

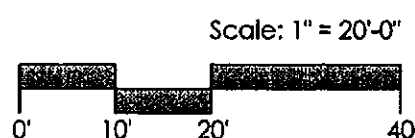
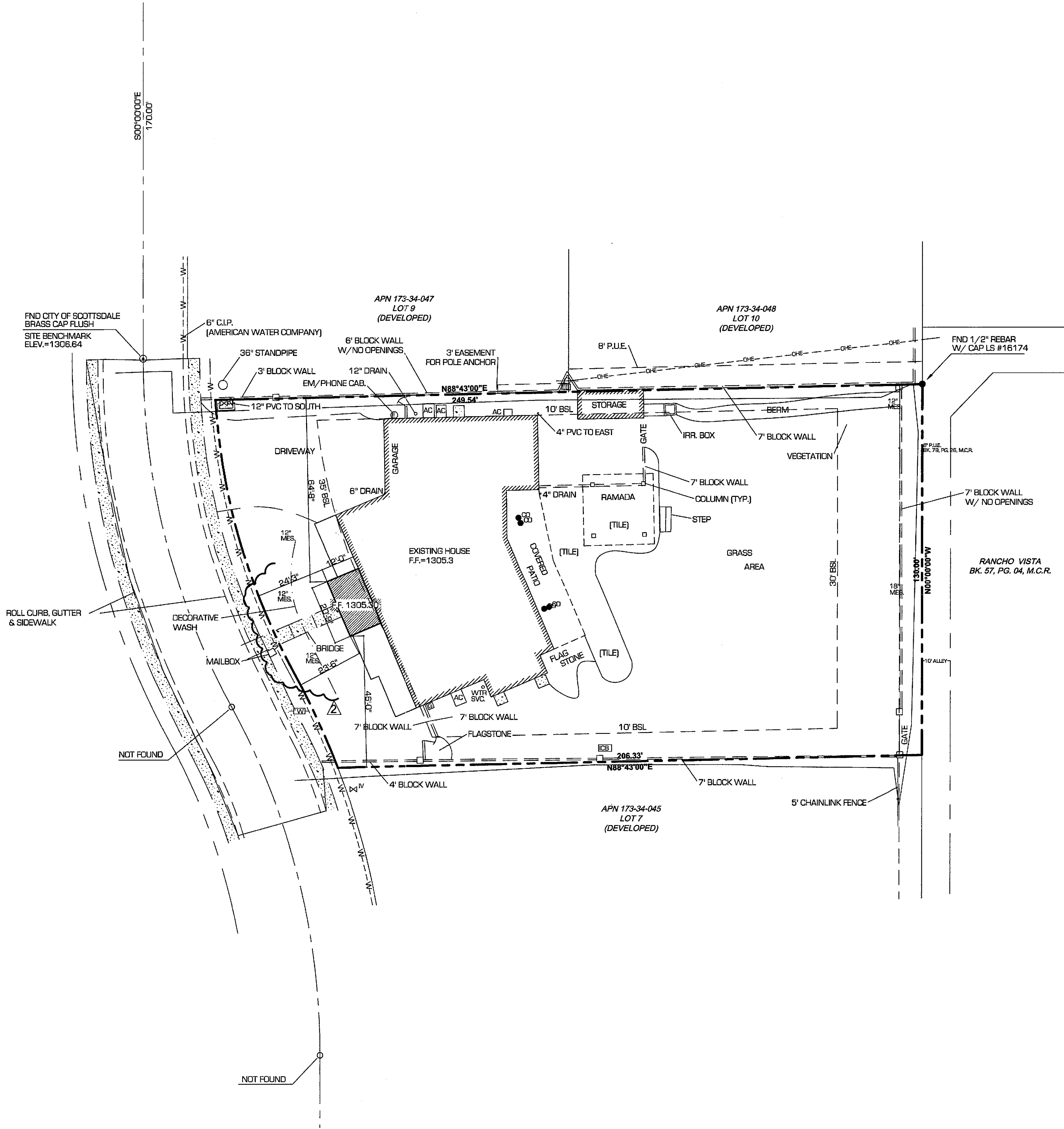
**Full Size**

**8.5 x 11**

**11 x 17**

**(site plan, landscape, elevations)**

SITE PLAN



SCALE: 1" = 20'-0"

BUILDING CODES

2012 IBC (INTERNATIONAL BUILDING CODE)  
2012 IRC (INTERNATIONAL RESIDENTIAL CODE)  
2011 NEC (NATIONAL ELECTRICAL CODE)  
2012 IMC (INTERNATIONAL MECHANICAL CODE)

DRAWING INDEX

|         |       |                                     |
|---------|-------|-------------------------------------|
| SHEET 1 | ASP   | SITE PLAN                           |
| SHEET 2 | S000  | STRUCTURAL NOTES                    |
| SHEET 3 | S100  | FOUNDATION / FRAMING                |
| SHEET 4 | SD100 | STRUCTURAL DETAILS                  |
| SHEET 5 | GN    | ARCH. GENERAL NOTES                 |
| SHEET 6 | A100  | FLOOR / ELEVATIONS / ELECT. SECTION |

SITE DATA

APN#: 173-34-046  
MCR#: 7926  
SUBDIVISION: CORDONA VILLA  
ADDRESS: 4829 N. 68th PL.  
T-2-N, R-4-E, SEC 22

|                         |                                 |
|-------------------------|---------------------------------|
| ZONING:                 | R1 - 18                         |
| SETBACKS:               |                                 |
| FRONT                   | 35'                             |
| REAR                    | 30'                             |
| SIDES                   | 10'                             |
| LOT SIZE:               | 30,244 SQ. FT.<br>0.69 acre +/- |
| ALLOWABLE LOT COVERAGE: | 35 %                            |

|                              |        |
|------------------------------|--------|
| BUILDING HEIGHT              | 13'-0" |
| MATCH EXISTING FINISH FLOORS |        |

BUILDING AREA CALCS.

|                                        |               |
|----------------------------------------|---------------|
| EXISTING HOUSE                         | 3,551 SQ. FT. |
| EXIST. GARAGE                          | 1,410 SQ. FT. |
| EXIST. COV. PATIO                      | 703 SQ. FT.   |
| EXIST. COV. PORCH (CONVERTING TO LIV.) | 247 SQ. FT.   |
| EXIST. RAMADA                          | 370 SQ. FT.   |
| EXIST. FRONT PATIOS                    | 491 SQ. FT.   |
| SUB TOTAL                              | 6,772 SQ. FT. |

|                                |           |
|--------------------------------|-----------|
| NEW ADDITION(S)                |           |
| CONVERTING EXIT. PORCH TO LIV. | NO CHANGE |
| SUB TOTAL                      | NO CHANGE |

|                     |               |
|---------------------|---------------|
| TOTAL (NEW + EXIST) | 6,772 SQ. FT. |
|---------------------|---------------|

|                        |        |
|------------------------|--------|
| ALLOWABLE LOT COVERAGE | 35 %   |
| EXISTING LOT COVERAGE  | 22.4 % |
| NEW TOTAL LOT COVERAGE | 22.4 % |

LEGEND

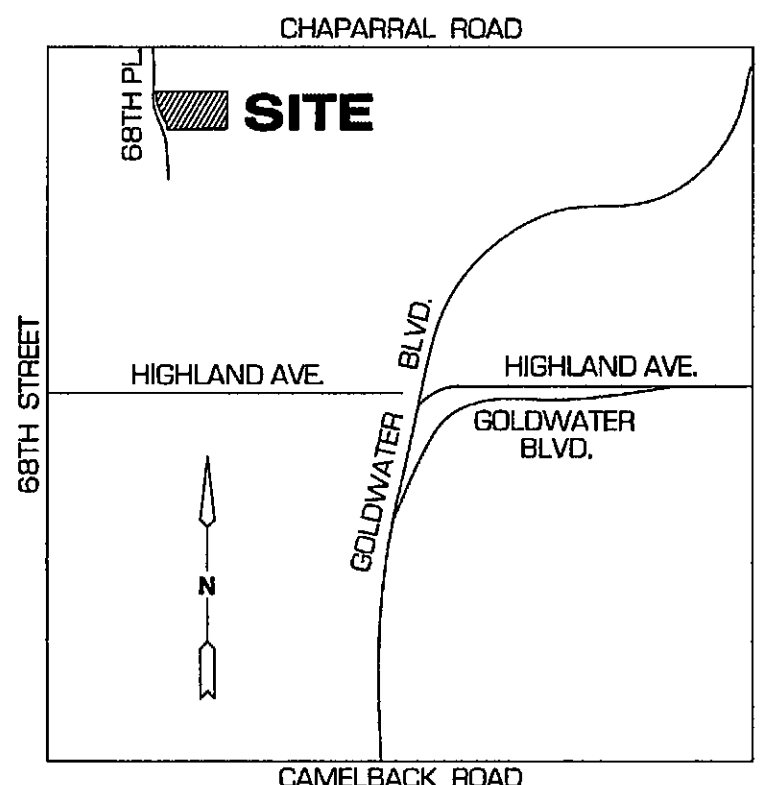
|  |                    |
|--|--------------------|
|  | ELECTRICAL SERVICE |
|  | WATER METER        |

SITE PLAN NOTES

1. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
2. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, ONTO AN ADJACENT LOT, OR TRACT OF LAND. (DSSPM 2-2.501.D.4.c.)
3. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP. ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDINGS. SHOW LOCATION OF THE EQUIPMENT ON SITE PLAN.
4. A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT. (ZO SEC. 5.012.A.6.c. AND SEC. 5.102.A.6.c.)
5. A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING. (ZO SEC. 5.012.A.6.b.)
6. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE.
7. TEMPORARY / SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL. (ZO SEC. 7.700, DSSPM 1-1.407)

VICINITY MAP

N.T.S.



| REVISIONS              |
|------------------------|
| 7/1/16 - CITY COMMENTS |
| 7/1/16 - CITY COMMENTS |
|                        |
|                        |

GENERAL NOTE  
TO AVOID MISTAKES DURING CONSTRUCTION, ANY DISCREPANCIES BETWEEN THE PLAN SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR IN WRITING BEFORE PROCEEDING. IN ORDER TO AVOID MISTAKES, READ & CHECK ALL PLANS & BID BEFORE CONSTRUCTION.

SITE PLAN

SDC 4829 LLC  
4829 N. 68th PL.  
SCOTTSDALE, AZ 85251

DATE DRAWN:  
7/1/2016

n design

hector navarro  
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SHEET NUMBER:

ASP

2-BA-2017  
02/22/2017