

AIRE ON McDOWELL

MODEL HOME COMPLEX SCOTTSDALE, ARIZONA

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 2
NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA

GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION

- ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOUR PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT, CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES, FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.

ZONING / APN

LOT 73
APN: 129-08-177
LOT 74
APN: 129-08-178
LOT 75
APN: 129-08-179
LOT 76
APN: 129-08-180
LOT 77
APN: 129-08-181
LOT 78
APN: 129-08-182
ZONING: R-5
LAND FORM: NON-ESL
ADDRESS: 6850 E McDowell Rd

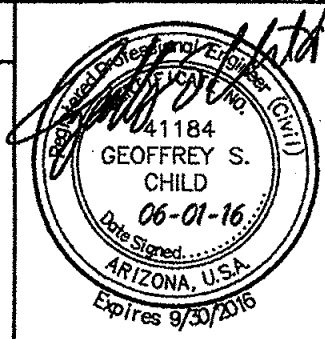
* PER APPROVED IMPROVEMENT PLANS BY SUNRISE ENGINEERING 7/18/2016

*UTILITY NO CONFLICT CERTIFICATION

SERVICE	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SIGNED
CATV	COX COMMUNICAIONS	TMC DEPARTMENT	(623) 363-1148	IN PROGRESS
FIBER	CENTURYLINK	CONFLICT REVIEWS	(480) 768-4294	04/14/16
ELECTRIC	SALT RIVER PROJECT (SRP)	SUSANA ORTEGA	(602) 236-5799	03/22/16
GAS	SOUTHWEST GAS	WILL FIELDER	(480) 730-3855	04/14/16

ENGINEER'S CERTIFICATION

I, BEING THE PERSON RESPONSIBLE FOR DESIGNING THE FACILITIES NECESSARY TO SERVE THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL OF THE UTILITY COMPANIES LISTED ABOVE HAVE REVIEWED THIS PROJECT PROPOSAL AND ALL CONFLICTS HAVE BEEN RESOLVED AT THIS POINT. NO CONFLICT FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY.

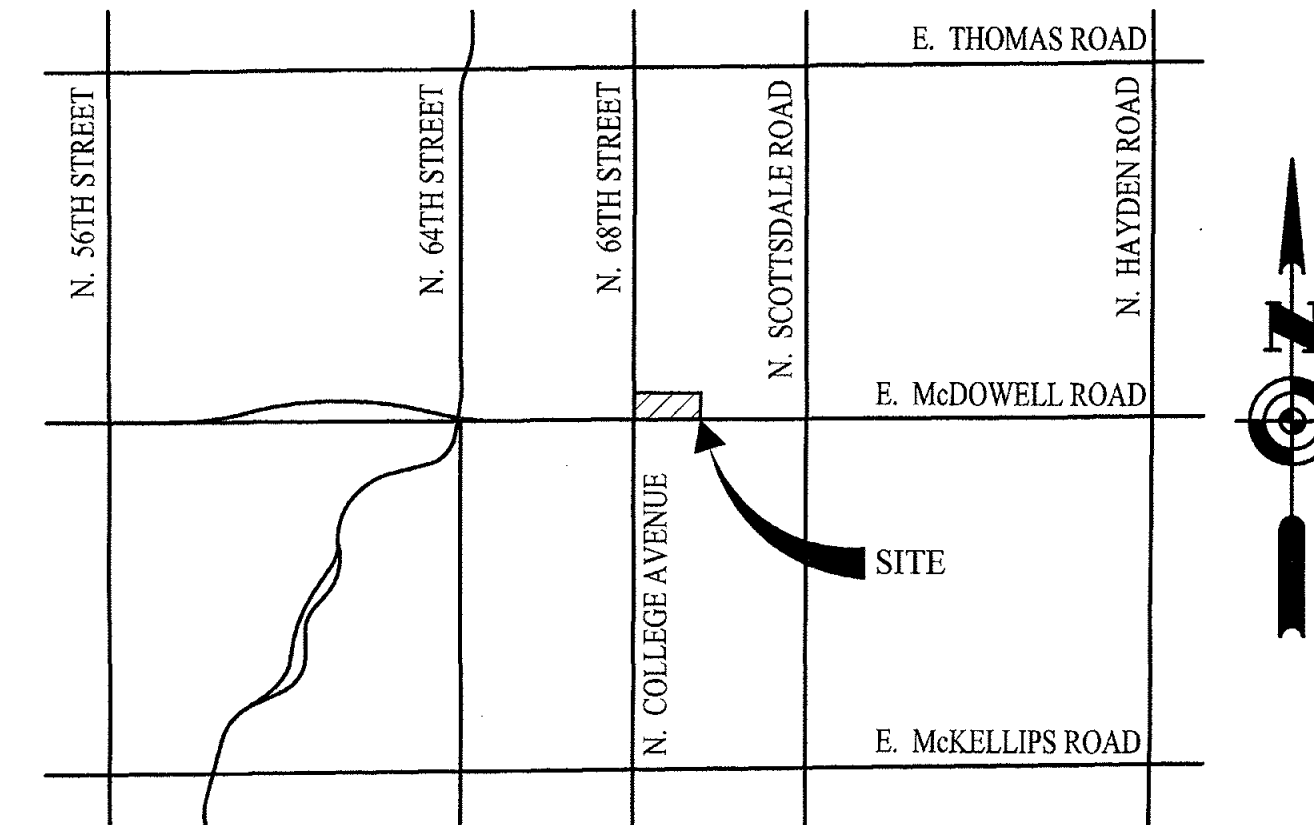


FLOOD INSURANCE RATE MAP (FIRM)

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	2235	L	10/16/13	X	N/A
	10/16/13				

STATEMENT OF CERTIFICATION

THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS FOR THE REMODEL AND/OR PROPOSED ADDITIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 17 - FLOODPLAIN AND STORMWATER REGULATION.



VICINITY MAP
NTS

ENGINEER

HOSKIN RYAN CONSULTANTS, INC.
5050 N. 40TH STREET, SUITE 100
PHOENIX, AZ 85018
TEL (602) 252-8384
FAX (602) 252-8385
CONTACT: MATTHEW J. MANCINI, P.E.
EMAIL: MATTM@HOSKINRYAN.COM

OWNER/DEVELOPER

K. HOVNANIAN HOMES
20830 NORTH TATUM BOULEVARD, SUITE 250
PHOENIX, AZ 85050
CONTACT: CHUCK CHISHOLM
TEL (480) 824-4175

BENCHMARK

CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE, SOUTHEAST CORNER SECTION 34, T2N, R4E, INTERSECTION OF McDOWELL ROAD AND SCOTTSDALE ROAD.

ELEVATION = 1230.69 (NAVD 88 DATUM)

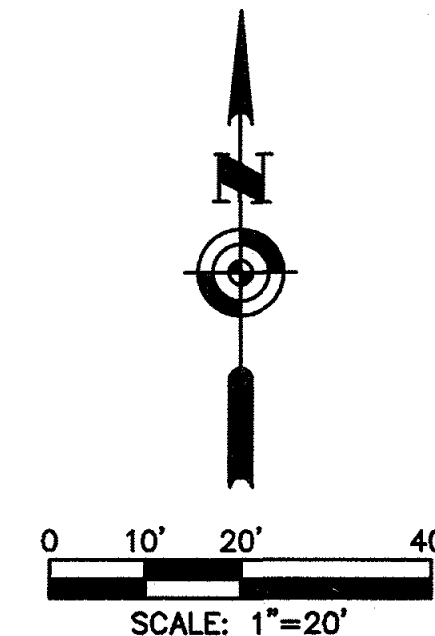
I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK PROVIDED ABOVE.

SHEET INDEX

1	COVER SHEET
2	PLAN SHEET

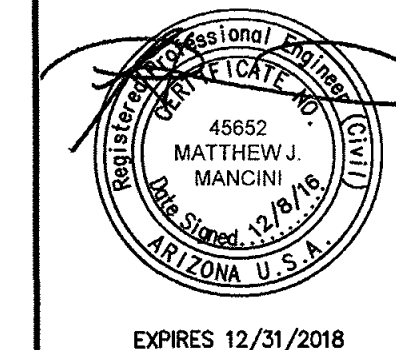
QUANTITIES

1.	3" THICK 3/8" MINUS	2731 SF
2.	CONCRETE PARKING STALL	320 SF
3.	PRE-CAST SAFETY CURB	7 EA
4.	EXTRUDED CURB	181 LF
5.	ADA PARKING SIGN	1 EA
6.	INSTALL FLAG POLE	1 EA



CIVIL APPROVAL			
REVIEW & RECOMMENDED APPROVAL BY:			
PAVING		TRAFFIC	
G & D		PLANNING	
W & S		FIRE	
RET. WALLS			
ENGINEERING COORDINATION MGR. (OR DESIGNEE)		DATE	

REVISIONS:



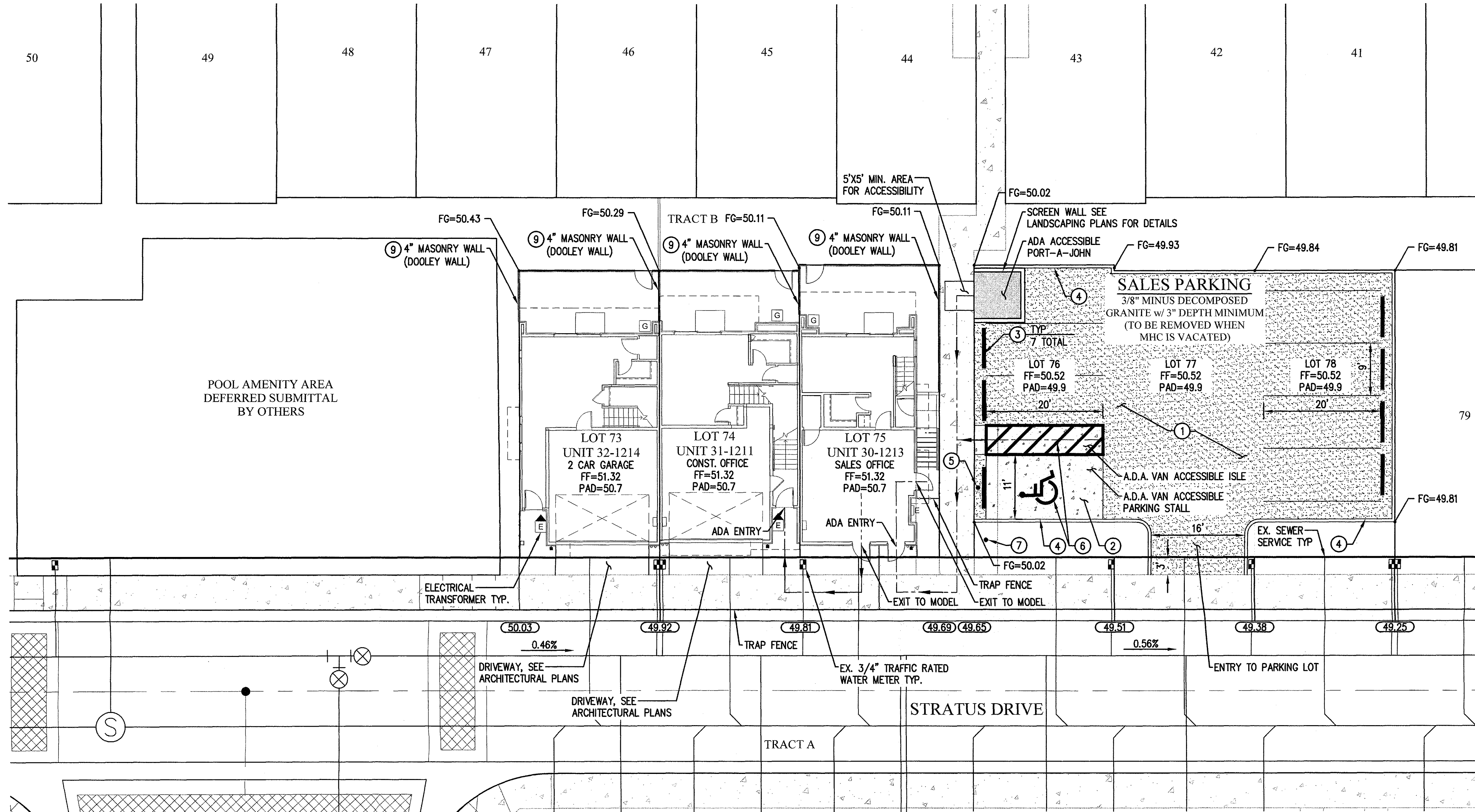
AIRE ON McDOWELL

MODEL HOME COMPLEX

Hoskin•Ryan Consultants, Inc.
creative engineering solutions

5050 N. 40th Street Suite #100
Phoenix, AZ 85018
Office (602) 252-8384 | Fax (602) 252-8385 | www.hoskinryan.com

DATE	PROJECT NO.	SHEET
12/8/2016	16-063-01	1 OF 2



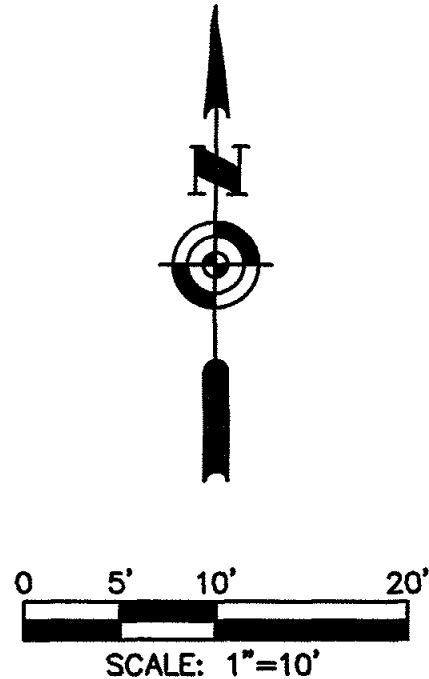
CONSTRUCTION NOTES

1. INSTALL 3" THICK 3/8" MINUS DECOMPOSED GRANITE "DESERT GOLD" COLOR PER LANDSCAPING PLANS.
2. INSTALL 4" THICK CLASS B PORTLAND CEMENT PARKING STALL PER MAG SPEC 725. PARKING STALL SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION. STRIPING SHALL COMPLY WITH ADAAG REQUIREMENTS.
3. INSTALL PRECAST SAFETY CURB PER MAG STD DET 150.
4. INSTALL EXTRUDED CURB BORDER PER LANDSCAPE PLANS.
5. INSTALL A.D.A. PARKING SIGN, PER COS STD DET 2124. POST PER MAG STD DET 131, TYPE 'A'.
6. A.D.A. STRIPING DS&PM FIGURE 12.1-2
7. INSTALL FLAG POLE PER LANDSCAPE PLANS.
8. INSTALL 4" THICK CLASS B PORTLAND CEMENT SIDEWALK PER MAG SPEC 725
9. INSTALL 4" MASONRY DOOLEY WALL PER DETAIL ON THIS SHEET.

LEGEND

- 3/8" MINUS DECOMPOSED "DESERT GOLD" GRANITE
- CONCRETE
- EXISTING TOP OF CURB ELEVATION
- PROPOSED CONCRETE ELEVATION
- PROPOSED FINISH GRADE ELEVATION
- PROPOSED SLOPE AND DIRECTION
- PROPOSED A.D.A. ROUTE

724-3A-16
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
1-4-17
DATE INITIALS



4" MASONRY WALL "DOOLEY WALL"

MATERIALS

CMU: Fm = 1500 psi
NORMAL WEIGHT
MORTAR: ASTM TYPE S
GROUT: Fc = 2000 psi
REINFORCING: fy = 40,000psi
CONCRETE: 2500psi
HORIZONTAL JOINT REINFORCEMENT: fy = 80,000psi

WALL DESIGN OPTIONS

OPTION	L	Sw	d
A	8'-4"	8"	4"
B	8'-0"	16"	3'-6"

REVISIONS:

45552
MATTHEW J. MANCINI
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2018

MINIMUM STANDARD

CITY OF SCOTTSDALE

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Revised: 6/1/2009

REVISIONS:		
Call at least two full working days before you begin excavation.		
ARIZONA		
Professional Seal of Matthew J. Mancini, Registered Professional Engineer, State of Arizona, No. 45552, Expires 12/31/2018		
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