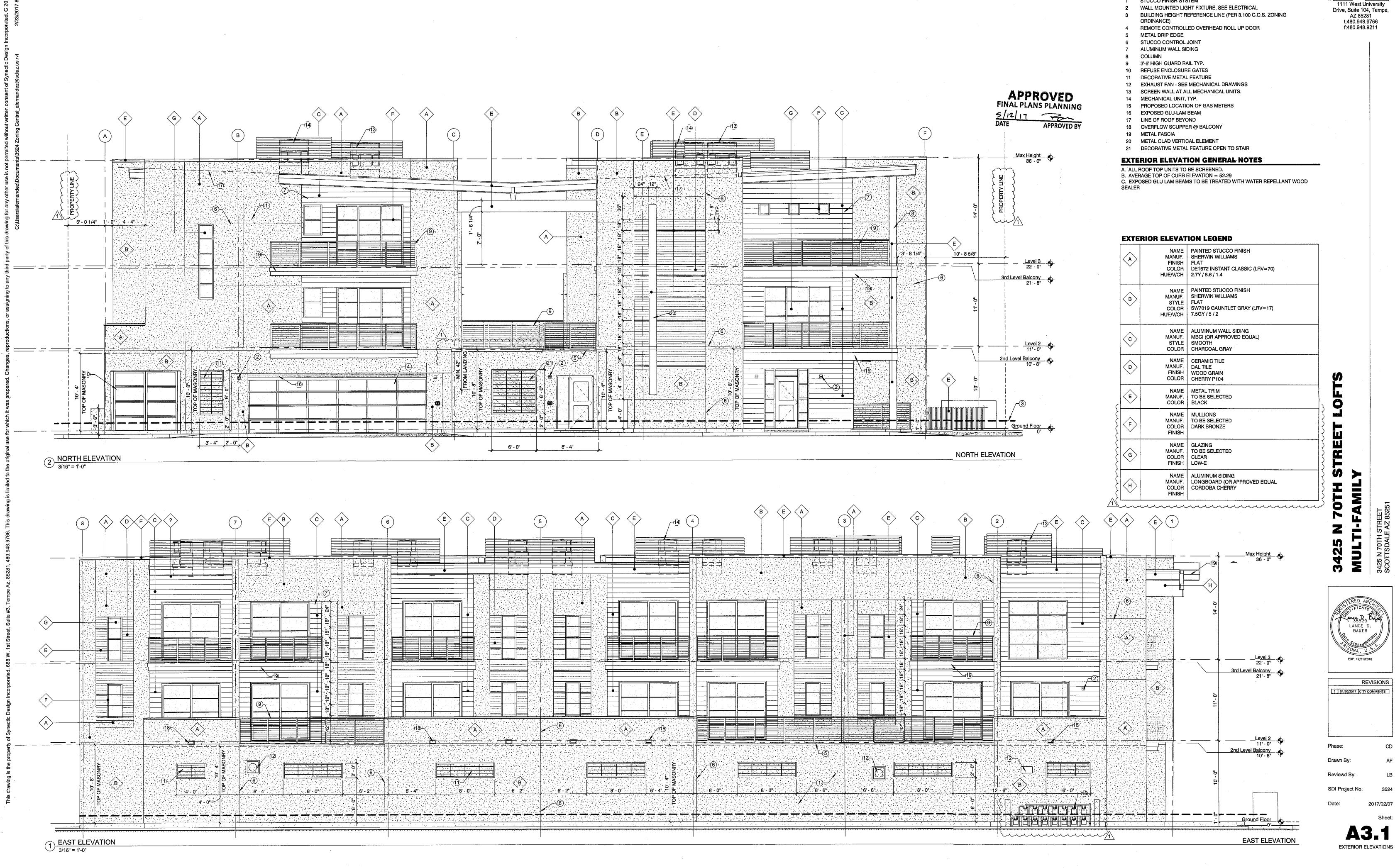
Full Size 8.5 x 11 11 x 17 (site plan, landscape, elevations)



SHEET KEYED NOTES

STUCCO FINISH SYSTEM

MULTI-FAMIL



1 01/20/2017 CITY COMMENTS

SDI Project No:

**A3.1** 

Drive, Suite 104, Tempe, AZ 85281 t:480.948.9766 f:480.948.9211

LOF MULTI-FAMILY



REVISIONS 1 01/20/2017 CITY COMMENTS

**EXTERIOR ELEVATIONS** 

prescribed distribution. For the the HA high ambient option, IP66

ultimate level of glare control and rated against the ingress of dust

and water.

visual comfort, specify the SG

option which adds a Solite® glass

lens that works in combination with

DIMENSIONS			powered by
4-7/16* 18-3/8" [466mm] 5-1/2" [140mm]	-18-3/8 <sup>-</sup> [486mm]	4-7/8" (122mm)	CERTIFICATION DATA UL/CUL Wet Location Listed 3G Vibration Rated LM79 / LM80 Compliant IP66 Rated ISO 9001 DesignLights Consortium® Qualified*  ENERGY DATA Electronic LED Driver >0.9 Power Factor <20% Total Harmonic Distortion 120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz -40°C Min. Temperature 40°C Max. Temperature 50°C Max. Temperature (HA Option)  SHIPPING DATA Approximate Net Weight: 16 lbs. 17.2 kgs.)
Powering Business Worldwide		*www.designiights.org	TD51500:

metallic. RAL and custom color

matches available. Consult the

McGraw-Edison Architectural

selection.

Colors brochure for the complete

PARKING GARAGE/

LOW-BAY LUMINAIRE

Lumen Package			B1	B2	. Вз	B4	. B5	86
Power (Wattage)			28	34	45	58	77	108
Current @ 120V (A)		0.26	0.31	0.41	0.52	0.69	0.95	
Current @ 277V (A)			0.13	0.14	0.19	0.24	0.30	0.41
	Lumens		2,933	3,631	4,613	5,518	7,272	9,438
	Lumens per Watt	CQ Concentrated	105	107	103	95	94	87
	BUG Rating	7 [	B1-U0-G1	B1-U0-G1	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1
	Lumens		2,890	3,577	4,545	5,436	7,165	9,298
3000K CCT	Lumens per Watt	MQ Medium	103	105	101	94	93	86
	BUG Rating	7 [	B2-U0-G1	B2-U0-G1	B2-U0-G2	B2-U0-G2	83-U0-G2	B3-U0-G2
	Lumens		2,670	3,305	4,199	6,022	6,619	8,590
	Lumens per Watt	WQ Wide	95	97	93	87	86	80
	BUG Rating	7	B2-U0-G1	B2-U0-G1	B2-U0-G2	83-U0-G2	83-U0-G2	B3-U0-G3
Lume	Lumens		3,334	4,133	5,581	7,198	8,730	11,138
	Lumens per Watt	CQ Concentrated	119	122	124	124	113	103
	BUG Rating	7 [	81-U0-G1	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G2
	Lumens	MQ Medium	3,285	4,072	5,498	7,091	8,601	10,973
4000K CCT	Lumens per Watt		117	120	122	122	112	102
	BUG Rating		B2-U0-G1	B2-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3
	Lumens		3,035	3,762	5,079	6,551	7,946	10,137
	Lumens per Watt	WQWide	108	113	113	113	103	94
	BUG Rating		82-U0-G1	B2-U0-G2	B3·U0-G2	83-U0-G2	B3-U0-G3	B3-U0-G3
	Lumens		3,390	4,104	5,701	7,157	8,672	11,369
	Lumens per Watt	CQ Concentrated	121	121	127	123	113	105
	BUG Rating	7 [	B1-U0-G1	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G2
	Luntens		3,339	4,043	5,617	7,051	8,544	11,201
6000K CCT	Lumens per Watt	MQ Medium	119	119	125	122	111	104
	BUG Rating		B2-U0-G1	B2-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3
	Lumens		3,085	3,735	5,189	6,514	7,893	10,348
	Lumens per Watt	WQ Wide	170	110	115	112	103	96
	BUG Rating	7 [	B2-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3

TT TOPTIER LED



ORDERING INFORMATION

Series \*

Head contains one (1)

303-W1-LEDB1

Mini LightBAR™

E:T.W

Color Temperature

TSAM =Turtle Safe Ami

(585-595nm)

3500=3500K

4000=4000K

Input Voltage

120-277, 50/60Hz

UNV=Universal T2=Type II,

LateralThrow

Extra Wide floor

NOTES: 1 Custom and RAL color metching available upon request. Consult factory for further information. 2 Add suffix in the order shown. 3 LCF option not available when WT (white) finish is selected. 4 DesignLights

T4=Type IV,

T5X=Type V,

Consortium Qualified and classified for DLC Standard. Refer to www.designlights.org for details on exact qualified EON 303-W1-LEDB1 product as not all contigurations are DLC classified.

DIMELV=Trailing Edge Phase

DIM10=0-10V Dimming

Painted BK=Black BZ=Bronze

CS=City Silver

NSS=Solid Stainless Ste

WT=White Premium Einish EDGE=Edge lit glass lens

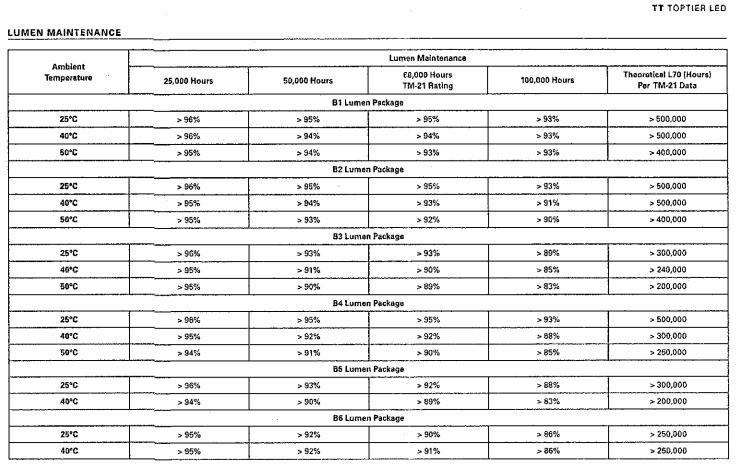
LCF=LightBAR cover plate

matches housing finish

ADL121468

March 15, 2016

	Product Fami		D-E1-WQ-AÞ ı Package		Lamp 1	уре	Voltage	
	TT=TopTier	82=No 83=No 84=No 85=No	minal 3,000 Li minal 4,000 Li minal 5,000 Li minal 7,000 Li minal 9,000 Li minal 11,000 l	umens umens umens umens <sup>2</sup>	).4	olid State ght Emitti odes	1 .	
	Options (Add	as Suffix)	minai 11,000 j	Lumens				
	IBP=Integral ( ICP=Integral ( DOS=Dimmir DIMRF-LW=L	3000K?  ng 30" Wires  n Ambient**  lesistant Har  get Protection  ght DALI Dri  Jattery Pack  Cold Weathe  in Occupanc  umaWatt Wi	dwara a Only ver(s) E28.12.12, (Specify 120V	or 277V (Specify 20' Mou Wide Le	/ 120V or 277\ nting) <sup>15</sup> ens (8' - 16' M	/, Must Si ounting)	pecify Voltage) ***	
	2. The BS and 86. 3. The BP option 4. The ICP caption 5. Replace E1 wild 6. Only for use win Delta and Three 7. Extended lead t 9. The 5LTD, IBP a 10. CG clear gluss 11. SG (Solite* gla 12. Not available i 14. Not available i 15. Multiply publi 16. Not available i 17. Multiply publi 18. Not available i 19. Multiply publi 19. Multiply publi 19. Multiply publi	lumon package is only available is only available a specific voltage the 480V Wya sy Phase Corner imas apply. If the World of TME in the World of TME is a polication and yaven on combination shed 185 files be with B6 luman configuration to compliquation to compliquation to figuration the files files be with B6 luman configuration to	s are not available in 1200 or 277,  Jole in 1200 or 277,  Jole in 1200 or 277,  John selecting stems, Por NEC,  Grounded Delte:  Brounting ontion  are not available  at the selecting of  the selecting ontion  are not available  at the selecting  are not available  are not availab	to with this in with this in with this in the strain of for us aystems).  The sum of the	e HA high embie becify voltage. 07 option (120, 20 option (120, 20 o with unground option) of the high policy of the high policy option (120, 20 option) option (120, 20 optio	nt option. C minimung 20°C minim 8, 240 or 27 ad systems 5, DIMRF-Li available w fumen pact	s, impedance grounder N or DIMRF-LWJ or the ith WQ distribution.	ient te mbien d systa HA híg
	Powering Dust	nass Worldwide			Eaton 1121 Highway 7 Peachtree City, P: 770-485-4800 svysv.eaton.com	GA 30269 I	Specifications and dimensions subject change without not	
	11164551 6441	SITEN A BIC	<b>-</b>	•			LINETED AND	\ATT
	LUMEN MAI	TM-21 Lum	en TM-21 Re	ported	Theoretical		LUMENS - CRI/C	
	Temparature 25°C 40°C 50°C	Maintenan (72,000 Hou > 94%	> 40,	(8)	(Hours) 365,000		T2 (LateralThrow)	_ [
	CURRENT D	RAW				 	(Caterary IIIOW)	
	Mode 303-W1-L		Line Voltag 120-277V, \$0/		Current Drav 0.068A	_	- Т4	
•							(ForwardThrow)	
							T5X {Extra Wide Flood	)
	ODTIONS					i	NOTES: 1 When the	LCF ap
	OPTIONS Edge							
·	(a)		lens is a visib	raplace le line d	ed with a thick	er diffuse I the edge	on, the diffuse glas glass lens adding accentuating the	5
			Edge Gi	מאני				
			<del>.</del>					
								-
	TECHNICAL							
	Hinds par TP480 or 2. The univ Cooper C steel scre	rt number: equivaten ersal wall rouse-Hin ws (not p	sTP403, TP4 t cover with plate provid ds part nun rovided).	134,TP simil ded wi nbers T	494, TP196, ar fixture n th all EON TP7086 - TP	TP395 o nounting wall mo 7122 or	ing product. Re or equivalent. Ug g locations. ount fixtures cal equivalent. The distance of 25	Jse v n be e uni



ORDERING INF	ORMATION T-B2-LED-E1-WQ-AP							
Product Family 1	Lumen Package	Lamp Type	Voltage	Distribution	Mounting	Color		
TT=TopTier	B1=Nominal 3,000 Lumens B2=Nominal 4,000 Lumens B3=Nominal 5,000 Lumens B4=Nominal 7,000 Lumens B5=Nominal 9,000 Lumens 2.2.4 B6=Nominal 11,000 Lumens 2.2.4	LED=Solid State Light Emitting Diodes	£1=Electrical (120-277V)* 347=347V 480=480V 4	CQ=Concentrated MQ=Medium WQ=Wide	[BLANK]=Surface or Pendant Mount TMB=Trunnion Mount with Connection Box WM=Wall Mount	[BLANK]=White AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metalti		
Options (Add as	Sulfix)	<del></del>	Accessories (Order	Accessories (Order Separately)				
IBP≈integral Batte ICP=Integral Cold	oK? 0" Wires * nbient 4.s n tant Hardware	V ar 277V. Must Specif	y Voltage) *.•	A CONTRACTOR OF THE CONTRACTOR	Configuration Tool for Occupancy Sens uit Module Replacement	sot <sub>12</sub>		

ed Products List under Family Models for details.

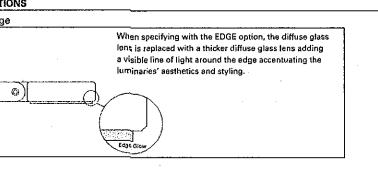
.option. minimum, 25°C maximum ambient temperatura. Not available with 86 lumen packaga. °C minimum, 25°C maximum ambient temperatura, Not available with 86 lumen packaga 240 or 277V). systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Dolta, Three Phase High Log

DIMRF-LN or DIMRF-LW) or the HA high ambient option. ailable with WQ distribution.

s high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.

	INTENANCE			LUMENS - CRI/CC		$\smile$														
Ambient Temperature	TM-21 Lumer Maintenance (72,000 Hours	L70(10k)	Theoretical L70	Optic Type	Distribution	Watts	Delivered Lumens	LPW	CCT (K) / Color	CRI nom./ Wavelength										
25°C	(72,000 Hours	(nours)	<del> </del>		[ ]		354	42	2700	95										
40°C	> 94%	> 40,000	365,000	T2	[	8.5	588	71	3000	75										
50°C	204,5	- 40,000	303,000	(LateralThrow)		0.0	411	50	3500	85										
	·			(corerattinom)			648	77	4000	75										
CURRENT D	RAW				<u> </u>	6.5	180	28	TSAM (Amber)	585-595nm										
•••		44. 14.4		· T4 (ForwardThrow)			,		310	37	2700	95								
Mode		Line Voltage	Current Draw						-4	1 -				1	<u>-</u> 4	<b>-</b> ,	(		541	65
303-W1-L	EDRI I	20-277V, \$0/60Hz	0.068A		( )	8.5	360	43	3500	85										
							568	67	4000	75										
					1	6.5	158	24	TSAM (Amber)	585-595nm										
							381	46	2700	95										
				T5X			663	80	3000	75										
			1	-	8.5	443	53	3500	85											
				(Extra Wide Flood)	1 し ノー		698	83	4000	75										
						6.5	194	30	TSAM (Amber)	585-595nm										

NOTES: 1 When the LCF option is selected use a lumen multiplier of .85

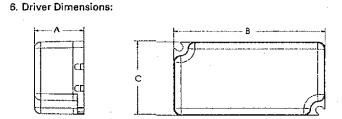




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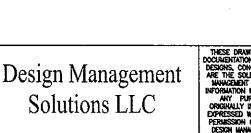
- ecifying product. Recommended junction boxes include 2-1/8" deep, 4" square weld/drawn Crouse P395 or equivalent. Use with included universal mounting plate or with Crouse-Hinds part number
- rall mount fixtures can be used with an outdoor rated two gang 30.5 cubic inch capacity outlet box. 122 or equivalent. The universal mounting plate will attach with four (4) 6-32 pan head/flat stainless
- max distance of 25 feet (voltage drop needs to be considered) or placed in the junction box behind the luminaire. 4. When specifying with the EDGE option, the diffused glass becomes thicker adding a visible line of light around the edge accentuating the luminaries'
- 5. If Luminaire will not be dimmed, the Luminaire must be ordered with DIMELV option, but does not have to be dimmed.

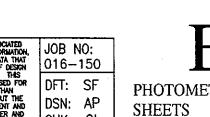


E:T·N



ADL121468 March 15, 2016







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Reviewd By:

SDI Project No:

Suite 104,

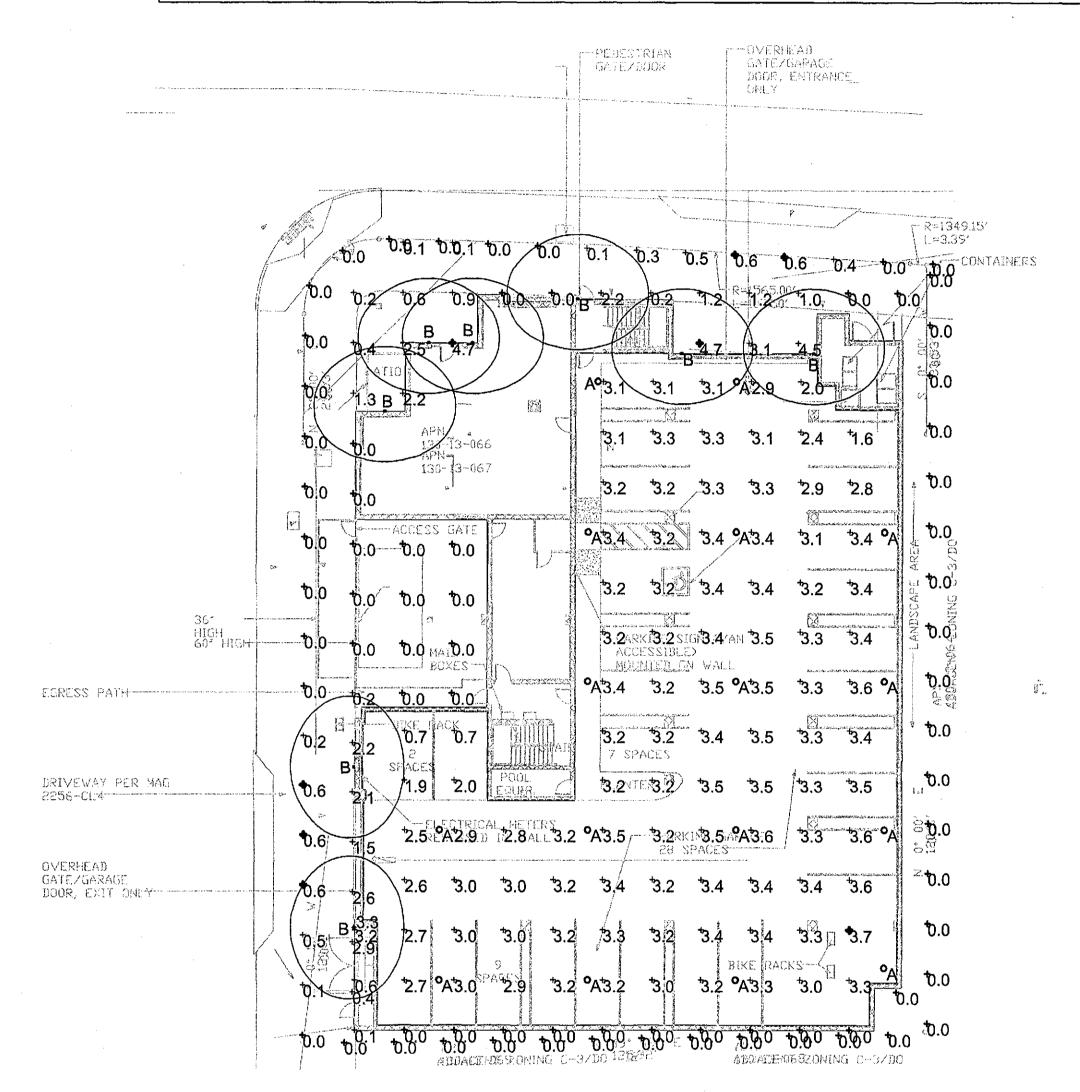
Tempe, AZ 85281

t:480.948.9766

f:480.948.9211

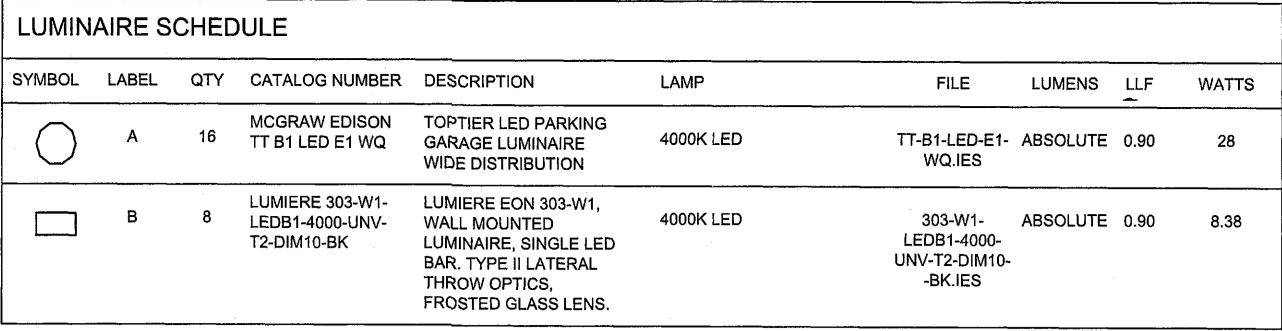
TI-FAMIL





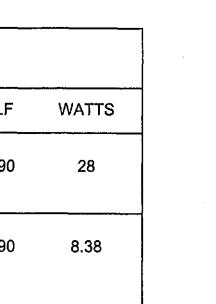
STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
С	+	3.3 FC	3.3 FC	3.3 FC	1.0:1	1.0:1
GARAGE	+	2.8 FC	3.7 FC	0.0 FC	N/A	N/A
MAX SPILL PROERTY LINE AT 6' AFG	+	0.1 FC	0.6 FC	0.0 FC	N/A	N/A
SITE	+	1.0 FC	4.7 FC	0.0 FC	N/A	N/A





--OVERHEAD

GATEZGARAGE

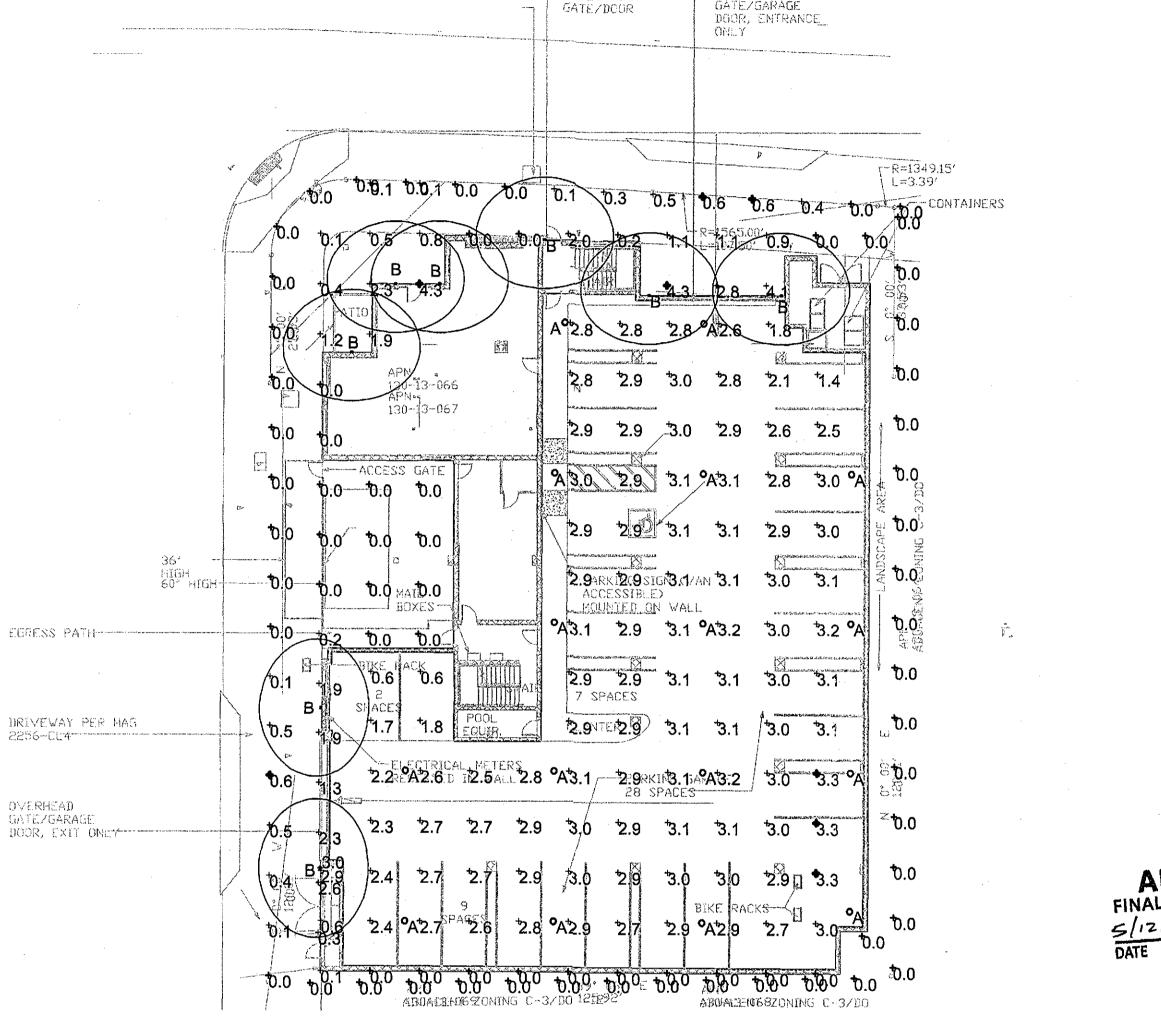


1111 W. University Dr.,

Sulte 104,

f:480.948.9211

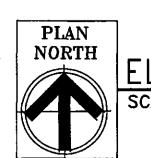
Tempe, AZ 85281 t:480.948.9766



PEDESTRIAN

APPROVED
FINAL PLANS PLANNING
S/12/17
DATE APPROVED BY

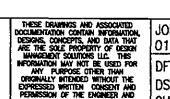
STATISTICS						Market A Market Annual Control
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
С	+	3.0 FC	3.0 FC	3.0 FC	1.0:1	1.0:1
GARAGE	+	2.5 FC	3.3 FC	0.0 FC	N/A	N/A
MAX SPILL PROERTY LINE AT 6' AFG	+	0.1 FC	0.6 FC	0.0 FC	N/A	N/A
SITE	+	0.9 FC	4.3 FC	0.0 FC	N/A	N/A



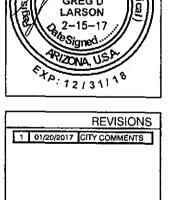
ELECTRICAL SITE PHOTOMETRIC PLAN - MAINTAINED SCALE: 1" = 20'-0"

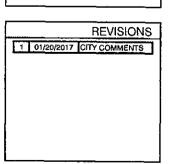


Design Management Solutions LLC

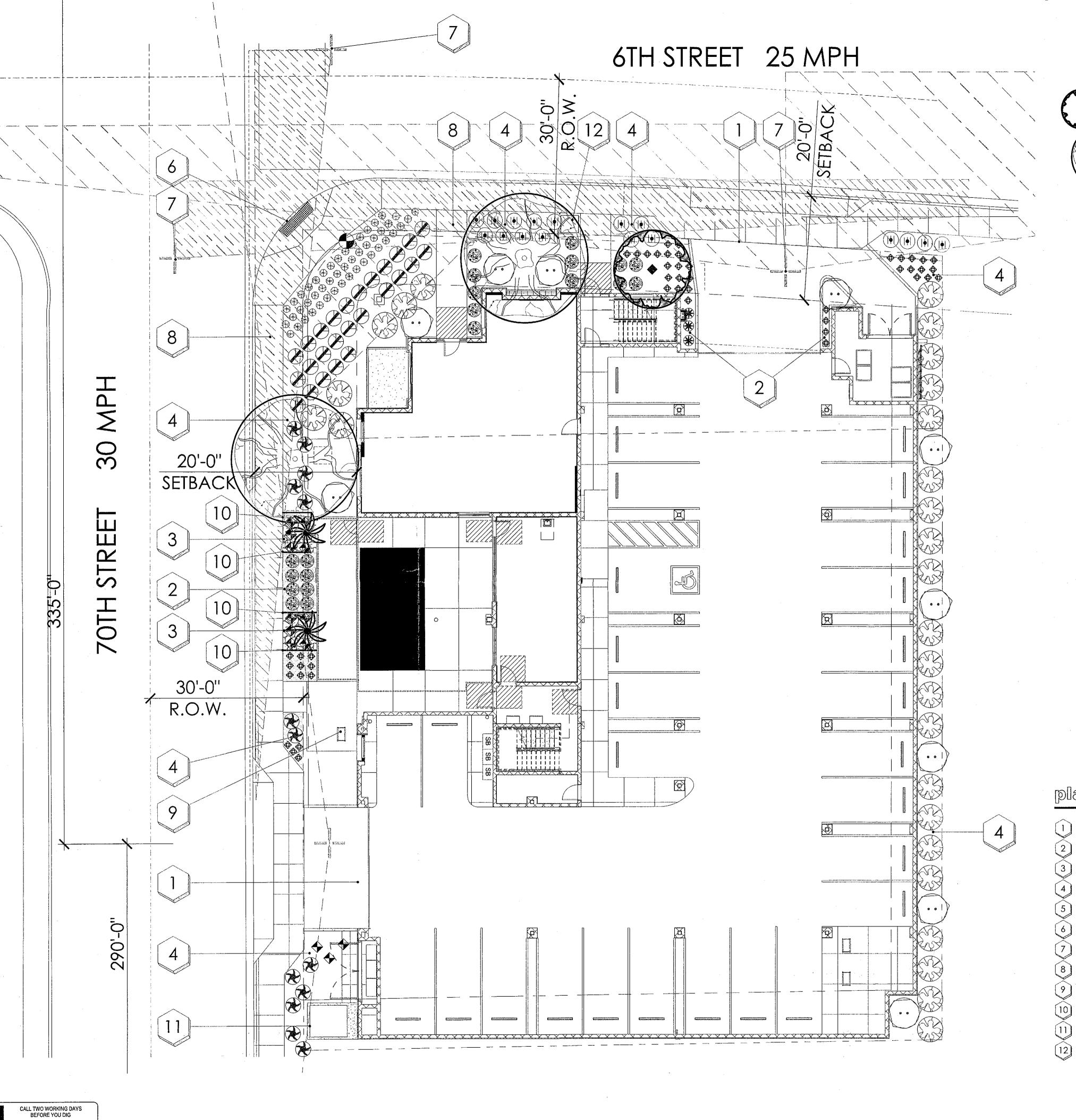








ELECTRICAL SITE PHOTOMERIC PLAN -



602-263-1100 1-800-STAKE-IT

(OUTSIDE MARICOPA COUNTY)

plant legend

<u> </u>					
	botanical name common name	emitters	size	qty	comments
trees					
	ACACIA ANEURA MULGA	(5 @ 1.0 GPH)	48" BOX	1	10.0' H, 7.0' W, 3.0" CAL
palms	PROSOPIS SEEDLESS HYBRID 'AZT™' 'AZT™' SEEDLESS HYBRID MESQUITE	(5 @ 1.0 GPH)	36" BOX	2	11.0 H., 9.0 W., 3.0 CAL.
shrubs	BIZMARKIA NOBILIS BIZMARK PALM	(2 @ 1.0 GPH)	15 GAL.	2	STAKE IN PLACE
$\odot$	CORDIA PARVIFOLIA LITTLELEAF CORDIA	(1 @ 1.0 GPH)	5 GAL.	10	
accents	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	(1 @ 1.0 GPH)	5 GAL.	26	
<b>*</b>	AGAVE PARRYI NEOMEXICANA PARRY'S AGAVE	(1 @ 1.0 GPH)	5 GAL.	13	
<b>*</b>	ALOE X. BLUE ELF BLUE ELF ALOE	(1 @ 1.0 GPH)	5 GAL.	47	
€	ALOE BARBADENSIS ALOE VERA	(1 @ 1.0 GPH)	5 GAL.	13	
	DASYLIRION WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	27	
€9	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	(1 @ 2.0 GPH)	5 GAL.	48	
	PEDILANTHUS MACROCARPUS SLIPPER PLANT Ver	(1 @ 2.0 GPH)	5 GAL.	20	
inerts	LANTANA 'NEW GOLD' NEW GOLD LANTANA	(1 @ \ 1.0 GPH)	5 GAL.	18	
4	3/4" MINUS DECOMPOSED GRANITE TABLE MESA GOLD	er Amerika Ah	1"-MINUS	3,008 SF	2" MINIMUM IN ALL PLANTERS
	3" - 4" ANGULAR RIP-RAP TABLE MESA BROWN		3" - 4"	82 SF	2" MINIMUM IN ALL PLANTERS
2	1/4" PEA GRAVEL GRAY TONES	:	1/4"	153	· · · · · · · · · · · · · · · · · · ·
10	STEEL HEADER			22 L.F.	•

APPROVED
FINAL PLANS PLANNING
S/12/17
DATE APPROVED BY

# planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 1/4" PEA GRAVEL TOP DRESSING IN PLANTING AREA.
- 3 3" 4" ROUND RIVER ROCK (TYPICAL)
- (4) 3/4" MINUS DECOMPOSED GRANITE IN PLANTING AREA
- 5 FIRE HYDRANT NO PLANT MATERIAL WITHIN 3'
- ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- 7 SIGHT DISTANCE LINE PER CITY REQUIREMENTS
- 8 SIDEWALK.
- 9 BIKE RACK SEE ARCHITECT'S SITE PLAN
- 10 STEEL HEADER
- [11] PROPOSED TRANSFORMER
- 12 EXISTING TRANSFORMER TO REMAIN



SCALE: 1" = 10'-0"

L.02 of

JOB NO:

DRAWN BY:

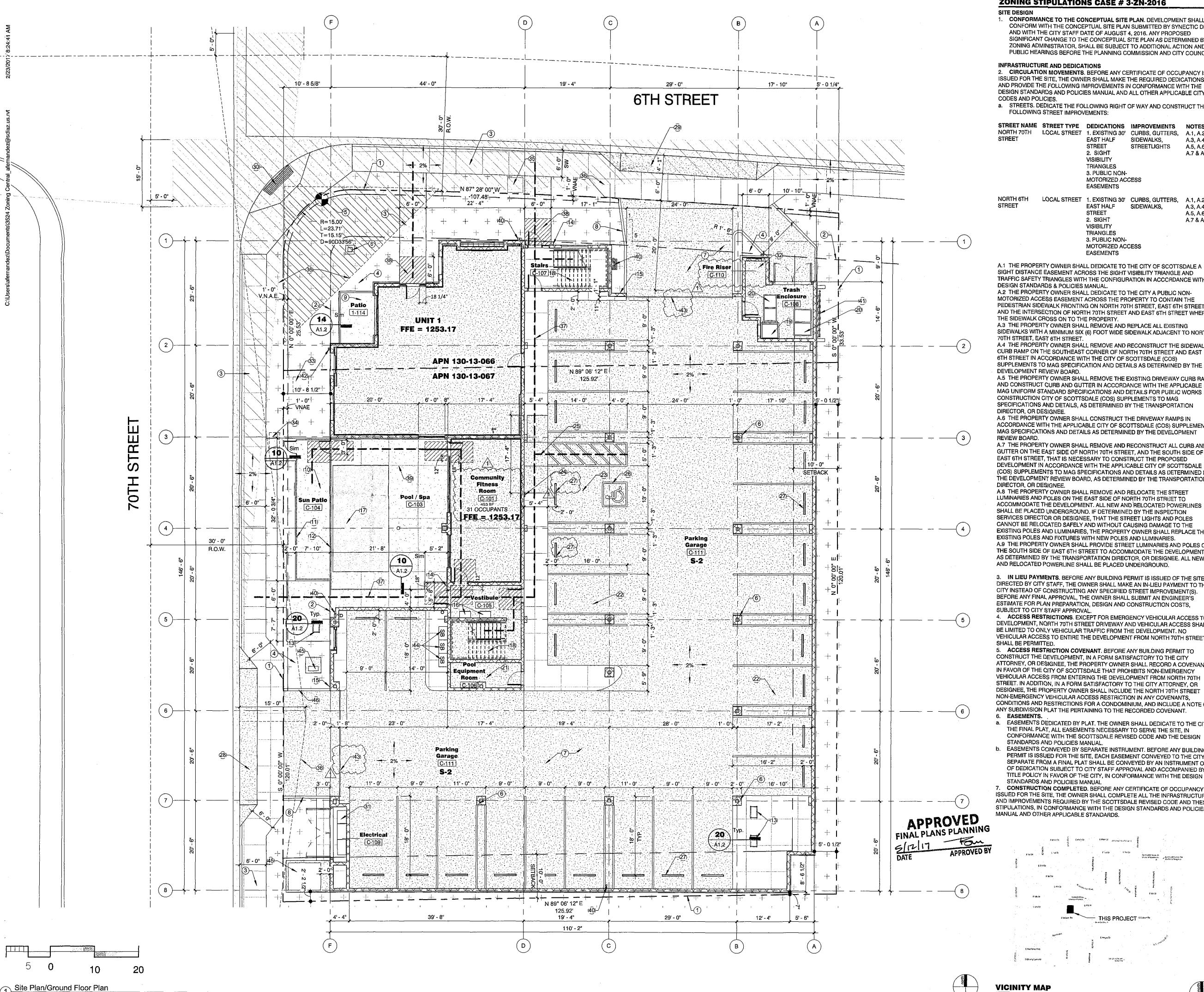
SUBMITTED:

REVISED:

16-033

B. PAUL

07.01.2017



### **ZONING STIPULATIONS CASE # 3-ZN-2016**

1. CONFORMANCE TO THE CONCEPTUAL SITE PLAN. DEVELOPMENT SHALL CONFORM WITH THE CONCEPTUAL SITE PLAN SUBMITTED BY SYNECTIC DESIGN AND WITH THE CITY STAFF DATE OF AUGUST 4, 2016. ANY PROPOSED

SIGNIFICANT CHANGE TO THE CONCEPTUAL SITE PLAN AS DETERMINED BY THE ZONING ADMINISTRATOR, SHALL BE SUBJECT TO ADDITIONAL ACTION AND PUBLIC HEARINGS BEFORE THE PLANNING COMMISSION AND CITY COUNCIL

INFRASTRUCTURE AND DEDICATIONS

2. CIRCULATION MOVEMENTS. BEFORE ANY CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE SITE, THE OWNER SHALL MAKE THE REQUIRED DEDICATIONS AND PROVIDE THE FOLLOWING IMPROVEMENTS IN CONFORMANCE WITH THE DESIGN STANDARDS AND POLICIES MANUAL AND ALL OTHER APPLICABLE CITY CODES AND POLICIES.

a. STREETS. DEDICATE THE FOLLOWING RIGHT OF WAY AND CONSTRUCT THE FOLLOWING STREET IMPROVEMENTS:

STREET NAME STREET TYPE DEDICATIONS IMPROVEMENTS NOTES NORTH 70TH LOCAL STREET 1. EXISTING 30' CURBS, GUTTERS, A.1, A.2, EAST HALF SIDEWALKS, A.3, A.4, STREET STREETLIGHTS A.5, A.6, 2. SIGHT A.7 & A.8 VISIBILITY TRIANGLES 3. PUBLIC NON-MOTORIZED ACCESS EASEMENTS LOCAL STREET 1. EXISTING 30' CURBS, GUTTERS, A.1, A.2, EAST HALF SIDEWALKS, A.3, A.4, STREET A.5, A.6, 2. SIGHT A.7 & A.9

A.1 THE PROPERTY OWNER SHALL DEDICATE TO THE CITY OF SCOTTSDALE A SIGHT DISTANCE EASEMENT ACROSS THE SIGHT VISIBILITY TRIANGLE AND TRAFFIC SAFETY TRIANGLES WITH THE CONFIGURATION IN ACCORDANCE WITH DESIGN STANDARDS & POLICIES MANUAL

VISIBILITY

TRIANGLES

EASEMENTS

3. PUBLIC NON-MOTORIZED ACCESS

A.2 THE PROPERTY OWNER SHALL DEDICATE TO THE CITY A PUBLIC NON-MOTORIZED ACCESS EASEMENT ACROSS THE PROPERTY TO CONTAIN THE PEDESTRIAN SIDEWALK FRONTING ON NORTH 70TH STREET, EAST 6TH STREET, AND THE INTERSECTION OF NORTH 70TH STREET AND EAST 6TH STREET WHERE THE SIDEWALK CROSS ON TO THE PROPERTY.

A.3 THE PROPERTY OWNER SHALL REMOVE AND REPLACE ALL EXISTING SIDEWALKS WITH A MINIMUM SIX (6) FOOT WIDE SIDEWALK ADJACENT TO NORTH 70TH STREET, EAST 6TH STREET. A.4 THE PROPERTY OWNER SHALL REMOVE AND RECONSTRUCT THE SIDEWALK

6TH STREET IN ACCORDANCE WITH THE CITY OF SCOTTSDALE (COS) SUPPLEMENTS TO MAG SPECIFICATION AND DETAILS AS DETERMINED BY THE DEVELOPMENT REVIEW BOARD. A.5 THE PROPERTY OWNER SHALL REMOVE THE EXISTING DRIVEWAY CURB RAMP AND CONSTRUCT CURB AND GUTTER IN ACCORDANCE WITH THE APPLICABLE

MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION CITY OF SCOTTSDALE (COS) SUPPLEMENTS TO MAG SPECIFICATIONS AND DETAILS, AS DETERMINED BY THE TRANSPORTATION DIRECTOR, OR DESIGNEE. A.6 THE PROPERTY OWNER SHALL CONSTRUCT THE DRIVEWAY RAMPS IN

ACCORDANCE WITH THE APPLICABLE CITY OF SCOTTSDALE (COS) SUPPLEMENTS MAG SPECIFICATIONS AND DETAILS AS DETERMINED BY THE DEVELOPMENT A.7 THE PROPERTY OWNER SHALL REMOVE AND RECONSTRUCT ALL CURB AND

GUTTER ON THE EAST SIDE OF NORTH 70TH STREET, AND THE SOUTH SIDE OF EAST 6TH STREET, THAT IS NECESSARY TO CONSTRUCT THE PROPOSED DEVELOPMENT IN ACCORDANCE WITH THE APPLICABLE CITY OF SCOTTSDALE (COS) SUPPLEMENTS TO MAG SPECIFICATIONS AND DETAILS AS DETERMINED BY THE DEVELOPMENT REVIEW BOARD, AS DETERMINED BY THE TRANSPORTATION DIRECTOR, OR DESIGNEE. A.8 THE PROPERTY OWNER SHALL REMOVE AND RELOCATE THE STREET

LUMINARIES AND POLES ON THE EAST SIDE OF NORTH 70TH STREET TO ACCOMMODATE THE DEVELOPMENT. ALL NEW AND RELOCATED POWERLINES SHALL BE PLACED UNDERGROUND. IF DETERMINED BY THE INSPECTION SERVICES DIRECTOR OR DESIGNEE, THAT THE STREET LIGHTS AND POLES ANNOT BE RELOCATED SAFELY AND WITHOUT CAUSING DAMAGE TO THE EXISTING POLES AND LUMINARIES, THE PROPERTY OWNER SHALL REPLACE THE EXISTING POLES AND FIXTURES WITH NEW POLES AND LUMINARIES. A.9 THE PROPERTY OWNER SHALL PROVIDE STREET LUMINARIES AND POLES ON THE SOUTH SIDE OF EAST 6TH STREET TO ACCOMMODATE THE DEVELOPMENT, AS DETERMINED BY THE TRANSPORTATION DIRECTOR, OR DESIGNEE. ALL NEW AND RELOCATED POWERLINE SHALL BE PLACED UNDERGROUND.

3. IN LIEU PAYMENTS. BEFORE ANY BUILDING PERMIT IS ISSUED OF THE SITE, IF DIRECTED BY CITY STAFF, THE OWNER SHALL MAKE AN IN-LIEU PAYMENT TO THE CITY INSTEAD OF CONSTRUCTING ANY SPECIFIED STREET IMPROVEMENT(S). BEFORE ANY FINAL APPROVAL, THE OWNER SHALL SUBMIT AN ENGINEER'S ESTIMATE FOR PLAN PREPARATION, DESIGN AND CONSTRUCTION COSTS. SUBJECT TO CITY STAFF APPROVAL

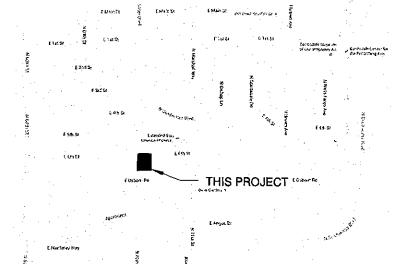
4. ACCESS RESTRICTIONS. EXCEPT FOR EMERGENCY VEHICULAR ACCESS TO DEVELOPMENT, NORTH 70TH STREET DRIVEWAY AND VEHICULAR ACCESS SHALL BE LIMITED TO ONLY VEHICULAR TRAFFIC FROM THE DEVELOPMENT. NO VEHICULAR ACCESS TO ENTIRE THE DEVELOPMENT FROM NORTH 70TH STREET SHALL BE PERMITTED.

5. ACCESS RESTRICTION COVENANT. BEFORE ANY BUILDING PERMIT TO CONSTRUCT THE DEVELOPMENT, IN A FORM SATISFACTORY TO THE CITY ATTORNEY, OR DESIGNEE, THE PROPERTY OWNER SHALL RECORD A COVENANT IN FAVOR OF THE CITY OF SCOTTSDALE THAT PROHIBITS NON-EMERGENCY VEHICULAR ACCESS FROM ENTERING THE DEVELOPMENT FROM NORTH 70TH STREET. IN ADDITION, IN A FORM SATISFACTORY TO THE CITY ATTORNEY, OR DESIGNEE, THE PROPERTY OWNER SHALL INCLUDE THE NORTH 70TH STREET NON-EMERGENCY VEHICULAR ACCESS RESTRICTION IN ANY COVENANTS, CONDITIONS AND RESTRICTIONS FOR A CONDOMINIUM, AND INCLUDE A NOTE ON ANY SUBDIVISION PLAT THE PERTAINING TO THE RECORDED COVENANT.

a. EASEMENTS DEDICATED BY PLAT. THE OWNER SHALL DEDICATE TO THE CITY ON THE FINAL PLAT, ALL EASEMENTS NECESSARY TO SERVE THE SITE, IN CONFORMANCE WITH THE SCOTTSDALE REVISED CODE AND THE DESIGN STANDARDS AND POLICIES MANUAL.

EASEMENTS CONVEYED BY SEPARATE INSTRUMENT. BEFORE ANY BUILDING PERMIT IS ISSUED FOR THE SITE, EACH EASEMENT CONVEYED TO THE CITY SEPARATE FROM A FINAL PLAT SHALL BE CONVEYED BY AN INSTRUMENT OR MAP OF DEDICATION SUBJECT TO CITY STAFF APPROVAL AND ACCOMPANIED BY A TITLE POLICY IN FAVOR OF THE CITY, IN CONFORMANCE WITH THE DESIGN STANDARDS AND POLICIES MANUAL

CONSTRUCTION COMPLETED. BEFORE ANY CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE SITE, THE OWNER SHALL COMPLETE ALL THE INFRASTRUCTURE AND IMPROVEMENTS REQUIRED BY THE SCOTTSDALE REVISED CODE AND THESE STIPULATIONS, IN CONFORMANCE WITH THE DESIGN STANDARDS AND POLICIES MANUAL AND OTHER APPLICABLE STANDARDS.



#### **SHEET KEYED NOTES**

PROPERTY LINE

BUILDING SETBACK LINE

NEW SIDEWALK, 6'-0" WIDE TYP. - CROSS SLOPE NOT TO EXCEED 2%

4 LANDSCAPE AREA

5 EXISTING FIRE HYDRANT

6 COLUMN

7 CONCRETE PAVING 8 CONCRETE CURB

9 EXTERIOR PATIO 10 EXTERIOR SUN PATIO 11 3'-0" HIGH STEEL PIPE FENCE

12 5'-0" HIGH STEEL PIPE FENCE WITH GATE. 13 BIKE RACK PER C.O.S. DETAIL 2285

14 PROVIDE KNOX BOX AT THIS ENTRY

15 PROVIDE KNOX SWITCH AT THIS LOCATION 16 PROPOSED MAIL BOX LOCATION

17 POOL - BY OTHERS, UNDER SEPARATE SUBMITTAL

18 STAIRS 19 TRASH COMPACTOR WITH SIDE ACCESS

20 TRASH CONTAINERS

21 POOL EQUIPMENT BY OTHERS

22 PARKING SPACE, 9'-0" X 18'-0" TYP. 23 VAN ACCESSIBLE SPACE 13'-0" X 18'-0"

24 VAN ACCESSIBLE SIGN PER C.O.S. DETAIL 2124 - WALL MOUNTED 25 ACCESSIBLE RAMP

26 5'-0" X 5'-0" PAINTED ACCESSIBLE SIGN

27 CONCRETE WHEEL STOP 28 CONCRETE DRIVEWAY PER MAG 2256-CL4 - SEE SITE DETAILS

29 CONCRETE DRIVEWAY PER MAG 2256-CL3 - SEE SITE DETAILS 30 SHARED CURB SIDEWALK RAMP PER MAG 2234 - SEE SITE DETAILS

31 SERVICE ENTRANCE SECTION 32 FIRE RISER

33 EXISTING TRANSFORMER TO BE REMOVED

34 EXISTING GAS METER TO BE REMOVED

35 EXISTING TRANSFORMER TO REMAIN 36 SIGHT VISIBILITY EASEMENT

37 PROPOSED ACCESSIBLE ROUTE - WALKING SURFACE MUST HAVE RUNNING SLOPES NOT STEEPER THAN 1:20, OTHER COMPONENTS OF ACCESSIBLE ROUTES, SUCH AS RAMPS AND CURB RAMPS, ARE PERMITTED TO BE MORE STEEPLY SLOPED. CHANGES IN LEVEL TO COMPLY WITH ADA 303. CLEAR

WIDTH SHALL BE MIN. 36" WIDE. PATH SHOWN WITH DASHED LINE. — — — — 38 CONCRETE LANDING. CROSS SLOPE NOT TO EXCEED 2% IN ANY DIRECTION

- SHOWN HATCHED 39 CONSTRUCTION JOINT, TYP.

40 ROOF DRAIN DISCHARGE LOCATION - COORDINATE WITH CIVIL AND PLUMBING DRAWINGS

41 PROPOSED LOCATION OF GAS METERS 42 FIRE DEPARTMENT CONNECTION

43 REMOTE CONTROLLED OVERHEAD ROLL UP DOOR

44 ELECTRICAL METERS (MULTI-METER PANELS)

45 PROPOSED APS TRANSFORMER

46 ROLL CURB IN FRONT OF TRANSFORMER 

## CITY OF SCOTTSDALE SITE PLAN NOTES

SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE

MEASURED FROM NEAREST STREET LINE ELEVATION. 2. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONIN

DESIGN STANDARDS AND POLICIES MANUAL. 3. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

4. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS. 5. FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED. 6. ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL

BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF TALLEST UNIT. (DETAILS ARE STILL REQUIRED.)

7. ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.

8. NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.

9. ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT. 10. NO CHAIN LINK FENCING SHALL BE ALLOWED. 11. NO TURF AREAS SHALL BE PROVIDED.

GROSS FLOOR LIVABLE AREA					
LEVEL	AREA				
Ground Floor	2321 SF				
Level 2	10188 SF				
Level 3	10371 SF				
TOTAL	22881 SF				

# ACCESSIBILITY NOTES:

ACCESSIBLE ENTRANCES TO THE BUILDING SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. EXTERIOR EXITS WHICH ARE LOCATED ADJACENT TO ACCESSIBLE AREAS AND WITHIN 6 FT. OF ADJACENT GROUND LEVEL SHALL BE ACCESSIBLE. ACCESSIBLE RAMPS REQUIRED BY ANSI SHALL NOT HAVE SLOPES EXCEED 1 FT. II

THE SURFACE OF RAMPS AND GROUND SURFACES SHALL BE ROUGHENED OR SHALL BE OF SLIP RESISTANT MATERIALS.

AN ACCESSIBLE ROUTE OF TRAVEL 3 FT. WIDE MIN. MUST BE PROVIDED TO ALL PORTIONS OF THE BUILDING, BETWEEN THE BUILDING AND THE PUBLIC WAY. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM SLOPE OF 1:20 AND A MAXIMUM CROSS SLOPE OF 1:50.

THRESHOLD MUST BE 6 INCHES IN HEIGHT OR LESS. THE PRIMARY ENTRANCE TO THE BUILDING MUST BE ACCESSIBLE. ALL OTHER REQUIRED ENTRANCES MUST BE ACCESSIBLE ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SLOPE NOT EXCEEDING 1:50.

ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SIGN (MINIMUM 5 FT. ABOVE

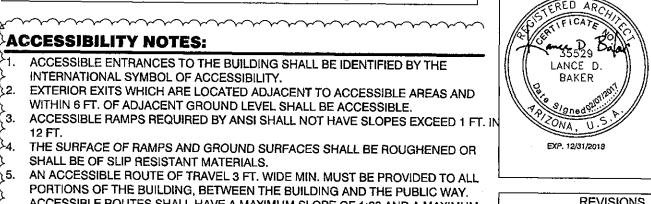
FINISH GRADE IN FRONT OF THE SPACE) WHICH INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. 10. SIGNS DESIGNATING PERMANENT ROOMS AND SPACES SHALL MEET

ACCESSIBILITY REQUIREMENTS. . ALL ELECTRICAL RECEPTACLES AND CONTROLS SHALL BE 18 INCHES MINIMUM

AND 48 INCHES MAXIMUM ABOVE FINISHED FLOOR. \$12. ALL ALARMS SHALL BE AUDIBLE AND VISUAL, MEETING ACCESSIBILITY REQUIREMENTS.

(13. ACCESSIBLE ROUTE SHALL BE WITHOUT STEPS OR CHANGES IN LEVEL GREATER Reviewd By THAN 6 INCHES WITHOUT AN APPROVED RAMP. 14. ACCESSIBLE ROUTES SHALL SERVE AS EXITS OR CONNECT TO AREAS OF RESCUE

15. LANDINGS AT ALL ACCESSIBLE ENTRANCES SHALL HAVE 2% MAXIMUM SLOPE IN ANY DIRECTION. MINIMUM WIDTH AND DEPTH OF LANDING PER 1/A1.3



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REVISIONS 1 01/20/2017 CITY COMMENTS

SDI Project No:

VICINITY MAP

