

**Marked Agendas
Approved Minutes
Approved Reports**

CITY COUNCIL REPORT



Meeting Date	April 25, 2017
General Plan Element	<i>Land Use</i>
General Plan Goal	<i>Create a sense of community through land uses</i>

ACTION

84th & Black Mountain 26-ZN-2016

Request to consider the following:

Adopt Ordinance No 4304 approving a Zoning District Map Amendment from Single-family Residential Environmentally Sensitive Lands (R1-190/ESL) district to Single-family Residential Environmentally Sensitive Lands (R1-43/ESL) district, on a +/-45-acre site located at the northwest corner of N 84th Street and E Black Mountain Road

Goal/Purpose of Request

The applicant's request is to rezone the subject 45+/-acre site to establish a 31-lot single-family subdivision. The owner is proposing to provide additional Natural Area Open Space (NAOS), and tract NAOS, as justification for the rezoning request and proposed amended development standards.

Key Items for Consideration

- Proposal contains several different owners (including two existing single-family dwelling units)
- An average 50-foot wide Desert Scenic Roadway Buffer is being provided along the N 84th Street alignment and E Black Mountain Road
- The proposal shall provide one-half (0.5) acre of additional Natural Area Open Space, beyond the required amount, to be dedicated with the final plat
- The proposal shall provide approximately fifty percent (50%) of the provided Natural Area Open Space, within tracts to provide greater NAOS protection
- Proposal is in conjunction with abandonment case 14-AB-2016
- Proposal is in conjunction with preliminary plat case 5-PP-2017
- Sewer line improvements proposed, by looping system, through Lot "9," of the adjacent Sand Flower subdivision
- Amended Development Standards are proposed, which will require Development Review Board approval
- Planning Commission heard this case on March 22, 2017 and recommended approval with a Vote of 4-0

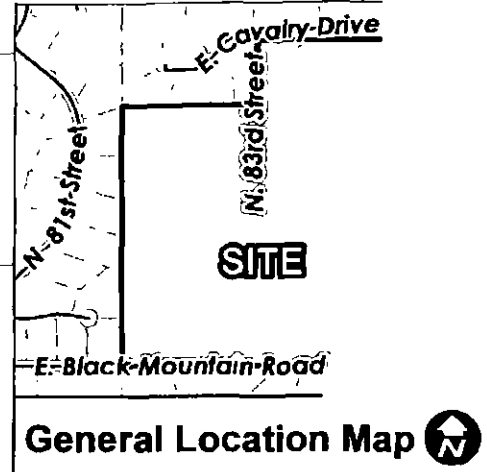
OWNER

Various Owners
Alex Stedman
480-994-0994

APPLICANT CONTACT

Alex Stedman
LVA Urban Design Studio, PLLC
480-994-0994

LOCATION



34834 N 83rd Street (Northwest Corner of the N 84th Street alignment and E Black Mountain Road)

BACKGROUND

General Plan

The General Plan Land Use Element designates the property as Rural Neighborhoods. This category includes areas of relatively large lot single-family neighborhoods. Densities are usually one house per one acre of land. Clustering is encouraged to preserve desert vegetation, washes, and natural features.

Character Area Plan

The subject site is located within the un-adopted Boulders Character Area. The Boulders Character area is a tourism center and destination, home to both full and part-time residents, and a service center for other areas within and outside of the city. It has a board diversity of housing types, most of which are upscale. The area street systems serve both as a major gateway to the city as well as a regional crossroads for the area.

Zoning

The site is currently zoned within the Single-family Residential, Environmentally Sensitive Lands (R1-190/ESL) zoning district designation. The R1-190/ESL zoning district allows for single-family residential uses, and the subject site has an Environmentally Sensitive Lands Overlay zoning designation.

The subject site was rezoned to R1-190/HD/HC, along with the Desert Mountain and The Boulders communities, through case 2-ZN-1985. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was adopted to replace the Hillside District. The current revision to the ESL overlay took effect in 2004. The ESL ordinance categorized this site within the zoning designation of Residential Single-family, Environmentally Sensitive Lands (R1-190/ESL).

Context

The subject property is located at the northwest corner of the N 84th Street alignment and E Black Mountain Road. Please refer to context graphics attached.

Adjacent Uses and Zoning

- North Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Vista Viento Estates subdivision community
- South Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Cortona subdivision community
- East Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Sierra Highlands subdivision community
- West Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Sand Flower subdivision community

Other Related Policies, References:

2-ZN-1985, 19-ZN-2005, 14-AB-2016, and 5-PP-2017

APPLICANTS PROPOSAL

Development Information

The development proposal includes the rezoning for a 31-lot subdivision community. The request includes eight (8) subject parcels with various owners. The request is in association with an abandonment request and a preliminary plat case application. The site plan, as proposed, would require the approval of both the previously mentioned associated cases. The proposal includes the cooperation of the neighboring subdivision community, as the sewer line improvements have been proposed, to loop, through Lot "9" of the neighboring community.

The applicant will be requesting amended development standards, as allowed pursuant to Section 6 1083 in the ESL section of the Zoning Ordinance, in order to reduce the lot size, width, and setbacks. The amended development standards are subject to the subsequent Development Review Board approval at the time of preliminary plat review.

- Existing Use Vacant Land and Two Single-family homes
- Proposed Use 31-lot Subdivision (9-PP-2014)
- Parcel Size 45+/- acres gross (42.4 acres net)
- Building Height Allowed 24 feet
- Building Height Proposed 24 feet
- NAOS Required 15.76 acres
- NAOS Provided 16.22 acres
- Density Allowed (R1-190/ESL) 0.21 du/ac (9 lots)
- Density Allowed (R1-43/ESL) 0.83 du/ac (37 lots)
- Density Proposed 0.69 du/ac (31 lots)

IMPACT ANALYSIS

Land Use

The request is in conformance with the 2001 General Plan, which allows the density of one dwelling unit per acre of land. The proposed zoning district, Single-family Residential District, Environmentally Sensitive Lands (R1-43/ESL), allows for 0.83 dwelling units per acre. The owner is proposing a 31-lot subdivision with amended development standards, with a density that is less

than the density allowed by the ESL Ordinance for the proposed Single-family Residential District, Environmentally Sensitive Lands (R1-43/ESL) zoning designation

Although the ordinance would allow the proposed density of up to 0.83 dwelling units per acre, the normal development standards may propose a challenge in laying out the design of the 31-lot subdivision. The proposed amended development standards will allow the owner to achieve the allowed density and provide additional NAOS, and tract NAOS, to protect environmentally sensitive areas. The subject request is in conjunction with a preliminary plat application, case 5-PP-2017, which allows for the applicant to request the amended development standards required to execute the proposed site planned at the time of Development Review Board review.

The proposal includes two (2) existing single-family homes, located on two separate parcels. These two parcels have been identified as proposed lots "7" and "27," Proposed Lot 7 is shown maintaining access to N 84th Street and proposed Lot 27 is shown maintaining access to E Black Mountain Road. These properties will also be provided access at the internal street system and in case the properties, in the future, decide to be holistically included within the proposed subdivision community.

Traffic/Trails

The primary access for the subject site will be off of N 84th street. The entrance into the proposed subdivision community will be gated, and the internal streets will be private. The two existing single-family homes will continue to have access from their existing access points. The single-family home, located in the northern portion of the site, will continue to have access from its existing N 84th street driveway, and the single-family home, located in the southern portion of the site, will continue to have access from the existing E Black Mountain Road driveway. The proposed development will provide access point to the internal, private, street system in case either parcel would like to have the opportunity to be included into the gated community.

The owner will be dedicating the required right-of-way as per the Transportation Master Plan with the proposed preliminary plat: dedicated public right-of-way, provide private streets, dedicated trail easements, and apply for an abandonment application. The owner will be dedicating and improving the right-of-way to the required Design Standards and Policies Manual requirements. The owner has agreed to construct half-street improvements along E Black Mountain Road, and N 84th Street, to be consistent with the Local Collector Street, Rural/ESL character modified cross section. These street designations will include twenty-four (24) feet of total pavement width, roll curb and gutter, and an improved trail along the north side of E Black Mountain Road.

The proposal will also construct half-street improvements along N 84th Street to be consistent with the Local Collector Street, Rural/ESL character modified cross section. This street designation includes twenty-four (24) feet of total pavement width, roll curb and gutter along the west side of N 84th Street, and a 6-foot-wide sidewalk, separated from the back of curb. The street improvements will include a transition to the existing street improvements to the west and will need to align with the existing street improvements. The trail will be contained within the desert scenic buffer easement dedicated to the city with the proposed preliminary plat.

The associated final plat case shall not be approved without the approval of the associated abandonment case. The proposed site plan will be contingent on the abandonment of those portions of N 83rd Street located within the project area.

Water/Sewer

As stated before, the sewer line improvements will be completed by looping the system through Lot "9," of the neighboring community, the Sand Flower subdivision. Before the scheduling of the associated preliminary plat case, 1-PP-2017, to the Development Review Board, the owner shall provide evidence of a minimum 20-foot waterline easement, sewer line easement, no-development area easement (or equivalent), along the southern boundary of lot "9" of the Sand Flower subdivision, located immediately to the west, and adjacent to, the subject site's tract "G." The final plat submittal shall improve the proposed wall/corral fence detail that shall delineate the northern boundary of the above mentioned easements.

Public Safety

Design of the internal streets will conform to ESL local residential, 40-foot tract width. Additionally, a minimum 40-foot wide Emergency and Service Access Vehicle Easement will be provided over all internal streets.

School District Comments/Review

The applicant sent a letter of notification to the School District on August 2, 2016, and neither the applicant, nor staff, have received any comments or inquiries from the District.

Open Space

The site has two significant desert washes dissecting the site diagonally, from southwest to northeast, both of which will be protected through the use of tracts or easements. The owner has agreed to dedicate a vista corridor, non-development, Natural Area Open Space, and Drainage easements over the above mentioned wash locations. Frontage open space will be protected through desert scenic buffer easements located along the eastern and southern boundaries of the site. The desert scenic buffer setback width along E Black Mountain Road and N 84th Street shall be a minimum of 35 feet, measured from the property line. Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition. The final plat shall show all Desert Scenic Roadway setback easements dedicated to the City.

The owner is proposing to dedicate 16.22 acres of NAOS with the associated preliminary plat, which is approximately 0.5 acres of additional NAOS, than that required by ordinance for this 45+/- acre site. There are 0.49 acres of open space, not designated as NAOS due to revegetation requirements, which will remain as undeveloped area. This will bring the total area of the site, as one form of open space or another, to 16.78+/- acres (reference table below). Approximately 7.78 acres of the provided NAOS will be located within protected tracts.

Community Involvement

The applicant conducted two separate "open house" meetings (August 17, 2016 and October 11, 2016), met with concerned neighbors, and some of the individual HOAs located within the area. The complete report of the applicant's outreach is provided as attachment #8. The applicant states in the report that the comments and concerns revolved around views, drainage, and community buffers. Staff's analysis of the citizen review report showed that a majority of the residents had preview to a site plan that showed 27 lots, not the current 31-lot site plan. The online submittal provided the most current project site plan.

All property owners within 750 feet of this proposal have been notified by the applicant and staff. Staff has received an inquiry from a real estate agent and inquiries from couple of neighbors. One

of those neighbors, in addition to the adjoining HOA, provided a letter of support for the project. Please reference Attachment #7 for all correspondence received from the public.

Community Impact

The maximum density in the Rural Neighborhood Land Use designation typically ranges from 0.21 dwelling units per acre (0.21 du/ac), to 1.04 dwelling units per acre (0.83 dwelling units per acre in ESL). This proposal requests the density of 0.69 dwelling units to the acre, along with Natural Area Open Space, portions of desert scenic view frontage, and desert wash protection. The developer is responsible for infrastructure improvements.

Policy Implications

The number of dwelling units will be capped by the Land Use Budget Table and any proposed modification will be subject to further review and approval.

The improvement of N 84th Street is a requirement of the Transportation Master Plan in order to complete the City of Scottsdale street system.

OTHER BOARDS & COMMISSIONS

Planning Commission

Planning Commission heard this case on March 22, 2017 and recommended approval with a 4-0 vote.

Staff Recommendation to Planning Commission

Staff recommended that the Planning Commission find that the proposed zoning district map amendment is consistent and conforms with the adopted General Plan, and make a recommendation to City Council for approval, per the attached stipulations.

RECOMMENDATION

Recommended Approach:

Adopt Ordinance No. 4304 approving a Zoning District Map Amendment from Single-family Residential Environmentally Sensitive Lands (R1-190/ESL) district to Single-family Residential Environmentally Sensitive Lands (R1-43/ESL) district, on a +/-45-acre site located at the northwest corner of N 84th Street and E Black Mountain Road.

RESPONSIBLE DEPARTMENTS

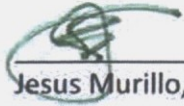
Planning and Development Services

Current Planning Services

STAFF CONTACTS

Jesus Murillo
Senior Planner
480-312-7849

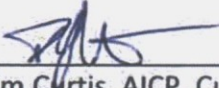
APPROVED BY



Jesus Murillo, Report Author

3-28-2017

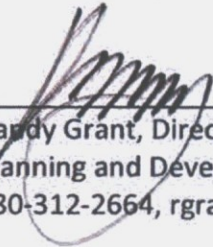
Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

3/28/2014

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

4/3/17

Date

ATTACHMENTS

- 1 Context Aerial
- 1A Aerial Close-Up
- 2 Ordinance No 4304
 - Exhibit 1 Stipulations
 - Exhibit A to Exhibit 1 Site Plan/Subdivision Plat
 - Exhibit B to Exhibit 1 NAOS Plan (NAOS analysis plan)
 - Exhibit C to Exhibit 1 Development Envelope Plan
 - Exhibit D to Exhibit 1 Environmental Features Map Plan (desert scenic buffer)
 - Exhibit E to Exhibit 1 Landscape Character Plan
 - Exhibit F to Exhibit 1 Cuts and Fills Plan
 - Exhibit G to Exhibit 1 Multiple Easements Plan
 - Exhibit 2 Zoning Map
- 3 Applicant's Narrative
- 4 General Plan Land Use Map
- 5 Existing Zoning Map
- 6 Citizen Correspondence
- 7 Citizen Involvement
- 8 City Notification Map
- 9 March 22, 2017 Planning Commission minutes
- 10 March 22, 2017 Planning Commission Public Comments



Q.S.
59-47

Google Earth Pro Imagery



84th Street & Black Mountain Road

ATTACHMENT #1

26-ZN-2016



Q.S.
59-47

Google Earth Pro Imagery



84th Street & Black Mountain Road

ATTACHMENT #1A

26-ZN-2016

ORDINANCE NO. 4304

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING ORDINANCE NO. 455, THE ZONING ORDINANCE OF THE CITY OF SCOTTSDALE, BY AND FOR THE PURPOSE OF CHANGING THE ZONING ON THE "DISTRICT MAP" TO ZONING APPROVED IN CASE NO. 26-ZN-2016 FROM SINGLE-FAMILY RESIDENTIAL ENVIRONMENTALLY SENSITIVE LANDS (R1-190/ESL) DISTRICT TO SINGLE-FAMILY RESIDENTIAL ENVIRONMENTALLY SENSITIVE LANDS (R1-43/ESL) DISTRICT, ON A +/-45-ACRE SITE LOCATED AT THE NORTHWEST CORNER OF N. 84TH STREET AND E. BLACK MOUNTAIN ROAD.

WHEREAS, the Planning Commission held a hearing on March 22, 2017;

WHEREAS, the City Council held a hearing on April 25, 2017;

WHEREAS, the City Council finds that the proposed development is in substantial harmony with the General Plan of the City of Scottsdale and will be coordinated with existing and planned development; and

WHEREAS, it is now necessary that the comprehensive zoning map of the City of Scottsdale ("District Map") be amended to conform with the decision of the Scottsdale City Council in Case No. 26-ZN-2016.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Scottsdale, as follows:

Section 1. That the "District Map" adopted as a part of the Zoning Ordinance of the City of Scottsdale, showing the zoning district boundaries, is amended by rezoning a +/-45-acre site located at the northwest corner of N. 84th Street and E. Black Mountain Road and marked as "Site" (the Property) on the map attached as Exhibit 2, incorporated herein by reference, from Single-family Residential Environmentally Sensitive Lands (R1-190/ESL) district to Single-family Residential Environmentally Sensitive Lands (R1-43/ESL) district zoning

Section 2. That the above rezoning approval is conditioned upon compliance with all stipulations attached hereto as Exhibit 1 and incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale this ___ day of _____, 2017.


ATTEST:

CITY OF SCOTTSDALE, an Arizona
Municipal Corporation

By: _____
Carolyn Jagger
City Clerk

By: _____
W.J. "Jim" Lane
Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By:  _____
Bruce Washburn, City Attorney
By: Joe Padilla, Deputy City Attorney

Stipulations for the Zoning Application:

84th & Black Mountain

Case Number: 26-ZN-2016

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale

SITE DESIGN

- 1 **CONFORMANCE TO CONCEPTUAL SITE PLAN** Development shall conform with the conceptual site plan (conceptual subdivision plan) submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit A to Exhibit 1. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
- 2 **CONFORMANCE TO NAOS PLAN** Development shall conform with the NAOS Plan (NAOS analysis plan), submitted by Kimley-Horne and with the city staff date of 01-10-2017, attached as Exhibit B to Exhibit 1. The development shall dedicate a minimum of **16.22 acres** of Natural Area Open Space. Any proposed significant change to the conceptual Natural Area Open Space plan, including tracts, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
- 3 **CONFORMANCE TO DEVELOPMENT ENVELOPE PLAN** Development shall conform with the Development Envelope Plan, submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit C to Exhibit 1. Any proposed significant change to the development envelope plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
- 4 **CONFORMANCE TO ENVIRONMENTAL FEATURES MAP PLAN** Development shall conform with the Environmental Features Map Plan (desert scenic buffer), submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit D to Exhibit 1. The Desert Scenic Roadway setback width along N 84th Street and E Black Mountain Road shall be a minimum of 35 feet, with an average of 40 feet measured from edge of ultimate right-of-way (after right-of-way abandonment). Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition. The final plat shall show all Desert Scenic Roadway setback easements dedicated to the city. Any proposed significant change to the desert scenic corridor buffer, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
- 5 **CONFORMANCE TO LANDSCAPE CHARACTER PLAN** Development shall conform with the Landscape Character Plan, submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit E to Exhibit 1. Any proposed significant change to the vegetation types and areas (in quantity or type), as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
- 6 **CONFORMANCE TO CUTS AND FILLS PLAN** Development shall conform with the Cuts and Fills Plan, submitted by Kimley-Horne and with the city staff date of 01-10-2017, attached as Exhibit F to Exhibit 1. Any proposed significant change to the cuts and fills, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.

7. **LOCATION OF INTERNAL STREETS AND DRIVEWAYS.** Prior to the Development Review Board application submittal, the owner/developer shall stake the alignments for all internal streets and driveways subject for inspection by city staff to confirm that the proposed alignments conform to City standards.
8. **FIRE REQUIREMENTS.** Additional or proposed hydrants shall be placed outside of proposed cul-de-sac(s). All fire hydrants shall also be located along the fire lane/road and spacing of hydrants and shall be constructed as per 4045 Section 507-5-1 EXP #2 and 507-5-1-2 #2.
9. **ASSOCIATED CASE APPROVALS.** The proposed site plan shall be contingent on the abandonment of those portions of N. 83rd Street located within the project area (14-AB-2016).
10. **MAXIMUM DWELLING UNITS/MAXIMUM DENSITY.** Maximum dwelling units and maximum density shall be as indicated on the Land Use Budget Table below.

Land Use Budget Table						
Parcel	Gross Acres	Existing Zoning	Proposed Zoning	Max DU/AC	Propose # of Units / Lots	Max # of Units / Lots
216-34-003S, 216-34-003M, 216-34-003R, 216-003N, 216-34-003T, 216-34-267, 216-34-268 and 216-34-269	50+/- acres	R1-190/ESL	R1-43/ESL	0.69 DU/AC	31 lots	31 lots

The number of dwelling units will be capped by the Land Use Budget Table and any proposed modification will subject to further review and approval.

11. **ALTERATIONS TO NATURAL WATERCOURSES.** Any proposed alteration to the natural state of watercourses with a peak flow rate of 50 cfs or greater based on the 100 year – 2 hour rain event shall be subject to Development Review Board approval.

INFRASTRUCTURE AND DEDICATIONS

12. **CIRCULATION IMPROVEMENTS.** Prior to any permit issuance for the development project the owner shall make required dedications and prior to issuance of any Certificate of Occupancy for the development project the owner shall provide the required improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies.

a STREETS Dedicate the following right-of-way and construct the following street improvements

Street Name	Street Type	Right-of-way Dedications	Improvements	Notes and Requirements
East Black Mountain Road	Local Collector – Rural ESL	N/A	Half Street construction including pavement, roll curb and sidewalk	a 1
North 84 th Street	Local Collector – Rural ESL	Dedicate 35 feet on the west side	Half Street construction including pavement, roll curb and sidewalk	a 2
Internal Street	Local Residential – Rural ESL	40 foot private tract with emergency and service vehicle access	Full street construction with roll curb and shoulders	a 3 , a 4

a 1 The development shall provide 24 feet of total pavement width, roll curb and gutter along the north side, a 6-foot-wide sidewalk separated from the back of curb, or 8-foot-wide sidewalk at back of curb, and a separate 8-foot-wide path from the sidewalk. The street improvements will need to include a transition to the existing street improvements to the west and will need to align with the existing street improvements to the east.

a 2 The development shall provide 24 feet of total pavement width, roll curb and gutter along the north side, a 6 foot wide sidewalk separated from the back of curb. The street improvements will need to be consistent with the existing street improvements to the south and will need to include a transition to the existing street improvements to the north.

a 3 Internal streets shall be in general conformance with Local Residential, ESL/Rural character, Fig 5 3-19 DS&PM

a 4 Entry kiosk shall be a minimum 75 feet from N 84th Street

a 5 Dedicate a 1-foot VNAE except at existing driveway(s)

a 6 Dedicate a 1-foot VNAE except at entrance to the subdivision

b VEHICLE NON-ACCESS EASEMENT Prior to issuance of any building permits for the development project, the owner shall dedicate a one foot wide Vehicular Non-Access Easement (VNAE) on East Black Mountain road and North 84th Street except at the approved street entrance(s) and existing driveways

c There shall be a maximum of "main" one-site driveway from N 84th Street and shall be located a minimum distance of 330 feet from E Black Mountain Road

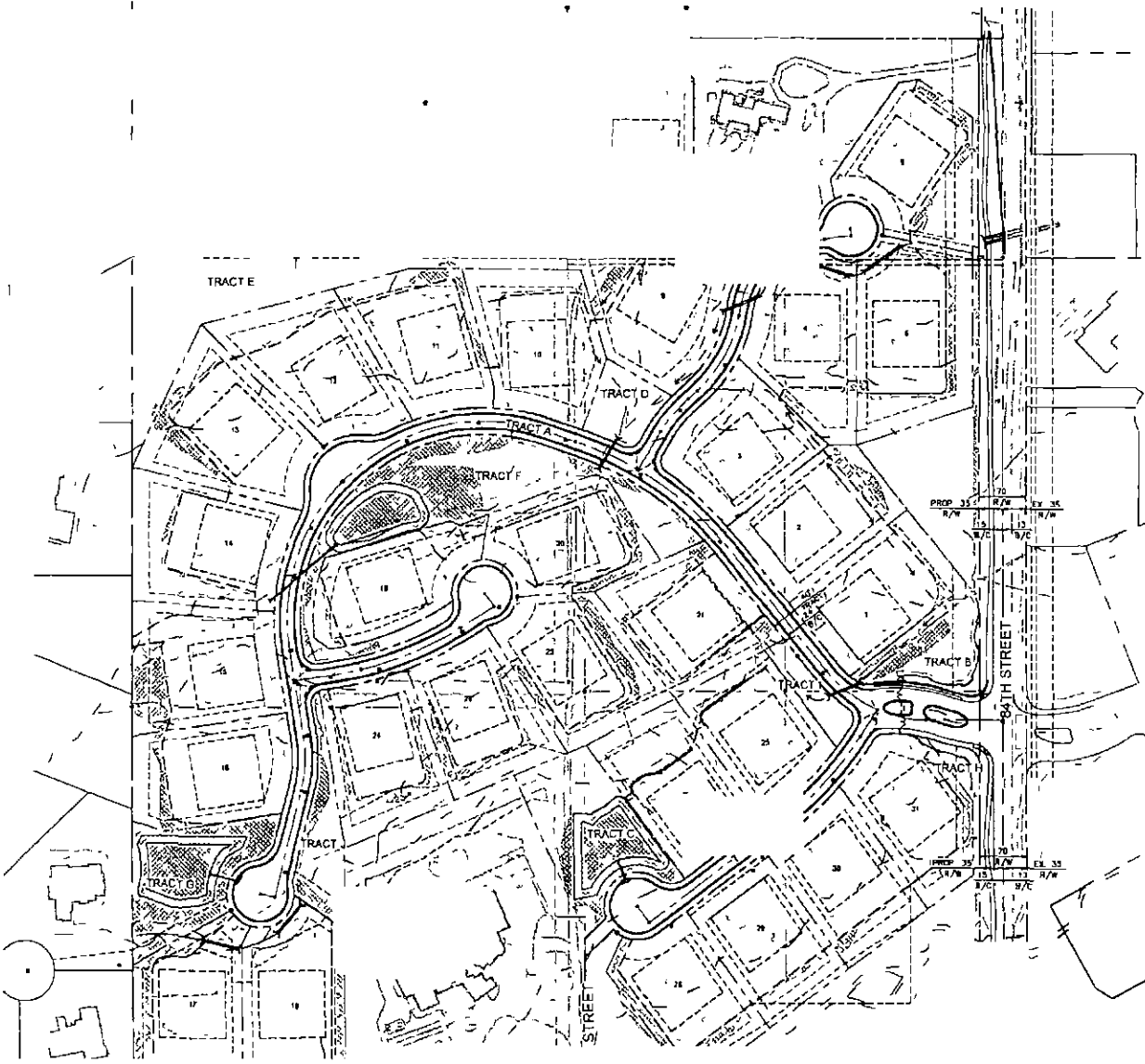
13 DRAINAGE REPORT In the required drainage report, the owner shall address

a All proposed lot grading shall be revised to maintain historic outflow location, water surface levels and velocities for the 43 cfs wash

- b. Detailed drainage infrastructure sizing analysis shall be provided with the future submittal. All subdivision drainage infrastructure shall be depicted on the improvement plans.
14. BASIS OF DESIGN REPORT (WATER).
 - a. The Basis of Design Report -Water shall be finalized prior to final design.
15. BASIS OF DESIGN REPORT (WASTEWATER). In the required basis of design report, the owner shall address:
 - a. The selected sewer outfall is inside a tract along parcel 16 in the Reserve at Black Mountain and extending through an easement (conveyed by separate instrument) within lot 9 of the Sand Flower Subdivision located west of the Reserve (outside of the subdivision) and connects to a sewer manhole located in a cul-de-sac within the Sand Flower subdivision. DS & PM (Section 7-1.412) addresses sanitary sewers located outside of public rights-of-way. All other sewers associated with the project must be placed within a 20' wide easement located within a dedicated tract.
 - b. The Basis of Design Report -Wastewater shall be finalized prior to final design.
16. EASEMENTS.
 - a. EASEMENTS DEDICATED BY PLAT. The owner shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
 - b. EASEMENTS CONVEYED BY SEPARATE INSTRUMENT. Prior to issuance of any building permit for the development project, each easement conveyed to the city separate from a final plat shall be conveyed by an instrument or map of dedication subject to city staff approval, and accompanied by a title policy in favor of the City, in conformance with the Design Standards and Policies Manual.
17. CONFORMANCE TO MULTI-EASEMENTS PLAN. Development shall conform with the Multiple Easements Plan (subdivision plan) submitted by Kimley-Horne, edited and stamped with the city staff date of 01-10-2017, attached as Exhibit G to Exhibit 1. The owner shall provide a Vista Corridor Easement, a Drainage Easement, Natural Area Open Space Easement, and No Development easement over the hatched area of the Multiple Easement Plan. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
18. OFF-SITE EASEMENTS. Before the scheduling of the associated preliminary plat case, 1-PP-2017, to the Development Review Board, the owner shall provide evidence of a minimum 20-foot waterline easement, sewer line easement, no-development area easement (or equivalent), along the southern boundary of lot "9" of the Sand Flower subdivision, located immediately to the west, and adjacent to, the subject site's tract "G." The final plat submittal shall improve the proposed wall/corral fence detail that shall delineate the northern boundary of the above mentioned easements.
19. DESERT SCENIC ROADWAY SETBACKS LOCATION AND DEDICATION. The Desert Scenic Roadway setback width along E. Black Mountain Road and N. 84th Street shall be a minimum of 35 feet, measured from the property line. Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition. The final plat shall show all Desert Scenic Roadway setback easements dedicated to the City. Desert Scenic Roadway setback shall be provided at the time of final plat (1-PP-2017).

- 20 **VISTA CORRIDOR EASEMENTS** Prior to issuance of any building permit for the development project, the owner shall dedicate to the City on the final plat a continuous Vista Corridor Easement over the area identified in the Multiple Easements Plan (subdivision plan) submitted by Kimley-Horne, edited and stamped with the city staff date of 01-10-2017, attached as Exhibit G to Exhibit 1. The owner shall provide a Vista Corridor Easement, a Drainage Easement, Natural Area Open Space Easement, and No Development easement over the hatched area of the Multiple Easement Plan. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
- 21 **CONSTRUCTION COMPLETED** Prior to issuance of any building permit for the development project, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations, in conformance with the Design Standards and Policies Manual and other applicable standards.

\s\cadd\cadd\cadd\cadd\cadd Jan 03, 2017 10:00 AM



LOT/TRACT	TOTAL AREA (SQFT)	14	41,264	Non NADES	22,201
1	36,790	NADES Undisturbed	16,635	NADES Acreage Lot 1	6,848
NADES Undisturbed	4,427	Non NADES	22,114	28	22,250
Non NADES	76,071	NADES Revegetated	2,015	NADES Undisturbed	5,850
NADES Revegetated	4,162	35	40,028	Non NADES	25,100
2	32,133	NADES Undisturbed	5,620	NADES Revegetated	960
NADES Undisturbed	2,463	Non NADES	28,550	30	32,200
Non NADES	23,434	NADES Revegetated	4,472	NADES Undisturbed	5,518
NADES Revegetated	1,128	16	35,311	Non NADES	21,962
3	31,049	NADES Undisturbed	5,343	NADES Revegetated	1,242
NADES Undisturbed	25	NADES Revegetated	27,297	31	32,990
Non NADES	32,246	NADES Undisturbed	9,522	NADES Undisturbed	3,897
NADES Revegetated	679	NADES Undisturbed	13,768	Non NADES	28,312
4	37,790	NADES Revegetated	4,021	NADES Acreage Lot 2	108,888
NADES Undisturbed	6,740	Non NADES	24,543	Non NADES	104,456
Non NADES	30,108	NADES Revegetated	6,280	6	4,546
NADES Revegetated	1,451	NADES Undisturbed	3,072	NADES Undisturbed	21,971
5	49,810	Non NADES	29,842	Non NADES	4,740
NADES Undisturbed	11,918	NADES Revegetated	6,037	NADES Revegetated	5,728
Non NADES	28,639	10	22,175	7	13,612
NADES Revegetated	7,252	NADES Undisturbed	2,220	NADES Undisturbed	15,913
6	19,849	Non NADES	18,232	Non NADES	105
NADES Undisturbed	2,317	NADES Revegetated	1,704	NADES Revegetated	17,624
NADES Revegetated	7,643	20	32,459	8	10,129
7	88,854	NADES Undisturbed	4,927	Non NADES	10,128
NADES Undisturbed	13,451	Non NADES	32,810	9	55,174
Non NADES	72,964	NADES Revegetated	4,842	NADES Undisturbed	49,343
8	45,963	11	16,906	NADES Revegetated	9,330
NADES Undisturbed	11,848	NADES Undisturbed	10,293	10	55,712
Non NADES	30,619	Non NADES	70,615	NADES Undisturbed	21,214
NADES Revegetated	1,632	NADES Revegetated	6,088	Non NADES	2,812
9	43,720	12	19,900	NADES Acreage Lot 3	31,649
NADES Undisturbed	9,560	NADES Undisturbed	9,298	11	27,628
Non NADES	32,811	Non NADES	23,280	NADES Undisturbed	1,286
NADES Revegetated	3,825	NADES Revegetated	6,062	Non NADES	100
10	18,656	NADES Undisturbed	35,424	NADES Revegetated	28,529
NADES Undisturbed	8,216	NADES Undisturbed	9,238	12	107,713
Non NADES	17,816	Non NADES	31,476	NADES Undisturbed	99,422
NADES Revegetated	1,860	NADES Revegetated	4,180	Non NADES	1,246
11	18,439	14	25,621	NADES Revegetated	5,051
NADES Undisturbed	2,812	NADES Undisturbed	12,149	13	6,958
Non NADES	28,912	Non NADES	19,761	Non NADES	6,995
NADES Revegetated	1,516	NADES Revegetated	3,467	21	12,265
12	39,175	16	35,846	NADES Undisturbed	1,837
NADES Undisturbed	8,481	NADES Undisturbed	1,841	Non NADES	37,819
Non NADES	28,496	Non NADES	23,098	NADES Revegetated	1,218
NADES Revegetated	1,218	NADES Revegetated	901	14	4,598
13	62,216	17	152,245	NADES Undisturbed	9,599
NADES Undisturbed	9,462	NADES Undisturbed	64,574	15	13,993
Non NADES	28,970	Non NADES	107,690	NADES Undisturbed	8,259
NADES Revegetated	3,978	18	31,285	NADES Revegetated	5,274
		NADES Undisturbed	3,395	Grand Total	1,848,902



LEGEND

- LIMITS OF GRADING DISTURBANCE
- SITE BOUNDARY
- BUILDING PAD
- FRONT BLDG. SETBACK: 30'
- SIDE BLDG. SETBACK: 15'
- REAR BLDG. SETBACK: 26'

DEVELOPMENT ENVELOPE BOUNDARIES ARE PRELIMINARY AND MAY BE SUBJECT TO CHANGE PRIOR TO FINAL PLAN APPROVAL.

Ordinance No. 4304
 Exhibit C to Exhibit 1
 Page 1 of 1

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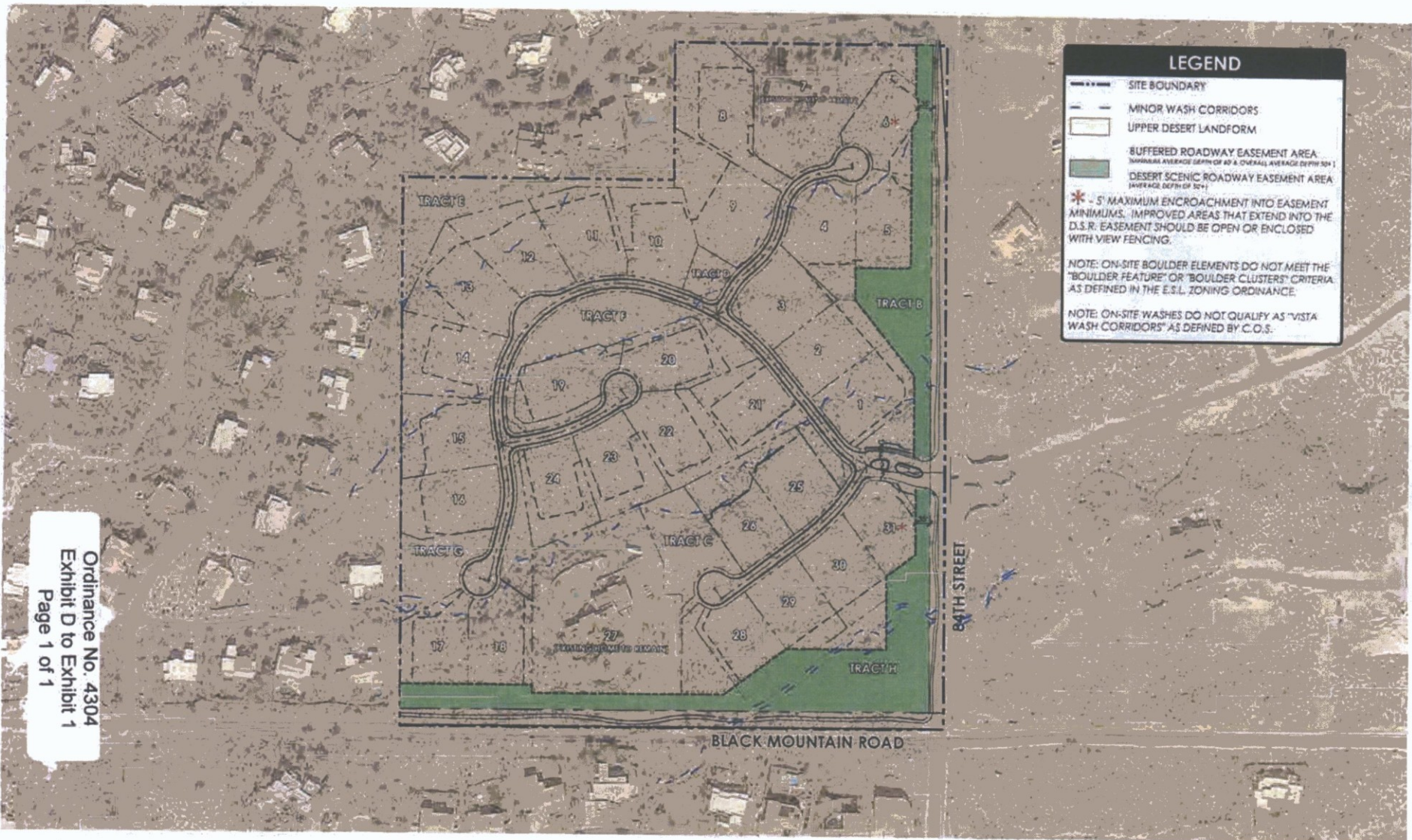
THE RESERVE at BLACK MOUNTAIN
DEVELOPMENT ENVELOPE PLAN

APPROX. SCALE: 1" = 100'

 NORTH
 1422 DRAWN BY: PK 1/10/17

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 This document, together with the contract and design presented hereto, is an instrument of service, is intended only for the specific purpose and shall be void if it is prepared for use of any other project or site.
 11622-0401 & BLACK MOUNTAIN RESERVE PLANNING/PA-1407-001 ERM PL/PA/04/17 Jun 16, 2017

26-ZN-2016
 01/10/2017



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 Exhibit D to Exhibit 1
 Page 1 of 1

LEGEND

- SITE BOUNDARY
- MINOR WASH CORRIDORS
- UPPER DESERT LANDFORM
- BUFFERED ROADWAY EASEMENT AREA
(MINIMUM AVERAGE DEPTH OF 40' & OVERALL AVERAGE DEPTH 50')
- DESERT SCENIC ROADWAY EASEMENT AREA
(AVERAGE DEPTH OF 50')

* 5' MAXIMUM ENCROACHMENT INTO EASEMENT MINIMUMS. IMPROVED AREAS THAT EXTEND INTO THE D.S.R. EASEMENT SHOULD BE OPEN OR ENCLOSED WITH VIEW FENCING.

NOTE: ON-SITE BOULDER ELEMENTS DO NOT MEET THE "BOULDER FEATURE" OR "BOULDER CLUSTERS" CRITERIA AS DEFINED IN THE E.S.L. ZONING ORDINANCE.

NOTE: ON-SITE WASHES DO NOT QUALIFY AS "VISTA WASH CORRIDORS" AS DEFINED BY C.O.S.

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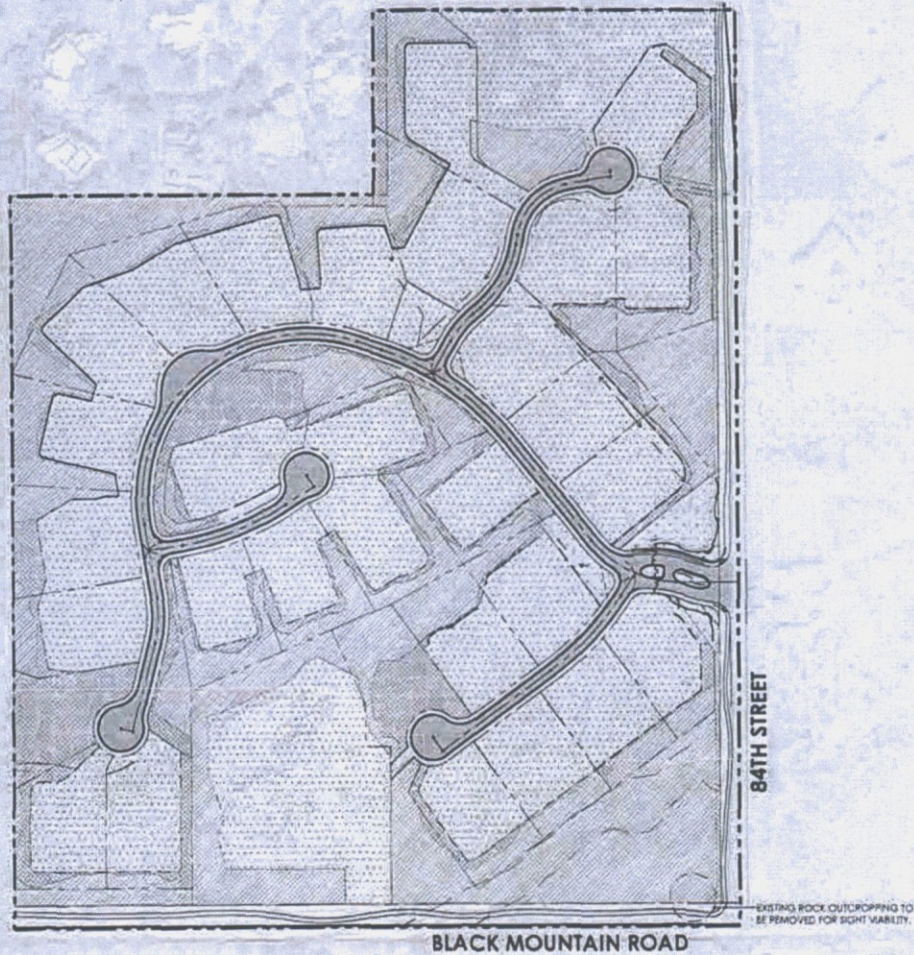
THE RESERVE at BLACK MOUNTAIN
ENVIRONMENTAL FEATURES MAP

APPROX. SCALE: 1" = 100'





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 01/10/2017 THE RESERVE AT BLACK MOUNTAIN 2575 BLACK MOUNTAIN ROAD, 85281 ENVIRONMENTAL FEATURES MAP AUG. 2017

26-ZN-2016
01/10/2017



LEGEND:

-  **ZONE A: NATURAL VEGETATION**
 The identified areas depict undisturbed portions of the site which will remain in the current state. Areas to be designed as undisturbed N.A.O.S.
-  **ZONE B: ENHANCED PLANTING**
 The identified areas will bring character and theming to the community by including concentrated salvaged or nursery grown vegetation maintained by the HOA.
-  **ZONE C: NATIVE PLANTING**
 The identified areas are primarily N.A.O.S revegetated areas to mitigate development disturbance. Plant selection and density will match surrounding vegetation and may include salvaged materials.
-  **ZONE D: MAINTAINED LANDSCAPING**
 The identified areas are privately owned and maintained. These landscaped areas are located on lot adjacent to building envelopes.

LANDSCAPE NOTES:

1. ALL DISTURBED AREAS ARE TO HAVE 'DESERT FLOOR' DECOMPOSED GRANITE. MATCH COLOR AND SIZE OF SURROUNDING AREAS.
2. ALL BERMS ARE TO HAVE MAXIMUM 4:1 SIDE SLOPES.
3. BOULDERS ARE TO BE SURFACE SELECT SITE BOULDERS, 1/3 BURIED IN SOIL, TYP.
4. FIFTY PERCENT OF PROPOSED TREES SHALL BE MATURE, AS DEFINED IN ARTICLE III, DEFINITIONS, OF THE ZONING ORDINANCE. INDICATE BOTH THE COMPLIANT CALIPER AND INDUSTRY STANDARDS BOX SIZE FOR THAT CALIPER IN THE PLANT PALETTE.
5. ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST.
6. NO SHRUB OR GROUND COVER WITHIN SIGHT VISIBILITY TRIANGLE SHALL EXCEED 2'-0" IN HEIGHT AT MATURITY, TYP.
7. PLANTS INSTALLED IN DETENTION BASINS AND DRAINAGE CHANNELS TO CONFORM TO CITY OF SCOTTSDALE DS&PM, SECTION 2-1.903
8. CUL-DE-SAC LANDSCAPE SHALL BE PLANTED PER ZONING ORDINANCE SECTION 1-303 REFER TO PLAN AND REPORTS REQUIREMENTS FOR DEVELOPMENT APPLICATIONS.

*NOTE: LIMITS OF PLANTING AREAS AS DEPICTED ON THIS EXHIBIT ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE

*PLANTS PROPOSED IN DRAINAGE BASINS SHALL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.903 NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

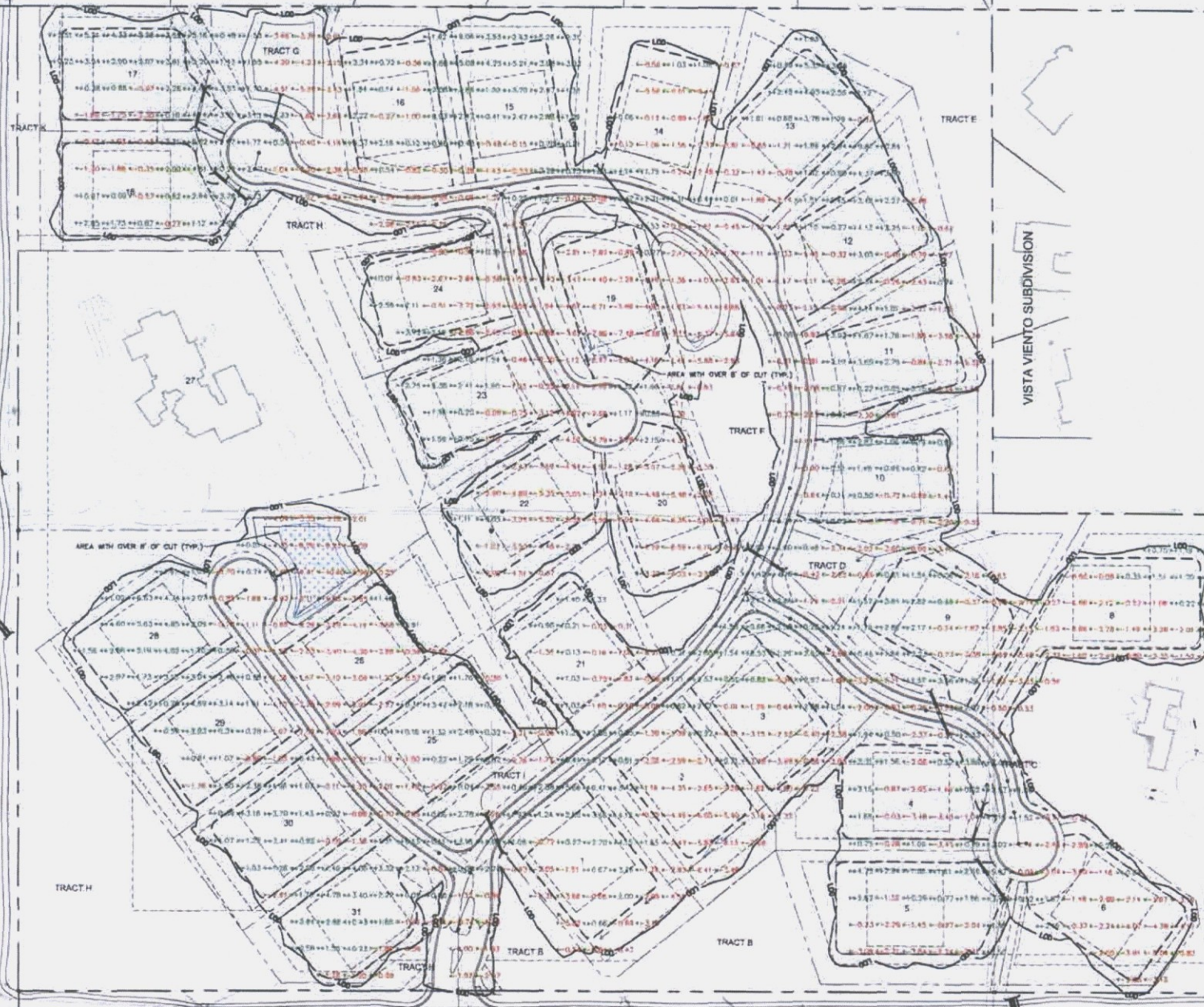
THE RESERVE at BLACK MOUNTAIN
LANDSCAPE CHARACTER PLAN

\\pvc-cs\10102000 - Black Mountain\Projects\GIS\26-ZN-2016\26-ZN-2016.mxd Sep 27, 2016 1:40:44 pm

CORTANA SUBDIVISION

BLACK MOUNTAIN ROAD

SANDFLOWER SUBDIVISION

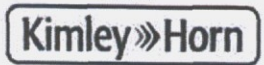


VISTA VIENTO SUBDIVISION

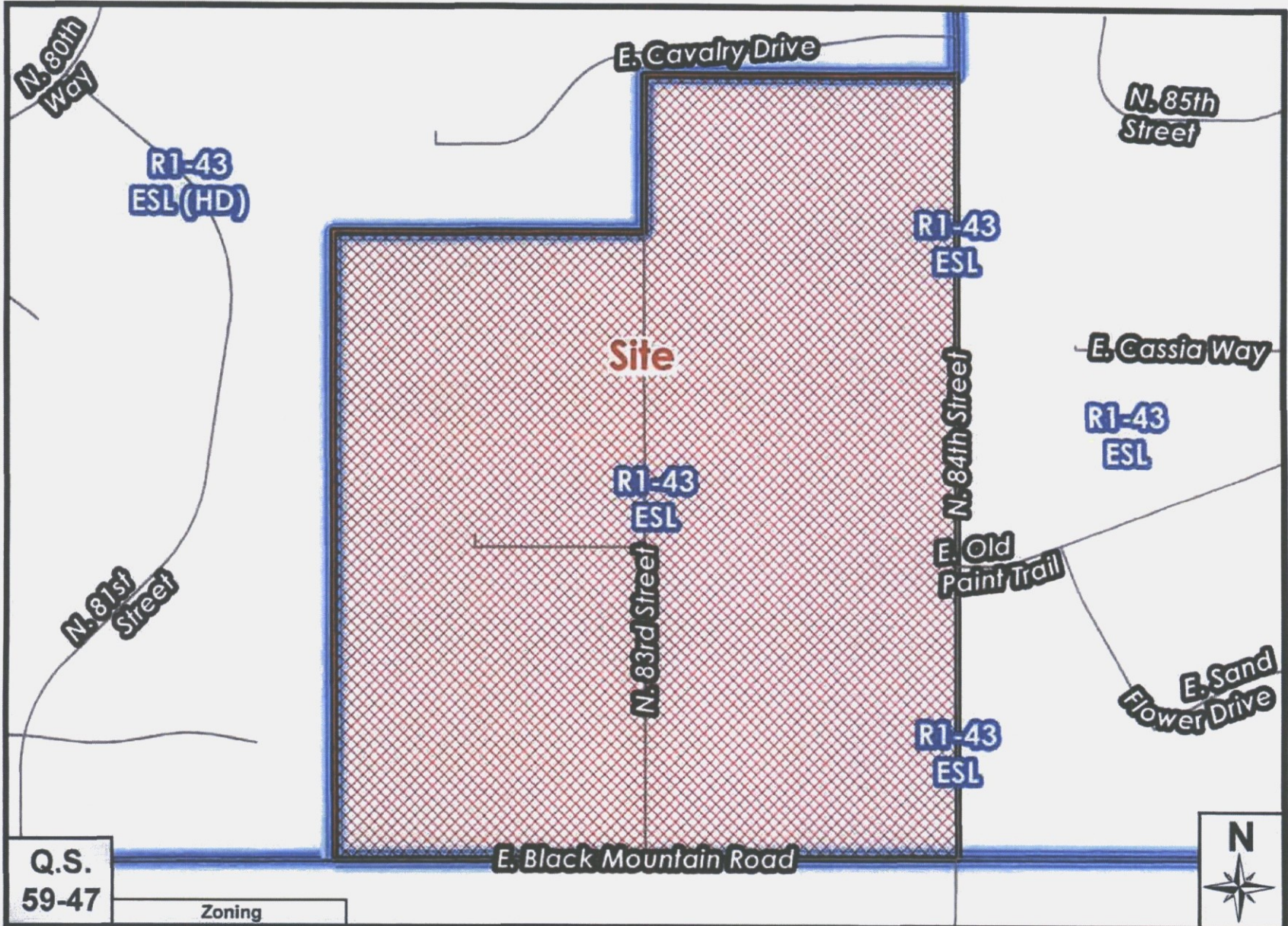
84TH STREET

Ordinance No. 4304
Exhibit F to Exhibit 1
Page 1 of 1

RESERVE AT BLACK MOUNTAIN
PRELIMINARY CUT/FILL EXHIBIT
12/22/16



26-ZN-2016
01/10/2017



Q.S.
59-47

Zoning



84th Street & Black Mountain Road

Ordinance No. 4304
Exhibit 2
Page 1 of 1

26-ZN-2016

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ATTACHMENT #3

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I. Purpose of Request

LVA Urban Design Studio, LLC, acting on behalf of Pinnacle Land Development, is pleased to submit this request to rezoning a 45-acre property from the existing R1-190 ESL district to R1-43 ESL on a generally vacant site located on the northwest corner of 84th Street and Black Mountain Road.

See **Exhibit 2**, *Context Aerial* for the location of the property and surrounding area.

The following specifically outlines the request for this application:

A. R1-43 ESL Rezoning

The purpose of this request is to seek a rezoning from R1-190 ESL (Single-family Residential; approximately one home per five acres) to R1-43 ESL with Amended Development Standards (Single-family Residential; approximately one home per acre) on approximately 45 gross acres. The intent of this zone change is to permit the subdivision of the property into 31 single family Homesites (including two existing homes) on the 45 acre property. The proposed R1-43 district is consistent with the land use pattern and density of adjacent communities.

II. Property Location and Relationship to Surrounding Properties

A. Site Location

The subject site is approximately 45 acres of land located at the northwest corner of 84th Avenue and Black Mountain Road, approximately 1/2-mile west of Pima Road. The site consists of seven individual properties (APN#216-34-267, 216-34-268, 216-34-269, 216-34-003N, 216-34-003T, 216-34-003M, 216-34-003R and 216-34-003S) consisting of five and ten acre properties. The property legal description and ALTA Survey are provided with this application.

The property is surrounded by existing and developing residential neighborhoods. **Table 1** below provides a summary of existing and surrounding land uses, General Plan designations and existing zoning:

Table 1: On-Site and Surrounding Uses, General Plan and Zoning Designation

	Existing Land Uses	General Plan Land Use Designation	Existing Zoning Designation
SITE (Reserve at Black Mtn)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-190 ESL
South of Site (Cortona)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
West of Site (Sand Flower)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
North of Site (Vista Viento)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
East of Site (Sierra Highlands)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL

B. Other Surrounding Land Uses within the Vicinity of the Site

Much of the property within the vicinity of the site consists of existing and planned single-family residential development, including several planned communities Sand Flower, Vista Viento Estates, Andaluza, Sierra Highlands, Sierra Boulders, and Cortana. As noted in **Table 1**, these communities are similar in land use, density, and development standards to the proposed Reserve at Black Mountain community.

III. Site Analysis

A. General Plan Land Use Designation and Analysis

The property is currently designated as Rural Neighborhoods within the General Plan Land Use Map. The Rural Neighborhoods category includes areas of large lot single-family neighborhoods. This land use designation is intended for residential properties with anticipated densities of between 0 and 1 dwelling unit per acre. The proposed density of the Reserve at Black Mountain community is 0.69 dwelling units per acre.

Native desert preservation and landscaping are encouraged as well as clustering to avoid prominent environmental features, like washes and boulder outcroppings. The request to rezone from R1-190 to R1-43 will conform to the current General Plan designation. **Exhibit 8, General Plan Land Use Map** displays the site's designation.

The goals and approaches of the General Plan have been and will continue to be implemented through the rezoning process. Below are the ways in which each goal and approach is addressed:

Character & Design

1. *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

The proposed development seeks to take remaining R1-190 infill parcels and rezone them to match adjacent zoning and densities (R1-43). In addition to similar development standards set forth by the R1-43 zoning district, the applicant has incorporated comparable lot and development envelope sizes, internal street design, and appropriate theming and color schemes to mimic the north Scottsdale rural desert palate. Natural desert plants and washes preserved and dedicated as NAOS remain the focal design element of this community.

Sidewalk and trail improvements on 84th Street and Black Mountain Road enrich the citizens by promoting safe, attractive, and context compatible development.

The Reserve at Black Mountain responds to the natural environment by providing and preserving natural washes and native planting. 48% of NAOS has been provided in tracts ensuring mature and native species in the community. The applicant has responded to concerns about visibility on the northeast corner of 84th Street and Black Mountain Road and agreed to minimize the natural boulder outcropping.

2. *Review the design of all development proposals to foster quality design that enhances Scottsdale as a unique southwestern desert community. (The City Charter excludes review of detached single family residential).*

The site enhances the unique climate by maximizing north/south lot orientation and incorporating shading opportunities on proposed homes. The applicant also recognizes the natural topography and flow of on-site washes and has strategically placed drainage features to minimize interruption. The gated community does not include an active amenity, but recognizes enhancing the natural open desert as quality of life for residents.

Land Use

7. *Sensitively integrate land uses into the surrounding physical and natural environments, the neighborhood setting, and the neighborhood itself.*

Providing a minimum average 40' buffered roadway and matching surrounding zoning results in a compatible development that is sensitive to natural features. Land use transitions such as; increased perimeter setbacks, alignment of community entries, and lot width compatibility are incorporated within the design of the community.

Community Mobility

5. *Relieve traffic congestion.*

Traffic congestion will be improved with half street improvements on both 84th Street and Black Mountain Road. Increased safety and promotion of alternative methods of transportation are provided with the construction of trails and/or sidewalks and curb and gutter. 84th Street and Black Mountain Road will be built to the specifications of DS&PM Figure 5.3-15 Local Collectors-Rural/ESL with Trails.

Open Space & Recreation

1. *Protect and improve the quality of Scottsdale's natural and urban environments as defined in the quality and quantity of its open spaces.*

The reserve at Black Mountain has exceeded the gross slope analysis requirements of Natural Area Open Space (N.A.O.S.). 11.03 acres of undisturbed will be preserved, with 48% of overall N.A.O.S placed in tracts. Protecting and improving the quality of Scottsdale's natural environment is a high priority of The Reserve at Black Mountain community.

Community Involvement

3. *Seek early and ongoing involvement in project/policy-making discussion.*

Two neighborhood meetings were held prior to the application submittal, where participants were encouraged to ask questions to the applicant team, as well as leave comments for the proposed community. The applicant has also engaged adjacent property owners in regular communication too address questions and concerns. Input from the community included suggestions for larger perimeter setbacks to existing adjacent neighborhoods, redesign to avoid "row home" look, implementation of pedestrian circulation on Black Mountain, similar architecture/size to adjacent neighborhoods. These communications have resulted in the following refinements to the site plan; increased setbacks along north and west sides, relocation of internal streets and homes in northeast corner to avoid "row home" image and eliminate headlight exposure, agreed to implement pedestrian paths on 84th Street and Black Mountain Road, lot size and zoning compatibility to seamlessly integrate into existing community, and incorporation of two remaining R1-190 parcels to unify larger area.

4. *Proactively seek community-wide representation on issues through vigorous outreach programs that engage citizens who are not typically involved.*

Letters of notification describing the proposal and including a copy of the site plan have been provided to HOAs and land owners within a 750' radius on two separate occasions. Also two sign postings were

done to alert residents in the area of the proposal and neighborhood meeting.

5. *Publish and process city issues in a manner that is relevant to citizens' daily lives and personal and professional interests.*

The applicant used the opportunity provided through the neighborhood meetings as a forum to address questions and describe the proposal/process for rezoning the property. These issues were articulated both verbally and through a comprehensive graphics package that includes aerial photography, copies of the General Plan and Zoning maps, as well as a rendered conceptual site plan.

6. *Accept and respond to new ways of communicating and new technologies*

Participants in the public meeting were able to communicate their thoughts in person or through a provided comment card. The applicant team also made their personal contact information available for future comments or concerns.

7. *Make available facts and information about community issues to increase understanding and insight into the complexity of challenges that affect the community.*

In addition to the applicant's verbal and illustrative presentation about the proposed application, citizens were given the project number and are able to view the project's status online at the City of Scottsdale.

8. *Foster community partnerships, community catalysts, and community networks as means of sharing information and responsibilities and working on collaborative solutions.*

The applicant has pledged to continue to partner with residents of the surrounding communities to maintain regular communication throughout the rezoning process. Please refer to the Community Outreach Report for a comprehensive documentation of outreach efforts to date.

B. Character Area Plan Designation and Analysis

The proposed site does not fall within a Character Area Plan boundary. The Desert Foothill Character Area Plan is most proximate and most applicable character area plan.

1. *Preserve the natural, visual qualities of the lush upper desert by using desert-sensitive building techniques.*

The site plan has been designed to protect three prominent washes that bisect the site. Cluster development with building envelopes allow for preservation of the site's most sensitive and highest value

natural areas. Much of the site's open space will be dedicated as NAOS and dedicated as protected tracts where possible.

2. *Promote connected areas of desert open spaces and trails.*

Building envelopes are situated to preserve wildlife corridors and prominent washes in the area. New pedestrian circulation elements (trails and sidewalks) along 84th Street and Black Mountain Road will be enhanced in association with the improvements to these alignments.

3. *Identify and celebrate the rural desert character of the Desert Foothills area.*

The natural desert is emphasized in the communities' plant and color pallet. Existing desert vegetation and neutral colors celebrate those found naturally within the Sonoran Desert. The density and rural character traits found in adjacent communities will be implemented within the Reserve community.

C. Existing Land Use

The majority of the site is vacant desert land with no uses or structures. The two existing homes within the application area will be maintained. The 2-acre homesite at the northern edge of the application area will continue to maintain access directly to 84th Street as a primary access point. The home located on Black Mountain Road will also remain and take vehicular access from a private driveway off of 83rd Street via Black Mountain Rd.

The application area and adjacent communities were a component of a larger area that was annexed into the City of Scottsdale in 1985. A majority of the surrounding area has since undergone rezoning to R1-43, with exception to the proposed 45 acres which remains R1-190. With the exception of the two existing Homesites, the subject site has never been developed.

D. Existing Zoning

Existing zoning on the property is R1-190 ESL, Single-Family Residential R1-190 in the Environmentally Sensitive Land district. **Exhibit 9, Existing & Proposed Zoning Map** shows the current zoning designation. The purpose of the R1-190 ESL is to "*promote and preserve residential development. Large lots are required to maintain a low density population. The principal land use is single-family dwelling and uses incidental or accessory thereto together with required recreational, religious and educational facilities.*"

E. Topography and Drainage

The site generally slopes from the northeast to the southwest. Stormwater flows exiting the upstream developments of Andaluza and Sierra Highlands enter the site in 3 separate wash corridors that extend through the site. The two northern washes are identified as minor washes and will generally be left in a natural state

where feasible. The southernmost wash is classified as a significant wash with a flow in excess of 50 cfs and will be preserved in the natural condition and current alignment. Retention will be provided largely within drainage easements in common areas, and are typically located adjacent to the internal roadway network where feasible for ease of maintenance. All proposed pads will drain to the local street network or directly to an adjacent drainage way as depicted in the case drainage report. Because this site is located within the Environmentally Sensitive Lands Overlay, a "Pre Versus Post" drainage analysis will be conducted per the City of Scottsdale Drainage Ordinance to show that all post-development stormwater flows exiting the site will be at or below the pre-development magnitudes for both the 10-year and 100-year design storms. All drainage analysis will also meet requirements outlined in the City of Scottsdale Design Standards and Policy Manual (DSPM).

F. Natural Area Open Space (NAOS) & Native Vegetation

The proposed community intends to meet and exceed the Natural Open Space requirements as outlined under the Upper Desert Landform in the Environmentally Sensitive Land Ordinance (ELSO). NAOS may be provided between development envelopes where areas exceed 30 feet, as well as larger concentrated areas found in retention basins and perimeter buffers.

A required slope analysis determined a minimum of 15.76 acres of NAOS would need to be dedicated on the site. The applicant has provided a total of 16.22 acres; 11.03 acres (70%) of undisturbed NAOS and 4.71 acres (30%) of revegetated. With this site plan the applicant intends to provide .48 acres (3%) in excess of natural area open space.

Native plants are considered to be a significant environmental and theming feature of the Reserve at Black Mountain community. Areas identified as NAOS will be preserved and enhanced with the development of this site, as well as efforts to salvage and relocate native plant material when possible. Densely vegetated areas like wash corridors and perimeter buffer areas will be preserved in their natural state.

G. Roads and Right-of-Way

The entrance for the project will be located on 84th Street, directly across from the entry to Sierra Highlands Subdivision. The community will be gated with an entrance that meets or exceed City of Scottsdale standards for emergency access. All onsite roadways will be located within private tracts owned and maintained by the HOA. The internal streets will meet the Local Rural/ESL street section as depicted in the City's DS&PM. 84th Street has been previously constructed to the ultimate street section and will not require improvements or widening, although sidewalk and landscape improvements will be constructed. Required right-of-way for the half street improvements has been dedicated. A 25-foot corner radius is being dedicated at the southeast corner of the site with the proposal of this plan (northwest corner of N. 84th St. and E. Black Mountains Rd.). The existing rock outcropping located on the northwest corner

of 84th St. and Black Mountain Rd. will be removed to address sight visibility at the intersection.

Black Mountain Road will require a small amount of half street improvements along the project frontage. These improvements will require the widening of the pavement by approximately 4 feet, and an addition of curb and gutter and an 8 foot natural surface trail. **Exhibit 6, Pedestrian & Vehicular Circulation Plan** displays this improvement information. Required right-of-way for the half street improvements has been previously dedicated.

All right of way that had previously dedicated internal to the subject property will be abandoned subject to a formal application process. This includes the abandonment of existing N.83rd Street right-of-way. Abandonment applications have been filed concurrent with this request.

H. Utilities

Individual public water and sewer services will be provided to each lot within the development. Each onsite roadway will contain a public water and sewer main within a public utility easement over the roadway tract. A gravity service will be provided to the existing home located at 34822 N. 83rd Street (APN 216-34-268). This property is currently served by septic which will be taken off-line and abandoned with this project. Water will be looped through the development from the existing main located in Black Mountain Road to the existing main located in 84th Street. The sewer main system will connect to the existing public main located just east of the project in E. Sandflower Drive. A public sewer easement will be secured over Lot 9 of the Sandflower Subdivision (APN 216-34-027) in order to make this connection. If for any reason this easement cannot be secured, a number of other sewer outfall alternatives have been identified in the Sewer Basis of Design Report. Due to challenging terrain in the southeast corner of the site, 3 proposed lots will be sewerer with grinder or ejector pumps to the nearest public gravity manhole onsite. All other sewer services on the project are designed to be gravity services.

Franchise utilities will be incorporated into this project within public utility easements over all onsite roadway tracts. The following utilities are likely to serve the development: APS Electric, Southwest Gas, Century Link, and Cox Communications. These utilities will likely be joint-trenched and transformers/terminals will be placed within PUE's adjacent to roadway tracts at lot lines in various locations, as-needed, and designed by the franchise utility companies.

IV. Description and Justification of Request

A. R1-43 ESL Zoning Designation and Analysis

The proposed conceptual site plan includes 45 acres for a planned community that utilizes the Amended Development Standards to allow for modified development standards to the R1-43 ESL zoning designation to better accommodate preservation of natural environmental features. The plan includes 29 new Homesites (plus 2 existing), private gated access off of 84th Street aligned with Sierra Highland's entry, and 16.22 acres of natural open. See **Exhibit 4, NAOS Plan** for NAOS dedications.

The design intent is to create an environmentally sensitive community that is consistent with the density and character of surrounding planned communities. Enhanced buffers along the western and northern sides of the community were incorporated to better suit the adjacent communities. Lot orientation and a sensitive grading approach have played a role in preserving existing view corridors and minimizing drainage impacts to neighboring developments. **Exhibit 3, Conceptual Subdivision Plan** depicts the proposed community.

V. Design Review

A. Architectural Character

At this time the no product has been chosen for the proposed community. The applicant intends to work with a builder to incorporate homes that integrate elements of surrounding neighborhoods and characteristics that complement the natural desert.

B. Environmental Response

The proposed site plan recognizes the prominent natural features on the site and has strategically placed building pads to accommodate prominent washes, concentrated vegetation, and wildlife habitats. Open space easements have been identified throughout the community in order to preserve natural open space and maintain undisturbed desert lands. **Exhibit 7, Environmental Features Map** identifies prominent natural feature.

C. Sensitive Design Principles & Site Development Character

Road alignments that respond the natural topography of the site, clustering of homes, and sensitive building practices are all elements that have been incorporated into the design of the Reserve at Black Mountain community. Heat tolerant materials like stucco and tile will be the preferred building resources, while native drought tolerant plants will be utilized for landscaping of the community. Mature plant materials will provide relief from the Arizona climate for active residents. Neutral desert colors and low lighting will seamlessly integrate this community into the Sonoran Desert. **Exhibit 5, Conceptual Landscape Character Zones** show the site's landscape character.

1. *The design character of any area should be enhanced and strengthened by new development.*

The Reserve at Black Mountain has enhanced the distinctive north Scottsdale qualities and character by incorporating desert neutral colors into the building design and responding to the desert climate by offering recessed windows and shade opportunities. The infill piece strengthens the local character by incorporating equivalent zoning and similar development standards to the established community.

2. *Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.*

A number of sight line studies from adjacent properties have been conducted in order to preserve existing view corridors. Dwelling units on the proposed site have been strategically placed in order to respond to the natural environmental features of the site and to respect scenic Sonoran Vistas. No significant historical or archaeological resources have been recorded on this property.

3. *Development should be sensitive to existing topography and landscaping.*

The proposed development has shown sensitivity to existing vegetation by providing 36 percent of the site as Natural Area Open Space, 7.81 acres of which will be placed in community tracts. The design also works with the natural topography of the site and has minimized proposed cuts and fills of the development.

4. *Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological resources.*

Preservation and restoration of natural habitats and ecological resources have been implemented in the following ways; not including perimeter fencing to encourage wildlife corridors, providing tract NAOS for further native plant conservation, and incorporating amended development standards so building envelopes can respond to the natural features of the site.

7. *Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent communities.*

Shading elements will be incorporated into the architecture of each home as well as placement of trees adjacent to walkways. Perimeter sidewalks and trails have been proposed to connect into existing pedestrian circulation.

12. *Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.*

Drought tolerant, native plant species have been preserved and incorporated as an effort for efficient water use. No water features are planned for this community.

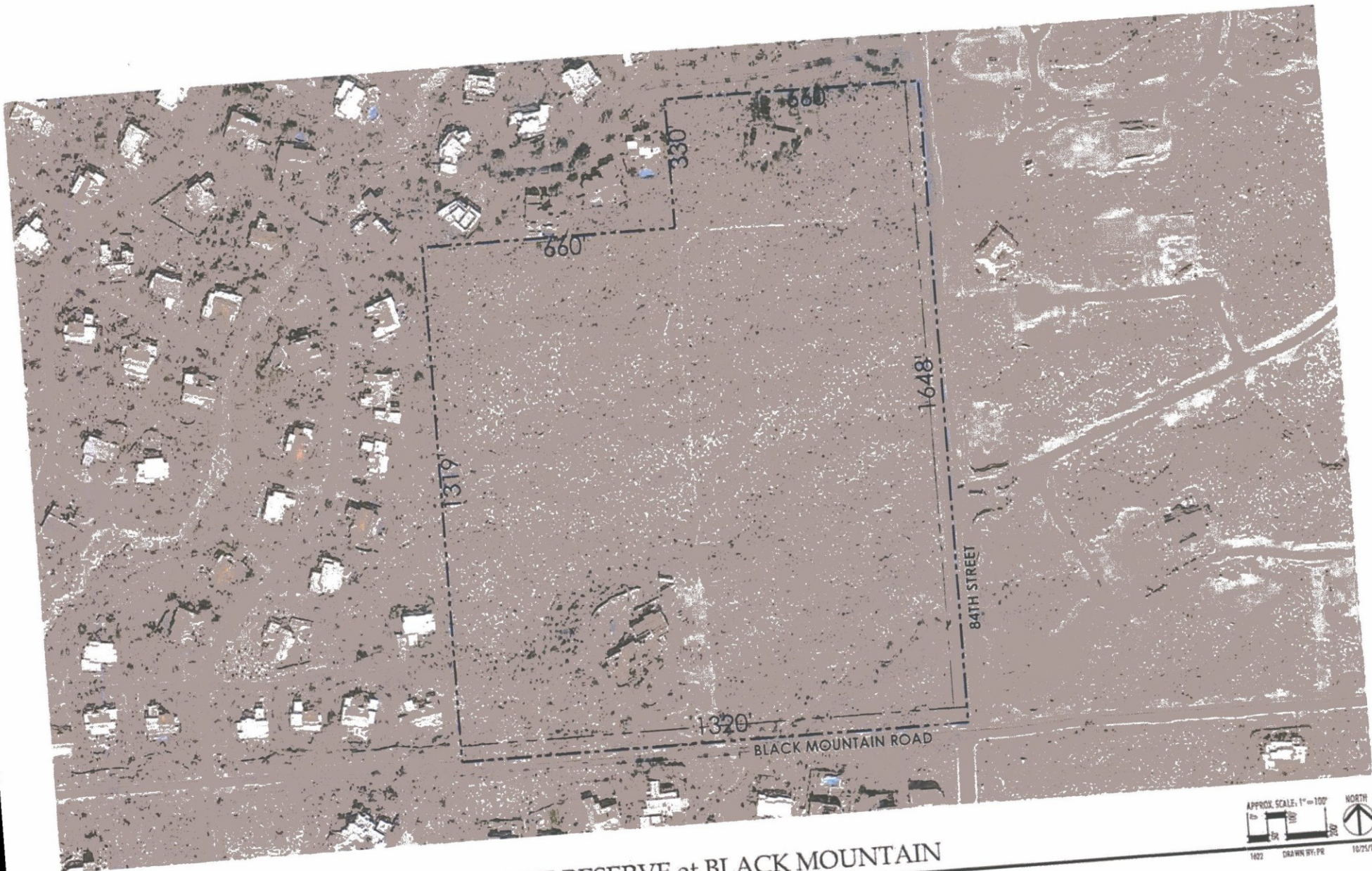
D. Landscape Character

The Reserve at Black Mountain will utilize three landscape character zones and a variety of different walls and fencing to theme the 45 acre planned community.

Zone A – Natural Vegetation will depict undisturbed portions of the property which will remain in its current natural state. Areas include but are not limited to wash corridors and NAOS tracts. Zone B – Enhanced Planting are concentrated in portions of the site that establish character and theming within the community. These areas can include salvaged plant material from onsite or nursery grown landscaping and are maintained by the community's HOA. Zone C – Native Planting are primary revegetated areas to visually mitigate the disturbance caused by construction. Plant selection and density will be designed to appear similar to the natural surrounding vegetation. Salvaged plant material from on site may also be used in this zone. Zone D – Maintained Landscaping are privately owned and maintained landscape areas that usually consist of areas adjacent to building envelopes. **Exhibit 5, Conceptual Landscape Character Zones** identifies these areas in relation to the site plan.

One of the main grading design goals for this project is to minimize retaining wall and exposed wall heights. In areas where retaining walls are needed (as shown in the case grading and drainage plan) they will meet the amended zoning ordinance, requirements outlined in the Environmentally Sensitive Lands Ordinance, and the City of Scottsdale DS&PM. All retaining wall heights will be limited to 6' of retained height from finished grade to finished grade. All retained differentials greater than 6' will require a tiered wall with horizontal spacing of 6'. For retaining walls with mounted screen wall, overall wall height will be limited to 12'. No single wall will expose more than 8' in height of solid block. In addition, all screen wall will be limited to a height of 8' as measured from the high side of the pad. All headwalls or singular retaining wall that are adjacent to public walkways with greater than 30" of exposed drop will have handrails that match theming for the development.

EXHIBIT 1:



THE RESERVE at BLACK MOUNTAIN

DIMENSION PLAN

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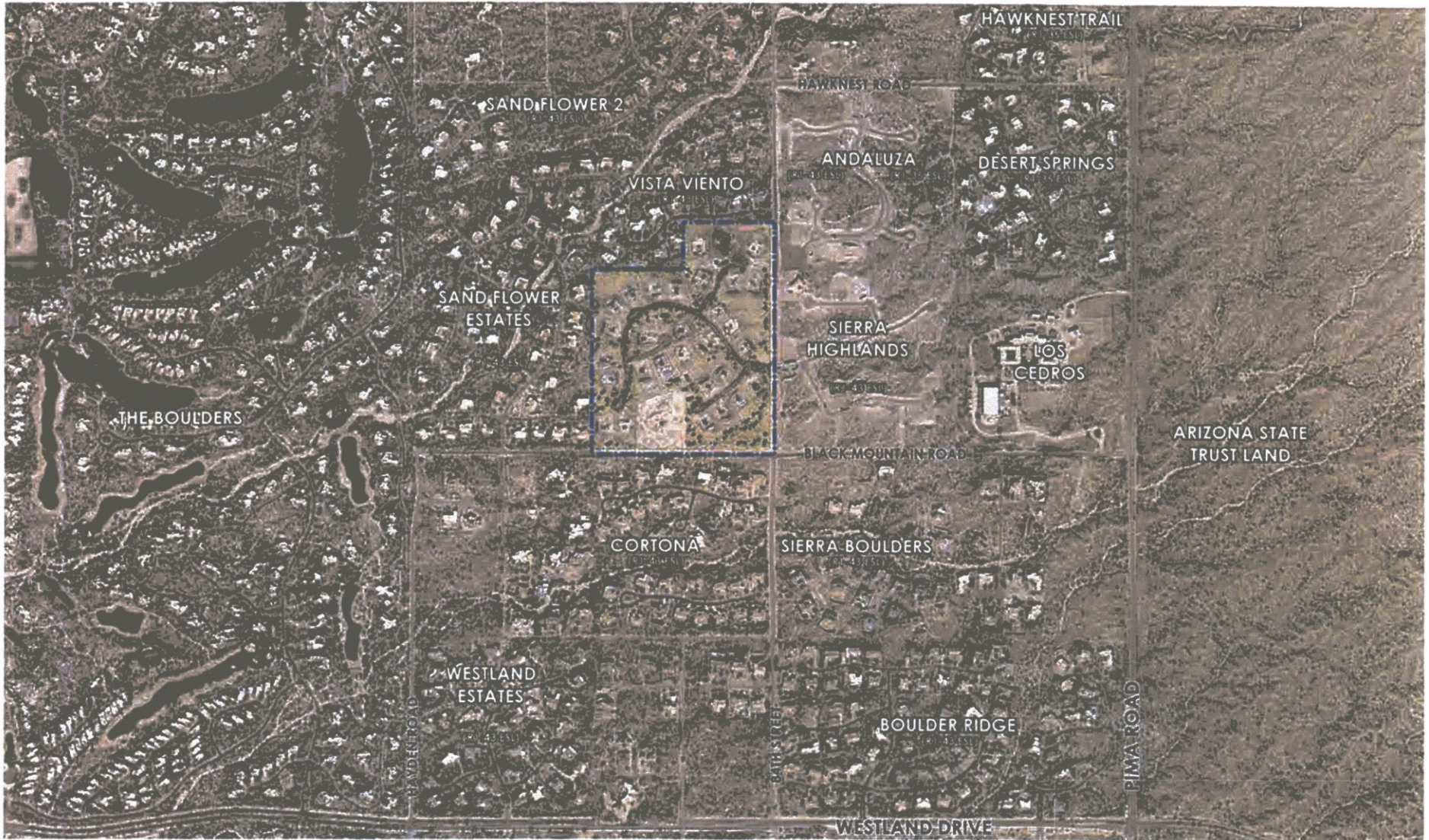
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 1320-84TH & BLACK MOUNTAIN RD CIVIL PLANNING/CIA/2016-12-28.dwg 04/26/2016

APPROX. SCALE: 1" = 100'

1822 DRAWN BY: PR 10/25/16

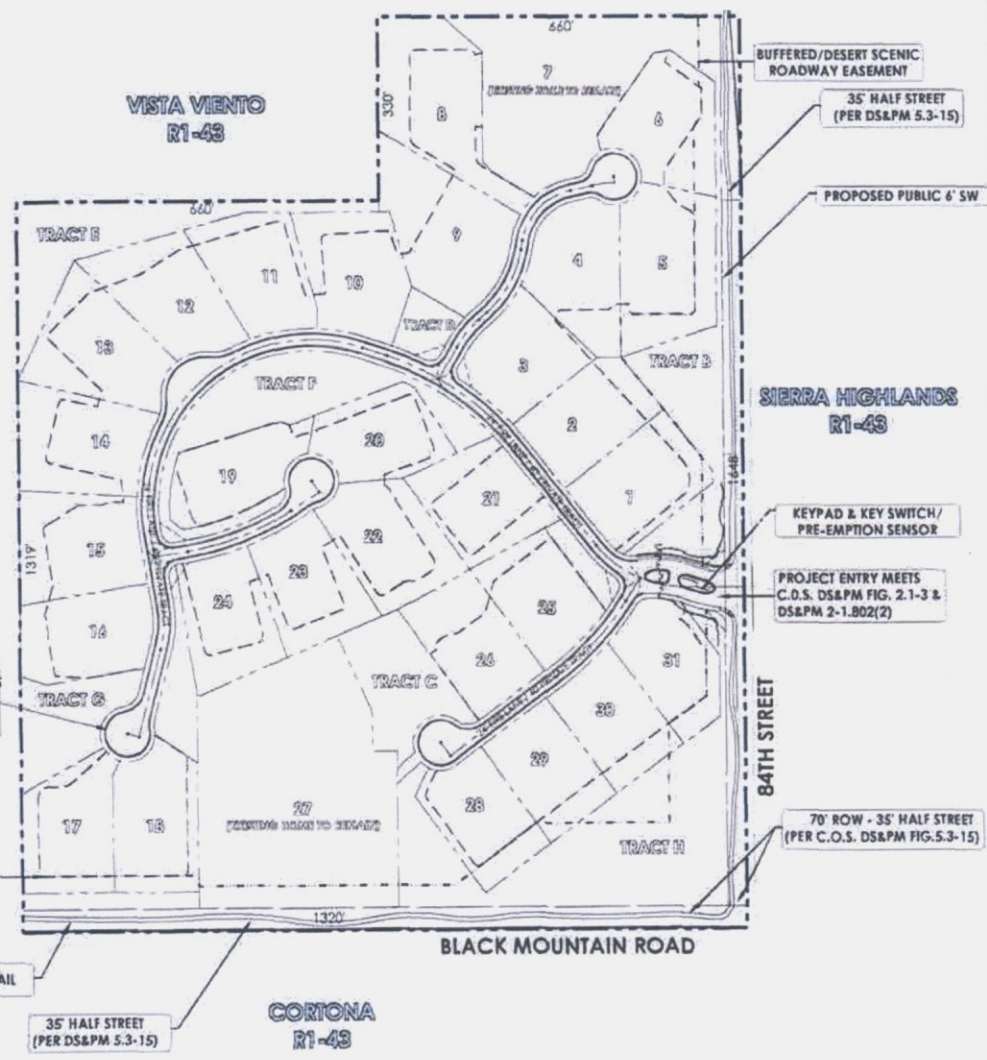
NORTH

EXHIBIT 2:



THE RESERVE at BLACK MOUNTAIN CONTEXT AERIAL WITH SITE PLAN

EXHIBIT 3:



LEGEND

--- GROSS BOUNDARY --- LOT LINES --- DEVELOPMENT ENVELOPES
 - - - - - BUFFERED/DESERT SCENIC ROADWAY EASEMENT SETBACK

SITE INFORMATION

LOCATION: NWC 84TH ST. & BLACK MOUNTAIN RD.
 SITE AREA (GROSS): 45.0 AC (1,957,785 SQ. FT.)
 SITE AREA (NET): 42.4 AC (1,852,093 SQ. FT.)
 EXISTING G.P. LAND USE: RURAL NEIGHBORHOODS (0-1 DUA/C)
 EXISTING ZONING: R1-19D ESL
 PROPOSED ZONING: R1-43 ESL
 NUMBER OF LOTS: 31
 GROSS DENSITY: 0.69 DU/AC
 REFUSE COLLECTION: INDIVIDUAL RESIDENTIAL REFUSE CONTAINERS
 PROVIDED PARKING: 2 SPACES/UNIT TO BE PROVIDED IN GARAGE
 NAOS REQUIRED: 15.76 AC (PER SLOPE ANALYSIS ON GROSS)
 NAOS PROVIDED: 16.22 AC
 REVEG.: 4.71 AC (30%)
 UNDISTURBED: 11.51 AC (73%)

PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

MIN. LOT AREA: 32,250 SF (25% REDUCTION PER E.S.L.)
 MIN. LOT WIDTH: 113' (25% REDUCTION PER E.S.L.)
 MAX. BUILDING HEIGHT: 24' (0% REDUCTION PER E.S.L.)
 MIN. FRONT YARD SETBACK: 30' (25% REDUCTION PER E.S.L.)
 MIN. SIDE YARD SETBACK: 15' (25% REDUCTION PER E.S.L.)
 MIN. REAR YARD SETBACK: 26' (25% REDUCTION PER E.S.L.)

VICINITY MAP

CROSS-SECTION

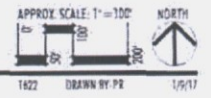
C.O.S. DS & PM FIG. 5.3-19 LOCAL RESIDENTIAL - RURAL/ESL CHARACTER
 INTERNAL LOCAL PRIVATE STREET CROSS SECTION

EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

- ON-SITE STREET TRACTS ARE DESIGNATED 24' FIRE LANES.
- FIRE LANE SURFACE TO SUPPORT 83,000 LB GVW
- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6"
- KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR ALL GATES
- GATE DETAIL CONSISTENT WITH DS&PM
- ALL PRIVATE ACCESSWAYS TO MEET MINIMUM 40.5' OUTSIDE EDGE RADIUS
- PROJECT ENTRY MEETS C.O.S. DS&PM FIG. 2.1-3 & 2.1-802(2)
- CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

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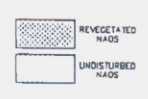
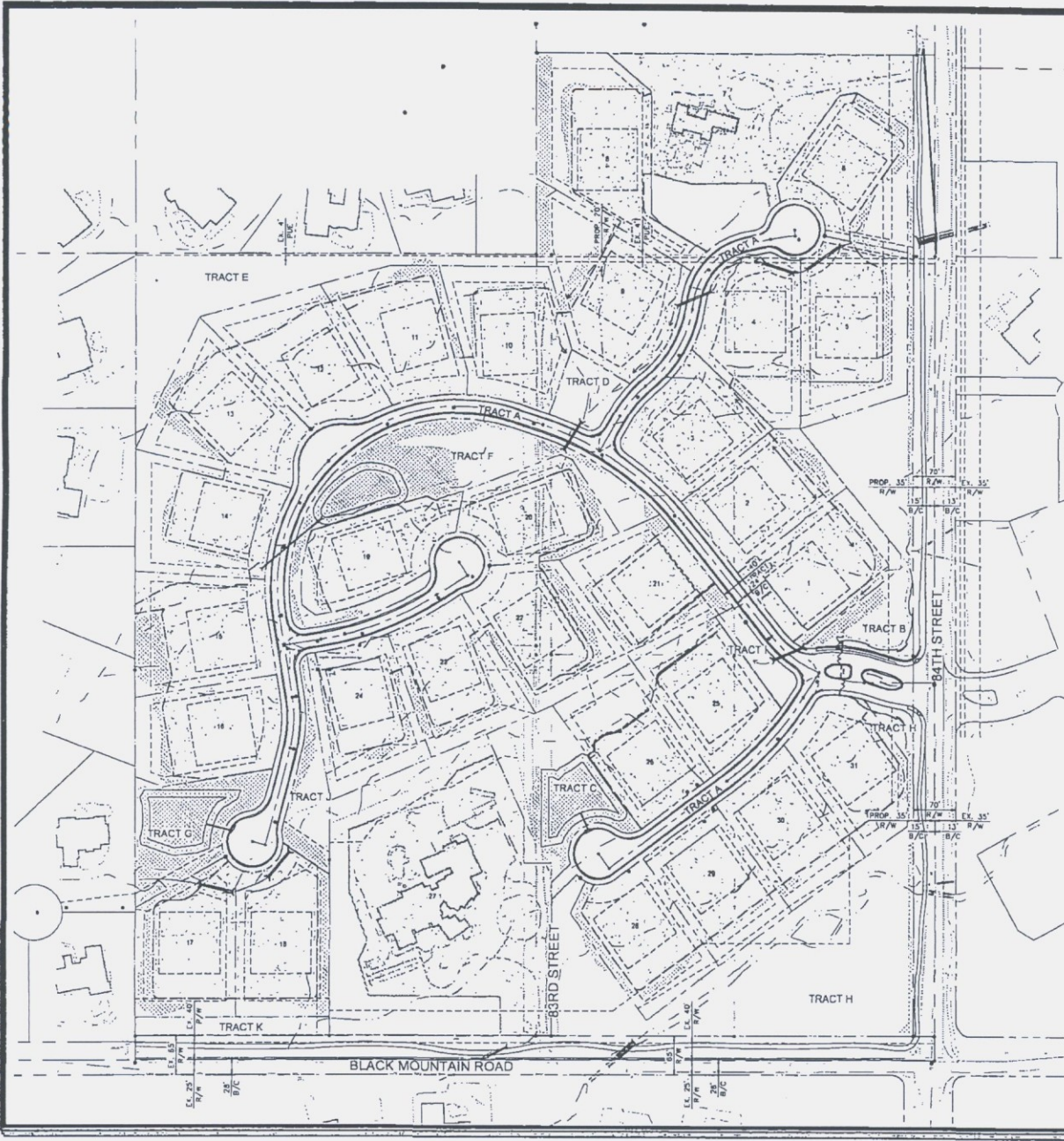
THE RESERVE at BLACK MOUNTAIN
CONCEPTUAL SUBDIVISION PLAN



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 11425 BAYVIEW BLVD. BLACK MOUNTAIN, NC 28714 TEL: 704.283.1111 FAX: 704.283.1112

EXHIBIT 4:

K:\Projects\2010\2010-0001 - NAOS - mnt\2010\NAOS\Site\NAOS.dwg Jan 03, 2017 10:08:40am

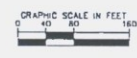


	Area (SF)	Area (AC)	Percent of Required
NAOS Revegetated	205,073	4.71	30%
NAOS Undisturbed	480,845	11.03	
NAOS Additional (Undisturbed)	20,956	0.48	73%
Provided Total NAOS	706,867	16.22	
Required Total NAOS	684,633	15.76	

LOT/TRACT	TOTAL AREA(SQFT)
1	36,790
NAOS Undisturbed	4,327
Non NAOS	28,211
NAOS Revegetated	4,247
2	34,333
NAOS Undisturbed	2,461
Non NAOS	28,434
NAOS Revegetated	3,238
3	33,049
NAOS Undisturbed	75
Non NAOS	32,346
NAOS Revegetated	679
4	27,999
NAOS Undisturbed	6,740
Non NAOS	36,108
NAOS Revegetated	1,451
5	49,870
NAOS Undisturbed	12,378
Non NAOS	28,539
NAOS Revegetated	7,253
6	39,649
NAOS Undisturbed	7,347
Non NAOS	24,641
NAOS Revegetated	7,461
7	88,894
NAOS Undisturbed	16,451
Non NAOS	72,444
8	45,991
NAOS Undisturbed	11,588
Non NAOS	30,538
NAOS Revegetated	3,817
9	45,705
NAOS Undisturbed	9,069
Non NAOS	32,811
NAOS Revegetated	3,825
10	38,454
NAOS Undisturbed	9,166
Non NAOS	27,824
NAOS Revegetated	1,466
11	38,739
NAOS Undisturbed	3,812
Non NAOS	28,917
NAOS Revegetated	3,114
12	39,175
NAOS Undisturbed	8,483
Non NAOS	26,494
NAOS Revegetated	1,278
13	42,334
NAOS Undisturbed	9,407
Non NAOS	28,970
NAOS Revegetated	3,978

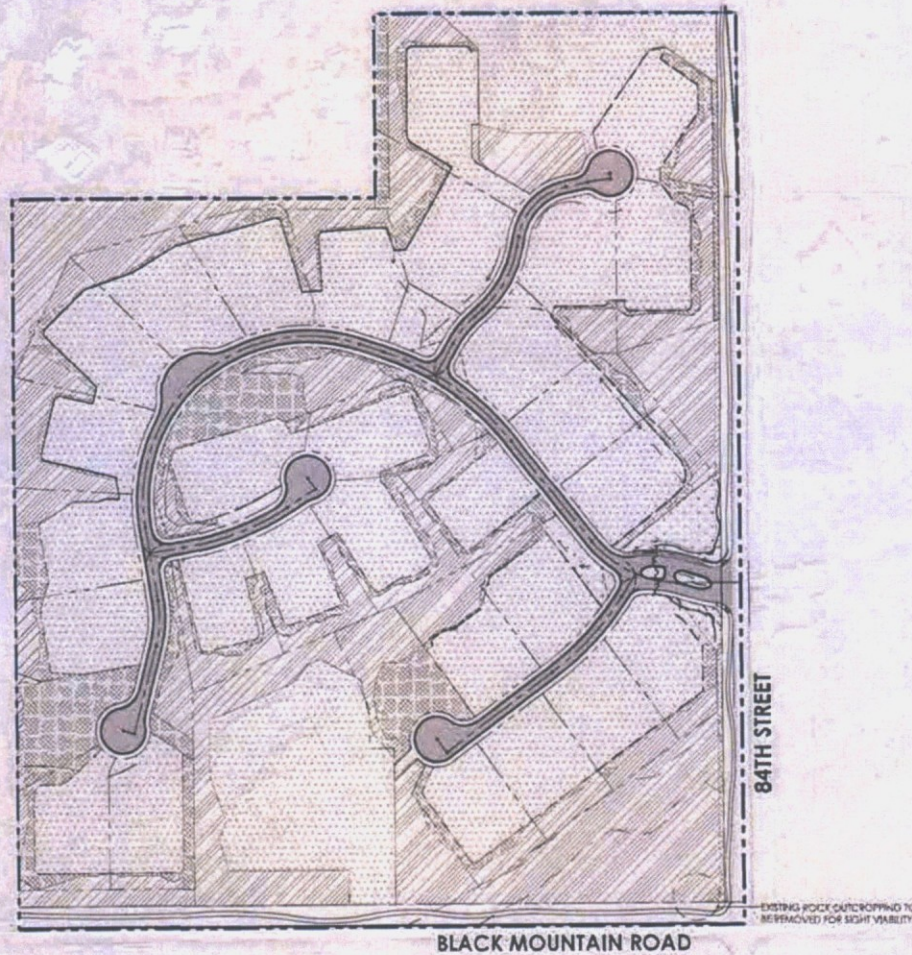
14	41,764
NAOS Undisturbed	18,635
Non NAOS	23,114
NAOS Revegetated	2,015
15	40,018
NAOS Undisturbed	5,038
Non NAOS	28,530
NAOS Revegetated	6,438
16	35,311
NAOS Undisturbed	5,541
Non NAOS	27,257
NAOS Revegetated	2,517
17	37,766
NAOS Undisturbed	4,931
Non NAOS	24,545
NAOS Revegetated	6,790
18	38,405
NAOS Undisturbed	3,037
Non NAOS	29,642
NAOS Revegetated	5,631
19	27,175
NAOS Undisturbed	2,230
Non NAOS	28,257
NAOS Revegetated	1,704
20	32,479
NAOS Undisturbed	4,957
Non NAOS	22,840
NAOS Revegetated	4,547
21	36,906
NAOS Undisturbed	10,703
Non NAOS	20,615
NAOS Revegetated	5,088
22	39,900
NAOS Undisturbed	9,798
Non NAOS	25,040
NAOS Revegetated	5,061
23	34,434
NAOS Undisturbed	9,271
Non NAOS	21,476
NAOS Revegetated	4,180
24	35,471
NAOS Undisturbed	12,193
Non NAOS	19,761
NAOS Revegetated	3,467
26	35,886
NAOS Undisturbed	13,881
Non NAOS	23,099
NAOS Revegetated	907
27	35,245
NAOS Undisturbed	14,574
Non NAOS	20,740
NAOS Revegetated	11,215
28	34,215
NAOS Undisturbed	5,195

Non NAOS	23,203
NAOS Revegetated	4,668
29	32,750
NAOS Undisturbed	5,800
Non NAOS	25,500
NAOS Revegetated	900
30	32,700
NAOS Undisturbed	5,528
Non NAOS	32,999
NAOS Revegetated	25,950
31	32,999
NAOS Undisturbed	3,997
Non NAOS	26,513
NAOS Revegetated	2,489
A	160,486
Non NAOS	160,486
B	41,986
NAOS Undisturbed	31,991
Non NAOS	4,260
C	33,652
NAOS Undisturbed	15,822
Non NAOS	13,624
NAOS Revegetated	10,228
D	10,228
Non NAOS	10,228
E	55,182
NAOS Undisturbed	45,842
NAOS Revegetated	9,350
F	55,713
NAOS Undisturbed	21,214
Non NAOS	2,810
NAOS Revegetated	31,689
G	27,638
NAOS Undisturbed	1,284
Non NAOS	1,105
NAOS Revegetated	26,249
H	107,773
NAOS Undisturbed	99,472
Non NAOS	3,246
NAOS Revegetated	5,056
I	6,998
Non NAOS	6,998
J	37,785
NAOS Undisturbed	3,832
Non NAOS	27,615
NAOS Revegetated	1,214
K	9,599
NAOS Undisturbed	9,599
L	13,293
NAOS Undisturbed	8,719
NAOS Revegetated	5,274
Grand Total	1,848,802







NAOS ANALYSIS
Kimley Horn
 January 3, 2017

EXHIBIT 5:



LEGEND:

- 
ZONE A: NATURAL VEGETATION
 The identified areas depict undisturbed portions of the site which will remain in the current state. Areas to be designed as undisturbed N.A.O.S.
- 
ZONE B: ENHANCED PLANTING
 The identified areas will bring character and theming to the community by including concentrated salvaged or nursery grown vegetation maintained by the HOA.
- 
ZONE C: NATIVE PLANTING
 The identified areas are primarily N.A.O.S revegetated areas to mitigate development disturbance. Plant selection and density will match surrounding vegetation and may include salvaged materials.
- 
ZONE D: MAINTAINED LANDSCAPING
 The identified areas are privately owned and maintained. These landscaped areas are located on lot adjacent to building envelopes.

LANDSCAPE NOTES:

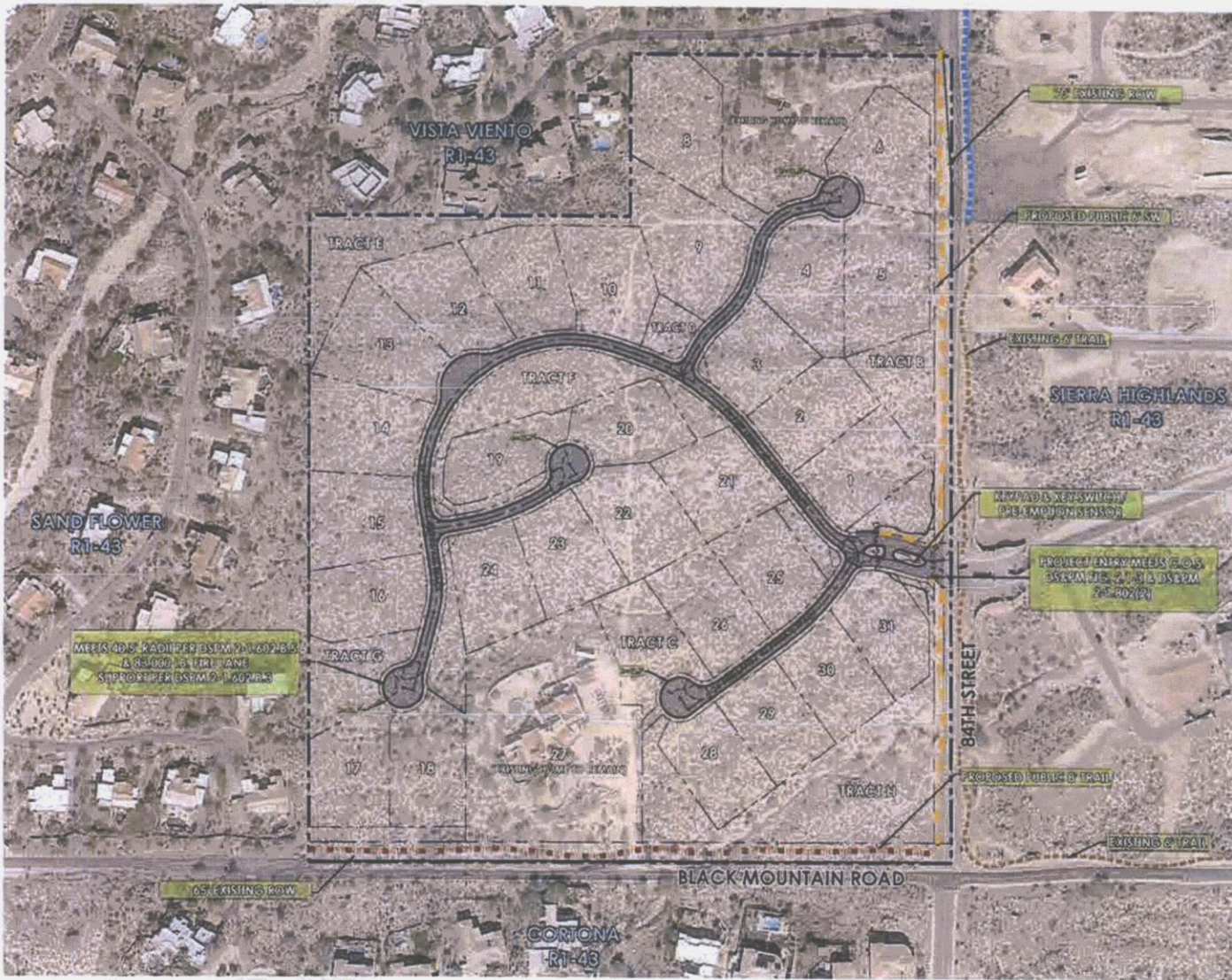
1. ALL DISTURBED AREAS ARE TO HAVE 'DESERT FLOOR' DECOMPOSED GRANITE. MATCH COLOR AND SIZE OF SURROUNDING AREAS.
2. ALL BERMS ARE TO HAVE MAXIMUM 4:1 SIDE SLOPES.
3. BOULDERS ARE TO BE SURFACE SELECT SITE BOULDERS, 1/3 BURIED IN SOIL, TYP.
4. FIFTY PERCENT OF PROPOSED TREES SHALL BE MATURE, AS DEFINED IN ARTICLE III, DEFINITIONS, OF THE ZONING ORDINANCE. INDICATE BOTH THE COMPLIANT CALIPER AND INDUSTRY STANDARDS BOX SIZE FOR THAT CALIPER IN THE PLANT PALETTE.
5. ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST.
6. NO SHRUB OR GROUNDCOVER WITHIN SIGHT VISIBILITY TRIANGLE SHALL EXCEED 2'-0" IN HEIGHT AT MATURITY, TYP.
7. PLANTS INSTALLED IN DETENTION BASINS AND DRAINAGE CHANNELS TO CONFORM TO CITY OF SCOTTSDALE DS&PM, SECTION 2-1.903
8. CUL-DE-SAC LANDSCAPE SHALL BE PLANTED PER ZONING ORDINANCE SECTION 1-303 REFER TO PLAN AND REPORTS REQUIREMENTS FOR DEVELOPMENT APPLICATIONS.

*NOTE: LIMITS OF PLANTING AREAS AS DEPICTED ON THIS EXHIBIT ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE

*PLANTS PROPOSED IN DRAINAGE BASINS SHALL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.903 NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

THE RESERVE at BLACK MOUNTAIN
 LANDSCAPE CHARACTER PLAN

EXHIBIT 6:



LEGEND:

- SITE BOUNDARY
- EXISTING 5' PUBLIC SIDEWALK
- EXISTING 6' PUBLIC TRAIL
- PROPOSED 6' PUBLIC SIDEWALK
- PROPOSED 8' PUBLIC TRAIL
- RESIDENTIAL TURNING RADII (16.5-40.5)

BLACK MOUNTAIN RD. LOCAL COLLECTOR STREET CROSS SECTION (LOOKING WEST)

C.O.S. DSR&PM FIG. 5.3-19 LOCAL COLLECTOR-RURAL/RES. WITH TRAILS

84TH ST. LOCAL COLLECTOR STREET CROSS SECTION (LOOKING NORTH)

C.O.S. DSR&PM FIG. 5.3-19 LOCAL COLLECTOR-RURAL/RES. WITH TRAILS

TYPICAL INTERNAL LOCAL PRIVATE STREET CROSS SECTION (TRACT A)

C.O.S. DSR & PM FIG. 5.3-19 LOCAL RESIDENTIAL - RURAL/RES. CHARACTER

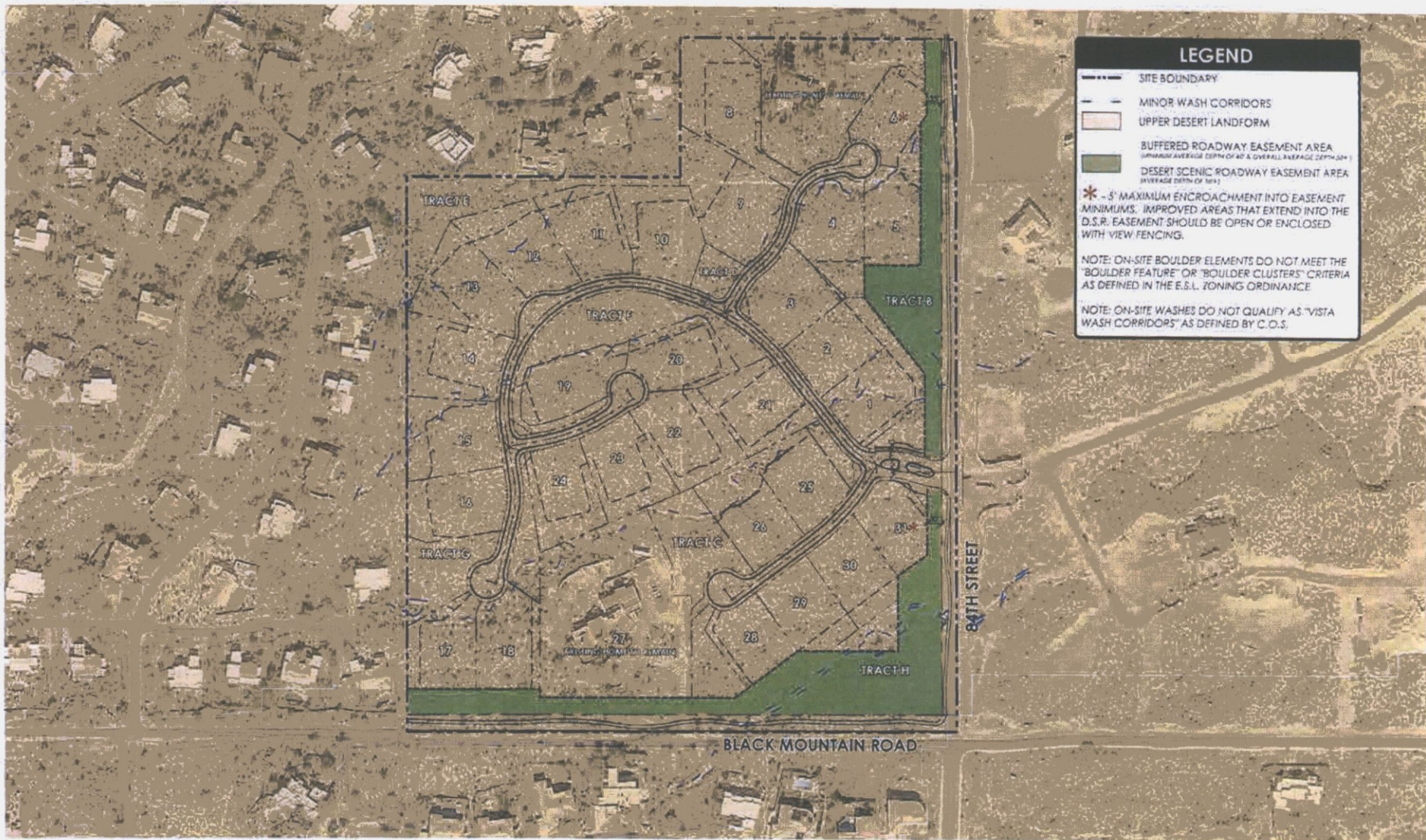
EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

- ON-SITE STREET TRACTS A ARE DESIGNATED 24' FIRE LANES
- FIRE LANE SURFACE TO SUPPORT BLOCK/LS DUMP
- (UNOBSTRUCTED VERTICAL) CLEARANCE MIN. 13'-6"
- KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR ALL GATES
- GATE DETAIL CONSISTENT WITH DSR&PM
- ALL PRIVATE ACCESSWAYS TO MEET MINIMUM 40' OUTSIDE EDGE RADIUS
- PROJECT ENTRY MEETS C.O.S. DSR&PM FIG. 2-1-3 & 2-1-102(B)
- CUL-DE-SAC MEETS C.O.S. DSR&PM 2-1-102(B)

THE RESERVE at BLACK MOUNTAIN
PEDESTRIAN, VEHICULAR, BIKEWAYS & TRAILS CIRCULATION PLAN

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 11/16/16/17/18 BLACK MOUNTAIN POLICE PLANNING 16A-1675-PED & VEHICULAR PLAN Rev. Jan 1, 2017

EXHIBIT 7:



LEGEND

- SITE BOUNDARY
- - - MINOR WASH CORRIDORS
- UPPER DESERT LANDFORM
- BUFFERED ROADWAY EASEMENT AREA
(MINIMUM AVERAGE DEPTH OF 40' & OVERALL AVERAGE DEPTH 50')
- DESERT SCENIC ROADWAY EASEMENT AREA
(AVERAGE DEPTH OF 10')

* - 5' MAXIMUM ENCROACHMENT INTO EASEMENT MINIMUMS. IMPROVED AREAS THAT EXTEND INTO THE D.S.R. EASEMENT SHOULD BE OPEN OR ENCLOSED WITH VIEW FENCING.

NOTE: ON-SITE BOULDER ELEMENTS DO NOT MEET THE "BOULDER FEATURE" OR "BOULDER CLUSTERS" CRITERIA AS DEFINED IN THE E.S.L. ZONING ORDINANCE

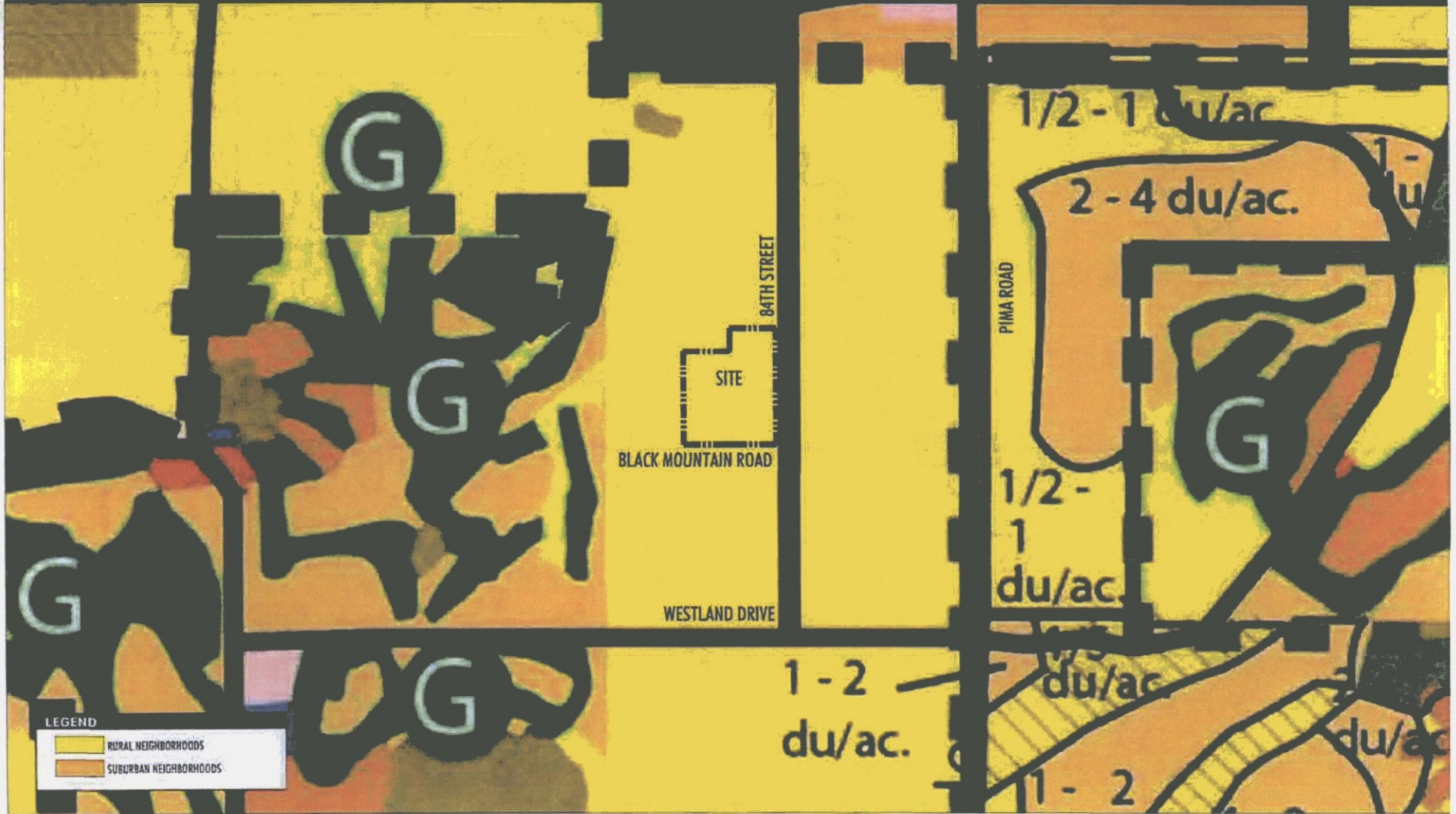
NOTE: ON-SITE WASHES DO NOT QUALIFY AS "VISTA WASH CORRIDORS" AS DEFINED BY C.D.S.

THE RESERVE at BLACK MOUNTAIN
ENVIRONMENTAL FEATURES MAP

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 111622 04/16 BLACK MOUNTAIN BOULDERLANDSCAPING 116-1625 ENV FEATURES MAP Aug 1st 6, 2017

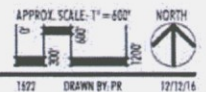
EXHIBIT 8:

EXISTING GENERAL PLAN



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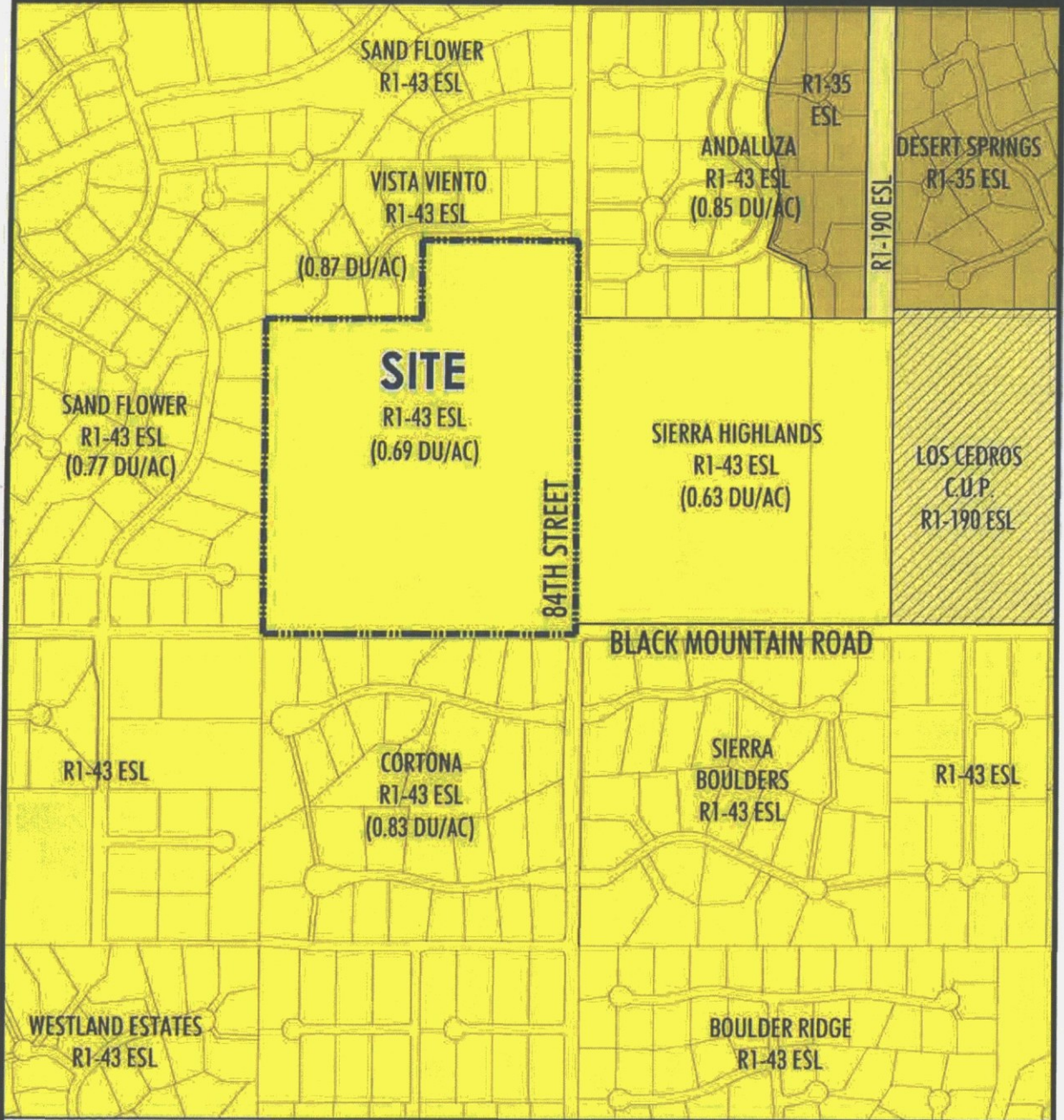
THE RESERVE at BLACK MOUNTAIN
 GENERAL PLAN MAP



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 211422-047H-3 BLACK MOUNTAIN RESERVE PLANNING LVA-1422-GENERAL PLAN Map Dec 11, 2016

EXHIBIT 9:

PROPOSED ZONING



LEGEND

-  R1-190 ESL
-  R1-43 ESL
-  R1-35 ESL



APPENDIX 1:

PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

Sec. 5.100. - Single-family Residential (R1-43).

(Ord. No. 4005, § 1(Res. No. 8947, Exh. A, § 24), 4-3-12)

Sec. 5.101. - Purpose.

This district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Sec. 5.102. - Use regulations.

- A. *Permitted uses.* Buildings, structures or premises shall be used and buildings and structures shall hereafter be erected, altered or enlarged only for the following uses:
1. Accessory buildings, swimming pools, home occupations and other accessory uses. The landing and taking-off of aircraft is not a valid accessory use in residential districts and is prohibited.
 2. Adult care homes; subject to the following criteria:
 - a. Floor area ratio: Is limited to thirty-five hundredths (0.35) of the net lot area.
 - b. Capacity: The maximum number of residents other than the manager or property owner at the home is ten (10).
 - c. Location: An adult care home shall not be located within seven hundred fifty (750) feet of another adult care home on the same street frontage or within five hundred (500) feet in any other direction of another adult care home.
 - d. Compatibility: The home and its premises shall be maintained in a clean, well-kept condition that is consistent in materials and design style with homes in the surrounding or adjacent neighborhood.
 - e. Parking: All parking for the property owner and any employees shall be provided in off-street locations but in no case shall parking occupy more than three-tenths (0.3) of the required front yard.
 3. Charter school located on property with a net lot size of one (1) acre or more.
 4. Day care home.
 5. Day care group home.
 6. Dwelling units, single-family.
 7. Guest houses, as an accessory use subject to the following criteria:
 - a. No more than one (1) per lot shall be permitted.
 - b. The square footage shall be no greater than one-half (½) the square footage of the principal building.
 - c. The guest house shall not be rented or offered for rent independent of the main building.
 - d. A guest house that is a portion of the main building shall comply with the yard requirements of the main building.
 8. Model homes.
 9. Municipal uses.

- 10 Wireless communications facilities, Types 1, 2, and 3, subject to the requirements of Sections 1 906, 3 100 and 7 200
- 11 Private tennis courts
- 12 Public, elementary and high schools
- 13 Temporary sales office buildings and buildings for uses incidental to construction work, to be removed upon completion or abandonment of construction work
- 14 Churches and places of worship, subject to Development Review Board approval and compliance with the following standards, as well as those otherwise required in the R1-43 District
 - a Lot area The minimum lot area shall be equal to that required for the district, except that no lot shall be less than twenty thousand (20,000) square feet (net)
 - b Floor area ratio In no case shall the gross floor area of the structure(s) exceed an amount equal to 0 20 multiplied by the net lot area
 - c Building height Development Review Board may allow building heights, including towers, spires, and mechanical equipment (such equipment must be screened) limited to thirty (30) feet in height, and may allow a maximum of ten (10) percent of the roof area to exceed the height limit by fifteen (15) feet Height and location are subject to the Development Review Board review and approval for compatibility with the established neighborhood character Maximum permissible heights may not be achievable in all neighborhoods (This provision supersedes Sections 7 100 through 7 102, exceptions to height restrictions, which shall not apply to churches within this district)
 - d Required open space
 - i Minimum 0 24 multiplied by the net lot area
 - ii For building heights over twenty (20) feet the minimum open space requirement plus 0 004 multiplied by the net lot area for each foot of building height over twenty (20) feet
 - iii NAOS may be included in the required open space
 - e Parking Parking shall observe the minimum front yard setbacks of the district for all frontages On streets classified in the Transportation Master Plan as major arterial or greater, parking may be located between the established front building line and the front yard setback On all other street classifications, parking shall be located behind the established front building line(s)

A minimum of fifteen (15) percent of all parking areas shall be landscaped

A ten-foot minimum landscape setback shall be provided where parking is adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A
 - f Lighting All pole mounted lighting shall be directed down and shielded and shall be a maximum of sixteen (16) feet in height

All lighting adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A , shall be set back a minimum of thirty (30) feet from the property line All lighting, other than security, shall be shut off by 10 00 p m
 - g Screening There shall be a minimum six-foot high masonry wall and/or landscape screen, as approved by the Development Review Board, on the side and rear property lines that are adjacent to residential districts shown on Table 4 100 A , or the residential portion of a

Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A

There shall be a three-foot high landscaped berm along all street frontages where parking occurs

- h Access All churches must have primary access to a street classified in the Transportation Master Plan as a minor collector or greater

Access to a local or local collector residential street is prohibited when the primary worship center, auditorium or other major gathering place exceeds three thousand (3,000) square feet

- i Operations No outdoor activities shall be permitted after 10 00 p m

- j Noise Outdoor speakers or paging systems are not allowed

B *Uses subject to conditional use permit*

- 1 Cemetery (see section 1 403 for criteria)
- 2 Community buildings and recreational facilities not publicly owned, such as Athletic fields, boys' clubs, etc
- 3 Farms
- 4 Golf course (except miniature golf course or commercial driving range)
- 5 Ham transmitting or receiving radio antennas in excess of seventy (70) feet
- 6 Wireless communications facilities, Type 4, subject to requirements of Sections 1 400, 3 100 and 7 200
- 7 Private colleges and universities having a regular curriculum, with their related services and activities
- 8 Private school having no room regularly used for housing or sleeping overnight Subject to Development Review Board approval and compliance with standards, including, but not limited to, the following as well as those otherwise required in the R1-43 District
 - a Lot area The minimum lot area shall be equal to that required for the district, except that no lot shall be less than eighty-six thousand (86,000) square feet minimum lot size
 - b Floor area ratio In no case shall the gross floor area of the structure(s) exceed an amount equal to 0 20 multiplied by the net lot area
 - c Noise Outdoor speaker systems or bells are not allowed
 - d Required open space
 - i Minimum 0 24 multiplied by the net lot area
 - ii For building heights over twenty (20) feet the minimum open space requirement plus 0 004 multiplied by net lot area for each foot of building height over twenty (20) feet
 - iii NAOS may be included in the required open space
 - e Parking Parking shall be allowed in the front yard setbacks of the district for schools on streets classified in the Transportation Master Plan as minor collector or greater There shall be a three-foot high landscaped berm or wall along the street frontage where parking occurs On all other street classifications, parking shall be located behind the established front building line(s) A minimum of fifteen (15) percent of all parking areas in addition to open space in d above shall be landscaped A twenty-foot minimum landscaped setback shall be provided where parking is adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential

Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A

- f Lighting All pole mounted lighting shall be directed down and shielded and shall be a maximum of sixteen (16) feet in height All lighting adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A , shall be setback a minimum of thirty (30) feet from the property line All lighting, other than security, shall be turned off by 10 00 p m , unless otherwise approved through a special event permit
 - g Screening There shall be a minimum six-foot high masonry wall and/or landscape screen, as approved by the Development Review Board, on the side and rear property lines adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A
 - h Access All private schools shall have frontage on a street classified in the Transportation Master Plan as a minor collector or greater Side street access to a local collector residential street is prohibited when the number of students allowed to attend the school is greater than two hundred fifty (250) A drop off area shall be provided that accommodates a minimum of five (5) cars at one (1) time
 - i Operations No outdoor activities shall be permitted after 8 00 p m unless otherwise approved through a special event permit Any additions to, expansions of or proposed playgrounds or outdoor activity areas shall be setback fifty (50) feet from the property line (including right-of-way width) of any single-family residential district shown on Table 4 100 A , or the single-family residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the single-family residential districts shown on Table 4 100 A or setback twenty-five (25) feet from any Two-family Residential R-2, Medium Density Residential R-3, Townhouse Residential R-4, Resort/Townhouse Residential R-4R, Multi-family Residential R-5 or Manufactured Home M-H district property line (including right-of-way width) All playgrounds and outdoor activity areas shall be screened from any residential district shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A by a minimum six-foot high screen wall and/or landscape screen, as approved by the Development Review Board
 - j Building design All buildings shall be designed to be compatible with the surrounding residential neighborhood All building elevations shall be approved by the Development Review Board
 - k Circulation plan The applicant shall submit a circulation plan to ensure minimal conflicts between the student drop-off area, potential van and bus drop-off area, parking, access driveways, pedestrian and bicycle paths on site
- 9 Public utility buildings, structures or appurtenances thereto for public service uses
- 10 Recreational uses including commercial stables, ranches and tennis clubs (see section 1 403 for specific uses and development criteria for each)

(Ord No 2394, § 1, 9-16-91, Ord No 2430, § 1, 1-21-92, Ord No 2431, § 1, 1-21-92, Ord No 2470, § 1, 6-16-92, Ord No 2636, § 1, 2-15-94, Ord No 2858, § 1, 12-5-95, Ord No 3048, 10-7-97, Ord No 3034, § 1, 11-4-97, Ord No 3103, § 1, 1-6-98, Ord No 3225, § 1, 5-4-99, Ord No 3493, § 1, 3-4-03, Ord No 3697, § 1(Exh 1), 9-26-06, Ord No 3879, § 1(Exh § 6), 3-2-10, Ord No 3899, § 1(Res No 8342, Exh A, § 4), 8-30-10, Ord No 3920, § 1(Exh §§ 24, 25), 11-9-10, Ord No 4005, § 1(Res No 8947, Exh A, §§ 25, 26), 4-3-12, Ord No 4140, §

1(Res. No. 9643, Exh. A, § 2), 2-25-14; Ord. No. 4143, § 1(Res. No. 9678, Exh. A, §§ 74, 75), 5-6-14)

Sec. 5.103. - Reserved.

Editor's note— Ord. No. 4164, § 1(Res. No. 9857, § 1, Exh. A, § 8), adopted Aug. 25, 2014, repealed § 5.103 which pertained to approvals required and derived from Ord. No. 3225, § 1, adopted May 4, 1999.

Sec. 5.104. - Property development standards.

The following property development standards shall apply to all land and buildings in the R1-43 District:

A. *Lot area.*

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000) square feet~~ **thirty two thousand two hundred fifty (32,250) square feet.**
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. *Lot dimensions.*

Width. All lots shall have a minimum lot width of ~~one hundred fifty (150) feet~~ **one hundred thirteen (113) feet.**

- C. *Density.* There shall be not more than one (1) single-family dwelling unit on any one (1) lot.
- D. *Building height.* No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.
- E. *Yards.*
 1. *Front Yard.*
 - a. There shall be a front yard having a depth of not less than ~~forty (40) feet~~ **thirty (30) feet.**
 - b. Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40) feet~~ **thirty (30) feet** shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~forty (40) feet~~ **thirty (30) feet** shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.
 2. *Side Yard.* There shall be a side yard of not less than ~~twenty (20) feet~~ **fifteen (15) feet** on each side of a building.
 3. *Rear Yard.* There shall be a rear yard having a depth of not less than ~~thirty five (35) feet~~ **twenty six (26) feet.**
 4. Other requirements and exceptions as specified in article VII.
- F. *Distance between buildings.*
 1. There shall be not less than ten (10) feet between an accessory building and the main building.
 2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40) feet~~ **thirty (30) feet.**

- G *Walls, fences and landscaping* Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.
- H *Access* All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.
- I *Corral* Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

(Ord No 2509, § 1, 6-1-93, Ord No 4005, § 1(Res No 8947, Exh A, §§ 27, 28), 4-3-12)

Sec 5 105 - Off-street parking

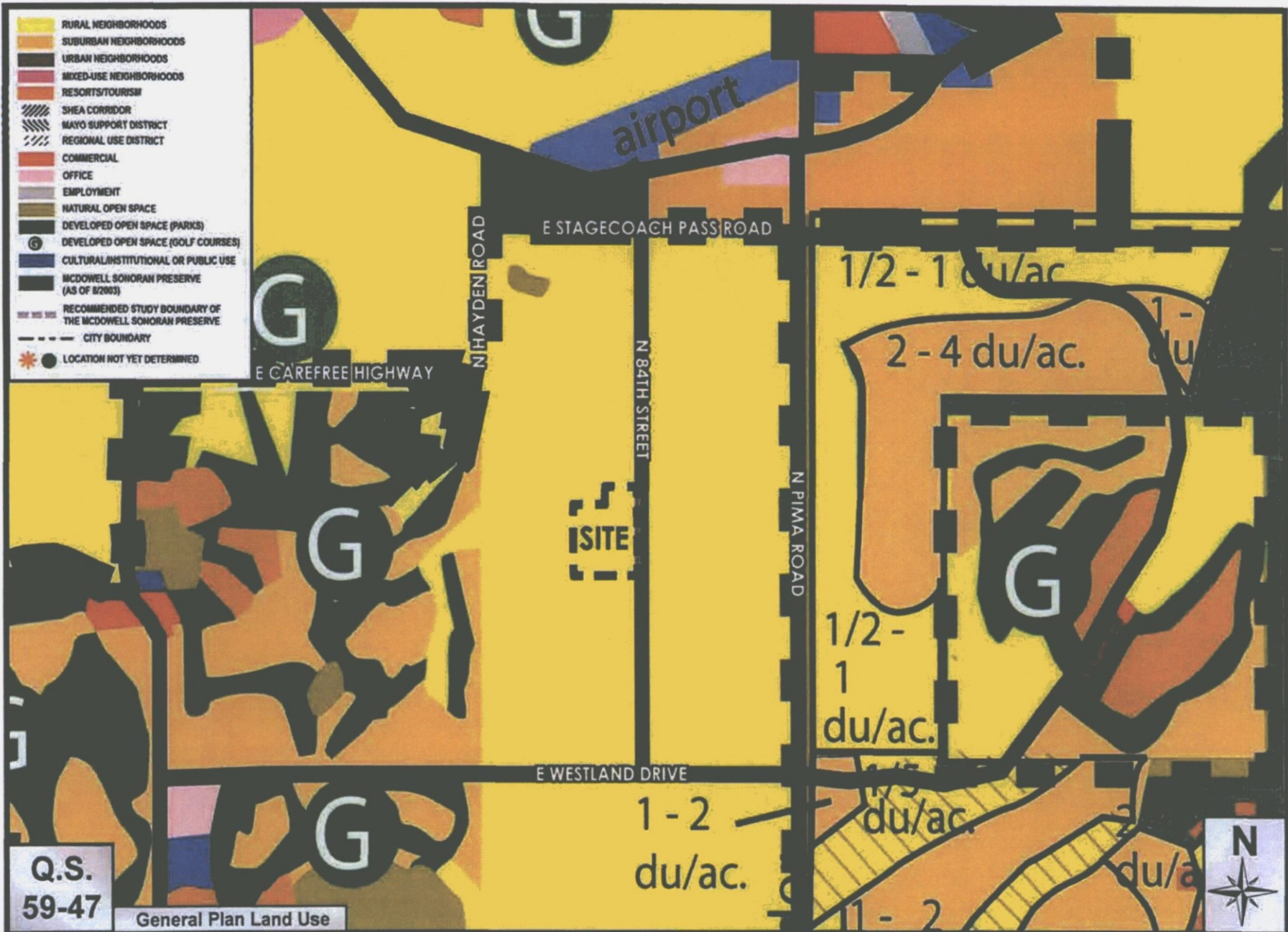
The provisions of article IX shall apply

Sec 5 106 - Signs

The provisions of article VIII shall apply

Sec 5 107

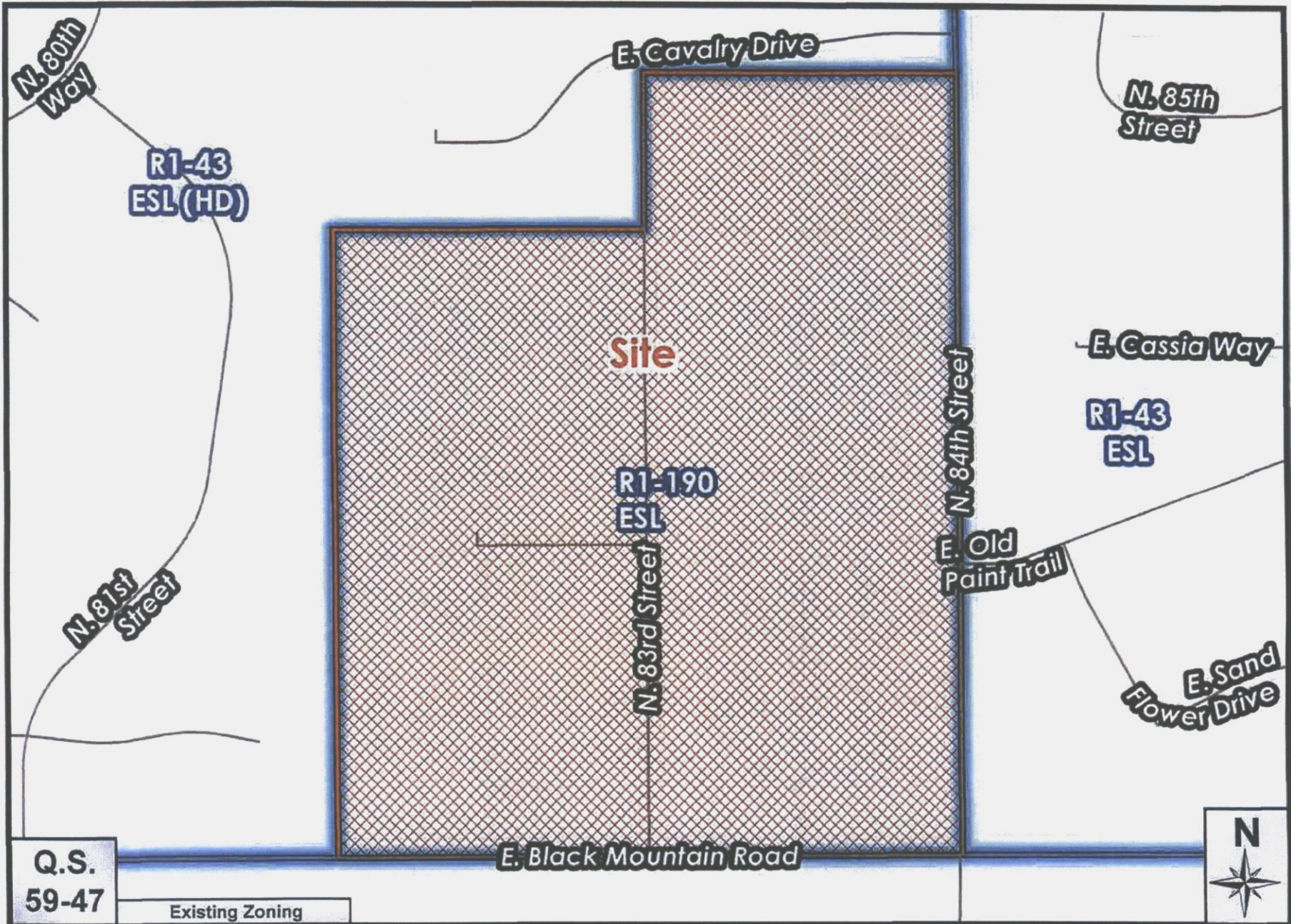
[Repealed by Ordinance No 1575]



84th Street & Black Mountain Road

ATTACHMENT #4

26-ZN-2016



Q.S.
59-47

Existing Zoning

84th Street & Black Mountain Road

ATTACHMENT #5

26-ZN-2016

Murillo, Jesus

From: ROBERT and ANNE HILTON <RWHILTON1@msn.com>
Sent: Monday, February 27, 2017 10:07 AM
To: Murillo, Jesus
Subject: Case # 26-ZN-2016 Reserve at Balck Mountain

Follow Up Flag: Follow up
Flag Status: Flagged

Jesus Murillo
City of Scottsdale

Mr. Murillo,

We are writing to support the zoning application submitted by LVA Urban Design Studio for the Reserve at Black Mountain (case # 26-ZN-2016). LVA has made an excellent effort to collaborate with the homeowners in the Vista Viento subdivision which is adjacent to the proposed Black Mountain Reserve.

In addition to scheduled community meetings, LVA has met specifically with Vista Viento homeowners to understand our concerns. As one of the proposed homes will back to our only association street, they have agreed to incorporate additional vegetation along Cavalry Drive and along the east lot line between their development and our property at 8285 East Cavalry Drive. In addition, they are committed to open space setbacks so as to impact our views and noise levels to the greatest extent possible.

We very much appreciate the cooperation of Alex Stedman and his team. Although we hate to see the desert disappear to ever more houses, we feel that we can support this development.

Thank you.

Sincerely,

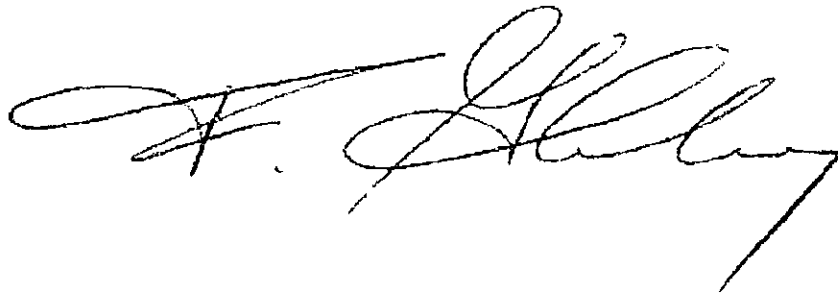
Robert and Anne Hilton
8285 E. Cavalry Dr.
Scottsdale, AZ 85266

February 27, 2017

Dear Mr. Murillo,

Please accept this email in support of The Reserve at Black Mountain Rezoning case# 26-ZN-2016 Our residence is located at 8174 E Sand Flower Drive which directly abuts the proposed community to the west

We believe that the Applicant has done a good job listening and responding to the nearby neighbors and we appreciate the proposed zoning district's compatibility with the existing R1-43 communities in the area

A handwritten signature in black ink, appearing to read "F. Huber", with a stylized flourish at the end.

Friedrich and Ilva Huber
8174 E Sand Flower Drive
Scottsdale, AZ 85266



December 27, 2016

Randy Clarno
Pinnacle Land Development
7440 E. Pinnacle Peak Road, Suite 142
Scottsdale, Arizona 85255

RE: Proposed 29-lot, single-family residential development to be known as The Reserve at Black Mountain located at the northwest corner of 84th Street and Black Mountain Road, Scottsdale, Arizona

Dear Mr. Clarno:

At your request, I have reviewed the Conceptual Site Plan for the proposed 29-lot residential subdivision to be known as The Reserve at Black Mountain (hereinafter referred to as the "subject property") located at the northwest corner of 84th Street and Black Mountain Road in Scottsdale. Since the proposed project will require rezoning the ± 39.1 gross acre site from R1-190 (190,000 square foot minimum lot size) to R1-43 (43,000 square foot minimum lot size), I have focused my attention on an analysis of surrounding properties in order to form an opinion of the compatibility of the subject property with adjacent uses.

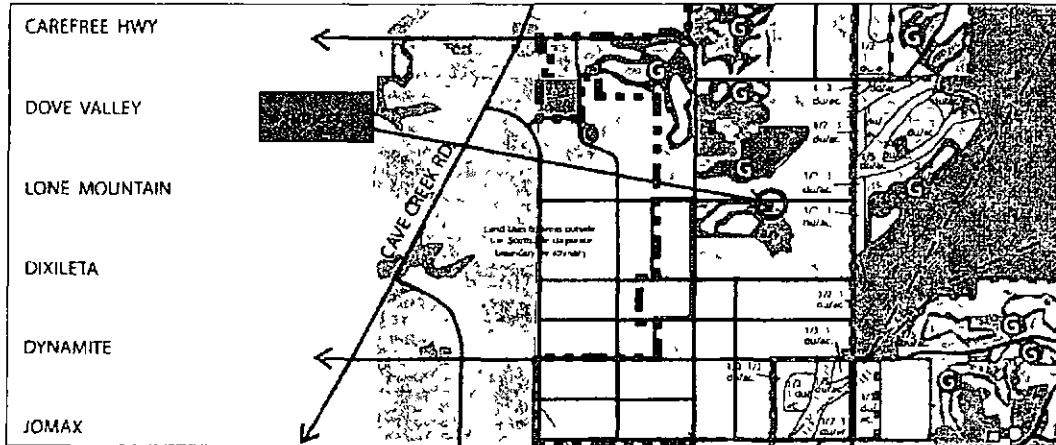
Zoning

The subject property is currently zoned R1-190 ESL. This district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities. Each lot shall have a minimum lot area of one hundred ninety thousand (190,000) square feet or 4.36 acres.

Based on the provided Conceptual Site Plan for The Reserve at Black Mountain, the subject property is intended to be re-zoned R1-43. Similar to the R1-190 District, this district is intended to promote and preserve residential development and the principal land use is single-family with a minimum lot area of forty-three thousand (43,000) square feet.

The subject property is also located within an area designated as an ESL District. The purpose of the ESL District is to identify and protect environmentally sensitive lands in the city and to promote the public health, safety and welfare by providing appropriate and reasonable controls for the development of such lands.

According to the Scottsdale General Plan 2001 and as shown in the following exhibit, the intended land use in the subject property's immediate area is single-family residential with a density of 1/2 to 1 unit per acre. Therefore, re-zoning the subject property from R1-190 to R1-43 is compatible with the General Plan and would not require a Plan Amendment. This information was confirmed by the city of Scottsdale Planning Department.



Competitive Subdivisions

The subject property is bordered by four subdivisions including Sand Flower to the west, Vista Vento to the north, Sierra Highlands to the east and Cortona to the south. These subdivisions are each zoned R1-43 and a search of the Multiple Listing Service revealed the following single-family home sales in each subdivision from January 2015 through December 2016. Notably, there were no sales reported for Vista Vento.

SUBDIVISION	ADDRESS	YEAR BUILT	DATE OF SALE	LOT SIZE	SALE PRICE	SIZE (SF)	SP/SF
Sierra Highlands	8486 East Cassia Way	2016	12/19/16	32,277	\$1,325,000	4,876	\$271.74
	8484 East Sand Flower Drive	2016	12/15/16	37,581	\$1,580,000	5,070	\$311.64
	8458 East Cassia Way	2016	9/29/16	35,771	\$1,039,512	4,005	\$259.55
	8402 East Cassia Way	2016	6/28/16	40,996	\$1,377,309	5,070	\$271.66
	AVERAGE				36,656	\$1,330,455	4,755
Sand Flower	8322 East Arroyo Seco Road	2002	8/4/16	24,985	\$770,000	4,268	\$180.41
	8157 East Arroyo Seco Road	2000	7/18/16	31,052	\$650,000	3,171	\$204.98
	35038 North 80th Place	2002	7/7/16	59,833	\$1,160,000	5,237	\$221.50
	35067 North 81st Street	1999	4/29/16	29,115	\$745,000	3,760	\$198.14
	8111 East Villa Cassandra Drive	1999	2/9/16	29,341	\$800,000	3,760	\$212.77
	35268 North 80th Way	2000	9/25/15	25,452	\$837,500	4,180	\$200.36
	34943 North 80th Way	1999	8/13/15	36,387	\$600,000	3,171	\$189.21
	8143 East Arroyo Seco Road	1999	7/31/15	42,567	\$885,000	4,180	\$211.72
	8193 East Sand Flower Drive	1999	7/27/15	34,498	\$699,900	3,760	\$186.14
	8092 East Villa Cassandra Drive	1999	4/30/15	29,491	\$719,000	3,171	\$226.74
	35502 North 82nd Way	2002	4/22/15	94,719	\$850,000	4,268	\$199.16
	8230 East Arroyo Seco Road	2000	2/27/15	33,403	\$600,000	3,171	\$189.21
	8126 East Arroyo Seco Road	2000	1/29/15	27,150	\$770,000	3,375	\$228.15
AVERAGE				38,307	\$775,877	3,806	\$203.73
Cortona	8385 East Tumbleweed Drive	2004	8/4/16	33,132	\$710,950	5,243	\$135.60
	AVERAGE			33,132	\$710,950	5,243	\$135.60

As shown, Sierra Highlands had the highest sale price per square foot and is the newest subdivision. The homes in Sand Flower and Cortona were built from 1999 to 2004. Although only one sale occurred in the past 24 months, the home at Cortona featured a relatively smaller lot, the lowest sale price and the lowest price per square foot. This subdivision was developed by Monterey Homes, a production homebuilder.

Impact of Proposed Development

The Reserve at Black Mountain is planned to be a gated community, with natural area open space separating the homes from the adjoining streets and developments; color-blended walls are likely to be built around the immediate patio and outdoor areas around each home. Given the relatively small size of the subdivision, the enhanced traffic created by the project along either Black Mountain Road or 84th Street is regarded as a non-issue. Thus, the proposed project does not appear to be a nuisance in any respect, nor is it expected to be "out of character" with existing homes and subdivisions in the neighborhood.



The proposed housing product to be developed at The Reserve at Black Mountain (assuming rezoning to R1-43) is anticipated to be similar in size to those in adjacent subdivisions, ranging from about 4,000 to 6,000 square feet. According to the subdivision developer, these homes are also anticipated to have a minimum price starting in the low \$1,000,000's. This equates to a unit price starting at about \$250 per square foot, which compares favorably with Sierra Highlands and is much higher than Cortona and Sand Flower.

Mr Randy Clarno
December 27, 2016
Page 4

As is typical in the real estate market, when a new housing project is developed in a neighborhood at higher pricing levels than what presently exists, home pricing in existing communities generally increases. Thus, development of the subject property with homes situated on one-acre sites and priced beginning in the low \$1,000,000's may similarly have a positive impact on real estate values for surrounding developments.

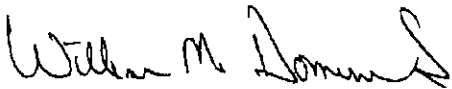
Furthermore, rezoning and development of the subject property into 29, one-acre home sites and eventually 29 homes valued in excess of \$1 million each will substantially increase the county's assessed value of the subject property over present levels. Consequently, with a higher assessed value base for the neighborhood taxing district, ***all else being equal and unchanged***, the tax rate for all properties in the neighborhood will decrease slightly resulting in a slightly lower tax burden for all other properties in the neighborhood.

Conclusion

Overall, it is my opinion that The Reserve at Black Mountain proposed development will NOT have a detrimental impact on property values for any of the adjoining or nearby residential properties. To the contrary, the project will probably have an accretive effect on surrounding home values.

Respectfully submitted,

BURKE HANSEN, LLC



William M. Dominick
Certified General Real Estate Appraiser
(Arizona Certificate No 30129, Exp 8/31/18)

Murillo, Jesus

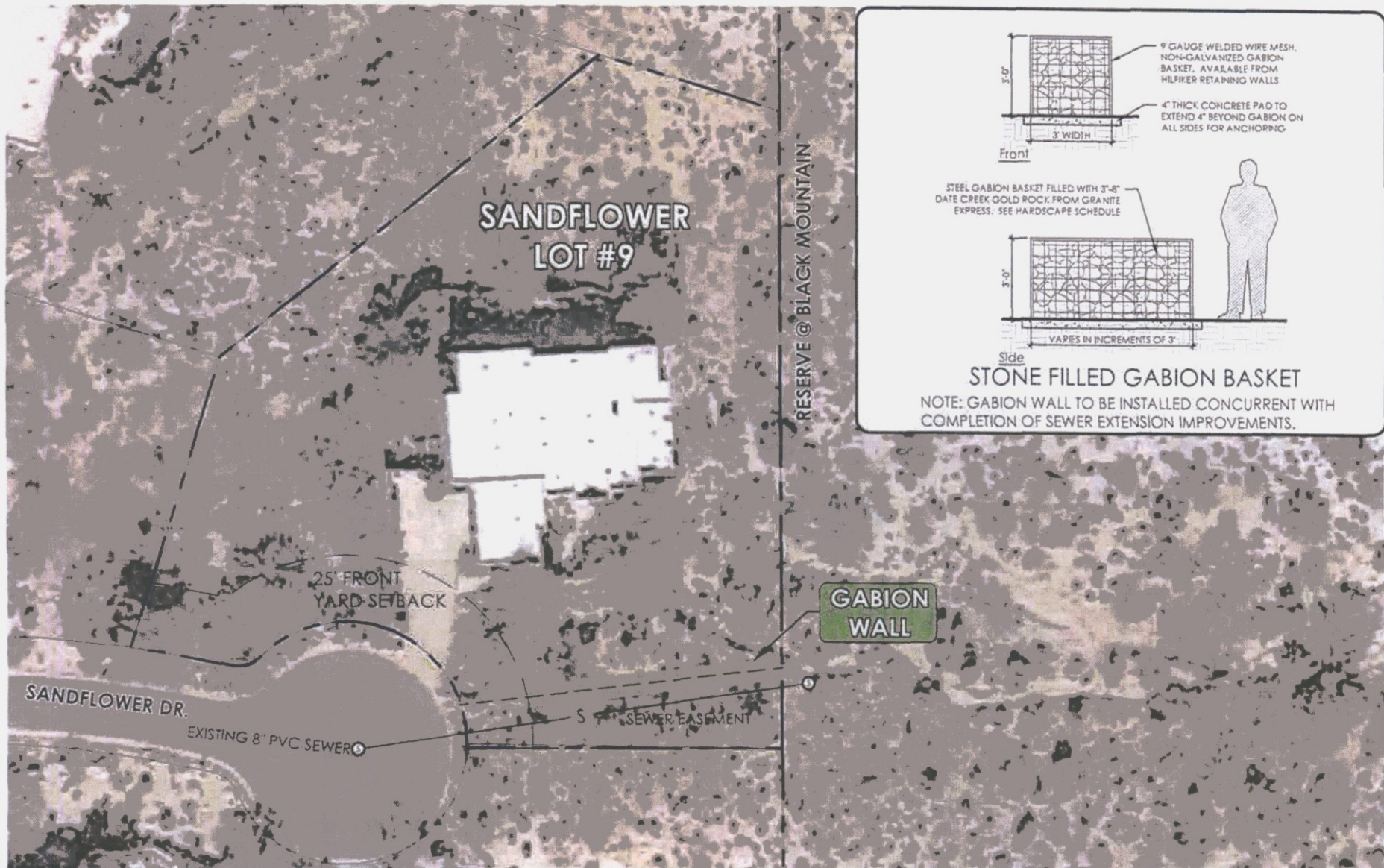
Subject: FW Sanitary Sewer Easement - Reserve at Black Mountain
Attachments: LVA-1622-SEWER EASEMENT -8X11 (1) (2) pdf

Attn

Mr Richard Sacks
City of Scottsdale Water Department
rsacks@scottsdaleaz.gov

I am the property owner of Lot #9 (8174 E Sand Flower Drive) of the Sand Flower Community. With this email, I am acknowledging my support and acceptance for the dedication of a sewer easement to run adjacent to my southern property line as depicted on the attached exhibit. The construction of sewer line will be accompanied by the installation of a gabion wall that will run along the northern edge of the sewer easement. The construction of this wall will be completed concurrent with the installation of the sewer line, and will be built and funded entirely by the Reserve at Black Mountain community.

Thanks & Best Regards
Fritz HUBER



ITEM # 4
(AGAINST)

Murillo, Jesus

Subject: FW: Planning Commission Public Comment (response #58)

From: Planning Commission
Sent: Tuesday, March 21, 2017 7:58 AM
To: Castro, Lorraine
Subject: Planning Commission Public Comment (response #58)

Planning Commission Public Comment (response #58)

Survey Information

Site:	ScottsdaleAZ.gov
Page Title:	Planning Commission Public Comment
URL:	http://www.scottsdaleaz.gov/boards/planning-commission/public-comment
Submission Time/Date:	3/21/2017 7:58:08 AM

Survey Response

COMMENT

Comment:	<p>My name is Kathleen Navarrete and my husband Frank and I purchased the lot at 8262 E Nightingale Star Dr. 12.5 years ago. I am now a widow supporting 2 sons and the biggest and only asset I have is my home. My husband Frank and I paid a PREMIUM for our lot because the backyard overlooked the beautiful vista of Black Mountain and Tonto National Park. When buying this lot, we did our due diligence-the builder guaranteed that the three 5-acre lots in back of our lot (across Black Mtn Rd) were zoned for only 1 house per 5 acres. We also confirmed the same with the City of Scottsdale . Now this new builder wants to put three homes on the 5 acre plot overlooking our home (2 homes within the lot and 1 on the boundary) instead of the one home Scottsdale zoning assured us the parcel was limited to. A deal is a deal and it is not fair to change the zoning in such a way that would have a negative impact on the value of my home. Changing zoning at this stage is not fair and just because that may sound naive doesn't make it any less true. As I stated I am a widow and my home is the biggest investment that me and my boys have. The value</p>
----------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

→ OVER

of my home, the price I will be able to sell my home for, and the ability to even sell the home will be negatively impacted by this change in zoning (and the resulting loss in view) The extra dollars that putting more than one home in the 5 acre parcel will put into the pocket of the builder are dollars taken directly out of my and my sons' pockets Why would this ever be okay? It's recognized in real estate that location and view play powerful roles in both determining a home's value and in the ability to sell that home Your approval of this rezoning petition would result in a devaluation of my home and make it more difficult to sell in a time when it remains difficult to sell homes As a widow, this home represents my and my son's financial security--why should that security be threatened by another's drive for profit? Thank you

Comments are limited to 8,000 characters and may be cut and pasted from another source

PLEASE PROVIDE YOUR NAME

First & Last Name	Kathleen Navarrete
-------------------	--------------------

AND ONE OR MORE OF THE FOLLOWING ITEMS

Email	<u>newtkb@cox.net</u>
-------	-----------------------

Phone	(602) 361-3998
-------	----------------

Address	8262 E Nightingale Star Drive, Scottsdale, AZ 85266
---------	--------------------------------------------------------

Example 3939 N Drinkwater Blvd, Scottsdale 85251

ITEM #4
(in-favor)

Murillo, Jesus

From: lisa.doche@wellsfargoadvisors.com
Sent: Tuesday, March 21, 2017 9:05 AM
To: Murillo, Jesus
Cc: astedman@lvadesign.com; armand.doche@gmail.com
Subject: Regarding the Development off 84th and Black Mountain Parkway

Mr. Murillo,

We wanted to pass along to you personally prior to the public hearing on March 22nd our thoughts about the development taking place off of our back fence line. We live in the Sandflower Development (34887 N 81st Street, or Lot 14) that will back to the development under consideration with LVA Urban Design.

We have attended the public hearings to date, and have had an opportunity to work with them in regards to our "very real" concerns around headlight pollution, drainage, and building placement. In all of these cases the Developer has taken our concerns into consideration, along with our neighbors to the North, and have made some significant changes to their design in efforts to accommodate. We all understood that the land would be developed at some point. Honestly we would like to keep it as estate like (10 acres)...but are realistic enough to understand that all the building around is done with the newer zoning which they are seeking. We feel that they are working hard, and in a considerate manner to maintain the quality of life we all originally purchased to enjoy, along with issues around safety and watershed.

We will not be able to attend the hearing, but wanted to forward our remarks for consideration with granting the rezoning, and pursuant development of our community.

Click on my business card and its tabs to learn more.

What's going on in your life?	Investment tools and insights	Are you on track?
<p>DOCHE FINANCIAL CONSULTING GROUP <i>of Wells Fargo Advisors</i></p> <p>Lisa Ladds Doche Managing Director - Investment Officer PIM Portfolio Manager</p> <p>Wells Fargo Advisors 20551 North Pima Road Suite 200 Scottsdale, AZ 85255 Tel: 480-419-2042 Toll-free: 877-704-0398 Cell: 480-980-2863 Fax: 480-419-2404</p> <p>lisa.doche@wfadvisors.com wfadvisors.com/lisa.doche</p>		

 Save details to address book

Best Wishes,

Lisa Ladds Doche
Managing Director - Investment Officer
PIM Portfolio Manager

THE RESERVE AT BLACK MOUNTAIN – CITIZEN REVIEW REPORT

The applicant has engaged in an extensive neighborhood outreach process to ensure that area residents understand the rezoning request and are aware of site plan updates.

Summary of Outreach Activities

August 1, 2016 – Notifications mailed for 1st Neighborhood Meeting to all property owners within 750' of the subject property, the Cave Creek School District office and to all persons identified on the city's "Interested Parties" list. *A copy of this letter is included with this report.*

August 8, 2016 – Sign posting for "Project Under Consideration". *An affidavit of posting is included with this report.*

August 12, 2016 – Applicant met with Mr. Fritz Huber, a Sandflower resident to discuss rezoning proposal and preliminary site plan. Mr. Huber indicated that he was supportive of the proposal.

August 17, 2016 – 1st Neighborhood Meeting at Foothills Academy. Two individuals from LVA, the project engineer from Kimley-Horn, and an associate from Pinnacle Land Development represented the applicant team at the open house meeting.

Sixteen residents attended and signed in at the neighborhood meeting. Nine comment cards were submitted by attendees.

Most participants were from adjacent communities; Sand Flower, Vista Viento, and Cortona. The residents that attended the meeting were mostly concerned about current drainage conditions in Cortona and Sand Flower and how this development could contribute to issues they had experienced during past storm events. Suggestive comments about comparable lots sizes and natural placement of the homes were mentioned, as well as setbacks and building height concerns along the northern and western property lines. Discussions about view corridors from Vista Viento and potential traffic on Black Mountain were also topics of conversation.

September 19, 2016 – The applicant met with Anne and Robert Hilton, residents of the Vista Viento community. An update to the site plan was presented to address concerns that Ms. Hilton had expressed during the neighborhood meeting regarding buffering and setbacks. Ms. Hilton indicated to the project team that she was supportive of the changes. The group also discussed building heights and viewsheds, but no further changes to the site plan were requested.

September 19, 2016 – Applicant met with Catherine Wendt, HOA President of the Cortona community. Ms. Wendt expressed interest in issues related to the construction of Black Mountain Road, traffic control at the intersection, off-site drainage and information about potential home types and builder. The applicant shared an updated site plan that included additional project area and an increase in the number of lots.

September 30, 2016 – The applicant met with Lisa and Armand Doche, residents of the Sandflower Community. The focus of the discussion was drainage and setbacks. The applicant shared the new site plan, and Ms. Doche expressed support for the changes made by the applicant. Ms. Doche requested that the applicant provide a post-development survey to confirm that the proposed drainage improvements will be built per the approved plans. The applicant agreed to provide this.

September 30, 2016 – Notifications mailed for 2nd Neighborhood Meeting to all property owners within 750' of the subject property, the Cave Creek School District office and to all persons identified on the city's "Interested Parties" list. *A copy of this letter is included with this report.* A second notification was provided to inform residents of recent changes to the site plan (increase in project area and number of lots) and allow for an opportunity to meet with the applicant to discuss these updates.

October 7, 2016 – Call with Cathy Wendt, Cortona HOA to discuss upcoming Neighborhood Meeting and Black Mountain Road improvements and previous discussions between neighbors and city transportation department. Ms. Wendt forwarded email correspondence from city transportation from 2015 and requested an update.

October 11, 2016 – 2nd Neighborhood Meeting at Foothills Academy. The applicant elected to host a second neighborhood meeting as a result of increases to the overall project area and the number of lots. The applicant presented a 27 lot plan on 40 acres. Nine participants attended and signed in at the neighborhood meeting. Four comment cards were received.

Most attendees were familiar with the plan and had attended the first meeting. Continued concerns about construction disturbance, home values, density, and preservation of views appeared in the comments. Several adjacent homeowners in Vista Viento and Sandflower expressed satisfaction with the new plan and appreciated the changes.

At this time the applicant remains sensitive to the community's opinions, and will continue to work with the adjacent neighborhoods to mitigate any and all concerns.

October 12, 2016 – The applicant reached out to Lisa and Armand Doche and offered to organize a smaller meeting with the Sand Flower residents.

October 13, 2016 – The applicant emailed attendees from Neighborhood Meeting #2 (Jenny Murray, Cortona HOA, Kathleen Navarrete, Cortona, Omarya and Tony Steech to thank them for their time and offer to schedule additional follow up meetings if necessary

October 18, 2016 – The applicant reached out to Cathy Wendt, Cortona HOA President to schedule a time to discuss the 2nd Neighborhood Meeting

October 21, 2016 – The applicant reached out to Lisa and Armand Doche to follow up and offer to schedule a private meeting with Sand Flower residents, if necessary

October 25, 2016 – The applicant emailed Lynne Sullivan, Sand Flower HOA President to offer to schedule a private meeting with Sand Flower residents Ms Sullivan responded that she has been an active HOA board member since 2001 and her main concern is drainage and the number of basins There was no mention of scheduling a private meeting with Sand Flower residents

October 26, 2016 – The applicant met with a group of Vista Viento property owners The focus of the discussion was to communicate recent revisions to the site plan (increased project area, increased number of lots), and highlight additional setbacks and buffering adjacent to the Vista Viento community Drainage conditions, setback, lot orientation and edge treatments were discussed.

October 28, 2016 – Call with Cathy Wendt, Cortona HOA President to discuss the updated site plan and Cortona residents feedback from the neighborhood meeting #2 Applicant mentioned the private meeting with Vista Viento residents and offered to schedule a private meeting for Cortona residents.

November 10, 2016 – Applicant emailed Anne Hilton to show exhibit of re-orientation of Lot 8 as suggested by her and obtain feedback Email from Anne Hilton on 11/21/16 they agree original plan is better but would like plant screening

December 5, 2016 – The applicant emailed the updated site plan to Cathy Wendt, Cortona HOA President and offered to schedule a private meeting with Cortona residents No response

December 10, 2016 – Email received from Lisa Doche requesting confirmation letter from developer re post developmental survey will be provided after improvements have been made

December 16, 2016 – Developer sent confirmation letter to Lisa and Armand Doche as requested above

December 21, 2016 – The applicant reached out to Cathy Wendt, Cortona HOA President to follow up No response

December 29, 2016 – Applicant emailed Cortona neighbors to follow up and offer to schedule a private meeting with their community

ATTACHMENTS

- 1 Meeting 1 - Map of notified neighbors (750')
- 2 Meeting 1 - List of names and contact information for contacted parties
- 3 Meeting 1 - Notification letter with site plan
- 4 Meeting 1 - Open house sign-in sheets
- 5 Meeting 1 - Comment responses
- 6 Meeting 1 - Affidavit of sign posting
- 7 Meeting 2 - Map of notified neighbors (750')
- 8 Meeting 2 - List of names and contact information for contacted parties
- 9 Meeting 2 - Notification letter with site plan
10. Meeting 2 - Open house sign-in sheets
- 11 Meeting 2 - Comment responses
- 12 Meeting 2 - Affidavit of sign posting

August 1, 2016

Re: The Reserve at Black Mountain

Dear Neighbor/Property Owner:

We are Landscape Architects and Land Planners seeking approval for a 24-lot community near your home/property. The site is comprised of 35 acres and is currently vacant with surrounding residential homes.

We are inviting you to an upcoming neighborhood meeting to provide information about our design and the application process.

Within the coming weeks, we will be submitting an application to the City of Scottsdale requesting to amend the zoning on the property from the existing R1-190 (Single Family Residential) to R1-43 ADS (Single Family Residential with Amended Development Standards, 0.83 dwelling units per acre). The proposed zoning change is in conformance with the City's General Plan that identifies the land use on the property as Rural Neighborhoods (0-1 dwelling units per acre). Our proposal intends to maintain conformance with this requirement by providing 24 single family homes at a density of less than 1 dwelling unit per acre.

The requested zoning change will allow for large lot, single story private homes, natural desert open space with preserved washes, and a single gated vehicular access from 84th Street.

As part of our ongoing effort to provide information and address questions from neighbors and property owners, we will be hosting a neighborhood meeting to discuss our plans and to gather feedback.

DATE: Wednesday, August 17, 2016

TIME: 6:00pm-7:00pm



**LOCATION: Foothills Academy Multi-purpose Room
(7191 E Ashler Hills Dr. Scottsdale, AZ 85262)**

Thank you for your time and interest! If you are unable to attend the neighborhood meeting and wish to provide input, please contact myself or the City of Scottsdale. Comments will be made part of the public record for inclusion in the case file.

Sincerely,

Alex Stedman
Planning Manager
LVA Urban Design Studio
Email: astedman@LVAdesign.com

LEGEND

-  SITE BOUNDARY
-  DEVELOPMENT ENVELOPES

SITE DATA

SITE AREA (GROSS):	34.8 AC (+/-)
CURRENT ZONING:	R1-190 ESL
PROPOSED ZONING:	R1-43 ESL
PROPOSED # OF LOTS:	24
GROSS DENSITY:	0.7 DU/AC



LVA urban design studio

land planning • development entitlements • landscape architecture

170 south mch avenue • tampa, florida 35201 • 408.994.0994

THE RESERVE at BLACK MOUNTAIN

CONCEPTUAL SITE PLAN

APPROX. SCALE: NTS

1427 DRAWN BY: PR



7/29/14

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© 11027 WTR & BLACK MOUNTAIN RD/CAD/PLANNING/10-1027-001/001 PLAN 0210-07 21 Aug. - Jul 29, 2014

Project Neighborhood Meeting — The Reserve at Black Mountain

Location Foothills Academy

Date and Time Wednesday, August 17, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
1	Linda Thiesbe	8141 E Sandblower Scottsdale	480- 340-1256	
2	man <i>the</i>	34887 N 81st St Scottsdale, AZ 85260	480 329-449	Armond
3	—	—	—	Adalme@cox.net
4	FRANK RAKOS	8241 E Cavalry Dr SCOTTSDALE	480 272 7392	FRANK.RAKOS @CER.VER
5	WANDA ^{Rocco} Christofaro	5627 E Cactus Wren Circle	480- 268 7433	ROCKWAND @COX.NET
6	MICHAEL FLAMINI	8219 E. CAVALRY DR	480 361- 4616	joansflamini @ hotmail.com
7	Anne & Robert Hilton	8285 E Cavalry Dr 85266	480-595- 3937	rwhilton1@ MSA.COM
8	TONY BAGNIZZI		602-743 0003	TBAGNIZZI @ INSIGHTLAND.COM
9	Harvey & Madelon Lawrence	34822 N. 83rd St. Scottsdale, AZ 85266	480- 437-9111	madelon6852@gmail.com
10				

Project Neighborhood Meeting – The Reserve at Black Mountain

Location Foothills Academy

Date and Time Wednesday, August 17, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
11	RON & JOANNE THOMPSON	8263 E CAVALRY DR SDC	480-498-1447	joanmy@aol.com
12	Margo & Qadar Hurst	8359 E Nightingale Star	480-488-2569	lotudrykage@aol.com
13	Bob Nathan	20414 N 94th way	480-695-6031	
14	Craig & Jayne Burton	8286 E Nightingale Star Dr	623-282-1450	jayrieb@cox.net
15	LARRY WENDT	8382 E. Nightingale Star	602-910-1927	wendt.lawrence@gmail.com
16	Chris Asterino	8334 E. Nightingale Star	602-657-8483	Chris@revmo.com
17	Lynne Sullivan	34822 N 81st	480-575-1897	SULLY 1858805620@aol.com
18				
19				
20				

in concentrated areas
COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting - August 17, 2016

Amanda Lisa Deche

34887 N 81st St

Name

Street Address

adeche@cox.net

480 324-4401

Email Address

Phone Number

COMMENTS / CONCERNS:

we have natural open space attached to our lot envelopes. The new development concentrates the open space into basin & drainage - resulting in more concentration - ~~desire~~ - that impacts the Quality of life we were zoned.

Please place this card in the box
Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting - August 17, 2016

MICHAEL FLAMINI

8219 E CAVALRY DR

Name

Street Address

jcarsenflamini@hotmail.com

480 323-5299

Email Address

Phone Number

COMMENTS / CONCERNS

- concerns that lots 16-20 look in a row not very natural or meandering*
- No NAs between lots 19-20*
- water flow along backside of lots 16-20 is of major concern as in heavy rains this area flows pretty good and I feel was never really addressed when Cavalry Drive was developed*

Please place this card in the box
Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

LARRY WENDT 8382 E Nightingale Star Dr
Name Street Address

wendt.lawrence@gmail.com 602-910-1929
Email Address Phone Number

COMMENTS / CONCERNS

Great concern regarding water flow/drainage. There is already a significant problem to the south of the proposed development.

Please place this card in the box
Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

Jayne & Craig Burton 8282 E Nightingale Star Dr.
Name Street Address

jayneb@cox.net 623 282 1450
Email Address Phone Number

COMMENTS / CONCERNS

We back on to Black Mountain road and are concerned about a) road safety on this road, b) street noise behind our home from volume / speed of traffic, c) drainage due to the large wash(es) that run through this property and

Please place this card in the box
Thank you!

Subsequently beside our home. Thank you

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting - August 17, 2016

Anne Hilton 8285 E. Cavalry Dr.
Name Street Address Scottsdale 85266
rwhilton7@msn.com cell - 720-353-1534
Email Address Phone Number

COMMENTS / CONCERNS.

As discussed with Alex, please place 24ft. poles w/ flag at top in center of the 5 propose vents.
Concern is the blocking of views

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting - August 17, 2016

RONALD THOMPSON 8263 E CAVALRY DR
Name Street Address
rttppapa@aol.com 480 323 6830
Email Address Phone Number

COMMENTS / CONCERNS

It appears that, due to wash drainage considerations, proposed home sites 16-20 are packed together, presenting an absolute front home appearance.

Please place this card in the box
Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting - August 17, 2016

Gordon Hurst
Name Street Address

hotudognaz@yahoo.com 480 488-2569
Email Address Phone Number

COMMENTS / CONCERNS:

① Drainage is a big concern
flowing across BHR to Cortona
properties

Please place this card in the box
Thank you!

② Traffic Flow on BHR is conflicting
with foot traffic

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting - August 17, 2016

FRANK RAKOS 8241 E Cavalry Dr
Name Street Address

FRANK.RAKOS@COX.NET 480 272 7392
Email Address Phone Number

COMMENTS / CONCERNS:

Density per tentative plan & layout of WAOS area
Butler with existing housing & drainage issues.
Compassion to other R1-45 plans already approved

Please place this card in the box
Thank you!

A concentration of houses on the
quadrant (lots 14, 15, 16, 17) the
of us and the displaced water will impact
our lesser wash. Our wash

to the proposed retention &
drainage to the East & South.



Affidavit of Posting

Required: Signed, Notarized originals.

Recommended: E-mail copy to your project coordinator.

Project Under Consideration Sign (White)

Public Hearing Notice Sign (Red)

Case Number: 536-PA-2016

Project Name: _____

Location: 84th St and Black Mountain Rd

Site Posting Date: August 8, 2016

Applicant Name: Alex Stedman

Sign Company Name: Dynamite Sign

Phone Number: 480-585-3031

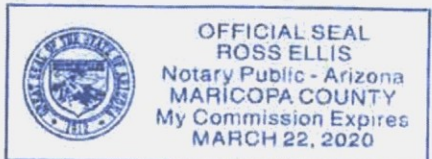
I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Megan [Signature]
Applicant Signature

8/8/16
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me this the 8 day of August 2016



Ross [Signature]
Notary Public

My commission expires 3/22/2020

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Wednesday, August 17, 2016
Time: 6:00 P.M. - 7:00 P.M.
Location: Foothill Academy Multi-purpose Room
7191 E. Ashler Hills Dr., Scottsdale, AZ 85262

Site Address: NWC Black Mountain Rd. & 84th St.

Project Overview:

- Request: A request to rezone the subject property from R1-190 to R1-43 ESL
- Description of Project and Proposed Use: The proposal would create a 24-lot single family residential community on +/- 35 acres.
- Site Acreage: 35.0 acres
- Site Zoning: R1-190

Applicant Contact:

Alex Stedman 480-994-0994
astedman@lvadesign.com

City Contact:

Jesus Mullio 480-312-7849
jmurillo@scottsdaleaz.gov

Pre-Application #: 536-PA-2016 Available at City of Scottsdale: 480-312-7000

Project information may be researched at: <https://eservices.scottsdaleaz.gov/bldgresources/Preapp/Search> Posting Date: 8/5/16

-Penalty for removing or defacing sign prior to date of last hearing -Applicant Responsible for Sign Removal 8/5/16 13:10:53

LIST OF NAMES & CONTACT INFORMATION FOR CONTACTED PARTIES

APN	NAME	MAIL ADDRESS	CITY	ST	ZIP	COUNTRY	RETURNED BY MAIL
216-34-00	MINEO GARY P	8494 E CACTUS WREN CIR	SCOTTSDA	AZ	85266	USA	
216-34-00	PATIL ASHWINIKUMAR	7017 GOLFSIDE LN	PHOENIX	AZ	85042	USA	
216-34-00	MARCUS J NIEMELA TRUST	PO BOX 940	CAREFREE	AZ	85377	USA	
216-34-00	MINEO GARY P	8494 E CACTUS WREN CIR	SCOTTSDA	AZ	85266	USA	
216-34-00	TRAN VENTURES LLC	16435 N SCOTTSDALE DR	SCOTTSDA	AZ	85254	USA	
216-34-02	BROOKKE BRUCE M/JUDIE A	8069 E SAND FLOWER DR	SCOTTSDA	AZ	85253	USA	
216-34-02	WONG ASTRIA	8115 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-02	MILEWSKI WAYNE E/LINDA M	4901 WHITEHOUSE SPEN(WHITEHOL OH			43571	USA	
216-34-02	ASTLE WILLIAM D	8167 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-02	HERSHEY KARLA ROBIN	8193 E SAND FLOWER DR	SCOTTSDA	AZ	85266	USA	
216-34-02	HUBER FRIEDRICH/ILVA A	8174 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-02	COCHRANE STEPHEN T/DONOV	34743 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-02	ENGLAND JEFF A/VICKIE W	34779 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	JUNGHEIM LENA	34815 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	GAFFNEY FAMILY TRUST	34851 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	DOCHE ARMAND FRANK/LISA L	34887 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	WILLIAM J DONOVAN III/KRISTE	34923 N 81ST STREET	SCOTTSDA	AZ	85266	USA	
216-34-03	ROBERTS FAMILY REVOCABLE T	34959 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	RICHARDSON BRAD D/JANINE N	34894 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	RONALD R AND SUSAN C HAHN	34858 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	SULLIVAN LYNNE TR	34822 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	DELAWARE FAMILY LIVING TRU	34786 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	PRICE TIMOTHY J	34750 N 81ST	SCOTTSDA	AZ	85262	USA	
216-34-04	BONDY THOMAS J/VIOLETTA M	8070 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-04	JAMES ANDREA E/DAVID A	134 MANCHESTER	SHAVANO	TX	78249	USA	
216-34-04	NAGEL KERRY J/BOUROS GICA	8085 E VILLA CASSANDRA	SCOTTSDA	AZ	85266	USA	
216-34-04	GIBSON FRANK E/FLANAGAN SL	8111 E VILLA CASSANDRA	SCOTTSDA	AZ	85266	USA	
216-34-05	PARENTS RESIDENCE TRUST	1751 PINNACLE DR SUITE	MCLEAN	VA	22102	USA	
216-34-05	BJELLA KARMON T/LINDA L	453 PARTRIDGE AVE	ALPENA	MI	49707	USA	
216-34-05	ADKINS DAVID B/ERVIN SALLY J	1880 EAST MORTEN	PHOENIX	AZ	85020	USA	
216-34-05	ZBYTEK THOMAS J/MAN SUN	35002 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-05	SMITH WILLIAM TERRY/MARCI	34966 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-05	KARL AND KIM KUO TRUST	35031 N 81ST ST	SCOTTSDA	AZ	8.53E+08	USA	
216-34-05	SMITH STEPHEN/FERMINA	35067 N 81ST ST	SCOTTSDA	AZ	8.53E+08	USA	
216-34-05	SAND FLOWER COMMUNITY AS	608 E MISSOURI AVE STE	PHOENIX	AZ	85012	USA	
216-34-05	SAND FLOWER COMMUNITY AS	PO BOX 73259	PHOENIX	AZ	85050	USA	ATTEMPTED - NOT KNOWN UNABLE TO F
216-34-05	SAND FLOWER COMMUNITY AS	PO BOX 73259	PHOENIX	AZ	85050	USA	ATTEMPTED - NOT KNOWN UNABLE TO F
216-34-06	SAND FLOWER COMMUNITY AS	PO BOX 73259	PHOENIX	AZ	85050	USA	ATTEMPTED - NOT KNOWN UNABLE TO F
216-34-06	MOORE MICHELLE M/FANGER F	8029 E ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-06	HOLESKI KENNETH	8143 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	DYKES DAVID W	8157 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	FISHER PETER F/JEANNE A	8230 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	HILSTON FAMILY TRUST	8216 ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-06	EGAN MAURICE D/ABBY S	8154 ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	DEMSEY TODD R/MELINDA PAT	8140 ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-06	KIESTER STEVE R/JANE E	8863 SPRINGWOOD DR	WOODBUF MN		55125	USA	
216-34-06	MARGARET JANE WATSON TRU	35152 N 80TH WY	SCOTTSDA	AZ	85266	USA	
216-34-07	TAYLOR CURRY/NANCY	35128 N 80TH WY	SCOTTSDA	AZ	85262	USA	
216-34-07	SANDRA K WABS REVOCABLE LI	35056 N 80TH WAY	SCOTTSDA	AZ	85266	USA	
216-34-11	DANZ BRIAN M/MELANIE G	8243 ARROYO HONDA RD	SCOTTSDA	AZ	85262	USA	
216-34-11	8386AS LLC	500 NORTH PARK SUITE 4	ATLANTA	GA	30328	USA	
216-34-11	SHIELDS PAUL DAVID/ADRIA AN	8370 E ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-11	SHARON L MCCOLLAM LIVING T	8354 E ARROYO SECO RD	SCOTTSDA	AZ	8.53E+08	USA	
216-34-11	SHIRAI JUNE J	8338 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-11	WELCH RONALD G/WENDY S	8322 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-11	SCHLENKER DAVID A/JULIE B	8306 E ARROYA SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-12	STEECH ANTHONY/OMAYRA	8341 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-12	ANDERSON LINDA SUE	8357 ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-12	WHITING ADAM/ANNABEL	8373 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-12	SAND FLOWER COMMUNITY AS	P O BOX 73259	PHOENIX	AZ	85050	USA	
216-34-22	ARIAS LUCY S	8396 E CAVALRY DR	SCOTTSDA	AZ	85266	USA	
216-34-22	IDEN ROBERT F/MARYEVELYN	8374 E CAVALRY DR	SCOTTSDA	AZ	85262	USA	
216-34-22	PDM TRUST	8352 E CAVALRY DR	SCOTTSDA	AZ	85266	USA	

216-47-22: GORMAN HOWARD/ANGELA	4216 EDGEVALLEY LANDII	CALGARY AB	T3A 5V2	CANADA
216-47-22: GONG MARK A/SHULUNG TR	8254 E TUMBLEWEED DR	SCOTTSDA AZ	85262	USA
216-47-22: ROWLAND GREGG/ANNE	8286 EAST TUMBLEWEED	SCOTTSDA AZ	85266	USA
216-47-22: MARONI JAMES P/STAMOS EVA	8358 E TUMBLEWEED DR	SCOTTSDA AZ	85262	USA
216-47-22: CHEN CHRISTOPHER DAVID	8382 E TUMBLEWEED DR	SCOTTSDA AZ	85262	USA
216-47-23: ASBURY KARA L/DARKOH-AMPE	8383 NIGHTENGALE STAR	SCOTTSDA AZ	85266	USA
216-47-23: GORDON S HURST AND MARGA	8359 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-23: SILVA THOMAS A/NEDA	8331 E NIGHINGALE STAR	SCOTTSDA AZ	85266	USA
216-47-23: SCHNEEBACHER ALEXANDER T I	34405 N 83RD ST	SCOTTSDA AZ	85262	USA
216-47-23: MACKAY NEIL V	34402 N 83RD ST	SCOTTSDA AZ	85262	USA
216-47-23: WERICK PATRICK R/BETTY S	34454 N 83RD ST	SCOTTSDA AZ	85266	USA
216-47-23: ALTAMURA PEGGY TR	2625 E CAMELBACK RD 11	PHOENIX AZ	85016	USA
216-47-23: AUGUSTE JOSEPH L/BARBARA A	8263 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-23: ROPICKY MICHAEL J/MARIELLE	MDT 634-4 PO BOX 801	MENDHAM NJ	7945	USA
216-47-23: WICKER JOE H JR/GRETCHEN G	8215 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: MURRAY BRIAN L/JENNIFER R	8214 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: PROSSER ROBIN J/PETERSON SP	8238 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: NAVARRETE KATHLEEN E	8262 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: BURTON WILLIAM CRAIG/FLINA	8286 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: HOLLOWAY WILLIAM W/JOANA	8310 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: ASTERINO CHRISTOPHER J/MICI	8334 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: DRAKULOVIC MILUTIN/BEBA	8358 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: WENDT REVOCABLE TRUST	8382 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: CORTONA COMMUNITY ASSOC	1600 W BROADWAY RD 5	TEMPE AZ	85282	USA
216-47-25: CORTONA COMMUNITY ASSOC	1600 W BROADWAY RD 5	TEMPE AZ	85282	USA
216-47-25: RICHARD CRANEY AND PAMELA	34425 N 81ST	SCOTTSDA AZ	85262	USA
216-47-25: RICHARD CRANEY AND PAMELA	34425 N 81ST	SCOTTSDA AZ	85262	USA
216-47-28: RICHARD LLOYD FAUL AND LISA	5806 E CALLE MARITA	CAVE CREE AZ	85331	USA
216-47-28: HILLERUD IAN DAVID/ANDREA I	1420 KINGSWOOD POND	SAINT PAUMN	55122	USA
216-47-28: SUNFLOWER ESTATES BLACK M	17787 N PERIMETER DR 5	SCOTTSDA AZ	85255	USA
216-47-32: KROLL BRANDON/MARKS JAMII	8474 E TUMBLEWEED DR	SCOTTSDA AZ	85266	USA
216-47-32: MARTIN TRUST I	8452 E TUMBLEWEED DR	SCOTTSDA AZ	85266	USA
216-47-32: HARGENS ROGER A/JANE E	6013 N WINDWOOD DR	JOHNSTON IA	50131	USA
216-47-32: DEKA COMPANY LLC/KLECK ROI	1733 N GREENFIELD RD 5	MESA AZ	85205	USA
216-47-32: MILIOTES JAMES D/ANNA L	8227 E GRANITE PASS RD	SCOTTSDA AZ	85266	USA
216-47-32: BOYD JEFFREY D/JOANN	PO BOX 2079	CAREFREE AZ	85377	USA
216-47-33: HILL DERRICK/ANNETTE	8469 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-33: ROTHERHAM THOMAS G/SHAR	130 N GARLAND CT #370	CHICAGO IL	60602	USA
216-47-33: GIANNINI JACK E/CAROLE	22386 FOX TAIL DR	KIDEER IL	60047	USA
216-47-34: GIANNINI JACK M/GINA	22386 FOX TAIL DR	KIDEER IL	60047	USA
216-47-34: CHARLTON TERRY/MELODY KA	29269 N 69TH WY	SCOTTSDA AZ	85266	USA
216-47-34: SIERRA BOULDERS HOMEOWNE	PO BOX 39242	PHOENIX AZ	85069	USA
216-47-34: SIERRA BOULDERS HOMEOWNE	PO BOX 39242	PHOENIX AZ	85069	USA
216-47-34: SIERRA BOULDERS HOMEOWNE	PO BOX 39242	PHOENIX AZ	85069	USA

September 30, 2016

Re: The Reserve at Black Mountain – 2nd Neighborhood Meeting

Dear Neighbor/Property Owner:

In August of this year we hosted a community meeting to present our plans for a 24-lot community near your home. During that meeting, our team listened carefully to neighbors and attendees, and we have subsequently made positive changes to the plan to increase setbacks and reduce the number of homes adjacent to existing communities. A copy of the updated plan is provided with this letter.

Since that meeting, we have added 5 additional acres to the overall project area in our northeast corner. The existing home on this property (Lot 21) will remain. We have shown two additional homesites to the east and west of lot 21 for an overall of 27 lots in our proposal.

Many aspects of the plan have remained the same from our first meeting in August. No change to the City's General Plan is proposed. We are requesting a zoning map change to R1-43 ESL, which is the zoning of all of the homes in the surrounding developments (see attached zoning map). Our proposal will restrict the density on the site to 0.68 homes per acre, and the height of the homes will be limited to 24 feet. The minimum lot size is $\frac{3}{4}$ of an acre, and much of the area not utilized for new homes and yards will be placed into protected open space.

Because of these updates to our plan, we are hosting an additional community meeting to answer any questions before making a formal application submittal to the City of Scottsdale.

DATE: Tuesday, October 11, 2016
TIME: 5:00pm-6:00pm
LOCATION: Foothills Academy Multi-purpose Room
(7191 E Ashler Hills Dr. Scottsdale, AZ 85262)

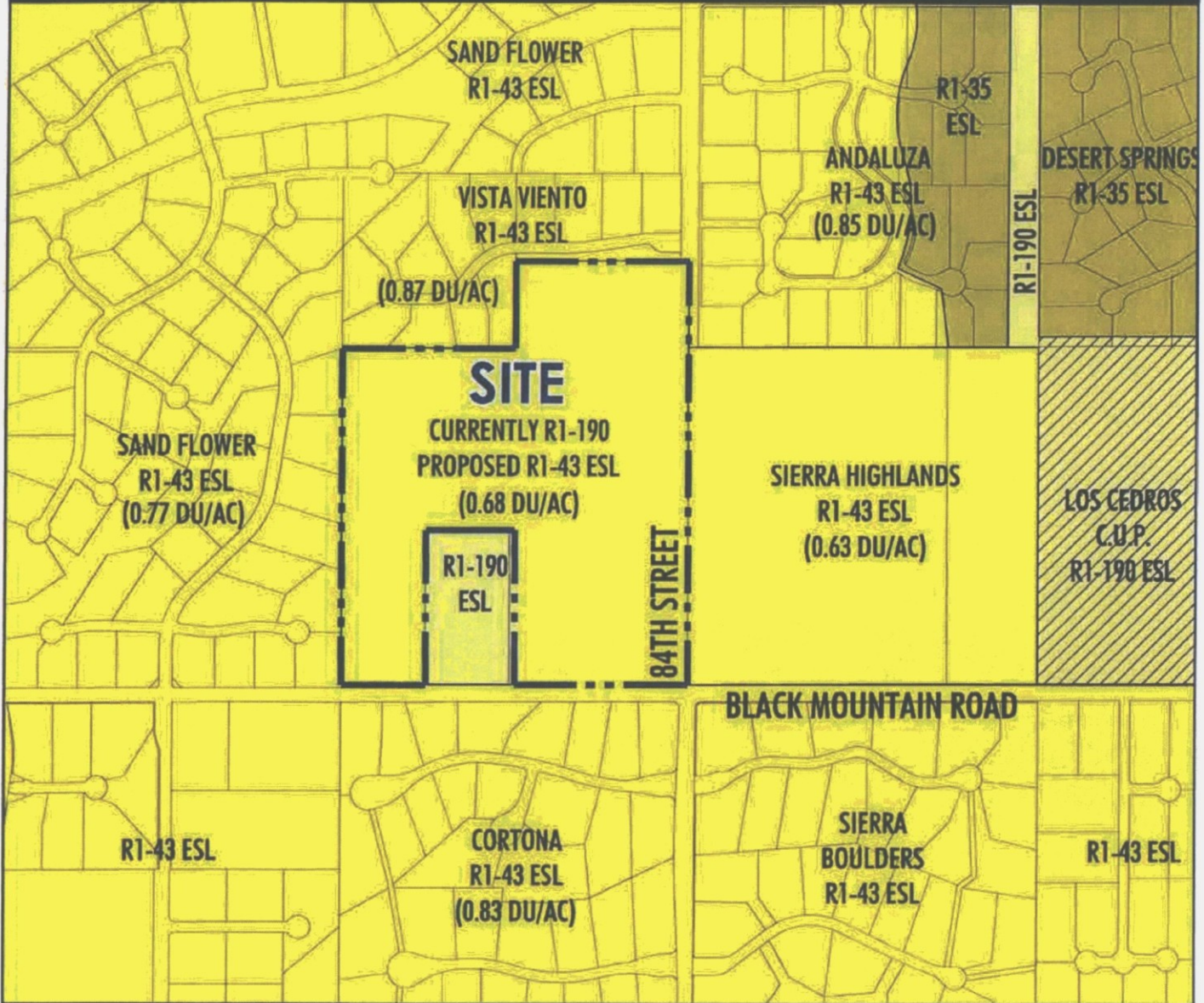
Thank you for your time and interest! If you are unable to attend the neighborhood meeting and wish to provide input, please contact me or Jennifer Hall of Rose Law Group at 480-505-3939 or Jhall@roselawgroup.com. Comments will be made part of the public record for inclusion in the case file.

Sincerely,



Alex Stedman
Planning Manager
LVA Urban Design Studio
Email: astedman@LVAdesign.com

PROPOSED ZONING



LEGEND

-  R1-190 ESL
-  R1-43 ESL
-  R1-35 ESL

LVA urban design studio
land planning • development entitlements • landscape architecture
120 south ash avenue • Tempe, arizona 85281 • 480.994.0994

THE RESERVE at BLACK MOUNTAIN APPROX. SCALE:NTS



PROPOSED ZONING MAP

1622

DRAWN BY: PR

9/30/16

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U:\1622-84TH & BLACK MOUNTAIN RD\CAD\PLANNING\LVA-1622-ZONING.dwg Sep 30, 2016



LEGEND	
---	SITE BOUNDARY
SITE DATA	
SITE AREA (GROSS):	39.6 AC (+/-)
CURRENT ZONING:	R1-190 ESL
PROPOSED ZONING:	R1-43 ESL
PROPOSED # OF LOTS:	27
GROSS DENSITY:	0.68 DU/AC
PROPOSED DEVELOPMENT STANDARDS:	
	R1-43 ESL
MINIMUM LOT AREA:	32,250 SQ. FT.
MINIMUM LOT WIDTH:	113'
FRONT SETBACK:	30'
SIDE SETBACK:	15'
REAR SETBACK:	26'

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 land planning • development entitlements • landscape architecture
 120 south oak avenue • tempe, arizona 85281 • 480.994.0914

THE RESERVE at BLACK MOUNTAIN
 CONCEPTUAL SITE PLAN

NORTH
 APPROX. SCALE: NTS
 1/27 DRAWN BY: PK 7/29/14

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 311470 0418 8 BLACK MOUNTAIN RD (22) PLANNING 1422 077760 PL 08 1014 07 21 14.dwg 04/29/14

Project Neighborhood Meeting – The Reserve at Black Mountain

Location Foothills Academy

Date and Time. Tuesday, October 11, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
1	Jenny Murray	8214 E Nightingale Star	503-709-9076	jennmurray@yahoo.com
2	Kathleen Navarro	8262 E Nightingale Star Dr	480-664-4683	newtkb@cox.net
3	Omayra Steech	8341 E. Arroyo Seco Rd.	480-72-1720	osteech@gmail.com
4	Tony Steech	"		
5	MARGO WEST & Gordon	8359 E NIGHTINGALE STAR DR	480-482-2569	
6	JOANNE THOMPSON	8263 E CAVALRY DR SEL	480-988-1449	joannny@aol.com
7	Lora Docke	34887 N 81 st ST	480-980-2823	115A-060he@cox.net
8				
9				
10				

Project: Neighborhood Meeting – The Reserve at Black Mountain

Location: Foothills Academy

Date and Time: Tuesday, October 11, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
31	Anne & Bob Hilton	8285 E Cavalry Dr.	480-595-3937	rwilton2@msn.com
32	Betty & Patrick WERICK	34454 N 33rd St 85266	480-221-8585	
33				
34				
35				
36				
37				
38				
38				
40				

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – October 11, 2016

Name Kathleen Navarrete Street Address 8262 E Nightingale Star Dr.

Email Address newtkb@cox.net Phone Number 480-664-4683 (H)

COMMENTS / CONCERNS:

602-361-3998 (Cell/Work)

My husband and I are original owners - we paid a high premium for our lot (pristine views) w/ the understanding that the parcels fronting Black Mtn Rd would remain at 1 home or

5 acres. I am a Please place this card in the box
Thank you! widow now and my home is the only investment I have for myself and

my children, Building two⁺ more homes on
the NW 5-acre parcel would negatively
impact my view, most likely affect my
ability to sell my home, and absolutely
negatively affect what I can sell my home
for. I get it - more homes you can build
the more \$ in your pocket - but those
are \$ you will be taking from me and
my boys. That negatively impacts my family's
future. The 5-acre lot should hold only
1 home and 1 home only. Just because you
might be able to do something doesn't make
it the right thing to do. I will do my best to
ensure my children's future.

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – October 11, 2016

Tony Steech	8341 E. Arroyo Seco Rd
Name	Street Address
tony.steech@gmail.com	602.327.0305
Email Address	Phone Number

COMMENTS / CONCERNS:

Opposed to increased density in the proposed development. Disappointed with the destruction of the desert in this and Adairza + Sierra Highlands. For 2 years now had to endure negative aspects of development →

Please place this card in the box.
Thank you!

- Destruction of plants = increased road noise
from PMA

- Loud Noise from Jack hammers for 2 years

- Loud Noise from earthmovers breaking up
at 6 AM

- Just destroying the environment we bought
and pay for with long commutes and
high prices

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – October 11, 2016

Omayra Steech 8341 E. Arroyo Seco Rd. Scottsdale AZ 85260
Name Street Address

osteech@gmail.com 480-772-1720
Email Address Phone Number

COMMENTS / CONCERNS:

We are opposed to the re-zoning of homes + do NOT want the desert to be excavated for profit.

We purchased our beautiful home "away" from noise (road + construction). We already suffer from both road (Pima) noise

+ construction noise + Sierra Highlands developments. IF you re-zone + build our →

Please place this card in the box.
Thank you!

From the Andalusia

home would be filled w/ construction noise & dust.
Please, build somewhere else.

We don't want to move + fear the project
would lower the value of our home from
excess noise - both construction & road (Pine)

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – October 11, 2016

Gordon Hurst 8359 E Nightingale St
Name Street Address

Wotudynaz@yahoo.com 480 488-2569
Email Address Phone Number

COMMENTS / CONCERNS:

lots 3 & 4 appear very close to
folks on North side of Nightingale
with view deck they have direct sight
in pool areas.

Please place this card in the box.
Thank you!



Affidavit of Posting

Required: Signed, Notarized originals.
Recommended: E-mail copy to your project coordinator.

Project Under Consideration Sign (White) Public Hearing Notice Sign (Red)

Case Number: 536-PA-2016

Project Name: _____

Location: 84th St and Black Mountain Rd

Site Posting Date: Original post August 5, 2016; Updated October 4, 2016

Applicant Name: Alex Stedman; LVA Urban Design Studio

Sign Company Name: Dynamite Signs

Phone Number: 480-585-3031

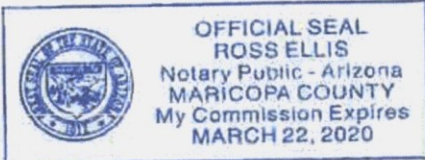
I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Meghan Kogut
Applicant Signature

10/4/16
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me this the 4th day of October 2016



Ross Ellis
Notary Public
My commission expires: 3/22/2020

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Tuesday, October 11, 2016
Time: 5:00 P.M. - 6:00 P.M.
Location: Foothill Academy Multi-purpose Room
7191 E. Ashler Hills Dr., Scottsdale, AZ 85262

Site Address: NWC Black Mountain Rd. & 84th St.

Project Overview:

- **Request:** A request to rezone the subject property from R1-190 to R1-43 ESL
- **Description of Project and Proposed Use:** The proposal would create a 27-lot single family residential community on +/-40 acres.
- **Site Acreage:** 40.0 acres
- **Site Zoning:** R1-190

Applicant Contact:

Alex Stedman 480-994-0994
astedman@lvadesign.com

City Contact:

Jesus Muillo 480-312-7849
jmurillo@scottsdaleaz.gov

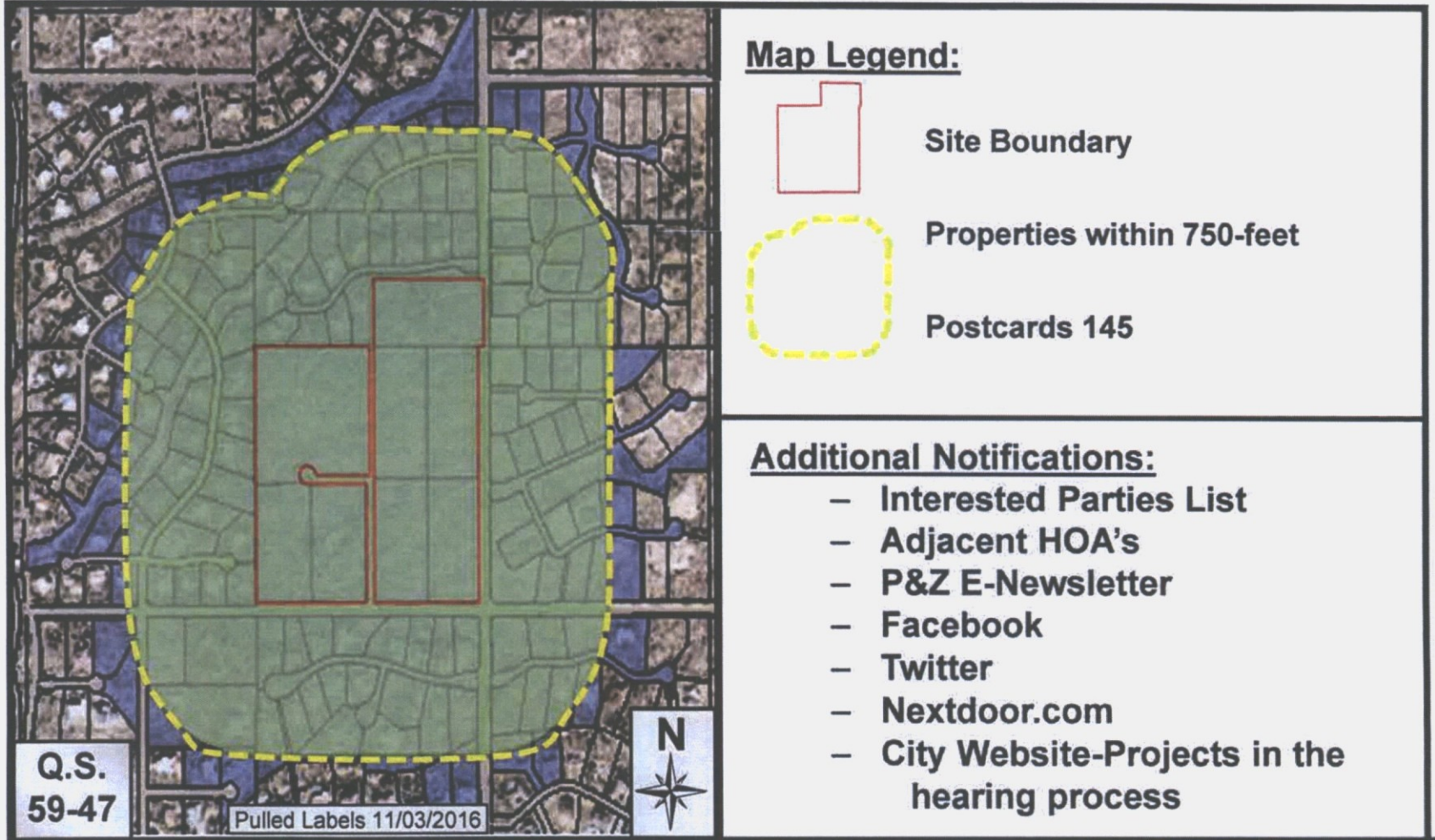
Pre-Application #: 536-PA-2016 Available at City of Scottsdale: 480-312-7000

Project information may be researched at: <https://eservices.scottsdaleaz.gov/bldgresources/Preapp/Search> **Posting Date: 8/5/16**

•-Penalty for removing or defacing sign prior to date of last hearing -Applicant Responsible for Sign Removal•

10/4/16 13:11:55

City Notifications – Mailing List Selection Map



84th & Black Mountain

26-ZN-2016



**SCOTTSDALE PLANNING COMMISSION
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

WEDNESDAY, MARCH 22, 2017

DRAFT SUMMARIZED MEETING MINUTES

PRESENT: Paul Alessio, Chair
Ali Fakh, Commissioner
Prescott Smith, Commissioner
Kelsey Young, Commissioner

ABSENT: David Brantner, Vice Chair
Larry S. Kush, Commissioner
Michael Minnaugh, Commissioner

STAFF: Tim Curtis
Joe Padilla

Jesus Murillo
Jeff Barnes

CALL TO ORDER

Chair Alessio called the regular session of the Scottsdale Planning Commission to order at 5:00 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

MINUTES REVIEW AND APPROVAL

1. Approval of March 1, 2017 Regular Meeting Minutes including the Study Session.

**COMMISSIONER YOUNG MOVED TO APPROVE THE MARCH 1, 2017
REGULAR MEETING MINUTES INCLUDING THE STUDY SESSION, SECONDED BY
COMMISSIONER SMITH, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF
FOUR (4) TO ZERO (0).**

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ.gov, search "Planning Commission"

EXPEDITED AGENDA

- 2 8-AB-2016 (Abandonment for Monument Sign)
Request by owner to abandon a portion of the north ten (10) feet of the sixty-five (65) foot half street right-of-way for E Thomas Road, for the property located at 7150 E Thomas Road with Highway Commercial (C-3) zoning Staff contact person is Jeff Barnes, 480-312-2376 Applicant contact person is Anna Lauri, 949-813-9144

- 3 12-AB-2016 (Desert Star Acres Abandonment)
Request by owner to abandon the twenty-five (25) foot wide Future Roadway Easement located along the northern boundary of three (3) properties on the south side of Cactus Road with Single-family Residential District (R1-35) zoning located at 12187 N 76th Place, 7655 E Cactus Road, and 7667 E Cactus Road Staff contact person is Jeff Barnes, 480-312-2376 Applicant contact person is Robert Sonders, 720-530-0567
Item No's 2 & 3 Recommended City Council approve cases 8-AB-2016 and 12-AB-2016, by a vote of 4-0, Motion by Commissioner Smith, per the staff recommended stipulations, based upon the finding that the Abandonments are consistent and conform with the adopted General Plan, 2nd by Commissioner Fakih.

- 4 26-ZN-2016 (84th & Black Mountain)
Request by owner for a Zoning District Map Amendment from Single-family Residential Environmentally Sensitive Lands (R1-190/ESL) district to Single-family Residential Environmentally Sensitive Lands (R1-43/ESL) district, on approximately +/-45-acre site located at the northwest corner of N 84th Street and E Black Mountain Road Staff contact person is Jesus Murillo, 480-312-7849 Applicant contact person is Court Rich, 480-505-3937
Item No. 4: Recommended City Council approve case 26-ZN-2016, by a vote of 4-0, Motion by Commissioner Young, per the staff recommended stipulations and after determining that the proposed Zoning District Map Amendment is consistent and conforms with the adopted General Plan, 2nd by Commissioner Fakih
Request to speak cards Kathleen Navarrete and Harvey & Madelon Lawrence
Comment card Harvey & Madelon Lawrence

ADJOURNMENT

With no further business to discuss, the regular session of the Planning Commission adjourned at 5 16 p m

* Note These are summary action minutes only A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ gov, search "Planning Commission"

REQUEST TO SPEAK



4

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.
Public testimony is limited to three (3) minutes per speaker.
Additional time **MAY** be granted to speakers representing two or more persons.
Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) Kathleen Navarrete MEETING DATE 3/22/2017

NAME OF GROUP/ORGANIZATION (if applicable) Homeowner

ADDRESS 8262 E Nightingale Star Dr ZIP 85266

HOME PHONE 480 664 4683 WORK PHONE 602 361 3998

E-MAIL ADDRESS (optional) newtkb@cox.net

I WISH TO SPEAK ON AGENDA ITEM # 4 I WISH TO DONATE MY TIME TO _____

I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.



WRITING COMMENTS

4

This card is used to submit written comments to the Board or Commission.
Written comment cards may be submitted to the Staff at any time. Cards submitted after public testimony has begun will be provided to the Board or Commission at the conclusion of the testimony for that item.

NAME (print) Harvey & Madelon Lawrence MEETING DATE 3/22/17

NAME OF GROUP/ORGANIZATION (if applicable) _____

ADDRESS 34822 N. 83rd St., Scottsdale ZIP 85266

HOME PHONE 480 437-9111 WORK PHONE 861-4749

E-MAIL ADDRESS (optional) madelon6852@gmail.com

AGENDA ITEM # 4 SUPPORT OPPOSE

COMMENTS (additional space is provided on the back)
As the only pertinent home owners, we are in total support
of this zoning district map

This card constitutes a public record under Arizona law.

REQUEST TO SPEAK

4

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.
Public testimony is limited to three (3) minutes per speaker.
Additional time **MAY** be granted to speakers representing two or more persons.
Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) Harvey & Madelon Lawrence MEETING DATE 3/22/17

NAME OF GROUP/ORGANIZATION (if applicable) _____

ADDRESS 34822 N. 83rd St., Scottsdale ZIP 85266

HOME PHONE 480 437-9111 WORK PHONE 480 861-4749

E-MAIL ADDRESS (optional) madelon6852@gmail.com

I WISH TO SPEAK ON AGENDA ITEM # 4 I WISH TO DONATE MY TIME TO _____

I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

PLANNING COMMISSION REPORT



Meeting Date March 22, 2017
General Plan Element *Land Use*
General Plan Goal *Create a sense of community through land uses*

ACTION

84th & Black Mountain 26-ZN-2016

Request to consider the following:

- 1 A recommendation to City Council regarding a request by owner for a Zoning District Map Amendment from Single-family Residential Environmentally Sensitive Lands (R1-190/ESL) district to Single-family Residential Environmentally Sensitive Lands (R1-43/ESL) district, on approximately +/-45-acre site located at the northwest corner of N 84th Street and E Black Mountain Road

Goal/Purpose of Request

The applicant's request is to rezone the subject 45+/-acre site to establish a 31-lot single-family subdivision. The owner is proposing to provide additional Natural Area Open Space (NAOS), and tract NAOS, as justification for the rezoning request and proposed amended development standards.

Key Items for Consideration

- Proposal contains several different owners (including two existing single-family dwelling units)
- An average 50-foot wide Desert Scenic Roadway Buffer is being provided along the N 84th Street alignment and E Black Mountain Road
- The proposal shall provide one-half (0.5) acre of additional Natural Area Open Space, beyond the required amount, to be dedicated with the final plat
- The proposal shall provide approximately fifty percent (50%) of the provided Natural Area Open Space, within tracts to provide greater NAOS protection
- Proposal is in conjunction with abandonment case 14-AB-2016
- Proposal is in conjunction with preliminary plat case 5-PP-2017
- Sewer line improvements proposed, by looping system, through Lot "9," of the adjacent Sand Flower subdivision
- Amended Development Standards are proposed, which will require Development Review Board approval

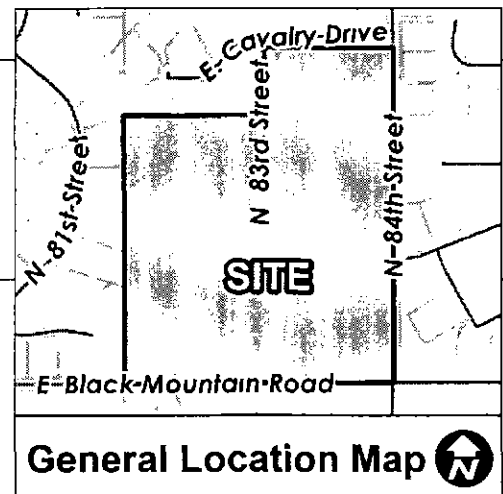
OWNER

Various Owners
Alex Stedman
480-994-0994

APPLICANT CONTACT

ALEX STEDMAN
LVA URBAN DESIGN STUDIO, PLLC
480-994-0994

LOCATION



34834 N 83rd Street (Northwest Corner of the N 84th Street alignment and E Black Mountain Road)

BACKGROUND

General Plan

The General Plan Land Use Element designates the property as Rural Neighborhoods. This category includes areas of relatively large lot single-family neighborhoods. Densities are usually one house per one acre of land. Clustering is encouraged to preserve desert vegetation, washes, and natural features.

Character Area Plan

The subject site is located within the un-adopted Boulders Character Area. The Boulders Character area is a tourism center and destination, home to both full and part-time residents, and a service center for other areas within and outside of the city. It has a broad diversity of housing types, most of which are upscale. The area street systems serve both as a major gateway to the city as well as a regional crossroads for the area.

Zoning

The site is currently zoned within the Single-family Residential, Environmentally Sensitive Lands (R1-190/ESL) zoning district designation. The R1-190/ESL zoning district allows for single-family residential uses, and the subject site has an Environmentally Sensitive Lands Overlay zoning designation.

The subject site was rezoned to R1-190/HD/HC, along with the Desert Mountain and The Boulders communities, through case 2-ZN-1985. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was adopted to replace the Hillside District. The current revision to the ESL overlay took effect in 2004. The ESL ordinance categorized this site within the zoning designation of Residential Single-family, Environmentally Sensitive Lands (R1-190/ESL).

Context

The subject property is located at the northwest corner of the N 84th Street alignment and E Black Mountain Road. Please refer to context graphics attached.

Adjacent Uses and Zoning

- North Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Vista Viento Estates subdivision community
- South Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Cortona subdivision community
- East Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Sierra Highlands subdivision community
- West Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL, Sand Flower subdivision community

Other Related Policies, References:

2-ZN-1985, 19-ZN-2005, 14-AB-2016, and 5-PP-2017

APPLICANTS PROPOSAL

Development Information

The development proposal includes the rezoning for a 31-lot subdivision community. The request includes eight (8) subject parcels with various owners. The request is in association with an abandonment request and a preliminary plat case application. The site plan, as proposed, would require the approval of both the previously mentioned associated cases. The proposal includes the cooperation of the neighboring subdivision community, as the sewer line improvements have been proposed, to loop, through Lot "9" of the neighboring community.

The applicant will be requesting amended development standards, as allowed pursuant to Section 6 1083 in the ESL section of the Zoning Ordinance, in order to reduce the lot size, width, and setbacks. The amended development standards are subject to the subsequent Development Review Board approval at the time of preliminary plat review.

- Existing Use Vacant Land and Two Single-family homes
- Proposed Use 31-lot Subdivision (9-PP-2014)
- Parcel Size 45+/- acres gross (42.4 acres net)
- Building Height Allowed 24 feet
- Building Height Proposed 24 feet
- NAOS Required 15.76 acres
- NAOS Provided 16.22 acres
- Density Allowed (R1-190/ESL) 0.21 du/ac (9 lots)
- Density Allowed (R1-43/ESL) 0.83 du/ac (37 lots)
- Density Proposed 0.69 du/ac (31 lots)

IMPACT ANALYSIS

Land Use

The request is in conformance with the 2001 General Plan, which allows the density of one dwelling unit per acre of land. The proposed zoning district, Single-family Residential District, Environmentally Sensitive Lands (R1-43/ESL), allows for 0.83 dwelling units per acre. The owner is proposing a 31-lot subdivision with amended development standards, with a density that is less

than the density allowed by the ESL Ordinance for the proposed Single-family Residential District, Environmentally Sensitive Lands (R1-43/ESL) zoning designation

Although the ordinance would allow the proposed density of up to 0.83 dwelling units per acre, the normal development standards may propose a challenge in laying out the design of the 31-lot subdivision. The proposed amended development standards will allow the owner to achieve the allowed density and provide additional NAOS, and tract NAOS, to protect environmentally sensitive areas. The subject request is in conjunction with a preliminary plat application, case 5-PP-2017, which allows for the applicant to request the amended development standards required to execute the proposed site planned at the time of Development Review Board review.

The proposal includes two (2) existing single-family homes, located on two separate parcels. These two parcels have been identified as proposed lots "7" and "27." Proposed Lot 7 is shown maintaining access to N 84th Street and proposed Lot 27 is shown maintaining access to E Black Mountain Road. These properties will also be provided access at the internal street system and in case the properties, in the future, decide to be holistically included within the proposed subdivision community.

Traffic/Trails

The primary access for the subject site will be off of N 84th street. The entrance into the proposed subdivision community will be gated, and the internal streets will be private. The two existing single-family homes will continue to have access from their existing access points. The single-family home, located in the northern portion of the site, will continue to have access from its existing N 84th street driveway, and the single-family home, located in the southern portion of the site, will continue to have access from the existing E Black Mountain Road driveway. The proposed development will provide access point to the internal, private, street system in case either parcel would like to have the opportunity to be included into the gated community.

The owner will be dedicating the required right-of-way as per the Transportation Master Plan with the proposed preliminary plat: dedicated public right-of-way, provide private streets, dedicated trail easements, and apply for an abandonment application. The owner will be dedicating and improving the right-of-way to the required Design Standards and Policies Manual requirements. The owner has agreed to construct half-street improvements along E Black Mountain Road, and N 84th Street, to be consistent with the Local Collector Street, Rural/ESL character modified cross section. These street designations will include twenty-four (24) feet of total pavement width, roll curb and gutter, and an improved trail along the north side of E Black Mountain Road.

The proposal will also construct half-street improvements along N 84th Street to be consistent with the Local Collector Street, Rural/ESL character modified cross section. This street designation includes twenty-four (24) feet of total pavement width, roll curb and gutter along the west side of N 84th Street, and a 6-foot-wide sidewalk, separated from the back of curb. The street improvements will include a transition to the existing street improvements to the west and will need to align with the existing street improvements. The trail will be contained within the desert scenic buffer easement dedicated to the city with the proposed preliminary plat.

The associated final plat case shall not be approved without the approval of the associated abandonment case. The proposed site plan will be contingent on the abandonment of those portions of N 83rd Street located within the project area.

Water/Sewer

As stated before, the sewer line improvements will be completed by looping the system through Lot "9," of the neighboring community, the Sand Flower subdivision. Before the scheduling of the associated preliminary plat case, 1-PP-2017, to the Development Review Board, the owner shall provide evidence of a minimum 20-foot waterline easement, sewer line easement, no-development area easement (or equivalent), along the southern boundary of lot "9" of the Sand Flower subdivision, located immediately to the west, and adjacent to, the subject site's tract "G." The final plat submittal shall improve the proposed wall/corral fence detail that shall delineate the northern boundary of the above mentioned easements.

Public Safety

Design of the internal streets will conform to ESL local residential, 40-foot tract width. Additionally, a minimum 40-foot wide Emergency and Service Access Vehicle Easement will be provided over all internal streets.

School District Comments/Review

The applicant sent a letter of notification to the School District on August 2, 2016, and neither the applicant, nor staff, have received any comments or inquiries from the District.

Open Space

The site has two significant desert washes dissecting the site diagonally, from southwest to northeast, both of which will be protected through the use of tracts or easements. The owner has agreed to dedicate a vista corridor, non-development, Natural Area Open Space, and Drainage easements over the above mentioned wash locations. Frontage open space will be protected through desert scenic buffer easements located along the eastern and southern boundaries of the site. The desert scenic buffer setback width along E Black Mountain Road and N 84th Street shall be a minimum of 35 feet, measured from the property line. Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition. The final plat shall show all Desert Scenic Roadway setback easements dedicated to the City.

The owner is proposing to dedicate 16.22 acres of NAOS with the associated preliminary plat, which is approximately 0.5 acres of additional NAOS, than that required by ordinance for this 45+/- acre site. There are 0.49 acres of open space, not designated as NAOS due to revegetation requirements, which will remain as undeveloped area. This will bring the total area of the site, as one form of open space or another, to 16.78+/- acres (reference table below). Approximately 7.78 acres of the provided NAOS will be located within protected tracts.

Community Involvement

The applicant conducted two separate "open house" meetings (August 17, 2016 and October 11, 2016), met with concerned neighbors, and some of the individual HOAs located within the area. The complete report of the applicant's outreach is provided as attachment #8. The applicant states in the report that the comments and concerns revolved around views, drainage, and community buffers. Staff's analysis of the citizen review report showed that a majority of the residents had preview to a site plan that showed 27 lots, not the current 31-lot site plan. The online submittal provided the most current project site plan.

All property owners within 750 feet of this proposal have been notified by the applicant and staff. Staff has received an inquiry from a real estate agent and inquiries from couple of neighbors. One

of those neighbors, in addition to the adjoining HOA, provided a letter of support for the project. Please reference Attachment #7 for all correspondence received from the public.

Community Impact

The maximum density in the Rural Neighborhood Land Use designation typically ranges from 0.21 dwelling units per acre (0.21 du/ac), to 1.04 dwelling units per acre (1.04 dwelling units per acre in ESL). This proposal requests the density of 0.69 dwelling units to the acre, along with Natural Area Open Space, portions of desert scenic view frontage, and desert wash protection. The developer is responsible for infrastructure improvements.

Policy Implications

The number of dwelling units will be capped by the Land Use Budget Table and any proposed modification will be subject to further review and approval.

The improvement of N 84th Street is a requirement of the Transportation Master Plan in order to complete the City of Scottsdale street system.

STAFF RECOMMENDATION

Recommended Approach.

Staff recommends that the Planning Commission find that the proposed zoning district map amendment is consistent and conforms with the adopted General Plan, and make a recommendation to City Council for approval, per the attached stipulations.

RESPONSIBLE DEPARTMENTS

Planning and Development Services

Current Planning Services

STAFF CONTACTS

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APPROVED BY



Jesus Murillo, Report Author

3-16-2017

Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

3/16/2017

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

3/16/17

Date

ATTACHMENTS

- 1 Context Aerial
- 1A Aerial Close-Up
- 2 Stipulations
 - Exhibit A to Attachment 2 Site Plan/Subdivision Plat
 - Exhibit B to Attachment 2 NAOS Plan (NAOS analysis plan)
 - Exhibit C to Attachment 2 Development Envelope Plan
 - Exhibit D to Attachment 2 Environmental Features Map Plan (desert scenic buffer)
 - Exhibit E to Attachment 2 Landscape Character Plan
 - Exhibit F to Attachment 2 Cuts and Fills Plan
- 3 Applicant's Narrative
- 4 General Plan Land Use Map
- 5 Existing Zoning Map
- 6 Proposed Zoning Map
- 7 Citizen Correspondence
- 8 Citizen Involvement
- 9 City Notification Map



Q.S.
59-47

Google Earth Pro Imagery

84th Street & Black Mountain Road

ATTACHMENT #1

26-ZN-2016



Q.S.
59-47

Google Earth Pro Imagery

84th Street & Black Mountain Road

ATTACHMENT #1A

26-ZN-2016

**Stipulations for the Zoning Application:
84th & Black Mountain
Case Number: 26-ZN-2016**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

SITE DESIGN

1. CONFORMANCE TO CONCEPTUAL SITE PLAN. Development shall conform with the conceptual site plan (conceptual subdivision plan) submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit A to Attachment 2. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
2. CONFORMANCE TO NAOS PLAN. Development shall conform with the NAOS Plan (NAOS analysis plan), submitted by Kimley-Horne and with the city staff date of 01-10-2017, attached as Exhibit B to Attachment 2. The development shall dedicate a minimum of **16.22 acres** of Natural Area Open Space. Any proposed significant change to the conceptual Natural Area Open Space plan, including tracts, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
3. CONFORMANCE TO DEVELOPMENT ENVELOPE PLAN. Development shall conform with the Development Envelope Plan, submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit C to Attachment 2. Any proposed significant change to the development envelope plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
4. CONFORMANCE TO ENVIRONMENTAL FEATURES MAP PLAN. Development shall conform with the Environmental Features Map Plan (desert scenic buffer), submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit D to Attachment 2. The Desert Scenic Roadway setback width along N. 84th Street and E. Black Mountain Road shall be a minimum of 35 feet, with an average of 40 feet measured from edge of ultimate right-of-way (after right-of-way abandonment). Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition. The final plat shall show all Desert Scenic Roadway setback easements dedicated to the city. Any proposed significant change to the desert scenic corridor buffer, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
5. CONFORMANCE TO LANDSCAPE CHARACTER PLAN. Development shall conform with the Landscape Character Plan, submitted by LVA Urban Design Studio and with the city staff date of 01-10-2017, attached as Exhibit E to Attachment 2. Any proposed significant change to the vegetation types and areas (in quantity or type), as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
6. CONFORMANCE TO CUTS AND FILLS PLAN. Development shall conform with the Cuts and Fills Plan, submitted by Kimley-Horne and with the city staff date of 01-10-2017, attached as Exhibit F to Attachment 2. Any proposed significant change to the cuts and fills, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.

7. LOCATION OF INTERNAL STREETS AND DRIVEWAYS. Prior to the Development Review Board application submittal, the owner/developer shall stake the alignments for all internal streets and driveways subject for inspection by city staff to confirm that the proposed alignments conform to City standards.
8. FIRE REQUIREMENTS. Additional or proposed hydrants shall be placed outside of proposed cul-de-sac(s). All fire hydrants shall also be located along the fire lane/road and spacing of hydrants and shall be constructed as per 4045 Section 507-5-1 EXP #2 and 507-5-1-2 #2.
9. ASSOCIATED CASE APPROVALS. The proposed site plan shall be contingent on the abandonment of those portions of N. 83rd Street located within the project area (14-AB-2016).
10. MAXIMUM DWELLING UNITS/MAXIMUM DENSITY. Maximum dwelling units and maximum density shall be as indicated on the Land Use Budget Table below.

Land Use Budget Table						
Parcel	Gross Acres	Existing Zoning	Proposed Zoning	Max DU/AC	Propose # of Units / Lots	Max # of Units / Lots
216-34-003S, 216-34-003M, 216-34-003R, 216-003N, 216-34-003T, 216-34-267, 216-34-268 and 216-34-269	50+/- acres	R1-190/ESL	R1-43/ESL	0.69 DU/AC	31 lots	31 lots

The number of dwelling units will be capped by the Land Use Budget Table and any proposed modification will subject to further review and approval.

11. ALTERATIONS TO NATURAL WATERCOURSES. Any proposed alteration to the natural state of watercourses with a peak flow rate of 50 cfs or greater based on the 100 year – 2 hour rain event shall be subject to Development Review Board approval.

INFRASTRUCTURE AND DEDICATIONS

12. CIRCULATION IMPROVEMENTS. Prior to any permit issuance for the development project the owner shall make required dedications and prior to issuance of any Certificate of Occupancy for the development project the owner shall provide the required improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies.

a. **STREETS.** Dedicate the following right-of-way and construct the following street improvements:

Street Name	Street Type	Right-of-way Dedications	Improvements	Notes and Requirements
East Black Mountain Road	Local Collector – Rural ESL	N/A	Half Street construction including pavement, roll curb and sidewalk	a.1.
North 84 th Street	Local Collector – Rural ESL	Dedicate 35 feet on the west side	Half Street construction including pavement, roll curb and sidewalk	a.2.
Internal Street	Local Residential – Rural ESL	40 foot private tract with emergency and service vehicle access	Full street construction with roll curb and shoulders	a.3., a.4.

a.1. The development shall provide 24 feet of total pavement width, roll curb and gutter along the north side, a 6-foot-wide sidewalk separated from the back of curb, or 8-foot-wide sidewalk at back of curb, and a separate 8-foot-wide path from the sidewalk. The street improvements will need to include a transition to the existing street improvements to the west and will need to align with the existing street improvements to the east.

a.2. The development shall provide 24 feet of total pavement width, roll curb and gutter along the north side, a 6 foot wide sidewalk separated from the back of curb. The street improvements will need to be consistent with the existing street improvements to the south and will need to include a transition to the existing street improvements to the north.

a.3. Internal streets shall be in general conformance with Local Residential, ESL/Rural character, Fig. 5.3-19 DS&PM.

a.4. Entry kiosk shall be a minimum 75 feet from N. 84th Street.

a.5. Dedicate a 1-foot VNAE except at existing driveway(s).

a.6. Dedicate a 1-foot VNAE except at entrance to the subdivision.

b. **VEHICLE NON-ACCESS EASEMENT.** Prior to issuance of any building permits for the development project, the owner shall dedicate a one foot wide Vehicular Non-Access Easement (VNAE) on East Black Mountain road and North 84th Street except at the approved street entrance(s) and existing driveways.

c. There shall be a maximum of “main” one-site driveway from N. 84th Street and shall be located a minimum distance of 330 feet from E. Black Mountain Road.

13. **DRAINAGE REPORT.** In the required drainage report, the owner shall address:

a. All proposed lot grading shall be revised to maintain historic outflow location, water surface levels and velocities for the 43 cfs wash.

- b. Detailed drainage infrastructure sizing analysis shall be provided with the future submittal. All subdivision drainage infrastructure shall be depicted on the improvement plans.
14. BASIS OF DESIGN REPORT (WATER).
 - a. The Basis of Design Report -Water shall be finalized prior to final design.
15. BASIS OF DESIGN REPORT (WASTEWATER). In the required basis of design report, the owner shall address:
 - a. The selected sewer outfall is inside a tract along parcel 16 in the Reserve at Black Mountain and extending through an easement (conveyed by separate instrument) within lot 9 of the Sand Flower Subdivision located west of the Reserve (outside of the subdivision) and connects to a sewer manhole located in a cul-de-sac within the Sand Flower subdivision. DS & PM (Section 7-1.412) addresses sanitary sewers located outside of public rights-of-way. All other sewers associated with the project must be placed within a 20' wide easement located within a dedicated tract.
 - b. The Basis of Design Report -Wastewater shall be finalized prior to final design.
16. EASEMENTS.
 - a. EASEMENTS DEDICATED BY PLAT. The owner shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
 - b. EASEMENTS CONVEYED BY SEPARATE INSTRUMENT. Prior to issuance of any building permit for the development project, each easement conveyed to the city separate from a final plat shall be conveyed by an instrument or map of dedication subject to city staff approval, and accompanied by a title policy in favor of the City, in conformance with the Design Standards and Policies Manual.
17. CONFORMANCE TO MULTI-EASEMENTS PLAN. Development shall conform with the Multiple Easements Plan (subdivision plan) submitted by Kimley-Horne, edited and stamped with the city staff date of 01-10-2017, attached as Exhibit G to Attachment 2. The owner shall provide a Vista Corridor Easement, a Drainage Easement, Natural Area Open Space Easement, and No Development easement over the hatched area of the Multiple Easement Plan. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
18. OFF-SITE EASEMENTS. Before the scheduling of the associated preliminary plat case, 1-PP-2017, to the Development Review Board, the owner shall provide evidence of a minimum 20-foot waterline easement, sewer line easement, no-development area easement (or equivalent), along the southern boundary of lot "9" of the Sand Flower subdivision, located immediately to the west, and adjacent to, the subject site's tract "G." The final plat submittal shall improve the proposed wall/corral fence detail that shall delineate the northern boundary of the above mentioned easements.
19. DESERT SCENIC ROADWAY SETBACKS LOCATION AND DEDICATION. The Desert Scenic Roadway setback width along E. Black Mountain Road and N. 84th Street shall be a minimum of 35 feet, measured from the property line. Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition. The final plat shall show all Desert Scenic Roadway setback easements dedicated to the City. Desert Scenic Roadway setback shall be provided at the time of final plat (1-PP-2017).

20. VISTA CORRIDOR EASEMENTS. Prior to issuance of any building permit for the development project, the owner shall dedicate to the City on the final plat a continuous Vista Corridor Easement over the area identified in the Multiple Easements Plan subdivision plan) submitted by Kimley-Horne, edited and stamped with the city staff date of 01-10-2017, attached as Exhibit G to Attachment 2. The owner shall provide a Vista Corridor Easement, a Drainage Easement, Natural Area Open Space Easement, and No Development easement over the hatched area of the Multiple Easement Plan. Any proposed significant change to the conceptual site plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
21. CONSTRUCTION COMPLETED. Prior to issuance of any building permit for the development project, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations, in conformance with the Design Standards and Policies Manual and other applicable standards.

SAND FLOWER
R1-43

VISTA VIENTO
R1-43

BUFFERED/DESERT SCENIC
ROADWAY EASEMENT

35' HALF STREET
(PER DS&PM 5.3-15)

PROPOSED PUBLIC 6' SW

SIERRA HIGHLANDS
R1-43

KEYPAD & KEY SWITCH/
PRE-EMPTION SENSOR

PROJECT ENTRY MEETS
C.O.S. DS&PM FIG. 2.1-3 &
DS&PM 2-1.802(2)

MEETS 40.5' RADII PER DSPM 2-1.602.B.5
& 83,000 LB. FIRE LANE SUPPORT
PER DSPM 2-1.602.B3

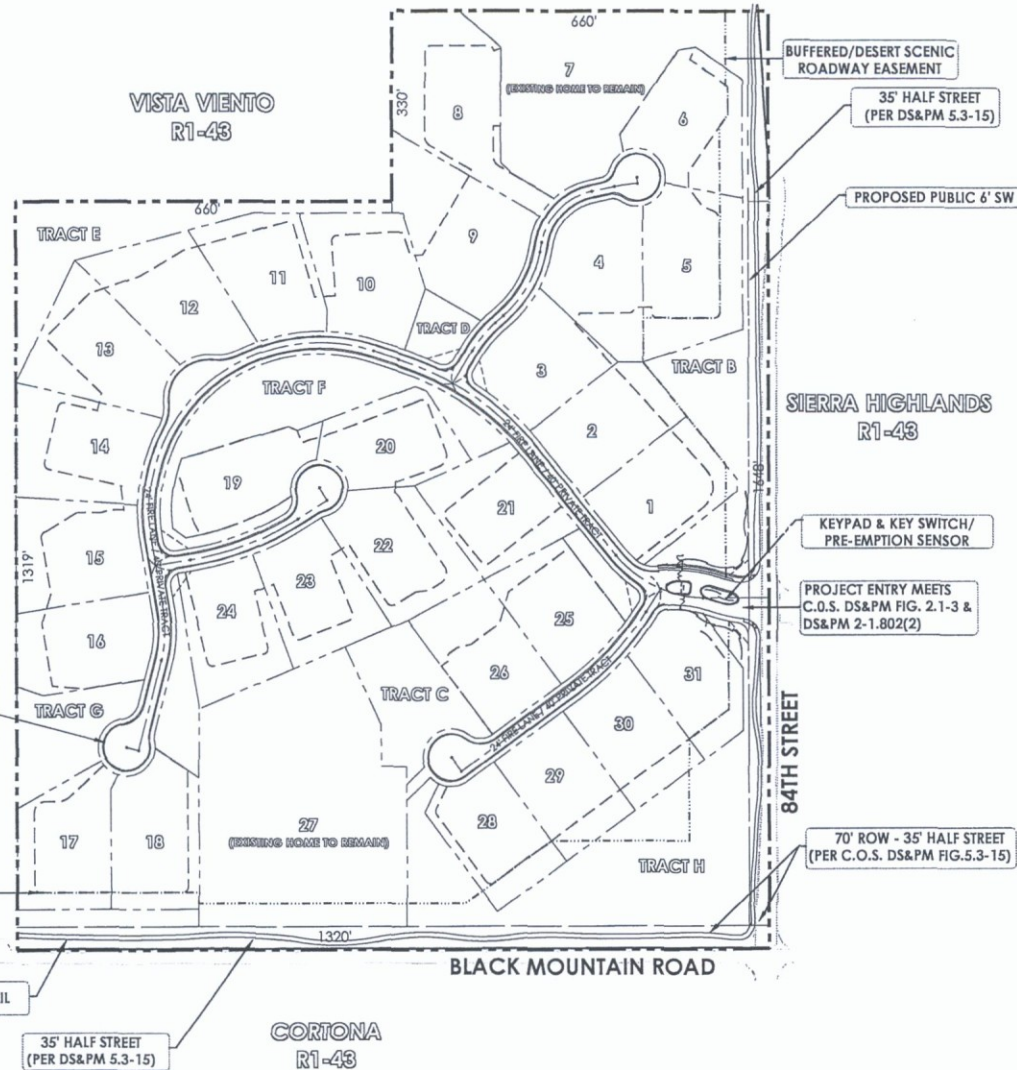
BUFFERED/DESERT SCENIC
ROADWAY EASEMENT

PROPOSED 8' TRAIL

35' HALF STREET
(PER DS&PM 5.3-15)

CORTONA
R1-43

70' ROW - 35' HALF STREET
(PER C.O.S. DS&PM FIG.5.3-15)



LEGEND

- GROSS BOUNDARY --- LOT LINES --- DEVELOPMENT ENVELOPES
- BUFFERED/DESERT SCENIC ROADWAY EASEMENT SETBACK

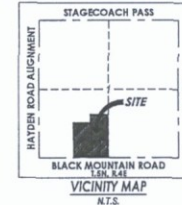
SITE INFORMATION

LOCATION:	NWC 84TH ST. & BLACK MOUNTAIN RD.
SITE AREA (GROSS):	45.0 AC (1,957,785 SQ. FT.)
SITE AREA (NET):	42.4 AC (1,852,093 SQ. FT.)
EXISTING G.P. LAND USE:	RURAL NEIGHBORHOODS (0-1 DUA/C)
EXISTING ZONING:	R1-190 ESL
PROPOSED ZONING:	R1-43 ESL
NUMBER OF LOTS:	31
GROSS DENSITY:	0.69 DU/AC
REFUSE COLLECTION:	INDIVIDUAL RESIDENTIAL REFUSE CONTAINERS
PROVIDED PARKING:	2 SPACES/UNIT TO BE PROVIDED IN GARAGE
NAOS REQUIRED:	15.76 AC (PER SLOPE ANALYSIS ON GROSS)
NAOS PROVIDED:	16.22 AC
REVEG.:	4.71 AC (30%)
UNDISTURBED:	11.51 AC (73%)

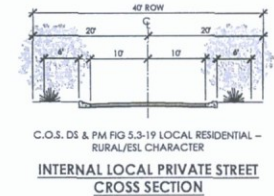
PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

MIN. LOT AREA:	32,250 SF (25% REDUCTION PER E.S.L.)
MIN. LOT WIDTH:	113' (25% REDUCTION PER E.S.L.)
MAX. BUILDING HEIGHT:	24' (0% REDUCTION PER E.S.L.)
MIN. FRONT YARD SETBACK:	30' (25% REDUCTION PER E.S.L.)
MIN. SIDE YARD SETBACK:	15' (25% REDUCTION PER E.S.L.)
MIN. REAR YARD SETBACK:	26' (25% REDUCTION PER E.S.L.)

VICINITY MAP



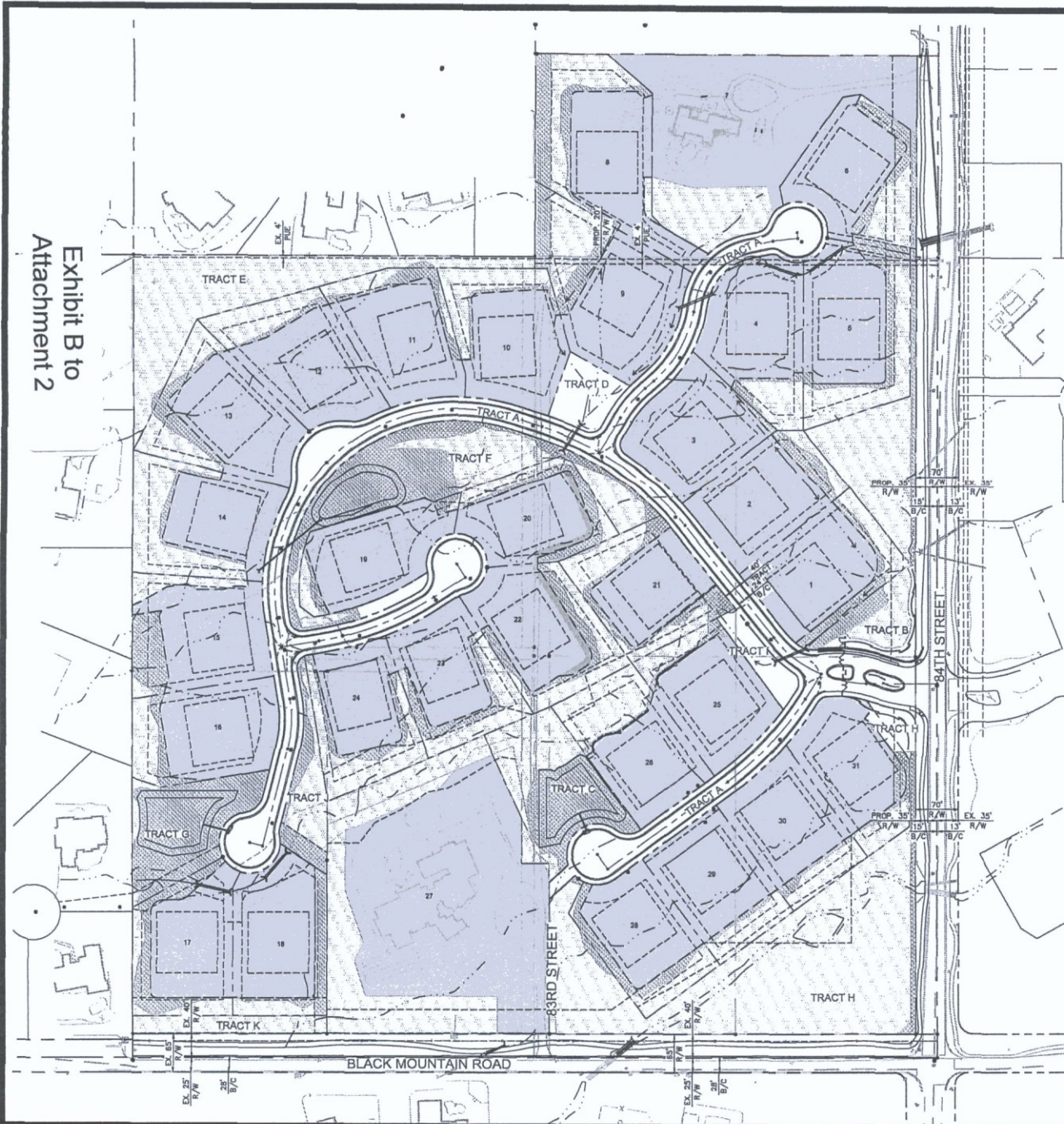
CROSS-SECTION



EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

- ON-SITE STREET TRACTS ARE DESIGNATED 24' FIRE LANES.
- FIRE LANE SURFACE TO SUPPORT 83,000 LB GVW
- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6"
- KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR ALL GATES
- GATE DETAIL CONSISTENT WITH DS&PM
- ALL PRIVATE ACCESSWAYS TO MEET MINIMUM 40.5' OUTSIDE EDGE RADIUS
- PROJECT ENTRY MEETS C.O.S. DS&PM FIG. 2.1-3 & 2.1-802(2)
- CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

Exhibit B to
Attachment 2

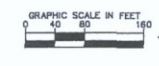


	Area (SF)	Area (AC)	Percent of Required
NAOS Revegetated	205,073	4.71	30%
NAOS Undisturbed	480,645	11.03	
NAOS Additional (Undisturbed)	20,950	0.48	73%
Provided Total NAOS	706,667	16.22	
Required Total NAOS	686,635	15.76	

LOT/TRACT	TOTAL AREA(SQFT)
1	36,790
NAOS Undisturbed	4,572
Non NAOS	28,071
NAOS Revegetated	4,147
2	34,133
NAOS Undisturbed	2,463
Non NAOS	28,434
NAOS Revegetated	3,228
3	33,049
NAOS Undisturbed	25
Non NAOS	32,346
NAOS Revegetated	679
4	37,799
NAOS Undisturbed	6,240
Non NAOS	35,108
NAOS Revegetated	1,451
5	49,870
NAOS Undisturbed	13,978
Non NAOS	28,639
NAOS Revegetated	7,253
6	39,449
NAOS Undisturbed	7,847
Non NAOS	24,643
NAOS Revegetated	7,461
7	86,894
NAOS Undisturbed	16,451
Non NAOS	72,444
8	45,961
NAOS Undisturbed	11,686
Non NAOS	30,638
NAOS Revegetated	3,637
9	45,705
NAOS Undisturbed	9,069
Non NAOS	32,811
NAOS Revegetated	3,825
10	38,656
NAOS Undisturbed	9,166
Non NAOS	27,824
NAOS Revegetated	1,666
11	36,239
NAOS Undisturbed	3,812
Non NAOS	28,913
NAOS Revegetated	3,514
12	39,175
NAOS Undisturbed	8,463
Non NAOS	29,494
NAOS Revegetated	1,218
13	42,354
NAOS Undisturbed	9,407
Non NAOS	28,970
NAOS Revegetated	3,978

14	41,764
NAOS Undisturbed	16,635
Non NAOS	23,114
NAOS Revegetated	2,015
15	40,018
NAOS Undisturbed	5,039
Non NAOS	28,550
NAOS Revegetated	6,428
16	35,311
NAOS Undisturbed	5,543
Non NAOS	27,257
NAOS Revegetated	2,512
17	37,766
NAOS Undisturbed	4,931
Non NAOS	24,545
NAOS Revegetated	8,290
18	38,305
NAOS Undisturbed	3,032
Non NAOS	29,642
NAOS Revegetated	5,631
19	81,175
NAOS Undisturbed	7,220
Non NAOS	28,252
NAOS Revegetated	1,704
20	32,439
NAOS Undisturbed	4,957
Non NAOS	31,840
NAOS Revegetated	4,542
21	36,906
NAOS Undisturbed	10,203
Non NAOS	20,615
NAOS Revegetated	6,088
22	39,900
NAOS Undisturbed	9,798
Non NAOS	35,940
NAOS Revegetated	5,063
23	35,434
NAOS Undisturbed	9,778
Non NAOS	31,476
NAOS Revegetated	4,180
24	35,421
NAOS Undisturbed	12,193
Non NAOS	19,761
NAOS Revegetated	3,467
25	35,886
NAOS Undisturbed	11,881
Non NAOS	23,099
NAOS Revegetated	907
27	152,265
NAOS Undisturbed	44,574
Non NAOS	107,690
28	31,265
NAOS Undisturbed	5,365

Non NAOS	23,203
NAOS Revegetated	4,668
29	32,250
NAOS Undisturbed	5,850
Non NAOS	25,500
NAOS Revegetated	900
30	32,700
NAOS Undisturbed	5,518
Non NAOS	25,950
NAOS Revegetated	1,232
31	32,999
NAOS Undisturbed	3,997
Non NAOS	28,513
NAOS Revegetated	2,489
A	160,486
Non NAOS	160,486
B	41,986
NAOS Undisturbed	31,991
Non NAOS	4,260
NAOS Revegetated	5,735
C	38,602
NAOS Undisturbed	15,923
Non NAOS	305
NAOS Revegetated	17,624
D	30,128
Non NAOS	30,128
E	66,193
NAOS Undisturbed	45,842
NAOS Revegetated	9,550
F	55,713
NAOS Undisturbed	21,214
Non NAOS	2,810
NAOS Revegetated	31,688
G	27,638
NAOS Undisturbed	1,284
Non NAOS	305
NAOS Revegetated	26,249
H	107,773
NAOS Undisturbed	96,472
Non NAOS	3,246
NAOS Revegetated	5,956
I	6,996
Non NAOS	6,996
25	32,765
NAOS Undisturbed	3,832
Non NAOS	27,619
NAOS Revegetated	1,314
K	9,599
NAOS Undisturbed	9,599
J	13,993
NAOS Undisturbed	8,219
NAOS Revegetated	5,774
Grand Total	1,848,602



NAOS ANALYSIS

January 3, 2017

K:\Projects\2017\01\001 - Black Mountain NAOS Analysis\NAOS Analysis\NAOS.dwg Jan 03, 2017 tsb:tlp



LEGEND	
	LIMITS OF GRADING DISTURBANCE
	SITE BOUNDARY
	BUILDING PAD
	FRONT BLDG. SETBACK: 30'
	SIDE BLDG. SETBACK: 15'
	REAR BLDG. SETBACK: 26'
DEVELOPMENT ENVELOPE BOUNDARIES ARE PRELIMINARY AND MAY BE SUBJECT TO CHANGE PRIOR TO FINAL PLAN APPROVAL.	

Exhibit C to Attachment 2

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THE RESERVE at BLACK MOUNTAIN

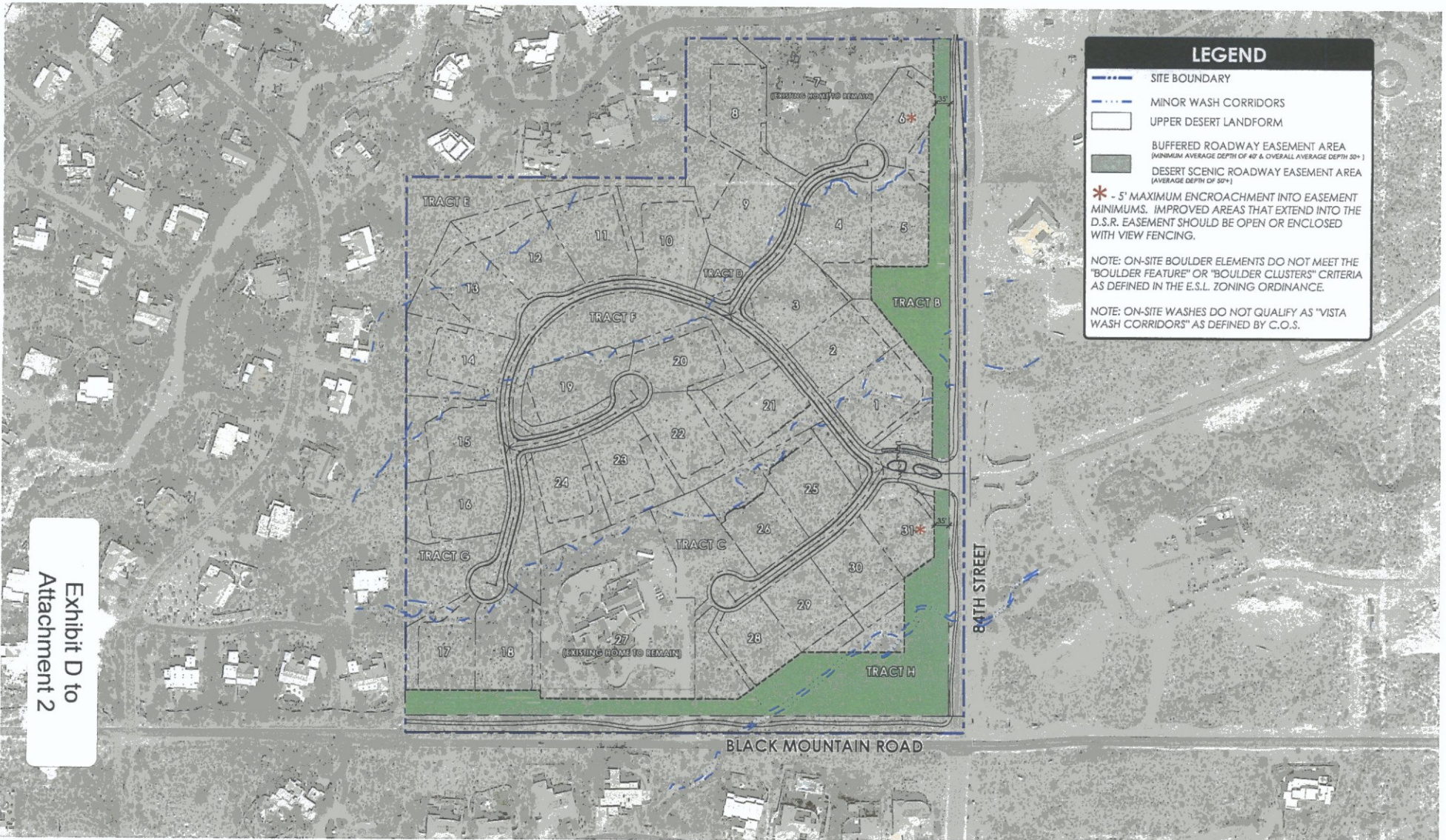
DEVELOPMENT ENVELOPE PLAN

APPROX. SCALE: 1" = 100'

 NORTH
 1622 DRAWN BY: PR 1/10/17

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 U:\1622-84TH & BLACK MOUNTAIN RD\CAD\PLANNING\1622-DEV ENV PLAN.dwg Jun 10, 2017

26-ZN-2016
01/10/2017



LEGEND

- SITE BOUNDARY
- MINOR WASH CORRIDORS
- UPPER DESERT LANDFORM
- BUFFERED ROADWAY EASEMENT AREA
(MINIMUM AVERAGE DEPTH OF 40' & OVERALL AVERAGE DEPTH 50+')
- DESERT SCENIC ROADWAY EASEMENT AREA
(AVERAGE DEPTH OF 50')

*** - 5' MAXIMUM ENCROACHMENT INTO EASEMENT MINIMUMS. IMPROVED AREAS THAT EXTEND INTO THE D.S.R. EASEMENT SHOULD BE OPEN OR ENCLOSED WITH VIEW FENCING.**

NOTE: ON-SITE BOULDER ELEMENTS DO NOT MEET THE "BOULDER FEATURE" OR "BOULDER CLUSTERS" CRITERIA AS DEFINED IN THE E.S.L. ZONING ORDINANCE.

NOTE: ON-SITE WASHES DO NOT QUALIFY AS "VISTA WASH CORRIDORS" AS DEFINED BY C.O.S.

Exhibit D to Attachment 2

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THE RESERVE at BLACK MOUNTAIN
ENVIRONMENTAL FEATURES MAP

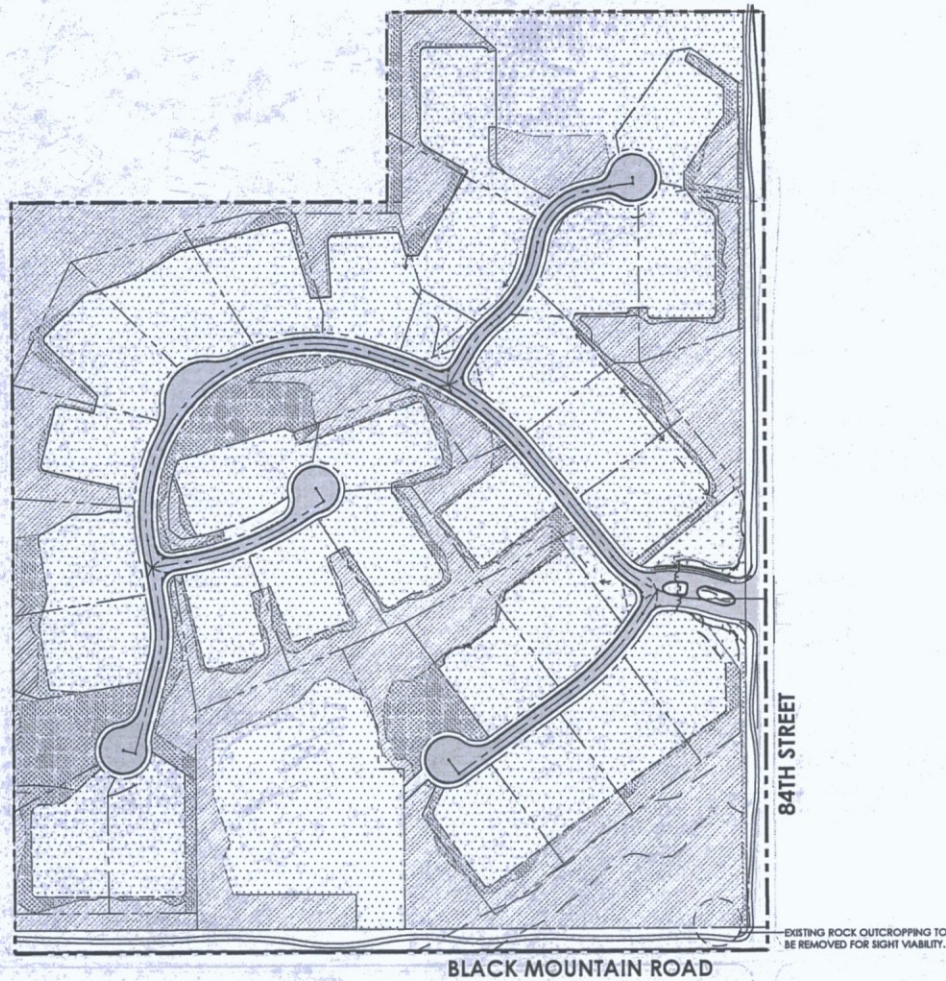
APPROX. SCALE: 1"=100'

 1622 DRAWN BY: AC 1/6/17





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 011622-84TH & BLACK MOUNTAIN RD(CAD)PLANNING\1622-ENV FEATURES MAP.dwg Jan 4, 2017

26-ZN-2016
01/10/2017

Exhibit E to
Attachment 2



LEGEND:

-  **ZONE A: NATURAL VEGETATION**
The identified areas depict undisturbed portions of the site which will remain in the current state. Areas to be designed as undisturbed N.A.O.S.
-  **ZONE B: ENHANCED PLANTING**
The identified areas will bring character and theming to the community by including concentrated salvaged or nursery grown vegetation maintained by the HOA.
-  **ZONE C: NATIVE PLANTING**
The identified areas are primarily N.A.O.S revegetated areas to mitigate development disturbance. Plant selection and density will match surrounding vegetation and may include salvaged materials.
-  **ZONE D: MAINTAINED LANDSCAPING**
The identified areas are privately owned and maintained. These landscaped areas are located on lot adjacent to building envelopes.

LANDSCAPE NOTES:

1. ALL DISTURBED AREAS ARE TO HAVE 'DESERT FLOOR' DECOMPOSED GRANITE. MATCH COLOR AND SIZE OF SURROUNDING AREAS.
2. ALL BERMS ARE TO HAVE MAXIMUM 4:1 SIDE SLOPES.
3. BOULDERS ARE TO BE SURFACE SELECT SITE BOULDERS, 1/3 BURIED IN SOIL, TYP.
4. FIFTY PERCENT OF PROPOSED TREES SHALL BE MATURE, AS DEFINED IN ARTICLE III, DEFINITIONS, OF THE ZONING ORDINANCE. INDICATE BOTH THE COMPLIANT CALIPER AND INDUSTRY STANDARDS BOX SIZE FOR THAT CALIPER IN THE PLANT PALETTE.
5. ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST.
6. NO SHRUB OR GROUND COVER WITHIN SIGHT VISIBILITY TRIANGLE SHALL EXCEED 2'-0" IN HEIGHT AT MATURITY, TYP.
7. PLANTS INSTALLED IN DETENTION BASINS AND DRAINAGE CHANNELS TO CONFORM TO CITY OF SCOTTSDALE DS&PM, SECTION 2-1.903
8. CUL-DE-SAC LANDSCAPE SHALL BE PLANTED PER ZONING ORDINANCE SECTION 1-303 REFER TO PLAN AND REPORTS REQUIREMENTS FOR DEVELOPMENT APPLICATIONS.

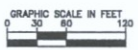
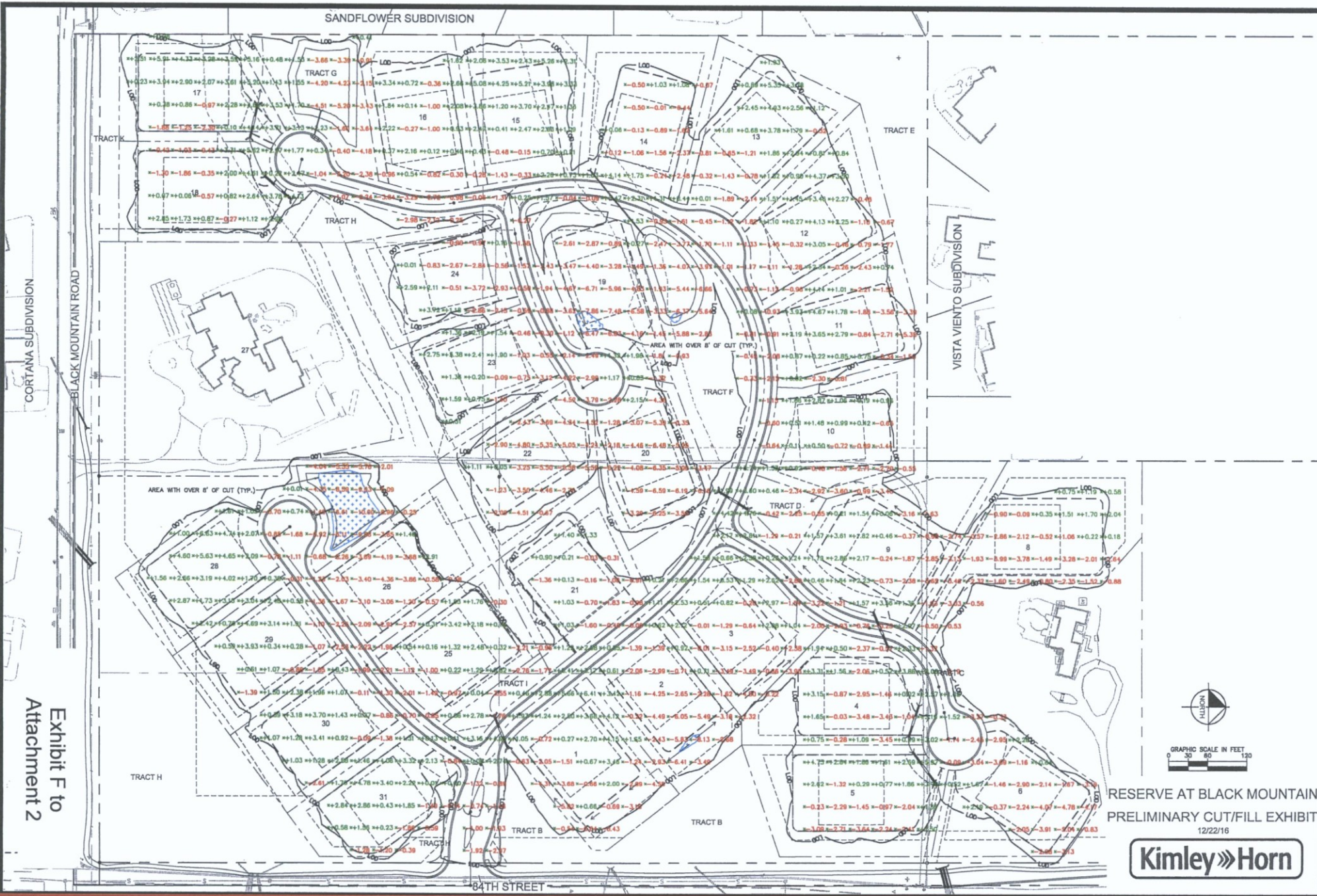
*NOTE: LIMITS OF PLANTING AREAS AS DEPICTED ON THIS EXHIBIT ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE

*PLANTS PROPOSED IN DRAINAGE BASINS SHALL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.903 NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

THE RESERVE at BLACK MOUNTAIN
LANDSCAPE CHARACTER PLAN

NY, INC. (CA 31013201) - Road, Mountain/Cut/Fill Exhibit Cut and Fill Exhibit Cut Date: 22, 2016. 16h3h:wp

Exhibit F to Attachment 2

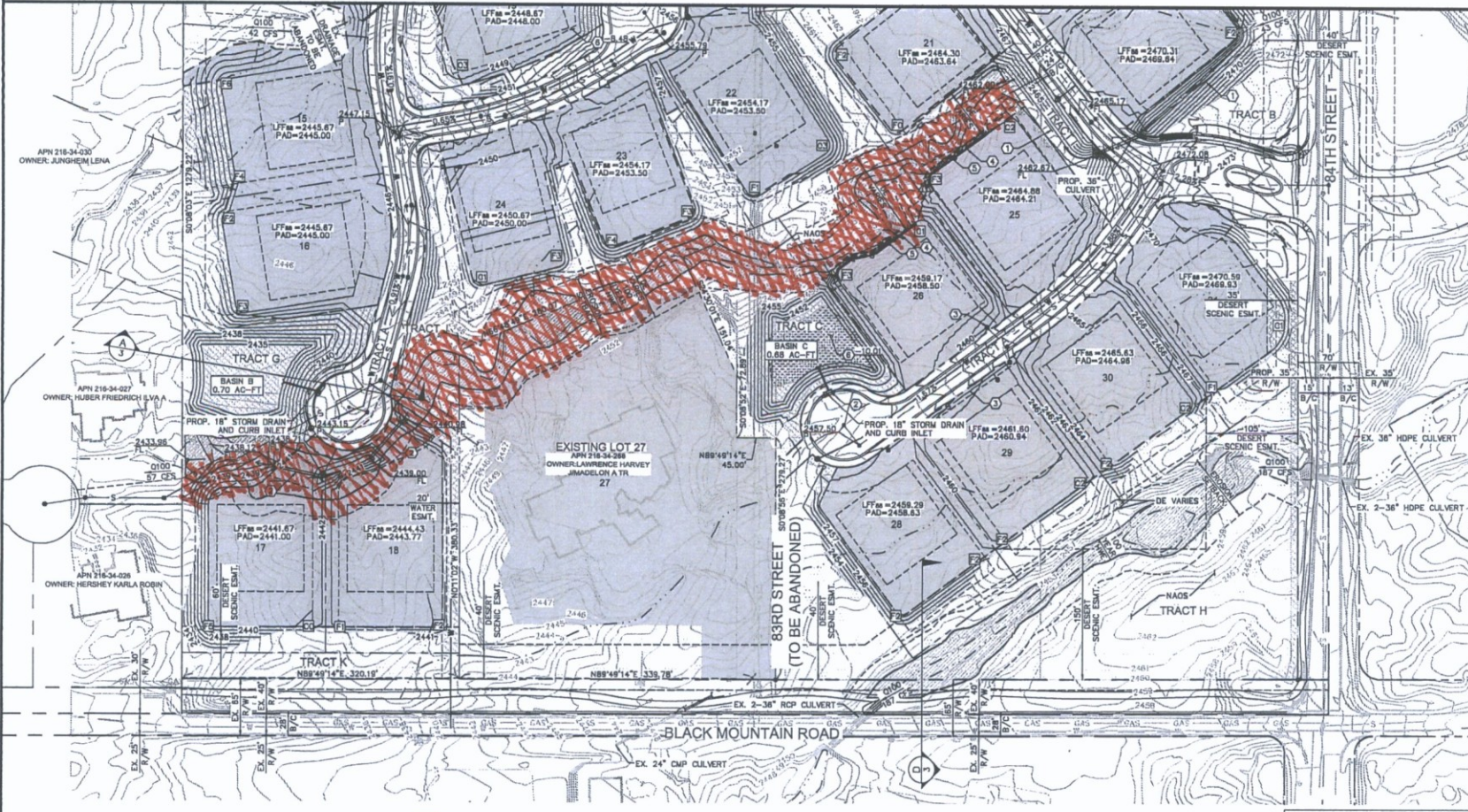


RESERVE AT BLACK MOUNTAIN PRELIMINARY CUT/FILL EXHIBIT 12/22/16



26-ZN-2016 01/10/2017

SEE SHEET 1

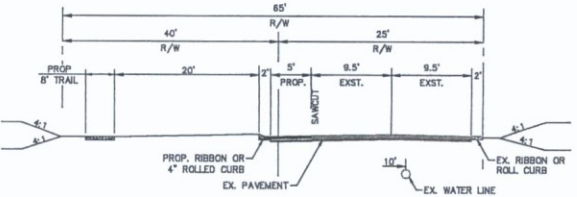
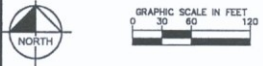


- PRELIMINARY GRADING NOTES**
- 1 PROPOSED DRAINAGE SWALE
 - 2 PROPOSED CULVERT/STORM DRAIN TO BE INSTALLED WITH SINGLE LOT
 - 3 PROPOSED PRIVATE SEWER
 - 4 PROPOSED RETAINING WALL
 - 5 PROPOSED EROSION CUT-OFF WALL TO BE CONSTRUCTED JUST OUTSIDE OF 100-YEAR HIGHWATER LINE TO DECREASE EROSION SETBACK
 - 6 AREA WITH GREATER THAN 8' OF CUT

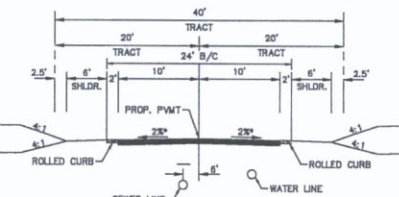
- LEGEND**
- PROPERTY/LOT LINE
 - PROPOSED EASEMENT
 - PROPOSED STORM DRAIN
 - PROPOSED SWALE
 - PROPOSED RIGHT-OF-WAY
 - PROPOSED CENTERLINE
 - BUILDING SETBACK
 - NAOS LIMITS
 - NAOS REVEGATED LIMITS
 - PROPOSED RETAINING WALL
 - PROPOSED FENCE
 - PROPOSED CUT-OFF WALL
 - EROSION HAZARD SETBACK
 - 100-YEAR INUNDATION LIMITS
 - NAOS REVEGATED EXTENTS
 - NAOS UNDISTURBED EXTENTS
 - AREA OF CUT IN EXCESS OF 8'
 - FILL HEIGHT AT PAD CORNER
 - CUT HEIGHT AT PAD CORNER
 - CONCEPTUAL PRODUCT LIMITS

NAOS, DRAINAGE, VISTA CORRIDOR, AND NO DEVELOPMENT EASEMENTS AREA

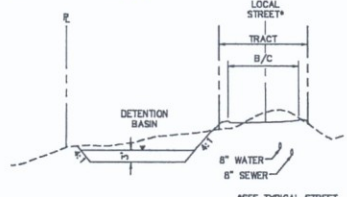
NOTE: THE PINE LANE SURFACE SHALL BE SUITABLE FOR ALL-WEATHER USE, WITH A MINIMUM LOADING DESIGN OF 83,000 LB. GROSS VEHICLE WEIGHT INCLUDING ANY BRIDGE OR CULVERT.



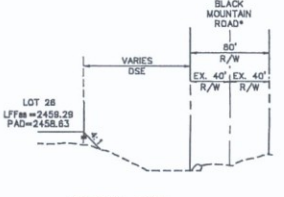
BLACK MOUNTAIN
N.T.S.
LOOKING EAST



LOCAL RESIDENTIAL STREET
N.T.S.
NOTE: STREET MAY ALSO HAVE A ONE WAY CROWN.



SECTION A - WEST BOUNDARY
V:1"=12' H:1"=60'



SECTION D - SOUTH BOUNDARY
V:1"=12' H:1"=60'

"MULTIPLE EASEMENTS PLAN"

Exhibit G to Attachment 2

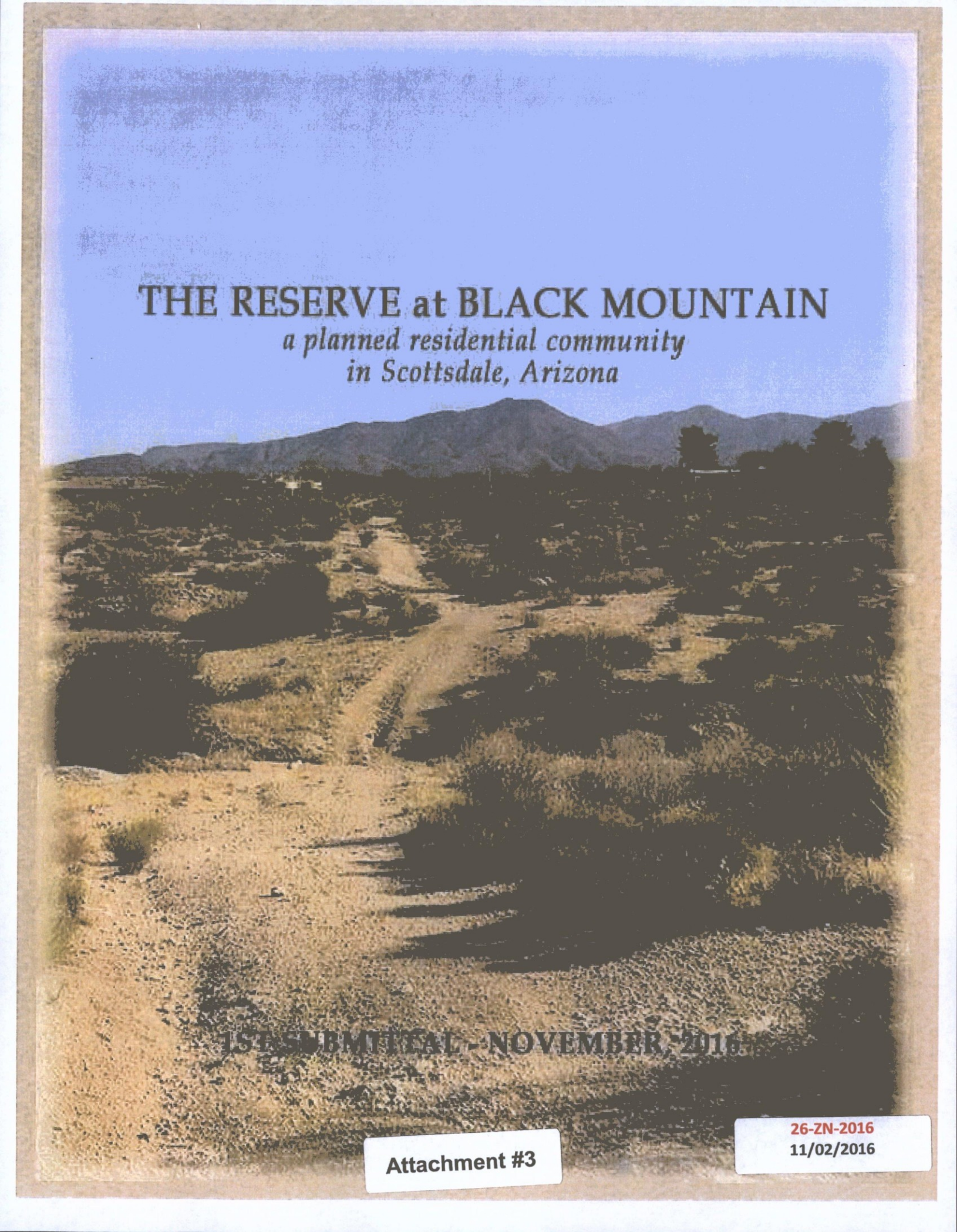
26-ZN-2016
01/10/2017

Kimley-Horn
DESIGNED BY: KAC
CHECKED BY: JAM
DATE: 1/7/2018

RESERVE AT BLACK MOUNTAIN
PRELIMINARY GRADING PLAN
SCOTTSDALE, ARIZONA

SCALE (H:1"=40', V:1"=12')
SCALE (V:1"=12')
SCALE (H:1"=40')

PROJECT NO. 251015001
DRAWING NAME 5001GD-RZ.DWG
2 of 2



THE RESERVE at BLACK MOUNTAIN
*a planned residential community
in Scottsdale, Arizona*

1ST SUBMITTAL - NOVEMBER, 2016

Attachment #3

**26-ZN-2016
11/02/2016**

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I. Purpose of Request

LVA Urban Design Studio, LLC, acting on behalf of Pinnacle Land Development, is pleased to submit this request to rezoning a 45-acre property from the existing R1-190 ESL district to R1-43 ESL on a generally vacant site located on the northwest corner of 84th Street and Black Mountain Road.

See **Exhibit 2**, *Context Aerial* for the location of the property and surrounding area.

The following specifically outlines the request for this application:

A. R1-43 ESL Rezoning

The purpose of this request is to seek a rezoning from R1-190 ESL (Single-family Residential; approximately one home per five acres) to R1-43 ESL with Amended Development Standards (Single-family Residential; approximately one home per acre) on approximately 45 gross acres. The intent of this zone change is to permit the subdivision of the property into 31 single family Homesites (including two existing homes) on the 45 acre property. The proposed R1-43 district is consistent with the land use pattern and density of adjacent communities.

II. Property Location and Relationship to Surrounding Properties

A. Site Location

The subject site is approximately 45 acres of land located at the northwest corner of 84th Avenue and Black Mountain Road, approximately 1/2-mile west of Pima Road. The site consists of seven individual properties (APN#216-34-267, 216-34-268, 206-34-269, 216-34-003N, 216-34-003T, 216-34-003M, 216-34-003R and 216-34-003S) consisting of five and ten acre properties. The property legal description and ALTA Survey are provided with this application.

The property is surrounded by existing and developing residential neighborhoods. **Table 1** below provides a summary of existing and surrounding land uses, General Plan designations and existing zoning:

Table 1: On-Site and Surrounding Uses, General Plan and Zoning Designation

	Existing Land Uses	General Plan Land Use Designation	Existing Zoning Designation
SITE (Reserve at Black Mtn)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-190 ESL
South of Site (Cortona)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
West of Site (Sand Flower)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
North of Site (Vista Viento)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL
East of Site (Sierra Highlands)	Single-family Residences	Rural Neighborhood (0-1 du/ac)	R1-43 ESL

B. Other Surrounding Land Uses within the Vicinity of the Site

Much of the property within the vicinity of the site consists of existing and planned single-family residential development, including several planned communities Sand Flower, Vista Viento Estates, Andaluza, Sierra Highlands, Sierra Boulders, and Cortana. As noted in **Table 1**, these communities are similar in density and land use to the proposed Reserve at Black Mountain community.

III. Site Analysis

A. General Plan Land Use Designation and Analysis

The property is currently designated as Rural Neighborhoods within the General Plan Land Use Map. The Rural Neighborhoods category includes areas of large lot single-family neighborhoods. This land use designation is intended for residential properties with anticipated densities of between 0 and 1 dwelling unit per acre. The proposed density of the Reserve at Black Mountain community is 0.69 dwelling units per acre.

Native desert preservation and landscaping are encouraged as well as clustering to avoid prominent environmental features, like washes and boulder outcroppings. The request to rezone from R1-190 to R1-43 will conform to the current General Plan designation. **Exhibit 8, General Plan Land Use Map** displays the site’s designation.

The goals and approaches of the General Plan have been and will continue to be implemented through the rezoning process. Below are the ways in which each goal and approach is addressed:

1. *Seek early and ongoing involvement in project/policy-making discussion.*

Two neighborhood meetings were held prior to the application submittal, where participants were encouraged to ask questions to the applicant team, as well as leave comments for the proposed community. The applicant has also engaged adjacent property owners in regular communication too address questions and concerns. These communications have resulted in refinements to the site plan.

- 2. Proactively seek community-wide representation on issues through vigorous outreach programs that engage citizens who are not typically involved.*

Letters of notification describing the proposal and including a copy of the site plan have been provided to HOAs and land owners within a 750' radius on two separate occasions. Also two sign postings were done to alert residents in the area of the proposal and neighborhood meeting.

- 3. Publish and process city issues in a manner that is relevant to citizens' daily lives and personal and professional interests.*

The applicant used the opportunity provided through the neighborhood meetings as a forum to address questions and describe the proposal/process for rezoning the property. These issues were articulated both verbally and through a comprehensive graphics package that includes aerial photography, copies of the General Plan and Zoning maps, as well as a rendered conceptual site plan.

- 4. Accept and respond to new ways of communicating and new technologies*

Participants in the public meeting were able to communicate their thoughts in person or through a provided comment card. The applicant team also made their personal contact information available for future comments or concerns.

- 5. Make available facts and information about community issues to increase understanding and insight into the complexity of challenges that affect the community.*

In addition to the applicant's verbal and illustrative presentation about the proposed application, citizens were given the project number and are able to view the project's status online at the City of Scottsdale.

- 6. Foster community partnerships, community catalysts, and community networks as means of sharing information and responsibilities and working on collaborative solutions.*

The applicant has pledged to continue to partner with residents of the surrounding communities to maintain regular communication

throughout the rezoning process. Please refer to the Community Outreach Report for a comprehensive documentation of outreach efforts to date.

B. Character Area Plan Designation and Analysis

The proposed site does not fall within a Character Area Plan boundary. The Desert Foothill Character Area Plan is most proximate and most applicable character area plan.

1. *Preserve the natural, visual qualities of the lush upper desert by using desert-sensitive building techniques.*

The site plan has been designed to protect three prominent washes that bisect the site. Cluster development with building envelopes allow for preservation of the site's most sensitive and highest value natural areas. Much of the site's open space will be dedicated as NAOS and dedicated as protected tracts where possible.

2. *Promote connected areas of desert open spaces and trails.*

Building envelopes are situated to preserve wildlife corridors and prominent washes in the area. New pedestrian circulation elements (trails and sidewalks) along 84th Avenue and Black Mountain Road will be enhanced in association with the improvements to these alignments.

3. *Identify and celebrate the rural desert character of the Desert Foothills area.*

The natural desert is emphasized in the communities' plant and color pallet. Existing desert vegetation and neutral colors celebrate those found naturally within the Sonoran Desert. The density and rural character traits found in adjacent communities will be implemented within the Reserve community.

C. Existing Land Use

The majority of the site is vacant desert land with no uses or structures. The two existing homes within the application area will be maintained. The 2-acre homesite at the northern edge of the application area will continue to maintain access directly to 84th Street as a primary access point. The home located on Black Mountain Road will also remain and take vehicular access from a private driveway off of 83rd Street via Black Mountain Rd.

The application area and adjacent communities were a component of a larger area that was annexed into the City of Scottsdale in 1985. A majority of the surrounding area has since undergone rezoning to R1-43, with exception to the proposed 45 acres which remains R1-190. With the exception of the two existing Homesites, the subject site has never been developed.

D. Existing Zoning

Existing zoning on the property is R1-190 ESL, Single-Family Residential R1-190 in the Environmentally Sensitive Land district. **Exhibit 9, Existing & Proposed Zoning Map** shows the current zoning designation. The purpose of the R1-190 ESL is to “*promote and preserve residential development. Large lots are required to maintain a low density population. The principal land use is single-family dwelling and uses incidental or accessory thereto together with required recreational, religious and educational facilities.*”

E. Topography and Drainage

The site generally slopes from the northeast to the southwest. Stormwater flows exiting the upstream developments of Andaluza and Sierra Highlands enter the site in 3 separate wash corridors that extend through the site. The two northern washes are identified as minor washes and will generally be left in a natural state where feasible. The southernmost wash is classified as a significant wash with a flow in excess of 50 cfs and will be preserved in the natural condition and current alignment. Retention will be provided largely within drainage easements in common areas, and are typically located adjacent to the internal roadway network where feasible for ease of maintenance. All proposed pads will drain to the local street network or directly to an adjacent drainage way as depicted in the case drainage report. Because this site is located within the Environmentally Sensitive Lands Overlay, a “Pre Versus Post” drainage analysis will be conducted per the City of Scottsdale Drainage Ordinance to show that all post-development stormwater flows exiting the site will be at or below the pre-development magnitudes for both the 10-year and 100-year design storms. All drainage analysis will also meet requirements outlined in the City of Scottsdale Design Standards and Policy Manual (DSPM).

F. Natural Area Open Space (NAOS) & Native Vegetation

The proposed community intends to meet and exceed the Natural Open Space requirements as outlined under the Upper Desert Landform in the Environmentally Sensitive Land Ordinance (ELSO). NAOS may be provided between development envelopes where areas exceed 30 feet, as well as larger concentrated areas found in retention basins and perimeter buffers.

A required slope analysis determined a minimum of 14.89 acres of NAOS would need to be dedicated on the site. The applicant has provided a total of 16.38 acres; 11.47 acres (70%) of undisturbed NAOS and 4.91 acres (30%) of revegetated. With this site plan the applicant intends to provide 1.49 acres (10%) in excess of natural area open space.

Native plants are considered to be a significant environmental and theming feature of the Reserve at Black Mountain community. Areas identified as NAOS will be preserved and enhanced with the development of this site, as well as efforts to salvage and relocate native plant material when possible. Densely vegetated areas like wash corridors and perimeter buffer areas will be preserved in their natural state.

G. Roads and Right-of-Way

The entrance for the project will be located on 84th Street, directly across from the entry to Sierra Highlands Subdivision. The community will be gated with an entrance that meets or exceeds City of Scottsdale standards for emergency access. All onsite roadways will be located within private tracts owned and maintained by the HOA. The internal streets will meet the Local Rural/ESL street section as depicted in the City's DS&PM. 84th Street has been previously constructed to the ultimate street section and will not require improvements or widening, although sidewalk and landscape improvements will be constructed. Required right-of-way for the half street improvements has been dedicated.

Black Mountain Road will require a small amount of half street improvements along the project frontage. These improvements will require the widening of the pavement by approximately 4 feet, and an addition of curb and gutter and natural surface trail. **Exhibit 6, *Pedestrian & Vehicular Circulation Plan*** displays this improvement information. Required right-of-way for the half street improvements has been dedicated.

All right of way that had previously dedicated internal to the subject property will be abandoned subject to a formal application process.

H. Utilities

Individual public water and sewer services will be provided to each lot within the development. Each onsite roadway will contain a public water and sewer main within a public utility easement over the roadway tract. A gravity service will be provided to the existing home located at 34822 N. 83rd Street (APN 216-34-268). This property is currently served by septic which will be taken off-line and abandoned with this project. Water will be looped through the development from the existing main located in Black Mountain Road to the existing main located in 84th Street. The sewer main system will connect to the existing public main located just east of the project in E. Sandflower Drive. A public sewer easement will be secured over Lot 9 of the Sandflower Subdivision (APN 216-34-027) in order to make this connection. If for any reason this easement cannot be secured, a number of other sewer outfall alternatives have been identified in the Sewer Basis of Design Report. Due to challenging terrain in the southeast corner of the site, 3 proposed lots will be sewer with grinder or ejector pumps to the nearest public gravity manhole onsite. All other sewer services on the project are designed to be gravity services.

Franchise utilities will be incorporated into this project within public utility easements over all onsite roadway tracts. The following utilities are likely to serve the development: APS Electric, Southwest Gas, Century Link, and Cox Communications. These utilities will likely be joint-trenched and transformers/terminals will be placed within PUE's adjacent to roadway tracts at lot lines in various locations, as-needed, and designed by the franchise utility companies.

IV. Description and Justification of Request

A. R1-43 ESL Zoning Designation and Analysis

The proposed conceptual site plan includes 45 acres for a planned community that utilizes the Amended Development Standards to allow for modified development standards to the R1-43 ESL zoning designation to better accommodate preservation of natural environmental features. The plan includes 29 new Homesites (plus 2 existing), private gated access off of 84th Street aligned with Sierra Highland's entry, and 16.38 acres of natural open. See **Exhibit 4**, *NAOS Plan* for NAOS dedications.

The design intent is to create an environmentally sensitive community that is consistent with the density and character of surrounding planned communities. Enhanced buffers along the western and norther sides of the community were incorporated to better suit the adjacent communities. Lot orientation and a sensitive grading approach have played a role in preserving existing view corridors and minimizing drainage impacts to neighboring developments. **Exhibit 3**, *Conceptual Subdivision Plan* depicts the proposed community.

V. Design Review

A. Architectural Character

At this time the no product has been chosen for the proposed community. The applicant intends to work with a builder to incorporate homes that integrate elements of surrounding neighborhoods and characteristics that compliment the natural desert.

B. Environmental Response

The proposed site plan recognizes the prominent natural features on the site and has strategically placed building pads to accommodate prominent washes, concentrated vegetation, and wildlife habitats. Open space easements have been identified throughout the community in order to preserve natural open space and maintain undisturbed desert lands. **Exhibit 7**, *Environmental Features Map* identifies prominent natural feature.

C. Design Principles & Site Development Character

Road alignments that respond the natural topography of the site, clustering of homes, and sensitive building practices are all elements that have been incorporated into the design of the Reserve at Black Mountain community. Heat tolerant materials like stucco and tile will be the preferred building resources, while native drought tolerant plants will be utilized for landscaping of the community. Mature plant materials will provide relief from the Arizona climate for active residents. Neutral desert colors and low lighting will seamlessly integrate this community into the Sonoran Desert. **Exhibit 5**, *Conceptual Landscape Character Zones* show the site's landscape character.

D. Landscape Character

The Reserve at Black Mountain will utilize three landscape character zones and a variety of different walls and fencing to theme the 45 acre planned community.

Zone A – Natural Vegetation will depict undisturbed portions of the property which will remain in its current natural state. Areas include but are not limited to wash corridors and NAOS tracts. Zone B – Enhanced Planting are concentrated in portions of the site that establish character and theming within the community. These areas can include salvaged plant material from onsite or nursery grown landscaping and are maintained by the community's HOA. Zone C – Native Planting are primary revegetated areas to visually mitigate the disturbance caused by construction. Plant selection and density will be designed to appear similar to the natural surrounding vegetation. Salvaged plant material from on site may also be used in this zone. Zone D – Maintained Landscaping are privately owned and maintained landscape areas that usually consist of areas adjacent to building envelopes. **Exhibit 5, Conceptual Landscape Character Zones** identifies these areas in relation to the site plan.

One of the main grading design goals for this project is to minimize retaining wall and exposed wall heights. In areas where retaining walls are needed (as shown in the case grading and drainage plan) they will meet the amended zoning ordinance, requirements outlined in the Environmentally Sensitive Lands Ordinance, and the City of Scottsdale DS&PM. All retaining wall heights will be limited to 6' of retained height from finished grade to finished grade. All retained differentials greater than 6' will require a tiered wall with horizontal spacing of 6'. For retaining walls with mounted screen wall, overall wall height will be limited to 12'. No single wall will expose more than 8' in height of solid block. In addition, all screen wall will be limited to a height of 8' as measured from the high side of the pad. All headwalls or singular retaining wall that are adjacent to public walkways with greater than 30" of exposed drop will have handrails that match theming for the development.

EXHIBIT 1:

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THE RESERVE at BLACK MOUNTAIN DIMENSION PLAN

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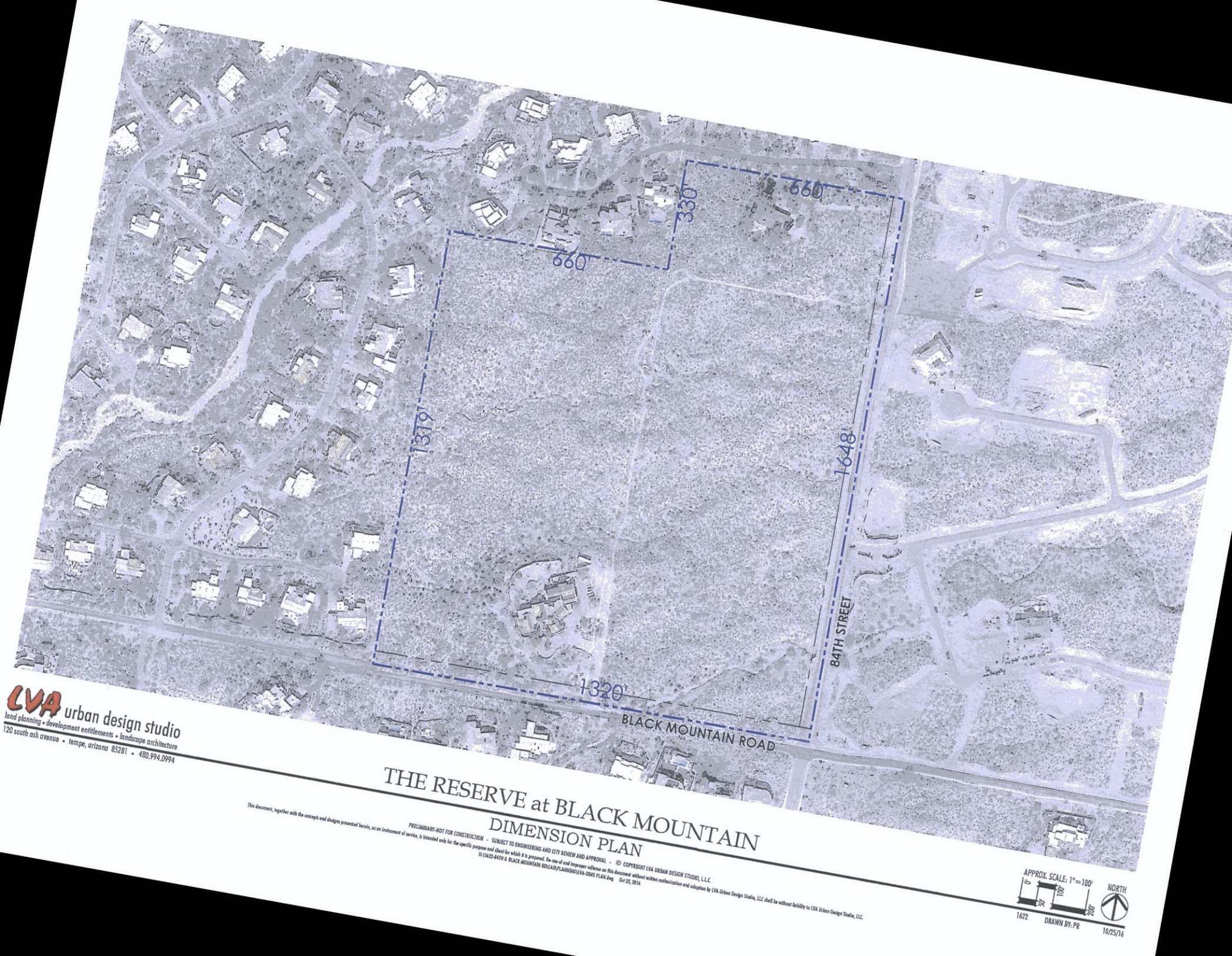
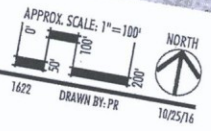


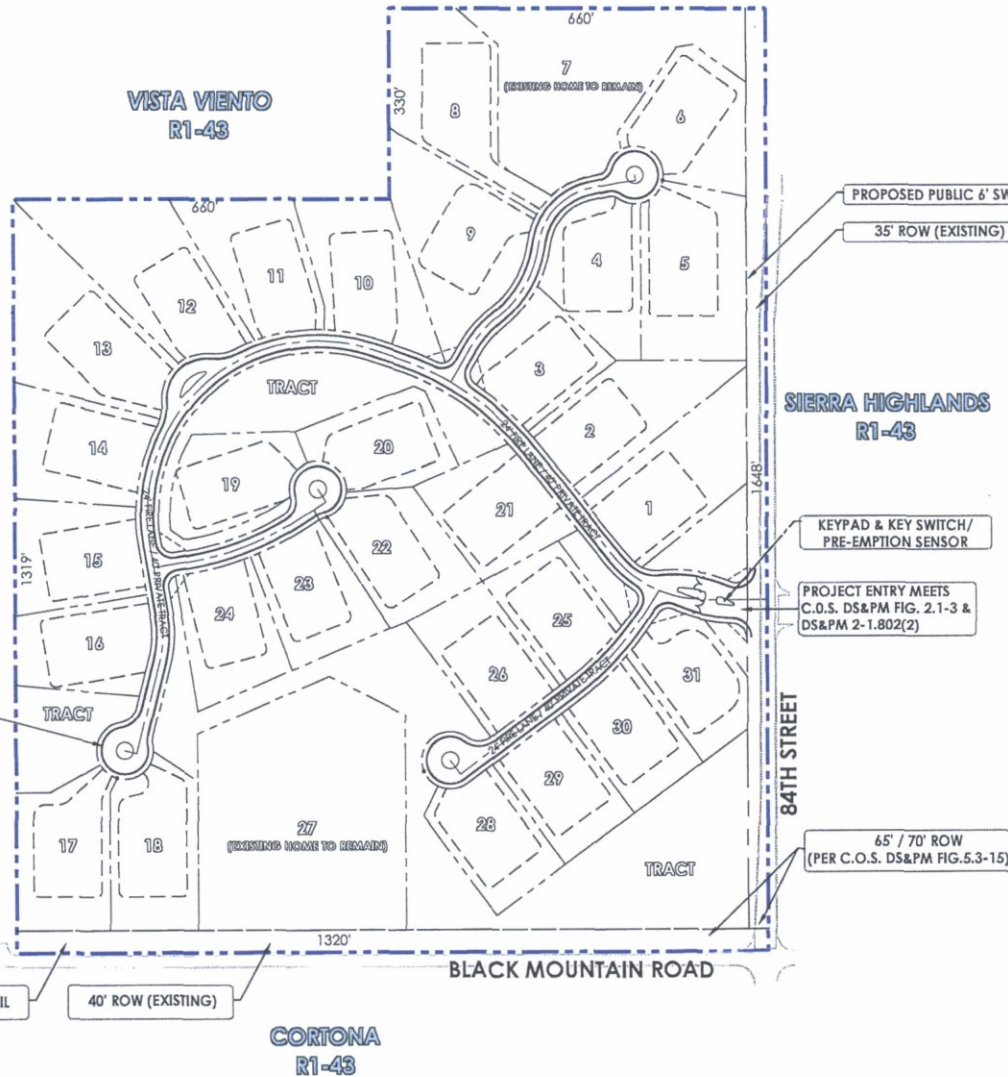
EXHIBIT 2:



THE RESERVE at BLACK MOUNTAIN

CONTEXT AERIAL WITH SITE PLAN

EXHIBIT 3:



LEGEND

--- GROSS BOUNDARY --- LOT LINES --- DEVELOPMENT ENVELOPES

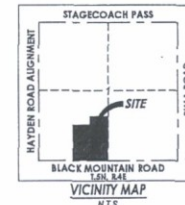
SITE INFORMATION

LOCATION: NWC 84TH ST. & BLACK MOUNTAIN RD.
 SITE AREA (GROSS): 45.0 AC (1,957,785 SQ. FT.)
 SITE AREA (NET): 42.4 AC (1,852,093 SQ. FT.)
 EXISTING G.P. LAND USE: RURAL NEIGHBORHOODS (0-1 DUA/C)
 EXISTING ZONING: R1-190 ESL
 PROPOSED ZONING: R1-43 ESL
 NUMBER OF LOTS: 31
 GROSS DENSITY: 0.69 DU/AC
 REFUSE COLLECTION: INDIVIDUAL RESIDENTIAL REFUSE CONTAINERS
 PROVIDED PARKING: 2 SPACES/UNIT TO BE PROVIDED IN GARAGE
 NAOS REQUIRED: 14.89 AC (PER SLOPE ANALYSIS)
 NAOS PROVIDED: 16.38 AC (+1.49 AC - 10% EXCESS)
 REVEG.: 4.91 AC (30%)
 UNDISTURBED: 11.47 AC (70%)

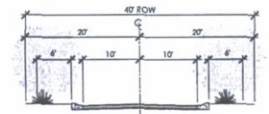
PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

MIN. LOT AREA: 32,250 SF (25% REDUCTION PER E.S.L.)
 MIN. LOT WIDTH: 113' (25% REDUCTION PER E.S.L.)
 MAX. BUILDING HEIGHT: 24' (0% REDUCTION PER E.S.L.)
 MIN. FRONT YARD SETBACK: 30' (25% REDUCTION PER E.S.L.)
 MIN. SIDE YARD SETBACK: 15' (25% REDUCTION PER E.S.L.)
 MIN. REAR YARD SETBACK: 26' (25% REDUCTION PER E.S.L.)

VICINITY MAP



CROSS-SECTION

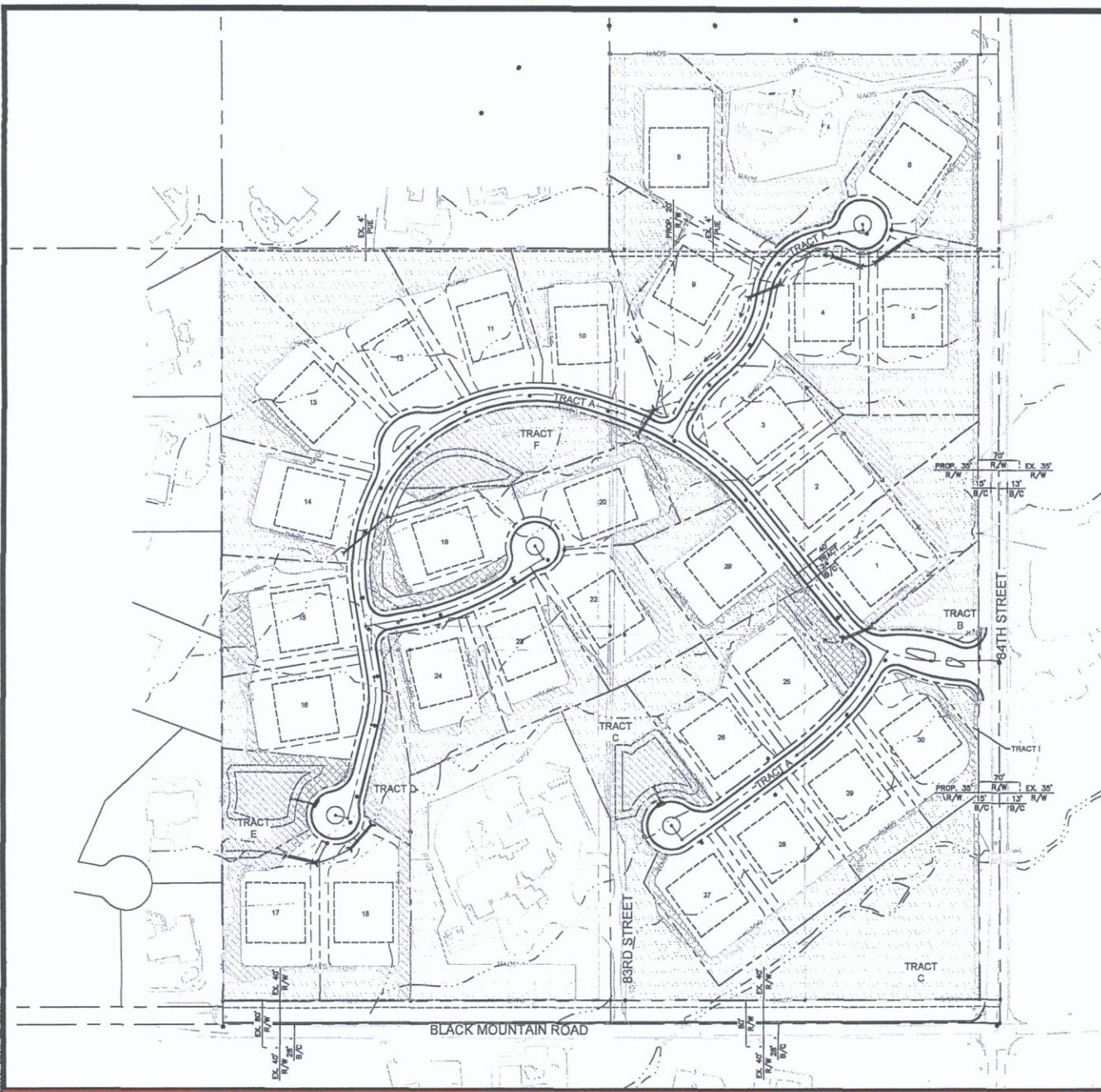


EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

- ON-SITE STREET TRACTS ARE DESIGNATED 24' FIRE LANES.
- FIRE LANE SURFACE TO SUPPORT 83,000 LB GVW
- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'-6"
- KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR ALL GATES
- GATE DETAIL CONSISTENT WITH DS&PM
- ALL PRIVATE ACCESSWAYS TO MEET MINIMUM 40.5' OUTSIDE EDGE RADIUS
- PROJECT ENTRY MEETS C.O.S. DS&PM FIG. 2.1-3 & 2.1-802(2)
- CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

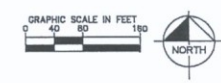
EXHIBIT 4:

K:\p\c\c\10101001 - Brook Mountain\CA07\BrookMtn\NAOS.dwg Rev 02, 2018 bja.comps



NAOS SUMMARY

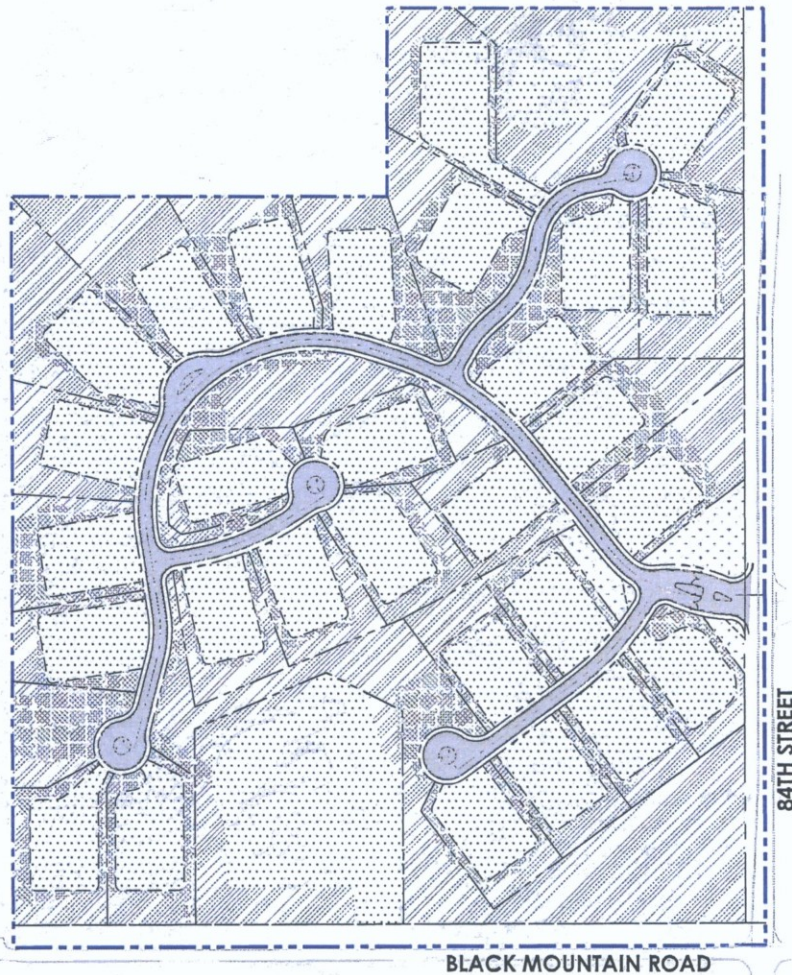
	AREA (AC)	PERCENT OF TOTAL
NAOS REVEG	4.91	30%
NAOS UNDIST	11.47	70%
TOTAL NAOS*	16.38	
REQUIRED NAOS	14.89	
EXCESS NAOS	1.49	+10%







NAOS ANALYSIS
Kimley»Horn

November 2, 2016

EXHIBIT 5:



LEGEND:

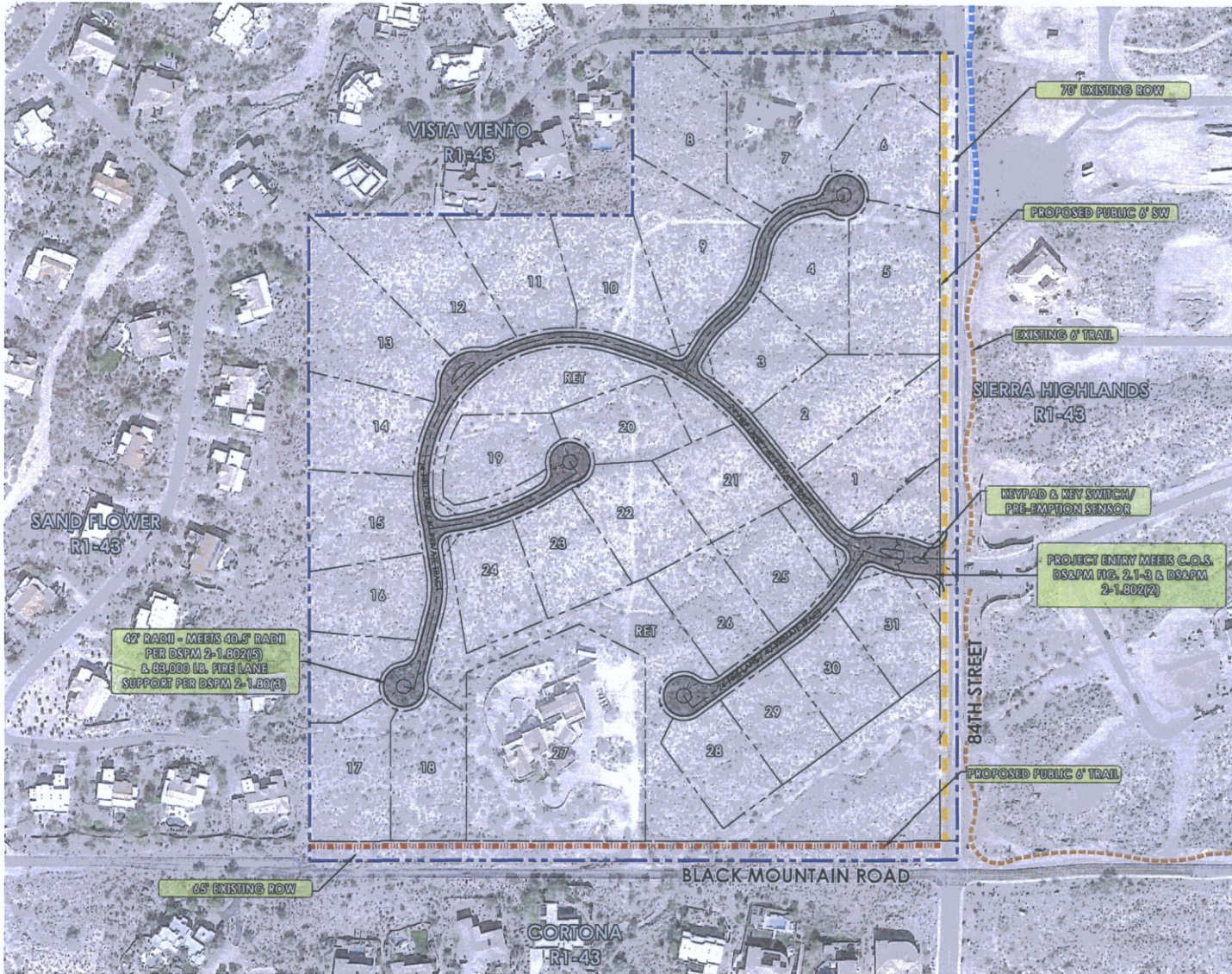
- 
ZONE A: NATURAL VEGETATION
 The identified areas depict undisturbed portions of the site which will remain in the current state.
- 
ZONE B: ENHANCED PLANTING
 The identified areas will bring character and theming to the community by including concentrated salvaged or nursery grown vegetation maintained by the HOA.
- 
ZONE C: NATIVE PLANTING
 The identified areas are primarily revegetated areas to mitigate development disturbance. Plant selection and density will match surrounding vegetation and may include salvaged materials.
- 
ZONE D: MAINTAINED LANDSCAPING
 The identified areas are privately owned and maintained. These landscaped areas are located on lot adjacent to building envelopes.

LANDSCAPE NOTES:

1. All plant material to comply with City of Scottsdale ESL plant list.
2. All disturbed areas to be top dressed with 'desert floor' decomposed granite to match color and size of adjacent inert material.
3. All berms to have maximum 4:1 side slopes.
4. Boulders are to be surface select site boulders, 1/3 buried in soil, typ.
5. 3 trees per dwelling unit shall be provided with a minimum of 234 tree per Section 10.502 of the Zoning Ordinance.

*NOTE: LIMITS OF PLANTING AREAS AS DEPICTED ON THIS EXHIBIT ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE

EXHIBIT 6:



LEGEND:

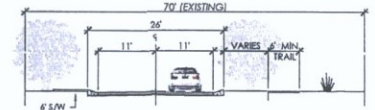
- SITE BOUNDARY
- EXISTING 5' PUBLIC SIDEWALK
- EXISTING 6' PUBLIC TRAIL
- PROPOSED 6' PUBLIC SIDEWALK
- PROPOSED 6' PUBLIC TRAIL
- RESIDENTIAL TURNING RADII (16.5'-40.5')

BLACK MOUNTAIN RD. LOCAL COLLECTOR STREET CROSS SECTION (LOOKING WEST)



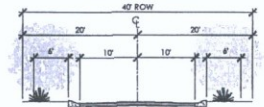
C.O.S. DS&PM FIG 5.3-15 LOCAL COLLECTORS-RURAL/ESL WITH TRAILS

84TH ST. LOCAL COLLECTOR STREET CROSS SECTION (LOOKING NORTH)



C.O.S. DS&PM FIG 5.3-15 LOCAL COLLECTORS-RURAL/ESL WITH TRAILS

INTERNAL LOCAL PRIVATE STREET CROSS SECTION



C.O.S. DS & PM FIG 5.3-19 LOCAL RESIDENTIAL - RURAL/ESL CHARACTER

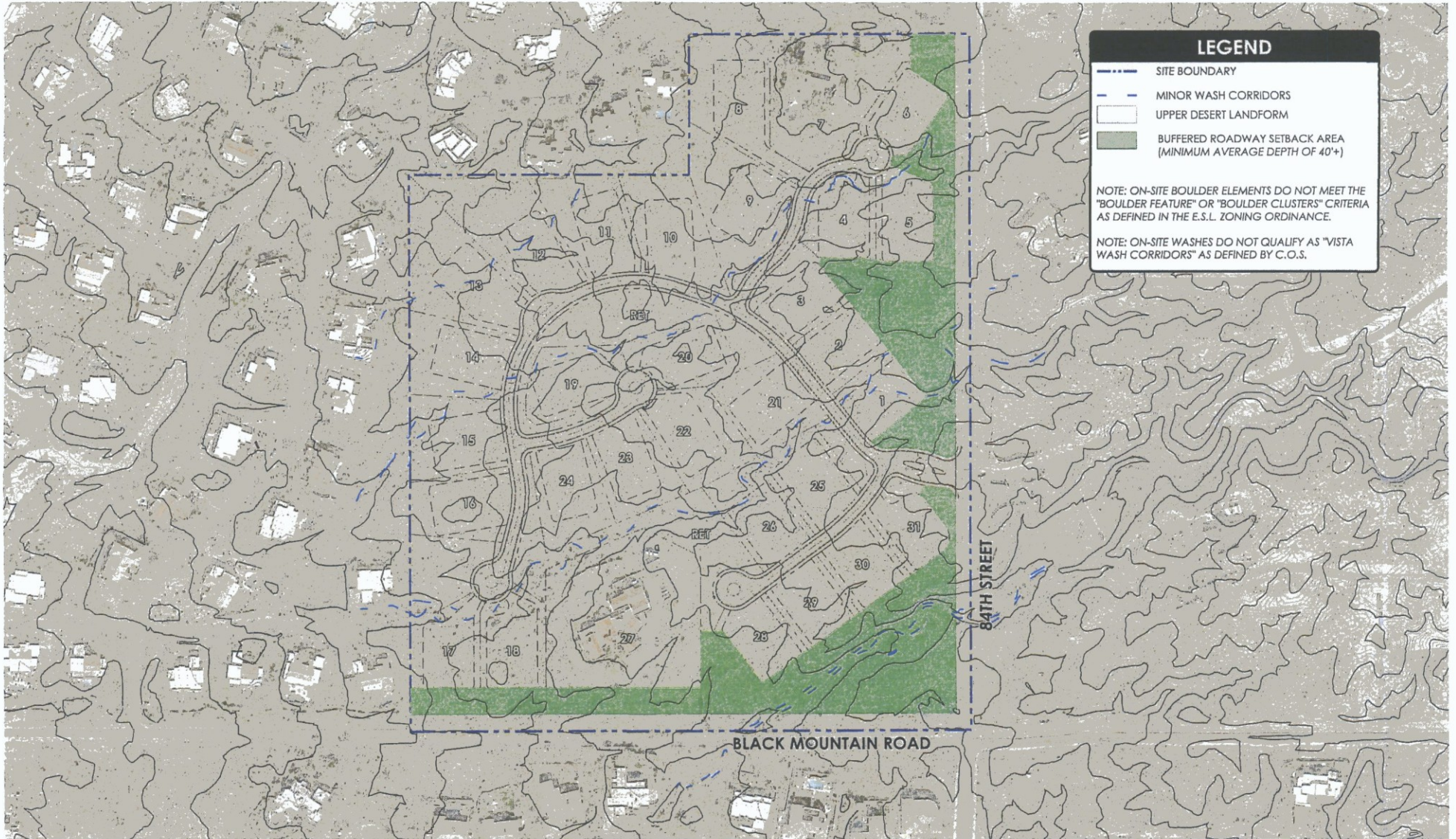
EMERGENCY VEHICLE ACCESS CONFORMANCE INFORMATION

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- GATE DETAIL CONSISTENT WITH DS&PM
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- PROJECT ENTRY MEETS C.O.S. DS&PM FIG. 2.1-3 & 2.1-802(2)
- CUL-DE-SAC MEETS C.O.S. DS&PM 2-1.802(5)

THE RESERVE at BLACK MOUNTAIN
PEDESTRIAN AND VEHICULAR CIRCULATION PLAN

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EXHIBIT 7:



THE RESERVE at BLACK MOUNTAIN

ENVIRONMENTAL FEATURES MAP

EXHIBIT 8:

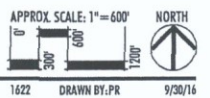
EXISTING GENERAL PLAN



LEGEND	
	RURAL NEIGHBORHOODS
	SUBURBAN NEIGHBORHOODS

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THE RESERVE at BLACK MOUNTAIN
 GENERAL PLAN MAP

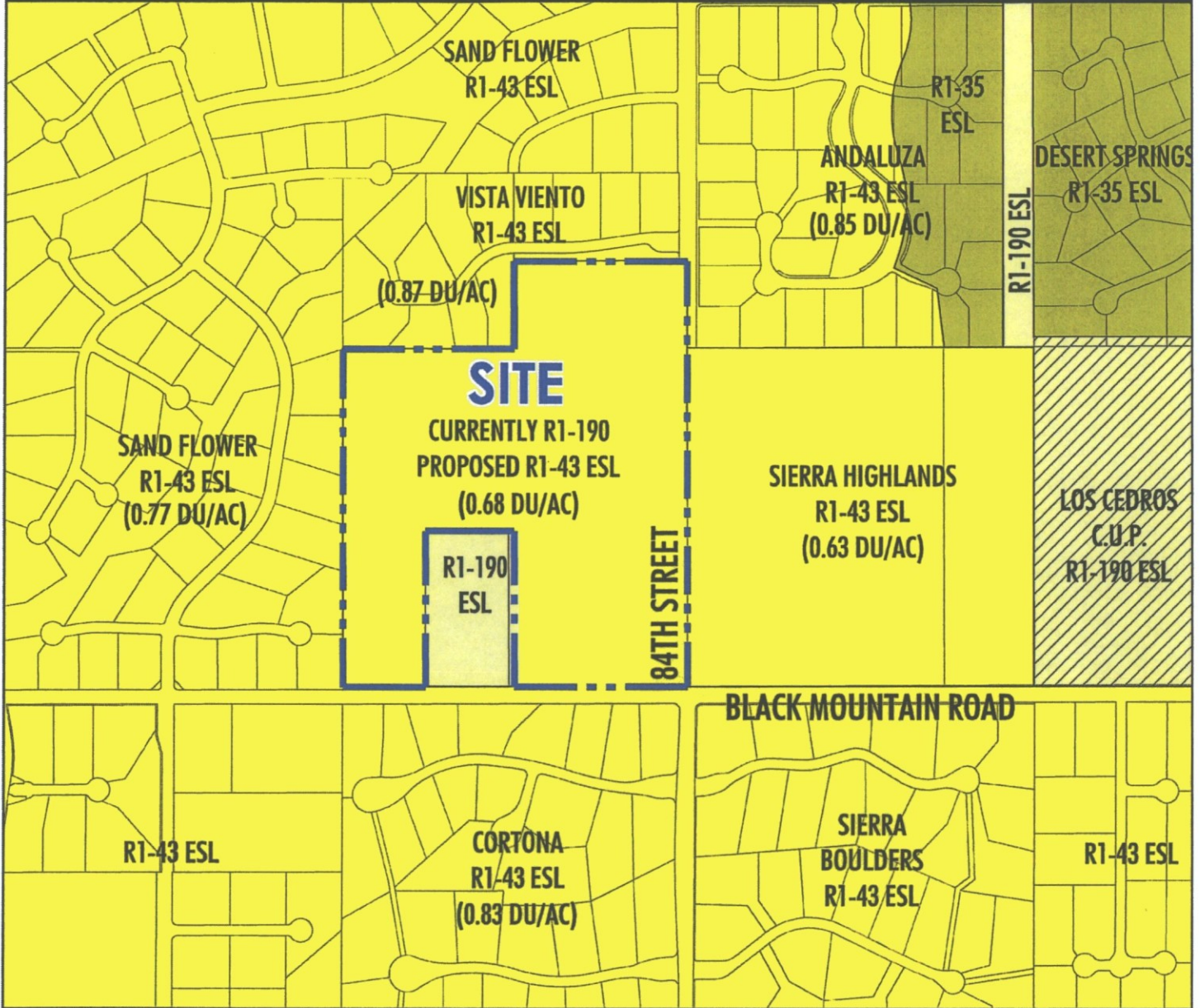


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1622 DRAWN BY: PR 9/30/16

EXHIBIT 9:

PROPOSED ZONING



LEGEND

- R1-190 ESL
- R1-43 ESL
- R1-35 ESL

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THE RESERVE at BLACK MOUNTAIN APPROX. SCALE:NTS



PROPOSED ZONING MAP

1622

DRAWN BY: PR

9/30/16

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APPENDIX 1:

PROPOSED R1-43 AMENDED DEVELOPMENT STANDARDS

Sec 5 100 - Single-family Residential (R1-43)

(Ord No 4005, § 1(Res No 8947, Exh A, § 24), 4-3-12)

Sec 5 101 - Purpose

This district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Sec 5 102 - Use regulations

- A *Permitted uses* Buildings, structures or premises shall be used and buildings and structures shall hereafter be erected, altered or enlarged only for the following uses
- 1 Accessory buildings, swimming pools, home occupations and other accessory uses. The landing and taking-off of aircraft is not a valid accessory use in residential districts and is prohibited.
 - 2 Adult care homes, subject to the following criteria
 - a Floor area ratio. Is limited to thirty-five hundredths (0.35) of the net lot area.
 - b Capacity. The maximum number of residents other than the manager or property owner at the home is ten (10).
 - c Location. An adult care home shall not be located within seven hundred fifty (750) feet of another adult care home on the same street frontage or within five hundred (500) feet in any other direction of another adult care home.
 - d Compatibility. The home and its premises shall be maintained in a clean, well-kept condition that is consistent in materials and design style with homes in the surrounding or adjacent neighborhood.
 - e Parking. All parking for the property owner and any employees shall be provided in off-street locations but in no case shall parking occupy more than three-tenths (0.3) of the required front yard.
 - 3 Charter school located on property with a net lot size of one (1) acre or more.
 - 4 Day care home.
 - 5 Day care group home.
 - 6 Dwelling units, single-family.
 - 7 Guest houses, as an accessory use subject to the following criteria
 - a No more than one (1) per lot shall be permitted.
 - b The square footage shall be no greater than one-half (½) the square footage of the principal building.
 - c The guest house shall not be rented or offered for rent independent of the main building.
 - d A guest house that is a portion of the main building shall comply with the yard requirements of the main building.
 - 8 Model homes.
 - 9 Municipal uses.

- 10 Wireless communications facilities, Types 1, 2, and 3, subject to the requirements of Sections 1 906, 3 100 and 7 200
- 11 Private tennis courts
- 12 Public, elementary and high schools
- 13 Temporary sales office buildings and buildings for uses incidental to construction work, to be removed upon completion or abandonment of construction work
- 14 Churches and places of worship, subject to Development Review Board approval and compliance with the following standards, as well as those otherwise required in the R1-43 District
 - a Lot area The minimum lot area shall be equal to that required for the district, except that no lot shall be less than twenty thousand (20,000) square feet (net)
 - b Floor area ratio In no case shall the gross floor area of the structure(s) exceed an amount equal to 0 20 multiplied by the net lot area
 - c Building height Development Review Board may allow building heights, including towers, spires, and mechanical equipment (such equipment must be screened) limited to thirty (30) feet in height, and may allow a maximum of ten (10) percent of the roof area to exceed the height limit by fifteen (15) feet Height and location are subject to the Development Review Board review and approval for compatibility with the established neighborhood character Maximum permissible heights may not be achievable in all neighborhoods (This provision supersedes Sections 7 100 through 7 102, exceptions to height restrictions, which shall not apply to churches within this district)
 - d Required open space
 - i Minimum 0 24 multiplied by the net lot area
 - ii For building heights over twenty (20) feet the minimum open space requirement plus 0 004 multiplied by the net lot area for each foot of building height over twenty (20) feet
 - iii NAOS may be included in the required open space
 - e Parking Parking shall observe the minimum front yard setbacks of the district for all frontages On streets classified in the Transportation Master Plan as major arterial or greater, parking may be located between the established front building line and the front yard setback On all other street classifications, parking shall be located behind the established front building line(s)

A minimum of fifteen (15) percent of all parking areas shall be landscaped

A ten-foot minimum landscape setback shall be provided where parking is adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A
 - f Lighting All pole mounted lighting shall be directed down and shielded and shall be a maximum of sixteen (16) feet in height

All lighting adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A , shall be set back a minimum of thirty (30) feet from the property line All lighting, other than security, shall be shut off by 10 00 p m
 - g Screening There shall be a minimum six-foot high masonry wall and/or landscape screen, as approved by the Development Review Board, on the side and rear property lines that are adjacent to residential districts shown on Table 4 100 A , or the residential portion of a

Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A

There shall be a three-foot high landscaped berm along all street frontages where parking occurs

- h Access All churches must have primary access to a street classified in the Transportation Master Plan as a minor collector or greater

Access to a local or local collector residential street is prohibited when the primary worship center, auditorium or other major gathering place exceeds three thousand (3,000) square feet

- i Operations No outdoor activities shall be permitted after 10 00 p m

- j Noise Outdoor speakers or paging systems are not allowed

B *Uses subject to conditional use permit*

- 1 Cemetery (see section 1 403 for criteria)
- 2 Community buildings and recreational facilities not publicly owned, such as Athletic fields, boys' clubs, etc
- 3 Farms
- 4 Golf course (except miniature golf course or commercial driving range)
- 5 Ham transmitting or receiving radio antennas in excess of seventy (70) feet
- 6 Wireless communications facilities, Type 4, subject to requirements of Sections 1 400, 3 100 and 7 200
- 7 Private colleges and universities having a regular curriculum, with their related services and activities
- 8 Private school having no room regularly used for housing or sleeping overnight Subject to Development Review Board approval and compliance with standards, including, but not limited to, the following as well as those otherwise required in the R1-43 District
 - a Lot area The minimum lot area shall be equal to that required for the district, except that no lot shall be less than eighty-six thousand (86,000) square feet minimum lot size
 - b Floor area ratio In no case shall the gross floor area of the structure(s) exceed an amount equal to 0 20 multiplied by the net lot area
 - c Noise Outdoor speaker systems or bells are not allowed
 - d Required open space
 - i Minimum 0 24 multiplied by the net lot area
 - ii For building heights over twenty (20) feet the minimum open space requirement plus 0 004 multiplied by net lot area for each foot of building height over twenty (20) feet
 - iii NAOS may be included in the required open space
 - e Parking Parking shall be allowed in the front yard setbacks of the district for schools on streets classified in the Transportation Master Plan as minor collector or greater There shall be a three-foot high landscaped berm or wall along the street frontage where parking occurs On all other street classifications, parking shall be located behind the established front building line(s) A minimum of fifteen (15) percent of all parking areas in addition to open space in d above shall be landscaped A twenty-foot minimum landscaped setback shall be provided where parking is adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential

Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A

- f Lighting All pole mounted lighting shall be directed down and shielded and shall be a maximum of sixteen (16) feet in height All lighting adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A , shall be setback a minimum of thirty (30) feet from the property line All lighting, other than security, shall be turned off by 10 00 p m , unless otherwise approved through a special event permit
 - g Screening There shall be a minimum six-foot high masonry wall and/or landscape screen, as approved by the Development Review Board, on the side and rear property lines adjacent to residential districts shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A
 - h Access All private schools shall have frontage on a street classified in the Transportation Master Plan as a minor collector or greater, Side street access to a local collector residential street is prohibited when the number of students allowed to attend the school is greater than two hundred fifty (250) A drop off area shall be provided that accommodates a minimum of five (5) cars at one (1) time
 - i Operations No outdoor activities shall be permitted after 8 00 p m unless otherwise approved through a special event permit Any additions to, expansions of or proposed playgrounds or outdoor activity areas shall be setback fifty (50) feet from the property line (including right-of-way width) of any single-family residential district shown on Table 4 100 A , or the single-family residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the single-family residential districts shown on Table 4 100 A or setback twenty-five (25) feet from any Two-family Residential R-2, Medium Density Residential R-3, Townhouse Residential R-4, Resort/Townhouse Residential R-4R, Multi-family Residential R-5 or Manufactured Home M-H district property line (including right-of-way width) All playgrounds and outdoor activity areas shall be screened from any residential district shown on Table 4 100 A , or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4 100 A by a minimum six-foot high screen wall and/or landscape screen, as approved by the Development Review Board
 - j Building design All buildings shall be designed to be compatible with the surrounding residential neighborhood All building elevations shall be approved by the Development Review Board
 - k Circulation plan The applicant shall submit a circulation plan to ensure minimal conflicts between the student drop-off area, potential van and bus drop-off area, parking, access driveways, pedestrian and bicycle paths on site
- 9 Public utility buildings, structures or appurtenances thereto for public service uses
- 10 Recreational uses including commercial stables, ranches and tennis clubs (see section 1 403 for specific uses and development criteria for each)

(Ord No 2394, § 1, 9-16-91, Ord No 2430, § 1, 1-21-92, Ord No 2431, § 1, 1-21-92, Ord No 2470, § 1, 6-16-92, Ord No 2636, § 1, 2-15-94, Ord No 2858, § 1, 12-5-95, Ord No 3048, 10-7-97, Ord No 3034, § 1, 11-4-97, Ord No 3103, § 1, 1-6-98, Ord No 3225, § 1, 5-4-99, Ord No 3493, § 1, 3-4-03, Ord No 3697, § 1(Exh 1), 9-26-06, Ord No 3879, § 1(Exh § 6), 3-2-10, Ord No 3899, § 1(Res No 8342, Exh A, § 4), 8-30-10, Ord No 3920, § 1(Exh §§ 24, 25), 11-9-10, Ord No 4005, § 1(Res No 8947, Exh A, §§ 25, 26), 4-3-12, Ord No 4140, §

1(Res No 9643, Exh A, § 2), 2-25-14, Ord No 4143, § 1(Res No 9678, Exh A, §§ 74, 75), 5-6-14)

Sec 5 103 - Reserved

Editor's note— Ord No 4164, § 1(Res No 9857, § 1, Exh A, § 8), adopted Aug 25, 2014, repealed § 5 103 which pertained to approvals required and derived from Ord No 3225, § 1, adopted May 4, 1999

Sec 5 104 - Property development standards

The following property development standards shall apply to all land and buildings in the R1-43 District

A *Lot area*

- 1 Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000) square feet~~ **thirty two thousand two hundred fifty (32,250) square feet**
- 2 If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section

B *Lot dimensions*

Width All lots shall have a minimum lot width of ~~one hundred fifty (150) feet~~ **one hundred thirteen (113) feet**

C *Density* There shall be not more than one (1) single-family dwelling unit on any one (1) lot

D *Building height* No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII

E *Yards*

1 *Front Yard*

- a There shall be a front yard having a depth of not less than ~~forty (40) feet~~ **thirty (30) feet**
- b Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40) feet~~ **thirty (30) feet** shall be provided on both streets
- c On a corner lot, the required front yard of ~~forty (40) feet~~ **thirty (30) feet** shall be provided on each street No accessory buildings shall be constructed in a front yard *Exception* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street

2 *Side Yard* There shall be a side yard of not less than ~~twenty (20) feet~~ **fifteen (15) feet** on each side of a building

3 *Rear Yard* There shall be a rear yard having a depth of not less than ~~thirty-five (35) feet~~ **twenty six (26) feet**

4 Other requirements and exceptions as specified in article VII

F *Distance between buildings*

- 1 There shall be not less than ten (10) feet between an accessory building and the main building
- 2 The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40) feet~~ **thirty (30) feet**

- G *Walls, fences and landscaping* Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.
- H *Access* All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.
- I *Corral* Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

(Ord No 2509, § 1, 6-1-93, Ord No 4005, § 1(Res No 8947, Exh A, §§ 27, 28), 4-3-12)

Sec 5 105 - Off-street parking

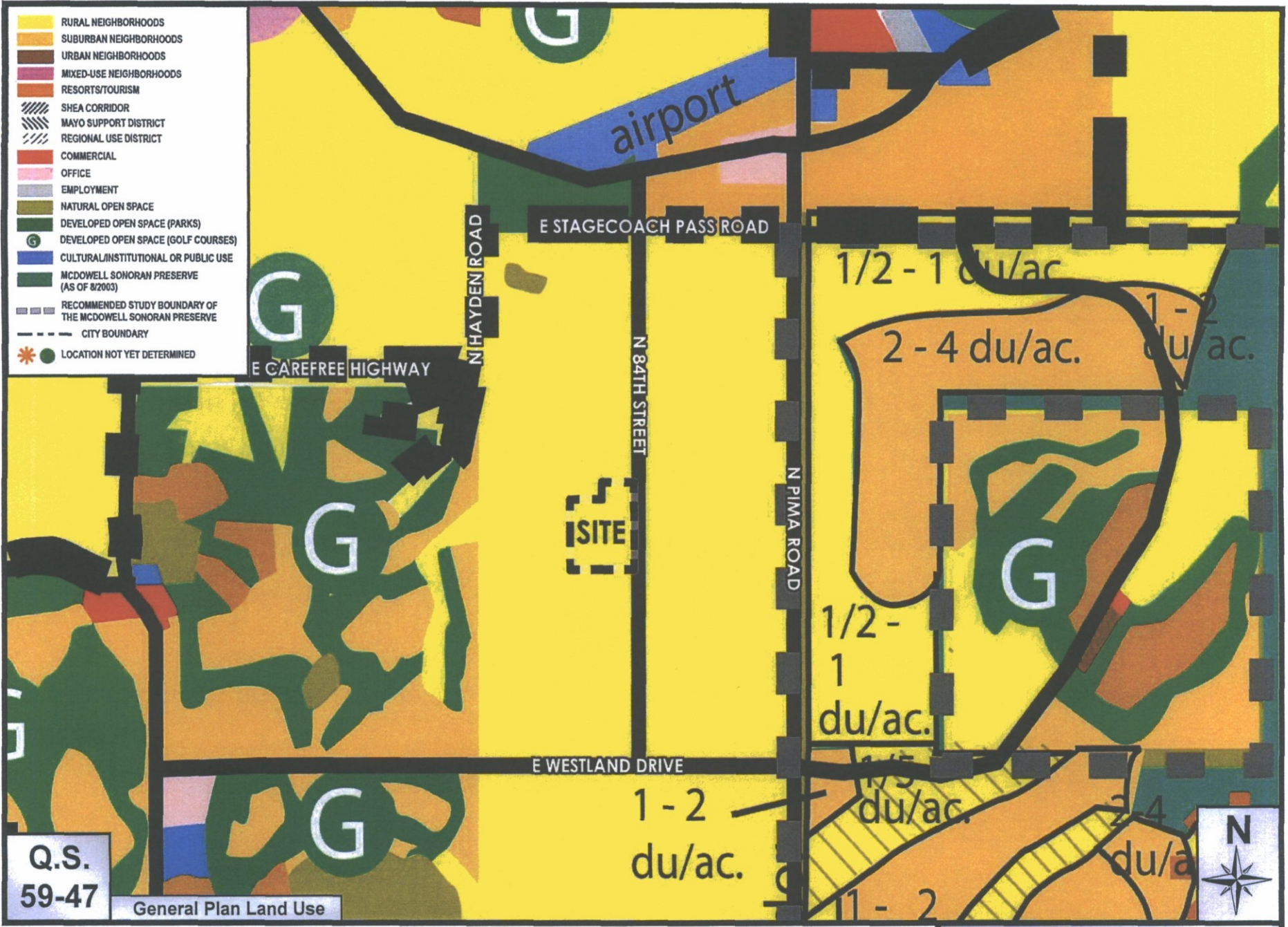
The provisions of article IX shall apply

Sec 5 106 - Signs

The provisions of article VIII shall apply

Sec 5 107

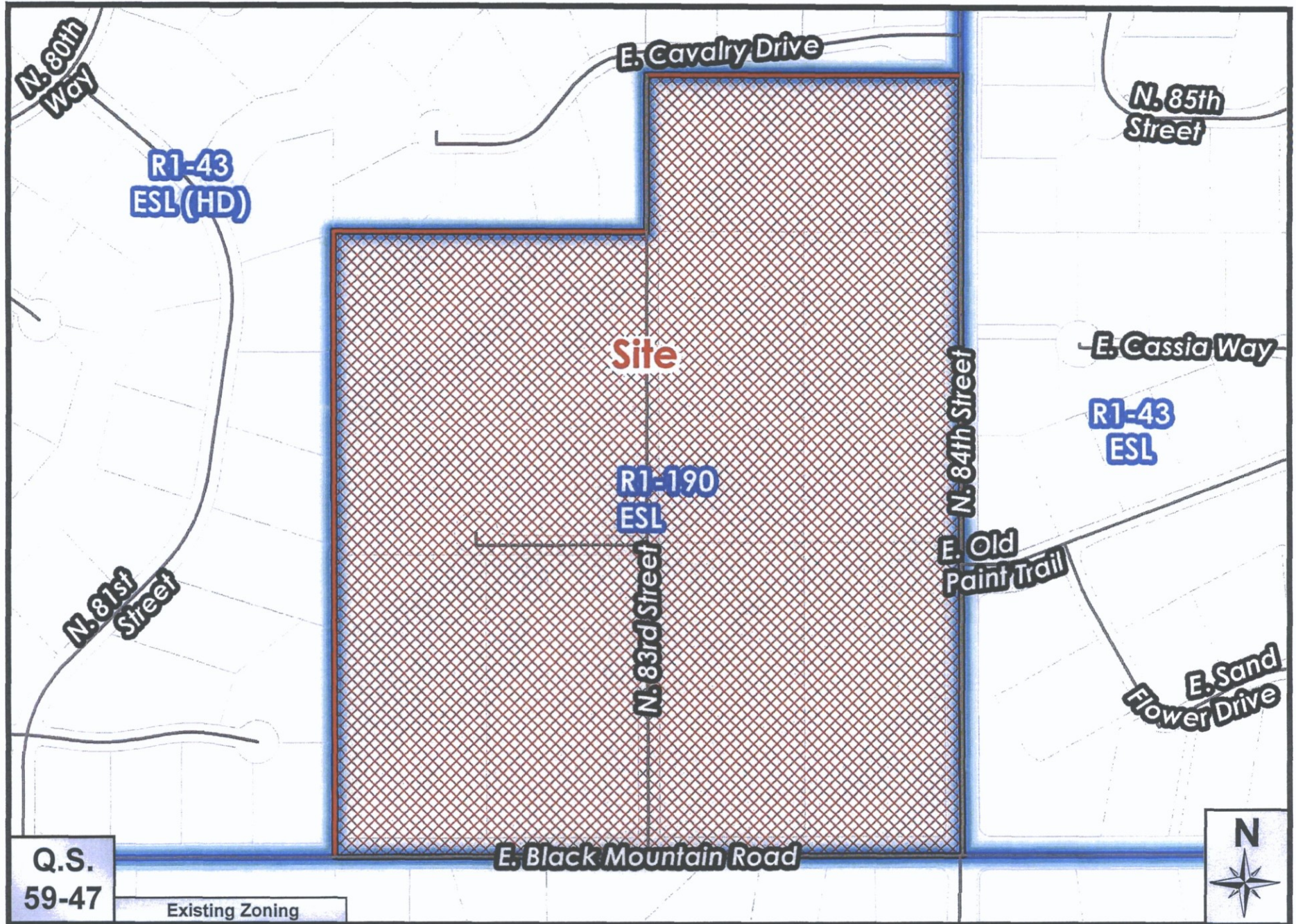
[Repealed by Ordinance No 1575]



84th Street & Black Mountain Road

ATTACHMENT #4

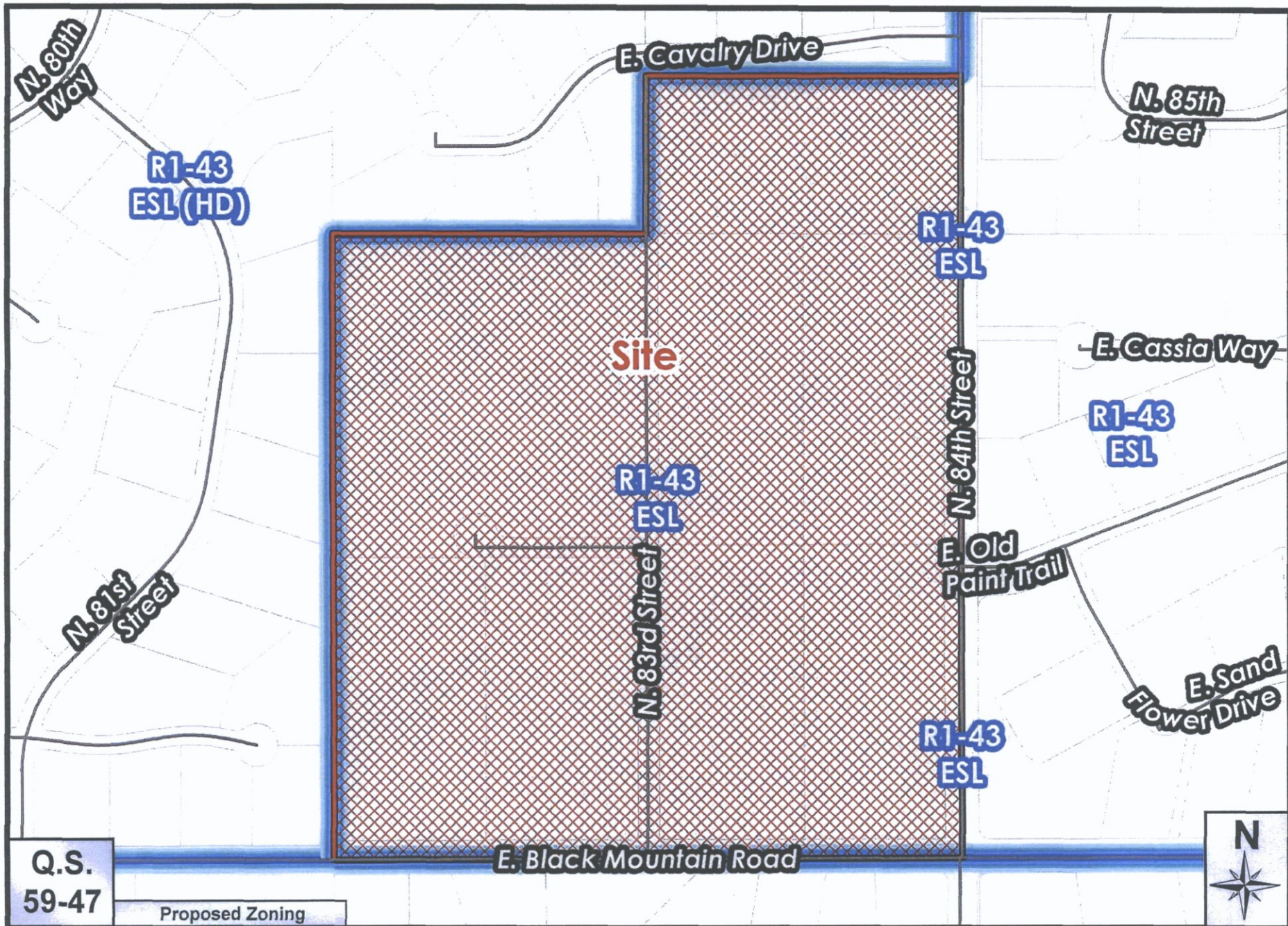
26-ZN-2016



84th Street & Black Mountain Road

ATTACHMENT #5

26-ZN-2016



Q.S.
59-47

Proposed Zoning

84th Street & Black Mountain Road

ATTACHMENT #6

26-ZN-2016

Murillo, Jesus

From: ROBERT and ANNE HILTON <RWHILTON1@msn.com>
Sent: Monday, February 27, 2017 10:07 AM
To: Murillo, Jesus
Subject: Case # 26-ZN-2016 Reserve at Balck Mountain

Follow Up Flag: Follow up
Flag Status: Flagged

Jesus Murillo
City of Scottsdale

Mr. Murillo,

We are writing to support the zoning application submitted by LVA Urban Design Studio for the Reserve at Black Mountain (case # 26-ZN-2016). LVA has made an excellent effort to collaborate with the homeowners in the Vista Viento subdivision which is adjacent to the proposed Black Mountain Reserve.

In addition to scheduled community meetings, LVA has met specifically with Vista Viento homeowners to understand our concerns. As one of the proposed homes will back to our only association street, they have agreed to incorporate additional vegetation along Cavalry Drive and along the east lot line between their development and our property at 8285 East Cavalry Drive. In addition, they are committed to open space setbacks so as to impact our views and noise levels to the greatest extent possible.

We very much appreciate the cooperation of Alex Stedman and his team. Although we hate to see the desert disappear to ever more houses, we feel that we can support this development.

Thank you.

Sincerely,

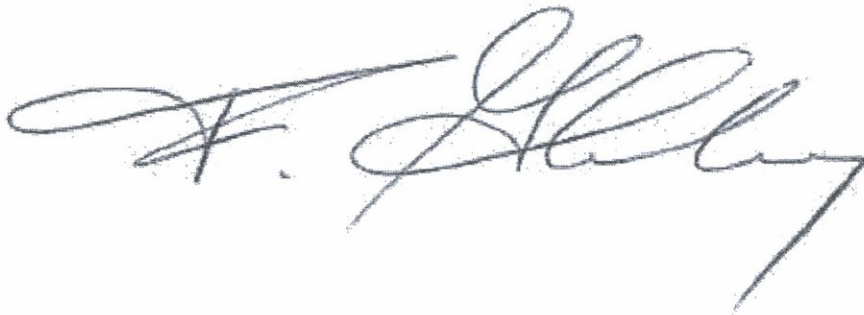
Robert and Anne Hilton
8285 E. Cavalry Dr.
Scottsdale, AZ 85266

February 27, 2017

Dear Mr. Murillo,

Please accept this email in support of The Reserve at Black Mountain Rezoning case# 26-ZN-2016. Our residence is located at 8174 E. Sand Flower Drive which directly abuts the proposed community to the west.

We believe that the Applicant has done a good job listening and responding to the nearby neighbors and we appreciate the proposed zoning district's compatibility with the existing R1-43 communities in the area.

A handwritten signature in black ink, appearing to read "F. Huber", written in a cursive style.

Friedrich and Ilva Huber
8174 E. Sand Flower Drive
Scottsdale, AZ 85266



December 27, 2016

Randy Clarno
Pinnacle Land Development
7440 E. Pinnacle Peak Road, Suite 142
Scottsdale, Arizona 85255

RE: Proposed 29-lot, single-family residential development to be known as The Reserve at Black Mountain located at the northwest corner of 84th Street and Black Mountain Road, Scottsdale, Arizona

Dear Mr. Clarno:

At your request, I have reviewed the Conceptual Site Plan for the proposed 29-lot residential subdivision to be known as The Reserve at Black Mountain (hereinafter referred to as the "subject property") located at the northwest corner of 84th Street and Black Mountain Road in Scottsdale. Since the proposed project will require rezoning the ± 39.1 gross acre site from R1-190 (190,000 square foot minimum lot size) to R1-43 (43,000 square foot minimum lot size), I have focused my attention on an analysis of surrounding properties in order to form an opinion of the compatibility of the subject property with adjacent uses.

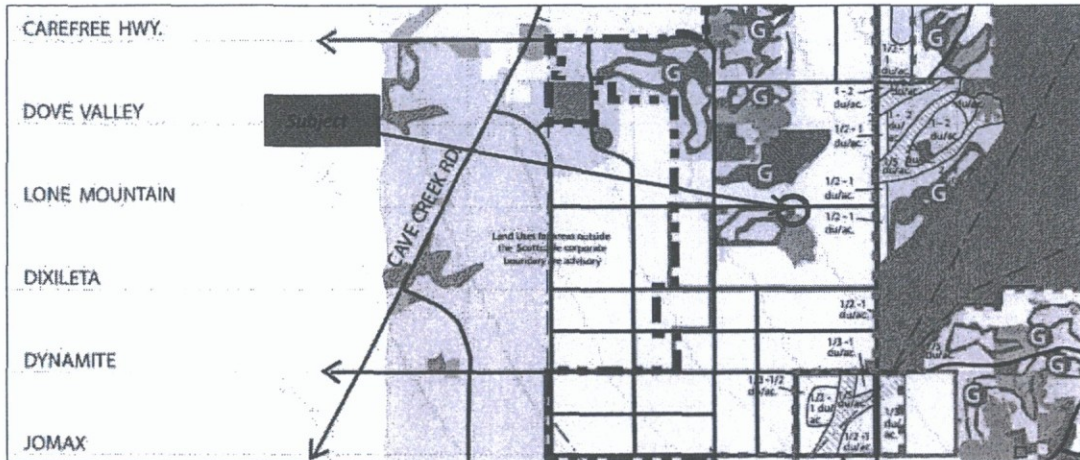
Zoning

The subject property is currently zoned R1-190 ESL. This district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities. Each lot shall have a minimum lot area of one hundred ninety thousand (190,000) square feet or 4.36 acres.

Based on the provided Conceptual Site Plan for The Reserve at Black Mountain, the subject property is intended to be re-zoned R1-43. Similar to the R1-190 District, this district is intended to promote and preserve residential development and the principal land use is single-family with a minimum lot area of forty-three thousand (43,000) square feet.

The subject property is also located within an area designated as an ESL District. The purpose of the ESL District is to identify and protect environmentally sensitive lands in the city and to promote the public health, safety and welfare by providing appropriate and reasonable controls for the development of such lands.

According to the Scottsdale General Plan 2001 and as shown in the following exhibit, the intended land use in the subject property's immediate area is single-family residential with a density of 1/2 to 1 unit per acre. Therefore, re-zoning the subject property from R1-190 to R1-43 is compatible with the General Plan and would not require a Plan Amendment. This information was confirmed by the city of Scottsdale Planning Department.



Competitive Subdivisions

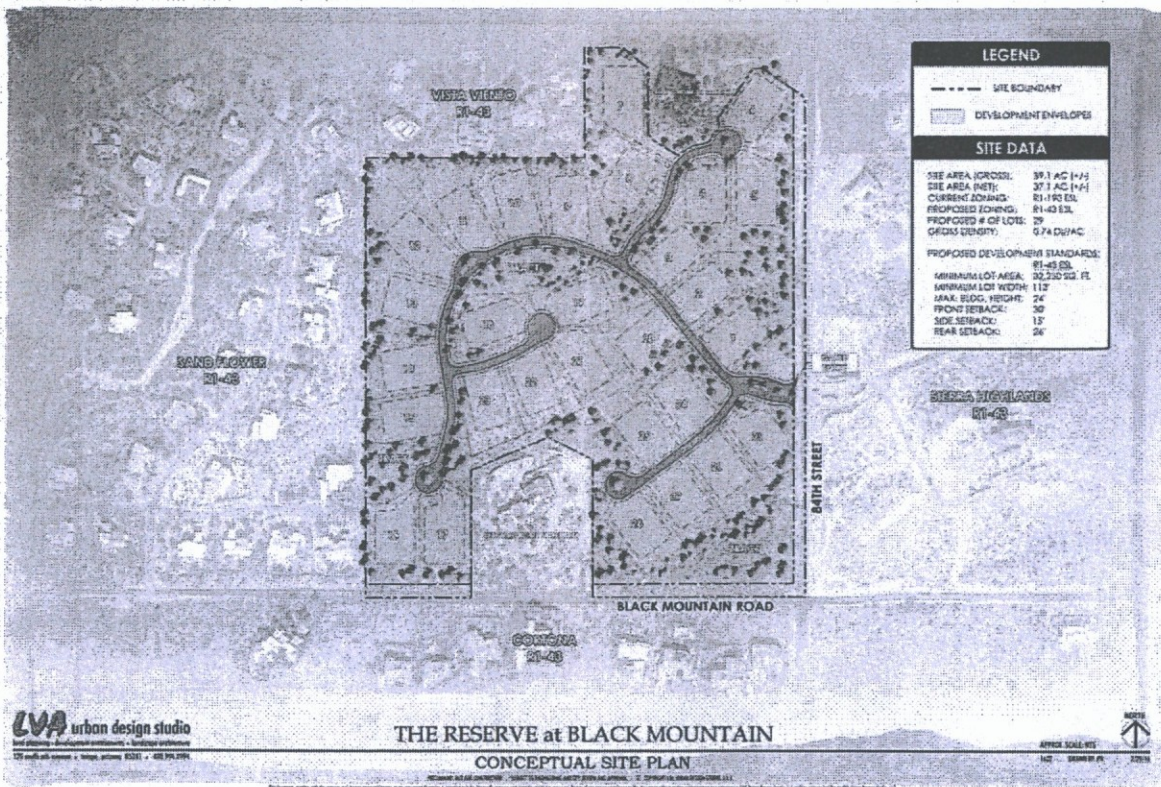
The subject property is bordered by four subdivisions including Sand Flower to the west, Vista Vento to the north, Sierra Highlands to the east and Cortona to the south. These subdivisions are each zoned R1-43 and a search of the Multiple Listing Service revealed the following single-family home sales in each subdivision from January 2015 through December 2016. Notably, there were no sales reported for Vista Vento.

SUBDIVISION	ADDRESS	YEAR BUILT	DATE OF SALE	LOT SIZE	SALE PRICE	SIZE (SF)	SP/SF
Sierra Highlands	8486 East Cassia Way	2016	12/19/16	32,277	\$1,325,000	4,876	\$271.74
	8484 East Sand Flower Drive	2016	12/15/16	37,581	\$1,580,000	5,070	\$311.64
	8458 East Cassia Way	2016	9/29/16	35,771	\$1,039,512	4,005	\$259.55
	8402 East Cassia Way	2016	6/28/16	40,996	\$1,377,309	5,070	\$271.66
	AVERAGE				36,656	\$1,330,455	4,755
Sand Flower	8322 East Arroyo Seco Road	2002	8/4/16	24,985	\$770,000	4,268	\$180.41
	8157 East Arroyo Seco Road	2000	7/18/16	31,052	\$650,000	3,171	\$204.98
	35038 North 80th Place	2002	7/7/16	59,833	\$1,160,000	5,237	\$221.50
	35067 North 81st Street	1999	4/29/16	29,115	\$745,000	3,760	\$198.14
	8111 East Villa Cassandra Drive	1999	2/9/16	29,341	\$800,000	3,760	\$212.77
	35268 North 80th Way	2000	9/25/15	25,452	\$837,500	4,180	\$200.36
	34943 North 80th Way	1999	8/13/15	36,387	\$600,000	3,171	\$189.21
	8143 East Arroyo Seco Road	1999	7/31/15	42,567	\$885,000	4,180	\$211.72
	8193 East Sand Flower Drive	1999	7/27/15	34,498	\$699,900	3,760	\$186.14
	8092 East Villa Cassandra Drive	1999	4/30/15	29,491	\$719,000	3,171	\$226.74
	35502 North 82nd Way	2002	4/22/15	94,719	\$850,000	4,268	\$199.16
	8230 East Arroyo Seco Road	2000	2/27/15	33,403	\$600,000	3,171	\$189.21
	8126 East Arroyo Seco Road	2000	1/29/15	27,150	\$770,000	3,375	\$228.15
AVERAGE				38,307	\$775,877	3,806	\$203.73
Cortona	8385 East Tumbleweed Drive	2004	8/4/16	33,132	\$710,950	5,243	\$135.60
	AVERAGE			33,132	\$710,950	5,243	\$135.60

As shown, Sierra Highlands had the highest sale price per square foot and is the newest subdivision. The homes in Sand Flower and Cortona were built from 1999 to 2004. Although only one sale occurred in the past 24 months, the home at Cortona featured a relatively smaller lot, the lowest sale price and the lowest price per square foot. This subdivision was developed by Monterey Homes, a production homebuilder.

Impact of Proposed Development

The Reserve at Black Mountain is planned to be a gated community, with natural area open space separating the homes from the adjoining streets and developments; color-blended walls are likely to be built around the immediate patio and outdoor areas around each home. Given the relatively small size of the subdivision, the enhanced traffic created by the project along either Black Mountain Road or 84th Street is regarded as a non-issue. Thus, the proposed project does not appear to be a nuisance in any respect, nor is it expected to be "out of character" with existing homes and subdivisions in the neighborhood.



The proposed housing product to be developed at The Reserve at Black Mountain (assuming rezoning to R1-43) is anticipated to be similar in size to those in adjacent subdivisions, ranging from about 4,000 to 6,000 square feet. According to the subdivision developer, these homes are also anticipated to have a minimum price starting in the low \$1,000,000's. This equates to a unit price starting at about \$250 per square foot, which compares favorably with Sierra Highlands and is much higher than Cortona and Sand Flower.

As is typical in the real estate market, when a new housing project is developed in a neighborhood at higher pricing levels than what presently exists, home pricing in existing communities generally increases. Thus, development of the subject property with homes situated on one-acre sites and priced beginning in the low \$1,000,000's may similarly have a positive impact on real estate values for surrounding developments.

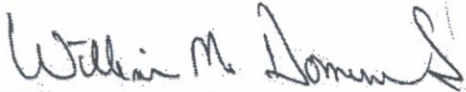
Furthermore, rezoning and development of the subject property into 29, one-acre home sites and eventually 29 homes valued in excess of \$1 million each will substantially increase the county's assessed value of the subject property over present levels. Consequently, with a higher assessed value base for the neighborhood taxing district, ***all else being equal and unchanged***, the tax rate for all properties in the neighborhood will decrease slightly resulting in a slightly lower tax burden for all other properties in the neighborhood.

Conclusion

Overall, it is my opinion that The Reserve at Black Mountain proposed development will NOT have a detrimental impact on property values for any of the adjoining or nearby residential properties. To the contrary, the project will probably have an accretive effect on surrounding home values.

Respectfully submitted,

BURKE HANSEN, LLC



William M. Dominick
Certified General Real Estate Appraiser
(Arizona Certificate No. 30129, Exp. 8/31/18)

THE RESERVE AT BLACK MOUNTAIN – CITIZEN REVIEW REPORT

The applicant has engaged in an extensive neighborhood outreach process to ensure that area residents understand the rezoning request and are aware of site plan updates.

Summary of Outreach Activities

August 1, 2016 – Notifications mailed for 1st Neighborhood Meeting to all property owners within 750’ of the subject property, the Cave Creek School District office and to all persons identified on the city’s “Interested Parties” list. *A copy of this letter is included with this report.*

August 8, 2016 – Sign posting for “Project Under Consideration”. *An affidavit of posting is included with this report.*

August 12, 2016 – Applicant met with Mr. Fritz Huber, a Sandflower resident to discuss rezoning proposal and preliminary site plan. Mr. Huber indicated that he was supportive of the proposal.

August 17, 2016 – 1st Neighborhood Meeting at Foothills Academy. Two individuals from LVA, the project engineer from Kimley-Horn, and an associate from Pinnacle Land Development represented the applicant team at the open house meeting.

Sixteen residents attended and signed in at the neighborhood meeting. Nine comment cards were submitted by attendees.

Most participants were from adjacent communities; Sand Flower, Vista Viento, and Cortona. The residents that attended the meeting were mostly concerned about current drainage conditions in Cortona and Sand Flower and how this development could contribute to issues they had experienced during past storm events. Suggestive comments about comparable lots sizes and natural placement of the homes were mentioned, as well as setbacks and building height concerns along the northern and western property lines. Discussions about view corridors from Vista Viento and potential traffic on Black Mountain were also topics of conversation.

September 19, 2016 – The applicant met with Anne and Robert Hilton, residents of the Vista Viento community. An update to the site plan was presented to address concerns that Ms. Hilton had expressed during the neighborhood meeting regarding buffering and setbacks. Ms. Hilton indicated to the project team that she was supportive of the changes. The group also discussed building heights and viewsheds, but no further changes to the site plan were requested.

September 19, 2016 – Applicant met with Catherine Wendt, HOA President of the Cortona community. Ms. Wendt expressed interest in issues related to the construction of Black Mountain Road, traffic control at the intersection, off-site drainage and information about potential home types and builder. The applicant shared an updated site plan that included additional project area and an increase in the number of lots.

September 30, 2016 – The applicant met with Lisa and Armand Doche, residents of the Sandflower Community. The focus of the discussion was drainage and setbacks. The applicant shared the new site plan, and Ms. Doche expressed support for the changes made by the applicant. Ms. Doche requested that the applicant provide a post-development survey to confirm that the proposed drainage improvements will be built per the approved plans. The applicant agreed to provide this.

September 30, 2016 – Notifications mailed for 2nd Neighborhood Meeting to all property owners within 750' of the subject property, the Cave Creek School District office and to all persons identified on the city's "Interested Parties" list. *A copy of this letter is included with this report.* A second notification was provided to inform residents of recent changes to the site plan (increase in project area and number of lots) and allow for an opportunity to meet with the applicant to discuss these updates.

October 7, 2016 – Call with Cathy Wendt, Cortona HOA to discuss upcoming Neighborhood Meeting and Black Mountain Road improvements and previous discussions between neighbors and city transportation department. Ms. Wendt forwarded email correspondence from city transportation from 2015 and requested an update.

October 11, 2016 – 2nd Neighborhood Meeting at Foothills Academy. The applicant elected to host a second neighborhood meeting as a result of increases to the overall project area and the number of lots. The applicant presented a 27 lot plan on 40 acres. Nine participants attended and signed in at the neighborhood meeting. Four comment cards were received.

Most attendees were familiar with the plan and had attended the first meeting. Continued concerns about construction disturbance, home values, density, and preservation of views appeared in the comments. Several adjacent homeowners in Vista Viento and Sandflower expressed satisfaction with the new plan and appreciated the changes.

At this time the applicant remains sensitive to the community's opinions, and will continue to work with the adjacent neighborhoods to mitigate any and all concerns.

October 12, 2016 – The applicant reached out to Lisa and Armand Doche and offered to organize a smaller meeting with the Sand Flower residents.

October 13, 2016 – The applicant emailed attendees from Neighborhood Meeting #2 (Jenny Murray, Cortona HOA; Kathleen Navarrete, Cortona; Omarya and Tony Steech to thank them for their time and offer to schedule additional follow up meetings if necessary.

October 18, 2016 – The applicant reached out to Cathy Wendt, Cortona HOA President to schedule a time to discuss the 2nd Neighborhood Meeting.

October 21, 2016 – The applicant reached out to Lisa and Armand Doche to follow up and offer to schedule a private meeting with Sand Flower residents, if necessary.

October 25, 2016 – The applicant emailed Lynne Sullivan, Sand Flower HOA President to offer to schedule a private meeting with Sand Flower residents. Ms. Sullivan responded that she has been an active HOA board member since 2001 and her main concern is drainage and the number of basins. There was no mention of scheduling a private meeting with Sand Flower residents.

October 26, 2016 – The applicant met with a group of Vista Viento property owners. The focus of the discussion was to communicate recent revisions to the site plan (increased project area, increased number of lots), and highlight additional setbacks and buffering adjacent to the Vista Viento community. Drainage conditions, setback, lot orientation and edge treatments were discussed.

October 28, 2016 – Call with Cathy Wendt, Cortona HOA President to discuss the updated site plan and Cortona residents feedback from the neighborhood meeting #2. Applicant mentioned the private meeting with Vista Viento residents and offered to schedule a private meeting for Cortona residents.

November 10, 2016 – Applicant emailed Anne Hilton to show exhibit of re-orientation of Lot 8 as suggested by her and obtain feedback. Email from Anne Hilton on 11/21/16 they agree original plan is better but would like plant screening.

December 5, 2016 – The applicant emailed the updated site plan to Cathy Wendt, Cortona HOA President and offered to schedule a private meeting with Cortona residents. No response.

December 10, 2016 – Email received from Lisa Doche requesting confirmation letter from developer re: post developmental survey will be provided after improvements have been made.

December 16, 2016 – Developer sent confirmation letter to Lisa and Armand Doche as requested above.

December 21, 2016 – The applicant reached out to Cathy Wendt, Cortona HOA President to follow up. No response.

December 29, 2016 – Applicant emailed Cortona neighbors to follow up and offer to schedule a private meeting with their community.

ATTACHMENTS

1. Meeting 1 - Map of notified neighbors (750')
2. Meeting 1 - List of names and contact information for contacted parties
3. Meeting 1 - Notification letter with site plan
4. Meeting 1 - Open house sign-in sheets
5. Meeting 1 - Comment responses
6. Meeting 1 - Affidavit of sign posting
7. Meeting 2 - Map of notified neighbors (750')
8. Meeting 2 - List of names and contact information for contacted parties
9. Meeting 2 - Notification letter with site plan
10. Meeting 2 - Open house sign-in sheets
11. Meeting 2 - Comment responses
12. Meeting 2 - Affidavit of sign posting

August 1, 2016

Re: The Reserve at Black Mountain

Dear Neighbor/Property Owner:

We are Landscape Architects and Land Planners seeking approval for a 24-lot community near your home/property. The site is comprised of 35 acres and is currently vacant with surrounding residential homes.

We are inviting you to an upcoming neighborhood meeting to provide information about our design and the application process.

Within the coming weeks, we will be submitting an application to the City of Scottsdale requesting to amend the zoning on the property from the existing R1-190 (Single Family Residential) to R1-43 ADS (Single Family Residential with Amended Development Standards, 0.83 dwelling units per acre). The proposed zoning change is in conformance with the City's General Plan that identifies the land use on the property as Rural Neighborhoods (0-1 dwelling units per acre). Our proposal intends to maintain conformance with this requirement by providing 24 single family homes at a density of less than 1 dwelling unit per acre.

The requested zoning change will allow for large lot, single story private homes, natural desert open space with preserved washes, and a single gated vehicular access from 84th Street.

As part of our ongoing effort to provide information and address questions from neighbors and property owners, we will be hosting a neighborhood meeting to discuss our plans and to gather feedback.

DATE: Wednesday, August 17, 2016
TIME: 6:00pm-7:00pm
LOCATION: Foothills Academy Multi-purpose Room
(7191 E Ashler Hills Dr. Scottsdale, AZ 85262)



Thank you for your time and interest! If you are unable to attend the neighborhood meeting and wish to provide input, please contact myself or the City of Scottsdale. Comments will be made part of the public record for inclusion in the case file.

Sincerely,

Alex Stedman
Planning Manager
LVA Urban Design Studio
Email: astedman@LVAdesign.com

THE RESERVE at BLACK MOUNTAIN

CONCEPTUAL SITE PLAN

LEGEND	
	SITE BOUNDARY
	DEVELOPMENT ENVELOPES

SITE DATA	
SITE AREA (GROSS):	34.8 AC (+/-)
CURRENT ZONING:	R1-190 ESL
PROPOSED ZONING:	R1-43 ESL
PROPOSED # OF LOTS:	24
GROSS DENSITY:	0.7 DU/AC



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 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific project and client for which it is prepared. Review of and/or improper reliance on this document without written authorization and adoption by LVA Urban Design Studio, LLC shall be without liability to LVA Urban Design Studio, LLC.
 U:\1625-NORTH BLACK MOUNTAIN RD\CAD\PLANNING\LVA-1625-LOTTING PLAN 2016-07-21.dwg Jul 27, 2016

Project: Neighborhood Meeting – The Reserve at Black Mountain

Location: Foothills Academy

Date and Time: Wednesday, August 17, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
1	Linda Wheeler	8141 E Ford Avenue Scottsdale	480- 348-1256	
2	Lisa Doche & Armando	34887 N 81st St Scottsdale, AZ 85260	480- 329-4449	Armando Aloche@cox.net
3	—	—	—	—
4	FRANK RAKOS	8241 E Cavalry Dr SCOTTSDALE	480 272 7392	FRANK.RAKOS @COX.NET
5	WANDA CHRISTOFARO Rocco	8627 E Cactus Wren Circle	480- 268- 2733	ROCCO WANDA COX.NET
6	MICHAEL FLAMINI	8219 E. CAVALRY DR	480 361- 4616	jcarrsonflamini@ hotmail.com
7	Anne & Robert Hilton	8285 E Cavalry Dr 85266	480-595- 3937	rwilston1@ MSN.COM
8	TOMY BAGNESCHI		602-743- 0003	TBAGNESCHI@ INSIGHTLAND.COM
9	Harvey & Madelon Lawrence	34822 N. 83rd St. Scottsdale, AZ 85260	480- 437-9111	madelon6852@gmail.com
10				

Project: Neighborhood Meeting – The Reserve at Black Mountain

Location: Foothills Academy

Date and Time: Wednesday, August 17, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
11	RON & JOANNE THOMPSON	8263 E. CAVALRY DR SDC	480-488-1447	joganny@aol.com
12	Margo & Jada Hurst	8359 E Nightingale Star	480-488-2569	lotudrykage@aol.com
13	Bob Nathan	20414 W 94th way	480-6956037	
14	Craig & Jayne Buntan	8286 E Nightingale Star Dr	623 282 1450	jaynieb@cox.net
15	LARRY WENDT	8382 E. Nightingale Star	602 910 1927	wendt.lawrence@gmail.com
16	Chris Asterino	8334 E. Nightingale Star	602-697-8483	Chris@revmo.com
17	Lynne Sullivan	34822 N. 81st	480 575 1897	SULLY 1858805620@aol.com
18				
19				
20				

Density / Lots stacked in concentrated areas

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

Amanda + Lisa Doche

34887 N 81st St

Name

Street Address

adoche@cox.net

480.329.4401

Email Address

Phone Number

COMMENTS / CONCERNS: we have natural open space attached to our lot envelopes. The new development concentrates the open space into basin & drainage – resulting in more concentration – ~~Density~~ – that impacts the Quality of life we were zoned.

Please place this card in the box.
Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

MICHAEL FLAMINI

8219 E CAVALRY DR

Name

Street Address

jcarrsonflamini@hotmail.com

480 323-5299

Email Address

Phone Number

COMMENTS / CONCERNS:

- concerns that lots 16-20 look in a row not very natural or meandering.
- No NAPS between lots 14-20
- water flow along backside of lots 16-20 is of major concern as in heavy rains this area flows pretty good and I feel was never really addressed when Cavalry Drive was developed.

Please place this card in the box.
Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

LARRY WENDT 8382 E Nightingale Star Dr
Name Street Address

wendt.lawrence@ymail.com 602-910-1927
Email Address Phone Number

COMMENTS / CONCERNS:

Great concern regarding water flow/drainage. There is already a significant problem to the south of the proposed development.

Please place this card in the box
Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

Jayne & Craig Burton 8286 E Nightingale Star Dr
Name Street Address

jayneb@cox.net 623 282 1450
Email Address Phone Number

COMMENTS / CONCERNS

We back on to Black Mountain road and are concerned about a) road safety on this road, b) street noise behind our home from volume / speed of traffic, c) drainage due to the large wash(es) that run through this property and

Please place this card in the box
Thank you!

Subsequently beside our home. Thank you

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

Anne Hilton

8285 E. Cavalry Dr.

Name

Street Address

Scotsdale 85266

rwhilton7@msn.com cell - 720-353-1534

Email Address

Phone Number

COMMENTS / CONCERNS:

As discussed with Alex, please place 24ft. poles w/ flag at top in center of the 5 proposed lots that back to Vista Viento.

Please place this card in the box.

Thank you!

Concern is the blocking of views. Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

RONALD THOMPSON

8263 E CAVALRY DR

Name

Street Address

rthpape@aol.com

480 323 6830

Email Address

Phone Number

COMMENTS / CONCERNS:

It appears that, due to wash drainage consideration, proposed home sites 16-20 are packed together, presenting an absolute street home appearance.

Please place this card in the box.

Thank you!

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

Gordon Hurst
Name Street Address

hotudogunaz@yahoo.com 480 488-2569
Email Address Phone Number

COMMENTS / CONCERNS:

① Drainage is a big concern
flowing across BMR to Contona
properties

Please place this card in the box.
Thank you!

② Traffic Flow on BMR is conflicting
with local traffic

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

FRANK RAKOS 8241 E Cavalry Dr
Name Street Address

FRANK.RAKOS@COX.NET 480 272 7392
Email Address Phone Number

COMMENTS / CONCERNS:

Density per tentative plan & layout of WAOS area
Buffer with existing housing & drainage issues.
Comparison to other R1-43 plans already approved.

Please place this card in the box.
Thank you!

Drainage

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – August 17, 2016

Smallow #14

Ammon & Lisa Doche 34887 N 81st St
Name Street Address

Adoche@cox.net 480.329-4401
Email Address Phone Number

COMMENTS / CONCERNS: We were present for the Smallow
flood. Whereas the larger washes are taken into
consideration, we have a lesser wash that
runs from the proposed site through our back
yard. Due to large wash demands there is
(over)

Please place this card in the box.
Thank you!

A concentration of houses on the NW quadrant (lots 14, 15, 16, 17) that are uphill of us and the displaced water will impact our lesser wash. Our wash is not with even light/med rain! We feel there needs to have safety reduced for less roof displacement to control water shed into our wash. The face our entire pool & house being flooded. OR the lots proposed will have to be graded in such a way (elevated) to re-direct natural flow to the proposed retention & drainage to the East & South.



Affidavit of Posting

Required: Signed, Notarized originals.

Recommended: E-mail copy to your project coordinator.

Project Under Consideration Sign (White)

Public Hearing Notice Sign (Red)

Case Number: 536-PA-2016

Project Name: _____

Location: 84th St and Black Mountain Rd

Site Posting Date: August 8, 2016

Applicant Name: Alex Stedman

Sign Company Name: Dynamite Sign

Phone Number: 480-585-3031

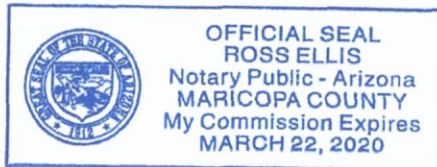
I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Megan [Signature]
Applicant Signature

8/8/16
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me this the 8 day of August 2016



Ross [Signature]
Notary Public

My commission expires: 3/22/2020

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Wednesday, August 17, 2016
Time: 6:00 P.M. - 7:00 P.M.
Location: Foothill Academy Multi-purpose Room
7191 E. Ashler Hills Dr., Scottsdale, AZ 85262

Site Address: NWC Black Mountain Rd. & 84th St.

Project Overview:

- Request: A request to rezone the subject property from R1-190 to R1-43 ESL
- Description of Project and Proposed Use: The proposal would create a 24-lot single family residential community on +/- 35 acres.
- Site Acreage: 35.0 acres
- Site Zoning: R1-190

Applicant Contact:

Alex Stedman 480-994-0994
astedman@lvadesign.com

City Contact:

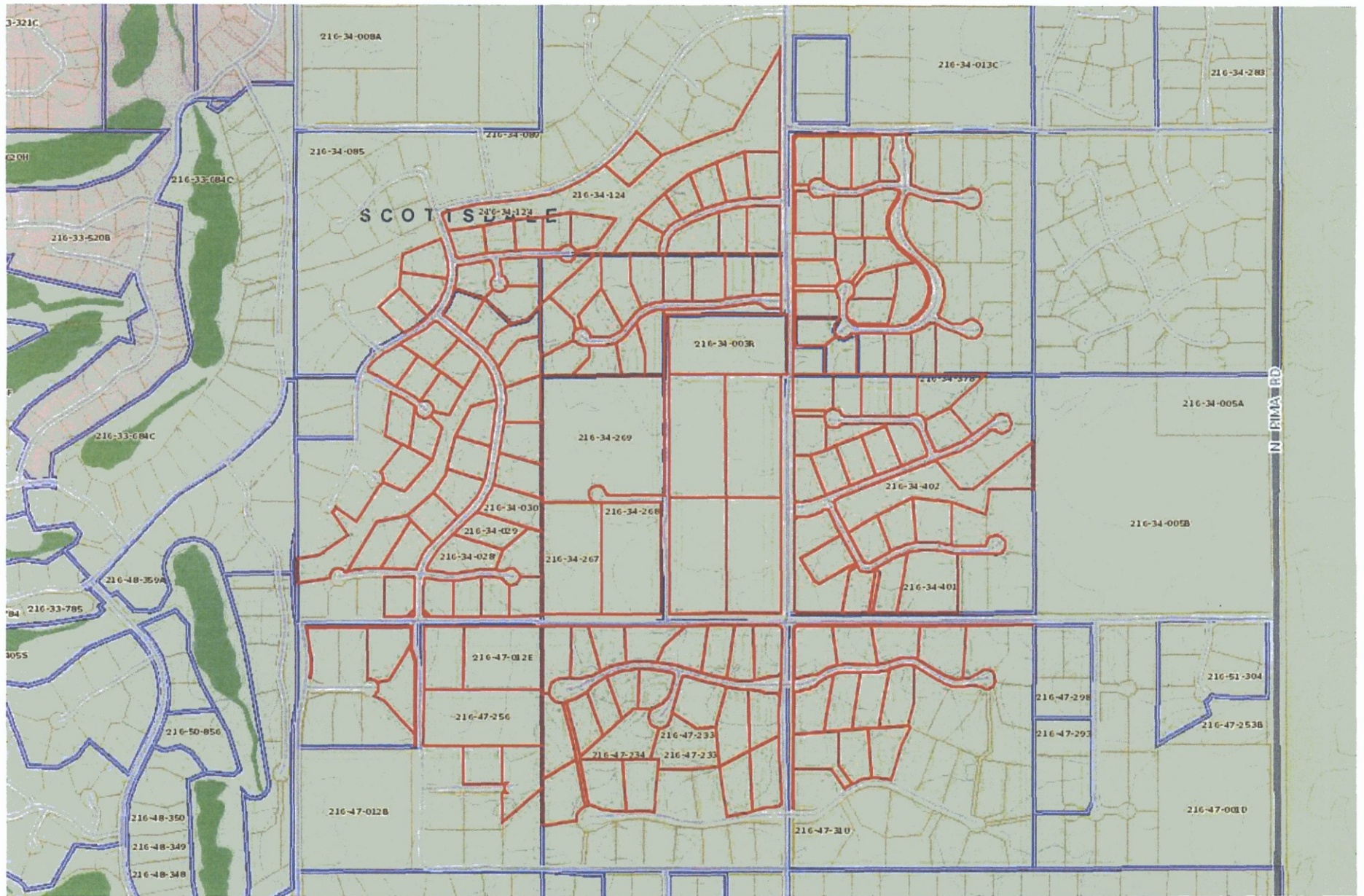
Jesus Muillo 480-312-7849
jmurillo@scottsdaleaz.gov

Pre-Application #: 536-PA-2016 Available at City of Scottsdale: 480-312-7000

Project information may be researched at: <https://eservices.scottsdaleaz.gov/bldgresources/Preapp/Search> Posting Date: 8/5/16

• Penalty for removing or defacing sign prior to date of last hearing - Applicant Responsible for Sign Removal 8/5/16 13 10 53

750' BUFFER NOTIFICATION



LIST OF NAMES & CONTACT INFORMATION FOR CONTACTED PARTIES

APN	NAME	MAIL ADDRESS	CITY	ST	ZIP	COUNTRY	RETURNED BY MAIL
216-34-00	MINEO GARY P	8494 E CACTUS WREN CIR	SCOTTSDA	AZ	85266	USA	
216-34-00	PATIL ASHWINIKUMAR	7017 GOLFSIDE LN	PHOENIX	AZ	85042	USA	
216-34-00	MARCUS J NIEMELA TRUST	PO BOX 940	CAREFREE	AZ	85377	USA	
216-34-00	MINEO GARY P	8494 E CACTUS WREN CIR	SCOTTSDA	AZ	85266	USA	
216-34-00	TRAN VENTURES LLC	16435 N SCOTTSDALE DR	SCOTTSDA	AZ	85254	USA	
216-34-02	BROOKKE BRUCE M/JUDIE A	8069 E SAND FLOWER DR	SCOTTSDA	AZ	85253	USA	
216-34-02	WONG ASTRIA	8115 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-02	MILEWSKI WAYNE E/LINDA M	4901 WHITEHOUSE SPEN	WHITEHOL	OH	43571	USA	
216-34-02	ASTLE WILLIAM D	8167 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-02	HERSHEY KARLA ROBIN	8193 E SAND FLOWER DR	SCOTTSDA	AZ	85266	USA	
216-34-02	HUBER FRIEDRICH/ILVA A	8174 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-02	COCHRANE STEPHEN T/DONOV	34743 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-02	ENGLAND JEFF A/VICKIE W	34779 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	JUNGHEIM LENA	34815 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	GAFFNEY FAMILY TRUST	34851 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	DOCHE ARMAND FRANK/LISA L	34887 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	WILLIAM J DONOVAN III/KRISTE	34923 N 81ST STREET	SCOTTSDA	AZ	85266	USA	
216-34-03	ROBERTS FAMILY REVOCABLE T	34959 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	RICHARDSON BRAD D/JANINE N	34894 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	RONALD R AND SUSAN C HAHN	34858 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	SULLIVAN LYNNE TR	34822 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-03	DELAWARE FAMILY LIVING TRU	34786 N 81ST ST	SCOTTSDA	AZ	85266	USA	
216-34-03	PRICE TIMOTHY J	34750 N 81ST	SCOTTSDA	AZ	85262	USA	
216-34-04	BONDY THOMAS J/VIOLETTA M	8070 E SAND FLOWER DR	SCOTTSDA	AZ	85262	USA	
216-34-04	JAMES ANDREA E/DAVID A	134 MANCHESTER	SHAVANO	TX	78249	USA	
216-34-04	NAGEL KERRY J/BOUROS GICA	8085 E VILLA CASSANDRA	SCOTTSDA	AZ	85266	USA	
216-34-04	GIBSON FRANK E/FLANAGAN SU	8111 E VILLA CASSANDRA	SCOTTSDA	AZ	85266	USA	
216-34-05	PARENTS RESIDENCE TRUST	1751 PINNACLE DR SUITE	MCLEAN	VA	22102	USA	
216-34-05	BJELLA KARMON T/LINDA L	453 PARTRIDGE AVE	ALPENA	MI	49707	USA	
216-34-05	ADKINS DAVID B/ERVIN SALLY J	1880 EAST MORTEN	PHOENIX	AZ	85020	USA	
216-34-05	ZBYTEK THOMAS J/MAN SUN	35002 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-05	SMITH WILLIAM TERRY/MARCI	34966 N 81ST ST	SCOTTSDA	AZ	85262	USA	
216-34-05	KARL AND KIM KUO TRUST	35031 N 81ST ST	SCOTTSDA	AZ	8.53E+08	USA	
216-34-05	SMITH STEPHEN/FERMINA	35067 N 81ST ST	SCOTTSDA	AZ	8.53E+08	USA	
216-34-05	SAND FLOWER COMMUNITY AS	608 E MISSOURI AVE STE	PHOENIX	AZ	85012	USA	
216-34-05	SAND FLOWER COMMUNITY AS	PO BOX 73259	PHOENIX	AZ	85050	USA	ATTEMPTED - NOT KNOWN UNABLE TO FI
216-34-05	SAND FLOWER COMMUNITY AS	PO BOX 73259	PHOENIX	AZ	85050	USA	ATTEMPTED - NOT KNOWN UNABLE TO FI
216-34-06	SAND FLOWER COMMUNITY AS	PO BOX 73259	PHOENIX	AZ	85050	USA	ATTEMPTED - NOT KNOWN UNABLE TO FI
216-34-06	MOORE MICHELLE M/FANGER F	8029 E ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-06	HOLESKI KENNETH	8143 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	DYKES DAVID W	8157 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	FISHER PETER F/JEANNE A	8230 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	HILSTON FAMILY TRUST	8216 ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-06	EGAN MAURICE D/ABBY S	8154 ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-06	DEMSEY TODD R/MELINDA PAT	8140 ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-06	KIESTER STEVE R/JANE E	8863 SPRINGWOOD DR	WOODBUF	MN	55125	USA	
216-34-06	MARGARET JANE WATSON TRU	35152 N 80TH WY	SCOTTSDA	AZ	85266	USA	
216-34-07	TAYLOR CURRY/NANCY	35128 N 80TH WY	SCOTTSDA	AZ	85262	USA	
216-34-07	SANDRA K WABS REVOCABLE LI	35056 N 80TH WAY	SCOTTSDA	AZ	85266	USA	
216-34-11	DANZ BRIAN M/MELANIE G	8243 ARROYO HONDA RD	SCOTTSDA	AZ	85262	USA	
216-34-11	8386AS LLC	500 NORTHPARK SUITE 4C	ATLANTA	GA	30328	USA	
216-34-11	SHIELDS PAUL DAVID/ADRIA AN	8370 E ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-11	SHARON L MCCOLLAM LIVING T	8354 E ARROYO SECO RD	SCOTTSDA	AZ	8.53E+08	USA	
216-34-11	SHIRAI JUNE J	8338 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-11	WELCH RONALD G/WENDY S	8322 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-11	SCHLENKER DAVID A/JULIE B	8306 E ARROYA SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-12	STEECH ANTHONY/OMAYRA	8341 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-12	ANDERSON LINDA SUE	8357 ARROYO SECO RD	SCOTTSDA	AZ	85262	USA	
216-34-12	WHITING ADAM/ANNABEL	8373 E ARROYO SECO RD	SCOTTSDA	AZ	85266	USA	
216-34-12	SAND FLOWER COMMUNITY AS	P O BOX 73259	PHOENIX	AZ	85050	USA	
216-34-22	ARIAS LUCY S	8396 E CAVALRY DR	SCOTTSDA	AZ	85266	USA	
216-34-22	IDEN ROBERT F/MARYEVELYN	18374 E CAVALRY DR	SCOTTSDA	AZ	85262	USA	
216-34-22	PDM TRUST	8352 E CAVALRY DR	SCOTTSDA	AZ	85266	USA	

216-34-22	HOOVER STEVEN R/LINDA B	8330 E CAVALRY DR	SCOTTSDA AZ	85262 USA
216-34-22	SHEPARD FRANK C/DEBBIE J	15404 CARTER RD	OVERLANC KS	66221 USA
216-34-22	RAMOS WILLIAM A/ROBERTA J	8264 E CAVALRY DR	SCOTTSDA AZ	85262 USA
216-34-22	MOQEL BRUCE/KESSLER CAROL	8242 E CAVALRY DR	SCOTTSDA AZ	85266 USA
216-34-23	METZGER TRUST	8220 E CALVARY DR	SCOTTSDA AZ	85262 USA
216-34-23	WINDMILL RETREAT LLC	305 OLDS STATION RD	WENATCH WA	98801 USA
216-34-23	FLAMINI MICHAEL S/CARSON-F	8219 E CAVALRY DR	SCOTTSDA AZ	85266 USA
216-34-23	RAKOS FRANK E/BELINDA S	4219 W CAROL AVE	PHOENIX AZ	85051 USA
216-34-23	THOMPSON RONALD L/JO ANN	8263 E CAVALRY DR	SCOTTSDA AZ	85266 USA
216-34-23	HILTON ROBERT W/ANNE E	8285 E CAVALRY DR	SCOTTSDA AZ	85266 USA
216-34-23	VISTA VIENTO HOMEOWNERS A	8220 E CAVALRY DR	SCOTTSDA AZ	85266 USA
216-34-23	VISTA VIENTO HOMEOWNERS A	8352 E CAVALRY DR	SCOTTSDA AZ	85266 USA
216-34-23	VISTA VIENTO HOMEOWNERS A	8352 E CAVALRY DR	SCOTTSDA AZ	85266 USA
216-34-26	JAYHAWK 100 LLC	23233 N PIMA RD SUITE 1	SCOTTSDA AZ	85255 USA
216-34-26	LAWRENCE HARVEY J/MADELOI	34822 N 83RD ST	SCOTTSDA AZ	85266 USA
216-34-26	PATIL ASHWINIKUMAR	9156 WATERASH LN N	PINELLAS FL	33782 USA
216-34-34	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-34	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-34	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-34	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-35	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-36	ANDALUZA COMMUNITY ASSO	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-36	ANDALUZA COMMUNITY ASSO	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-36	ANDALUZA COMMUNITY ASSO	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-36	ANDALUZA COMMUNITY ASSO	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-36	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	MOORE WILLIAM D/BARBARA	35354 COX LN	MODESTO IL	62667 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-37	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-38	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-38	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	ROSEWOOD SIERRA HIGHLAND	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-39	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-40	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-40	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-40	SIERRA HIGHLANDS COMMUNI	8601 N SCOTTSDALE RD S	SCOTTSDA AZ	85253 USA
216-34-40	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-34-40	TAYLOR MORRISON/ARIZONA II	9000 E PIMA CENTER PKW	SCOTTSDA AZ	85258 USA
216-47-01	POWELL HOWARD TED/LINDA	1810 W TONTO LN	PHOENIX AZ	85028 USA
216-47-01	MILLER ROBERT REECE/FRANCE	8188 E WHITEHORN CIR	SCOTTSDA AZ	85262 USA
216-47-21	HUFFORD SEAN/VICTORIA	8140 E WHITEHORN CIR	SCOTTSDA AZ	85266 USA

216-47-22: GORMAN HOWARD/ANGELA	4216 EDGEVALLEY LANDI	CALGARY AB	T3A SV2	CANADA
216-47-22: GONG MARK A/SHULING TR	8254 E TUMBLEWEED DR	SCOTTSDA AZ	85262	USA
216-47-22: ROWLAND GREGG/ANNE	8286 EAST TUMBLEWEED	SCOTTSDA AZ	85262	USA
216-47-22: MARONI JAMES P/STAMOS EVA	8358 E TUMBLEWEED DR	SCOTTSDA AZ	85262	USA
216-47-22: CHEN CHRISTOPHER DAVID	8382 E TUMBLEWEED DR	SCOTTSDA AZ	85262	USA
216-47-23: ASBURY KARA L/DARKOH-AMPE	8383 NIGHTENGALE STAR	SCOTTSDA AZ	85266	USA
216-47-23: GORDON S HURST AND MARGA	8359 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-23: SILVA THOMAS A/NEDA	8331 E NIGHINGALE STAR	SCOTTSDA AZ	85266	USA
216-47-23: SCHNEEBACHER ALEXANDER T I	34405 N 83RD ST	SCOTTSDA AZ	85262	USA
216-47-23: MACKAY NEIL V	34402 N 83RD ST	SCOTTSDA AZ	85262	USA
216-47-23: WERICK PATRICK R/BETTY S	34454 N 83RD ST	SCOTTSDA AZ	85266	USA
216-47-23: ALTAMURA PEGGY TR	2625 E CAMELBACK RD 11	PHOENIX AZ	85016	USA
216-47-23: AUGUSTE JOSEPH L/BARBARA A	8263 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-23: ROPICKY MICHAEL J/MARIELLE	MDT 634-4 PO BOX 801	MENDHAM NJ	7945	USA
216-47-23: WICKER JOE H JR/GRETCHEN G	8215 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: MURRAY BRIAN L/JENNIFER R	8214 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: PROSSER ROBIN J/PETERSON S	8238 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: NAVARRETE KATHLEEN E	8262 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: BURTON WILLIAM CRAIG/FLINN	8286 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: HOLLOWAY WILLIAM W/JOANN S	8310 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: ASTERINO CHRISTOPHER J/MICI	8334 E NIGHTINGALE STA	SCOTTSDA AZ	85262	USA
216-47-24: DRAKULOVIC MILUTIN/BEBA	8358 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: WENDT REVOCABLE TRUST	8382 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-24: CORTONA COMMUNITY ASSOCI	1600 W BROADWAY RD S	TEMPE AZ	85282	USA
216-47-25: CORTONA COMMUNITY ASSOCI	1600 W BROADWAY RD S	TEMPE AZ	85282	USA
216-47-25: RICHARD CRANEY AND PAMELA	34425 N 81ST	SCOTTSDA AZ	85262	USA
216-47-25: RICHARD CRANEY AND PAMELA	34425 N 81ST	SCOTTSDA AZ	85262	USA
216-47-28: RICHARD LLOYD FAUL AND LISA	5806 E CALLE MARITA	CAVE CREE AZ	85331	USA
216-47-28: HILLERUD IAN DAVID/ANDREA	1420 KINGSWOOD POND	SAINT PAU MN	55122	USA
216-47-28: SUNFLOWER ESTATES BLACK M	17787 N PERIMETER DR S	SCOTTSDA AZ	85255	USA
216-47-32: KROLL BRANDON/MARKS JAMIE	8474 E TUMBLEWEED DR	SCOTTSDA AZ	85266	USA
216-47-32: MARTIN TRUST I	8452 E TUMBLEWEED DR	SCOTTSDA AZ	85266	USA
216-47-32: HARGENS ROGER A/JANE E	6013 N WINDWOOD DR	JOHNSTON IA	50131	USA
216-47-32: DEKA COMPANY LLC/KLECK ROI	1733 N GREENFIELD RD S	MESA AZ	85205	USA
216-47-32: MILIOTES JAMES D/ANNA L	8227 E GRANITE PASS RD	SCOTTSDA AZ	85266	USA
216-47-32: BOYD JEFFREY D/JOANN	PO BOX 2079	CAREFREE AZ	85377	USA
216-47-33: HILL DERRICK/ANNETTE	8469 E NIGHTINGALE STA	SCOTTSDA AZ	85266	USA
216-47-33: ROTHERHAM THOMAS G/SHAR	130 N GARLAND CT #3704	CHICAGO IL	60602	USA
216-47-33: GIANNINI JACK E/CAROLE	22386 FOX TAIL DR	KIDEER IL	60047	USA
216-47-34: GIANNINI JACK M/GINA	22386 FOX TAIL DR	KIDEER IL	60047	USA
216-47-34: CHARLTON TERRY/MELODY KA	29269 N 69TH WY	SCOTTSDA AZ	85266	USA
216-47-34: SIERRA BOULDERS HOMEOWNE	PO BOX 39242	PHOENIX AZ	85069	USA
216-47-34: SIERRA BOULDERS HOMEOWNE	PO BOX 39242	PHOENIX AZ	85069	USA
216-47-34: SIERRA BOULDERS HOMEOWNE	PO BOX 39242	PHOENIX AZ	85069	USA

September 30, 2016

Re: The Reserve at Black Mountain – 2nd Neighborhood Meeting

Dear Neighbor/Property Owner:

In August of this year we hosted a community meeting to present our plans for a 24-lot community near your home. During that meeting, our team listened carefully to neighbors and attendees, and we have subsequently made positive changes to the plan to increase setbacks and reduce the number of homes adjacent to existing communities. A copy of the updated plan is provided with this letter.

Since that meeting, we have added 5 additional acres to the overall project area in our northeast corner. The existing home on this property (Lot 21) will remain. We have shown two additional homesites to the east and west of lot 21 for an overall of 27 lots in our proposal.

Many aspects of the plan have remained the same from our first meeting in August. No change to the City's General Plan is proposed. We are requesting a zoning map change to R1-43 ESL, which is the zoning of all of the homes in the surrounding developments (see attached zoning map). Our proposal will restrict the density on the site to 0.68 homes per acre, and the height of the homes will be limited to 24 feet. The minimum lot size is $\frac{3}{4}$ of an acre, and much of the area not utilized for new homes and yards will be placed into protected open space.

Because of these updates to our plan, we are hosting an additional community meeting to answer any questions before making a formal application submittal to the City of Scottsdale.

DATE: Tuesday, October 11, 2016
TIME: 5:00pm-6:00pm
LOCATION: Foothills Academy Multi-purpose Room
(7191 E Ashler Hills Dr. Scottsdale, AZ 85262)

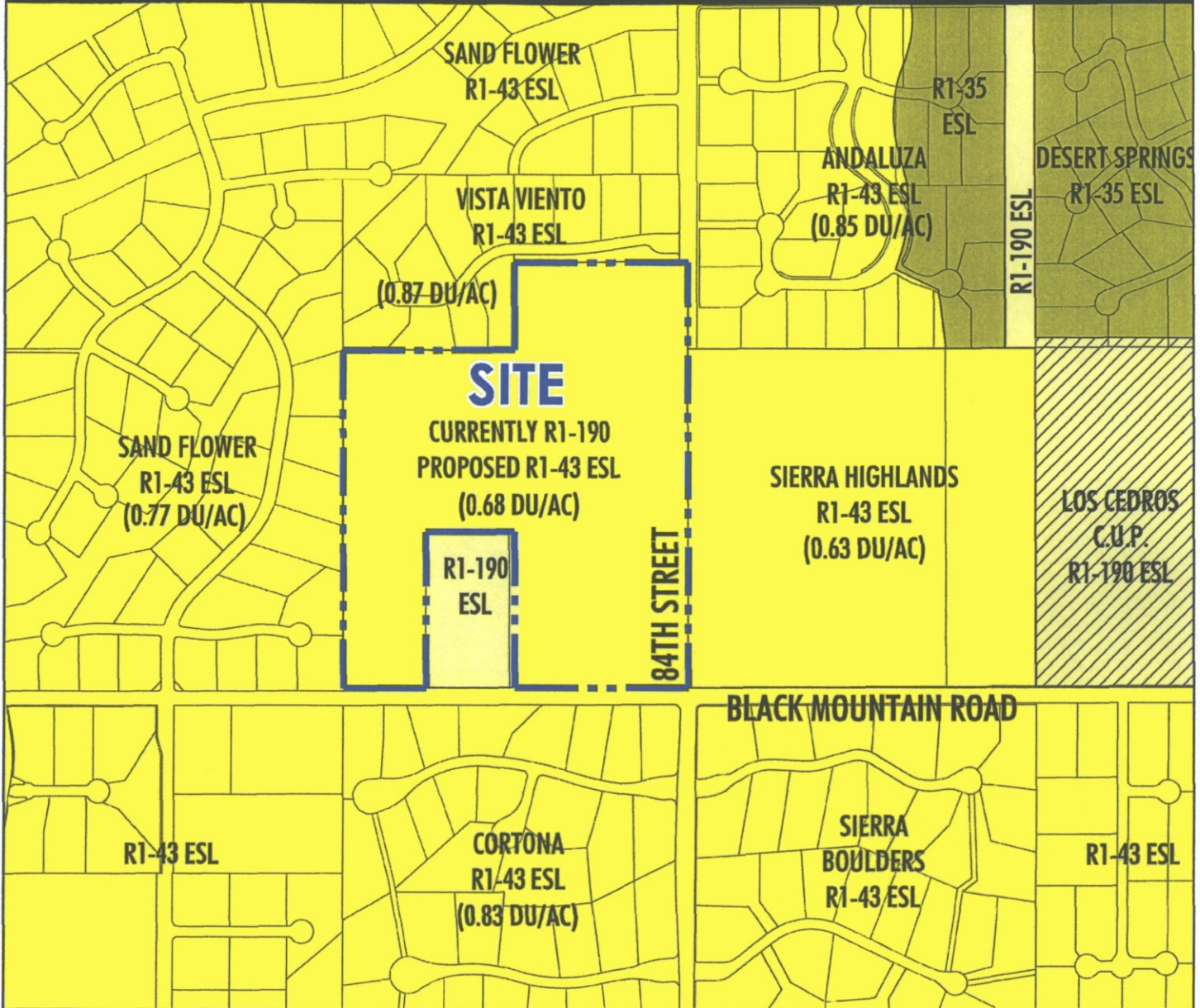
Thank you for your time and interest! If you are unable to attend the neighborhood meeting and wish to provide input, please contact me or Jennifer Hall of Rose Law Group at 480-505-3939 or Jhall@roselawgroup.com. Comments will be made part of the public record for inclusion in the case file.

Sincerely,

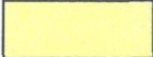
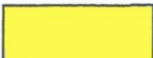



Alex Stedman
Planning Manager
LVA Urban Design Studio
Email: astedman@LVAdesign.com

PROPOSED ZONING



LEGEND

-  R1-190 ESL
-  R1-43 ESL
-  R1-35 ESL

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land planning - development entitlements - landscape architecture
 120 south ash avenue • tempe, arizona 85281 • 480.994.0994

THE RESERVE at BLACK MOUNTAIN

APPROX. SCALE:NTS

PROPOSED ZONING MAP

1622

DRAWN BY: PR



9/30/16

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 U:\1622-84TH & BLACK MOUNTAIN RD\CAD\PLANNING\LVA-1622-ZONING.dwg Sep 30, 2016



LEGEND	
---	SITE BOUNDARY
SITE DATA	
SITE AREA (GROSS):	39.6 AC (+/-)
CURRENT ZONING:	R1-190 ESL
PROPOSED ZONING:	R1-43 ESL
PROPOSED # OF LOTS:	27
GROSS DENSITY:	0.68 DU/AC
PROPOSED DEVELOPMENT STANDARDS:	R1-43 ESL
MINIMUM LOT AREA:	32,250 SQ. FT.
MINIMUM LOT WIDTH:	113'
FRONT SETBACK:	30'
SIDE SETBACK:	15'
REAR SETBACK:	26'

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 120 south osh avenue • tempe, arizona 85281 • 480.794.0994

THE RESERVE at BLACK MOUNTAIN CONCEPTUAL SITE PLAN

APPROX. SCALE: NTS
 1:622 DRAWN BY: PK 7/29/16

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 0116427-0474 & BLACK MOUNTAIN RD L&S PLANNING LVA-1622-LOTTING PLAN 7/29/16-07-21.dwg 16/24, 10/16

Project: Neighborhood Meeting – The Reserve at Black Mountain

Location: Foothills Academy

Date and Time: Tuesday, October 11, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
1	Jenny Murray	8214 E Nightingale Star	503-709-9676	jenmurray1@yahoo.com
2	Kathleen Navarrete	8262 E Nightingale Star Dr.	480.664 4683	newtKh@cox.net
3	Omayra Steech	8341 E. Arroyo Seco Rd.	480-772-1720	osteech@gmail.com
4	Tony Steech	"		
5	MARGO HURST & Gordon	8359 E NIGHTINGALE STAR DR	480-488-2569	
6	JOANNE THOMPSON	8263 E CAVALRY DR SOL	480-488-1447	joganwy@aol.com
7	Lisa Docke	34887 N 81st St	480-980-2863	lisa-docke@cox.net
8				
9				
10				

Project: Neighborhood Meeting – The Reserve at Black Mountain

Location: Foothills Academy

Date and Time: Tuesday, October 11, 2016

PUBLIC MEETING SIGN-IN SHEET

	Name	Address	Phone	Email
31	Anne & Bob Hilton	8085 E Cavalry Dr.	480-595-3937	rwilston2@msn.com
32	Betty & Patrick Werrick	3055 N 33rd St 85266	480-221-8585	
33				
34				
35				
36				
37				
38				
38				
40				

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting — October 11, 2016

Name Kathleen Navarrete Street Address 8262 E Nightingale Star Dr.

Email Address newtkb@cox.net Phone Number 480.664.4683 (H)

COMMENTS / CONCERNS:

602.361.3998 (Cell/World)

My husband and I are original owners— we paid a high premium for our lot (pristine views) w/ the understanding that the parcels fronting Black Mtn Rd would remain at 1 home on 5 acres. I am a widow now and my horse is the only investment I have for myself and

Please place this card in the box
Thank you!

my children, Building two⁺ more homes on
the NW 5-acre parcel would negatively
impact my view, most likely affect my
ability to sell my home, and absolutely
negatively affect what I can sell my home
for. I get it - more homes you can build
the more \$ in your pocket - but those
are \$ you will be taking from me and
my boys. That negatively impacts my family's
future. The 5-acre lot should hold only
1 home and 1 home only. Just because you
might be able to do something doesn't make
it the right thing to do. I will do my best to
ensure my children's future.

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting — October 11, 2016

Tony Steech

8341 E. Arroyo Seco Rd

Name

Street Address

tony.steech@gmail.com

602 327 0305

Email Address

Phone Number

COMMENTS / CONCERNS:

Opposed to increased density in the proposed development. Disappointed with the destruction of the desert in this and Adairza + Sierra Highlands. For 2 years we had to endure negative aspects

Please place this card in the box.
Thank you!

of development →

- Destruction of plants = increased road noise from A10A

- Loud Noise from Jack hammers for 2 years

- Loud Noise from earthmovers backing up at 6 Am

- Don't destroy the environment we bought and pay for with long commutes and high prices

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting — October 11, 2016

Omayra Steech 8341 E. Arrowood Seco Rd. Scottsdale AZ 85260
Name Street Address

osteech@gmail.com 480-772-1720
Email Address Phone Number

COMMENTS / CONCERNS:

We are opposed to the re-zoning of homes + do NOT want the desert to be excavated for profit.
We purchased our beautiful home "away" from noise (road + construction). We already suffer from both road (Pima) noise + construction noise
+ Sierra Highlands development. IF you re-zone + build over →

Please place this card in the box.
Thank you!

From the Andaluza

home would be filled w/ construction noise & dust.
Please, Build somewhere else.

We don't want to move & fear this project
would lower the value of our home from
EXCESS NOISE - Both construction & road (Pine.)

COMMENT CARD

The Reserve at Black Mountain
Neighborhood Meeting – October 11, 2016

Greg Don Hurst 8359 E Nightingale St
Name Street Address

hotdogz@yahoo.com 480 488-2569
Email Address Phone Number

COMMENTS / CONCERNS:

lots 3 & 4 appear very close to
folks on North side of Nightingale
with view deck they have direct sight
in pool area.

Please place this card in the box
Thank you!



Affidavit of Posting

Required: Signed, Notarized originals.
Recommended: E-mail copy to your project coordinator.

Project Under Consideration Sign (White) Public Hearing Notice Sign (Red)

Case Number: 536-PA-2016

Project Name: _____

Location: 84th St and Black Mountain Rd

Site Posting Date: Original post August 5, 2016; Updated October 4, 2016

Applicant Name: Alex Stedman; LVA Urban Design Studio

Sign Company Name: Dynamite Signs

Phone Number: 480-585-3031

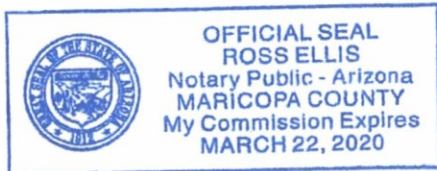
I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Meghan Leggett
Applicant Signature

10/4/16
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me this the 4th day of October 2016



Ross Ellis
Notary Public

My commission expires: 3/22/2020

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Tuesday, October 11, 2016
Time: 5:00 P.M. - 6:00 P.M.
Location: Foothill Academy Multi-purpose Room
7191 E. Ashler Hills Dr., Scottsdale, AZ 85262

Site Address: NWC Black Mountain Rd. & 84th St.

Project Overview:

- **Request:** A request to rezone the subject property from R1-190 to R1-43 ESL
- **Description of Project and Proposed Use:** The proposal would create a 27-lot single family residential community on +/- 40 acres.
- **Site Acreage:** 40.0 acres
- **Site Zoning:** R1-190

Applicant Contact:

Alex Stedman 480-994-0994
astedman@lvadesign.com

City Contact:

Jesus Muillo 480-312-7849
jmurillo@scottsdaleaz.gov

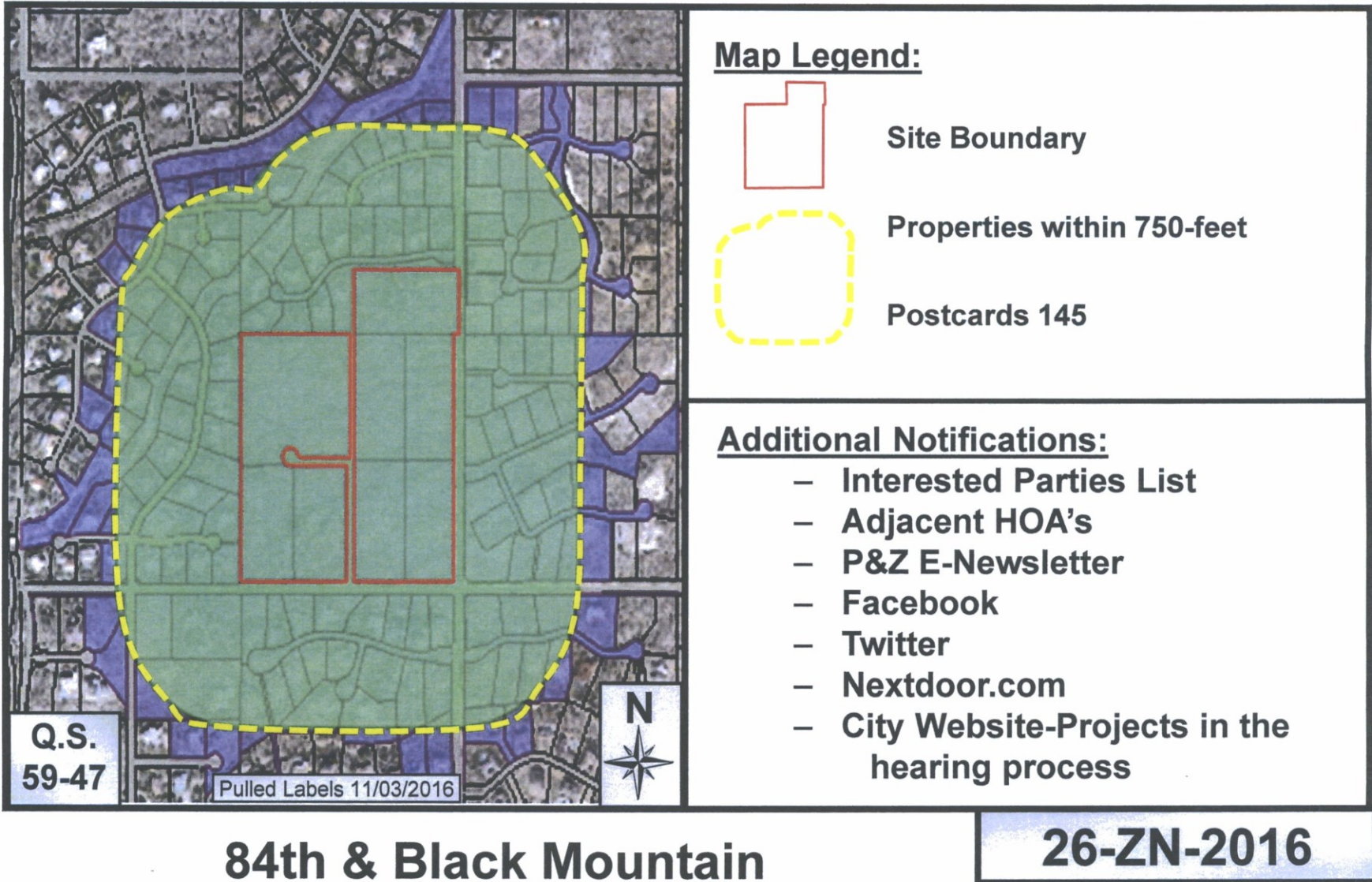
Pre-Application #: 536-PA-2016 Available at City of Scottsdale: 480-312-7000

Project information may be researched at: <https://eservices.scottsdaleaz.gov/bldgresources/Preapp/Search> **Posting Date: 8/5/16**

• -Penalty for removing or defacing sign prior to date of last hearing -Applicant Responsible for Sign Removal •

10/4/16 13:11:55

City Notifications – Mailing List Selection Map





Rezoning

Development Application Checklist

Minimal Submittal Requirements:

At your pre-application meeting, your project coordinator will identify which items indicated on this Development Application checklist are required to be submitted. A Development Application that does not include all items indicated on this checklist may be rejected immediately. A Development Application that is received by the City does not constitute that the application meets the minimum submittal requirements to be reviewed.

In addition to the items on this checklist, to avoid delays in the review of your application, all Plans, Graphics, Reports and other additional information that is to be submitted shall be provided in accordance with the:

- requirements specified in the Plan & Report Requirements For Development Applications Checklist;
- Design Standards & Policies Manual;
- requirements of Scottsdale Revised Code (including the Zoning Ordinance); and
- stipulations, include any additional submittal requirements identified in the stipulations, of any Development Application approved prior to the submittal of this application.

If you have any question regarding the information above, or items indicated on this application checklist, please contact your project coordinator. His/her contact information is on the page 11 of this application.

Please be advised that a Development Application received by the City that is inconsistent with information submitted with the corresponding pre-application may be rejected immediately, and may be required to submit a separate: pre-application, a new Development Application, and pay all additional fees.

Prior to application submittal, please research original zoning case history to find the original adopted ordinance(s) and exhibit(s) to confirm the zoning for the property. This will help to define your application accurately. The City's full-service Records Department can assist.

PART I -- GENERAL REQUIREMENTS

Req'd	Rec'd	Description of Documents Required for Complete Application. No application shall be accepted without all items marked below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Rezoning Application Checklist (this list)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	2. Zoning Application Fee \$ <u>1,140 + 70 per acre</u> (subject to change every July)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	3. Completed Development Application (form provided) Prior to application submittal, please research original zoning case history to find the original adopted ordinance(s) and exhibit(s) to confirm the zoning for the property. This will help to define your application accurately. The City's full-service Records Department can assist.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	4. Request to Submit Concurrent Development Applications (form provided) ABANDONMENT
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	5. Letter of Authorization (from property owner(s) if property owner did not sign the application form)

Planning and Development Services

7447 E Indian School Road Suite 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088

26-ZN-2016

11/02/2016

Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	6. Affidavit of Authorization to Act for Property Owner (required if the property owner is a corporation, trust, partnership, etc. and/or the property owner(s) will be represented by an applicant that will act on behalf of the property owner)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	7. Appeal of Required Dedications, Exactions, or Zoning Regulations (form provided)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	8. Commitment for Title Insurance – No older than 30 days from the submittal date <ul style="list-style-type: none"> • 8-1/2" x 11" – 1 copy <i>COS is insured</i> • Include complete Schedule A and Schedule B. (requirements form provided)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	9. Legal Description: (if not provided in Commitment for Title Insurance) <ul style="list-style-type: none"> • 8-1/2" x 11" – 2 copies
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	10. Results of ALTA Survey (24" x 36") FOLDED <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded (The ALTA Survey shall not be more than 30 days old)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	11. Request for Site Visits and/or Inspections (form provided)
<input type="checkbox"/>	<input type="checkbox"/>	12. Addressing Requirements (form provided)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	13. Draft Development Agreement <ul style="list-style-type: none"> • 8-1/2" x 11" – 2 copies Must adhere to the Maricopa County Recorder requirements
<input type="checkbox"/>	<input type="checkbox"/>	14. Proposition 207 waiver or refusal (Delay submittal until after the Planning Commission Hearing) (sample agreement information provided)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	15. Citizen Review Checklist: (form provided) <ul style="list-style-type: none"> • Provide one copy of the Citizen Review Report • If substantial modifications are made to an application, additional notification may be required by the Zoning Administrator, or designee. When required, provide one copy of the Citizen Review Report addendum.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	16. Request for Neighborhood Group/Homeowners Association (form provided)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	17. Site Posting Requirements: (form provided (white and red signs) <ul style="list-style-type: none"> • Affidavit of Posting for Project Under Consideration • Affidavit of Posting for Planning Commission Public Hearing (Delayed submittal). Affidavit must be turned in 20 days prior to Planning Commission hearing. • Affidavit of Posting for City Council Public Hearing (Delayed submittal). Affidavit must be turned in 20 days prior to City Council hearing.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	18. School District Notification – (form provided) Required for all applications that include residential uses.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	19. Photo Exhibit of Existing Conditions: Printed digital photos on 8-1/2"x11" Paper <ul style="list-style-type: none"> • 8-1/2" x 11" - 1 copy of the set of prints • <u>See attached Existing Conditions Photo Exhibit</u> graphic showing required photograph locations and numbers.

Planning and Development Services

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Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	20. Archaeological Resources (information sheets provided) <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Archaeology Survey and Report - 3 copies <input type="checkbox"/> Archaeology 'Records Check' Report Only - 3 copies <input type="checkbox"/> Copies of Previous Archeological Research - 1 copy
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	21. Completed Airport Vicinity Development Checklist – Your property is located within the vicinity of the Scottsdale Municipal Airport (within 20,000 foot radius of the runway; information packet provided)

PART II -- REQUIRED NARRATIVE, PLANS & RELATED DATA

Req'd	Rec'd	Description of Documents Required for Complete Application. No application shall be accepted without all items marked below.
		22. Plan & Report Requirements For Development Applications Checklist (form provided)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	23. Development Plan

Req'd	Rec'd	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	a. Application Narrative <ul style="list-style-type: none"> • 8 ½" x 11" – 4 copies <input checked="" type="checkbox"/> The application narrative shall specify how the proposal separately addresses each of the following: <ul style="list-style-type: none"> • goals and policies/approaches of the General Plan • goals and polices of the applicable Character Area Plan • architectural character, including environmental response, design principles, site development character, and landscape character <input checked="" type="checkbox"/> Please review the applicable zoning district and/or overlay provisions for any findings, justifications, and/or explanations that are required to be met. Each finding, justification, and/or explanation shall be separately identified with a corresponding response in the application narrative. (PRD, PCD, PBD, PUD, etc) <input type="checkbox"/> In addition, the following applicable information shall be incorporated into the application narrative: <ul style="list-style-type: none"> <input type="checkbox"/> separate justification(s) for each requested modifications to regulations and standards, <input type="checkbox"/> bonus provisions and justifications, <input type="checkbox"/> methodology to address the City's Sensitive Design Principles, and applicable design guidelines pertaining to: architectural character, environmental response, site development character, and landscape character, and/or <input type="checkbox"/> Historic Property – existing or potential historic property. <ul style="list-style-type: none"> ○ (Describe how the proposal preserves the historic character or compliance with property's existing Historic Preservation Plan)

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Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. Legislative draft of the proposed development standards, or amended development standards (form provided)</p> <ul style="list-style-type: none"> • 8 ½" x 11" – 2 copies <p>(Must adhere to the Maricopa County Recorder requirements)</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>c. Legislative draft of the list of Land Uses, if proposed (PBD, SC)</p> <ul style="list-style-type: none"> • 8 ½" x 11" – 2 copies <p>(Must adhere to the Maricopa County Recorder requirements)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>d. A dimensioned plan indicating the proposed boundaries of the application</p> <ul style="list-style-type: none"> • 11" x 17" – 1 copy (quality suitable for reproduction) • 8 ½" x 11" – 1 copy (quality suitable for reproduction) • Digital - 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>e. Context Aerial with the proposed site improvements superimposed</p> <ul style="list-style-type: none"> • 24" x 36" – 2 color copies, folded • 11" x 17" – 1 color copy • 8 ½" x 11" – 1 color copy (quality suitable for reproduction) <p>Aerial shall not be more than 1 year old and shall include and overlay of the site plan showing lot lines, tracts, easements, street locations/names and surrounding zoning for a radius from the site of:</p> <p>_____ 750 foot radius from site</p> <p>_____ 1/4 mile radius from site</p> <p>_____ Other: _____</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>f. Site Plan</p> <ul style="list-style-type: none"> • 24" x 36" – 16 copies, folded • 11" x 17" – 1 copy (quality suitable for reproduction) • 8 ½" x 11" – 1 copy (quality suitable for reproduction) • Digital - 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>g. Subdivision Plan</p> <ul style="list-style-type: none"> • 24" x 36" – 16 copies, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 copy (quality suitable for reproduction) • Digital - 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>h. Open Space Plan (Site Plan Worksheet) (example provided)</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copies, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 copy (quality suitable for reproduction) • Digital - 1 copy (Text and drawing shall be black and white, and in the DWF format)

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Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>i. Site Cross Sections</p> <ul style="list-style-type: none"> • 24" x 36" 1 – copy, folded • 11" x 17" 1 – copy, folded
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>j. Natural Area Open Space Plan (ESL Areas)</p> <ul style="list-style-type: none"> • 24" x 36" – 2 copies, folded • 11" x 17" – 1 copy (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>k. Topography and slope analysis plan (ESL Areas)</p> <ul style="list-style-type: none"> • 24" x 36" 1 – copy, folded
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>l. Phasing Plan</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copies, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 copy (quality suitable for reproduction) • Digital - 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>m. Landscape Plan</p> <ul style="list-style-type: none"> • All plans shall be <u>black and white line drawings</u> (a grayscale copy of the color Landscape Plan will not be accept.) • 24" x 36" – 2 copies, folded of • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 copy (quality suitable for reproduction) • Digital - 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>n. Hardscape Plan</p> <ul style="list-style-type: none"> • All plans shall be <u>black and white line drawings</u> • (a grayscale copy of the color Landscape Plan will not be accept.) • 24" x 36" – 2 copies, folded of <u>black and white line drawings</u> • 11" x 17" – 1 copy
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>o. Transitions Plan</p> <ul style="list-style-type: none"> • 24" x 36" – 2 copies, folded • 11" x 17" – 1 copy (quality suitable for reproduction) • 8 ½" x 11" – 1 copy (quality suitable for reproduction) • Digital – 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>p. Parking Plan</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded • 11" x 17" – 1 copy (quality suitable for reproduction) • 8 ½" x 11" – 1 color copy (quality suitable for reproduction) • Digital – 1 copy (Text and drawing shall be black and white, and in the DWF format)

Planning and Development Services

7447 E Indian School Road Suite 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088

Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>q. Parking Master Plan</p> <p>See the City's <u>Zoning Ordinance, Article IX</u> for specific submittal and content requirements for Parking Master Plan. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 2 copies
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>r. Pedestrian and Vehicular Circulation Plan</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 1/2" x 11" – 1 color copies (quality suitable for reproduction) • Digital – 1 copy (See Digital Submittal Plan Requirements)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>s. Elevations</p> <ul style="list-style-type: none"> • 24" x 36" – 2 folded black and white line drawing copies (a grayscale copy of the color elevations will not be accepted) • 24" x 36" – 2 color copies, folded • 11" x 17" – 1 color copy, folded (quality suitable for reproduction) • 11" x 17" – 1 black and white line drawing copy, folded (quality suitable for reproduction) • 8 1/2" x 11" – 1 color copy, (quality suitable for reproduction) • 8 1/2" x 11" – 1 black and white line drawing copy, folded (quality suitable for reproduction) • Digital – 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>t. Elevations Worksheet(s)</p> <p>Required for all Development applications to rezone to Planned Unit Development (PUD) and Downtown when elevations are required to be submitted</p> <ul style="list-style-type: none"> • 24" x 36" – 2 copies, folded • Digital – 1 copy (See Digital Submittal Plan Requirements)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>u. Perspectives</p> <ul style="list-style-type: none"> • 11" x 17" – 1 color copy, folded (quality suitable for reproduction) • 8 1/2" x 11" – 1 color copy (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>v. Floor Plans</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>w. Floor Plan Worksheet(s)</p> <p>(Required for restaurants, bars or development containing there-of, and multi-family developments)</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded • 11" x 17" - 1 copy, folded (quality suitable for reproduction) • Digital – 1 copy (Text and drawing shall be black and white, and in the DWF format)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>x. Roof Plan Worksheet(s)</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded

Planning and Development Services

7447 E Indian School Road Suite 105, Scottsdale, AZ 85251 Phone: 480-312-7000 Fax: 480-312-7088

Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>y. Electronic Massing Model:</p> <ul style="list-style-type: none"> • 11" x 17" – 1 color copy, folded • 8 ½" x 11" – 1 color copy (quality suitable for reproduction) <p>Scaled model indicating building masses on the site plan and the mass of any building within:</p> <p>_____ 750 foot radius from site</p> <p>_____ Other: _____</p> <p>(The electronic model shall be a computer generated Sketch-up® model or other electronic modeling media acceptable to the Current Planning Services department.)</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>z. Solar Analysis</p> <p>The solar analysis shall be completed for twenty first day of March, June, September, and December at 6:00 a.m., 9:00 a.m., 12:00 p.m., 3:00 p.m. and 6:00 p.m.</p> <p>Required for all Development applications to rezone to Planned Unit Development (PUD).</p> <ul style="list-style-type: none"> • 11" x 17" – 1 copy, folded (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>aa. Exterior Lighting Site Plan</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>bb. Manufacturer Cut Sheets of All Proposed Lighting</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>cc. Cultural Improvement Program Plan</p> <p>_____ Conceptual design</p> <ul style="list-style-type: none"> • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 color copies (quality suitable for reproduction) <p>_____ Narrative explanation of the methodology to comply with the requirement/contribution.</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>dd. Sensitive Design Concept Plan and Proposed Design Guidelines (Architectural, landscape, hardscape, exterior lighting, community features, common structures, etc.)</p> <ul style="list-style-type: none"> • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 color copy (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>ee. Master Thematic Architectural Character Plan</p> <ul style="list-style-type: none"> • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 color copy (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>ff. Conceptual Signage Plan</p> <ul style="list-style-type: none"> • 11" x 17" – 1 copy, folded (quality suitable for reproduction) • 8 ½" x 11" – 1 color copy (quality suitable for reproduction)

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Rezoning Development Application Checklist

gg. Other:

- 24" x 36" – _____ copy(ies), folded
- 11" x 17" – _____ copy(ies), folded (quality suitable for reproduction)
- 8 ½" x 11" – _____ copy(ies) (quality suitable for reproduction)
- Digital – 1 copy (See Digital Submittal Plan Requirements)

24 Development Plan Booklets

- 11" x 17" – 3 copies (quality suitable for reproduction)
- 8 ½" x 11" – 1 copy (quality suitable for reproduction)
- Digital – 1 (See Digital Submittal Plan Requirements)
- 8 ½" x 11" – 3 copies on archival (acid free) paper this is a **delayed submittal** that is to be made after the Planning Commission recommendation

The Development Plan Booklets shall include the following.

- Application Narrative
- Legislative draft of the proposed development standards, or amended development standards
- Legislative draft of the proposed List of Land Uses
- A dimensioned plan indicating the proposed boundaries of the application
- Context Aerial with the proposed Site Plan superimposed
- Site Plan
- Subdivision Plan
- Open Space Plan
- Phasing Plan
- Landscape Plan
- Hardscape Plan
- Transitions Plan
- Parking Plan
- Pedestrian and Vehicular Circulation Plan
- Conceptual Elevations
- Conceptual Perspectives
- Electronic Massing Model
- Solar Analysis
- Exterior Lighting Plan
- Manufacturer Cut Sheets of All Proposed Lighting
- Cultural Amenities Plan
- Special Impacts Analysis (Lighting Program, Dust Control, Noise Analysis and Control)
- Sensitive Design Concept Plan and Proposed Design Guidelines (architectural, landscape, hardscape, exterior lighting, community features, common structures, etc)
- Master Thematic Architectural Character Plan
- Conceptual Signage Plan
- Other

Color and black and white line drawings shall be provided in accordance with the individual plan requirements above

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Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>25. Proposed Public Benefit Narrative, Plan, and Total Construction Cost Estimate for proposed development standard bonus(es)</p> <p>(PBD, Infill Incentive, or PCP rezoning applications that include the use bonus provisions. A professional consultant shall provide the Total Construction Cost Estimate)</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>26. Drainage Report</p> <p>See the City's <u>Design Standards & Policies Manual</u> for specific submittal and content requirements for drainage report. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits, full color aerial, topography maps and preliminary grading and drainage plans. Full size plans/maps shall be folded and contained in pockets.</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 2 copies of the Drainage Report including full size plans/maps in pockets
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>27. Master Drainage Plan</p> <p>See the City's <u>Design Standards & Policies Manual</u> for specific submittal and content requirements for Master Drainage Report. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits, full color aerial, topography maps and preliminary grading and drainage plans. Full size plans/maps shall be folded and contained in pockets.</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 2 copies of the Drainage Report including full size plans/maps in pockets
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>28. Preliminary Basis of Design Report for Water and Wastewater</p> <p>See the City's <u>Design Standards & Policies Manual</u> for specific submittal and content requirements for Basis of Design Report for Water. The report shall be bound and must include all required exhibits and plans.</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 3 copies of the Report including full size plans/maps in pockets
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>29. Preliminary Basis of Design Report for Wastewater</p> <p>See the City's <u>Design Standards & Policies Manual</u> for specific submittal and content requirements for Design Report for Wastewater. The report shall be bound and must include all required exhibits and plans.</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 3 copies of the Report including full size plans/maps in pockets
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>30. Master Plan for Water</p> <p>Contact the Water Resources Department at 480-312-5685 to discuss offsite and onsite analysis and report content. The report shall be bound and must include all required exhibits and plans.</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 3 copies of the Report including full size plans/maps in pockets
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>31. Master Plan and Design Report for Wastewater</p> <p>Contact the Water Resources Department at 480-312-5685 to discuss offsite and onsite analysis and report content. The report shall be bound and must include all required exhibits and plans.</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 3 copies of the Basis of Design Report for Water including full size plans/maps in pockets

Planning and Development Services

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Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>32. Transportation Impact & Mitigation Analysis (TIMA)</p> <p>Please review the City's Design Standards & Policies Manual and Transportation Impact and Mitigation Analysis Requirements provided with the application material for the specific requirements. The report shall be bound (3 ring, GBC or coil wire, no staples) with card stock front and back covers, and must include all required exhibits, and plans.</p> <p><input type="checkbox"/> Category 1 Study</p> <p><input type="checkbox"/> Category 2 Study</p> <p><input type="checkbox"/> Category 3 Study</p> <ul style="list-style-type: none"> • 8-1/2" x 11" - 3 copies of the Transportation Impact & Mitigation Analysis Water including full size plans/maps in pockets
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>33. Native Plant Submittal Requirements: (form provided)</p> <ul style="list-style-type: none"> • 24" x 36" 1 – copy, folded. <p>(Aerial with site plan overlay to show spatial relationships of existing protected plants and significant concentrations on vegetation to proposed development)</p> <ul style="list-style-type: none"> • See Sec. 7.504 of the Zoning Ordinance for specific submittal requirements.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<p>34. Environmental Features Map</p> <ul style="list-style-type: none"> • 24" x 36" – 1 copy, folded • 11" x 17" – 1 copy, folded (quality suitable for reproduction)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>35. Other:</p> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>


PART III – SUBMITTAL OF THE DEVELOPMENT APPLICATION

Req'd	Rec'd	Description of Documents Required for Complete Application. No application shall be accepted without all items marked below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>36. An appointment must be scheduled to submit this application. To schedule your submittal meeting please call 480-312-7000. Request a submittal meeting with a Planning Specialist and provide your case pre-app number; _____-PA-_____.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>37. Submit all items indicated on this checklist pursuant to the Submittal Instructions provided.</p>

Planning and Development Services

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Rezoning Development Application Checklist

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>38. Submit all additional items that are required pursuant to the stipulations of any other Development Application that this application is reliant upon</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>39. Delayed Submittal. Additional copies of all or certain required submittal indicated items above will be require at the time your Project Coordinator is preparing the public hearing report(s). Your Project Coordinator will request these items at that time, and they are to be submitted by the date indicated in the request.</p>
<input checked="" type="checkbox"/>		<p>40. If you have any question regarding this application checklist, please contact your Project Coordinator.</p> <p>Coordinator Name (print): <u>JESSIE MURILLO</u> Phone Number: <u>480.312.7847</u></p> <p>Coordinator email: <u>jmurillo@scottsdaleaz.gov</u> Date: <u>7-13-2016</u></p> <p>Coordinator Signature: </p> <p>If the Project Coordinator is no-longer available, please contact the Current Planning Director at the phone number in the footer of this page if you have any question regarding this application checklist.</p> <p>This application needs a: <input checked="" type="checkbox"/> New Project Number, or <input type="checkbox"/> A New Phase to an old Project Number: _____</p> <p>Required Notice</p> <p>Pursuant to A.R.S. §9-836, an applicant/agent may request a clarification from the City regarding an interpretation or application of a statute, ordinance, code or authorized substantive policy, or policy statement. Requests to clarify an interpretation or application of a statute, ordinance, code, policy statement administered by the Planning, Neighborhood and Transportation Division, including a request for an interpretation of the Zoning Ordinance, shall be submitted in writing to the One Stop Shop to the attention of the Planning, Neighborhood & Transportation Administrator. All such requests must be submitted in accordance with the A.R.S. §9-839 and the City's applicable administrative policies available at the Planning, Neighborhood and Transportation Division's One Stop Shop, or from the city's website: http://www.scottsdaleaz.gov/bldgresources/forms.</p> <p>Planning, Neighborhood and Transportation Division One Stop Shop Planning, Neighborhood & Transportation Administrator 7447 E. Indian School Rd, Suite 105 Scottsdale, AZ 85251 Phone: (480) 312-7000</p>

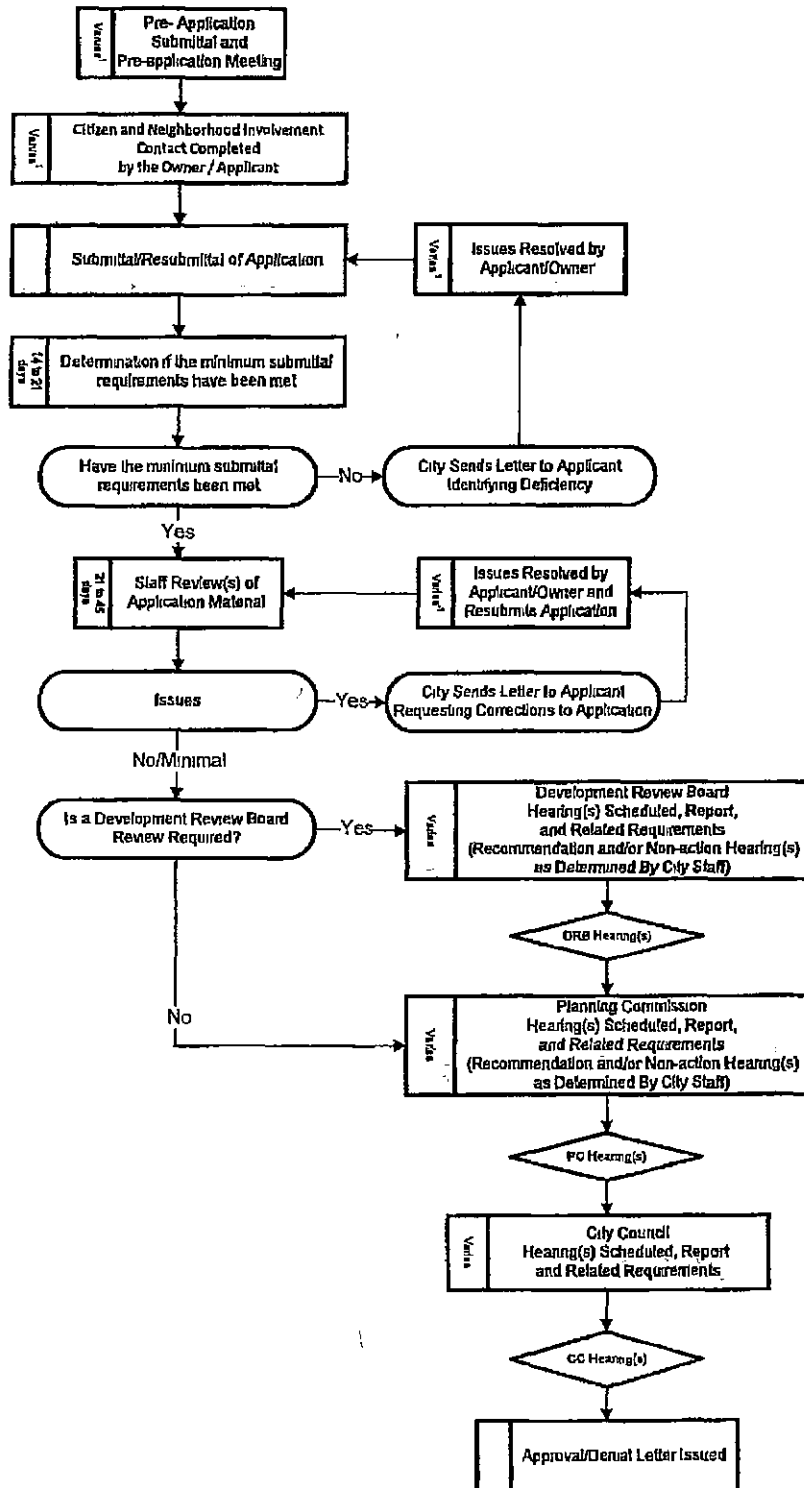
Planning and Development Services

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Development Application Process

**Abandonment (AB), Municipal Use Master Site Plan (UP),
Infill Incentive (II) & Zoning District Map Amendment (ZN)**



Note
1 Time period determined by owner/applicant.

Planning and Development Services Division
7447 E Indian School Road, Suite 105 Scottsdale, AZ 85251 • Phone 480-312-7000 • Fax 480-312-7098



Development Application

Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input checked="" type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other:
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input checked="" type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input checked="" type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Project Name: The Reserve at Black Mountain

Property's Address: 216-34-003R, 216-34-269, 216-34-003N, 216-34-003T, 216-34-267, 216-34-268, 216-34-003M, 216-34-003S

Property's Current Zoning District Designation: R1-190

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the City regarding this Development Application. The agent/applicant shall be responsible for communicating all City information to the owner and the owner application team.

Owner: See attached	Agent/Applicant: Alex Stedman
Company:	Company: LVA Urban Design Studio, LLC
Address:	Address: 120 S. Ash Ave. Tempe, AZ 85251
Phone: Fax:	Phone: 480-994-0994 Fax:
E-mail:	E-mail: astedman@lvadesign.com
Designer: Alex Stedman	Engineer: Andrew Jupp
Company: LVA Urban Design Studio	Company: Kimley-Horn
Address: 120 S. Ash Ave. Tempe, AZ 85281	Address: 7740 N. 16th St. #300 Phoenix, AZ 85020
Phone: 480-994-0994 Fax:	Phone: 602-906-1373 Fax:
E-mail: astedman@lvadesign.com	E-mail: andrew.jupp@kimley-horn.com

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).

- This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications¹ will be reviewed in a format similar to the Enhanced Application Review methodology.

<input checked="" type="checkbox"/> Enhanced Application Review:	I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.
<input type="checkbox"/> Standard Application Review:	I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature

Agent/Applicant Signature

Official Use Only

Submittal Date:

Development Application No.:

Planning, Neighborhood & Transportation

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale's Website: www.scottsdaleaz.gov



Development Application

Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other:
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Project Name: The Reserve at Black Mountain

Property's Address: NWC Black Mountain Rd. & 84th St. (APN # 216-34-003M & 216-34-003S)

Property's Current Zoning District Designation: R1-190

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the City regarding this Development Application. The agent/applicant shall be responsible for communicating all City information to the owner and the owner application team.

Owner: Gary P Mineo

Agent/Applicant: Randy Clarno

Company:

Company: Pinnacle Land Development LLC

Address:

Address: 7440 E. Pinnacle Peak Rd. #142 Scottsdale, AZ 85255

Phone:

Fax:

Phone: 480-401-0800

Fax:

E-mail:

E-mail: randy@criterionland.com

Designer: Alex Stedman

Engineer: Andrew Jupp

Company: LVA Urban Design Studio

Company: Kimley-Horn

Address: 120 S. Ash Ave. Tempe, AZ 85281

Address: 7740 N. 16th St. #300 Phoenix, AZ 85020

Phone: 480-994-0994

Fax:

Phone: 602-906-1373

Fax:

E-mail: astedman@lvadesign.com

E-mail: andrew.jupp@kimley-horn.com

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).

- This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications will be reviewed in a format similar to the Enhanced Application Review methodology.



Enhanced Application Review:

I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.



Standard Application Review:

I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature

Agent/Applicant Signature

Official Use Only

Submittal Date:

Development Application No.:

Planning, Neighborhood & Transportation

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale's Website: www.scottsdaleaz.gov



Development Application

Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input checked="" type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
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Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
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<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Project Name: The Reserve at Black Mountain

Property's Address: NWC Black Mountain Rd. & 84th St. (APN # 216-34-003R)

Property's Current Zoning District Designation: R1-190

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the City regarding this Development Application. The agent/applicant shall be responsible for communicating all City information to the owner and the owner application team.

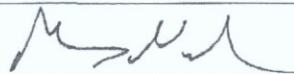
Owner: <u>MARCUS NIEMEKA</u>	Agent/Applicant: Randy Clarno
Company:	Company: Pinnacle Land Development LLC
Address: <u>35026 N. 84th STREET</u>	Address: 7440 E. Pinnacle Peak Rd. #142 Scottsdale, AZ 85255
Phone: <u>480-686-1302</u> Fax: <u>SCOTTSDALE</u>	Phone: 480-401-0800 Fax:
E-mail: <u>MARCUS NIEMEKA @ GMAIL.COM</u>	E-mail: randy@criterionland.com
Designer: Alex Stedman	Engineer: Andrew Jupp
Company: LVA Urban Design Studio	Company: Kimley-Horn
Address: 120 S. Ash Ave. Tempe, AZ 85281	Address: 7740 N. 16th St. #300 Phoenix, AZ 85020
Phone: 480-994-0994 Fax:	Phone: 602-906-1373 Fax:
E-mail: astedman@lvadesign.com	E-mail: andrew.jupp@kimley-horn.com

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Enhanced Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

Standard Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.


Owner Signature


Agent/Applicant Signature

Official Use Only

Submittal Date:

Development Application No.:

Planning, Neighborhood & Transportation

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale's Website: www.scottsdaleaz.gov



Development Application

Development Application Type:

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Zoning	Development Review	Signs
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<input checked="" type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
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<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
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<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input checked="" type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Project Name: The Reserve at Black Mountain

Property's Address: NWC Black Mountain Rd. & 84th St. (APN # 216-34-003N & 216-34-269)

Property's Current Zoning District Designation: R1-190

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the City regarding this Development Application. The agent/applicant shall be responsible for communicating all City information to the owner and the owner application team.

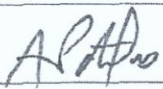
Owner: Patil Ashwinkumar	Agent/Applicant: Randy Clarno
Company:	Company: Pinnacle Land Development LLC
Address:	Address: 7440 E. Pinnacle Peak Rd. #142 Scottsdale, AZ 85255
Phone: Fax:	Phone: 480-401-0800 Fax:
E-mail:	E-mail: randy@criterionland.com
Designer: Alex Stedman	Engineer: Andrew Jupp
Company: LVA Urban Design Studio	Company: Kimley-Horn
Address: 120 S. Ash Ave. Tempe, AZ 85281	Address: 7740 N. 16th St. #300 Phoenix, AZ 85020
Phone: 480-994-0994 Fax:	Phone: 602-906-1373 Fax:
E-mail: astedman@lvadesign.com	E-mail: andrew.jupp@kimley-horn.com

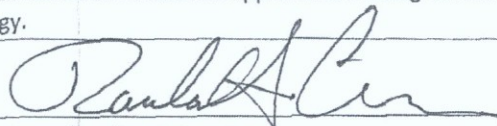
Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).

- This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications¹ will be reviewed in a format similar to the Enhanced Application Review methodology.

Enhanced Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

Standard Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

 10/4/2016
Owner Signature


Agent/Applicant Signature

Official Use Only Submittal Date: Development Application No.:

Planning, Neighborhood & Transportation
7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088
City of Scottsdale's Website: www.scottsdaleaz.gov



Development Application

Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning		Development Review		Signs	
<input type="checkbox"/>	Text Amendment (TA)	<input type="checkbox"/>	Development Review (Major) (DR)	<input type="checkbox"/>	Master Sign Program (MS)
<input checked="" type="checkbox"/>	Rezoning (ZN)	<input type="checkbox"/>	Development Review (Minor) (SA)	<input type="checkbox"/>	Community Sign District (MS)
<input type="checkbox"/>	In-fill Incentive (II)	<input type="checkbox"/>	Wash Modification (WM)	Other:	
<input type="checkbox"/>	Conditional Use Permit (UP)	<input type="checkbox"/>	Historic Property (HP)	<input type="checkbox"/>	Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance		Land Divisions (PP)		<input type="checkbox"/>	General Plan Amendment (GP)
<input type="checkbox"/>	Hardship Exemption (HE)	<input checked="" type="checkbox"/>	Subdivisions	<input type="checkbox"/>	In-Lieu Parking (IP)
<input type="checkbox"/>	Special Exception (SX)	<input type="checkbox"/>	Condominium Conversion	<input checked="" type="checkbox"/>	Abandonment (AB)
<input type="checkbox"/>	Variance (BA)	<input type="checkbox"/>	Perimeter Exceptions	Other Application Type Not Listed	
<input type="checkbox"/>	Minor Amendment (MA)	<input type="checkbox"/>	Plat Correction/Revision	<input type="checkbox"/>	

Project Name: The Reserve at Black Mountain

Property's Address: NWC Black Mountain Rd. & 84th St. (APN # 216-34-267)

Property's Current Zoning District Designation: R1-190

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the City regarding this Development Application. The agent/applicant shall be responsible for communicating all City information to the owner and the owner application team.

Owner: Randy Clarno	Agent/Applicant: Randy Clarno
Company:	Company: Pinnacle Land Development LLC
Address:	Address: 7440 E. Pinnacle Peak Rd. #142 Scottsdale, AZ 85255
Phone: Fax:	Phone: 480-401-0800 Fax:
E-mail:	E-mail: randy@criterionland.com
Designer: Alex Stedman	Engineer: Andrew Jupp
Company: LVA Urban Design Studio	Company: Kimley-Horn
Address: 120 S. Ash Ave. Tempe, AZ 85281	Address: 7740 N. 16th St. #300 Phoenix, AZ 85020
Phone: 480-994-0994 Fax:	Phone: 602-906-1373 Fax:
E-mail: astedman@lvadesign.com	E-mail: andrew.jupp@kimley-horn.com

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).

- This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications¹ will be reviewed in a format similar to the Enhanced Application Review methodology.

Enhanced Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.

Standard Application Review: I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.

Owner Signature

Agent/Applicant Signature

Official Use Only

Submittal Date:

Development Application No.:

Planning, Neighborhood & Transportation

7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088

City of Scottsdale's Website: www.scottsdaleaz.gov



Request for Site Visits and/or Inspections

Construction Document Application

This request concerns all property identified in the construction document (plan review) application.

Project Name: The Reserve at Black Mountain

Project Address: APN# 216-34-003M & 216-34-003S

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner /Property owner's agent: _____

Gary P. Mined
Print Name

[Signature]
Signature

City Use Only:

Submittal Date: _____ Plan review number: _____

Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088

Rev 9/2012

26-ZN-2016
11/02/2016



Request for Site Visits and/or Inspections

Construction Document Application

This request concerns all property identified in the construction document (plan review) application.

Project Name: The Reserve at Black Mountain

Project Address: 35026 N. 84th St. Scottsdale, Az 85266
APN# 216-34-003R

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner /Property owner's agent:

MARCUS NIEMELA

Print Name

[Handwritten Signature]

Signature

City Use Only:

Submittal Date: _____ Plan review number: _____

Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088



Request for Site Visits and/or Inspections

Construction Document Application

This request concerns all property identified in the construction document (plan review) application.

Project Name: The Reserve at Black Mountain

Project Address: APN# 216-34-269 & 216-34-003N

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner /Property owner's agent: ASHWINIKUMAR PATEL
Print Name

AP Patel 10/4/16
Signature

City Use Only:	
Submittal Date: _____	Plan review number: _____
Planning, Neighborhood & Transportation Division 7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088	



Request for Site Visits and/or Inspections

Construction Document Application

This request concerns all property identified in the construction document (plan review) application.

Project Name: The Reserve at Black Mountain
Project Address: 34834 N. 83rd St. Scottsdale, AZ 85266
APN# 216-34-267

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner /Property owner's agent:

Randal S. Clarno

Print Name

Randal S. Clarno

Signature

City Use Only:

Submittal Date: _____ Plan review number: _____

Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088



Request for Site Visits and/or Inspections

Construction Document Application

This request concerns all property identified in the construction document (plan review) application

Project Name The Reserve at Black Mountain

Project Address APN # 216-34-003T

STATEMENT OF AUTHORITY

- 1 I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all
- 2 I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

- 1 I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application
- 2 I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection

Property owner /Property owner's agent

DAT TRAN

Print Name

Signature

City Use Only

Submittal Date _____ Plan review number _____

Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone 480-312-7000 ♦ Fax 480-312-7088



Request To Submit Concurrent Development Applications Acknowledgment and Agreement

The City of Scottsdale recognizes that a property owner may desire to submit concurrent development applications for separate purposes where one or more the development applications are reliant upon the approval of another development application. City Staff may agree to process concurrently where one or more the development applications are reliant upon the approval of another development application upon receipt of a complete form signed by the property owner.

Development Application Types		
Please check the appropriate box of the types of applications that you are requesting to submit concurrently		
Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Owner: Gary P. Mineo
 Company: _____
 Address: 22280 Sky Breeze Court Murrieta, CA 92562
 Phone: 951 331 9221 Fax: _____
 E-mail: d.mineo4olm@gmail.com

As the property owner, by providing my signature below, I acknowledge and agree: 1) that the concurrent development applications are processed at the property owner's risk; 2) to hold the City harmless of all cost, expense, claims, or other liability arising in connection with the concurrent development applications; 3) to the City of Scottsdale's Substantive Policy Statement pertaining to Concurrent Applications that states that a concurrent development application that is reliant on a decision of separate development application and is submitted at the risk of the property owner, is not considered to be subject to the provisions and timeframes of the Regulatory Bill of Rights (A.R.S. §9-831 – 9-840); and 4) that upon completion of the City review(s) of the development applications, the development application(s) may not be approved.

Property owner (Print Name): Gary P. Mineo Title: Owner

 Signature: [Handwritten Signature] Date: 10/5/16

Official Use Only: Request: <input type="checkbox"/> Approved or <input type="checkbox"/> Denied Staff Name (Print): _____	Submittal Date: _____
Staff Signature: _____	Date: _____

Planning, Neighborhood & Transportation Division
 7447 East Indian School Road Suite 105, Scottsdale, Arizona 85251 Phone: 480-312-7000 Fax: 480-312-7088
 City of Scottsdale's Website: www.scottsdaleaz.gov
 Page 1 of 1 Revising Date: 01/25/2013

26-ZN-2016
11/02/2016



Request To Submit Concurrent Development Applications Acknowledgment and Agreement

The City of Scottsdale recognizes that a property owner may desire to submit concurrent development applications for separate purposes where one or more the development applications are reliant upon the approval of another development application. City Staff may agree to process concurrently where one or more the development applications are reliant upon the approval of another development application upon receipt of a complete form signed by the property owner.

Development Application Types		
Please check the appropriate box of the types of applications that you are requesting to submit concurrently		
Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input checked="" type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input checked="" type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input checked="" type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Owner: MARCUS NIEMELA

Company: _____

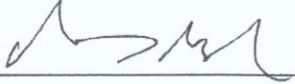
Address: 35026 N. 84th STREET SCOTTSDALE, AZ 85266

Phone: _____ Fax: _____

E-mail: _____

As the property owner, by providing my signature below, I acknowledge and agree: 1) that the concurrent development applications are processed at the property owner's risk; 2) to hold the City harmless of all cost, expense, claims, or other liability arising in connection with the concurrent development applications; 3) to the City of Scottsdale's Substantive Policy Statement pertaining to Concurrent Applications that states that a concurrent development application that is reliant on a decision of separate development application and is submitted at the risk of the property owner, is not considered to be subject to the provisions and timeframes of the Regulatory Bill of Rights (A.R.S. §9-831 – 9-840); and 4) that upon completion of the City review(s) of the development applications, the development application(s) may not be approved.

Property owner (Print Name): MARCUS NIEMELA Title: OWNER


Date: 10-3-16

Signature

Official Use Only: Request: <input type="checkbox"/> Approved or <input type="checkbox"/> Denied Staff Name (Print): _____ Staff Signature: _____	Submittal Date: _____ Date: _____
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------



Request To Submit Concurrent Development Applications

Acknowledgment and Agreement

The City of Scottsdale recognizes that a property owner may desire to submit concurrent development applications for separate purposes where one or more the development applications are reliant upon the approval of another development application. City Staff may agree to process concurrently where one or more the development applications are reliant upon the approval of another development application upon receipt of a complete form signed by the property owner.

Development Application Types		
Please check the appropriate box of the types of applications that you are requesting to submit concurrently		
Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input checked="" type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input checked="" type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input checked="" type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Owner: Patril Ashwinkumar

Company: _____

Address: _____

Phone: _____ Fax: _____

E-mail: _____

As the property owner, by providing my signature below, I acknowledge and agree: 1) that the concurrent development applications are processed at the property owner's risk; 2) to hold the City harmless of all cost, expense, claims, or other liability arising in connection with the concurrent development applications; 3) to the City of Scottsdale's Substantive Policy Statement pertaining to Concurrent Applications that states that a concurrent development application that is reliant on a decision of separate development application and is submitted at the risk of the property owner, is not considered to be subject to the provisions and timeframes of the Regulatory Bill of Rights (A.R.S. §9-831 – 9-840); and 4) that upon completion of the City review(s) of the development applications, the development application(s) may not be approved.

Property owner (Print Name): ASHWINKUMAR PATIL Title: _____

APRIL Signature Date: 10/4/16

Official Use Only: Request: <input type="checkbox"/> Approved or <input type="checkbox"/> Denied Staff Name (Print): _____ Staff Signature: _____ Date: _____	Submittal Date: _____
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------



Request To Submit Concurrent Development Applications Acknowledgment and Agreement

The City of Scottsdale recognizes that a property owner may desire to submit concurrent development applications for separate purposes where one or more the development applications are reliant upon the approval of another development application. City Staff may agree to process concurrently where one or more the development applications are reliant upon the approval of another development application upon receipt of a complete form signed by the property owner.

Development Application Types		
Please check the appropriate box of the types of applications that you are requesting to submit concurrently		
Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input checked="" type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input checked="" type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input checked="" type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Owner: _____
 Company: PL Black Mountain Reserve LLC
 Address: 7440 E. Pinnacle Peak Rd. #142
 Phone: _____ Fax: _____
 E-mail: _____

As the property owner, by providing my signature below, I acknowledge and agree: 1) that the concurrent development applications are processed at the property owner's risk; 2) to hold the City harmless of all cost, expense, claims, or other liability arising in connection with the concurrent development applications; 3) to the City of Scottsdale's Substantive Policy Statement pertaining to Concurrent Applications that states that a concurrent development application that is reliant on a decision of separate development application and is submitted at the risk of the property owner, is not considered to be subject to the provisions and timeframes of the Regulatory Bill of Rights (A.R.S. §9-831 – 9-840); and 4) that upon completion of the City review(s) of the development applications, the development application(s) may not be approved.

Property owner (Print Name): Rondal S. Clamo Title: Managing Member
Rondal S. Clamo Signature Date: 10/11/16

Official Use Only: Request: <input type="checkbox"/> Approved or <input type="checkbox"/> Denied Staff Name (Print): _____ Staff Signature: _____ Date: _____	Submittal Date: _____
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------



Request To Submit Concurrent Development Applications

Acknowledgment and Agreement

The City of Scottsdale recognizes that a property owner may desire to submit concurrent development applications for separate purposes where one or more the development applications are reliant upon the approval of another development application. City Staff may agree to process concurrently where one or more the development applications are reliant upon the approval of another development application upon receipt of a complete form signed by the property owner.

Development Application Types		
Please check the appropriate box of the types of applications that you are requesting to submit concurrently		
Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input checked="" type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input checked="" type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input checked="" type="checkbox"/> Abandonment (AB)
<input type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Owner _____

Company Tran Ventures, LLC

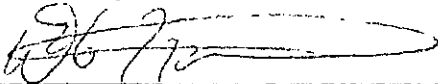
Address _____

Phone _____ **Fax** _____

E-mail _____

As the property owner, by providing my signature below, I acknowledge and agree 1) that the concurrent development applications are processed at the property owner's risk, 2) to hold the City harmless of all cost, expense, claims, or other liability arising in connection with the concurrent development applications 3) to the City of Scottsdale's Substantive Policy Statement pertaining to Concurrent Applications that states that a concurrent development application that is reliant on a decision of separate development application and is submitted at the risk of the property owner, is not considered to be subject to the provisions and timeframes of the Regulatory Bill of Rights (A.R.S. §9-831 – 9-840), and 4) that upon completion of the City review(s) of the development applications, the development application(s) may not be approved.

Property owner (Print Name) DAT TRAN Title _____



Signature _____ Date 10.4.2016

Official Use Only	Submittal Date _____
Request <input type="checkbox"/> Approved or <input type="checkbox"/> Denied	
Staff Name (Print) _____	
Staff Signature _____	Date _____