
19. NEW PARKING & DRIVE LANE
20. DECORATIVE CONCRETE OR PAVERS
21. NEW CONCRETE SIDEWALK
22. SIGHT VISIBILITY TRIANGLE IN COMPLIANCE TO THE CITY OF SCOTTSDALE, DETAIL DS APM FIGURE 5.3.26
23. PEDESTRIAN ACCESSIBLE ROUTE
24. VEHICULAR CIRCULATION
25. EXISTING ADA RAMP
26. FUTURE BOUNDARY OF LIBRARY EXPANSION
27. BENCH TYP.
28. DECORATIVE POTS
29. BICYCLE PARKING
30. PLANTER
31. HARDSCAPE
32. EXISTING CONCRETE PAVED MULTI-USE PATH. (MAGID: 4211)
33. EXISTING STEEL GATE TO REMAIN

A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

Demolition:  
7 Rises room numbers  
7 FDC location  
2 Turnings radii: State  
25' inner / 44' outer / 55' Bucket

ISSUE  
DATE REV FOR  
5.1.16

Fire Plan Review By:  
Rick King (A00) 312-2372  
email: rking@ccbgarchitects.com

Drawn  
RL  
Checked  
P.J.L.  
Job Number  
1605  
Drawing  
SITE PLAN

Sheet

A1.1

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## PROJECT DATA

PROJECT CONTACTS: OWNER  
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Scottsdale, AZ 85260

ARCHITECT  
CCBG ARCHITECTS  
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OCCUPANCY: EXISTING CHAPEL BLDG A-3  
EXISTING ADMIN BLDG B  
NEW LIBRARY BLDG A-3  
NEW CLASSROOM BLDG E

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EXISTING ADMIN BLDG	4,636 SF
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NEW CLASSROOM BLDG	3,430 SF
TOTAL	31,978 SF

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ACTUAL: 31,978/205,851 = 15.5%

LIBRARY BLDG HEIGHT: MAX PER ORDINANCE FOR R1-35: 30'-0"  
F.F. ELEVATION 1357.32' + 29'-10" = 1387.15'  
T.O.C. @ MIDPOINT OF SHEA -1357.62'  
TOTAL = 29.53' < 30'

CLASSROOM BLDG HEIGHT: MAX PER ORDINANCE FOR R1-35: 30'-0"  
F.F. ELEVATION 1357.32' + 23'-0" = 1380.32'  
T.O.C. @ MIDPOINT OF SHEA -1357.62'  
TOTAL = 22.7' < 30'

ACTUAL NORTH PARAPET: 29'-10"  
OCCUPIED SPACE: 29'-10"

CONSTRUCTION TYPE: EXISTING CHAPEL BLDG V-B  
EXISTING ADMIN BLDG V-B  
NEW LIBRARY BLDG V-B  
NEW CLASSROOM BLDG V-B

SPRINKLER SYSTEM: EXISTING CHAPEL BLDG FULLY SPRINKLERED  
EXISTING ADMIN BLDG FULLY SPRINKLERED  
NEW LIBRARY BLDG FULLY SPRINKLERED  
NEW CLASSROOM BLDG FULLY SPRINKLERED

BUILDING AREA: EXISTING CHAPEL BLDG 13,392 SF  
EXISTING ADMIN BLDG 4,636 SF  
NEW LIBRARY BLDG 10,520 SF  
NEW CLASSROOM BLDG 3,430 SF

SETBACKS: 175-47-008  
SHEA BLVD: 40'-0" SETBACK  
SIDE YARD (EAST): 15'-0" SETBACK  
SIDE YARD (WEST): 15'-0" SETBACK  
REAR YARD: 35'-0" SETBACK

PARKING: EXISTING CHAPEL BLDG  
SANCTUARY @1/4 800 SF  
TOTAL = 200 SPACES REQ'D

EXISTING ADMIN BLDG  
OFFICES @1/250 SQ.FT. 2,046 SQ.FT.  
TOTAL = 9 SPACES REQ'D

= 209 TOTAL PARKING SPACES REQUIRED  
= 224 TOTAL PARKING SPACES PROVIDED

\* THE LIBRARY BUILDING & CLASSROOM BUILDING IS A NON-CONCURRENT USE WITH THE CHAPEL BUILDING.

NEW LIBRARY BLDG  
LIBRARY @1/300 SQ.FT. 4,905 SQ.FT.  
CONFERENCE RMS @1/50 SQ.FT. 686 SQ.FT.  
OFFICE/STUDY RMS @1/250 SQ.FT. 1,755 SQ.FT.  
TOTAL = 38 SPACES REQ'D

NEW CLASSROOM BLDG  
CLASSROOMS @1/2 EMPLOYEES 4 EMPLOYEES  
@1/4 STUDENTS 190 STUDENTS  
TOTAL = 50 SPACES REQ'D

= 88 TOTAL PARKING SPACES REQUIRED  
= 224 TOTAL PARKING SPACES ON SITE

ACCESSIBLE PARKING  
ONSITE PARKING: 201 TO 300 SPACES = 7 SPACES REQ'D  
7 SPACES PROVIDED

BICYCLE PARKING  
@1/10 PARKING SPACES 209 SPACES  
TOTAL = 21 SPACES REQ'D  
27 SPACES PROVIDED

## SENSITIVE BUILDING DESIGN CONCEPT PLAN AND PROPOSED DESIGN GUIDELINES

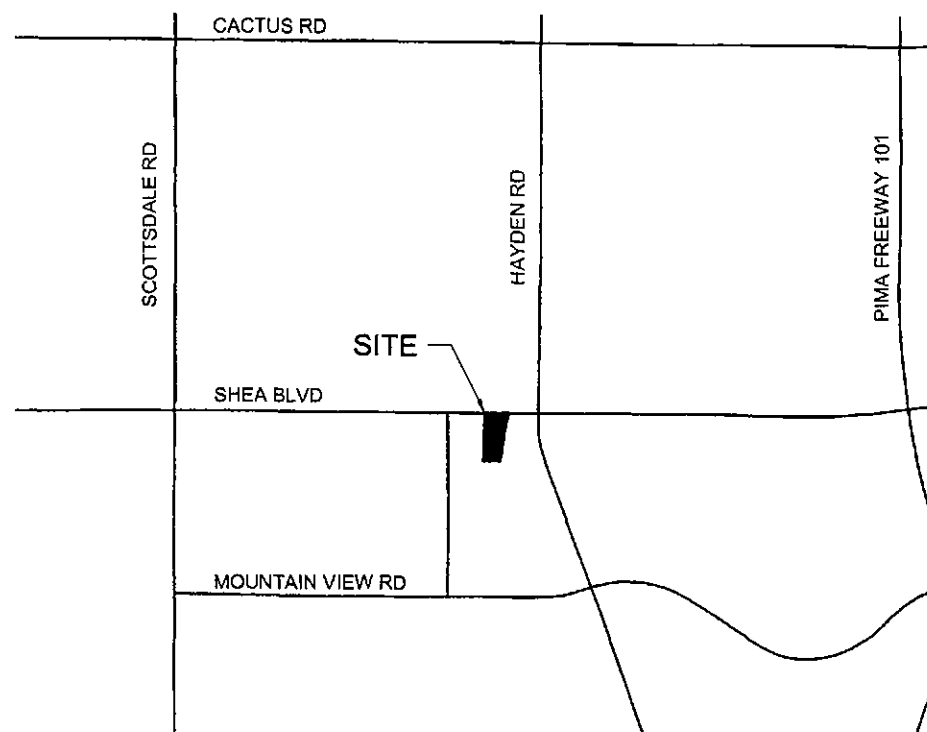
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3. EXTERIOR PAINT AND MATERIAL COLORS WILL NOT EXCEED A VALUE OF 6 AS INDICATED IN THE MUNSSELL BOOK OF COLOR.
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## CONSERVATION AREA, SCENIC CORRIDOR, VISTA CORRIDOR PLAN

1. THE OBJECTIVE FOR THE NEW DESIGN IS TO PRESERVE THE SCENIC CORRIDOR BY PROTECTING THE CHARACTER OF THE NATURAL SONORAN DESERT LANDSCAPE ALONG THE EXISTING WASH AND SHEA BLVD.
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5. THE EXISTING WASH WILL REMAIN IN A NATURAL STATE AND OPEN FOR WILDLIFE EGRESS AND VISUAL ACCESS.
6. ALL NEW PLANTING WILL BE LOW WATER USE PLANT MATERIAL AND IT WILL MATCH THE SURROUNDING NATIVE VEGETATION.

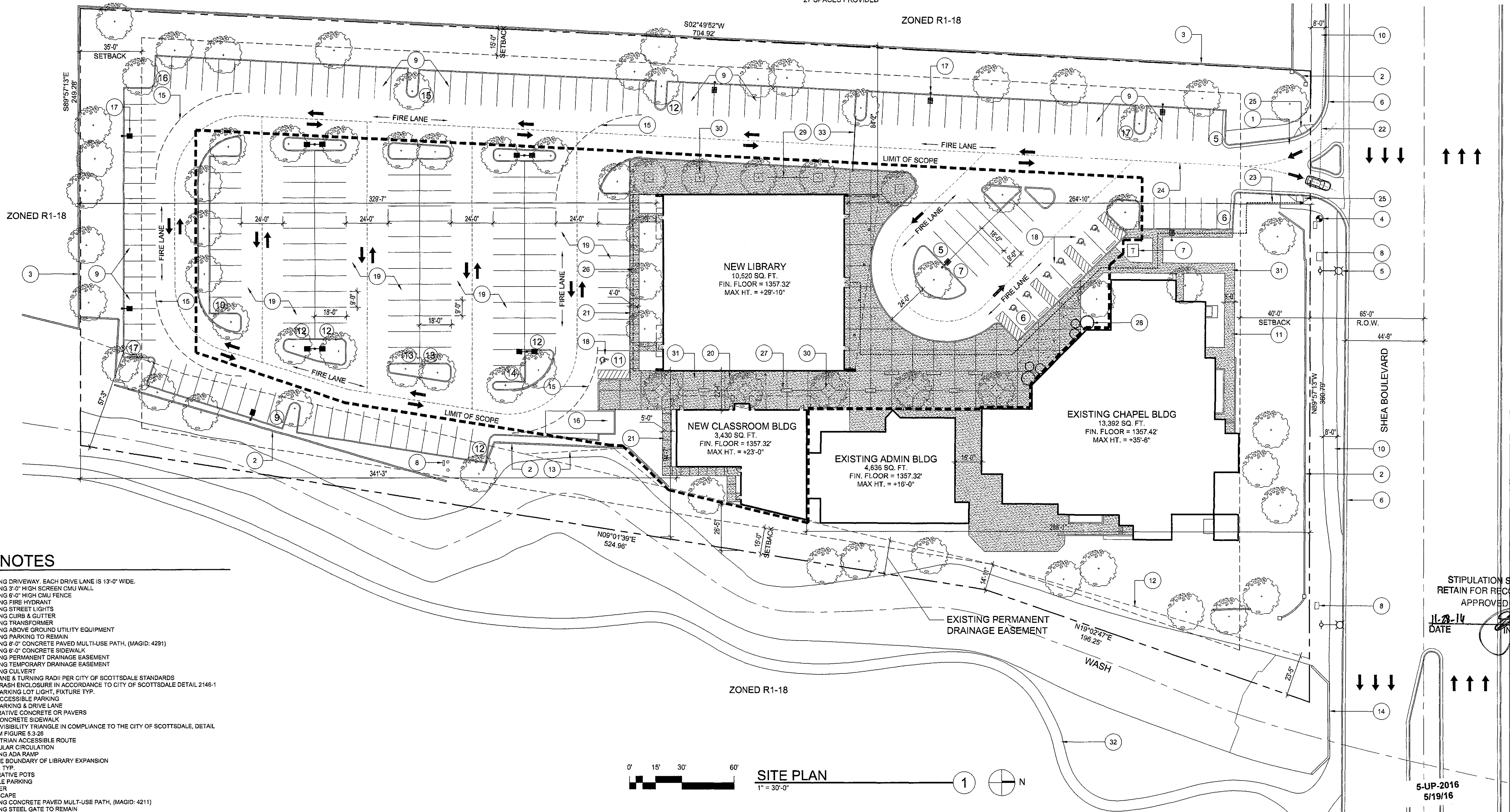
## VICINITY MAP

N.T.S.



CCBG

Architects, Inc.  
PHOENIX SAN DIEGO  
102 E BUCHANAN PHOENIX, AZ 85004  
P. 602.258.2211 F. 602.255.0909



## KEYNOTES

1. EXISTING DRIVEWAY. EACH DRIVE LANE IS 13'-0" WIDE.
2. EXISTING 6'-0" HIGH SCREEN CMU WALL.
3. EXISTING 6'-0" HIGH CMU FENCE.
4. EXISTING FIRE HYDRANT.
5. EXISTING STREET LIGHTS.
6. EXISTING CURBS & GUTTER.
7. EXISTING TRANSFORMER.
8. EXISTING ABOVE GROUND UTILITY EQUIPMENT.
9. EXISTING PARKING TO REMAIN.
10. EXISTING 8'-0" CONCRETE PAVED MULTI-USE PATH. (MAGID: 4291)
11. EXISTING 6'-0" CONCRETE SIDEWALK.
12. EXISTING PERMANENT DRAINAGE EASEMENT.
13. EXISTING TEMPORARY DRAINAGE EASEMENT.
14. EXISTING CULVERT.
15. FIRE LANE & TURNING RADIUS PER CITY OF SCOTTSDALE STANDARDS.
16. NEW TRASH ENCLOSURE IN ACCORDANCE TO CITY OF SCOTTSDALE DETAIL 2146-1.
17. NEW PARKING LOT LIGHT, FIXTURE TYP.
18. NEW ACCESSIBLE PARKING.
19. NEW PARKING & DRIVE LANE.
20. DECORATIVE CONCRETE OR PAVERS.
21. NEW CONCRETE SIDEWALK.
22. SIGHT VISIBILITY TRIANGLE IN COMPLIANCE TO THE CITY OF SCOTTSDALE, DETAIL DS 8PM FIGURE 5.3-28.
23. PEDESTRIAN ACCESSIBLE ROUTE.
24. VEHICULAR CIRCULATION.
25. EXISTING ADA RAMP.
26. FUTURE BOUNDARY OF LIBRARY EXPANSION.
27. BENCH TYP.
28. DECORATIVE POTS.
29. BICYCLE PARKING.
30. PLANTER.
31. HARDSCAPE.
32. EXISTING CONCRETE PAVED MULTI-USE PATH. (MAGID: 4211)
33. EXISTING STEEL GATE TO REMAIN.

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED

DATE 5/19/16 INITIALS

A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

ISSUE  
DATE REV FOR  
5.1.16

Drawn  
RL  
Checked  
P.J.L.  
Job Number  
1605  
Drawing  
SITE PLAN

Sheet

A1.1

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PROJECT DATA

PARKING:

EXISTING CHAPEL BLDG		
SANCTUARY	@1 FOR 4 SEATS	800 SEATS
TOTAL = 200 SPACES REQ'D		
EXISTING ADMIN BLDG		
OFFICES	@1/250 SQ FT	2,046 SQ FT
TOTAL = 9 SPACES REQ'D		
= 209 TOTAL PARKING SPACES REQUIRED		
= 214 TOTAL PARKING SPACES PROVIDED		

\* THE LIBRARY BUILDING & CLASSROOM BUILDING IS A NON-CONCURRENT USE WITH THE CHAPEL BUILDING.

NEW LIBRARY BLDG		
LIBRARY	@1/300 SQ FT	4,821 SQ FT
CONFERENCE RMS	@1/50 SQ FT	982 SQ FT
OFFICE/STUDY RMS	@1/250 SQ FT	1,904 SQ FT

TOTAL = 44 SPACES REQ'D

NEW CLASSROOM BLDG		
CLASSROOMS	@1/2 EMPLOYEES	4 EMPLOYEES
	@1/4 STUDENTS	190 STUDENTS

TOTAL = 50 SPACES REQ'D

= 94 TOTAL PARKING SPACES REQUIRED  
= 214 TOTAL PARKING SPACES ONSITE

ACCESSIBLE PARKING

ONSITE PARKING: 214 STALLS x 0.04 ADA = 9 SPACES REQ'D  
10 SPACES PROVIDED

BICYCLE PARKING

@1/10 PARKING SPACES 209 SPACES

TOTAL = 21 SPACES REQ'D  
28 SPACES PROVIDED

SENSITIVE BUILDING DESIGN CONCEPT PLAN AND PROPOSED DESIGN GUIDELINES

- NO REFLECTIVE BUILDING MATERIALS WILL BE USED.
- PAINT COLORS THAT ARE USED FOR THE NEW BUILDINGS WILL NOT EXCEED A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 40%.
- EXTERIOR PAINT AND MATERIAL COLORS WILL NOT EXCEED A VALUE OF 6 AS INDICATED IN THE MUNSELL BOOK OF COLOR.
- THE VEGETATION PALLET WILL CONSIST OF DESERT PLANTS THAT ARE NATIVE TO THE SONORAN DESERT SPECIES.
- THE USE OF TURF WILL NOT BE INCORPORATED INTO THE SITE.
- ALL PARKING AND STAGING AREAS WILL BE SCREENED FROM THE STREET AND NEIGHBORING PROPERTIES BY WALLS AND VEGETATION.

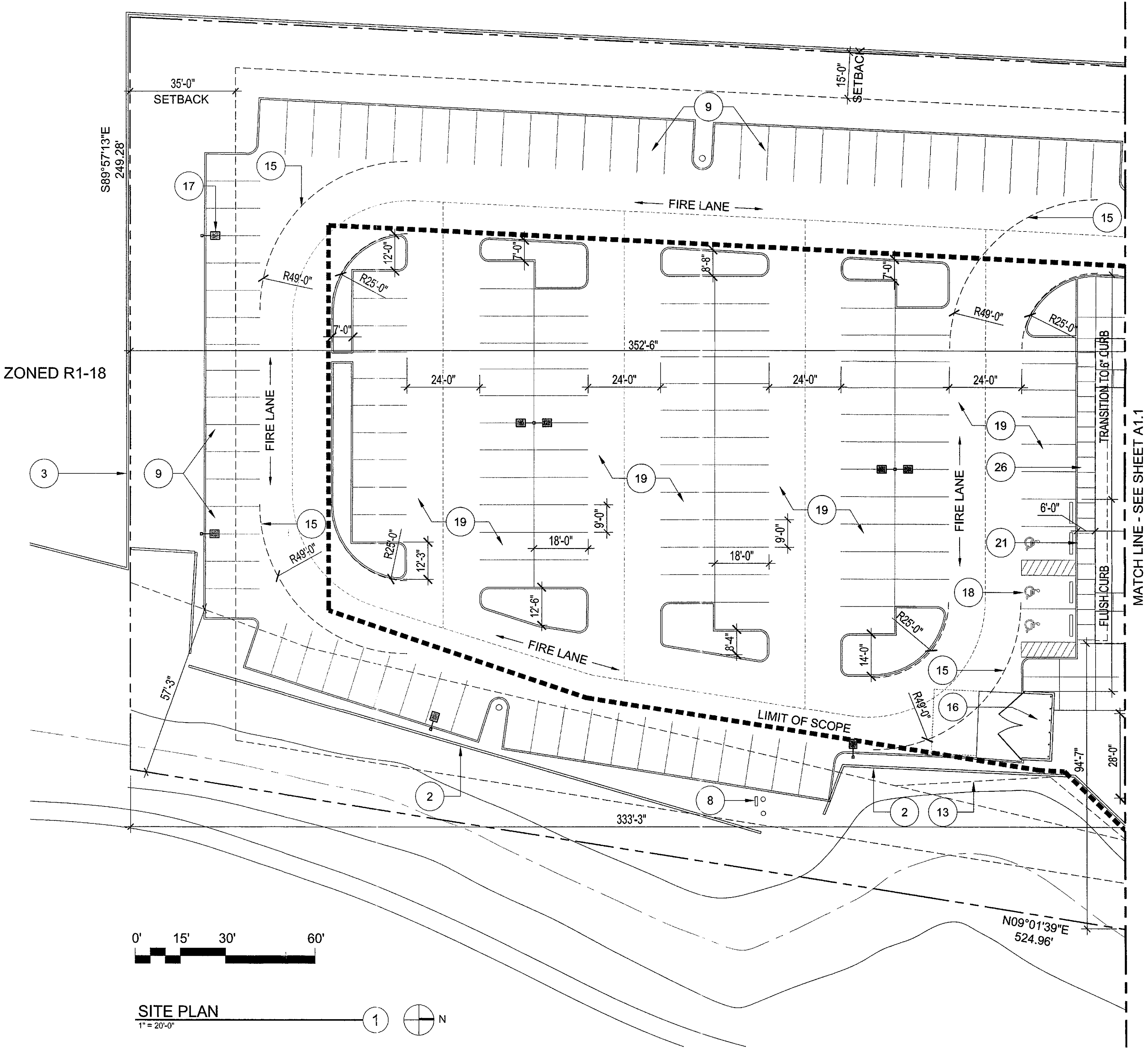
CONSERVATION AREA, SCENIC CORRIDOR, VISTA CORRIDOR PLAN

- THE OBJECTIVE FOR THE NEW DESIGN IS TO PRESERVE THE SCENIC CORRIDOR BY PROTECTING THE CHARACTER OF THE NATURAL SONORAN DESERT LANDSCAPE ALONG THE EXISTING WASH AND SHEA BLVD.
- THE LANDSCAPE ALONG SHEA BLVD. AND THE WASH ARE CURRENTLY IN EXCELLENT CONDITION AND THE GOAL IS TO KEEP THESE AREAS UNDISTURBED.
- THE TWO (2) NEW ACCESSORY BUILDINGS ARE POSITIONED ON THE SITE WITH A GREATER SETBACK WHICH CONTROLS THE VISUAL IMPACT OF THE BUILDINGS HEIGHT AND SIZE FROM THE CORRIDOR.
- THE DESIGN WILL STRENGTHEN THE PEDESTRIAN SCALE ALONG THE CORRIDOR BY PRESERVING THE EXISTING MULTI-USE PATH WITHIN THE SCENIC EASEMENT.
- THE EXISTING WASH WILL REMAIN IN A NATURAL STATE AND OPEN FOR WILDLIFE EGRESS AND VISUAL ACCESS.
- ALL NEW PLANTING WILL BE LOW WATER USE PLANT MATERIAL AND IT WILL MATCH THE SURROUNDING NATIVE VEGETATION.

KEYNOTES

- EXISTING DRIVEWAY, EACH DRIVE LANE IS 13'-0" WIDE.
- EXISTING 3'-0" HIGH SCREEN CMU WALL
- EXISTING 6'-0" HIGH CMU FENCE
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHTS
- EXISTING CURB & GUTTER
- EXISTING TRANSFORMER
- EXISTING ABOVE GROUND UTILITY EQUIPMENT
- EXISTING PARKING TO REMAIN
- EXISTING 8'-0" CONCRETE PAVED MULTI-USE PATH, (MAGID: 4291)
- EXISTING 6'-0" CONCRETE SIDEWALK
- EXISTING PERMANENT DRAINAGE EASEMENT
- EXISTING TEMPORARY DRAINAGE EASEMENT
- EXISTING CULVERT
- FIRE LANE & TURNING RADII PER CITY OF SCOTTSDALE STANDARDS
- NEW DBL TRASH ENCLOSURE IN ACCORDANCE W/ CITY OF SCOTTSDALE DETAIL 2147-1
- NEW PARKING LOT LIGHT, FIXTURE TYP.
- NEW ACCESSIBLE PARKING
- NEW PARKING & DRIVE LANE
- DECORATIVE CONCRETE OR PAVERS
- NEW CONCRETE SIDEWALK
- SIGHT VISIBILITY TRIANGLE IN COMPLIANCE TO THE CITY OF SCOTTSDALE, DETAIL DS & PM FIGURE 5.3-26
- PEDESTRIAN ACCESSIBLE ROUTE
- VEHICULAR CIRCULATION
- EXISTING ADA RAMP

- FUTURE BOUNDARY OF LIBRARY EXPANSION
- BENCH TYP.
- EXISTING FIRE RISER WILL BE USED FOR THE NEW LIBRARY
- BICYCLE PARKING IN COMPLIANCE TO CITY OF SCOTTSDALE STANDARDS, DETAIL 2285
- PLANTER
- HARDSCAPE
- EXISTING CONCRETE PAVED MULTI-USE PATH, (MAGID: 4211)
- EXISTING STEEL GATE TO REMAIN
- SES PANEL
- 5'-0" NON-MOTORIZED PUBLIC ACCESS EASEMENT
- "HAMMERHEAD" MANEUVERING CLEARANCE AS APPROVED BY SCOTTSDALE FIRE DEPARTMENT
- EXISTING SIAMESE FIRE DEPARTMENT CONNECTION (FDC)
- OUTLINE OF CANOPY ABOVE - SEE ELEVATIONS



CCBG

Architects, Inc.  
PHOENIX SAN DIEGO  
102 E BUCHANAN PHOENIX, AZ 85004  
P.602.256.2211 F.602.255.0909

\*Preliminary\*  
NOT FOR CONSTRUCTION  
JCalhoun : 09/06/2016 4:24:21 PM

A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

5-UP-2016  
09/07/16

ISSUE

DATE	REV	FOR
06.16.16		DR / CUP SUBMITTAL
07.16.16		DRS RESUBMITTAL
09.06.16		CUP SUBMITTAL

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED

11-28-16  
DATE INITIALS

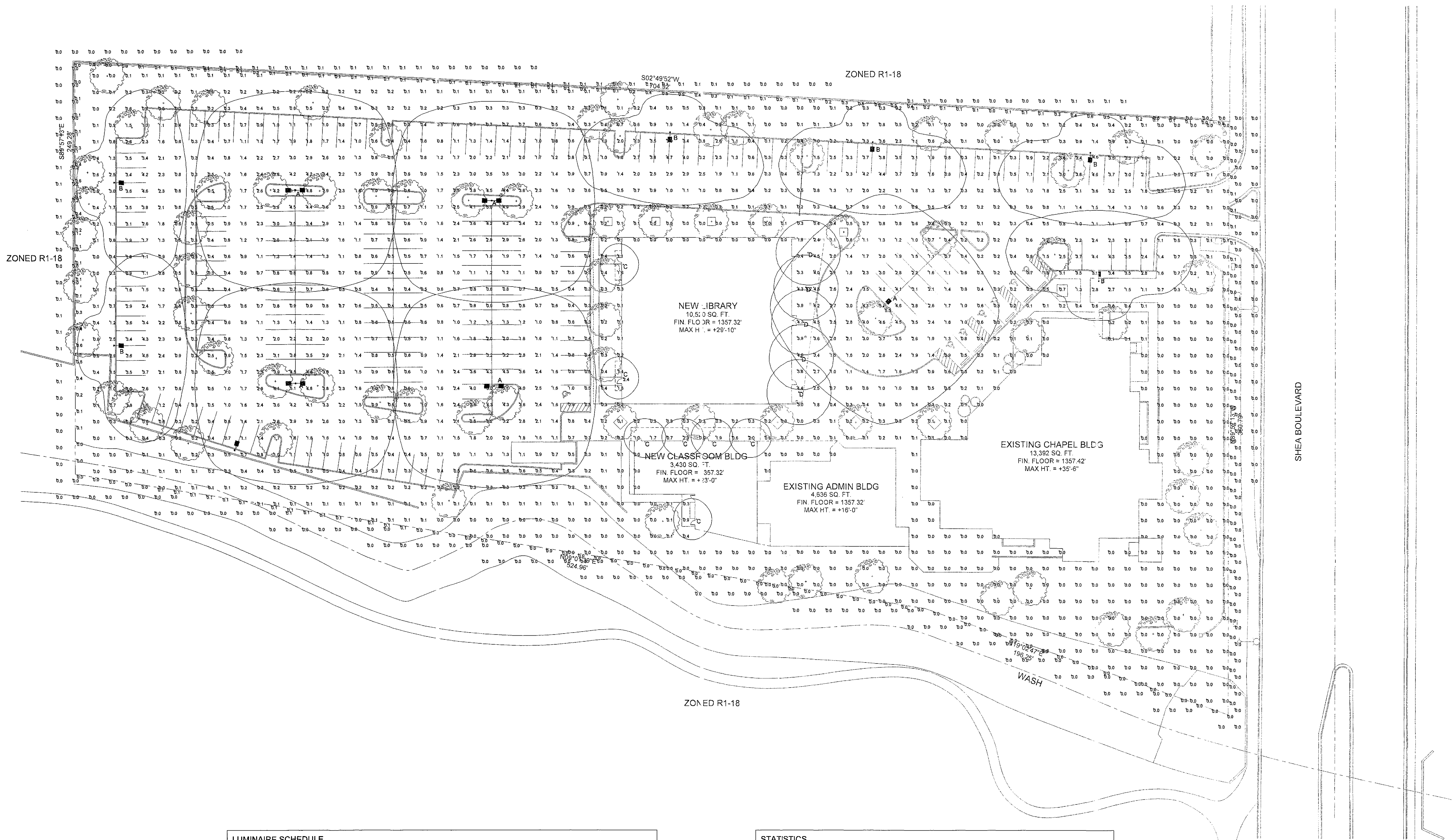
Drawn  
RL  
Checked  
PL  
Job Number  
1605  
Drawing  
SITE PLAN

Sheet

A1.2

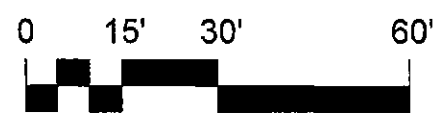
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LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF
	A	5	MCGRAW EDISON GLEON AE 02 LED E1 5WQ BK/ SSS 13.5" WITH 2.5" BASE	POLE MOUNTED AREA LIGHT AT 18' AFG	4000K LED 11,059 LUMENS	GLEON-AE-02- LED-E1- 5WQ.ies	Absolute	0.90
	B	6	MCGRAW EDISON GLEON AE 02 LED E1 T3 BK / SSS 13.5" WITH 2.5" BASE	POLE MOUNTED AREA LIGHT AT 16' AFG	4000K LED 10,501 LUMENS	GLEON-AE-02- LED-E1-T3.ies	Absolute	0.90
	C	7	LUMIERE 303-W1- LED-B1-4000-UNV- T4-DIM10-BK	WALL MOUNTED AREA LIGHT TYPE 4 DISTRIBUTION AT 8' AFG	4000K LED 568 LUMENS	303-W1- LED-B1-4000- UNV-T4-DIM10- BK.ies	Absolute	0.90
	D	5	PORTFOLIO PD820ED010- PDM6A840-61VC	6" DOWNLIGHT RECESSED AT 24' AFG	4000K LED 1,983 LUMENS	PD820ED010- PDM6A840- 61VC.ies	Absolute	0.90

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
10' BEYOND PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
A	+	5.5 fc	5.5 fc	5.5 fc	1.0:1	1.0:1
B	+	4.6 fc	4.6 fc	4.6 fc	1.0:1	1.0:1
C	+	2.4 fc	2.4 fc	2.4 fc	1.0:1	1.0:1
D	+	5.7 fc	5.7 fc	5.7 fc	1.0:1	1.0:1
MAX SPILL PORERTY LINE AT 6'	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
SITE	+	0.9 fc	5.1 fc	0.0 fc	N/A	N/A



PHOTOMETRICS

SCALE: 1:30

1



PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE AZ

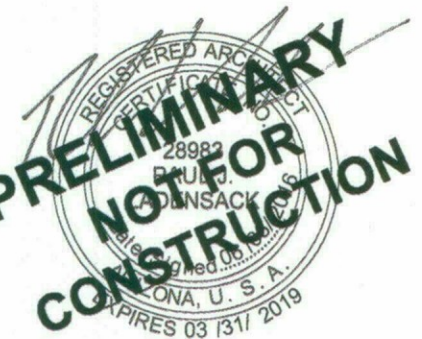
Designer  
INVERSE LIGHTING

Date  
5/12/2016

Scale  
1"=30'

Drawing No.  
MAINTAINED PLAN



A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

## ISSUE

DATE REV FOR  
5.1.16

Drawn

RL

Checked

PUL

Job Number

1605

Drawing

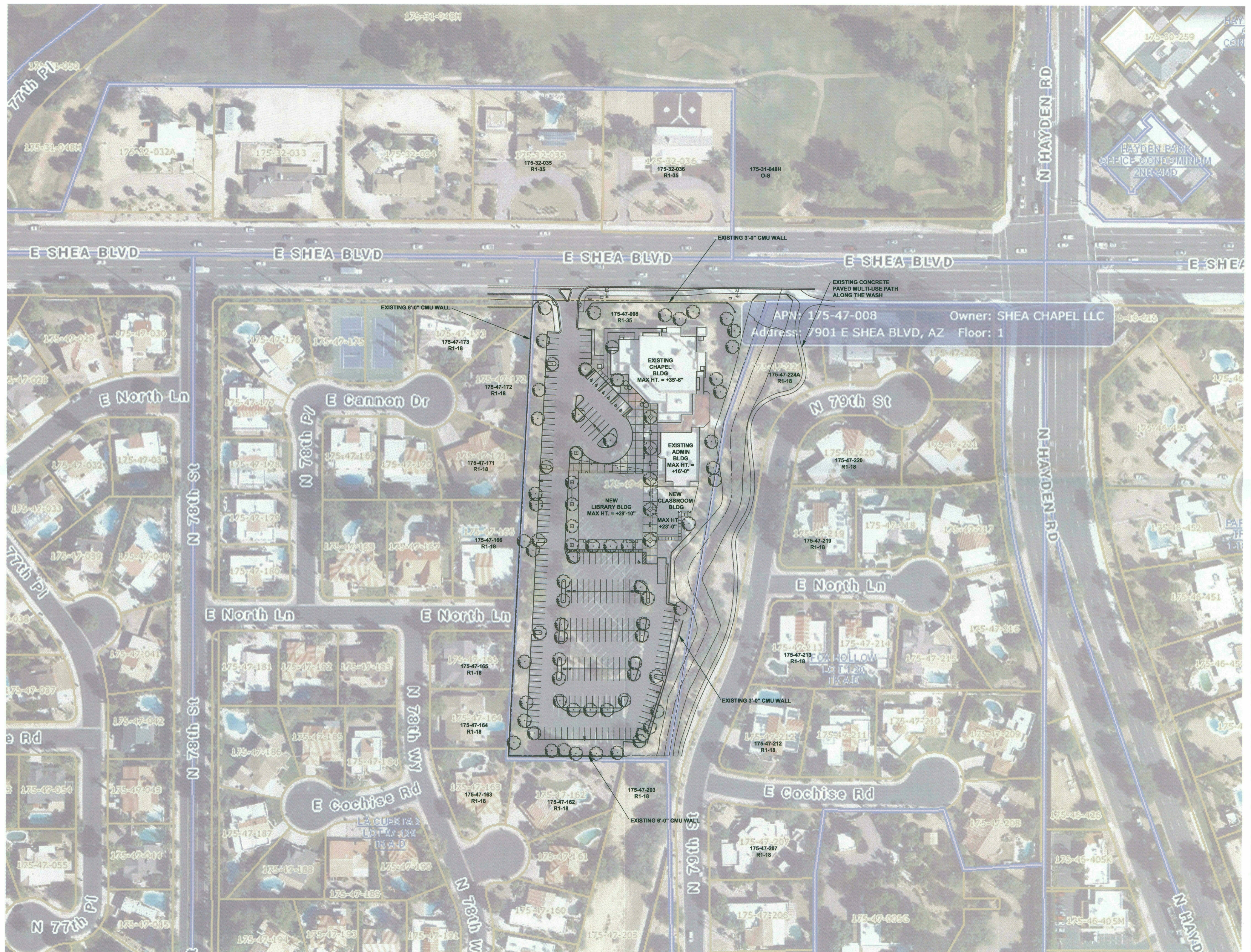
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5-UP-2016

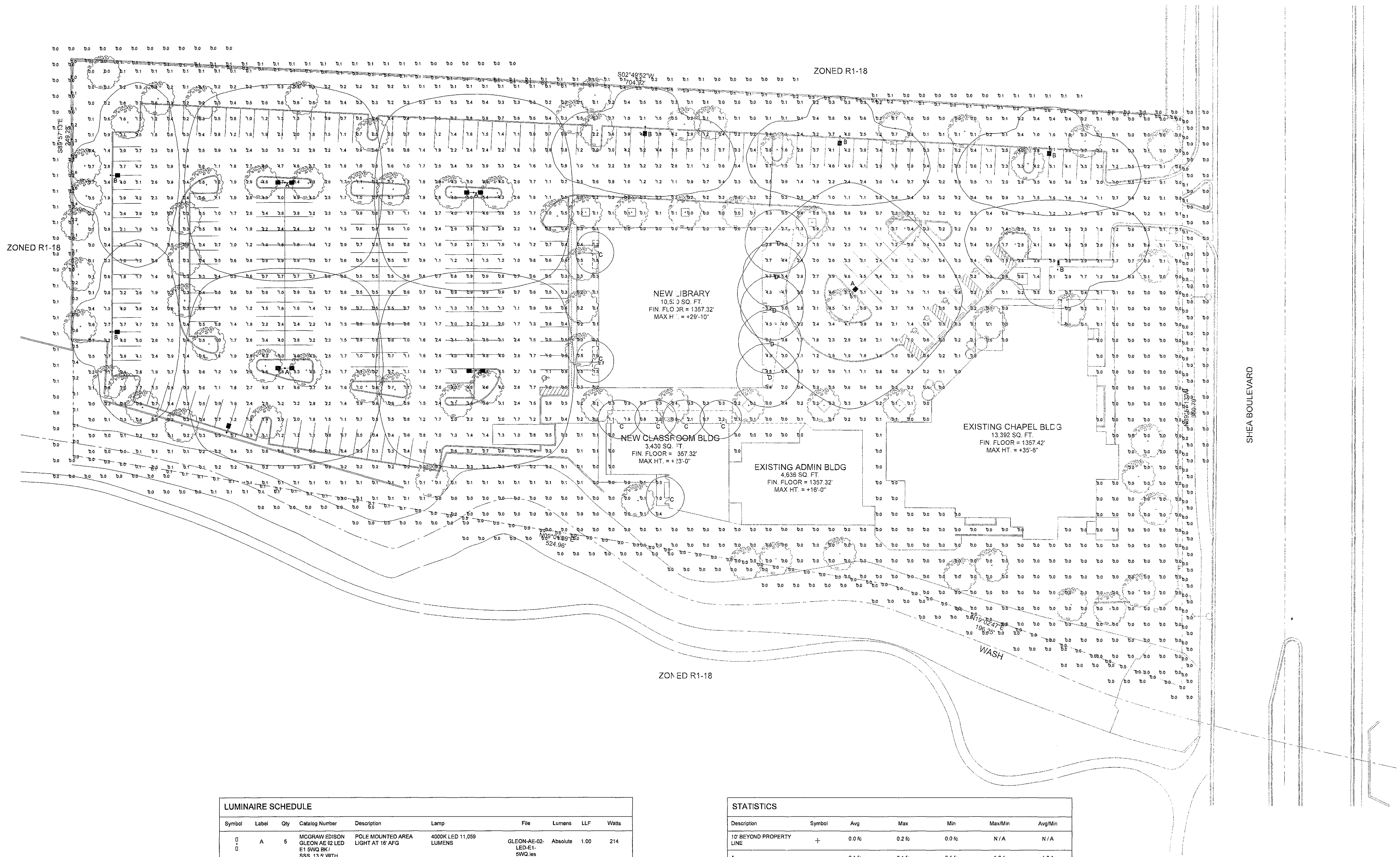
5/19/16

Sheet

A1

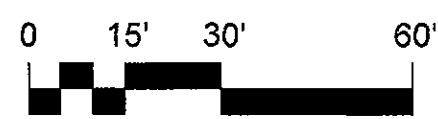






LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF
	A	5	MCGRAW EDISON GLEON AE12 LED E1 5WV BK / SSS, 13.5" WITH 2.5" BASE	POLE MOUNTED AREA LIGHT AT 16' AFG	4000K LED 11,058 LUMENS	GLEON-AE-02- LED-E1- 5WV.ies	Absolute	1.00
	B	6	MCGRAW EDISON GLEON AE12 LED E1 T3 BK / SSS, 13.5" WITH 2.5" BASE	POLE MOUNTED AREA LIGHT AT 16' AFG	4000K LED 10,501 LUMENS	GLEON-AE-02- LED-E1-T3.ies	Absolute	1.00
	C	7	LUMIERE 303-W1- LED81-4000-UNV- T4-DIM10-BK	WALL MOUNTED AREA LIGHT TYPE 4 DISTRIBUTION AT 8' AFG	4000K LED 568 LUMENS	303-W1- LED81-4000- UNV-T4-DIM10- -BK.ies	Absolute	1.00
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STATISTICS						
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10' BEYOND PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
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B	+	5.1 fc	5.1 fc	5.1 fc	1.0:1	1.0:1
C	+	2.7 fc	2.7 fc	2.7 fc	1.0:1	1.0:1
D	+	6.4 fc	6.4 fc	6.4 fc	1.0:1	1.0:1
MAX SPILL PORERTY LINE AT 6'	+	0.1 fc	0.7 fc	0.0 fc	N/A	N/A
SITE	+	1.0 fc	5.7 fc	0.0 fc	N/A	N/A



## PHOTOMETRICS

SCALE: 1:30

1



5-UP-2016  
5/19/16

## PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE AZ

Designer  
INVERSE LIGHTING

Date  
5/12/2016

Scale  
1"=30'

Drawing No.  
VERTICAL LIGHT TRESPASS



PROJECT NOTES

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS, DETAILS AND SPECIFICATIONS AND CONFORM TO ALL LOCAL CODES AND REQUIREMENTS. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF STUDIO SPRAWL LANDSCAPE ARCHITECTURE AND PLANNERS. THESE DRAWINGS SHALL NOT BE USED ON ANY OTHER PROJECT EXCEPT BY WRITTEN AUTHORIZATION FROM STUDIO SPRAWL LANDSCAPE ARCHITECTURE AND PLANNERS. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE FIELD VERIFIED ON SITE WITH ANY DISCREPANCIES BEING BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK DESCRIBED ON THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL CARRY ALL WORKER'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY THE LOCAL MUNICIPALITY OR BY THE OWNER AND APPLY, OBTAIN AND PAY FOR ALL REQUIRED PERMITS TO COMPLETE THE SCOPE OF WORK. THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION(S) OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT. THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH (INCIDENTAL OF THIS PROJECT'S WORK) AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT. ALL RUBBLE, TRASH EXCESS SOIL AND DISPOSABLE ITEMS RESULTING FROM THE DEMOLITION AND CONSTRUCTION SHALL BE DISPOSED OF IN A LEGAL, LAWFUL AND SAFE MANNER TO AN APPROVED DISPOSAL SITE. SEE DEMOLITION NOTES ON LANDSCAPE SPECIFICATION SHEET. HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY: REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT. DAMAGE RESPONSIBILITY - CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED INTENTIONALLY OR ACCIDENTALLY, TO EXISTING UTILITIES, BUILDINGS OR OTHER AMENITIES DUE TO THE ACTIONS OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR CONTRACTOR'S SUBCONTRACTORS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT THE CONTRACTORS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING FROM THE OWNER. UNAUTHORIZED CHANGES TO PLANS - THE LANDSCAPE ARCHITECT PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK. TRADE COORDINATION - CONSTRUCTION AND INSTALLATION OF ALL ITEMS WITHIN THESE DOCUMENTS SHALL REQUIRE CLOSE COORDINATION BETWEEN TRADES INVOLVED IN UNDERGROUND AND UTILITY INSTALLATION AND TREE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE PROPER COORDINATION BETWEEN TRADES TO INSURE AND AVOID CONSTRUCTION DELAYS OR DAMAGE TO AN IMPROVEMENTS OR UTILITIES. UNDERGROUND SERVICE ALERT - THE CONTRACTOR SHALL NOTIFY BLUESTAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT AND SHALL EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION. INSPECTIONS - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE MUNICIPAL REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED MUNICIPAL INSPECTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED OR DESIRED INSPECTION (480) 361-9281

LANDSCAPE NOTE (C.O.S)

-Areas of decomposed granite (If your in a ELSO area, delete the "decomposed granite" and put "salvaged desert surface soil") without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.  
-A minimum of 50 percentage (unless otherwise stipulated by the Development Review Board, and/or the Zoning Ordinance requirements) of the provided trees shall be mature trees, pursuant to the City of Scottsdale's Zoning Ordinance Article X, Section 10.301, as defined in the City of Scottsdale's Zoning Ordinance Article III, Section 3.100.  
-A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6-inches above finished grade adjacent to the trunk. A tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 12-inches above finished grade adjacent to the trunk. A multiple trunk tree's caliper size is measured at 6" above the location that the trunk splits originates, or 6" above finished grade if all trunks originate from the soil.  
-Area within the sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the sight triangle shall have a single trunk and a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street line elevation.  
-No turf areas are to be provided.  
-Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.  
-All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.  
-Prior to the establishment of water service, non-residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with Sections 49-245 through 49-248 of the City Code to the Water Conservation Office.  
-Turf shall be limited to the maximum area specified in Sections 49-245 through 49-248 of the City Code and shall be shown on landscape plans submitted at the time of final plans.  
-No lighting is approved with the submittal.  
-The approval of these plans recognize the construction of a low voltage system and does not authorize any violation of the current City of Scottsdale adopted electrical code.  
-The landscape specification section(s) of these plans have not reviewed and shall not be part of the City of Scottsdale's Approval.  
-All signs require separate permits and approvals.  
-New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the Certificate of Occupancy / Letter of Acceptance to the satisfaction of the Inspection Services Staff.  
-All revegetated NAOS shall be watered for 3 years. At the end of 3 years, the irrigation systems to the revegetated NAOS shall be permanently disconnected.  
-No irrigation shall be provided to undisturbed Natural Area Open Space (NAOS) areas.  
-Provide the Natural Area Open Space (NAOS) and Limits of Construction (LOC) Protection Program on the Plans

PLANT LEGEND

(ALL PLANTS ARE ON THE ADWR PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST)  
SITE IS NOT WITHIN THE ESL OVERLAY AREA

TREES

	SIZE
FRAXINUS VELUTINA 'RIO GRANDE'	1.5" CAL./24"BOX/10
FAN-TEX ASH	
CERCIDIUM HYBRID "AZT"	1.5" CAL./24"BOX/ 24
THORNLESS PALO BREA/STD.	
CAESALPINIA CACALACO	1.5" CAL./ 24"BOX/6
CASCALOTE TREE/MULTI	

SHRUBS

	SIZE
CAESALPINIA SPP.	5 GAL./2
BIRD OF PARADISE	
CALLIANDRA ERIOPHYLLA	5 GAL./36
PINK FAIRY DUSTER	5 GAL./2
BOUGAINVILLEA- TORCH GLOW	
TORCH GLOW BOUGAINVILLEA	
EREMOPHYLLA "VALENTINE"	5 GAL./27
VALENTINE EMU BUSH	
JUSTICIA SPICIGERA	5 GAL./6
MEXICAN HONEYSUCKLE	
LARREA TRIDENTATA	5 GAL./3
CREOSOTE BUSH	
RUPELLIA BRITTONIANA 'KATIE'	5 GAL./70
KATIE'S RUPELLIA	
PENSTEMON PARRY	1 GAL./25
PARRY'S PENSTEMON	
TECOMA STANS	5 GAL./5
ARIZONA YELLOW BELLS	
SOPHORA SECUNDIFLORA	15 GAL./2
TEXAS MOUNTAIN LAUREL	5 GAL./2
PEDILANTHIS MACROCARPUS	
SLIPPER FLOWER	
LEOCOPHYLLUM FRUTESCENS	5 GAL./14
TEXAS RANGER	
SIMMONDSIA CHINENSIS	5 GAL./3
JOJOBA	

GROUND COVERS/VINES

LANTANA 'NEW GOLD'	1 GAL./51
NEW GOLD LANTANA	
WEDELIA TRILOBATA	1 GAL./15
YELLOW DOT	
VERBENA PERUVIAN	1 GAL./10
PERUVIAN VERBENA	
LANTANA M.	1 GAL./24
TRAILING LANTANA- PURPLE	1 GAL./4
ROSMARINUS O. PROSTRATUS	
CREeping ROSMARY	1 GAL./58
CONVOLVULUS CNEORUM	
BUSH MORNING GLORY	

ACCENTS

MUHLENBERGIA CAPILLARIS	5 GAL./55
REGAL MIST GRASS	
FOUQUIERA SPLENDENS	8' TALL./2
OCOTILLO	
HESPERALOE PARVIFLORA	5 GAL./88
RED YUCCA	
AGAVE DESMETTIANA	5 GAL./6
SMOOTH AGAVE	
ECHINOCACTUS GRUSONII	5 GAL./3
GOLDEN BARREL CACTUS	

MATERIALS

	SIZE/QTY
"NATIVE SURFACE SELECT GRANITE BOULDERS 3'X3' / NOTE: NO BOULDERS IN R.O.W.	10
DECOMPOSED GRANITE IN ALL NON-TURF AREAS(MATCH EXISTING)	

Two working days before you dig,  
CALL FOR THE BLUE STAKES  
**1-800 STAKE IT**  
Blue Stake Center  
CALL COLLECT

KIVA# \_\_\_\_\_  
SDEV# \_\_\_\_\_  
CCPR# \_\_\_\_\_  
CITY QUARTER SECTION# \_\_\_\_\_

LANDSCAPE ARCHITECT, CITY OF SCOTTSDALE

DATE

ESTIMATED R.O.W. COST: \$0 ESTIMATED S.F. L/S IN R.O.W. 0

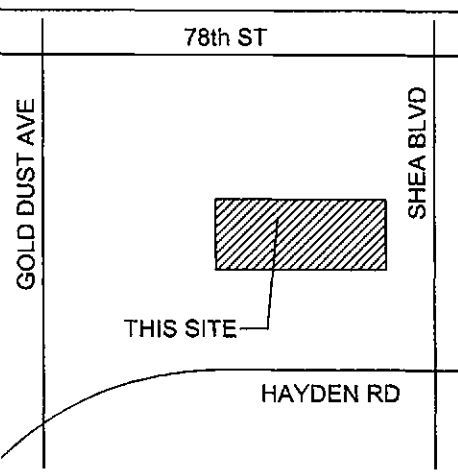
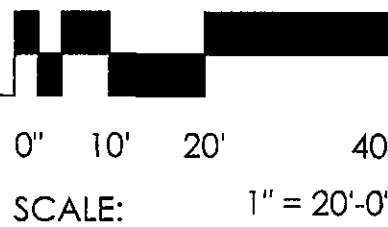
MAINTENANCE BY: CITY ☐ OWNER ☒ TOTAL ACREAGE OF LANDSCAPE AREA: \_\_\_\_\_

TOTAL SQUARE FOOTAGE OF TURF: 0 DATE OF PRELIMINARY SITE PLAN APPROVAL: \_\_\_\_\_

INVENTORY/SALVAGE PLAN APPROVAL, CITY OF SCOTTSDALE

DATE

LANDSCAPE PRELIM PLAN



VICINITY MAP

NTS  
5-UP-2016  
5/19/16

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
DATE 5-21-16 INITIALS

project: S16-110

date: 05.03.16

prelim landscape plan

L2.2

sheet 2 of 2

studio **SPRAWL**  
7633 e. acoma dr. #206  
scottsdale, arizona 85260  
480.361.9281  
www.studiosprawl.com

rev:


scottsdale bible church

7901 east shea boulevard  
scottsdale, arizona 85260



**PROJECT NOTES**

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THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION(S) OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.

THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH (INCIDENTAL OF THIS PROJECT'S WORK) AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT. ALL RUBBLE, TRASH EXCESS SOIL AND DISPOSABLE ITEMS RESULTING FROM THE DEMOLITION AND CONSTRUCTION SHALL BE DISPOSED OF IN A LEGAL, LAWFUL AND SAFE MANNER TO AN APPROVED DISPOSAL SITE. SEE DEMOLITION NOTES ON LANDSCAPE SPECIFICATION SHEET.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.

DAMAGE RESPONSIBILITY - CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED INTENTIONALLY OR ACCIDENTALLY, TO EXISTING UTILITIES, BUILDINGS OR OTHER AMENITIES DUE TO THE ACTIONS OF THE CONTRACTOR, CONTRACTORS' EMPLOYEES AND/OR CONTRACTOR'S SUBCONTRACTORS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT THE CONTRACTORS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING FROM THE OWNER.

UNAUTHORIZED CHANGES TO PLANS - THE LANDSCAPE ARCHITECT PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

TRADE COORDINATION - CONSTRUCTION AND INSTALLATION OF ALL ITEMS WITHIN THESE DOCUMENTS SHALL REQUIRE CLOSE COORDINATION BETWEEN TRADES INVOLVED IN UNDERGROUND AND UTILITY INSTALLATION AND TREE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE TO INSURE PROPER COORDINATION BETWEEN TRADES TO INSURE AND AVOID CONSTRUCTION DELAYS OR DAMAGE TO AN IMPROVEMENTS OR UTILITIES.

UNDERGROUND SERVICE ALERT - THE CONTRACTOR SHALL NOTIFY BLUESTAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT AND SHALL EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

INSPECTIONS - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE MUNICIPAL REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED MUNICIPAL INSPECTION.

THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED OR DESIRED INSPECTION (480) 361-9281

**LANDSCAPE NOTE (C.O.S)**

-Areas of decomposed granite (if your in a ELSO area, delete the "decomposed granite" and put "salvaged desert surface soil") without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.

-A minimum of 50 percentage (unless otherwise stipulated by the Development Review Board, and/or the Zoning Ordinance requirements) of the provided trees shall be mature trees, pursuant to the City of Scottsdale's Zoning Ordinance Article X, Section 10.301, as defined in the City of Scottsdale's Zoning Ordinance Article III, Section 3.100.

-A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6-inches above finished grade adjacent to the trunk. A tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 12-inches above finished grade adjacent to the trunk. A multiple trunk tree's caliper size is measured at 8" above the location that the trunk splits originates, or 6" above finished grade if all trunks originate from the soil.

-Area within the sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the sight triangle shall have a single trunk and a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street line elevation.

-No turf areas are to be provided.

-Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.

-All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.

-Prior to the establishment of water service, non-residential projects with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with Sections 49-245 through 49-248 of the City Code to the Water Conservation Office.

-Turf shall be limited to the maximum area specified in Sections 49-245 through 49-248 of the City Code and shall be shown on landscape plans submitted at the time of final plans.

-No lighting is approved with the submittal.

-The approval of these plans recognize the construction of a low voltage system and does not authorize any violation of the current City of Scottsdale adopted electrical code.

-The landscape specification section(s) of these plans have not reviewed and shall not be part of the City of Scottsdale's Approval.

-All signs require separate permits and approvals.

-New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the Certificate of Occupancy / Letter of Acceptance to the satisfaction of the Inspection Services Staff.

-All revegetated NAOS shall be watered for 3 years. At the end of 3 years, the irrigation systems to the revegetated NAOS shall be permanently disconnected.

-No irrigation shall be provided to undisturbed Natural Area Open Space (NAOS) areas.

-Provide the Natural Area Open Space (NAOS) and Limits of Construction (LOC) Protection Program on the Plans

**PLANT LEGEND**

(ALL PLANTS ARE ON THE ADWR PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST)  
SITE IS NOT WITHIN THE ESL OVERLAY AREA

**TREES**

FRAXINUS VELUTINA 'RIO GRANDE'	1.5" CAL./24"BOX/10
FAN-TEX ASH	1.5" CAL./24"BOX/ 24
CERCIDIMUM HYBRID 'AZT'	1.5" CAL./ 24"BOX/6
CAESALPINIA CACALACO	
CASCALOTE TREE/MULTI	

**SHRUBS**

CAESALPINIA SPP.	5 GAL./2
BIRD OF PARADISE	5 GAL./36
CALLIANDRA RIOPHYLLA	5 GAL./2
PINK FAIRY DUSTER	5 GAL./27
BOUGAINVILLEA- TORCH GLOW	5 GAL./6
TORCH GLOW BOUGAINVILLEA	5 GAL./3
EREMOPHYLLA "VALENTINE"	5 GAL./70
VALENTINE EMU BUSH	1 GAL./25
JUSTICIA SPICIGERA	5 GAL./5
MEXICAN HONEYSUCKLE	5 GAL./2
LARREA TRIDENTATA	5 GAL./70
CREOSOTE BUSH	1 GAL./25
RUPELLIA BRITTONIANA 'KATIE'	5 GAL./5
KATIE'S RUPELLIA	15 GAL./2
PENSTEMON PARRYI	5 GAL./2
PARRY'S PENSTEMON	5 GAL./14
TECOMA STANS	5 GAL./3
ARIZONA YELLOW BELLS	
SOPHORA SECUNDIFLORA	
TEXAS MOUNTAIN LAUREL	
PEDILANTHIS MACROCARPUS	
SLEPPER FLOWER	
LEUCOPHYLLUM FRUTESCENS	
TEXAS RANGER	
SIMMONDIA CHINENSIS	
JOJOBA	

**GROUND COVERS/VINES**

LANTANA 'NEW GOLD'	1 GAL./51
NEW GOLD LANTANA	
WEDELIA TRILOBATA	1 GAL./15
YELLOW DOT	
VERBENA PERUVIAN	1 GAL./10
PERUVIAN VERBENA	
LANTANA M.	1 GAL./24
TRAILING LANTANA- PURPLE	
ROSMARINUS O. PROSTRATUS	1 GAL./4
CREeping ROSMARY	
CONVOLVULUS CNEORUM	1 GAL./58
BUSH MORNING GLORY	

**ACCENTS**

MUHLBERGIA CAPILLARIS	5 GAL./55
REGAL MIST GRASS	
FOUQUIERA SPLENDENS	8' TALL./2
OCOTILLO	
HESPERALOE PARVIFLORA	5 GAL./88
RED YUCCA	
AGAVE DESMETTIANA	5 GAL./6
SMOOTH AGAVE	
ECHINOCACTUS GRUSONII	5 GAL./3
GOLDEN BARREL CACTUS	

**MATERIALS**

"NATIVE SURFACE SELECT	SIZE/QTY
GRANITE BOULDERS 3'X3' /	10
NOTE: NO BOULDERS IN R.O.W.	
DECOMPOSED GRANITE IN ALL	
NON-TURF AREAS(MATCH EXISTING)	

Two working days before you dig,  
CALL FOR THE BLUE STAKES  
**1-800 STAKE IT**  
Blue Stake Center  
CALL COLLECT

LANDSCAPE ARCHITECT, CITY OF SCOTTSDALE

DATE

ESTIMATED R.O.W. COST: \$0

ESTIMATED S.F. L/S IN R.O.W. 0

MAINTENANCE BY: CITY ☐ OWNER ☒

TOTAL ACREAGE OF LANDSCAPE AREA:

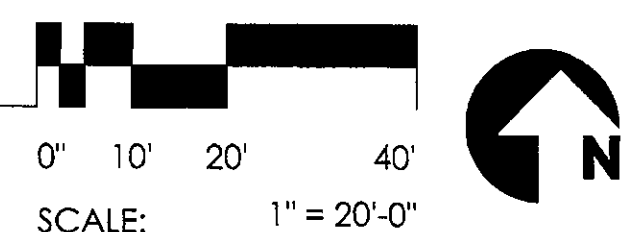
TOTAL SQUARE FOOTAGE OF TURF: 0

DATE OF PRELIMINARY SITE PLAN APPROVAL:

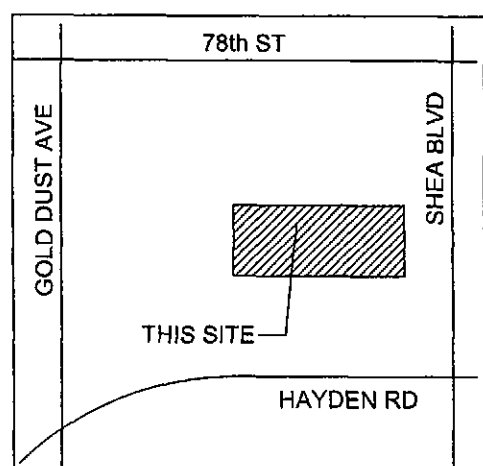
INVENTORY/SALVAGE PLAN APPROVAL, CITY OF SCOTTSDALE

DATE

**LANDSCAPE PRELIM PLAN**



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APPROVED  
11-21-11  
DATE INITIALS



VICINITY MAP

5-UP-2016  
5/19/16



rev:	

scottsdale bible church  
7901 east shea boulevard  
scottsdale, arizona 85260

project: S16-110  
date: 05.03.16  
prelim landscape plan

L1.2  
sheet 1 of 2



PROJECT DATA

PROJECT CONTACTS: OWNER  
SCOTTSDALE BIBLE CHURCH  
7601 E. Shea Blvd.  
Scottsdale, AZ 85260

ARCHITECT  
CCBG ARCHITECTS  
102 E. Buchanan St.  
Phoenix, AZ 85004  
602.258.2211  
CONTACT: Paul Ladensack

PROJECT ADDRESS: 7901 E. Shea Blvd.  
Scottsdale, AZ 85260

ZONING & APN: 175-47-008 (R1-35) & FOOTHILLS OVERLAY

SETBACKS: 175-47-008  
SHEA BLVD: 40'-0" SETBACK  
SIDE YARD (EAST): 15'-0" SETBACK  
SIDE YARD (WEST): 15'-0" SETBACK  
REAR YARD: 35'-0" SETBACK

\* SETBACKS & BUILDING HEIGHT IN COMPLIANCE WITH ZONING ORDINANCE:

R1-35 PROPERTY DEVELOPMENT STANDARDS SEC. 5.204 &  
FOOTHILLS OVERLAY PROPERTY DEVELOPMENT STANDARDS SEC. 6.1004.

CCBG

Architects, Inc.  
PHOENIX SAN DIEGO  
102 E BUCHANAN PHOENIX, AZ 85004  
P.602.258.2211 F.602.255.0909



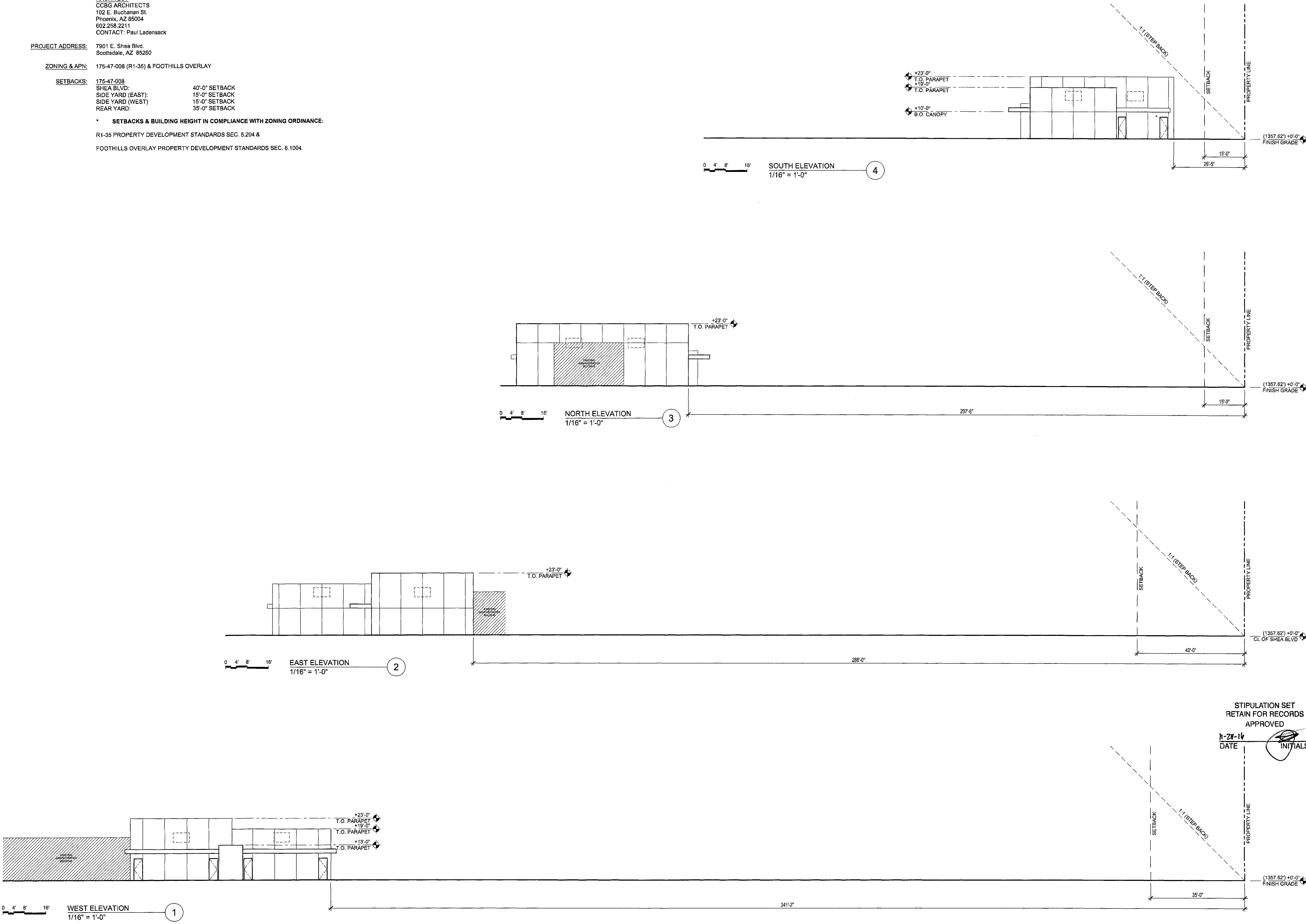
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PHOENIX SEMINARY  
7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

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Checked	PL
Job Number	1605
Drawing	ELEVATION WORKSHEET
Sheet	

A3.6

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5-UP-2016  
5/19/16



PROJECT DATA

PROJECT CONTACTS: OWNER  
SCOTTSDALE BIBLE CHURCH  
7601 E. Shea Blvd.  
Scottsdale, AZ 85260

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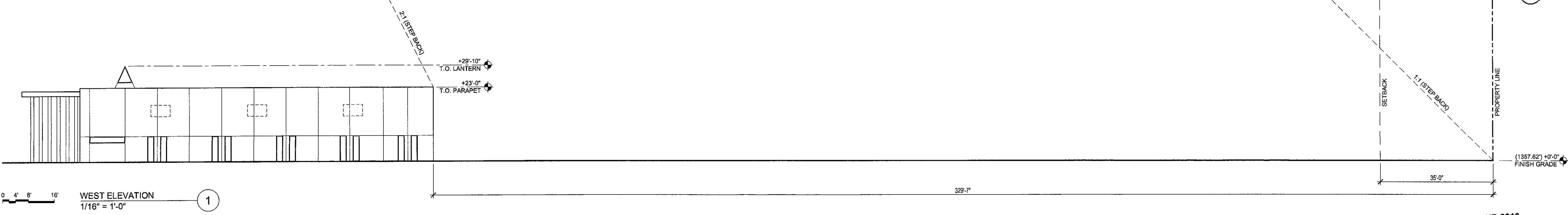
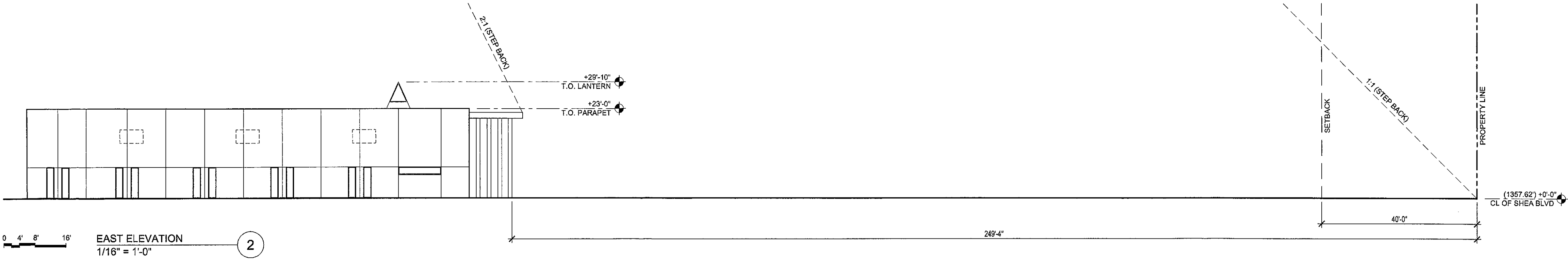
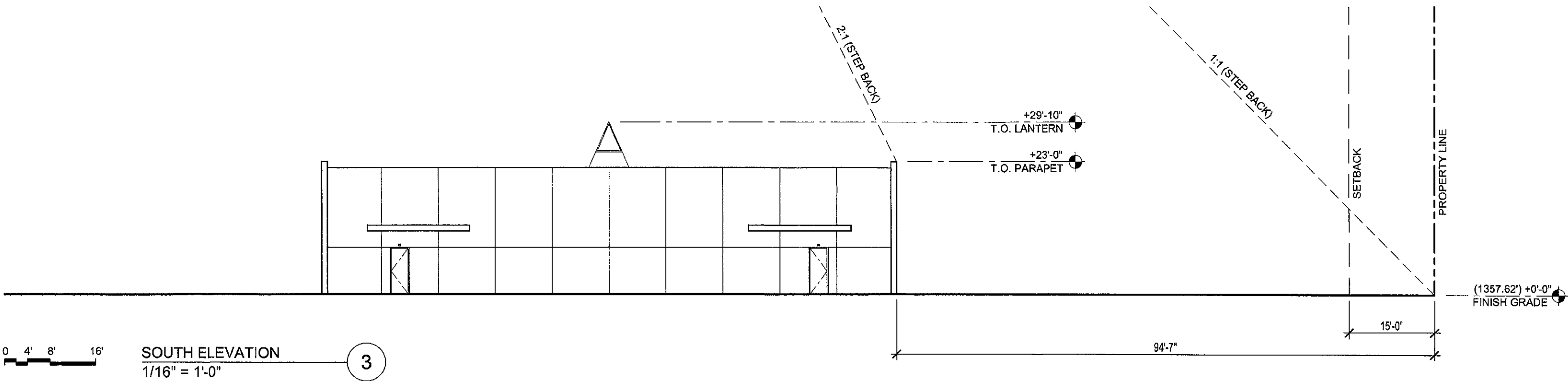
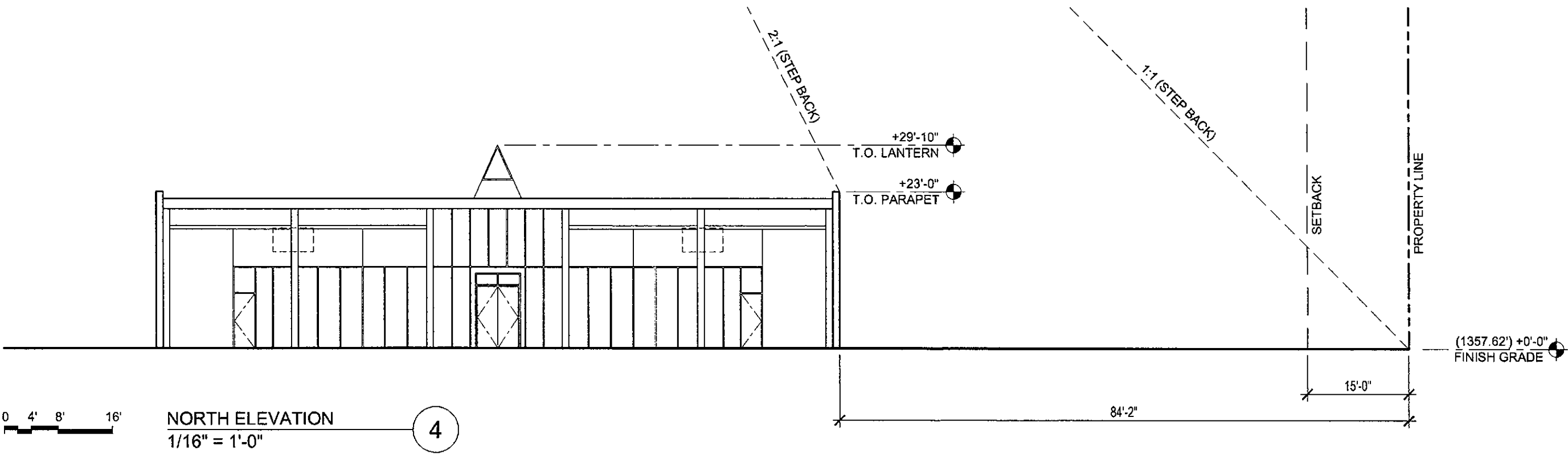
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PHOENIX SAN DIEGO

102 E BUCHANAN PHOENIX, AZ 85004

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A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

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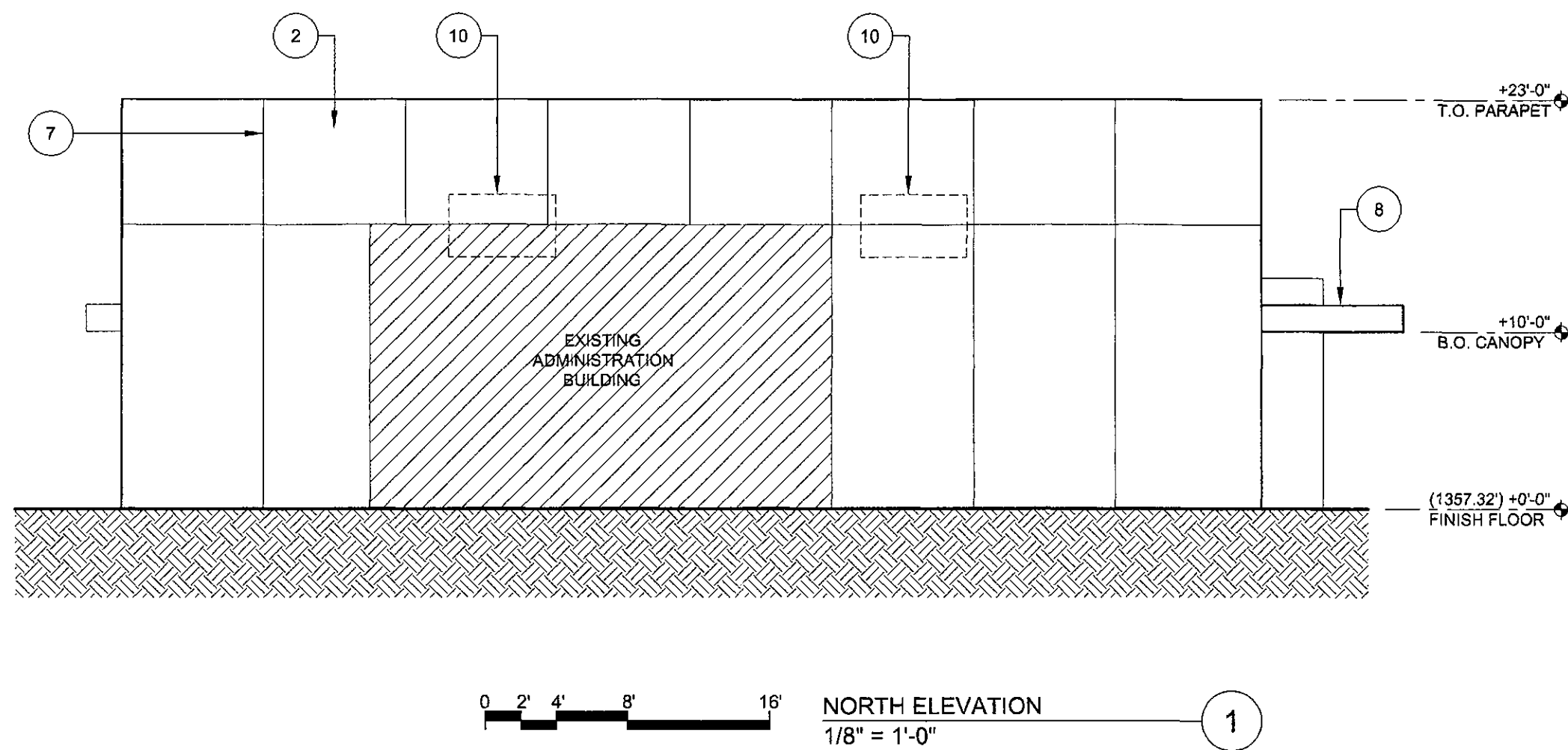
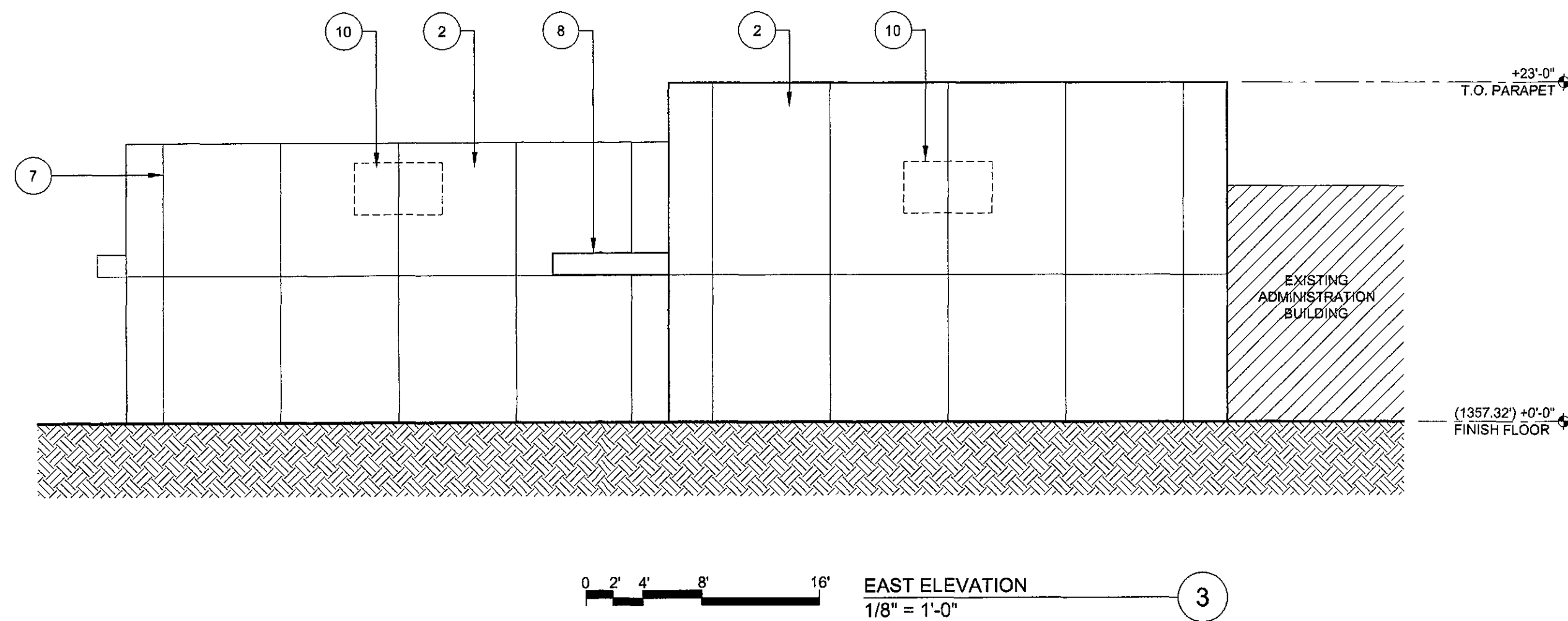
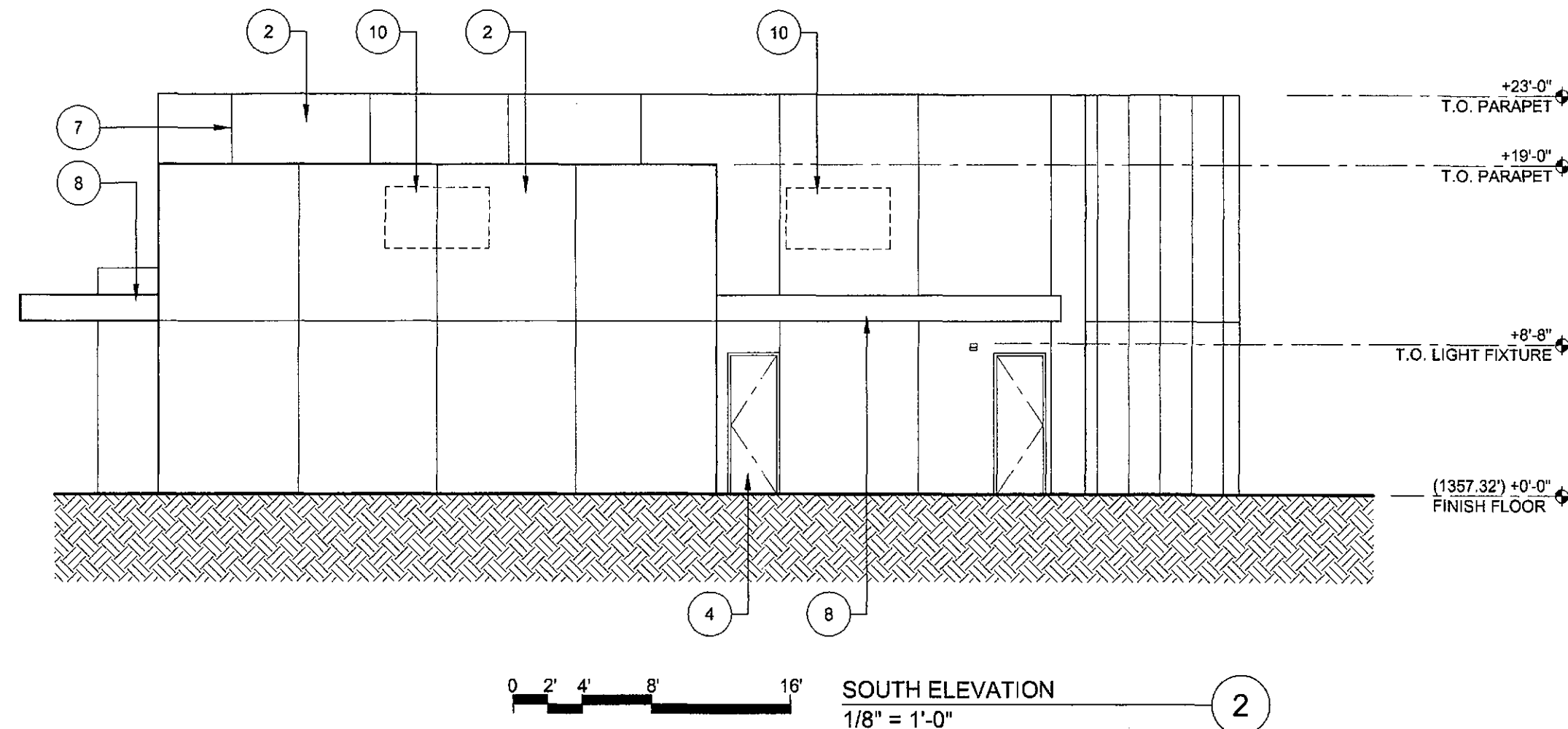
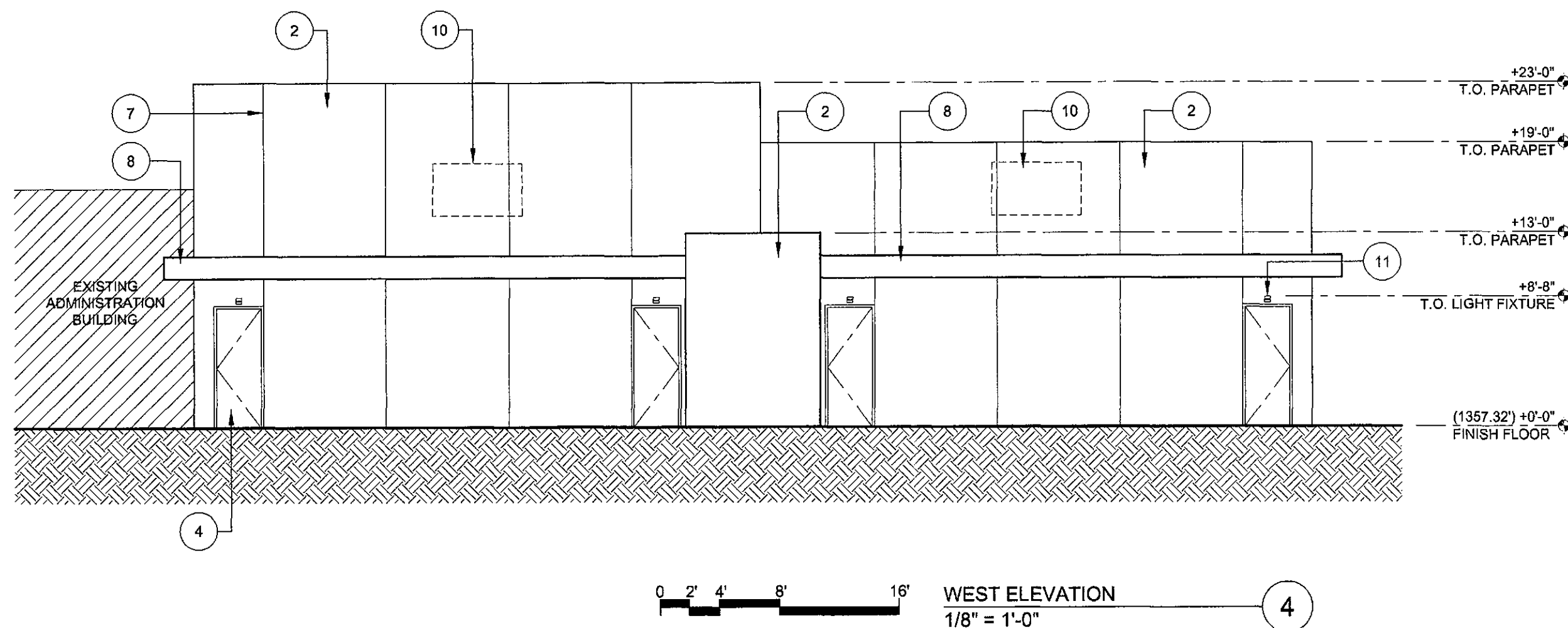
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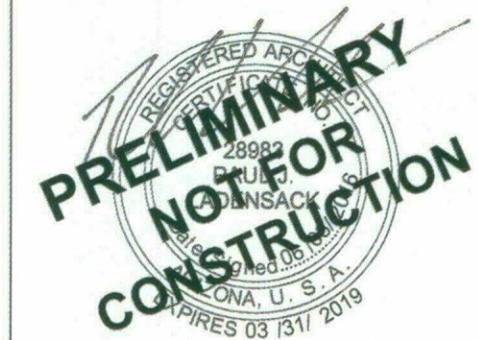
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## 00 KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT BARREL STOVE DE6216 LRV 21 (DUNN EDWARDS)
2. PAINTED STUCCO - SAND FINISH, BASE LIGHT PRACTICAL TAN DE6115 LRV 68 PAREX (DUNN EDWARDS)
3. ALUMINUM STOREFRONT DOOR, LYNX DE6035 LRV 8 (DUNN EDWARDS)
4. HM DOOR TYP.
5. WOODEN DOOR - AMERICAN MAHOGANY [AML] LAMINATE FINISH (OFFICES TO GO)
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8. PAINTED STEEL - LYNX DE6035 LRV 8 (DUNN EDWARDS)
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10. MECHANICAL UNIT MOUNTED ON ROOF
11. WALL MOUNTED DOWN-LIGHT FIXTURE (303-W1-LED81)

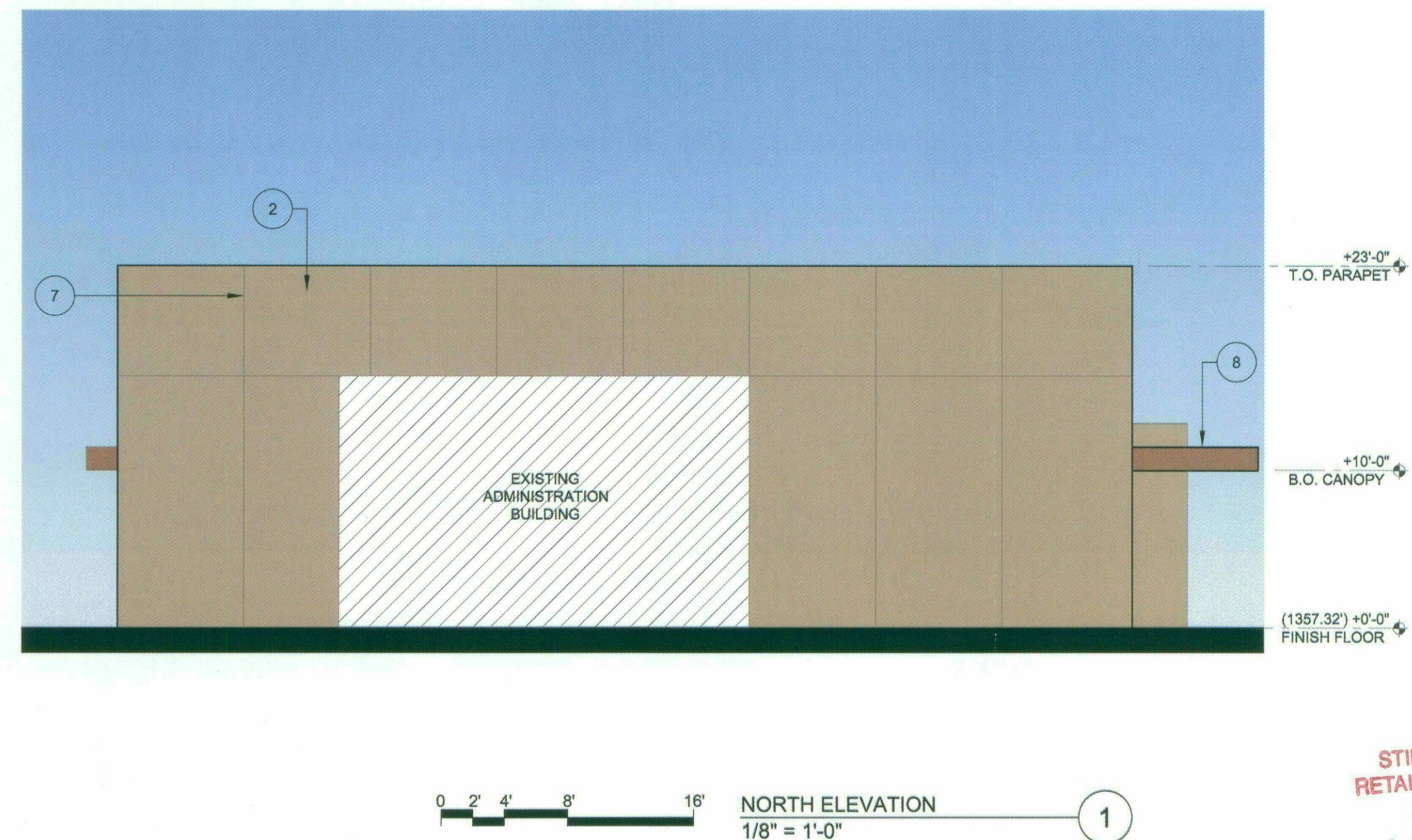
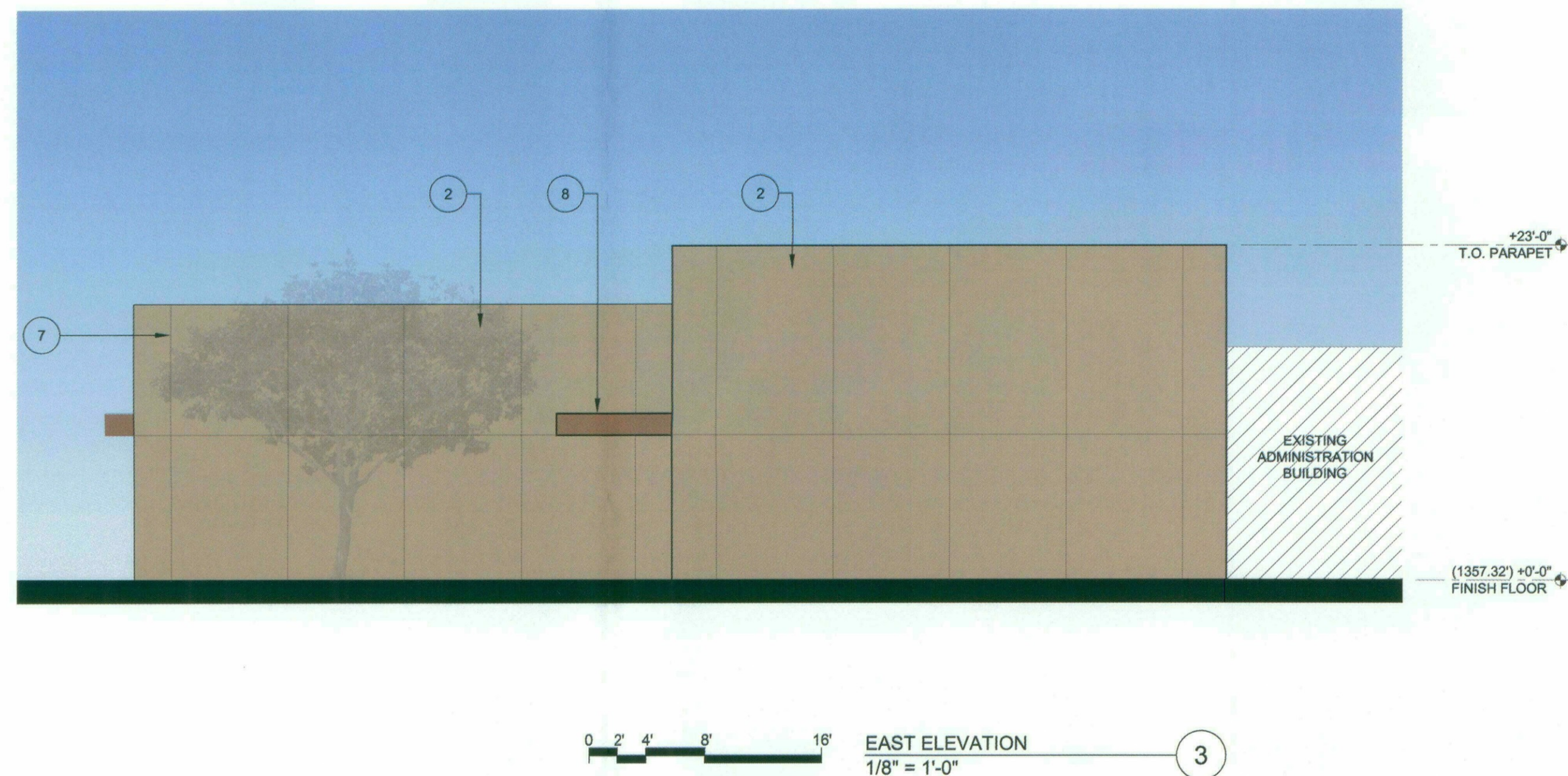
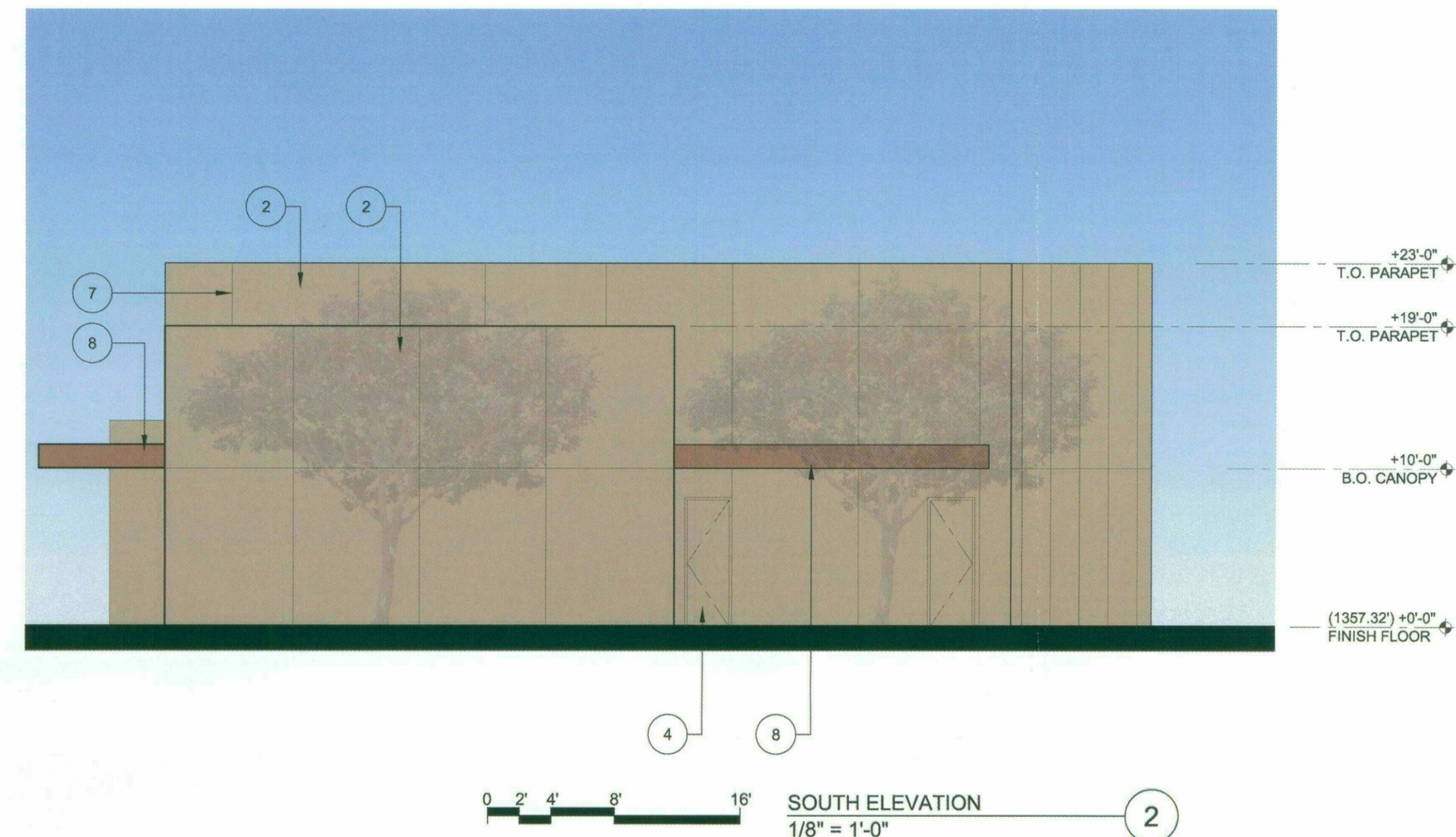
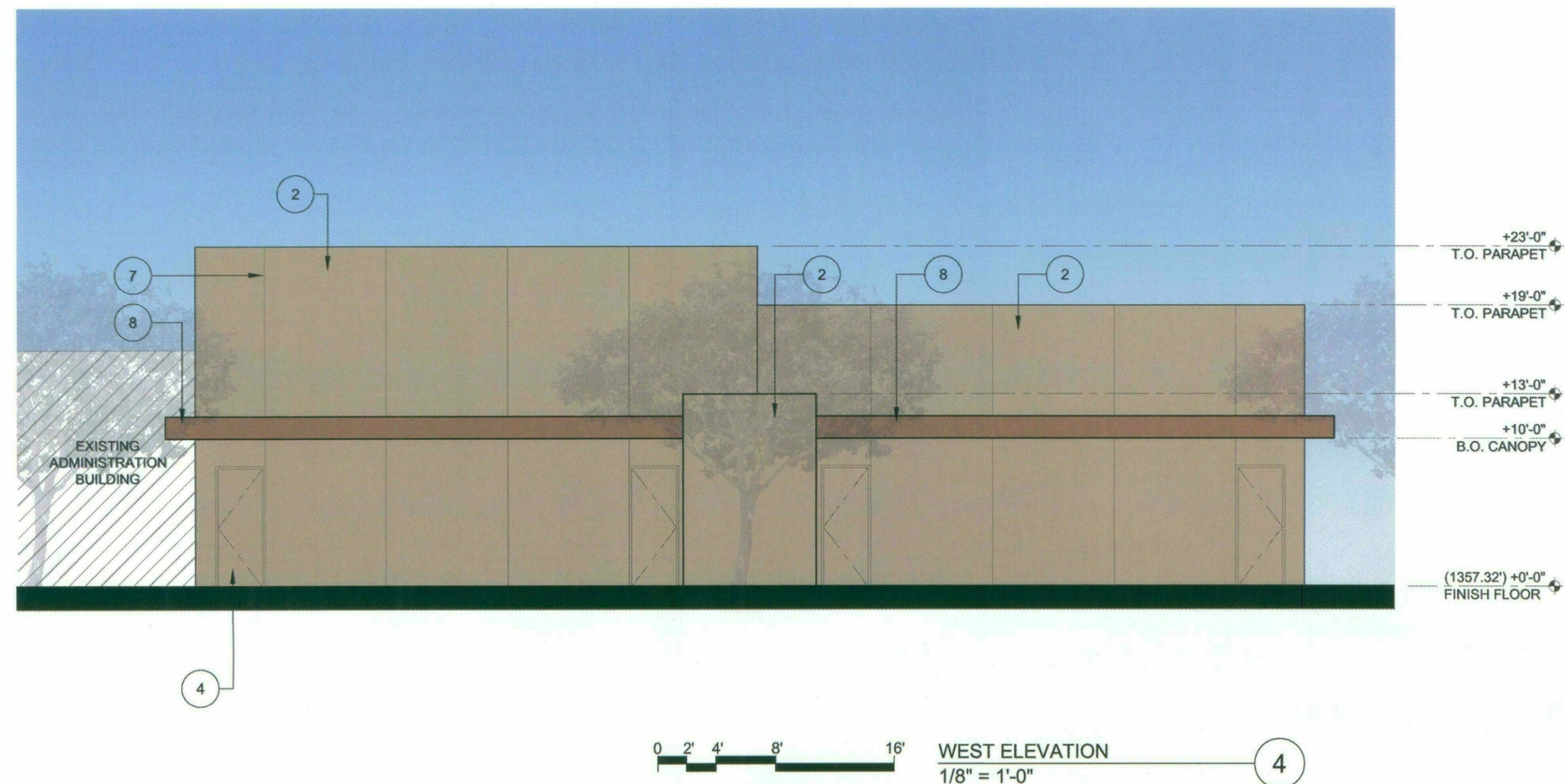
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5/19/16





## 00 KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT BARREL STOVE DE6216 LRV 21 PAREX (DUNN EDWARDS)
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A REMODEL AND ADDITION FOR  
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7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

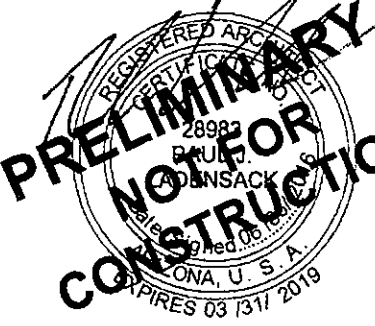
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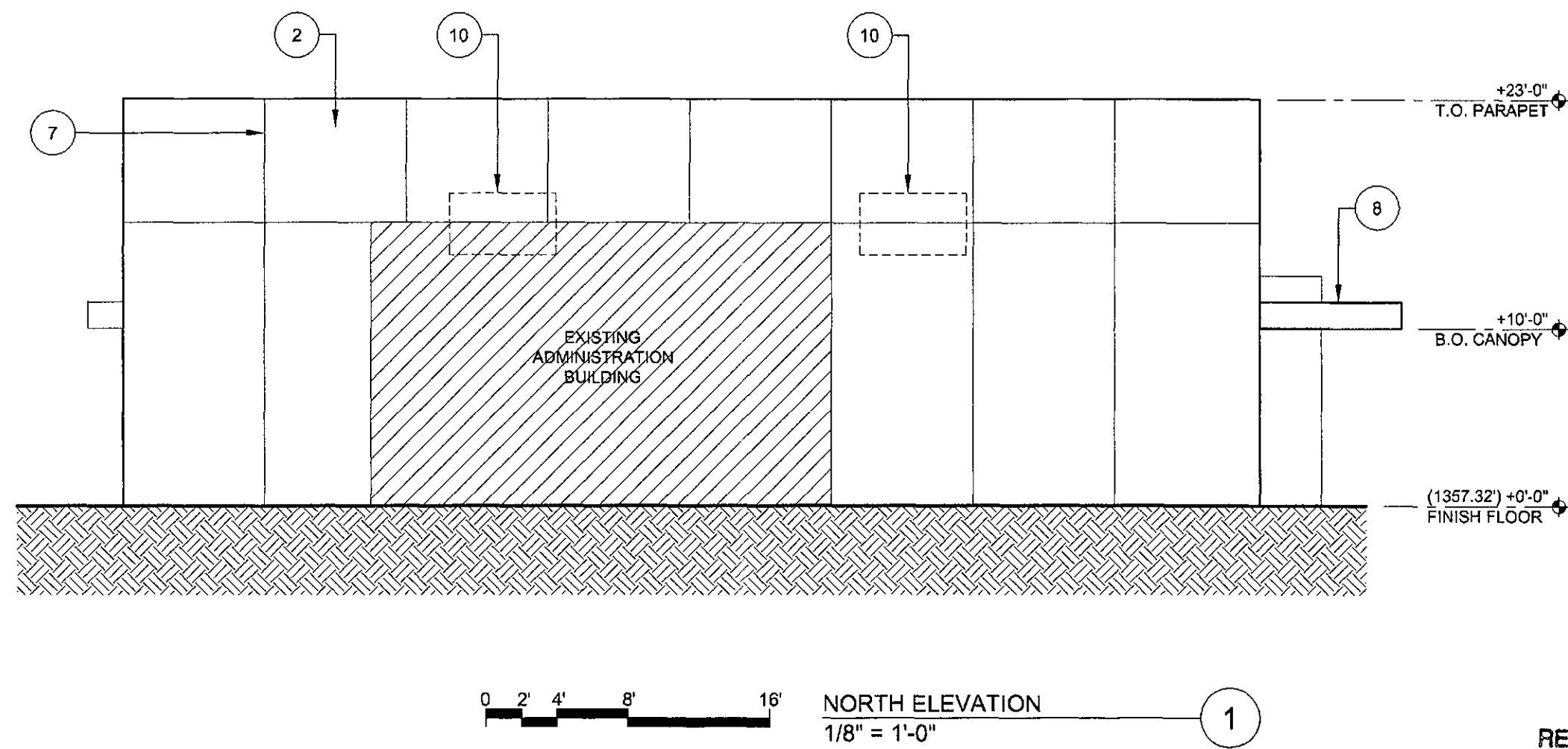
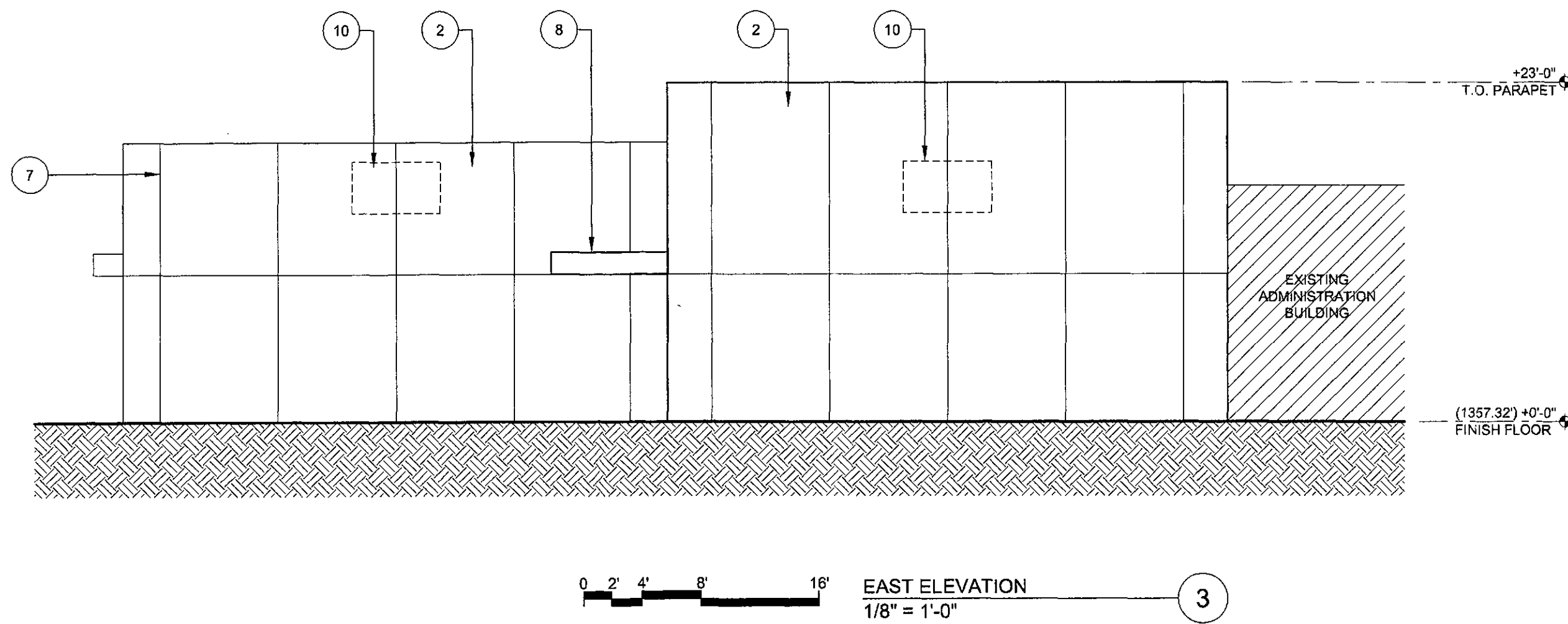
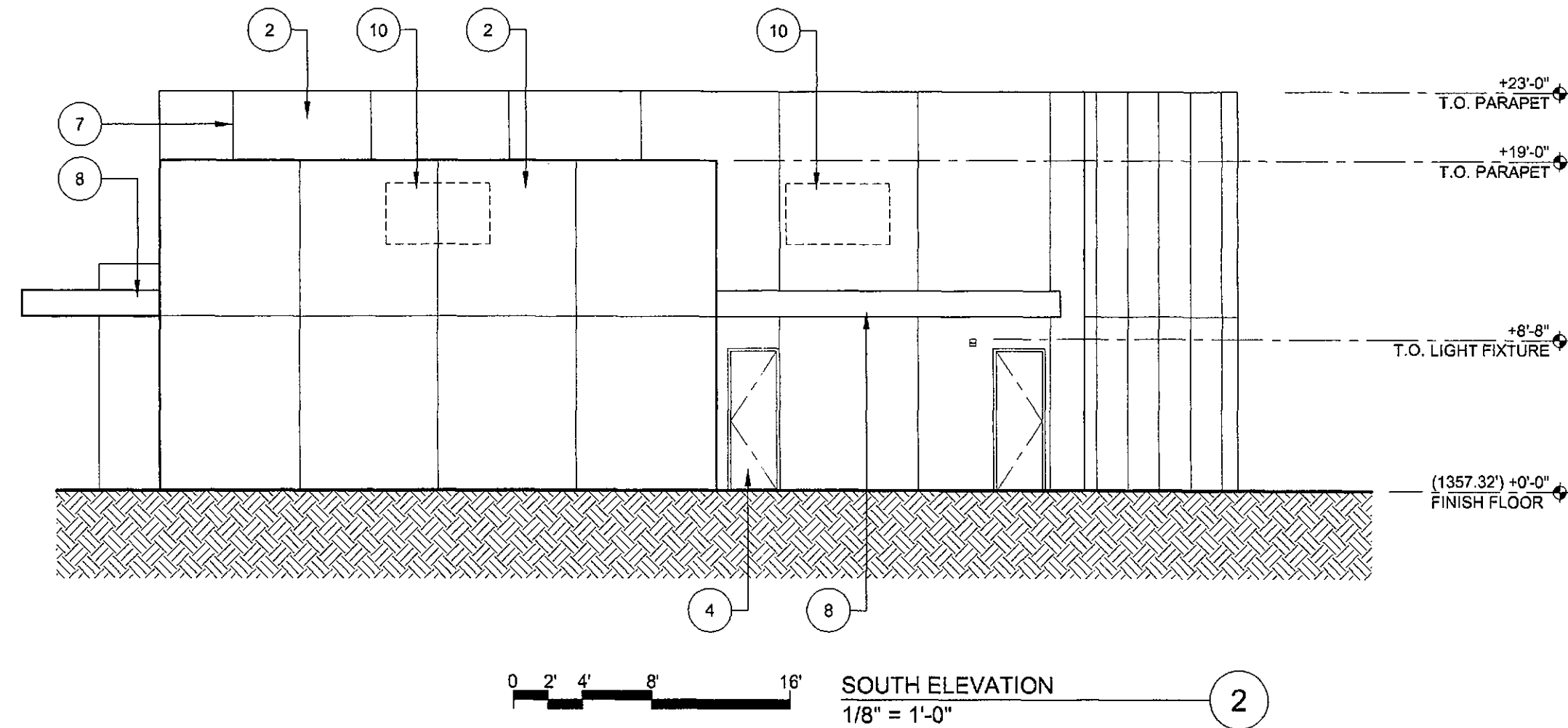
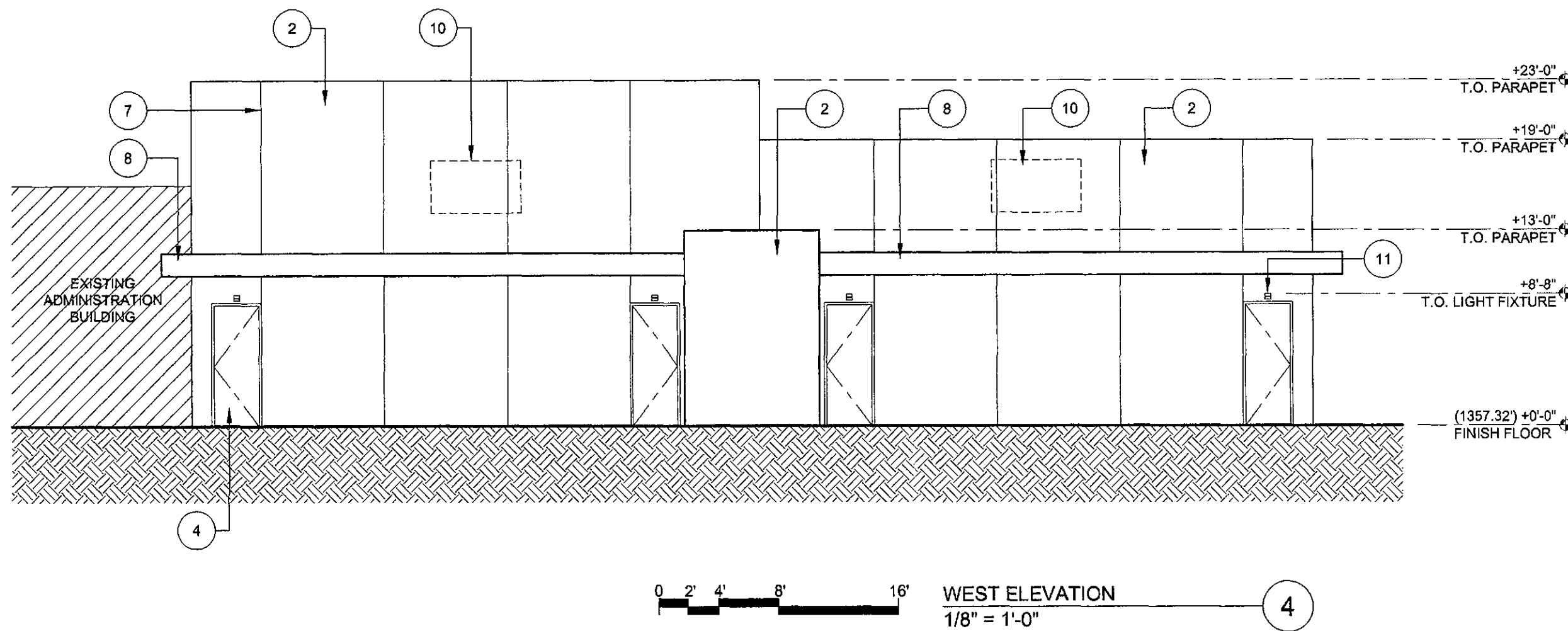
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## 00 KEY NOTES

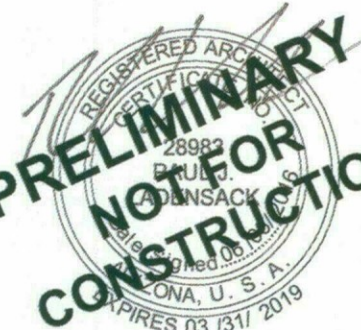
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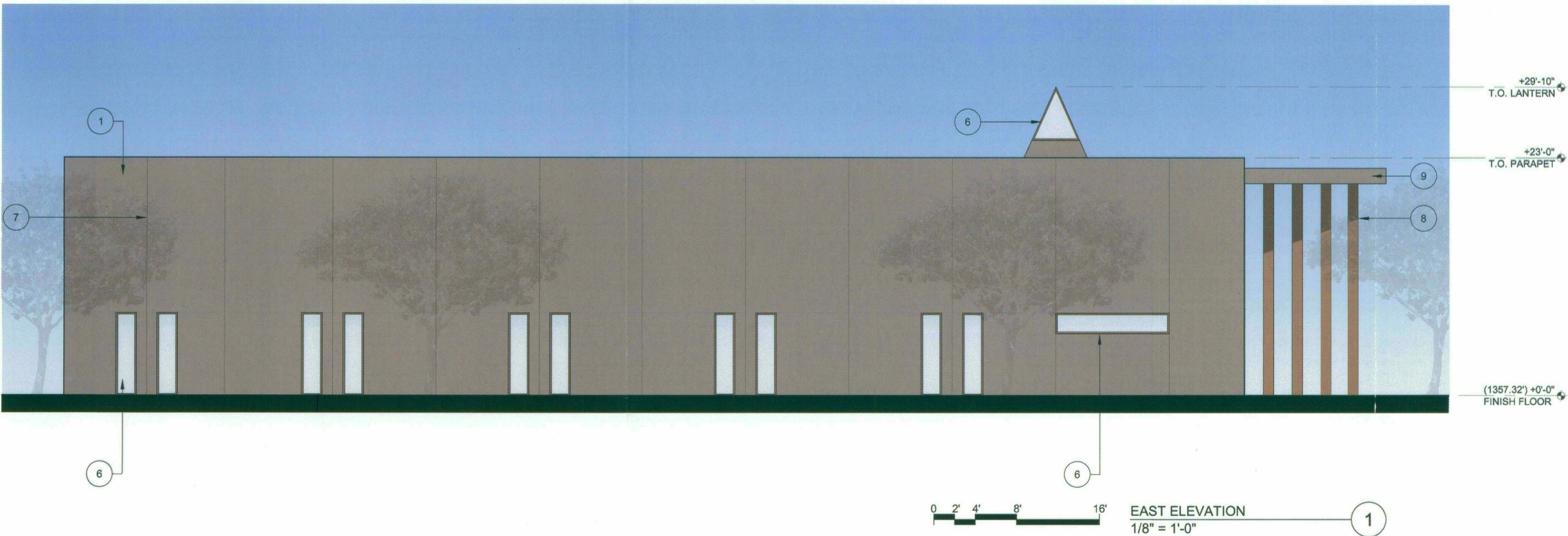
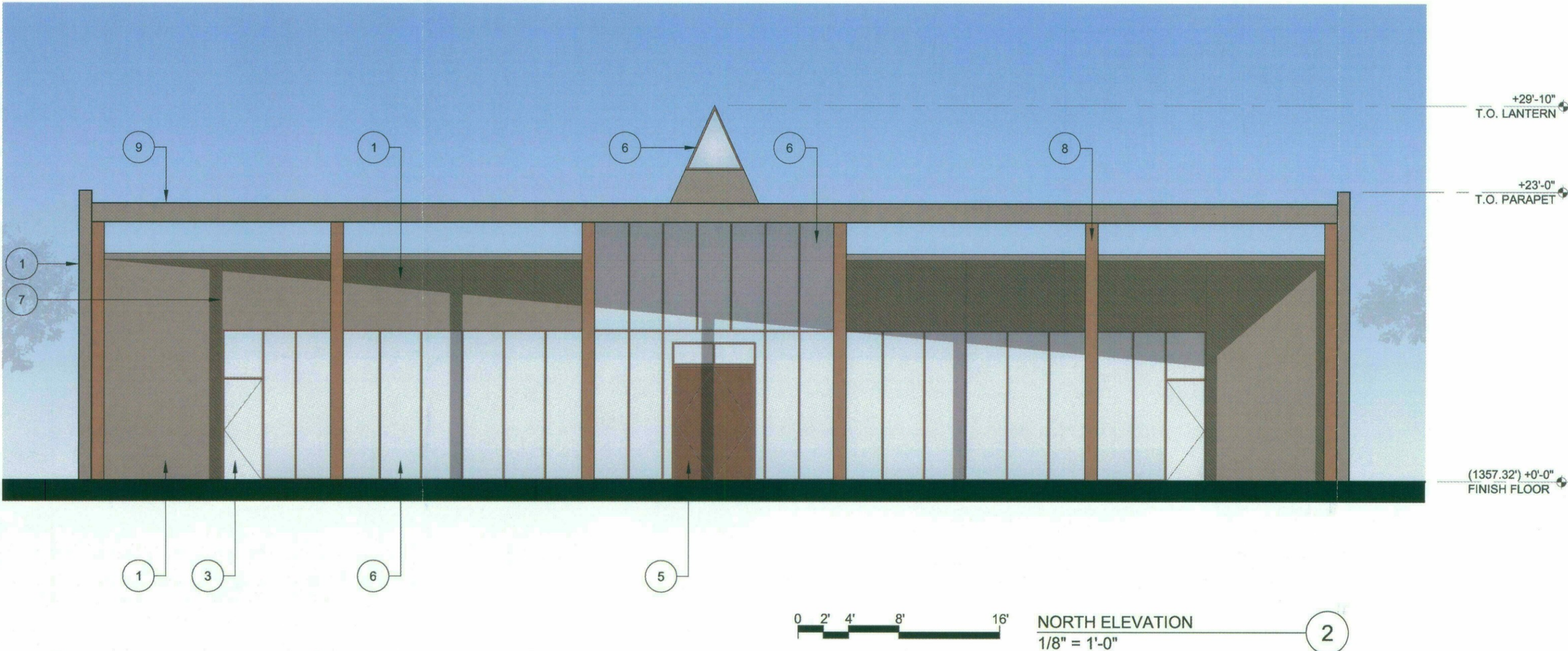
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5/19/16





## 00 KEY NOTES

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7901 E SHEA BLVD  
SCOTTSDALE, AZ 85260

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Job Number	1605
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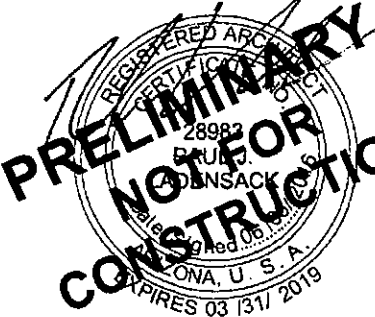
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SCOTTSDALE, AZ 85260

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1605

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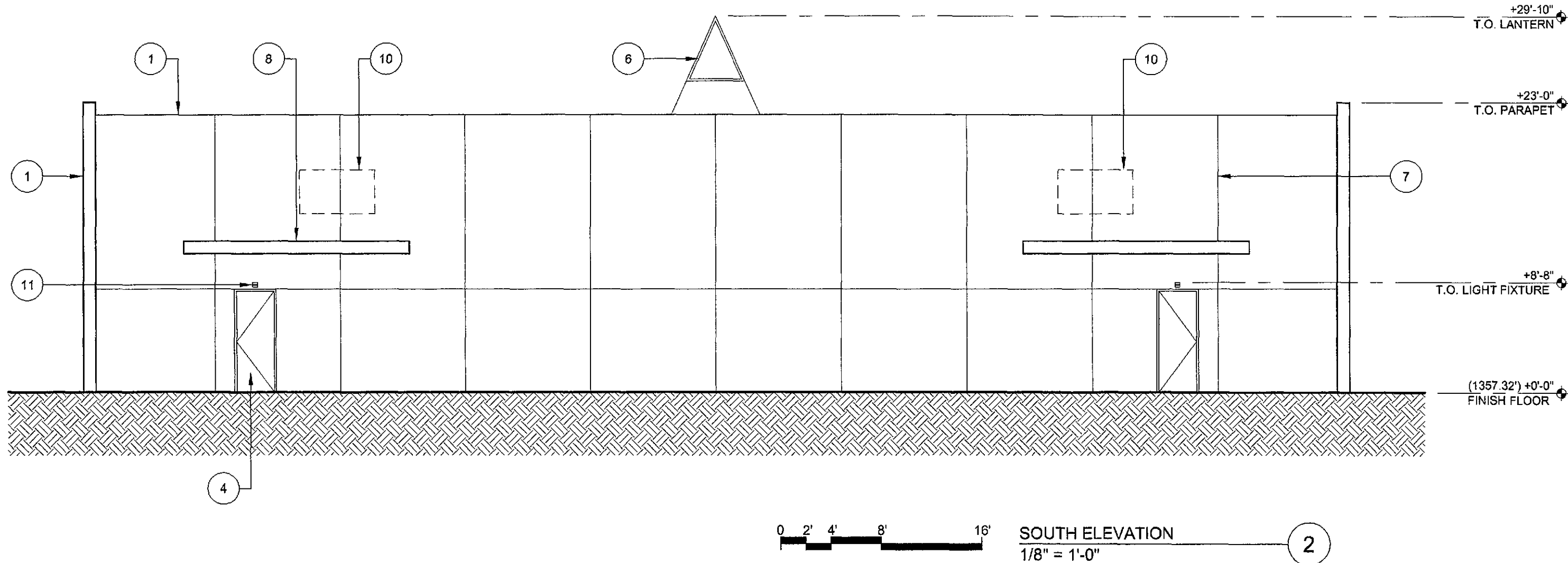
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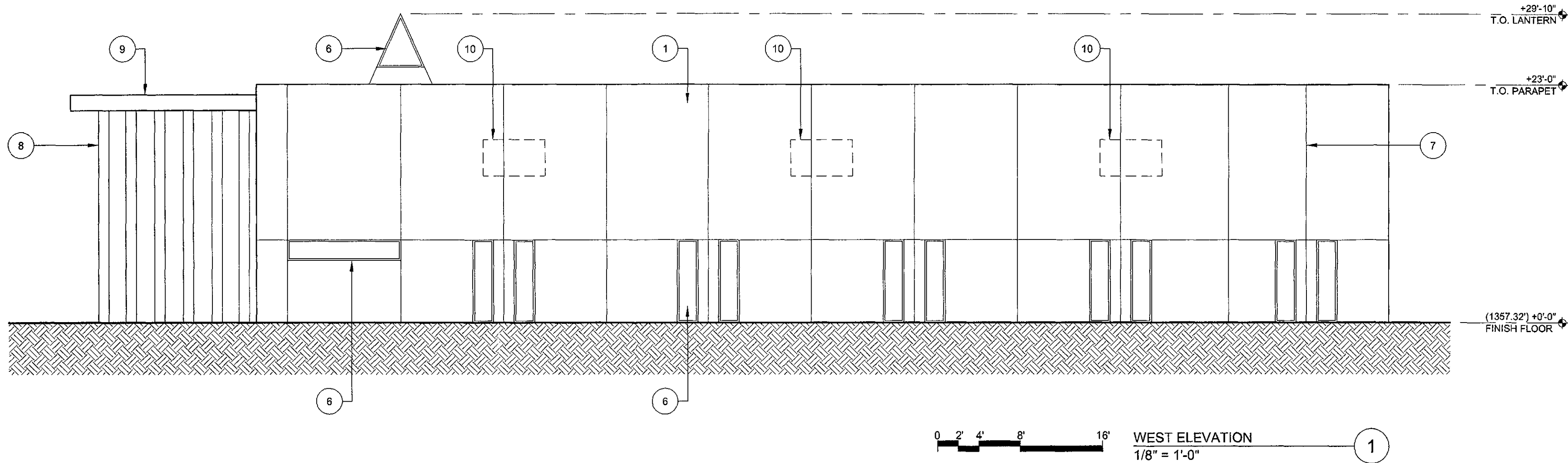
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## 00 KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT BARREL STOVE DE6216 LRV 21 PAREX (DUNN EDWARDS)
2. PAINTED STUCCO - SAND FINISH, BASE LIGHT PRACTICAL TAN DE6115 LRV 68 PAREX (DUNN EDWARDS)
3. ALUMINUM STOREFRONT DOOR, LYNX DE6035 LRV 8 (DUNN EDWARDS)
4. HM DOOR TYP.
5. WOODEN DOOR - AMERICAN MAHOGANY [AML] LAMINATE FINISH (OFFICES TO GO)
6. ALUMINUM STOREFRONT TYP. WITH ALUMINUM FRAME, LYNX DE6035 LRV 8 (DUNN EDWARDS)
7. CONTROL JOINT
8. PAINTED STEEL - LYNX DE6035 LRV 8 (DUNN EDWARDS)
9. PAINTED STEEL - PRACTICAL TAN DE6115 LRV 68 PAREX (DUNN EDWARDS)
10. MECHANICAL UNIT MOUNTED ON ROOF
11. WALL MOUNTED DOWN-LIGHT FIXTURE (303-W1-LED81)

SOUTH ELEVATION  
1/8" = 1'-0"

2

WEST ELEVATION  
1/8" = 1'-0"

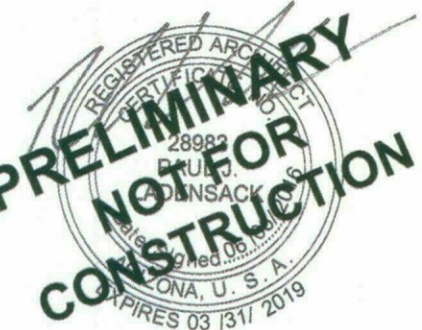
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RETAIN FOR RECORDS  
APPROVED

DATE 11-28-16 INITIALS

5-UP-2016  
5/19/16

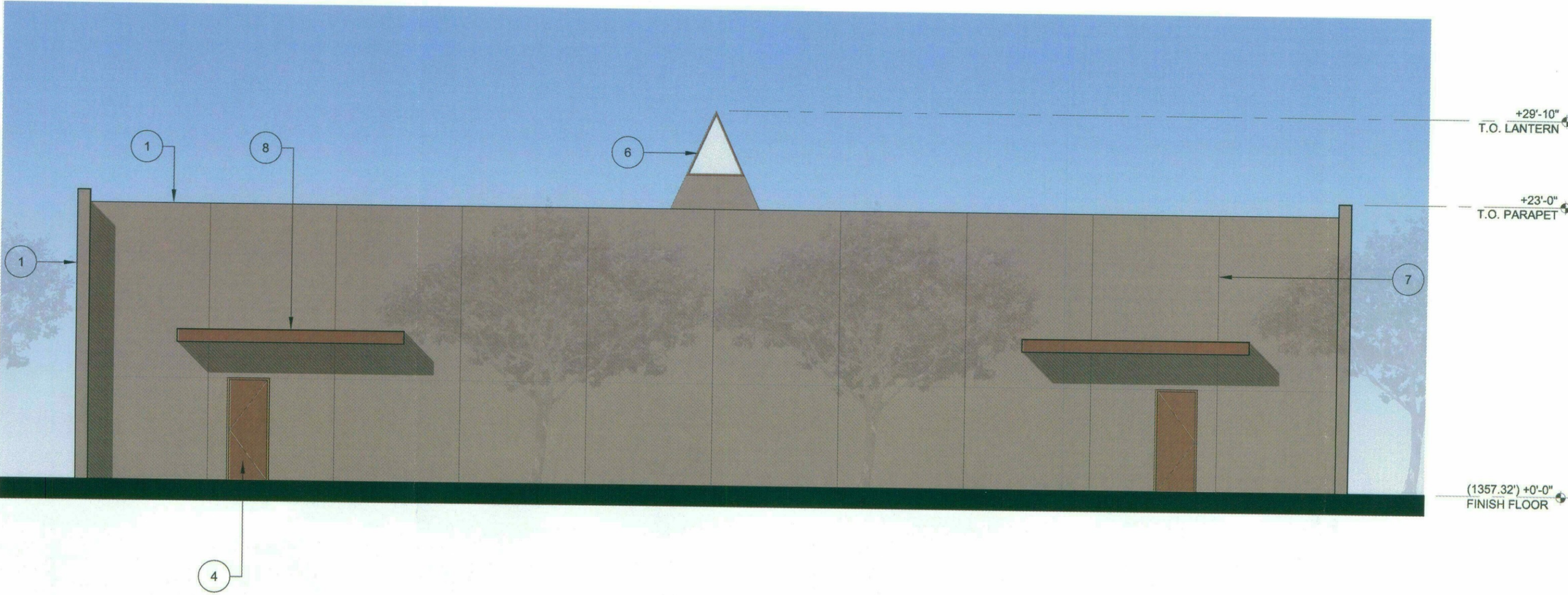




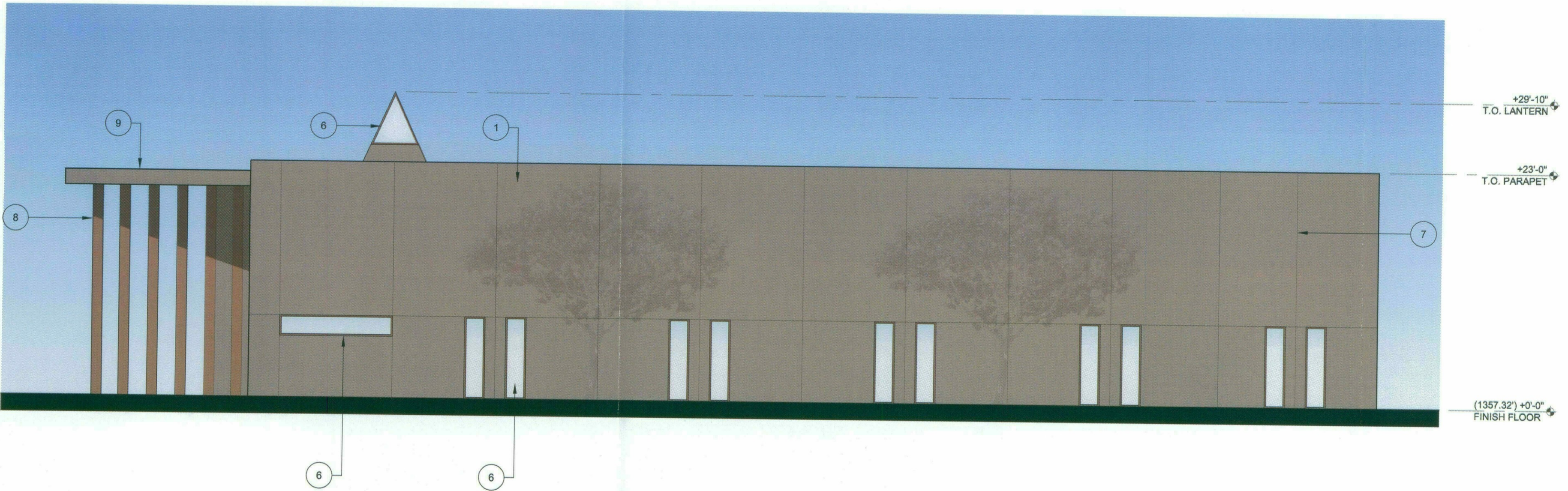
A NEW LIBRARY FOR  
PHOENIX SEMINARY  
PHASE 1  
7901 E SHEA BLVD  
SCOTTSDALE, AZ 85260

00 KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT BARREL STOVE DE6216 LRV 21 PAREX (DUNN EDWARDS)
2. PAINTED STUCCO - SAND FINISH, BASE LIGHT PRACTICAL TAN DE6115 LRV 58 PAREX (DUNN EDWARDS)
3. ALUMINUM STOREFRONT DOOR, LYNX DE6035 LRV 8 (DUNN EDWARDS)
4. HM DOOR TYP.
5. WOODEN DOOR - AMERICAN MAHOGANY (AML) LAMINATE FINISH (OFFICES TO GO)
6. ALUMINUM STOREFRONT TYP. WITH ALUMINUM FRAME, LYNX DE6035 LRV 8 (DUNN EDWARDS)
7. CONTROL JOINT
8. PAINTED STEEL - LYNX DE6035 LRV 8 (DUNN EDWARDS)
9. PAINTED STEEL - PRACTICAL TAN DE6115 LRV 58 PAREX (DUNN EDWARDS)



0 2' 4' 8' 16' SOUTH ELEVATION  
1/8" = 1'-0" 2



0 2' 4' 8' 16' WEST ELEVATION  
1/8" = 1'-0" 1

ISSUE		
DATE	REV	FOR
5.1.16		

Drawn	RL
Checked	PJL
Job Number	1605
Drawing	LIBRARY ELEVATIONS
Sheet	

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11-28-16  
DATE INITIALS

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A NEW LIBRARY FOR  
PHOENIX SEMINARY  
PHASE 1  
7901 E SHEA BLVD  
SCOTTSDALE, AZ 85260

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1605

Drawing

LIBRARY

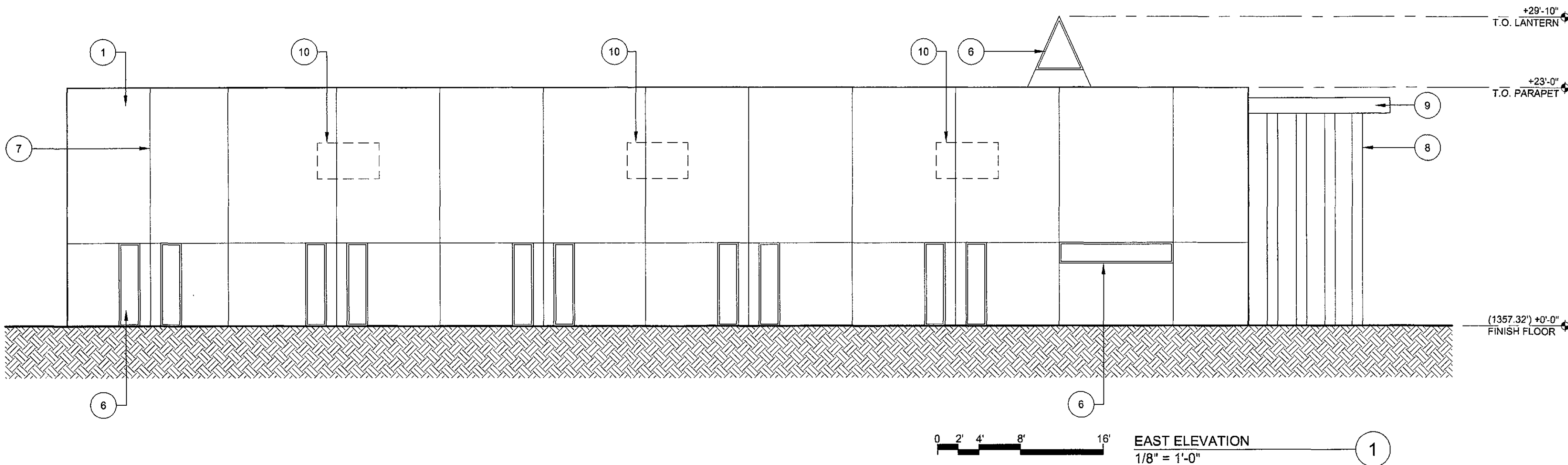
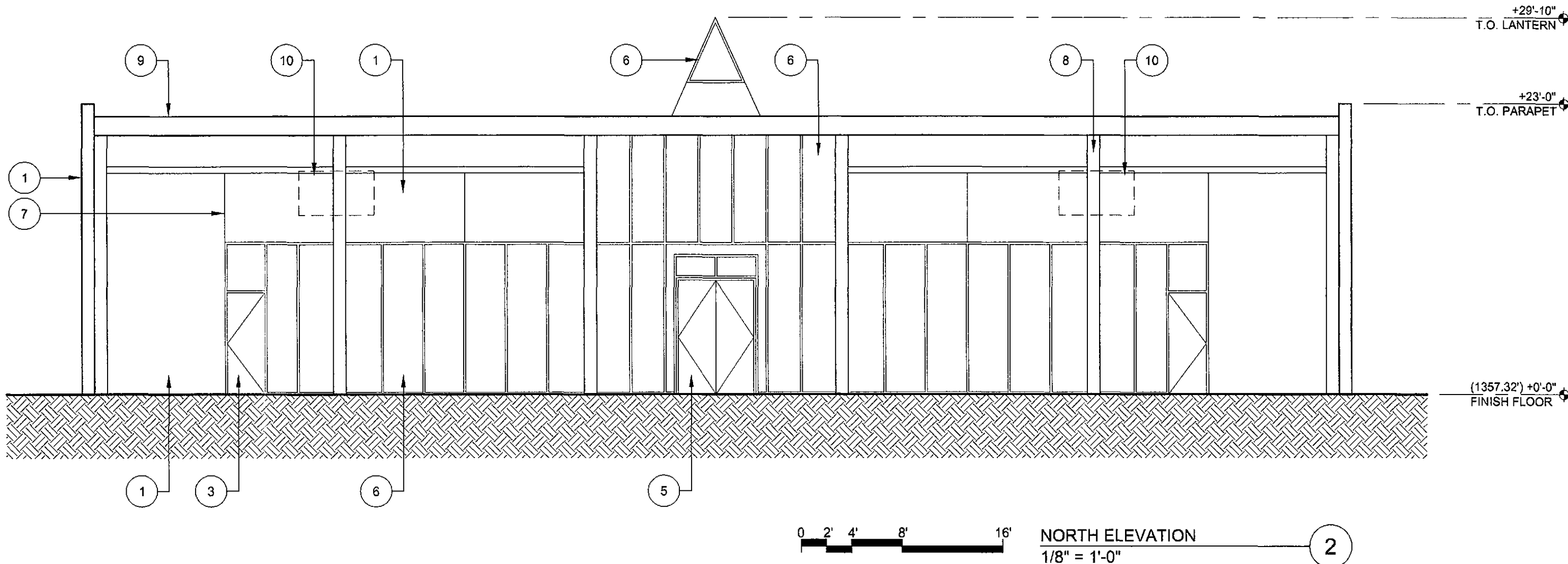
ELEVATIONS

Sheet

A3.1

## 00 KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT BARREL STOVE DE6216 LRV 21 PAREX (DUNN EDWARDS)
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10. MECHANICAL UNIT MOUNTED ON ROOF
11. WALL MOUNTED DOWN-LIGHT FIXTURE (303-W1-LED81)



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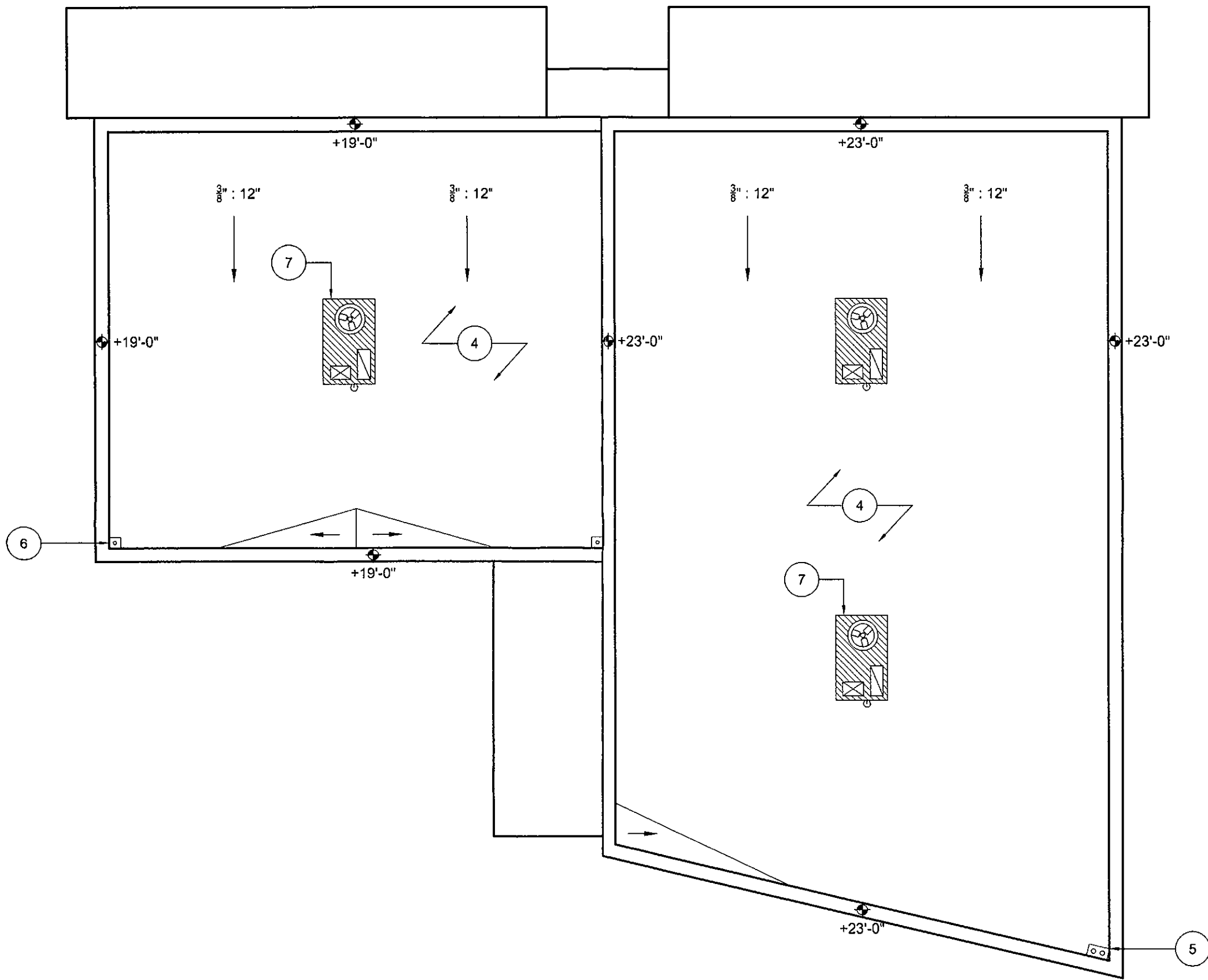


GENERAL NOTES

- PERFORM AN INSPECTION ON EXISTING ADMINISTRATION BUILDING ROOF TO VERIFY CONDITION AND IF ANY REPAIRS SHOULD BE MADE.
- TOTAL ROOF AREA OF NEW LIBRARY: 11,983.63 SF
- TOTAL ROOF AREA OF NEW CLASSROOMS: 4,149.73 SF

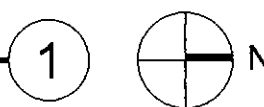
KEY NOTES

- LANERN SKYLIGHT
- ROOF ACCESS HATCH, DTL 1&2 /A7.1
- CRICKET, SLOPE  $\frac{3}{8}$ " / 12"
- COATED FOAM ROOF
- 4" DIA ROOF DRAIN, DTL 4/A7.1
- 3" DIA ROOF DRAIN, DTL 4/A7.1
- MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS. CURB SEE 14/A7.1
- PARAPET CAP (CMU), DTL 11/A7.1
- PARAPET CAP (FRAMED), DTL 15/A7.1
- PARAPET COVE BASE (CMU), DTL 8/A7.1
- PARAPET COVE BASE (FRAMED), DTL 16/A7.1
- REMOVE ROOF AT THIS LOCATION
- SPLASH BLOCK UNDER SCUPPER
- 3.5" DIA DOWNSPOUT, EMBEDDED IN CMU PIER.
- ROOF DRAIN TRANSITION AT UNDERSIDE OF DECK (DASH LINE)
- TIE TOGETHER THE UPPER R.D.L. WITH THE LOWER ROOF R.D.L.



STIPULATION SET  
RETAIN FOR RECORDS  
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CLASSROOM ROOF PLAN  
1/8" = 1'-0"



5-UP-2016  
5/19/16

CCBG

Architects, Inc.

PHOENIX SAN DIEGO  
102 E BUCHANAN PHOENIX, AZ 85004  
P.602.258.2211 F.602.255.0909



A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

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Job Number	1605
Drawing	CLASSROOM ROOF PLAN WORKSHEET
Sheet	

A2.7



GENERAL NOTES

- PERFORM AN INSPECTION ON EXISTING ADMINISTRATION BUILDING ROOF TO VERIFY CONDITION AND IF ANY REPAIRS SHOULD BE MADE.
- TOTAL ROOF AREA OF NEW LIBRARY: 11,963.63 SF
- TOTAL ROOF AREA OF NEW CLASSROOMS: 4,149.73 SF

KEY NOTES

- LANTERN SKYLIGHT
- ROOF ACCESS HATCH, DTL 1&2 /A7.1
- CRICKET, SLOPE 3/4" FT U.N.O.
- COATED FOAM ROOF
- 4" DIA ROOF DRAIN, DTL 4/A7.1
- 3" DIA ROOF DRAIN, DTL 4/A7.1
- MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS. CURB SEE 14/A7.1
- PARAPET CAP (CMU), DTL 11/A7.1
- PARAPET CAP (FRAMED), DTL 15/A7.1
- PARAPET COVE BASE (CMU), DTL 8/A7.1
- PARAPET COVE BASE (FRAMED), DTL 16/A7.1
- REMOVE ROOF AT THIS LOCATION.
- SPLASH BLOCK UNDER SCUPPER
- 3.5" DIA DOWNSPOUT, EMBEDDED IN CMU PIER.
- ROOF DRAIN TRANSITION AT UNDERSIDE OF DECK (DASH LINE)
- TIE TOGETHER THE UPPER R.D.L. WITH THE LOWER ROOF R.D.L.

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A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

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Job Number

1605

Drawing

LIBRARY ROOF

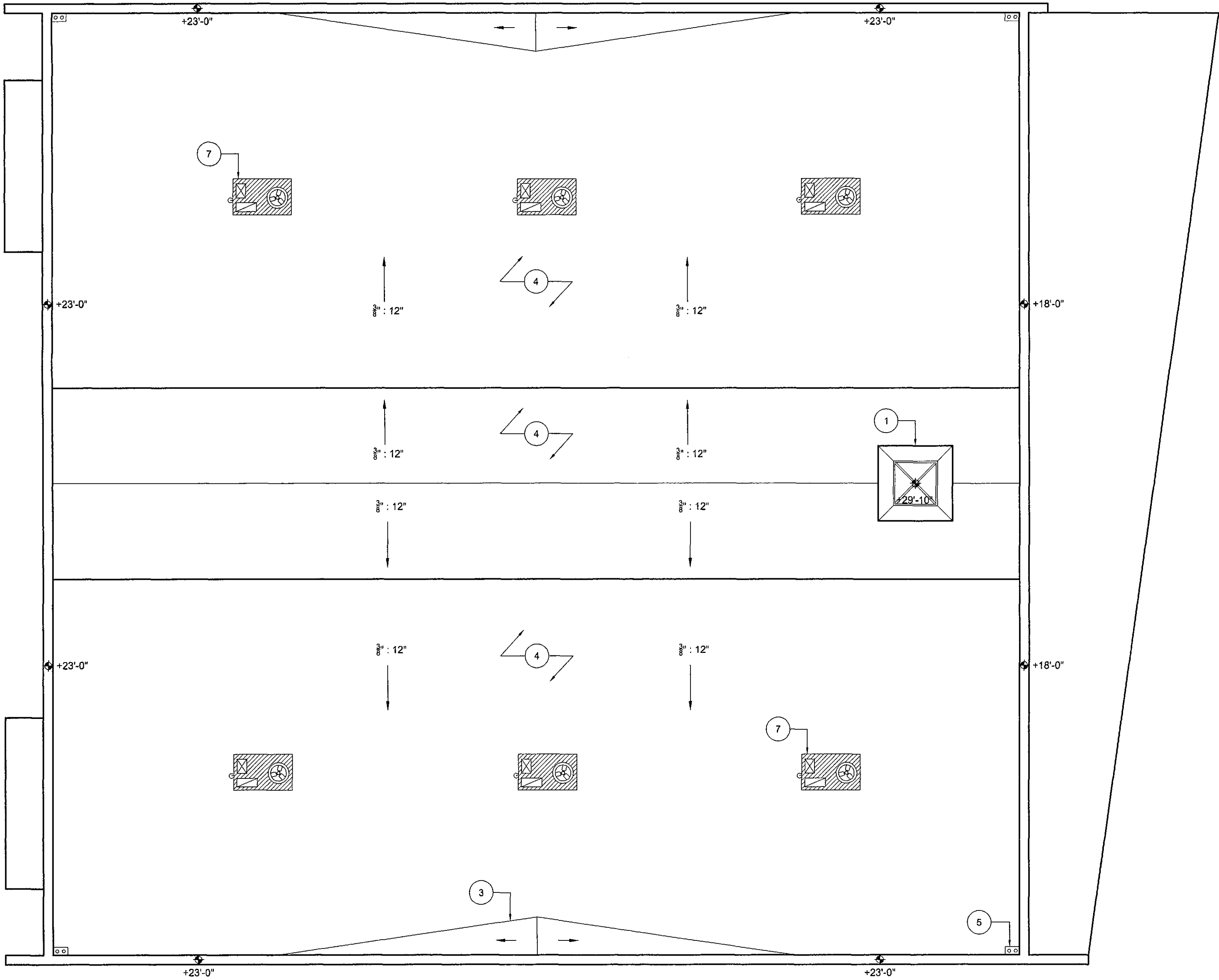
PLAN

WORKSHEET

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A2.6

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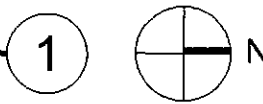


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APPROVED

DATE 11-28-16 INITIALS [Signature]

LIBRARY ROOF PLAN

1/8" = 1'-0"



5-UP-2016  
5/19/16

X:\1605 PHOENIX SEMINARY\DRAWINGS\A2.6 LIBRARY ROOF PLAN WORKSHEET.DWG Plotted by: RICK LINN on 5/16/2016 5:24:05 PM





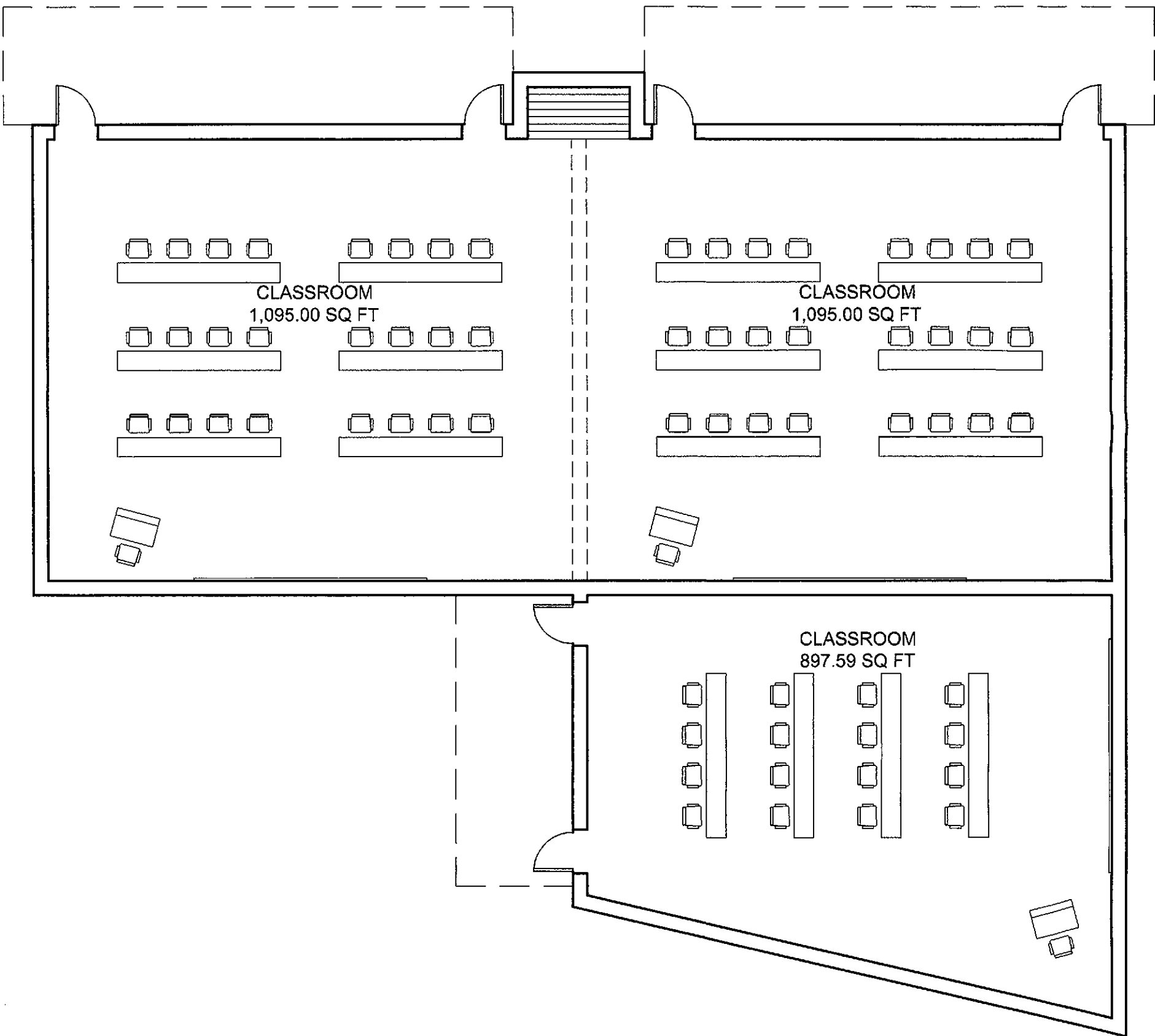
A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260

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5.1.16		

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Drawing	CLASSROOM FLOOR PLAN
Sheet	

A2.5



0 2' 4' 8' 16'

FIRST FLOOR PLAN  
1/8" = 1'-0"

1

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED

11-23-16  
DATE INITIALS

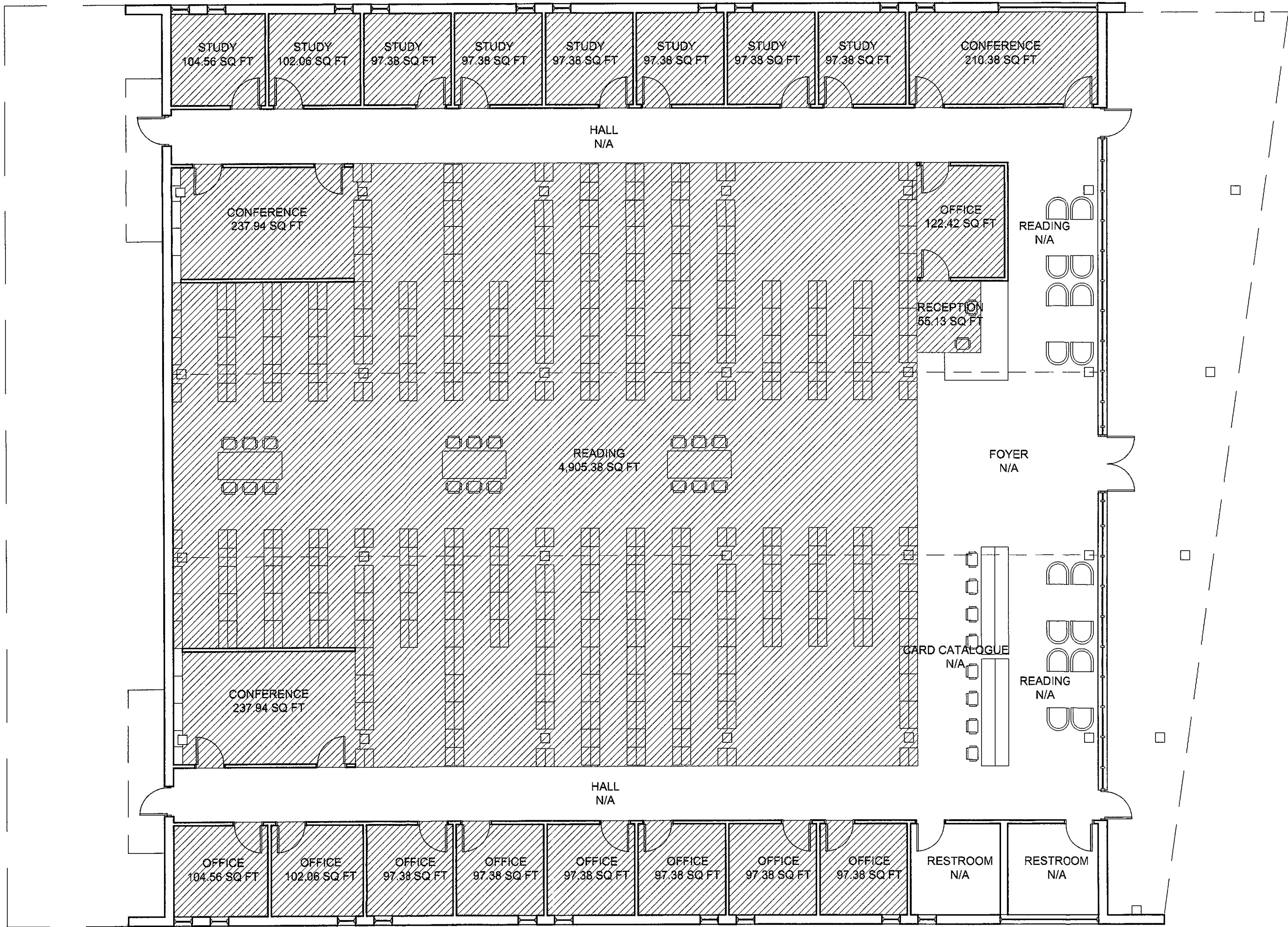


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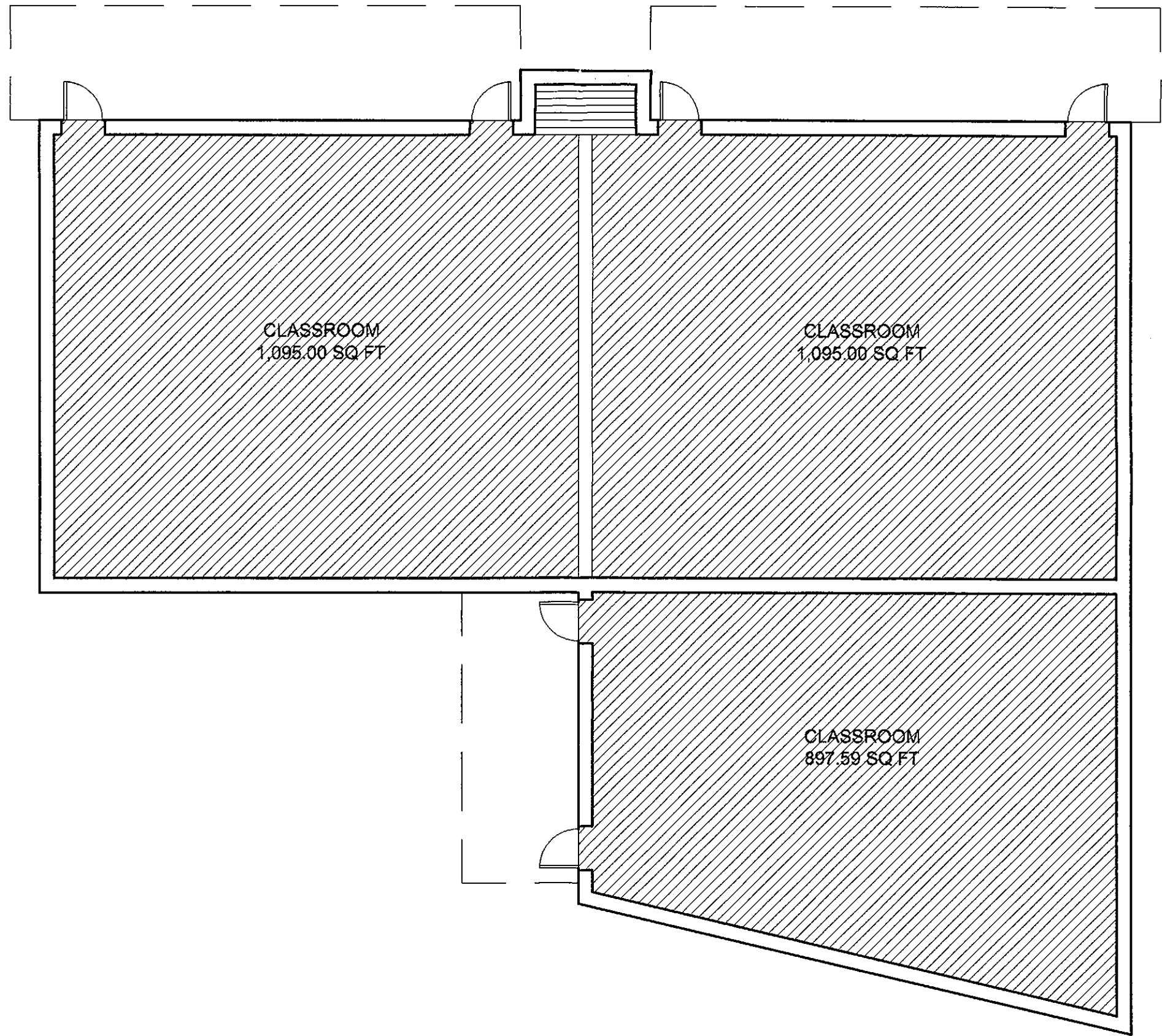
SITE AREA/COVERAGE:	175-47-008	205,851 SF, 4.73 ACRES (NET)
		228,449 SF, 5.24 ACRES (GROSS)
EXISTING CHAPEL BLDG	13,392 SF	
	EXISTING ADMIN BLDG	4,636 SF
	NEW LIBRARY BLDG	10,520 SF
	NEW CLASSROOM BLDG	3,430 SF
TOTAL	31,978 SF	
SITE COVERAGE - 25% ALLOWED		
ACTUAL: 31,978/205,851 = 15.5%		
LIBRARY BLDG HEIGHT:	MAX PER ORDINANCE FOR R1-35:	30'-0"
	F.F. ELEVATION 1357.32' + 29'-10" =	1387.15'
	T.O.C. @ MIDPOINT OF SHEA	-1357.62'
	TOTAL	= 29.53' < 30'
CLASSROOM BLDG HEIGHT:	MAX PER ORDINANCE FOR R1-35:	30'-0"
	F.F. ELEVATION 1357.32' + 23'-0" =	1380.32'
	T.O.C. @ MIDPOINT OF SHEA	-1357.62'
	TOTAL	= 22.7' < 30'
BUILDING AREA:	EXISTING CHAPEL BLDG	13,392 SF
	EXISTING ADMIN BLDG	4,636 SF
	NEW LIBRARY BLDG	10,520 SF
	NEW CLASSROOM BLDG	3,430 SF

PARKING:	EXISTING CHAPEL BLDG	
	SANCTUARY @ 1/4	800 SF
TOTAL	=	200 SPACES REQ'D
EXISTING ADMIN BLDG	OFFICES @ 1/250 SQ. FT	2,046 SQ. FT
	TOTAL	= 9 SPACES REQ'D
= 209 TOTAL PARKING SPACES REQUIRED		
= 224 TOTAL PARKING SPACES PROVIDED		
* THE LIBRARY BUILDING & CLASSROOM BUILDING IS A NON-CONCURRENT USE WITH THE CHAPEL BUILDING.		
NEW LIBRARY BLDG	LIBRARY @ 1/300 SQ. FT	4,905 SQ. FT
	CONFERENCE RMS @ 1/50 SQ. FT	686 SQ. FT
	OFFICE/STUDY RMS @ 1/250 SQ. FT	1,755 SQ. FT
	TOTAL	= 38 SPACES REQ'D
NEW CLASSROOM BLDG	CLASSROOMS @ 1/2 EMPLOYEES	4 EMPLOYEES
	@ 1/4 STUDENTS	190 STUDENTS
TOTAL	=	50 SPACES REQ'D
= 88 TOTAL PARKING SPACES REQUIRED		
= 224 TOTAL PARKING SPACES ONSITE		
ACCESSIBLE PARKING		
ONSITE PARKING:	201 TO 300 SPACES	= 7 SPACES REQ'D
		7 SPACES PROVIDED
BICYCLE PARKING		
	@ 1/10 PARKING SPACES	209 SPACES
TOTAL	=	21 SPACES REQ'D
		27 SPACES PROVIDED

PROPERTY DEVELOPMENT STANDARDS:	PARCEL SIZE:	190,000 SF OR MORE
	MAX PERMITTED % OF ENCLOSURE OF THE NET LOT AREA ALLOWED:	45% OF NET LOT AREA
* THE 6'-0" WALLS AND 3'-0" WALLS ARE NOT CONNECTED AND ALLOW ENTRY FROM THE NORTH, EAST, AND SOUTH PROPERTY BOUNDARIES.		
* THE PROPERTY DOES NOT EXCEED THE 45% OF NET LOT AREA BECAUSE THE SITE IS NOT ENCLOSED.		



LIBRARY FLOOR PLAN



CLASSROOM FLOOR PLAN

A REMODEL AND ADDITION FOR  
PHOENIX SEMINARY

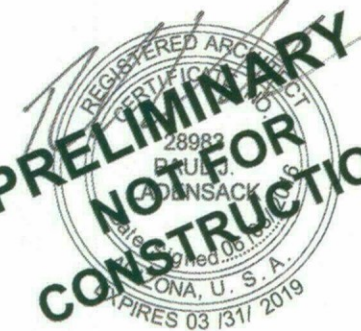
7901 EAST SHEA BLVD  
SCOTTSDALE, AZ 85260



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A2.4





A REMODEL AND ADDITION FOR

PHOENIX SEMINARY

7901 EAST SHEA BLVD

SCOTTSDALE, AZ 85260

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Job Number

1605

Drawing

WALL  
ELEVATIONS &  
DETAILS

Sheet

A1.5

\* ALL EXISTING EXTERIOR WALLS (PROPERTY FENCES) WILL  
REMAIN ON SITE AND WILL NOT BE MODIFIED.

\* THERE ARE NO NEW EXTERIOR WALLS.

## 00 KEY NOTES

1. EXISTING PAINTED STUCCO - ROUGH FINISH, BASE LIGHT BARREL STOVE  
DES216 LRV 21 PAREX (DUNN EDWARDS)
2. EXISTING SIGNAGE (WHITE LETTERING)
3. EXISTING FLOOD LAMP
4. EXISTING 3'-0" HIGH PROPERTY WALL AT ENTRY



EXISTING DRIVE WAY ENTRY ELEVATION

1" = 1'-0"

1

5-UP-2016  
5/19/16