

Simulations
Photos
All Graphics (no plans)

PARKING CALCULATIONS

PARKING REQUIRED (BEFORE WAIVER APPLIED):
 OFFICE 1 SPACE PER 300 SF OF GROSS FLOOR AREA
 GROSS FLOOR AREA: 4,458 SF
 PARKING SPACES REQ: 4458/300 = 14.85 15 SPACES

PARKING WAIVER:
 PURSUANT TO THE DOWNTOWN OVERLAY DISTRICT PARKING PROGRAM, A PARKING WAIVER IS ALLOWED FOR BUILDING AREA EXPANSIONS WHEN SUCH EXPANSIONS WILL HAVE MINIMAL IMPACT ON PARKING DEMAND. THIS WAIVER IS BASED ON MEETING TWO CRITERIA: THE BUSINESS IS WITHIN THE DOWNTOWN OVERLAY OR DOWNTOWN DISTRICT, AND THE NEW AREA OF THE EXPANSION IS USED FOR RETAIL, OFFICE, RESTAURANT, OR PERSONAL CARE SERVICES. THIS WAIVER EXEMPTS ONE (1) SPACE PER 300 GROSS SQUARE FEET OF NEW BUILDING AREA UP TO 2,000 SF.

NEW BUILDING AREA: 1800 SF
 SPACES WAIVED: 1800/300 = 6 SPACES

PARKING REQUIRED:
 15 SPACES - 6 SPACES = 9 SPACES

PARKING PROVIDED (EXISTING): 11 SPACES

BICYCLE PARKING:
 REQUIRED (PER 9.103.C) = 2 SPACES
 PROVIDED 2 SPACES

PROJECT DATA

GROSS LOT AREA 11,270 SF
 NET LOT AREA 8,554 SF

GROSS FLOOR AREA 4,458 SF
 BUILDING FOOTPRINT 2,175 SF

LOT COVERAGE (2175/8554) 25%

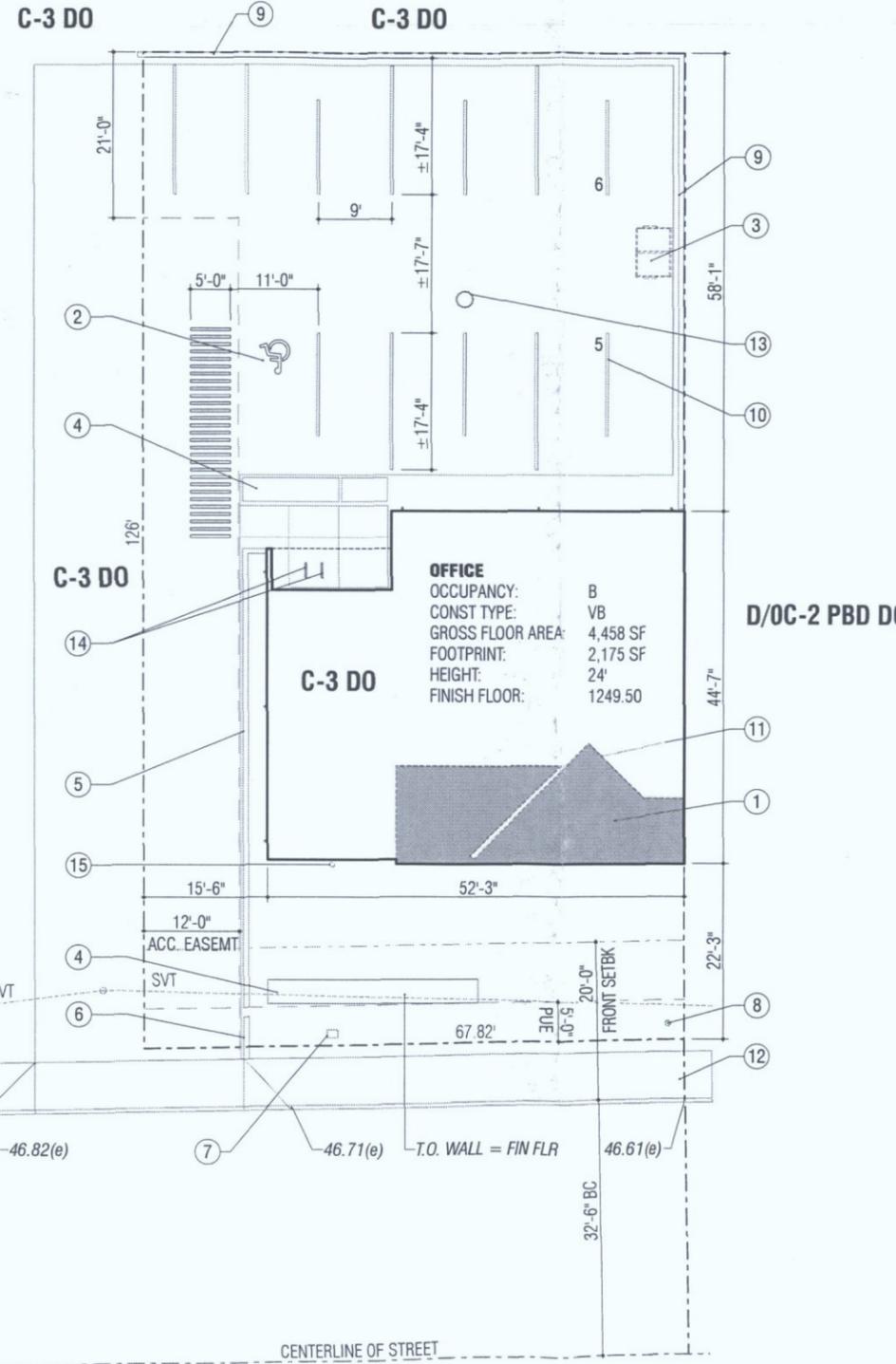
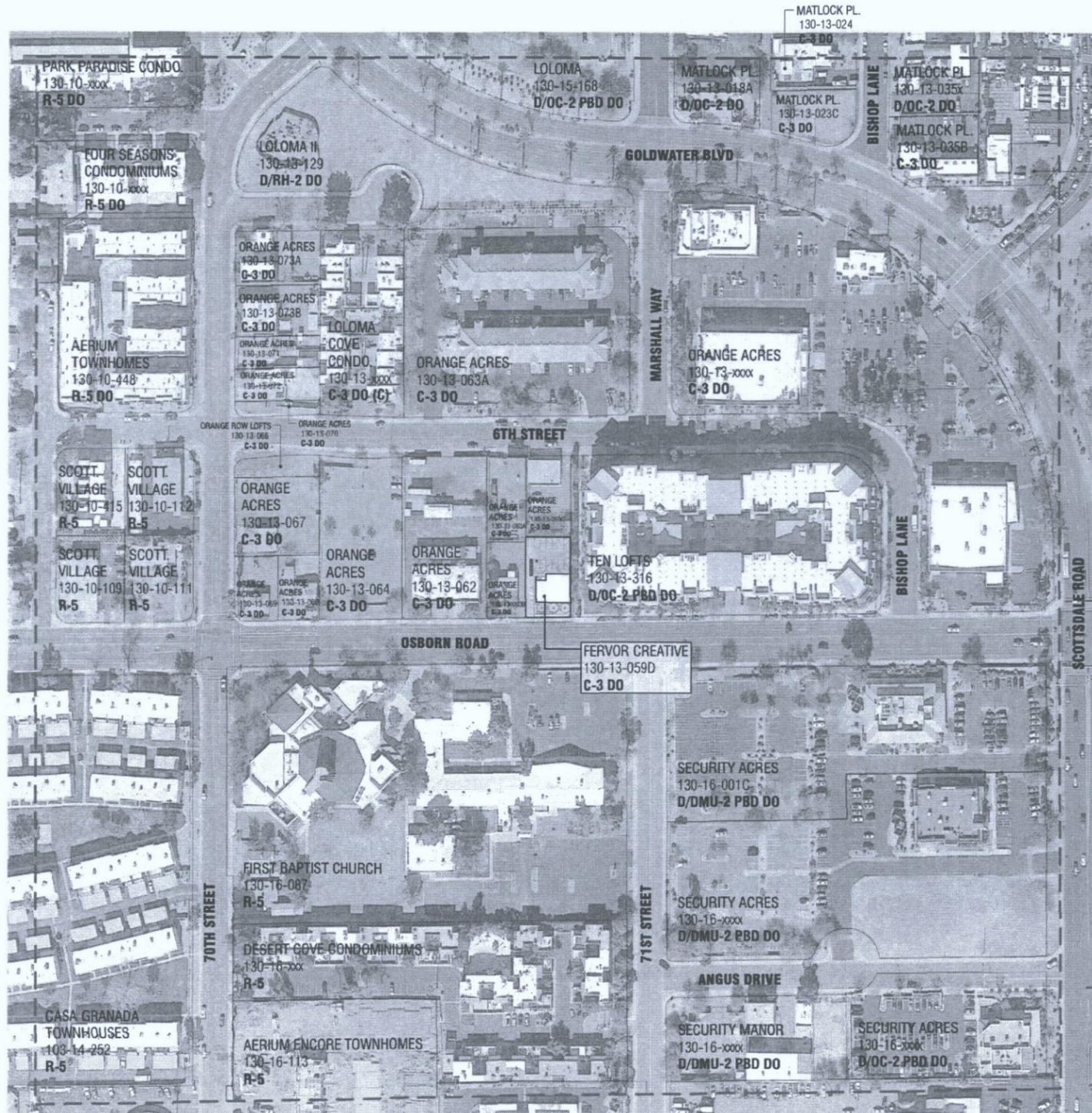
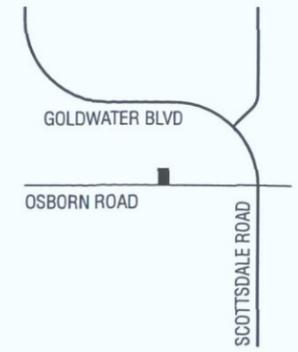
GROSS FLOOR AREA RATIO (GFAR PER DO ZONING) ALLOWABLE 1.3
 PROVIDED (4458/11270) .39

SITE PLAN GENERAL NOTES

A NO NEW WORK TO BE COMPLETED IN R.O.W.

SITE PLAN KEYED NOTES

- 1 SHADED AREA INDICATES ADDITION TO BUILDING FOOTPRINT.
- 2 VAN ACCESSIBLE PARKING SPACE TO BE RELOCATED AS SHOWN.
- 3 EXISTING LOCATION OF PRIVATELY-MAINTAINED TRASH RECEPTACLE.
- 4 EXISTING GABION WALL TO REMAIN
- 5 EXISTING CMU LANDSCAPE HEADER TO REMAIN
- 6 LOCATION OF EXISTING BUILDING MARQUEE TO REMAIN: WEATHERED STEEL PLATE ON EXPOSED CENTER-SCORED CMU.
- 7 EXISTING IN-GROUND WATER METER IN BOX.
- 8 EXISTING ABOVE-GROUND TELECOM JUNCTION BOX.
- 9 EXISTING 6' HIGH CMU SITE WALL.
- 10 EXISTING PARKING STRIPING TO REMAIN.
- 11 DASHED LINE INDICATES EXTENT OF EXISTING BUILDING.
- 12 EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN
- 13 EXISTING DRYWELL TO REMAIN
- 14 LOCATION OF NEW BIKE HOOP
- 15 EXISTING WATER MAIN CONNECTION TO BUILDING



city of scottsdale 52-DR-2016

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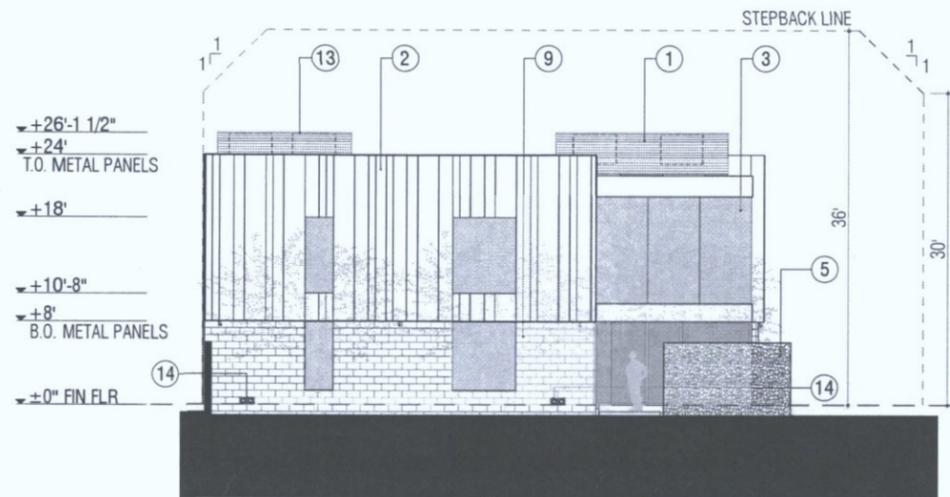
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 phoenix, arizona 85014
 tel 602.264.6617
 jack3@debartoloarchitects.com



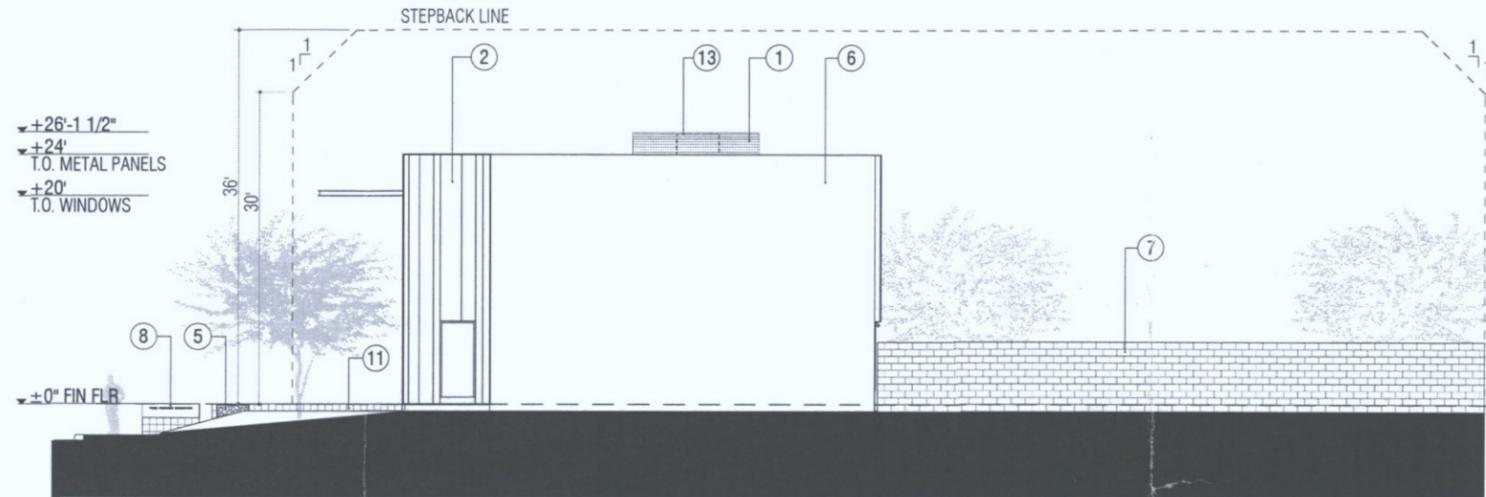
CONTEXT AERIAL + SITE PLAN
DR1.0

KEYED NOTES

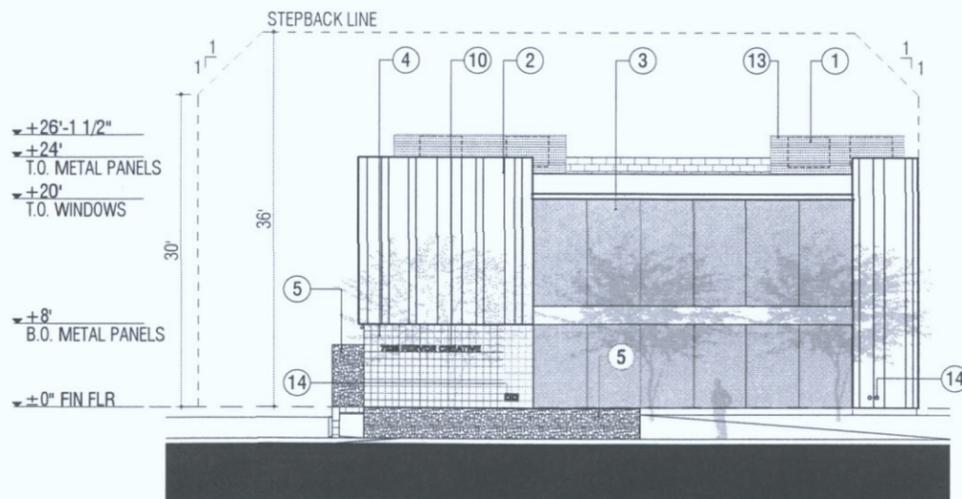
- 1 MECHANICAL EQUIPMENT SCREENING: WEATHERED 7/8" CORRUGATED METAL.
- 2 METAL CLADDING: WEATHERED STANDING SEAM IN (3) WIDTHS.
- 3 CLEAR, LOW-E, INSULATED GLAZING
- 4 EXISTING EXPOSED CENTER-SCORE CMU TO REMAIN AND BE LIGHTLY SANDBLASTED.
- 5 EXISTING GABION WALL TO REMAIN
- 6 EXISTING STUCCO TO REMAIN
- 7 EXISTING EXPOSED CMU SITE WALL TO REMAIN
- 8 EXISTING BUILDING MARQUEE TO REMAIN
- 9 EXISTING STUCCO TO BE REMOVED TO EXPOSE EXISTING CMU. FINISH TO BE LIGHTLY SANDBLASTED.
- 10 EXISTING BUILDING ADDRESS TO REMAIN
- 11 EXISTING CENTER-SCORE CMU LANDSCAPE HEADER TO REMAIN AND BE LIGHTLY SANDBLASTED.
- 12 WEATHERED STEEL CHANNEL
- 13 MECHANICAL UNIT BEHIND SCREENING
- 14 ROOF DRAIN PRIMARY AND OVERFLOW PIPING TO BE ROUTED INTERNALLY AND SHALL DISCHARGE AT GRADE. AT EXISTING MASONRY CONSTRUCTION, ONE BLOCK SHALL BE REMOVED AND A STEEL PLATE ASSEMBLY INSTALLED TO CONTAIN BOTH DRAIN PIPES. STEEL SHALL BE ALLOWED TO WEATHER.



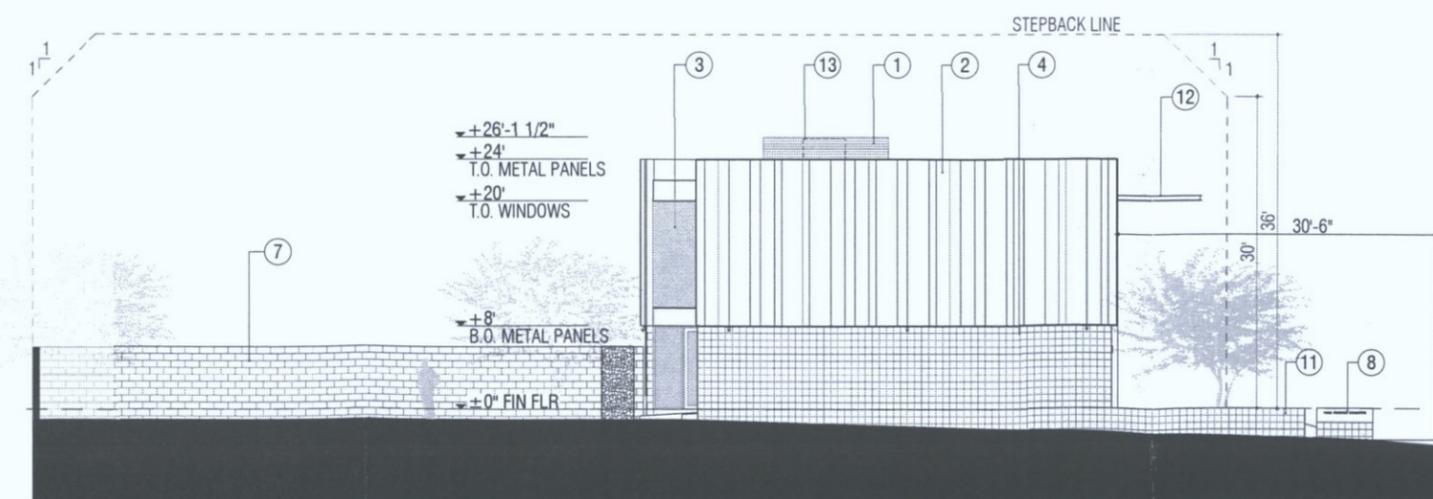
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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BUILDING ELEVATIONS

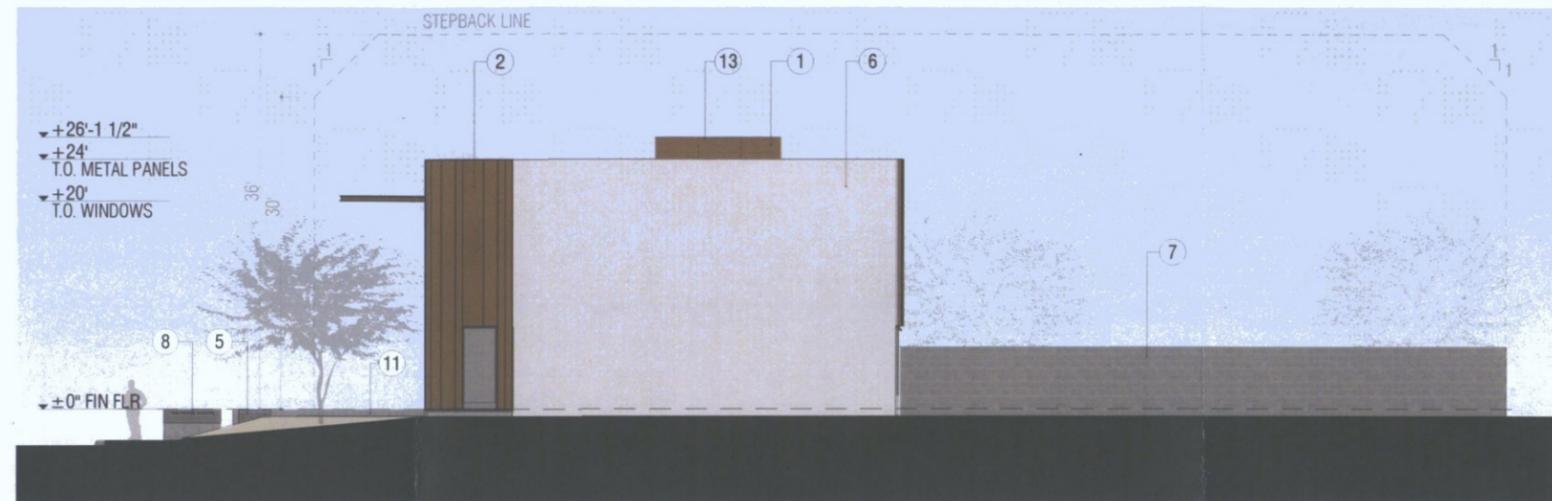
DR1.1

KEYED NOTES

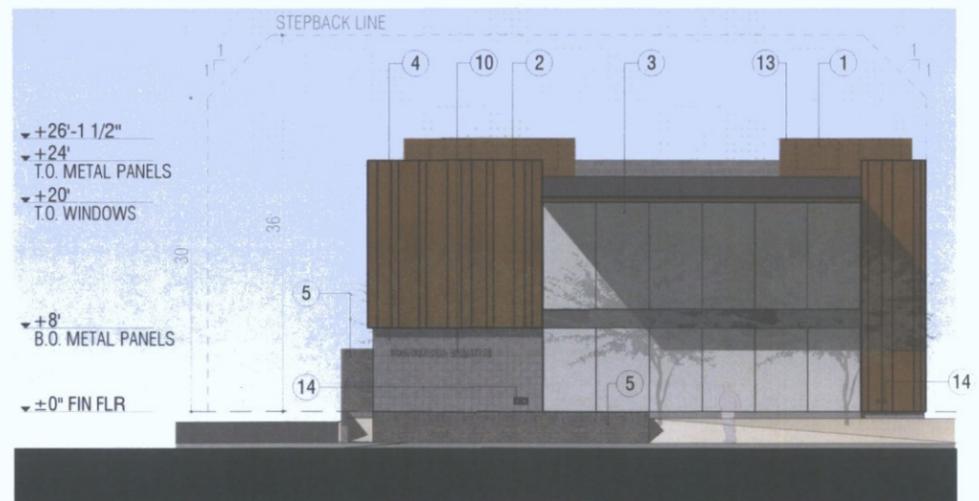
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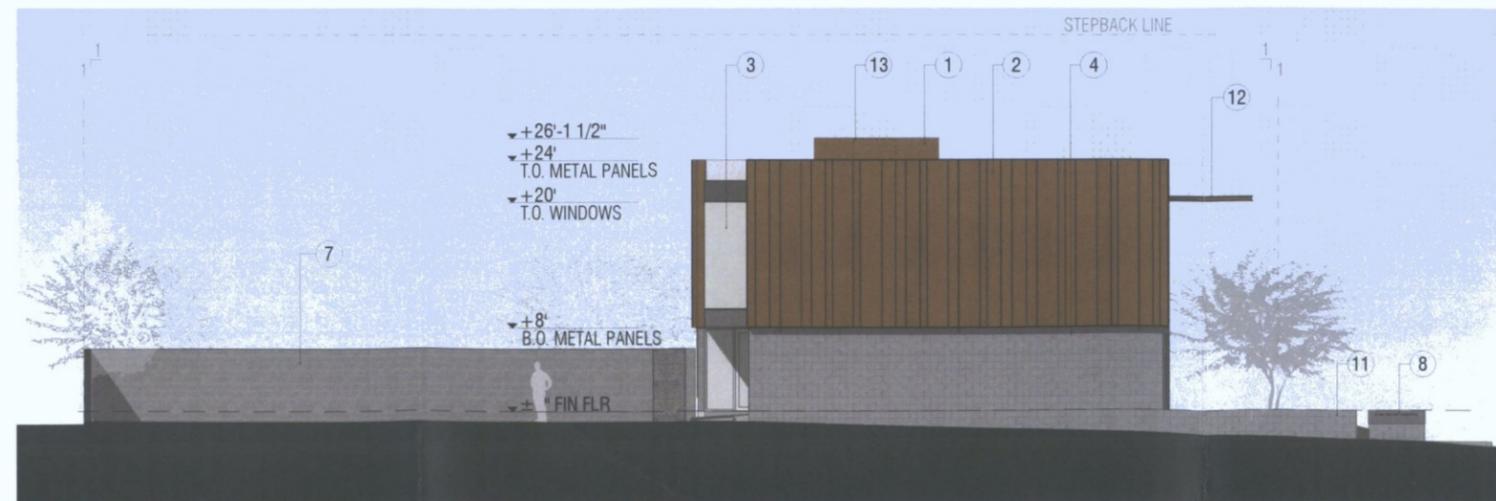
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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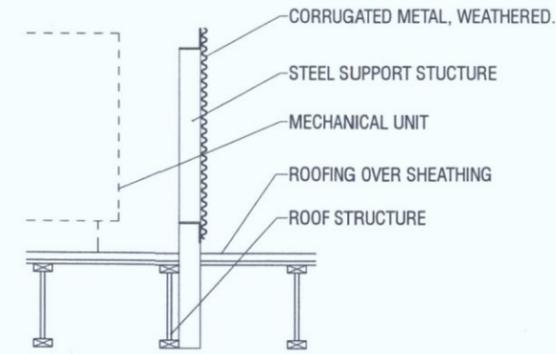
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BUILDING ELEVATIONS

DR1.2

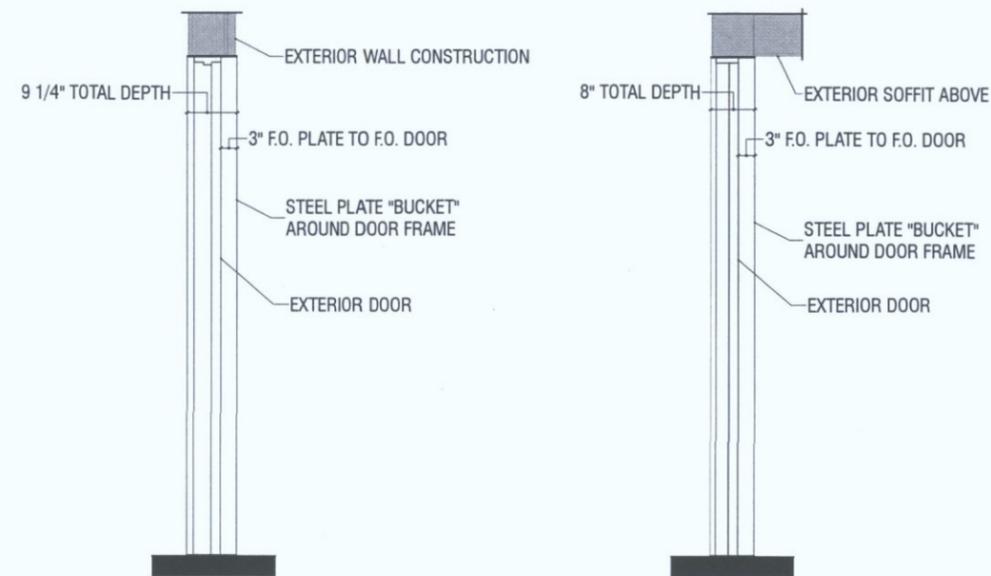
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12/6/2016



7 MECHANICAL SCREENING
 SCALE: 3/4" = 1'-0"



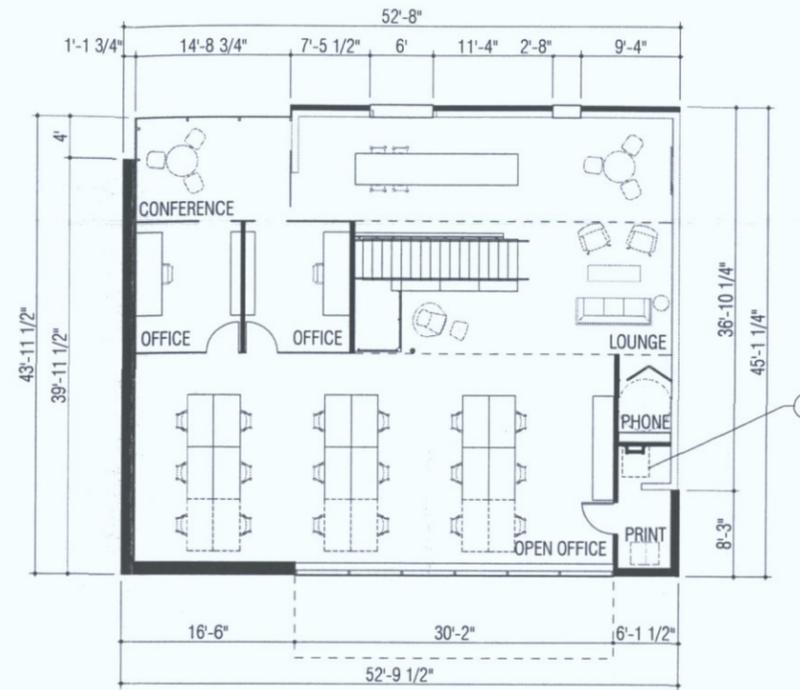
4 NORTH-SOUTH SECTION
 SCALE: 1/8" = 1'-0"



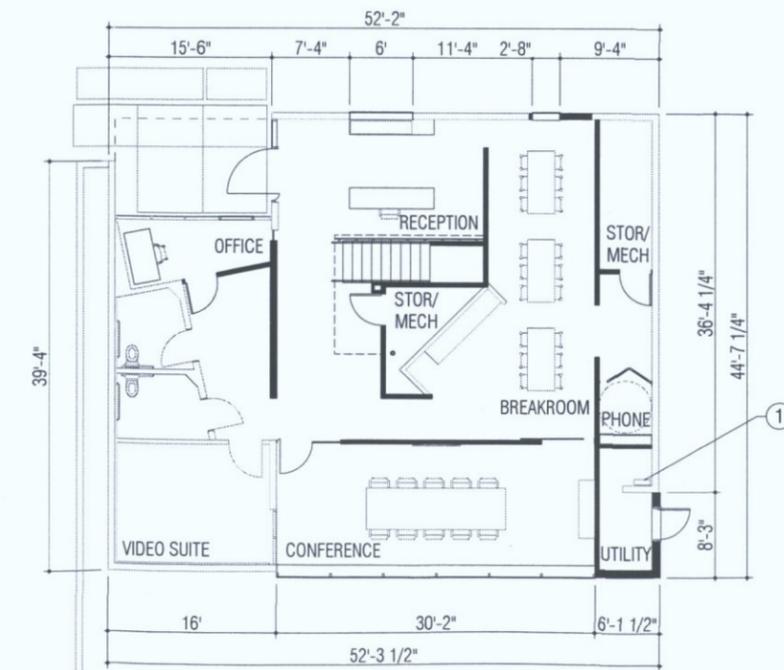
3 SECTION AT DOORS
 SCALE: 3/4" = 1'-0"

FLOOR PLAN KEYED NOTES

- 1 LOCATION OF EXISTING SES TO REMAIN IN PLACE. WHEN RENOVATION IS COMPLETE, SES WILL BE LOCATED IN AN INTERIOR UTILITY ROOM, CONCEALED FROM VIEW FROM THE EXTERIOR.
- 2 LOCATION OF ROOF ACCESS LADDER AND ROOF HATCH.



2 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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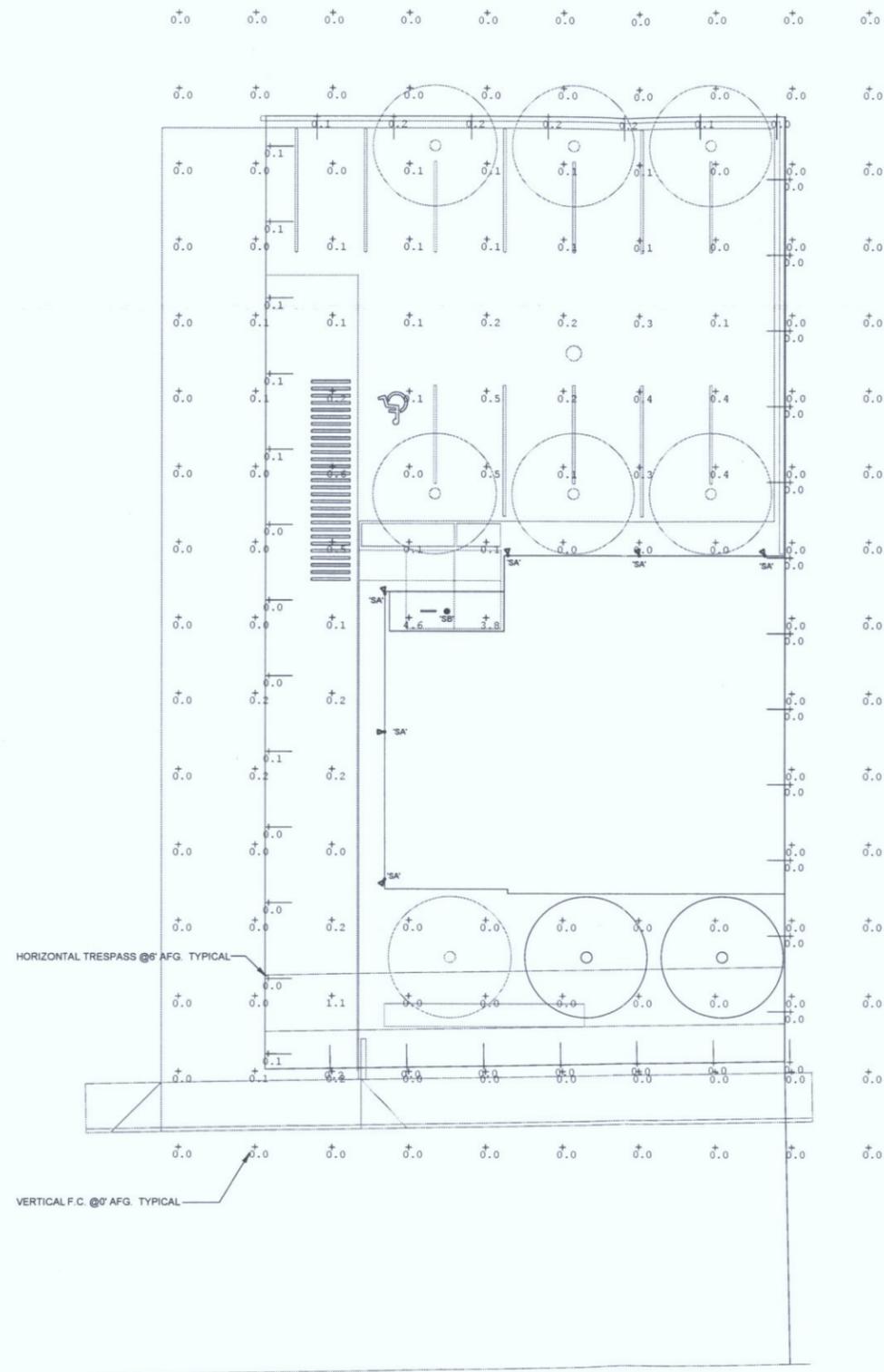
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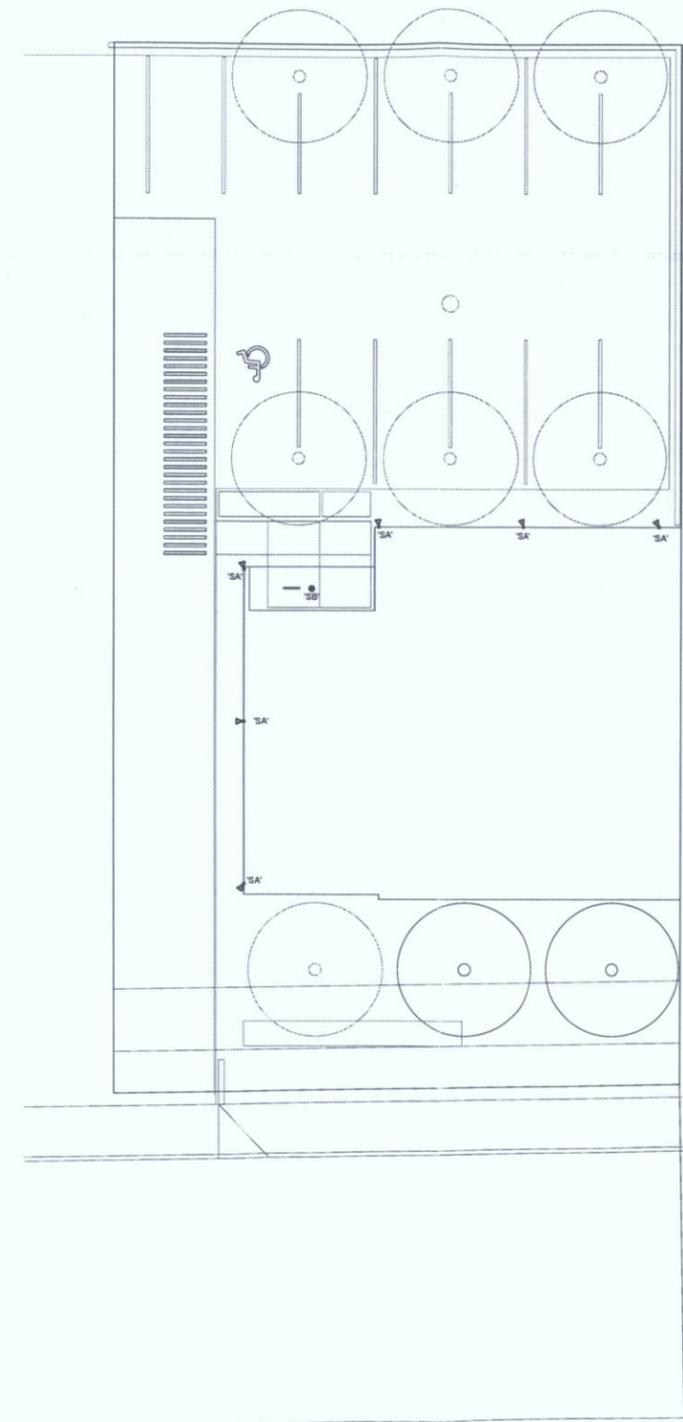
FLOOR PLANS AND DETAILS

DR1.3

52-DR-2016
 12/6/2016



SITE PHOTOMETRIC PLAN
SCALE: 1" = 10'-0" 



SITE LIGHTING PLAN
SCALE: 1" = 10'-0" 

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Trespass. Horizontal @6' AFG. LLF=1.0	Illuminance	Fc	0.05	0.2	0.0	N.A.	N.A.
Site. Vertical @0' AFG. LLF=1.0	Illuminance	Fc	0.13	4.6	0.0	N.A.	N.A.

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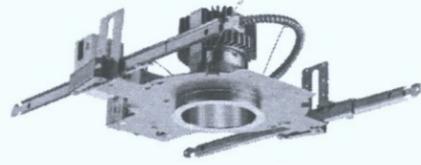
203 south smith road
number 101
tempe, arizona 85281
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SITE LIGHTING PLAN
DRB

E1.0

52-DR-2016
12/6/2016



Luminaire Type:
Catalog Number
(autopopulated):



Gotham Architectural Downlighting
LED Downlights

4" Evo®
Downlight

Solid-State Lighting



FEATURES

OPTICAL SYSTEM

- Self-flanged or flangeless semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

MECHANICAL SYSTEM

- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out) 12AWG rated for 90°C
- Light engine and driver accessible through aperture
- Injection molded mud ring included with flangeless trims. Ships separately. Installs independently of the mounting frame to reduce cracks in plaster due to vibration.

ELECTRICAL SYSTEM

- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional

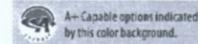
LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

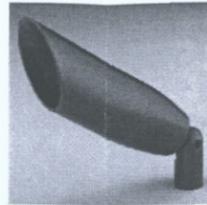
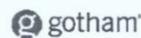
Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25° C.



EXAMPLE: EVO 35/10 4AR MWD LSS MVOLT EZ1

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Trim Style	Distribution	Finish	Voltage
EVO	27/ 2700 K	07 750 lumens	4AR Clear	(blank) Self-flanged	MD Medium (0.9 s/mh)	LSS Semi-specular	MVOLT 120
	30/ 3000 K	10 1000 lumens	4PR Pewter	FL Flangeless	MWD Medium wide (1.0 s/mh)	LD Matte-diffuse	120
	35/ 3500 K	15 1500 lumens	4WTR Wheat		WD Wide (1.2 s/mh)	LS Specular	277
	40/ 4000 K	20 2000 lumens	4GR Gold				347 ²
		25 2500 lumens	4WR White				
		30 3000 lumens	4BR Black				
			4WRAM White anti-microbial				

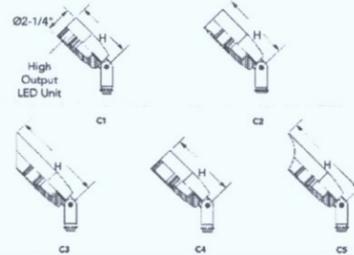
Driver ²	Options
EZ10 eldoLED 0-10V ECOdrive. Linear dimming to 10% min.	SF Single fuse. Specify 120V or 277V.
EZ11 eldoLED 0-10V ECOdrive. Linear dimming to 1% min.	TRW White painted flange
EZB eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%.	TRBL Black painted flange
EDAB eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.	EL Emergency battery pack with integral test switch
EDXB eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. Includes termination resistor. Refer to DMX Manual.	ELR Emergency battery pack with remote test switch
EXA1 XPoint Wireless, eldoLED 0-10V ECOdrive. Linear dimming to 1%. Refer to XPoint tech sheet.	NPS80EZ nLight dimming pack controls 0-10V eldoLED drivers.
EXAB XPoint Wireless, eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%. Refer to XPoint tech sheet.	NPS80EZER nLight dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
ECOS2 ^{4,5} Lutron® Hi-Lume® 2-wire forward-phase driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 3000.	
ECOS3 ^{4,5} Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 4500.	



ASPEN LED
WINSCAPE® 12V LED16

Specifications

D:	Mounting
4-3/4" (121mm) w/C1	
5-3/4" (146mm) w/C2	
7-5/8" (194mm) w/C3	
5-1/2" (140mm) w/C4	
7-5/8" (194mm) w/C5	



CATALOG NUMBER	
NOTES	
TYPE	'SA'

DESCRIPTION

The Aspen series accent lights are suitable for a variety of mounting applications including ground, wall, tree, sign and architectural accents. Suitable for wet locations.

ORDERING INFORMATION

EXAMPLE: ASPEN SS 3LED16 30K 12 NSP WSL KM BR5

ASPEN	3LED16	Source*	Color Temperature*	Voltage*	Distribution*	Lens*	Mounting*
ASPEN	A Aluminum	3LED16	30K	121	NSP 10° Narrow Spot	FLC Flat Clear	KM Knuckle
	BR Brass		40K	120 ²	NFL 25° Narrow Flood	WSL Watershed	350R 350° rotational knuckle
	SS Stainless Steel		50K		FL 40° Flood		
			AMB Amber (591nm)				

Mounting Accessories*	Options*	External Caps*	Finish*
Independent Mounting	Power Boxes with 15W Electronic transformers	Internal Louver	All Material
JBA Aluminum J-Box	PM60B ² Power Mount	IHL Honeycomb Louver	BL Black
JBB Bronze J-Box Architectural	PM60B ² Brass Power Mount	Internal Accessory	BRZ Textured
ARJB J-Box, Aluminum 12" x 48"	WP2J ² Wall Pack over recessed JBox	L1 Prismatic Lens	BRS Bronze
CNS 5" round canopy	WP2S ² Surface Mount Wall Pack	L2 Linear Spread Lens	BRT Smooth
CNSBR 5" round canopy, brass	Stems	L3 Softening Lens	BRT Textured
CNS5S 5" round canopy, stainless	S3 ³ 3" Stem	Internal Filters	CHS Chrome
WMC Wall Mount Cover	S6 ³ 6" Stem	FA Amber	CHS Smooth
WMSA Wall Mount with Splice Access	S ₃ ³ 12" - 24" stems, available in 6" increments	FG Green	DBL Black
STK Mounting Stake	S3BR ⁴ 3" Stem Brass	FGD Green Dichroic	DBL Smooth
TRA Tree Mounted J-Box, Aluminum	S6BR ⁴ 6" Stem Brass	FLB Light Blue	DDB Designer
TRB Tree Mounted J-Box, Bronze	S ₆ BR ⁴ 12" - 24" stems, available in 6" increments	FM Mercury Vapor	DDB Bronze
_TRAS Tree Mounted J-Box with Aluminum mounting strap, available with 1-4 JBoxes per strap	EA ₁₂ 12" - 24" or 36"	FMB Medium Blue	DNA Natural
_TRBS Tree Mounted J-Box with Bronze mounting strap, available with 1-4 JBoxes per strap	EA45 45" - 12", 24" or 36"	FMBD Medium Blue Dichroic	DNA Aluminum
PM60A Adjustable Post Mount	EA90 90" - 12", 24" or 36"		NBS ⁵ Natural
PMBR60A Adjustable Post Mount - Bronze			NBS Bronze
PM60C Post Mount with Conduit	Extended Arms*		NBS Smooth
PMBR60C Post Mount with Conduit - Bronze	EA 12", 24" or 36"		VET Verde
PM60D Post Mount with Open Bottom	EA45 45" - 12", 24" or 36"		WH White
PMBR60D Post Mount with Open Bottom - Bronze	EA90 90" - 12", 24" or 36"		WH Textured
			WHS White
			WHS Smooth
			CF Custom
			CF Finish

- *Required Fields
Notes:
- 1 Remote transformer required.
 - 2 120 volt only available with power boxes, fixture itself is 12 volt.
 - 3 Aluminum stems only compatible with A material, not compatible with JBB, TRB, _TRBS, PMBR60A, PMBR60B, PMBR60C, PMBR60D, CNSBR or CNS5S.
 - 4 Brass stems only compatible with BR material and JBB, TRB, _TRBS, PMBR60A, PMBR60B, PMBR60C or PMBR60D.
 - 5 Extended arms only available with WMSA.
 - 6 Up to 3 optional items can be specified.
 - 7 NBS paint uses specialty pigments to give a natural appearance that may vary by fixture.
 - 8 Brass only and Stainless only finishes not available with mounting accessories.

NOTE: Hydrel Reserves The Right To Modify Specification Without Notice. Any dimension on this sheet is to be assumed as a reference dimension. *Used for information purposes only. It does not govern manufacturing or inspection requirements." (ANSI Y14.5-1973)



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ASPEN_LED

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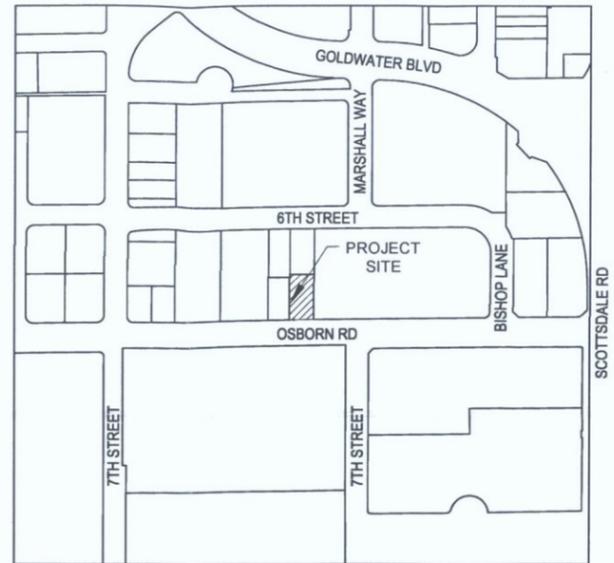
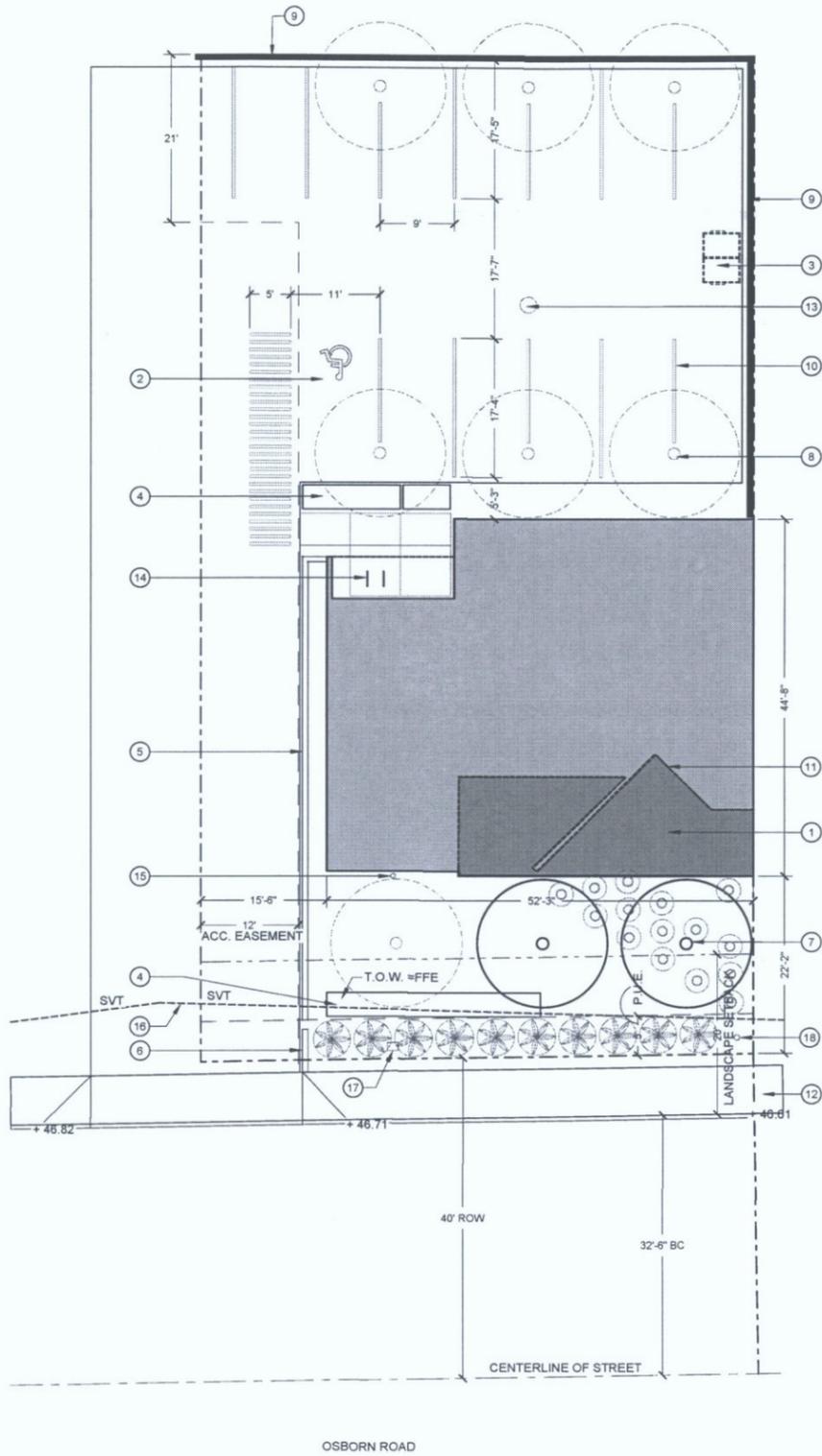
woodward engineering

203 south smith road
number 101
tempe, arizona 85281
tel 480.894.4057



FIXTURE CUTSHEETS
DRB

E1.1



VICINITY MAP
NOT TO SCALE

KEYNOTES

- ① SHADED AREA INDICATES ADDITION TO BUILDING FOOTPRINT.
 - ② VAN ACCESSIBLE PARKING SPACE TO BE RELOCATED AS SHOWN.
 - ③ EXISTING LOCATION OF PRIVATELY-MAINTAINED TRASH RECEPTACLE.
 - ④ EXISTING GABION WALL TO REMAIN
 - ⑤ EXISTING CMU LANDSCAPE HEADER TO REMAIN.
 - ⑥ LOCATION OF EXISTING BUILDING MARQUEE TO REMAIN: WEATHERED STEEL PLATE ON EXPOSED CENTER-SCORED CMU.
 - ⑦ NEW TREE LOCATION, TYP.
 - ⑧ EXISTING TREE TO REMAIN, TYP.
 - ⑨ EXISTING 6' HIGH CMU SITE WALL.
 - ⑩ EXISTING PARKING STRIPING TO REMAIN.
 - ⑪ DASHED LINE INDICATES EXTENT OF EXISTING BUILDING.
 - ⑫ EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN
 - ⑬ EXISTING DRYWELL TO REMAIN.
 - ⑭ LOCATION OF NEW BIKE HOOP, TYP.
 - ⑮ EXISTING WATER MAIN CONNECTION TO BUILDING.
 - ⑯ SIGHT VISIBILITY TRIANGLE.
 - ⑰ EXISTING IN-GROUND WATER METER IN BOX
 - ⑱ EXISTING ABOVE-GROUND TELECOM JUNCTION BOX.
- NOTE: NO NEW WORK TO BE COMPLETED IN R.O.W.

PLANT LEGEND

BOTANICAL NAME SYM. COMMON NAME	SIZE	MIN. CAL HT X W	QTY
TREES			
EXISTING DESERT MUSEUM REMAIN IN PLACE	VARIES		7
PARKINSONIA HYBRID DESERT MUSEUM	36" BOX MULTI	2.5" CAL 8'H X 5'W	2
ACCENTS			
EXISTING ALOE BARBADENSIS REMAIN IN PLACE	VARIES		15
EXISTING AGAVE SPP. REMAIN IN PLACE	VARIES		10
TOPDRESS / DUST CONTROL			
SALVAGE AND REUSE EXISTING DECOMPOSED GRANITE.			630 S.F.

APPROVAL BLOCK / PRELIMINARY SUMMARY DATA	
LANDSCAPE ARCHITECT, CITY OF PHOENIX	DATE
ESTIMATED R.O.W. COST: \$0	ESTIMATED S.F. OF LANDSCAPE IN R.O.W.: 0 S.F.
MAINTENANCE BY: OWNER	ESTIMATED S.F. OF LANDSCAPE IN PARKING LOT: N/A
SQUARE FOOTAGE OF TURF: 0 S.F.	TOTAL ACRES (OR PORTIONS) OF LANDSCAPE AREA: 630 S.F.
	DATE OF PRELIMINARY SITE PLAN APPROVAL: N/A

1 LANDSCAPE PLAN
SCALE: 1" = 10'

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EXPIRES: 3/31/17

LANDSCAPE PLAN

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52-DR-2016
12/6/2016



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