

**Marked Agendas  
Approved Minutes  
Approved Reports**

**The May 4, 2017  
Development Review Board  
Meeting Agenda and  
Minutes can be found at**

**<http://www.scottsdaleaz.gov/boards/development-review-board>**

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: May 4, 2017 Item No. 4  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

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## ACTION

**Adeline - Scottsdale Inn**  
**5-DR-2017**

**Location:** 5101 North Scottsdale Road

**Request:** Request approval of the building elevations for an exterior remodel to an existing hotel on a 4.5-acre site.

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## OWNER

Redwood Place Management, LLC  
818-702-2254

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## ARCHITECT/DESIGNER

Milazzo Development Design/Build

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## APPLICANT CONTACT

Armand Milazzo  
602-509-3131

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## BACKGROUND

### Zoning

This site is zoned Multi-family Residential District (R-5), which allows travel accommodations subject to approval of a Conditional Use Permit (CUP). A CUP was approved for the project site under case 5-UP-1968.

### Context

Located approximately 300 feet north of the intersection of Scottsdale Road and Chaparral Road, this site is situated on the east side of Scottsdale Road and consists of one two-story building that has not been remodeled since 1996; other than minor façade changes for the existing restaurant space facing Scottsdale Road. To the south is another hotel property (Chaparral Inn & Suites) that consists of several buildings ranging in height from single-story to five-story that was recently remodeled (309-SA-2015). To the east is single-family residential and to the north is a two-story office building.

### Adjacent Uses and Zoning

- North Office, zoned Commercial Office District (C-O)
- South Travel Accommodations, zoned R-5

Action Taken \_\_\_\_\_

- East Single-family Residential, zoned R1-10
- West Single-family Residential, zoned R1-7

**Key Items for Consideration**

- Conformance to Sensitive Design Principles
- Prominent Scottsdale Road frontage
- No changes to site plan proposed as part of this request
- Public comment received by staff (inquiry only)

**DEVELOPMENT PROPOSAL**

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**Goal/Purpose of Request**

The applicant seeks approval for an exterior remodel to an existing hotel that will dramatically change the look of the building; particularly the elevation(s) facing Scottsdale Road. The existing porte-cochere will be demolished and rebuilt; and will be relocated to its original position on the site oriented to the north. Existing stair towers will also be remodeled to introduce some elements of the new design to the other elevations of the building.

**Neighborhood Communication**

Property owners within 750 feet of the site have been notified by mail of the request and the site is posted with the required signage. To date, staff has received one written inquiry from a citizen seeking clarification of the scope of the proposal. No support or opposition was expressed (refer to Attachment #9).

**DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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The current design utilizes a mix of stacked stone, stucco, and tile roof elements to create a Mediterranean appearance. This design is proposed to be replaced by a more contemporary design that eliminates the stacked stone elements and replaces the angled tile roof element with a flat roof and parapet walls; which will help to screen the rooftop mechanical equipment.

Two primary colors are proposed: SW 7005 "Pure White" and SW 6169 "Sedate Gray". Both colors are consistent with Sensitive Design Principle 9 which recommends "*materials with colors and coarse textures associated with the region*"; and are muted to minimize reflectivity. Unique features of the proposed design include a decorative breeze block element; consisting of 12" X 12" X 4" blocks attached directly to the structural framing. Additionally, horizontal "cable vines" in an "X" pattern are proposed to create visual interest. This is also consistent with Sensitive Design Principle 9, which recommends "*a variety of textures and natural materials .....to provide visual interest and richness*". On the north side of the building, the existing porte-cochere is proposed to be demolished and rebuilt. It is proposed to be relocated nearer to Scottsdale Road and oriented to the north, rather than its current orientation to the northwest. The porte-cochere would also be expanded to further enhance visual interest and announce the main entrance to the lobby. The Mediterranean design will be replaced with a streamlined, contemporary look featuring a composite wood paneling system and recessed lighting on the underside of the canopy.

In an effort to provide a contiguous design, three stair towers, one each on the north, south, and east sides of the building, are also proposed to be remodeled to reflect the design elements on the

Scottsdale Road frontage. The sloped roof elements will be removed, to be replaced by a flat parapet with a trim cap to match the existing condition on the rest of the building frontage. The breeze block façade element proposed for the Scottsdale Road frontage will be incorporated into the design of the towers to fill in the open spaces between the columns and effectively conceal the external stairs from view.

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**STAFF RECOMMENDATION**

**Recommended Approach:**

Staff recommends that the Development Review Board approve Adeline - Scottsdale Inn per the attached stipulations, finding that the provisions of the Sensitive Design Principles and the Development Review Criteria have been met.

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**RESPONSIBLE DEPARTMENT**

**Planning and Development Services**

Current Planning Services

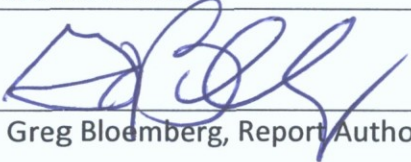
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**STAFF CONTACT**

Greg Bloemberg  
Senior Planner  
480-312-4306  
E-mail: gbloemberg@ScottsdaleAZ.gov

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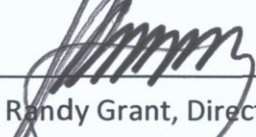
**APPROVED BY**

  
Greg Bloemberg, Report Author

4-13-17  
Date

  
Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

4/14/17  
Date

  
Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

4/17/17  
Date

**ATTACHMENTS**

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- A. Stipulations
  - 1. Context Aerial
  - 1A. Close-Up Aerial
  - 2. Applicant's Narrative
  - 3. Site Plan (for reference only)
  - 4. Existing Conditions Photos
  - 5. Building Elevations (color)
  - 6. Before/After Tower Elevations (black and white)
  - 7. Perspectives
  - 8. Material and Color Board
  - 9. Public Comment

**Stipulations for the  
Development Review Board Application:  
Adeline - Scottsdale Inn  
Case Number: 5-DR-2017**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations and details provided by Milazzo Development Design/Build, with a city staff date of 3/17/17.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

**ADDITIONAL ITEMS:**

**DRB Stipulations**

4. *Any additional external lighting or signage shall be submitted for separate review and approval.*

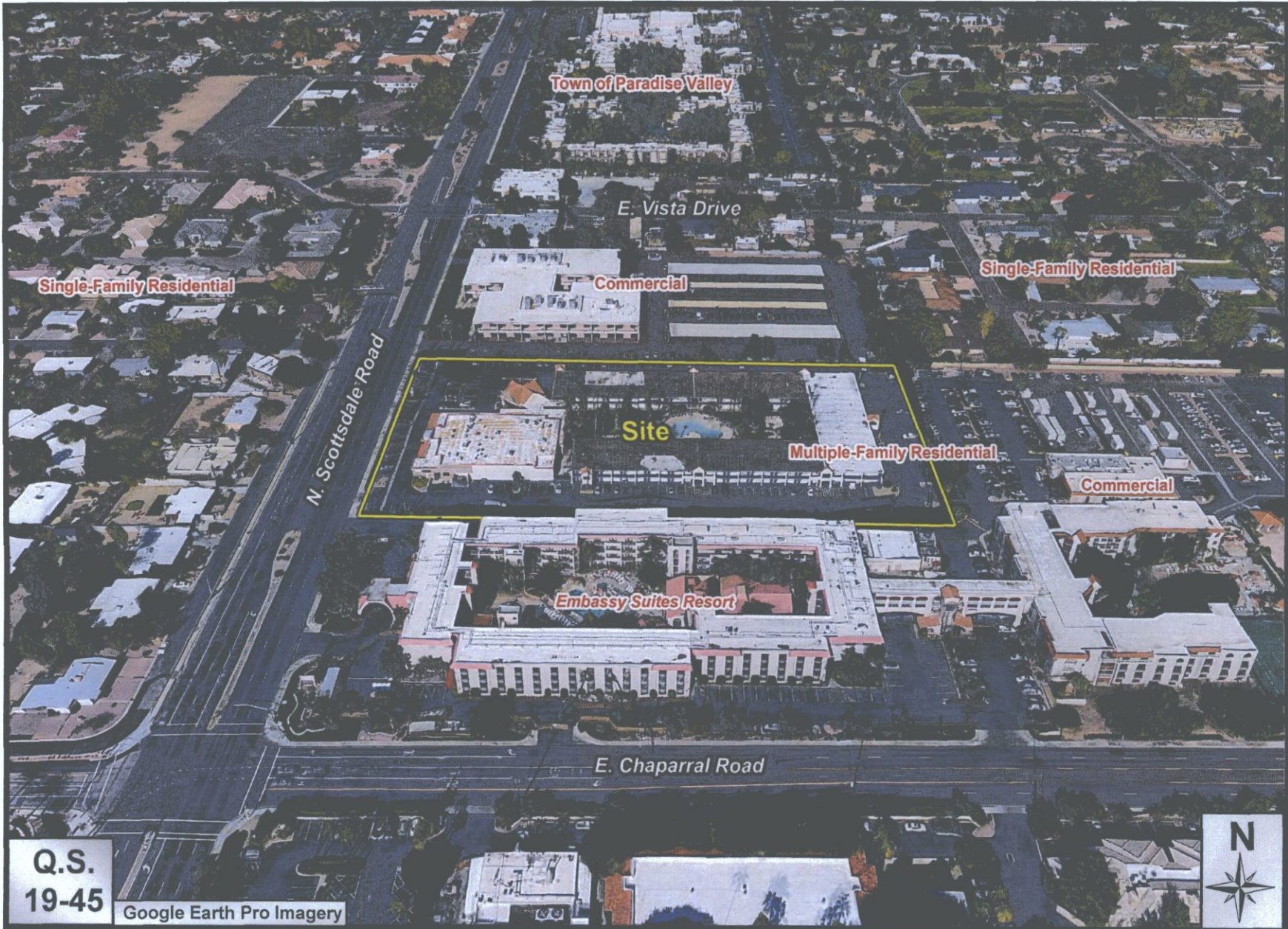


Q.S.  
19-45

Google Earth Pro Imagery

Adeline - Scottsdale Inn

5-DR-2017



Q.S.  
19-45  
Google Earth Pro Imagery

Adeline - Scottsdale Inn

5-DR-2017

# Adeline

## The Renovation of The Scottsdale Inn

5101 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85250

### **DEVELOPMENT REVIEW NARRATIVE**

Submitted: February 7, 2017  
Resubmitted: April 11, 2017

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Owner:

Redwood Place Scottsdale, LLC  
Michael Rad, Chief Operating Officer  
7801 Hayvenhurst Avenue  
Van Nuys, CA 91406  
818-261-6011

Applicant:

Development Services, LLC  
Armand Milazzo III, President  
2278 East Aster Drive  
Chandler AZ 85286  
602-509-3131

5-DR-2017 #2  
04/11/2017

**ATTACHMENT #2**

## Introduction

ESI Ventures partner with HRI Lodging to purchase, renovate, and reposition the Days Hotel Scottsdale, located at 5101 N. Scottsdale Road. The hotel sets on approximately 4.51 acres of prime real estate on Parcel no. 173-23-010C in Old Town Scottsdale with 218 existing guest rooms, main guest services building, Papi Chulo's Mexican Grill and Cantina, and interior pool courtyard. The property offers a unique opportunity to create an independent boutique hotel that focuses on affordable luxury with a carefully curated experience through food and beverage and welcoming open spaces.

ESI Ventures, doing business as Redwood Place Scottsdale, LLC, is seeking Development Review approval to commence a \$12 million dollar renovation to compete within the luxury lifestyle hotel segment in Scottsdale. The current competitive set of hotels includes the Fire Sky, The Saguaro, The Valley Ho and The Double Tree Paradise Valley. ESI Ventures has assembled a team that shares its vision and brings a wealth of hospitality experience. The Adeline has been designed by Development Services and Studio 11, managed by HRI Lodging, and food and beverage concepts have been created by local restaurateur, Ryan Jocque. The hotel will deliver a lifestyle brand with an inviting design in a high-tech and contemporary environment. The property was purchased by ESI Ventures at the end of October 2016 and is currently being operated by HRI Lodging as The Scottsdale Inn through the planning, design and City review phases. ESI endeavors to shut down the property during the summer of 2017 for renovations and relaunch as "Adeline" in the fall of 2017.

The renovation plans include refresh of the existing 218 guest rooms, converting 10 of which into 5 suites, complete interior remodel of the main guest services building replacing Papi Chulo's Mexican Grill and Cantina with reinvisioned food and beverage offerings for hotel guests, modification of some of the Main Building's facades, new signage, and landscape improvements primarily focused on the interior pool courtyard. By mixing a slight modernist approach with natural aspects, the new Adeline hotel will offer an experience that is both refreshing and invigorating while also creating a new and exciting Scottsdale staple that will forever provide a timeless and upscale environment while still having the comfort and familiarity of home.

## Context

The Property is currently zoned as R-5 - Multiple Family Residential. Under Section 5.1003.B, hotel uses are allowed in the R-5 zoning district with the approval of a Conditional Use Permit ("CUP"). On July 2, 1968, the City Council approved a CUP for the operation of a hotel on the Property. The CUP is currently active on the Property.

The site is accessed directly off of Scottsdale Road via two access drives. Currently, the property has a main building that accommodates a lobby, ballroom, offices, lounge, check-in desk, fitness room, and Papi Chulo's Mexican Grill and Cantina. This main building is single-story, and has a floor area of approximately 15,058 square feet. The main lobby/restaurant building has an exterior finish consisting of stucco and faux-stone veneer over wood framing. The property also has a grouping of five, 2-story structures, connected by exterior breezeways that accommodate 218 total guestrooms, three of which are currently storage units, with a combined floor area of approximately 60,480 square feet. It is reported that the original buildings were constructed sometime in the early 1970s, making them approximately 46 years old. A significant remodel was reportedly conducted in 1996, when a new brand name, Fairfield Inn, was applied to the hotel.

The adjacent properties consist of a commercial office building with multiple tenants, a hotel and a residential neighborhood. Specifically, the adjacent uses are as follows:

- North (Parcel no: 173-23-005A): Commercial Building with the following tenants; Events and Adventures Phoenix, Sage Hospice and Palliative Care, Talus InMotion Foot and Ankle, and R&R Law Group (C-O)
- East (Parcel no:173-23-007D): Dollar Rent-A-Car and associated vehicle lot (C-2)
- Northeast: Multiple parcels with single family dwellings (R1-10)
- South (Parcel no: 173-23-001C): Embassy Suites by Hilton Scottsdale Resort with AZUL Clubhouse (R-5)
- Southeast (Parcel no: 173-23-002B): McDowell Terrace Hotel (R-5)
- West: North Scottsdale Road

Located within the Southern Scottsdale Character Area Plan, the property's planned improvements to transform it into a modern mid-century aesthetic, will further the City's goal of preserving the historical relevance of the adjacent residential neighborhood with homes over 30 years old while promoting visitation and patronage of Downtown's restaurants and shops to their hotel guests.

ESI and HRI Lodging strive to adhere to the principles and values as part of the Southern Scottsdale Vision Statement and have committed significant capital for reinvesting and redeveloping the property. More specifically, Adeline will accomplish the following as part of the Southern Scottsdale Vision Statement values:

- Reinvestment in commercial property;
- Regional employment;
- Connecting and enhancing transportation choices/options;
- Shaded, pedestrian and bicycle-friendly streets and parking areas; and
- Benefits associated with proximity to regional resources.

## **Sensitive Design**

The dramatic transformation of the former Scottsdale Days Hotel into Adeline will include many improvements to the exterior look and building site. In re-envisioning the property, a mid-century modern aesthetic was selected as the common thread in developing the design for remodeling the main guest services building and adjoining porte cochere structure. This style complements the architecture of the surrounding guest room buildings originally constructed over forty years ago.

A new color palette will be introduced befitting the mid-century modern aesthetic. Off-whites and light grays will contrast well with the colorful landscaping planned for building perimeters and the interior courtyard. In addition to the colorful landscaping, a "Living Wall" will be introduced on the Main Building's west façade facing Scottsdale Road providing interest, color and texture. The guest room buildings will receive a refreshed look with the new color palette as well.

All existing stone veneer will be removed and replaced with a stucco finish to blend and match the adjacent finish area providing a consistent look throughout the property. In order to provide an appropriate amount of articulation to break up the large areas of stucco wall, decorative block walls have been designed to further add a textural element to the building's façade. New double-glazed, low-E coated windows and glass doors will replace existing and be added along the Main Building's east façade providing views and access to outdoor seating areas and the pool courtyard. Bougainvillea will dress up the loggia columns along the north façade where guests enter the Main Building. A new storefront entry will be appropriately located on axis with the new porte cochere.

As part of the transformation of the property, careful consideration was given for the design of the new porte cochere. The new design drastically scales down the massing and height of the porte cochere in comparison to the existing structure. The porte cochere structure has been simplified with one major column element that is sleek and pays homage to the neo-futuristic styling of the mid-century modern era. The fascia of the structure's canopy will be clad with natural wood plank adding contrast to color and texture.

All exterior lighting has been carefully designed in consideration of Scottsdale's night-sky requirements while providing adequate lighting levels for guest safety and up-lighting selected exterior wall elements for enhanced architectural effect. Landscape lighting will illuminate guest walkways and steps to ensure a safe path of travel to each area of the property. Lighting at the underside of the canopy will provide soft lighting to create a glow in the evening while being sensitive to night-sky requirements.

The existing parking lot will be improved with the goal of minimizing black asphalt surfaces. Guests will be treated to an all-valet parking experience so that they only touch the pedestrian walkways bordered by soft landscape elements and have views to the luxurious social gathering spot of the interior pool courtyard. Parking islands with plantings will soften the existing parking lot and provide a visual break from the usual sea of asphalt.

Once completed, Adeline will be an attractive hotel that fits well and provides an appealing street presence on Scottsdale Road in concert with the other more recent improvement projects along the city's main corridor. The dramatic transformation will provide an upscale experience for guests and an asset for the City of Scottsdale.

## **Conclusion**

ESI Ventures and HRI Lodging respectively request approval of this Development Review application as the proposed project adheres to the Southern Scottsdale Character Area Plan by reinvesting in existing commercial property, provides opportunities for regional employment, is adjacent and connects to Downtown promoting guests' visitation and patronage, and provides shaded and energized gathering spaces. Additionally, with the 1968 approval of the Conditional Use Permit, the hotel use is allowed in the R-5 Multiple Family Residential zone district.

## Development Review Board Criteria

1. **The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.**

- **Response:** The proposed renovation of the 213 guest room boutique hotel is in substantial conformance with the General Plan and adjacent property uses including hospitality, office and residential land uses. The finished project shall promote a high level of quality development familiar to the surrounding area's character and is in conformance with the Design Standards and Policy Manual criteria where applicable.

2. **The architectural character, landscaping and Site design of the proposed development shall:**

- a. **Promote a desirable relationship of structures to one another, to open spaces and topography, both on the Site and in the surrounding neighborhood;**

**Response:** The existing building plan and configuration will be maintained including preservation of the existing open space of the interior pool courtyard. A decorative metal perimeter fence will be placed along the site's North, East and South property lines in order to distinguish the boutique hotel from the adjacent commercial properties.

- b. **Avoid excessive variety and monotonous repetition;**

**Response:** The proposed exterior improvements including the new design of the porte cochere will add some much needed building articulation with the introduction of decorative concrete block, living walls, new fenestration at the Main Building and exterior lighting enhancements.

- c. **Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;**

**Response:** New landscape improvements will provide reduction of hardscaping, provide additional shade and be maintained with drip irrigation. Circulation to guest rooms will continue to be under cover and new shade structures will be installed at the Pool Courtyard. In addition, misters will be located at the outdoor seating areas of the Pool Bar.

3. **Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.**

**Response:** Ingress, egress, and pathways have been designed to meet building code and ADA regulations, providing safe and code compliant circulation throughout the property. Grading, steps and ramps meet the requirements for a safe path of travel and will be adequately lit for safety at night. Parking at the property will be valet only to minimize inconvenience for guests staying at the property in locating an appropriate parking spot

during their stay. Access gates have been designed on the North and South side of the parking lot areas to maintain a secure environment. A Knox box will be installed at each access gate allowing free access to fire and police department personnel in the event of an emergency. Loading and service areas have been consolidated along the South side of the Main Building in order to not be seen or experienced by guests. All exterior lighting will provide adequate light levels for safety while adhering to Scottsdale's night sky program.

4. **If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.**

**Response:** All existing mechanical equipment, appurtenances, and utilities are currently screened by architectural elements. New equipment will either be housed in mechanical rooms, be surrounded by site walls or landscaping in order to hide from public view. Trash will be located within a trash enclosure at the back loading area of the Main Building in which the walls of such will match the new fit and finish of the exterior skin.

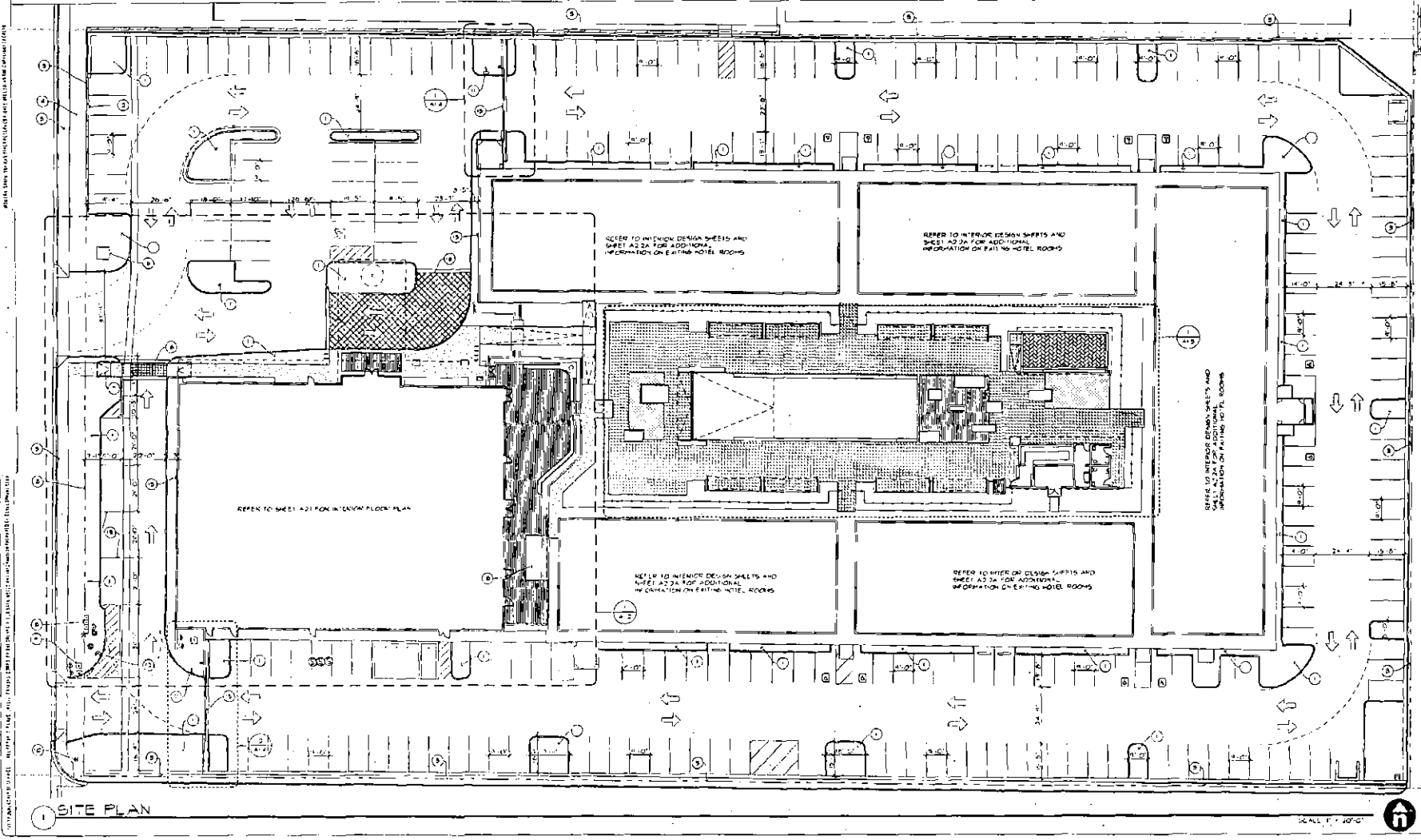
**GENERAL NOTES:**

1. DEVELOPMENT AND USE OF THIS SITE SHALL COMPLY WITH ALL APPLICABLE CODES AND ZONING ORDINANCES.
2. ALL NEW OR RELOCATED UTILITIES SHALL BE RECESSED UNDERGROUND.
3. NO NOISE, ODOR OR VIBRATION SHALL BE EXISTED AT ANY LEVEL FACILITY ON THE GENERAL LEVEL OF NOISE, VIBRATION OR VIBRATION EXISTED BY USER IN THIS AREA OUTSIDE OF THE SITE.
4. ALL ROOF TOP EQUIPMENT SHALL BE FULLY SCREENED TO VIEW OF THE TALLEST ADJACENT BUILDING.
5. ALL WORK IS TO BE SEPARATE SUBMITTAL AND REMAIN REVIEW PROCESS.

**① SITE PLAN KEYNOTES:**

1. LANDSCAPE PLAN AND REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
2. EXISTING SCREEN WALL TO REMAIN PART TO MATCH BUILDING.
3. PROPERTY LINE.
4. EXISTING LANDSCAPE TO REMAIN.
5. EXISTING SIDEWALK TO REMAIN.
6. NEW MONUMENT SIGN REFER TO LANDSCAPE DRAWINGS.
7. NEW ADA RAMP REFER TO DETAIL S1A15.
8. EXISTING DRIVE TO REMAIN.
9. EXISTING UTILITY EQUIPMENT TO REMAIN.
10. FIRE HYDRANT.
11. NEW CONTROL PANEL FOR RAILGUN GATE ACCESS INSTALL PER MANUFACTURER RECOMMENDATIONS.
12. NEW ADA RAMP STOPPING, EPP.
13. NEW DRIVE.
14. NEW ACCESS GATE.
15. NEW CONCRETE PATIERS REFER TO LANDSCAPE DRAWINGS AND DETAIL A1A.
16. NEW TRASH ENCLOSURE REFER TO DETAIL A1A1A.
17. NEW LANDSCAPE PLANTING REFER TO LANDSCAPE DRAWINGS.

ATTACHMENT #3



SITE PLAN

SCALE: 1" = 40'-0"



**ADELINE**  
5101 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85250

**A1.1** OVERALL SITE PLAN

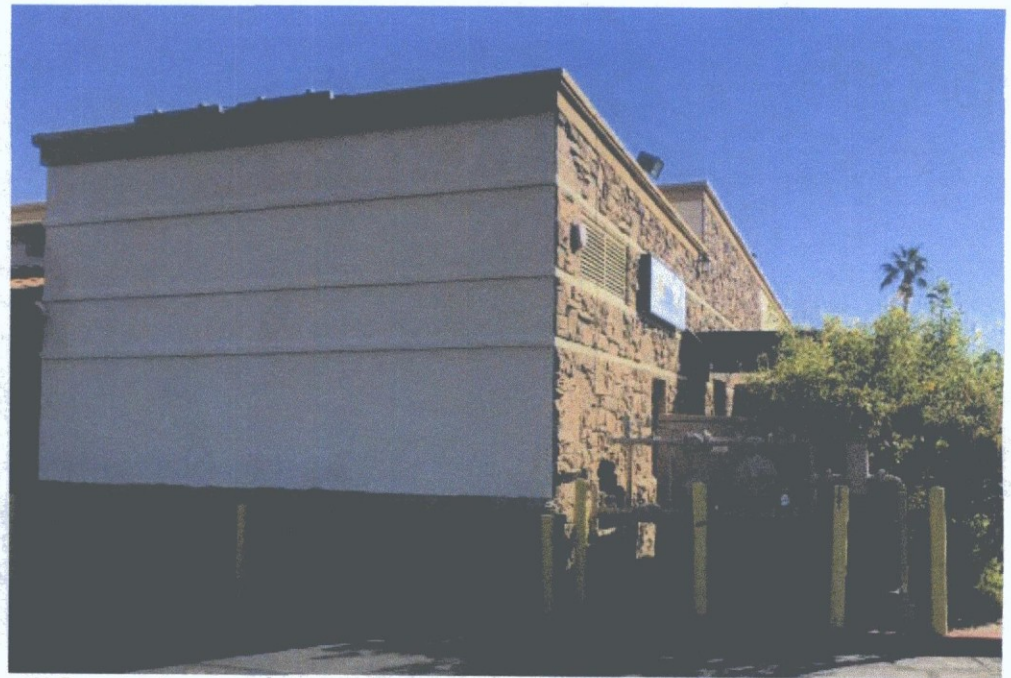
DATE: 11/15/2018  
 DRAWN BY: J. SMITH  
 CHECKED BY: M. JONES  
 PROJECT: SCOTTSDALE, ARIZONA 85250



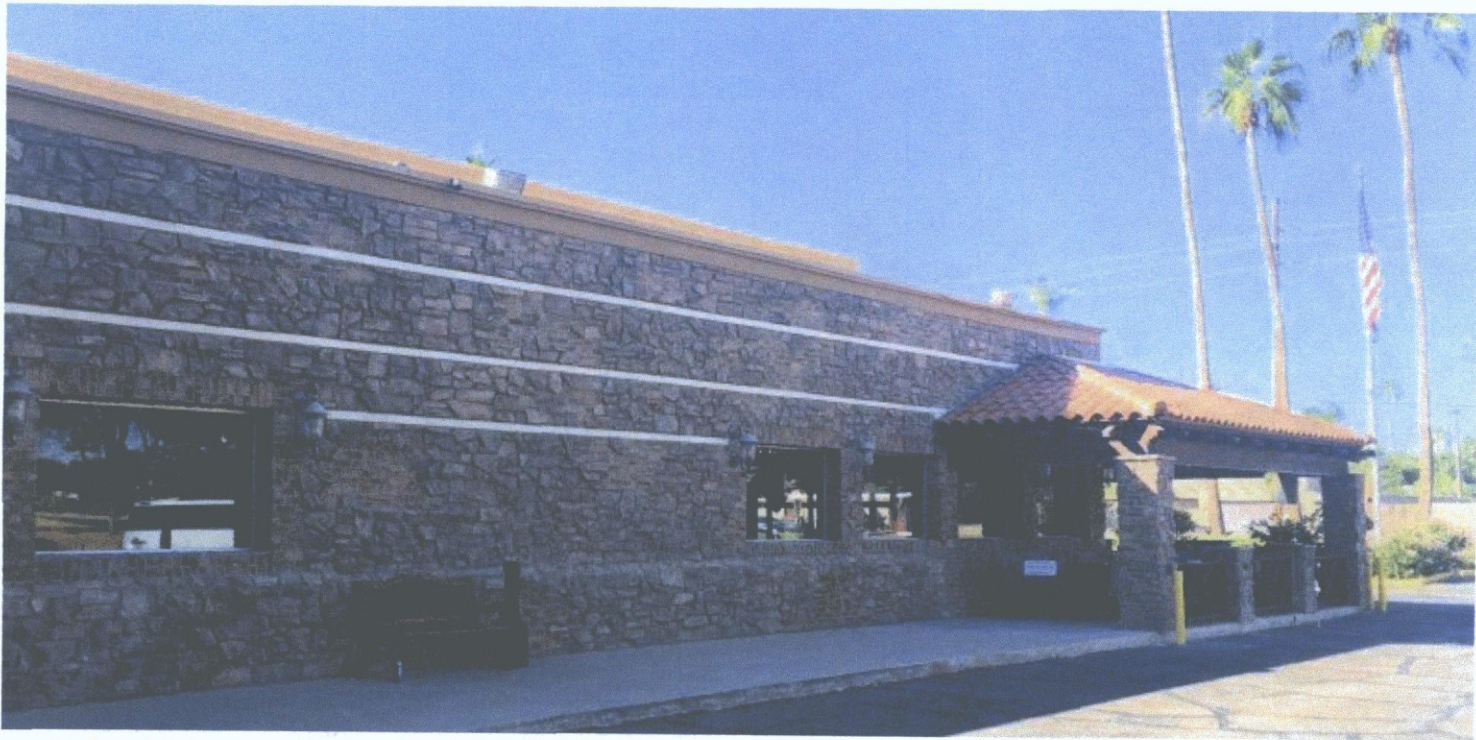
#1 - Street Level View



#2 - West Elevation



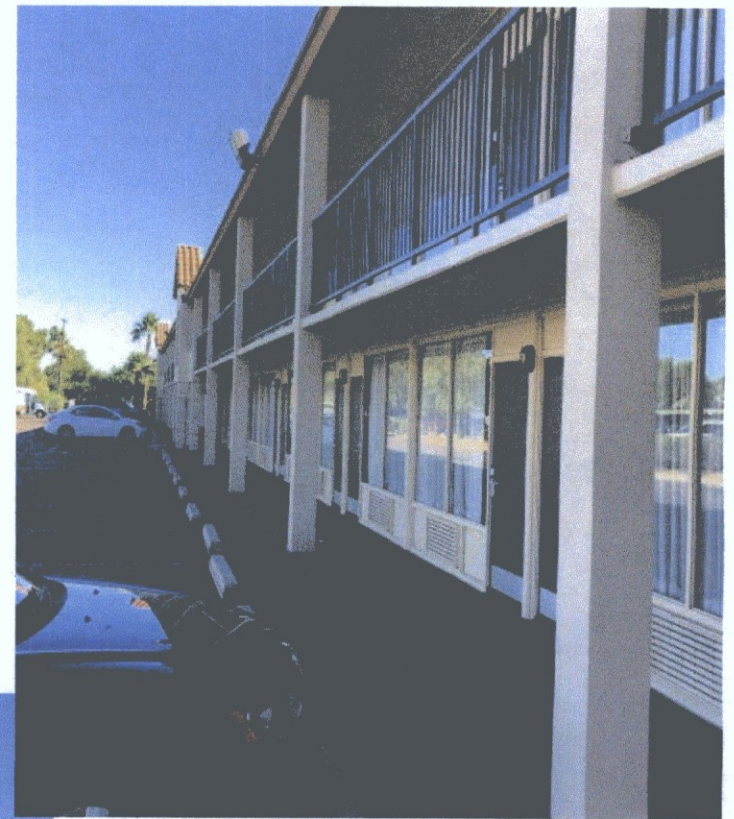
#3 - West Elevation



#4 - North Elevation



#5 - North Elevation



#7- North Elevation

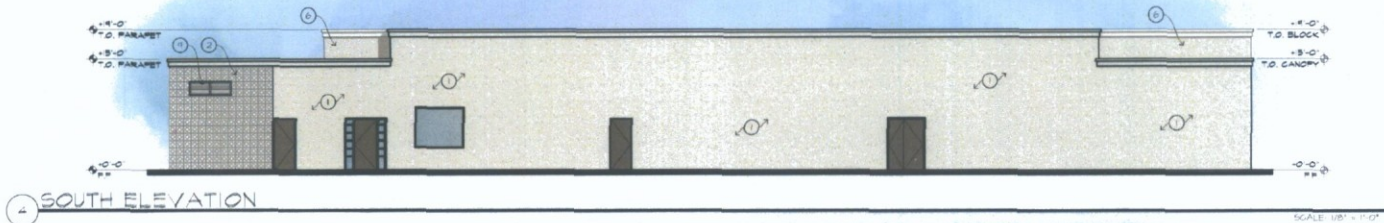


#6 - West Elevation

1. ALL STUCCO FINISHES TO BE A SMOOTH SAND FINISH. 2. GENERAL CONTRACTOR TO PROVIDE ADDRESS NUMBERS, COORDINATE SIZE, LOCATION AND BLOCKING REQUIRED BY LOCAL MUNICIPALITY. 3. ROOF TOP MOUNTED MECHANICAL EQUIPMENT SHALL BE COMPLETELY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT. 4. EXTERIOR SIGNS TO BE SUBMITTED UNDER SEPARATE REVIEW AND PERMIT. 5. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT. 6. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT. 7. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS, SECTION 35-1002 (B)(6)(7), ZONING CODE.

ATTACHMENT #5

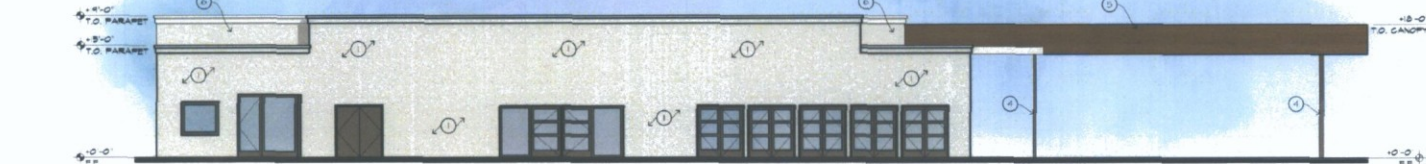
WEST ELEVATION OF STORIES -- ALL DETAILS, PANEL SPECIFICATIONS, COMPARTMENT RATING, WALL FINISH, GATE FINISH AND INFORMATION FROM PARTS BY OTHERS



EAST ELEVATION

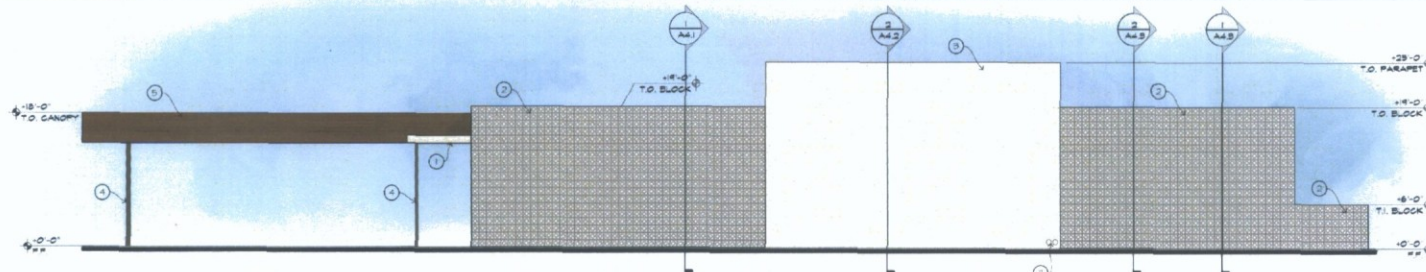
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

1. ALL STUCCO TEXTURE IS TO BE A SMOOTH SAND FINISH.
2. GENERAL CONTRACTOR TO PROVIDE ADDRESS NUMBERS, COORDINATE SIZE, LOCATION AND BLOCKING REQUIRED BY LOCAL MUNICIPALITY.
3. ROOF TOP MOUNTED MECHANICAL EQUIPMENT SHALL BE COMPLETELY SCREENED BY PARAPET/CORNICHE.
4. EXTERIOR SIGNS TO BE SUBMITTED UNDER SEPARATE REVIEW AND PERMIT.
5. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
6. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
7. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS, SECTION 35-1002 (B)(6)(7), ZONING CODE.

**KEYNOTES:**

1. 3-COAT STUCCO SYSTEM WITH A SYNTHETIC FINISH ON METAL LATH AND UNDERLAMENT OVER EXTERIOR GRADE SHEATHING ON EXISTING/NEW HOOD FRAMING. STUCCO TO HAVE A SMOOTH SAND FINISH. REFER TO INTERIOR DESIGN PACKAGE FOR COLOR.
2. 12"x12" DECORATIVE BREEZE BLOCK, ATTACHED DIRECTLY TO STRUCTURAL FRAMING. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. 1" GUTTERS OVER EXTERIOR GRADE SHEATHING. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. REFER TO INTERIOR DESIGN PACKAGE FOR COLOR.
4. STRUCTURAL COLUMN. REFER TO WALL SECTIONS AND STRUCTURAL DRAWING FOR ADDITIONAL INFORMATION. REFER TO INTERIOR DESIGN PACKAGE FOR COLOR.
5. COMPOSITE HOOD PANEL SYSTEM. REFER TO WALL SECTIONS AND INTERIOR DESIGN PACKAGE FOR ADDITIONAL INFORMATION.
6. PARAPET BEYOND.
7. ROOF DRAIN AND OVERFLOW DRAIN.
8. E.I.F.S. AT TUNNEL WALL BEYOND.
9. PROVIDE NEW LOUVER TO MATCH EXISTING. SET NEAR TO FRONT FACE OF BREEZE BLOCK.

**SYMBOLS LIST:**

- T.S. - TEMPERED GLAZING
- E.C.J. - E.I.F.S. CONTROL JOINT - SEE DETAIL (S)A6.1
- M.C.J. - MASONRY CONTROL JOINT - SEE STRUCTURAL
- (A) WINDOW ELEVATION TAG - SEE SHEET A3.2.



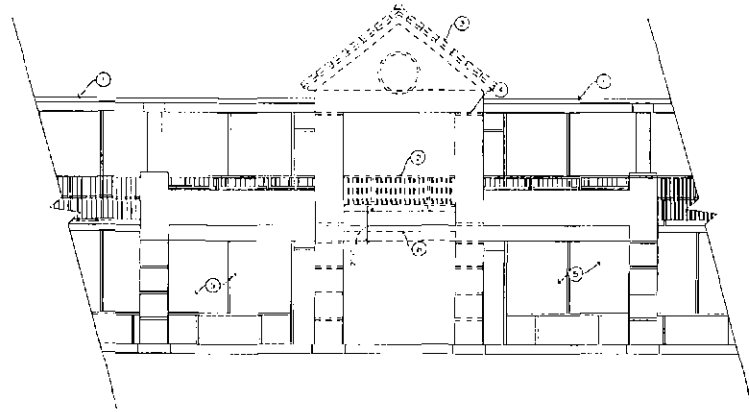
PRELIMINARY  
NOT FOR  
CONSTRUCTION  
OR RECORDING

**ADELINE**  
5101 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85250

EXTERIOR ELEVATIONS

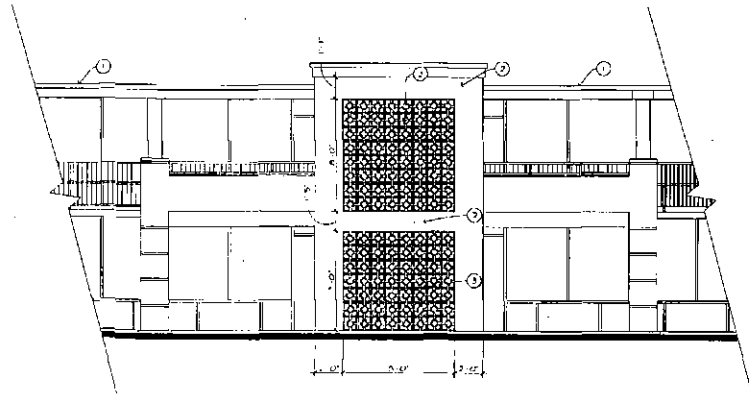
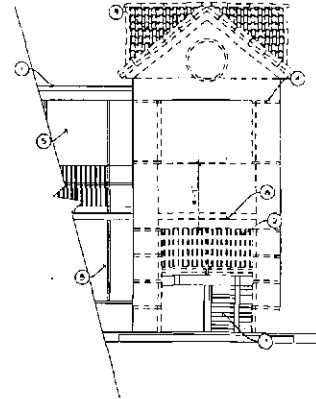
**A3.1**  
DATE

145116555



1 TYPICAL TOWER ELEVATION (DEMOLITION PLAN)

SCALE: 1/8" = 1'-0"



1 TYPICAL TOWER ELEVATIONS

SCALE: 1/8" = 1'-0"

**DEMOLITION NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY DEMOLITION WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK SHOWN ON THE DEMOLITION DRAWINGS WITH THE NEW WORK SHOWN ON THE ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS.
3. THE CONTRACTOR SHALL ALLOW FOR ANY UNEXPECTED DEMOLITION THAT IS NOT SPECIFICALLY NOTED IN THE DEMOLITION NOTES AND IS REQUIRED TO COMPLETE THE INTENT OF THE DESIGN DESCRIBED WITHIN THE DEMOLITION DOCUMENTS.
4. THE CONTRACTOR SHALL ALLOW FOR ANY EXISTING DEMOLITION AS MAY BE REQUIRED TO EXIST AND ADJUST TO EXISTING CONDITIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL DEMOLITION WORK REQUIRED TO INSTALL THE WORK OF ALL TRADES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING SITE AND EQUIPMENT DURING DEMOLITION INCLUDING DAMAGE FROM THE ELEMENTS TO BE OR REPAIR ALL SURFACES EXPOSED OR DAMAGED BY DEMOLITION OR WORK WITH MATERIALS AND FINISHES.
7. THE CONTRACTOR SHALL REMOVE ALL COMBUSTIBLE MATERIALS FROM THE SITE.
8. ALL ITEMS SCHEDULED FOR DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY. CLEAN ALL SURFACES TO REMAIN OF DUST, OIL, GREASE, AND EXTRANEOUS MATERIAL. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION WASTE UNLESS NOTED OTHERWISE OR DIRECTED OTHERWISE BY THE OWNER'S REPRESENTATIVE.

**DEMOLITION KEYNOTES:**

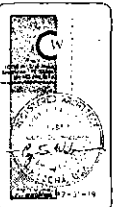
1. EXISTING PARAPETS TO REMAIN FIVE (5) FEET HIGH.
2. DEMOLISH AND REMOVE EXISTING HANDRAILS.
3. DEMOLISH AND REMOVE EXISTING ROOF STRUCTURAL FRAMING TO THE EXISTING ROOF AND REMOVE EXISTING STAIRS REVEALS TYPE.
4. EXISTING TO REMAIN PROTECT DURING CONSTRUCTION.
5. DEMOLISH AND REMOVE EXISTING FINISHES TO ALLOW FOR NEW FINISHES TO BE INSTALLED PER ELEVATION DRAWINGS.
6. EXISTING STAIRS TO REMAIN PROTECT DURING CONSTRUCTION.

**GENERAL NOTES:**

1. ALL STUCCO FINISHES TO BE A SMOOTH SAND FINISH.
2. GENERAL CONTRACTOR TO PROVIDE ADDRESS NUMBERS COORDINATE SIZE, LOCATION AND BLOCKING REQUIRED BY LOCAL MUNICIPALITY.
3. ROOF TOP MECHANICAL EQUIPMENT SHALL BE COMPLETELY SCREENED BY PARAPETS OR SCREENS.
4. WATER OR SIGNS TO BE INSTALLED UNDER SEPARATE REVIEW AND PERMIT.
5. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPETS THAT IS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
6. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL ROOF MOUNTED MECHANICAL EQUIPMENT.
7. ANY ROOF ACCESS POINTS SHALL BE LOCATED INSIDE THE BUILDING FOOTPRINT OR SHALL BE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINAGE SHALL BE PER LOCAL OR STATE REGULATIONS AND PER LOCAL OR STATE BUILDING CODE.

**ELEVATION KEYNOTES:**

1. EXISTING PARAPETS TO REMAIN FIVE (5) FEET HIGH.
2. COAT STUCCO SYSTEM WITH A SYNTHETIC FINISH ON METAL LATH AND UNDERLAYMENT OVER EXPOSED BLOCK SHEATHING ON EXTERIOR WOOD FRAMING STUCCO TO HAVE A SMOOTH SAND FINISH REFER TO INTERIOR DESIGN PACKAGE FOR COLOR.
3. 12" x 12" DECORATIVE BRICK BLOCK ATTACHED DIRECTLY TO STRUCTURAL FRAMING REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.



**ADELINE**  
5101 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85250

**A3.2** TYP. EXTERIOR TOWER ELEVATIONS

DATE: 10/15/2024  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT: [Project Name]



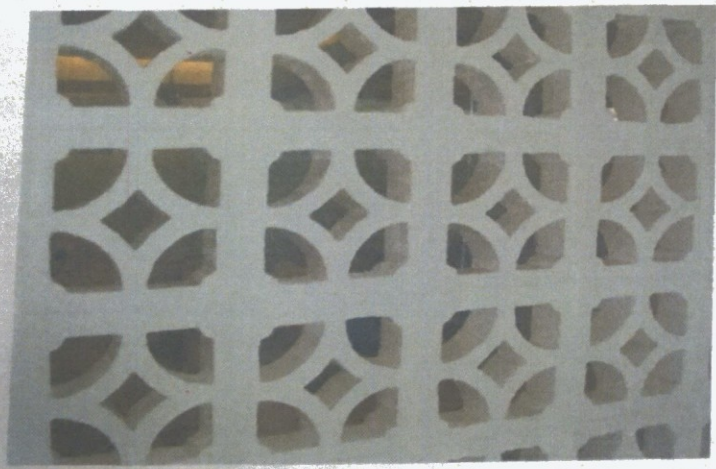
ATTACHMENT #7



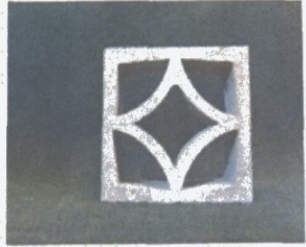
SW 7005  
Pure White

259-C1

ATTACHMENT #8



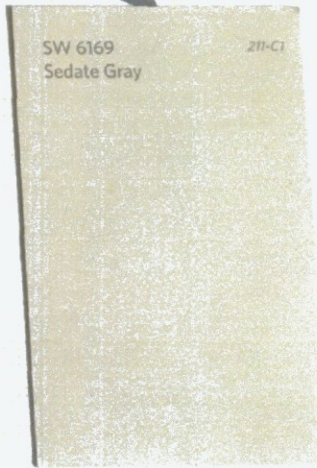
12" Large Diamond



Width 3 5/8"  
Height 11 5/8"  
Length 11 5/8"

SW 6169  
Sedate Gray

211-C1



**Bloemberg, Greg**

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**From:** krloftin@gmail.com  
**Sent:** Saturday, February 11, 2017 5:24 PM  
**To:** Perone, Steve  
**Subject:** Regrading: 5-DR-2017 ADELINE - SCOTTSDALE INN



I received mailings regarding this project. It isn't clear to me if this is a complete tear down or just remodel of existing hotel? Clarification would be much appreciated. Regards, Keith loftin 7101 E Orange Blossom Lane 602-568-4222 -- sent by Keith Loftin (case# 5-DR-2017)

