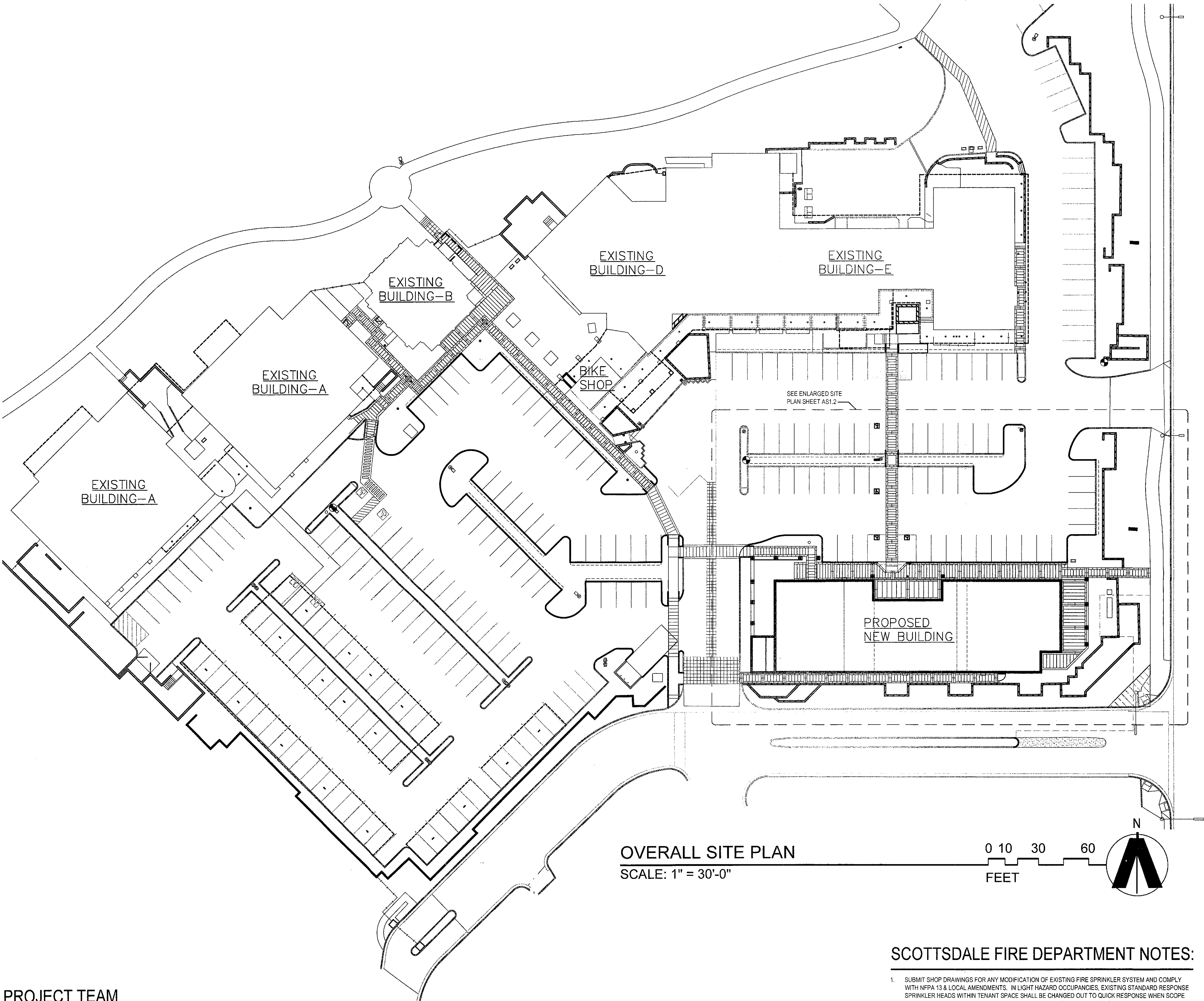


Final Plans

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PROJECT TEAM

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SCOTTSDALE FIRE DEPARTMENT NOTES:

- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF EXISTING FIRE SPRINKLER SYSTEM AND COMPLY WITH NFPA 13 & LOCAL AMENDMENTS. IN LIGHT HAZARD OCCUPANCIES, EXISTING STANDARD RESPONSE SPRINKLER HEADS WITHIN TENANT SPACE SHALL BE CHANGED OUT TO QUICK RESPONSE WHEN SCOPE OF WORK WILL ADD AND/OR RELOCATE 50% OR MORE OF SPRINKLER HEADS.
- ALL FIRE PROTECTION SYSTEMS SHALL REMAIN OPERATIONAL AND MODIFIED AS NECESSARY FOR CODE COMPLIANCE.
- INSTALL FIRE EXTINGUISHERS PER IFC. FIRE EXTINGUISHER QUANTITY & LOCATION(S) SHALL BE APPROVED BY FIRE INSPECTOR.
- EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH CITY ORDINANCE & IFC.
- NUMERICAL PREMISES ID MUST BE LEGIBLE FROM STREET OR DRIVE. MINIMUM 12" NUMBERS FOR BUILDING AND 4" NUMBERS FOR SUITE.
- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF FIRE ALARM SYSTEM (IF EXISTING) TO COMPLY WITH NFPA 72 & LOCAL CODES.
- NEW TYPE I HOOD SYSTEMS REQUIRE SUBMITTAL OF PLAN FOR AUTOMATIC HOOD EXTINGUISHING SYSTEMS IN COMPLIANCE WITH CURRENT U.L. 300 STDS. EXISTING TYPE I HOOD SYSTEMS SHALL BE UPGRADED TO COMPLY WITH CURRENT U.L. 300 STANDARDS.
- WAREHOUSE RACKS FOR STORAGE OVER 12' IN HEIGHT REQUIRE A SEPARATE SUBMITTAL FOR APPROVAL PRIOR TO INSTALLATION.
- SEPARATE SUBMITTAL & APPROVAL IS REQUIRED FOR MAG LOCKS.
- BULK COMPRESSED GAS STORAGE REQUIRES SEPARATE FIRE DEPARTMENT PERMIT.

PROJECT DATA

PROJECT LOCATION:
8300 NORTH HAYDEN ROAD
SCOTTSDALE, ARIZONA 85258

APN: 174-03-004H; 174-04-004P

PARCEL NUMBER:
174-03-004H
174-04-004P

PROJECT DESCRIPTION:
DEMOLITION OF EXISTING BUILDING AND PARKING AREAS. CONSTRUCTION OF A NEW SHELL BUILDING AND ASSOCIATED SITE IMPROVEMENTS PER 20-DR-2016.

EXISTING ZONING:
PNC

PROPOSED USE:
RETAIL / RESTURANT

AREA CALCULATIONS:
SITE AREA: 224,958 S.F. (5.16 ACRES)

BUILDING AREA: 9,268 S.F.
BUILDING COVERAGE: %

LANDSCAPE AREA: S.F.
LANDSCAPE COVERAGE: %

REQUIRED PARKING: 207 SPACES
REQUIRED PARKING (MIXED-USE 1/300 S.F.): 9.4 SPACES
REQUIRED H.C. PARKING: 225 SPACES

PROVIDED PARKING: 10 SPACES
PROVIDED H.C. PARKING: 235 SPACES
TOTAL PARKING PROVIDED: 245 SPACES

BICYCLE SPACES REQUIRED: (> 40 CAR SPACES) 24 SPACES
BICYCLE PARKING PROVIDED: 24 SPACES

APPLICABLE CODES:
2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2011 NATIONAL ELECTRIC CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL FIRE CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

OCCUPANCY TYPE: 'A-2' OCCUPANCY

CONSTRUCTION TYPE: TYPE V-B, FULLY SPRINKLED

BASE AREA ALLOWABLE (PER TABLE 603): 6,000 S.F.
BASE HEIGHT ALLOWABLE (PER TABLE 603): 1 STORIES, 40 FEET

ALLOWABLE AREA MODIFICATION: 28,500 S.F.
AREA MODIFICATION CALCULATION: $6,000 + [6,000 \times .75] + [6,000 \times 3]$
 $6,000 + 4,500 + 18,000$
FRONTAGE INCREASE CALCULATION: $[100/100-.25] 30/30 = .75$

PROVIDED BUILDING AREA: 9,268 S.F.
PROVIDED BUILDING HEIGHT: 1 STORY, 32 FEET MAX HEIGHT

OCCUPANCY LOAD: OCCUPANTS

EXITS REQUIRED: 2 EXITS
EXITS PROVIDED: 2 EXITS

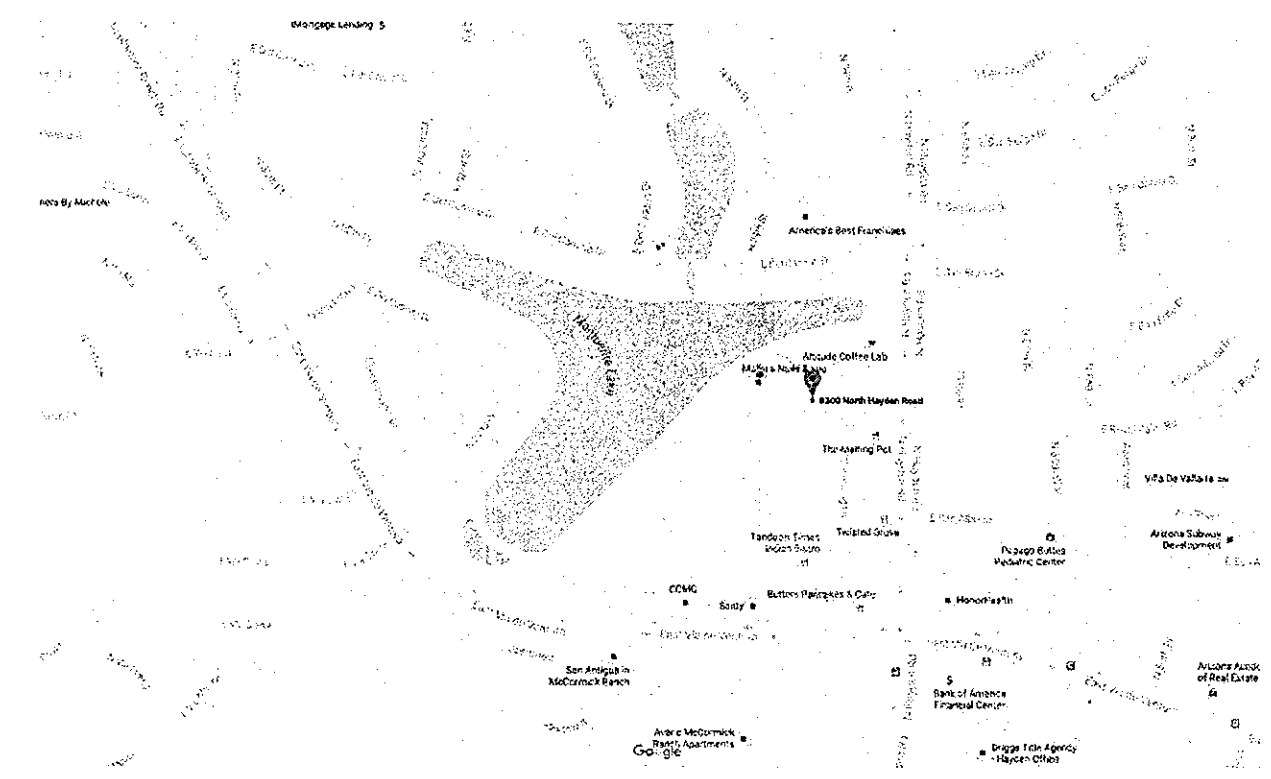
EXIT WIDTH REQUIRED: A-2 = 250' MAX.
EXIT WIDTH PROVIDED:

COMMON PATH OF EGRESS TRAVEL WITH SPRINKLER SYSTEM: A-2 = 250' MAX.

FIRE RESISTANCE RATING REQUIREMENTS: (PER IBC 2012 TABLE 601)

BUILDING ELEMENT	TYPE V-B
PRIMARY STRUCTURAL FRAME	0 HOURS
BEARING WALLS	0 HOURS
EXTERIOR	0 HOURS
INTERIOR	0 HOURS
NONBEARING WALLS AND PARTITIONS EXTERIOR	0 HOURS
NONBEARING WALLS AND PARTITIONS INTERIOR	0 HOURS
FLOOR CONSTRUCTION	0 HOURS
ROOF CONSTRUCTION	0 HOURS

APPROVED
FINAL PLANS PLANNING
DATE 5-4-17
APPROVED BY [Signature]



VICINITY MAP

SCALE: N.T.S.

MERCADO DEL LAGO

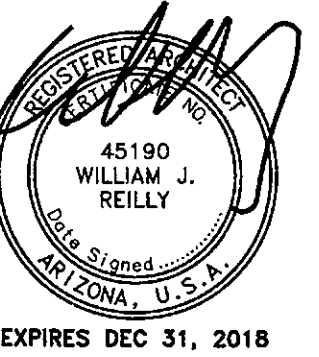


8300 N HAYDEN ROAD, SCOTTSDALE ARIZONA 85258

3/31/2017 1ST REVIEW CITY COMMENTS

APMI
ARCHITECTURE
PLANNING
INTERIORS

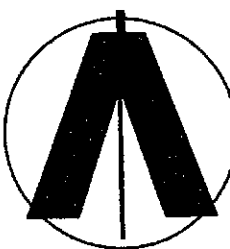
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WWW.APMI.COM



EXPIRES DEC 31, 2018

DRAWN KDS
DATE 11.NOVEMBER.2016
PROJECT 16104.05

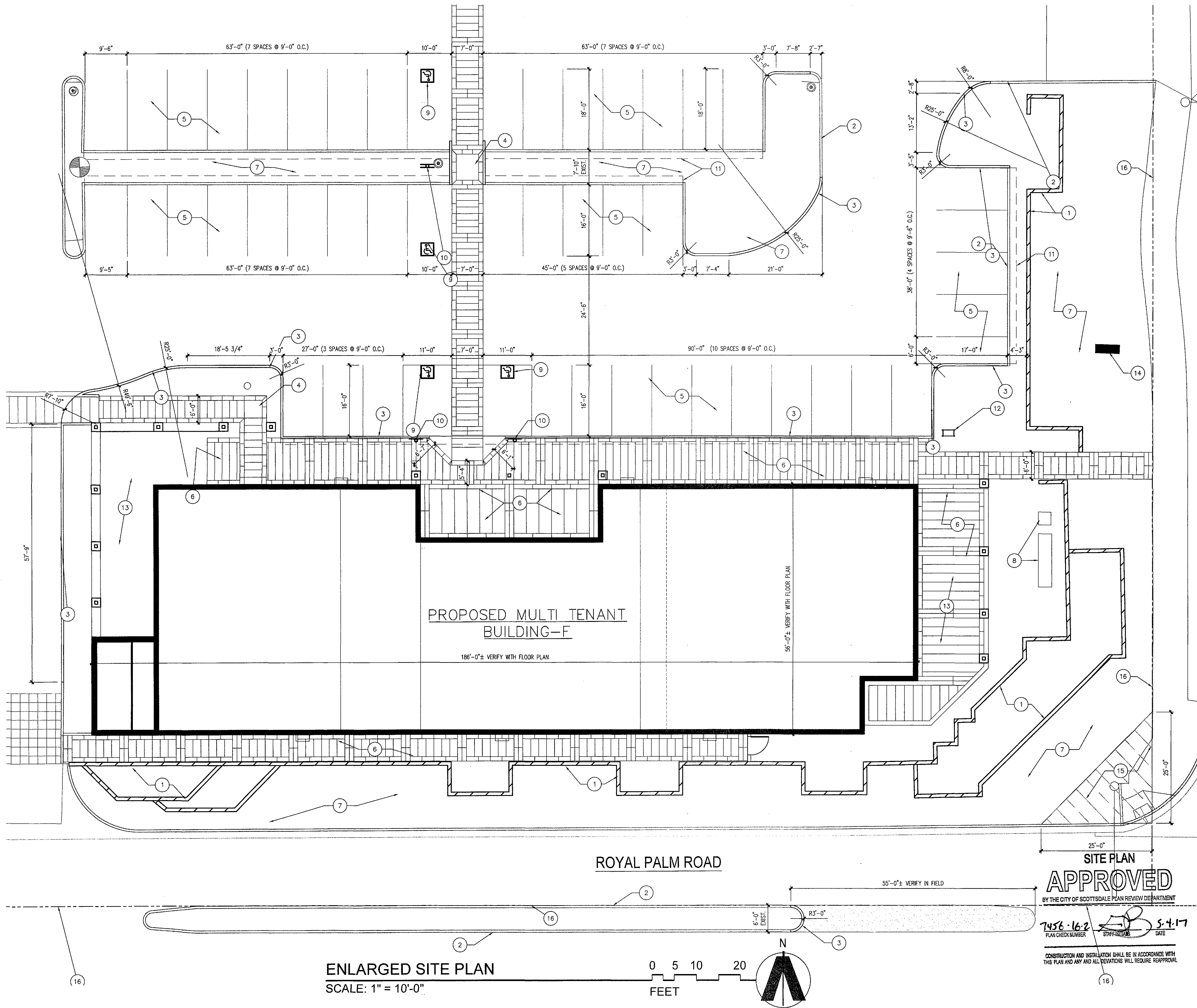
OVERALL
SITE PLAN



AS1.1

20-DR-2016; P.C. # 7450-16-2

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- # KEYNOTES
1. EXISTING SITE WALL TO REMAIN. PROTECT IN PLACE.
 2. EXISTING PARKING AND CURB TO REMAIN. PROTECT IN PLACE.
 3. NEW CONCRETE CURB PER SITE IMPROVEMENT PACKAGE. SAWCUT PAVING 12" BEYOND CURB AS REQUIRED FOR CURB INSTALLATION. PATCH PAVING AND COMPACTED BASE BACK TO MATCH EXISTING.
 4. EXPOSED AGGREGATE WITH SEEDED GLASS AGGREGATE. VERIFY EXACT PATTERN AND COLORS WITH OWNER AND ARCHITECT.
 5. NEW PARKING STRIPING ON EXISTING PAVING.
 6. NEW EXPOSED AGGREGATE CONCRETE PATTERN, VERIFY EXACT PATTERN AND COLORS WITH OWNER AND ARCHITECT.
 7. EXISTING LANDSCAPE TO REMAIN - PAINT WALLS TO MATCH EXISTING COLOR SCHEME.
 8. EXISTING SITE ELECTRICAL EQUIPMENT TO REMAIN.
 9. NEW INTERNATIONAL ACCESSIBILITY SIGNAGE PAINTED AT EACH ACCESS PARKING STALL. SEE DETAIL 7/ASI.3.
 10. PROVIDE AND INSTALL NEW ACCESSIBLE PARKING SIGNAGE. SEE DETAIL 8/ASI.3.
 11. 2'-0" PARKING OVERHANG.
 12. PROVIDE AND INSTALL BICYCLE RACK PER QTY OF SCOTTSDALE DETAIL NO. 2285. SEE DETAIL 11/ASI.3.
 13. PROPOSED PATIO.
 14. EXISTING MONUMENT SIGN.
 15. 25'-0" TRAFFIC CONTROL EASEMENT.
 16. EXISTING PROPERTY LINE.

GENERAL NOTES

1. ALL LANDINGS AT DOORS TO BE LEVEL WITH FINISH FLOOR. ALL LANDINGS AND CHANGES OF DIRECTION ARE TO HAVE 2% MAXIMUM SLOPE IN ANY DIRECTION.
2. SIDEWALKS TO HAVE 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS SLOPE. PROVIDE 2% MAXIMUM SLOPE IN ANY DIRECTION AT ALL CHANGES IN DIRECTION.
3. AT ADA PARKING SPACES AND ACCESS AISLE, PROVIDE 2% MAXIMUM SLOPE IN ANY DIRECTION.
4. PROVIDE #4 DOWELS SMOOTH JOINT 12" O.C. AT ALL DOOR LANDINGS TO THE SIDEWALK TO BUILDING SLAB. EXTEND 18" INTO SIDEWALK AND 8" INTO BUILDING SLAB. LOCATE AT ALL AREAS WHERE SIDEWALK DIRECTLY ABUTS BUILDING.
5. SEE HARDSCAPE PLANS FOR CONCRETE PATTERN.
6. SITE DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITH THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 10 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
7. TEMPORARY / SECURITY FENCING THAT IS REQUIRED OR IS NOT REQUIRED PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
8. THE TEMPORARY / SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY / SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' INSPECTION SERVICES DIVISION.
9. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
10. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
11. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
12. FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
13. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
14. PATIO UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
15. ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UTILITY BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF TALLEST UTILITY. (DETAILS ARE STILL REQUIRED)
16. ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
17. NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
18. ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.

MERCADO DEL LAGO



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3/31/2017 1ST REVIEW CITY COMMENTS

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SCOTTSDALE, ARIZONA 85258



EXPIRES DEC 31, 2018

DRAWN KDS
DATE 11.NOVEMBER.2016
PROJECT 16104.05

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SITE PLAN

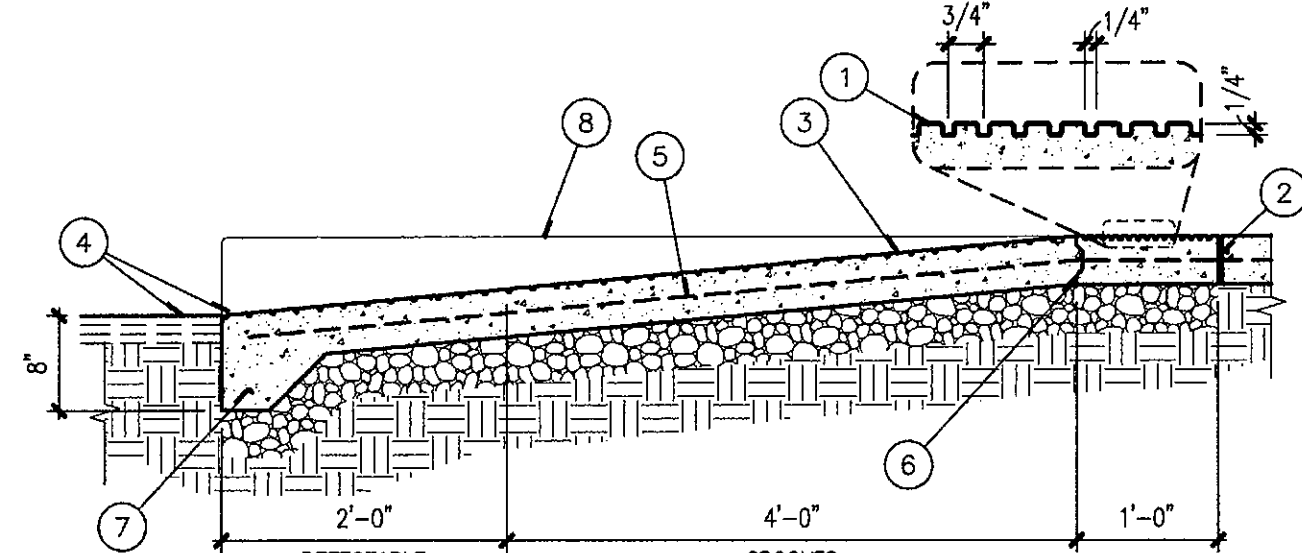
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20-DR-2016; P.C. # 7456-16-2

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KEY NOTES

1. CONCRETE RAMP - 1/4" DEEP SCORE JOINTS AT 3/4" O.C. (TACTILE WARNING).
2. 3/8" EXPANSION JOINT - RECESS 1/2" BELOW TOP OF SLAB AND FILL WITH TRAFFIC DUTY SEALANT.
3. CONCRETE RAMP.
4. TOP OF PAVING AND RAMP WITH 1/2" MAX. LIP - BEVEL UP AT 24° ANGLE.
5. 4" CONCRETE RAMP WITH #3 REINF. BAR AT 16" O.C. BOTH WAYS.
6. CONTINUOUS KEY JOINT.
7. #5 CONTINUOUS REBAR - DOWEL INTO CURB EACH SIDE.
8. CURB BEYOND.



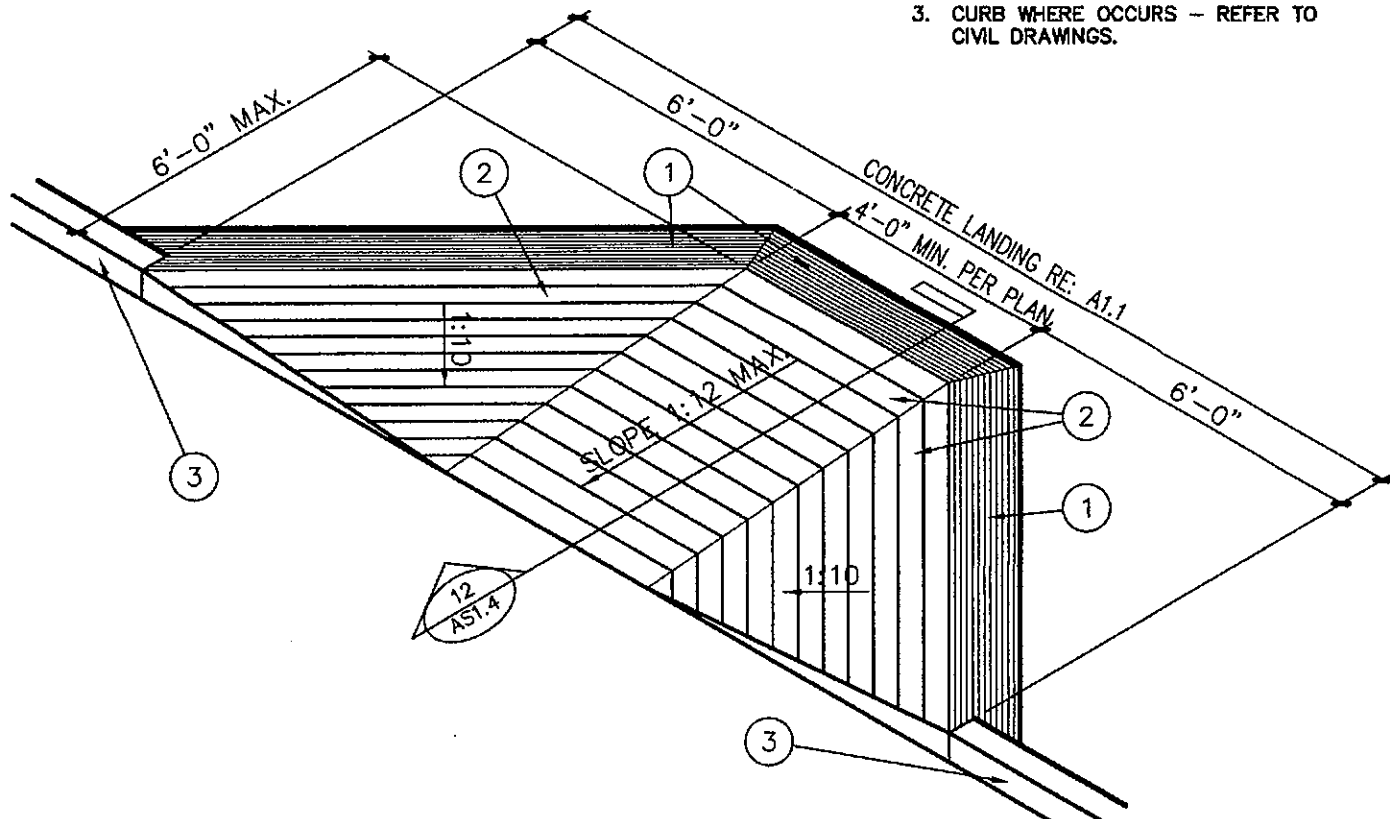
NOTES:
PROVIDE DETECTABLE WARNING ON CONCRETE RAMP, USE TRUCATED DOME SPECIFICATIONS (ADAAG 4.29.2).

12 RAMP SECTION

SCALE: 3/4" = 1'-0"

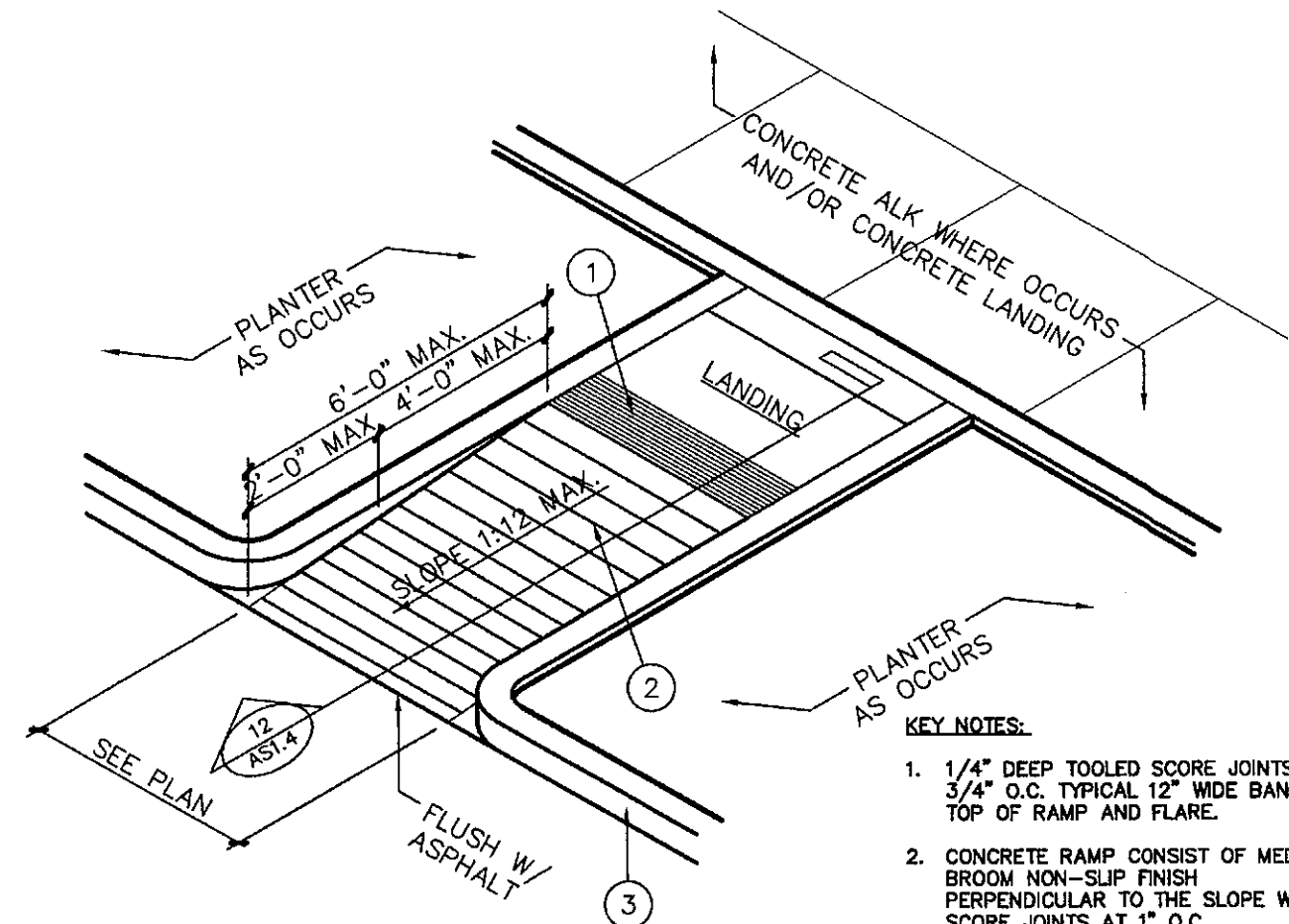
KEY NOTES:

1. 1/4" DEEP TOOLED SCORE JOINTS AT 3/4" O.C. TYPICAL 12" WIDE BAND AT TOP OF RAMP AND FLARE.
2. CONCRETE RAMP CONSIST OF MEDIUM BROOM NON-SLIP FINISH PERPENDICULAR TO THE SLOPE WITH SCORE JOINTS AT 1" O.C. PERPENDICULAR TO THE SLOPE.
3. CURB WHERE OCCURS - REFER TO CIVIL DRAWINGS.



11 CONCRETE RAMP DETAIL

SCALE: 3/8" = 1'-0"



KEY NOTES:

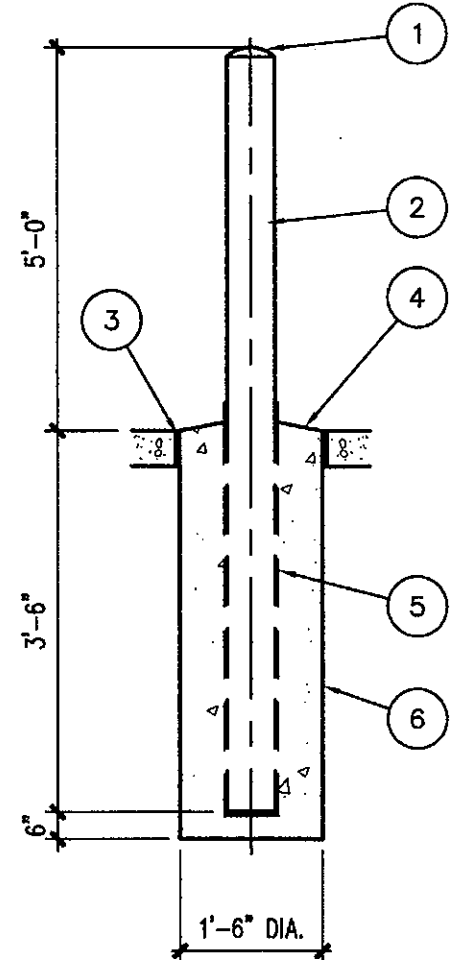
1. 1/4" DEEP TOOLED SCORE JOINTS AT 3/4" O.C. TYPICAL 12" WIDE BAND AT TOP OF RAMP AND FLARE.
2. CONCRETE RAMP CONSIST OF MEDIUM BROOM NON-SLIP FINISH PERPENDICULAR TO THE SLOPE WITH SCORE JOINTS AT 1" O.C. PERPENDICULAR TO THE SLOPE.
3. CURB WHERE OCCURS - REFER TO CIVIL DRAWINGS.

10 CONCRETE RAMP DETAIL

SCALE: 3/8" = 1'-0"

KEY NOTES:

1. ROUNDED CONCRETE TOP
2. 6" DIAMETER CONCRETE FILLED STEEL PIPE - PAINT OSHA YELLOW
3. 1/2" PRE MOLDED EXPANSION JOINT WHERE CONCRETE OCCURS
4. 1" CROWN
5. WRAP POST AT BOTTOM AND ALL AROUND UP TO 2" ABOVE CROWN OF CONCRETE FOOTING WITH UNDERGROUND ELECTRICAL TAPE
6. CONCRETE FOOTING

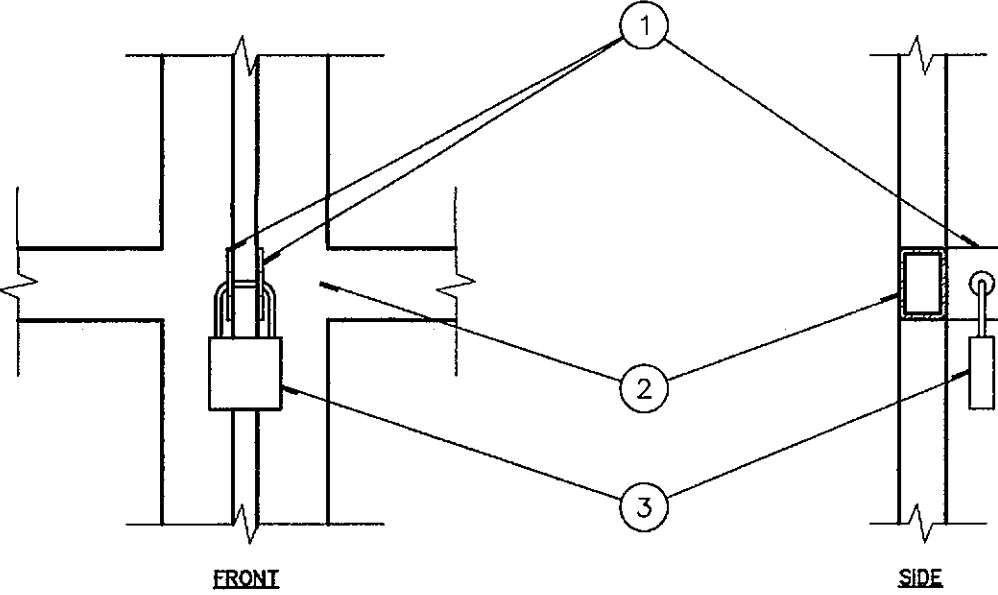


9 PIPE BOLLARD DETAIL

SCALE: 1/2" = 1'-0"

KEY NOTES

1. (2) 1/4"x3"x3" STEEL PLATE WITH 1" HOLE.
2. STEEL GATE ASSEMBLY.
3. LOCK BY OWNER (TYP.).

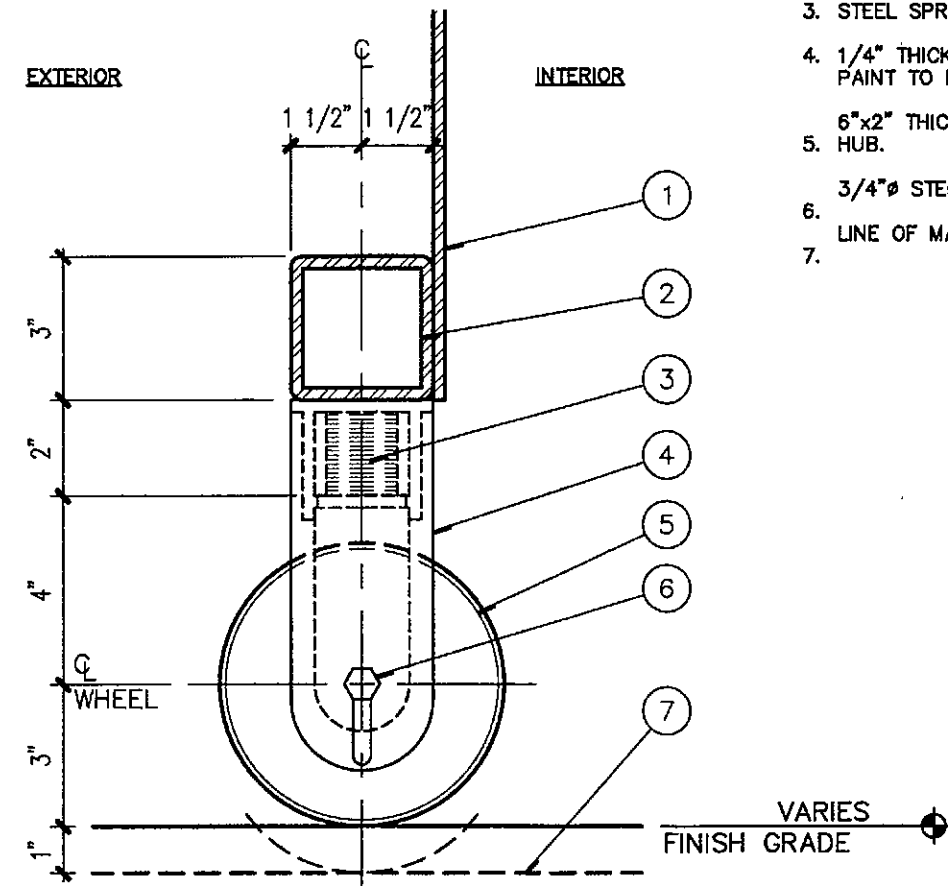


8 LOCKING PLATE DETAIL

SCALE: 1 1/2" = 1'-0"

KEY NOTES

1. 18 GAUGE STEEL PLATE.
2. 3"x3" TS FRAME.
3. STEEL SPRING.
4. 1/4" THICK STEEL SUPPORT BRACKET PAINT TO MATCH FRAME.
5. HUB.
6. 6"x2" THICK RUBBER WHEEL WITH STEEL.
7. 3/4" STEEL AXLE BOLT.
8. LINE OF MAX. DROP.

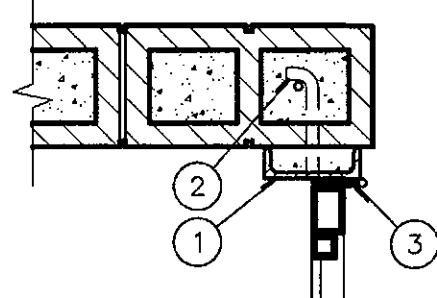
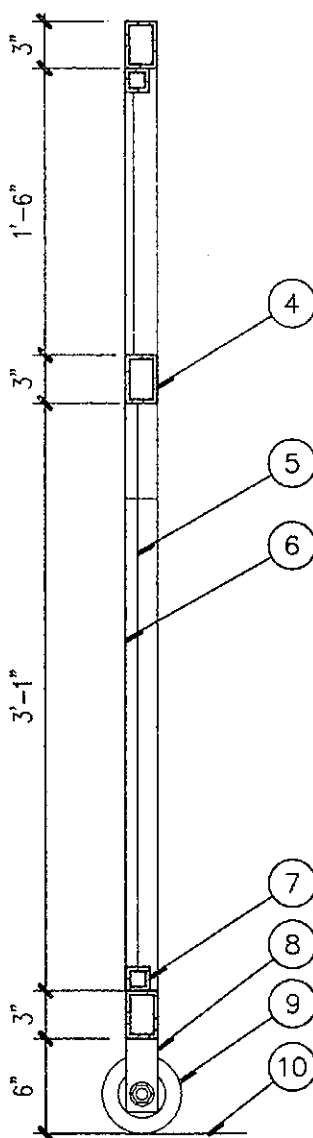


7 GATE WHEEL ASSEMBLY - SECTION

SCALE: 3" = 1'-0"

KEY NOTES

1. CHANNEL, C8x10.5 SOLID GROUTED - ATTACH TO MASONRY WALL WITH 3/4" A.B. AT 8" O.C. PLUS WELD A.B. TO CHANNEL.
2. 8x8x16 INTEGRAL COLORED SINGLE SCORE MASONRY WITH SANDBLASTED FINISH - #4 VERT. REBAR AT ENDS AND 24" O.C.
3. 2"x3" STEEL TUBE FRAME. PAINTED.
4. 3/4" STEEL SQUARE PICKETS - PAINTED AND EQUALLY SPACED. SEE DETAIL 3/2.
5. 18 GAUGE GALV. SHEET METAL BACK PANEL - PAINTED. WELD TO 2"x3" T.S. FRAME.
6. 1 1/2" x 1 1/2" STEEL TUBE FRAME. WELD TO 2"x3" OUTER FRAME.
7. 1/4" BENT STEEL PLATE BRACKET EACH SIDE OF WHEEL WITH HOLES FOR AXLE - WELD TO FRAME.
8. 5" SOLID RUBBER TIRE WITH STEEL WHEEL AND BALL BEARING HUB.
9. LINE OF FINISH GRADE.
- 10.

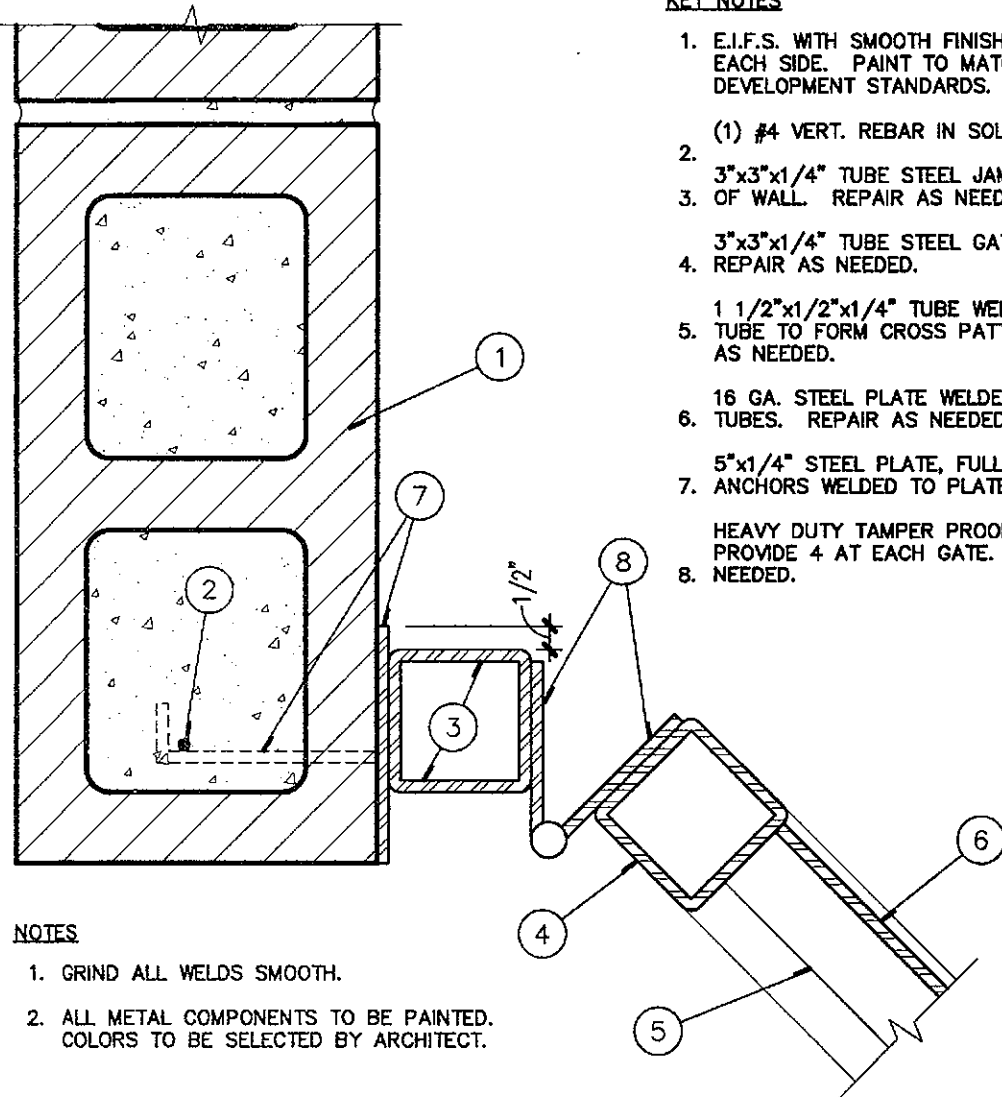


6 REFUSE GATE DETAILS

SCALE: 1" = 1'-0"

KEY NOTES

1. E.I.F.S. WITH SMOOTH FINISH OVER 8" CMU SCREEN WALL, EACH SIDE. PAINT TO MATCH MAIN BUILDING AND DEVELOPMENT STANDARDS. SEE ELEVATIONS.
2. (1) #4 VERT. REBAR IN SOLID GROUTED CELL.
3. 3"x3"x1/4" TUBE STEEL JAMB WITH STL. CAP FULL HEIGHT OF WALL. REPAIR AS NEEDED.
4. 3"x3"x1/4" TUBE STEEL GATE FRAME WELD CONT. TO PLATE. REPAIR AS NEEDED.
5. 1 1/2"x2"x1/4" TUBE WELDED TO PERIMETER FRAME.
6. TUBE TO FORM CROSS PATTERN. SEE ELEVATION. REPAIR AS NEEDED.
7. 5"x1/4" STEEL PLATE, FULL HEIGHT OF WALL WITH MASONRY TUBES. REPAIR AS NEEDED.
8. HEAVY DUTY TAMPER PROOF STEEL BALL BEARINGS HINGE. PROVIDE 4 AT EACH GATE. EQUALLY SPACED. REPAIR AS NEEDED.



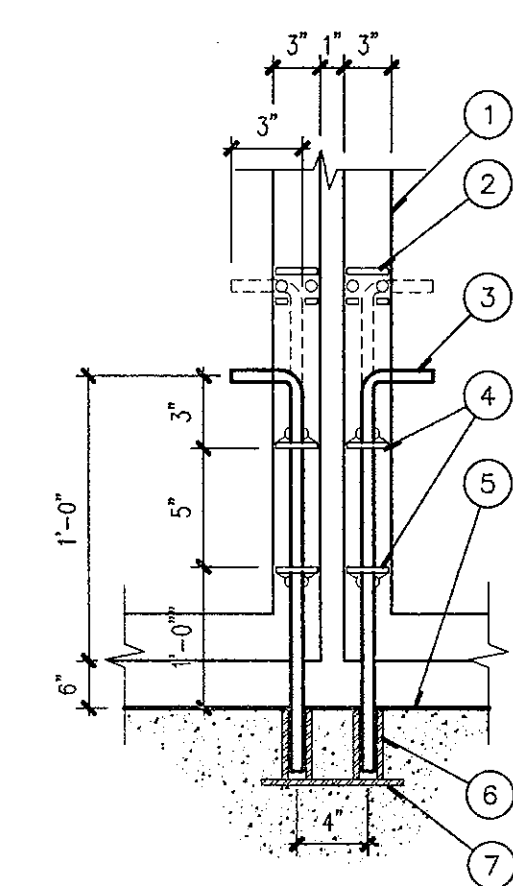
NOTES:
1. GRIND ALL WELDS SMOOTH.
2. ALL METAL COMPONENTS TO BE PAINTED. COLORS TO BE SELECTED BY ARCHITECT.

5 GATE JAMB

SCALE: 3" = 1'-0"

KEY NOTES

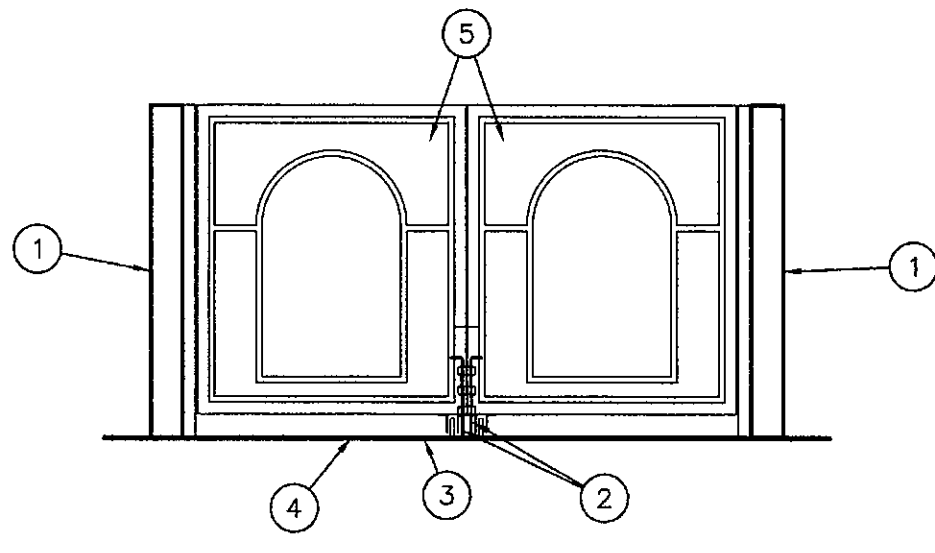
1. STEEL GATE ASSEMBLY.
2. 1/4" STEEL PLATE CLIP TO ACCEPT CANE BOLT IN OPEN POSITION.
3. CANE BOLT SHOWN IN OPEN POSITION.
4. 1/4" STEEL PLATE CLIP TO ACCEPT CANE BOLT.
5. PAVING.
6. 1-1/2" I.D. STEEL PIPE CAST INTO CONCRETE PAVING.
7. 4"x1/4" STEEL PLATE IMBED.



APPROVED
FINAL PLANS
DATE 5-17-17
APPROVED BY

KEYED NOTES

1. E.I.F.S. WITH SMOOTH FINISH OVER 8" CMU SCREEN WALL, EACH SIDE. PAINT TO MATCH MAIN BUILDING AND DEVELOPMENT STANDARDS. SEE ELEVATIONS.
2. CANE BOLT AND GATE WHEEL.
3. CONCRETE SLAB. SEE REFUSE ENCLOSURE PLAN, 1/AS1.4.
4. MAINTAIN LEVEL GRADE FOR GATE OPENING.
5. REFUSE ENCLOSURE GATE AND HARDWARE TO MATCH DEVELOPMENT STANDARD. PAINT TUBE STEEL FRAMES AND THE BACKGROUND STEEL PLATE.



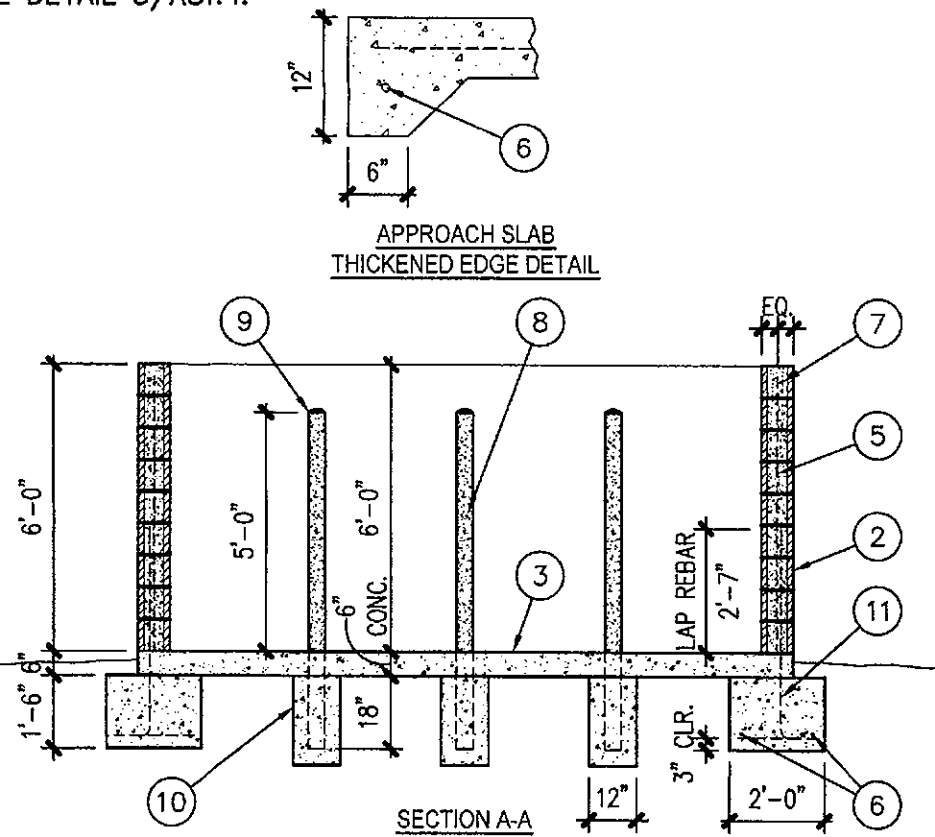
FRONT ELEVATION

3 TRASH ENCLOSURE GATE

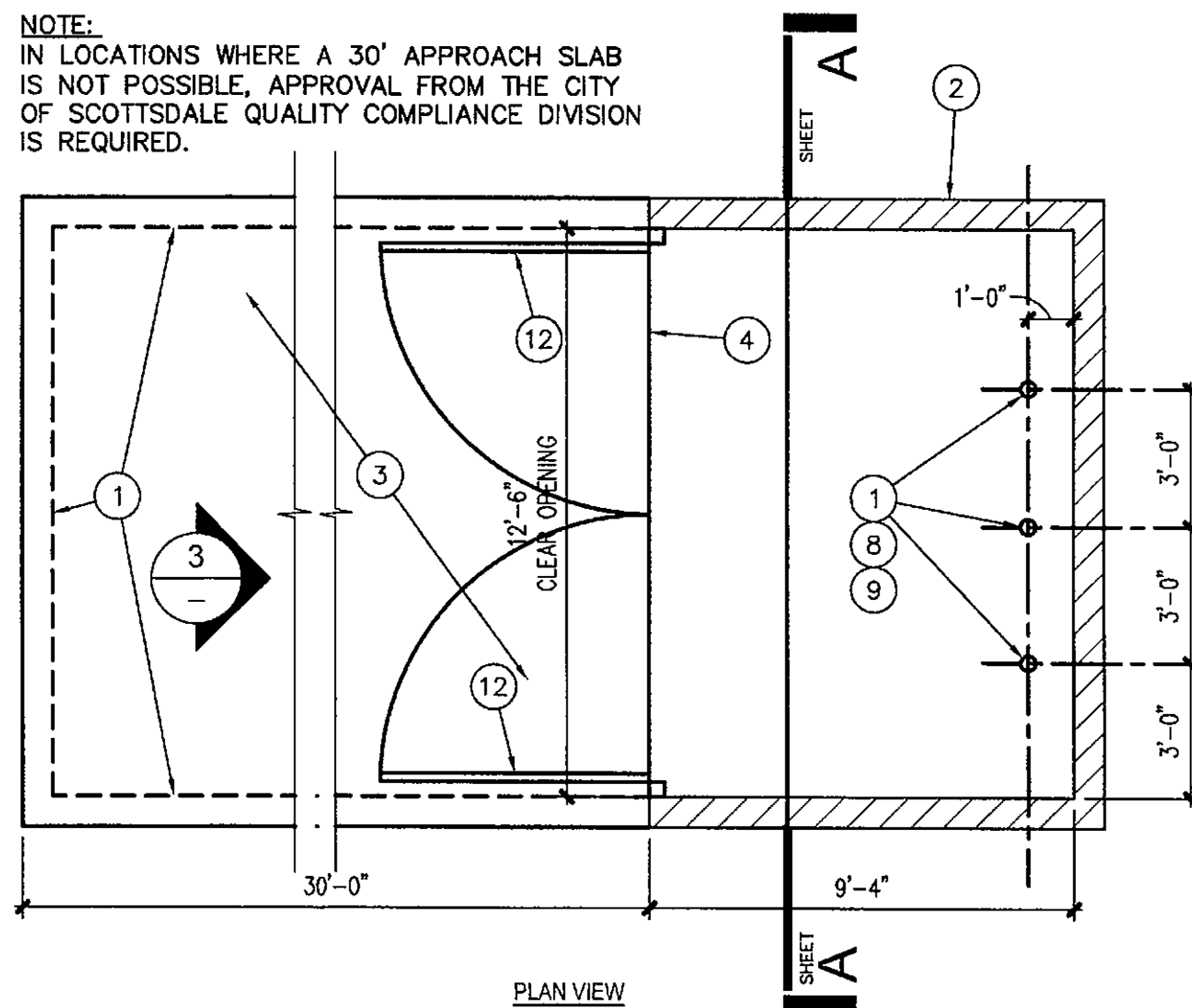
SCALE: 1/4" = 1'-0"

KEY NOTES

1. THICKENED SLAB EDGE. SEE DETAIL.
2. 8" CMU WITH 9 GA. LADDER JOINT REINFORCEMENT @ 6" O.C. SOLID GROUT ALL CELLS.
3. 30" X 14" X 6" THICK CONCRETE APPROACH SLAB WITH THICKENED EDGES, CLASS "B" CONCRETE W / 6" X 6", 1.4 X 1.4 WWF, ON COMPACTED SUBGRADE. APPROACH SLAB SHALL HAVE A CONSTANT SLOPE WHICH MATCHES THE ENCLOSURE SLAB.
4. 1/2" EXPANSION JOINT, ASTM D-1751 PER MAG SECTION 729.
5. #5 @ 40" O.C.
6. (2) #4 CONTINUOUS
7. #4 CONTINUOUS IN BOND BEAM
8. 6" SCHEDULE 40 GALVANIZED STEEL BOLLARD 12" FROM WALL TYP. SEE DETAIL9/AS1.4.
9. FILL BOLLARD WITH GROUT AND CROWN TOP - TYPICAL
10. CONCRETE POST BASE. SEE DETAIL 9/AS1.4.
11. MATCH DOWELS TO VERTICAL REINFORCEMENT AT HOOKS IN FOOTING.
12. GATE. SEE DETAIL 3/AS1.4.



NOTE:
IN LOCATIONS WHERE A 30' APPROACH SLAB IS NOT POSSIBLE, APPROVAL FROM THE CITY OF SCOTTSDALE QUALITY COMPLIANCE DIVISION IS REQUIRED.



PLAN VIEW

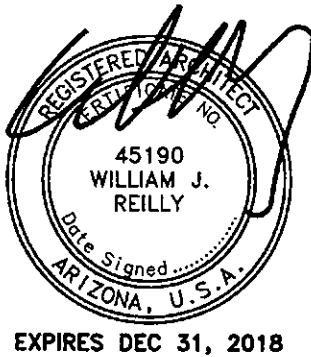
1 REFUSE ENCLOSURE

SCALE: 1/4" = 1'-0"

CITY OF SCOTTSDALE STANDARD DETAILS #2146-1

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PROJECT 16104.05

SITE
DETAILS

AS1.4

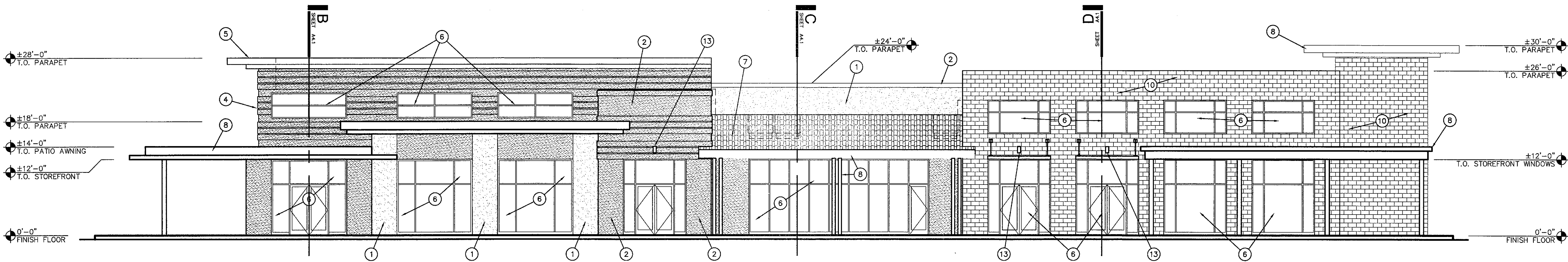
8300 N HAYDEN ROAD, SCOTTSDALE ARIZONA 85258

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SCOTTSDALE, ARIZONA 85258

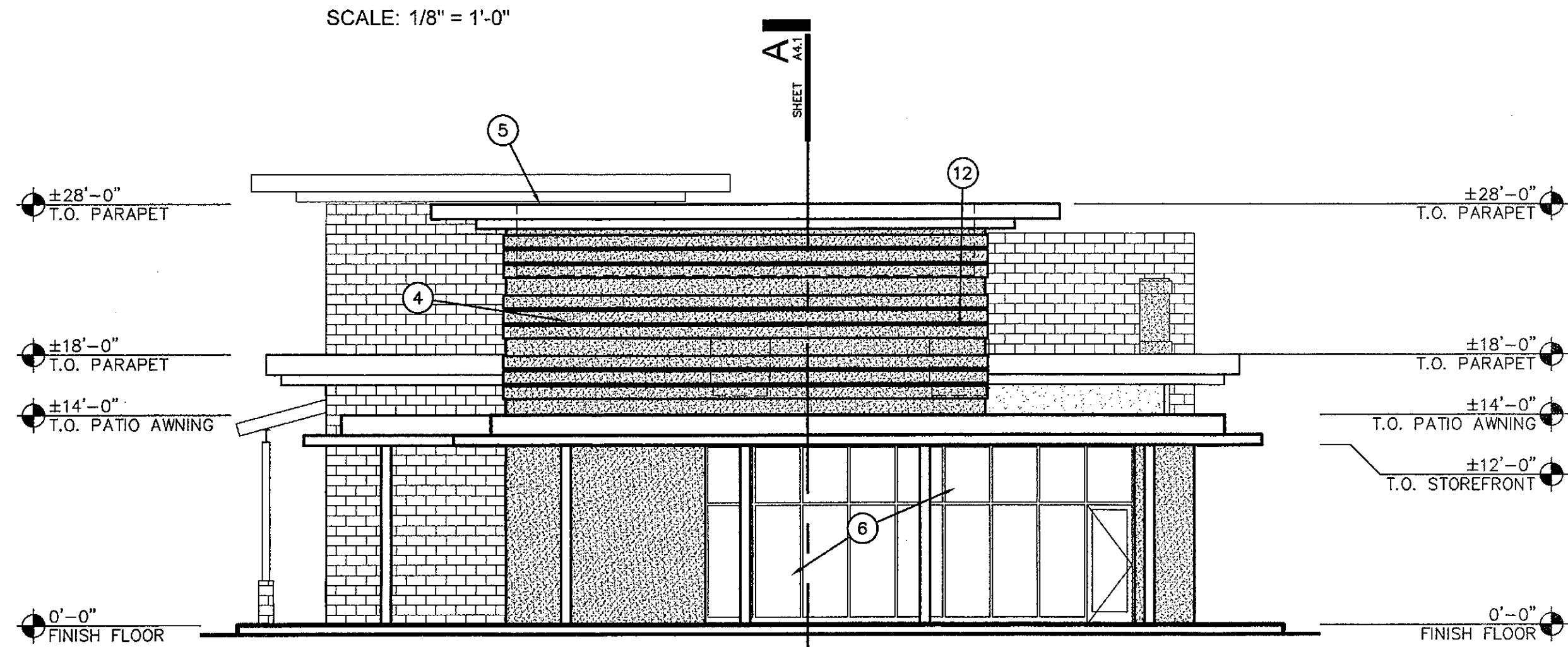
20-DR-2016; P.C. # 7456-16-2

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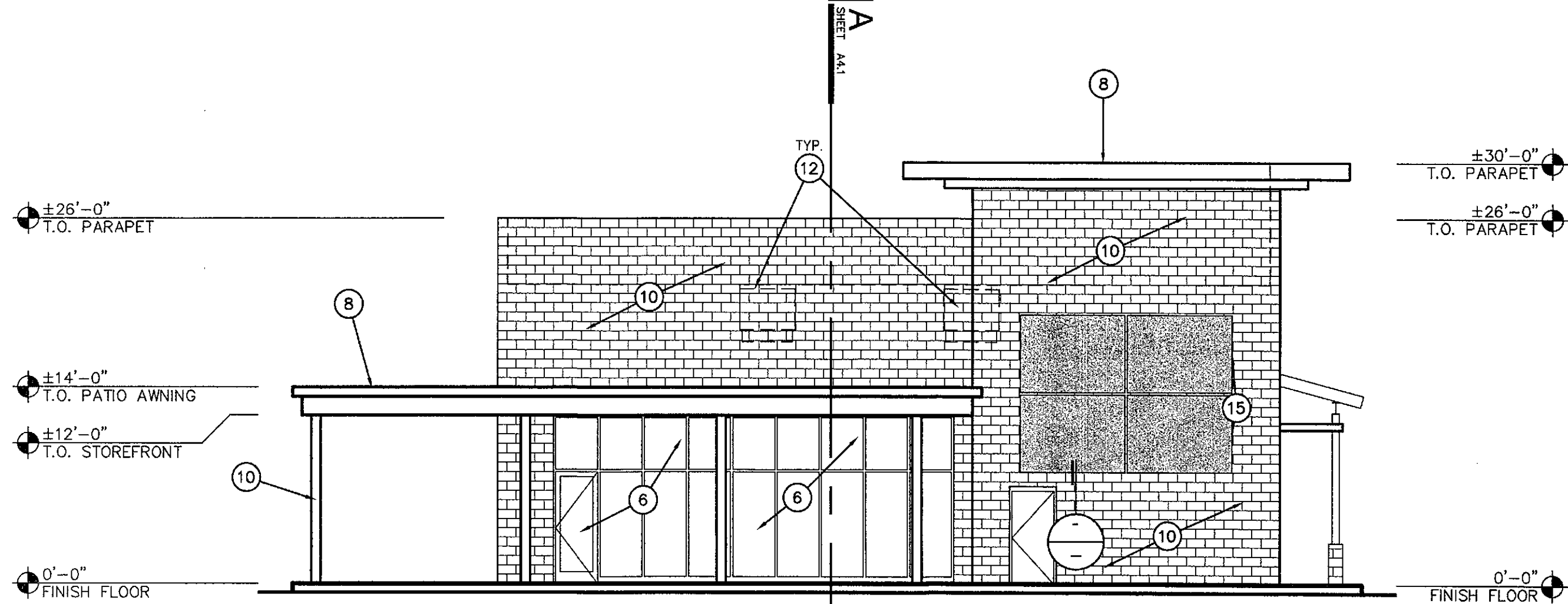
NORTH BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



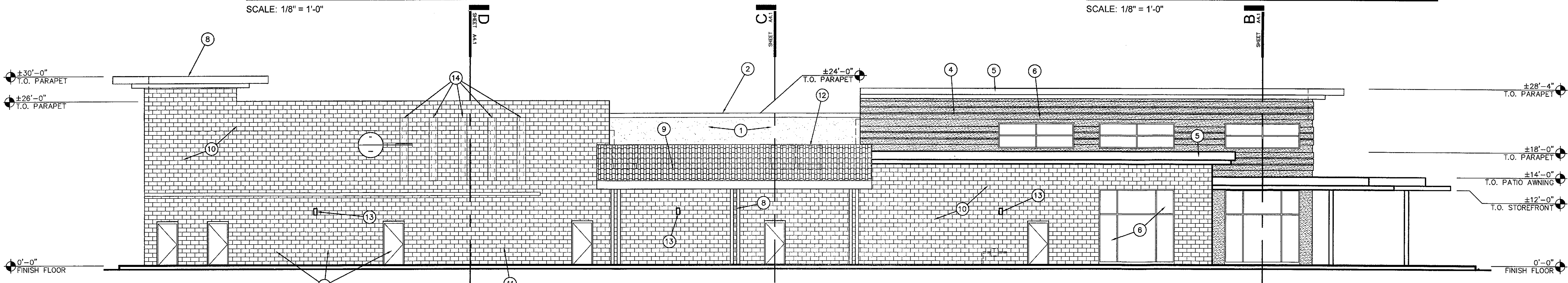
EAST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



WEST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

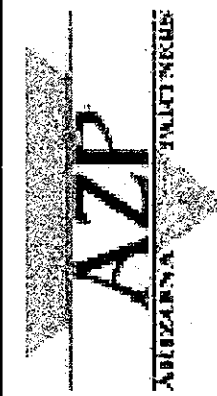
ARCHITECTURAL ELEVATIONS
APPROVED
BY THE CITY OF SCOTTSDALE PLANNING DEPARTMENT
20-DR-16 CASE NUMBER
5-4-17 DATE
APPROVED BY

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE RE-APPROVAL

○ KEYNOTES

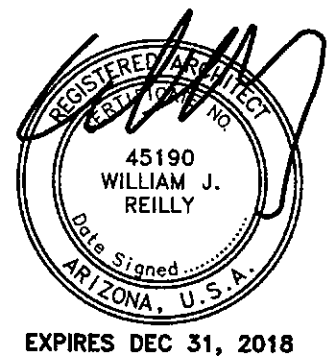
1. STUCCO / EIFS: PAINT P-1: GLIDDEN "SAND MOTIF"
2. STUCCO / EIFS: PAINT P-2: PAINT PPG "MOSQUITO"
3. STUCCO / EIFS: PAINT P-3: DUNN EDWARDS "RIVER BED"
4. WALL ACCENT DETAIL - NATURAL COLOR. 8" BOARD FINISH
5. METAL TRIMMING ACCENTS AND FIXTURES - SATIN CHROME FINISH
6. STOREFRONT WITH SOLAR GRAY TINT GLAZING - FACTORY FINISH FRAME TO MATCH - PAINT "P-3"
7. RED TILE ROOF - MATCH EXISTING ROOFING AT CENTER
8. METAL CANOPY STRUCTURE - PAINT "P-4"
9. METAL CANOPY STRUCTURE - PAINT "P-3"
10. MASONRY BLOCK (SPLIT-FACE) - COLOR TO MATCH DAVIS COLOR TILE RED 1117 AND SOUTHERN BLUSH 10134 60% / 40% MIX.
11. GREEN SCREEN WITH CLIMBING VINE CATSCLAW OR SIMILAR
12. SCREENED MECHANICAL EQUIPMENT PER 1.904.A.4 OF ZONING ORDINANCE - ALL MECHANICAL EQUIPMENT IS BELOW HORIZONTAL PROJECTION OR LOWEST PARAPET
13. PROPOSED EXTERIOR WALL MOUNTED LIGHT FIXTURE
14. MASONRY BLOCK (SMOOTH-FACE) - COLOR TO MATCH DAVIS COLOR TILE RED 1117 AND SOUTHERN BLUSH 10134 60% / 40% MIX.
15. DECORATIVE METAL PANEL. SEE DETAIL _/_

MERCADO DEL LAGO



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EXTERIOR
ELEVATIONS

A3.1

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COMMON AREA
PALM COURT
BR. 305, PG. 7, M.C.R.

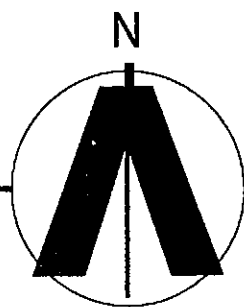
1987-01-11/0009 M.C.R.

A.P.N. 174-04-9288
P7 VILLAGE AT HAYDEN LLC
2014-0912781 M.C.R.

ELECTRICAL SITE LIGHTING PLAN

SCALE: 1" = 30'

30 0 15 30



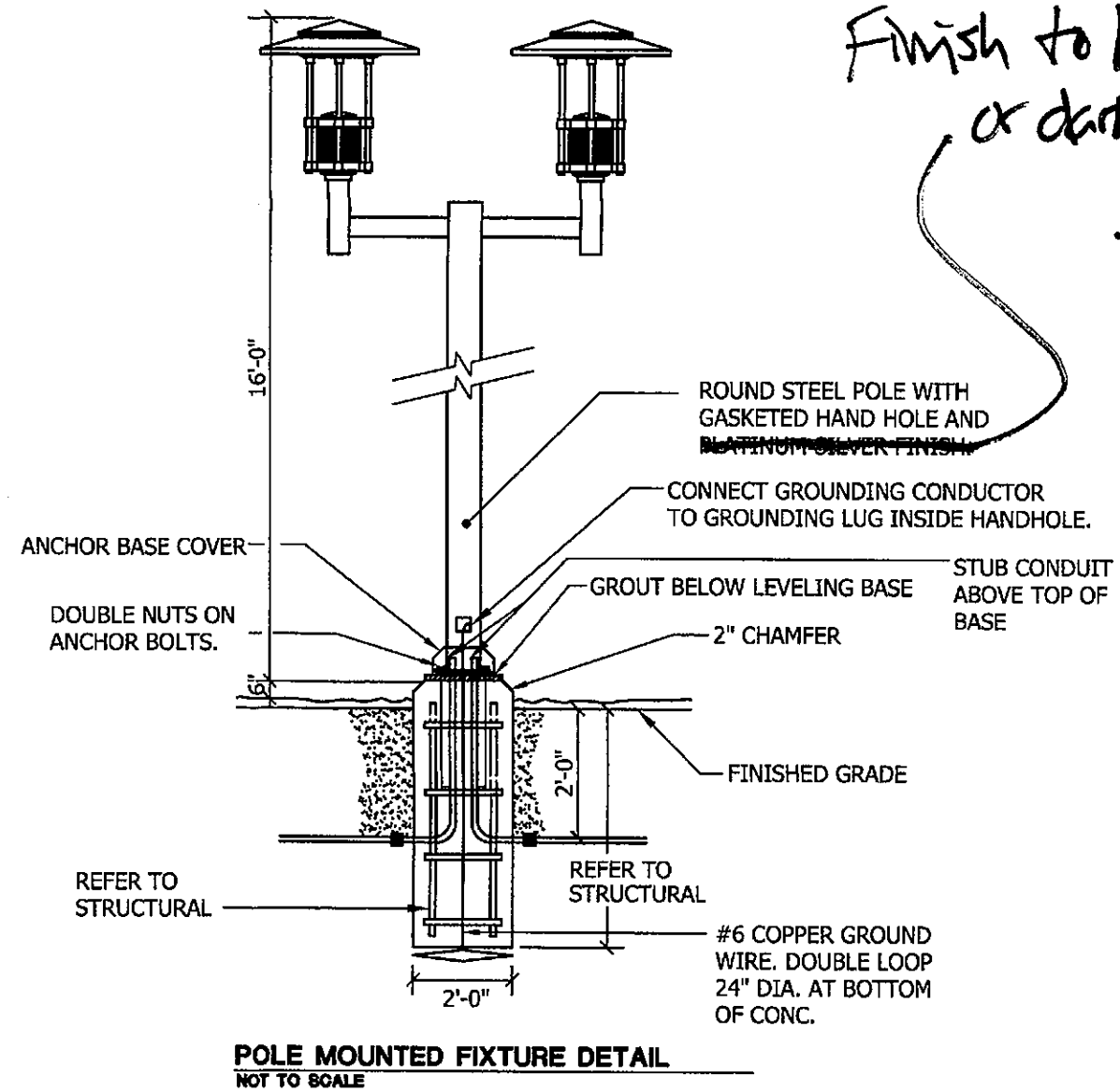
KEYED NOTES: ○

1. PROVIDE IN-GRADE J-BOX FOR SITE LIGHTING. COORDINATE WITH LANDSCAPE CONTRACTOR FOR LOCATION WITH-IN LANDSCAPE AREA.
2. ROUTE SITE LIGHTING CIRCUITS THROUGH LIGHTING CONTROL CONTRACTOR. REFER TO LIGHTING CONTROL DETAIL ON SHEET E3.1.
3. 1" C WITH (5)-#8CU. PH. SWITCHED, (1)-#8CU. N., (1)-#8CU. GND. THROUGHOUT ENTIRE CIRCUIT UNLESS NOTED OTHERWISE.
4. REFER TO POLE FIXTURE DETAIL THIS SHEET FOR ADDITIONAL INFO.
5. ROUTE CONDUIT UP COLUMN OF SHADE STRUCTURE. ROUTE CONDUITS IN A MANNER THAT MINIMIZES FROM BEING SEEN. COORDINATE WITH EXISTING CONDITIONS.

GENERAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL PROVIDE AS-BUILTS OF CONDUIT STUB-OUTS.
2. ALL UNDERGROUND CONDUIT SHALL BE INSTALLED WITH A DETECTABLE UNDERGROUND LOCATION DEVICE CAPABLE OF BEING DETECTED FROM ABOVE GROUND WITH AN ELECTRONIC LOCATING DEVICE. ALL EMPTY CONDUIT SHALL BE INSTALLED WITH PULL TAPE.
3. NO CONDUITS SHALL BE ROUTED UNDER BUILDING PAD AREAS UNLESS BEING ROUTED TO THAT SPECIFIC BUILDING FOR SERVICE PURPOSES.

NOTE:
POLE, FIXTURE, BASE ASSEMBLY AND ANCHOR BOLTS TO BE CAPABLE OF WITHSTANDING A MINIMUM OF 90 MPH WIND WITH AN ADDITIONAL GUST FACTOR OF 30%. DEFLECTION SHALL NOT EXCEED 5%. FINAL DESIGN TO BE VERIFIED WITH STRUCTURAL ENGINEER.

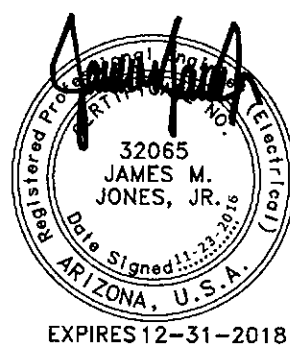


Finish to be black
or dark bronze
SB

20-DR-16
APPROVED
FINAL PLANS PLANNING
5-4-17
DATE APPROVED BY

Noted

Call at least two full working days
Before you begin excavation.
ARIZONA811
Arizona Blue Stake Inc.
Dial 8-1-1 or 1-800-STAKE-11 (782-5348)
In Maricopa County (602) 263-1100



DRAWN CH
DATE 18.NOVEMBER.2016
PROJECT 16104.00

Kraemer Consulting Engineers, PLLC.
Mechanical and Electrical Engineers
2050 West Whispering Willow Dr., Suite 150
Phoenix, Arizona 85025-2664
(602) 265-1664
(602) 265-4450 - fax
JCE 16-1659

ES0.2

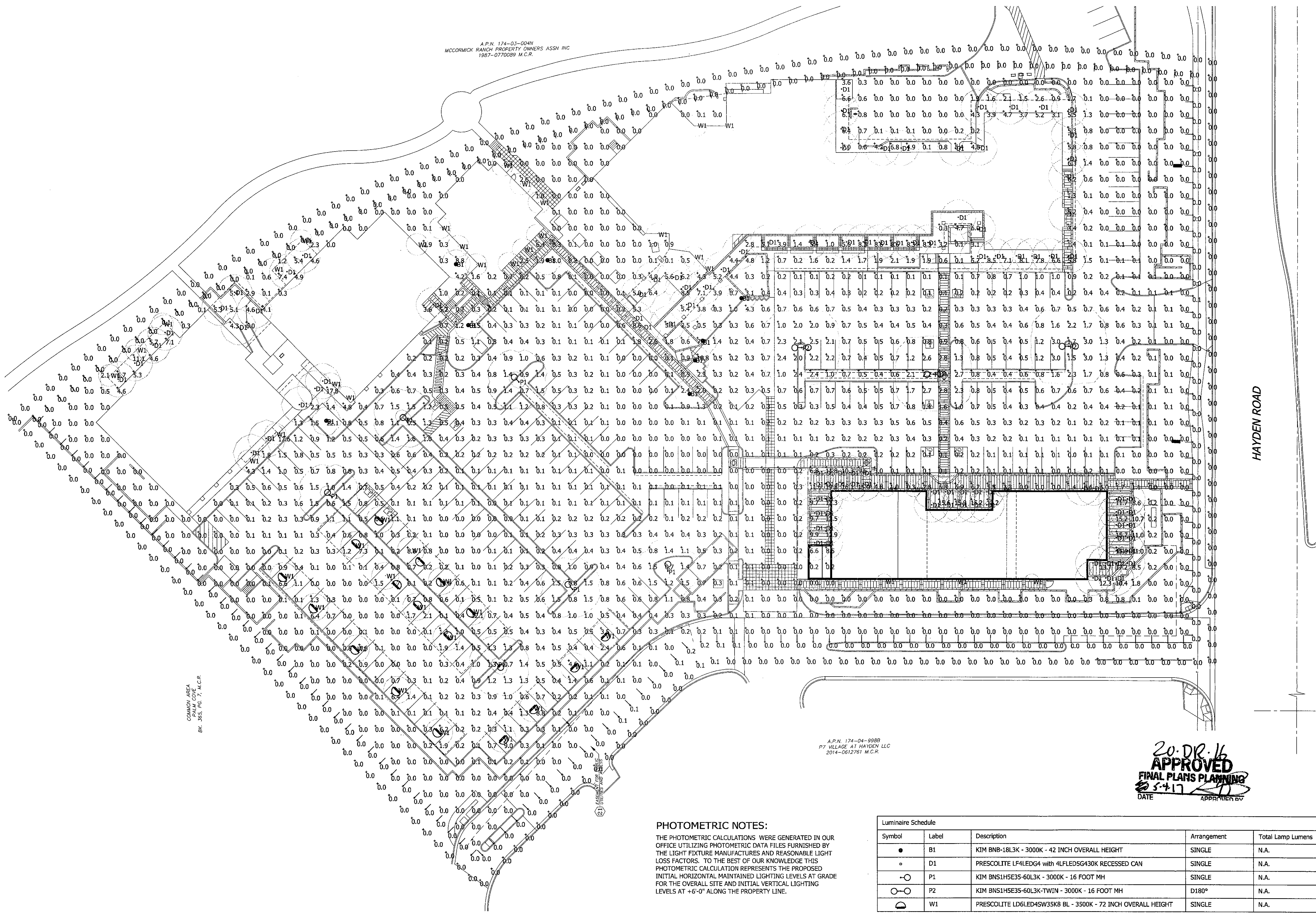
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PHOTOMETRIC NOTES:

THE PHOTOMETRIC CALCULATIONS WERE GENERATED IN OUR OFFICE UTILIZING PHOTOMETRIC DATA FILES FURNISHED BY THE LIGHT FIXTURE MANUFACTURERS AND REASONABLE LIGHT LOSS FACTORS. TO THE BEST OF OUR KNOWLEDGE THIS PHOTOMETRIC CALCULATION REPRESENTS THE PROPOSED INITIAL HORIZONTAL MAINTAINED LIGHTING LEVELS AT GRADE FOR THE OVERALL SITE AND INITIAL VERTICAL LIGHTING LEVELS AT +6'-0" ALONG THE PROPERTY LINE.

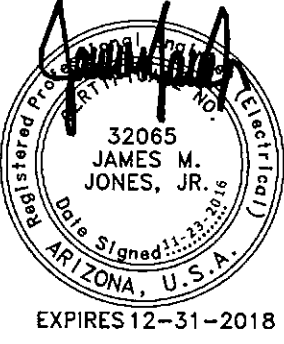
Luminaire Schedule						
Symbol	Label	Description	Arrangement	Total Lamp Lumens	LLF	Total Watts
●	B1	KIM BNB-18L3K - 3000K - 42 INCH OVERALL HEIGHT	SINGLE	N.A.	1.000	163.2
○	D1	PRESCOLITE LP4LEDG4 with 4LFDSG430K RECESSED CAN	SINGLE	N.A.	1.000	1518.98
○	P1	KIM BNS1HSE35-60L3K - 3000K - 16 FOOT MH	SINGLE	N.A.	1.000	382.8
○	P2	KIM BNS1HSE35-60L3K-TWIN - 3000K - 16 FOOT MH	D180°	N.A.	1.000	382.8
○	W1	PRESCOLITE LD6LED4SW35K8 BL - 3500K - 72 INCH OVERALL HEIGHT	SINGLE	N.A.	1.000	1287.8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
HORIZONTAL AT GRADE 10 FEET BEYOND PROPERTY LINE	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.
HORIZONTAL AT GRADE OVERALL SITE	Illuminance	Fc	1.02	22.1	0.0	N.A.	N.A.
VERTICAL 6 FEET ABOVE GRADE	Illuminance	Fc	0.01	0.2	0.0	N.A.	N.A.

Kraemer Consulting Engineers, PLLC.
Mechanical and Electrical Engineers
2050 West Whispering Wind Dr., Suite 150
Phoenix, Arizona 85085-2864
(602) 265-1664
(602) 265-4450 - fax
J2B # 16-1655

MERCADO DEL LAGO

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DATE 18.NOVEMBER.2016
PROJECT 16104.00

PHOTOMETRIC
SITE LIGHTING

ES0.3

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