

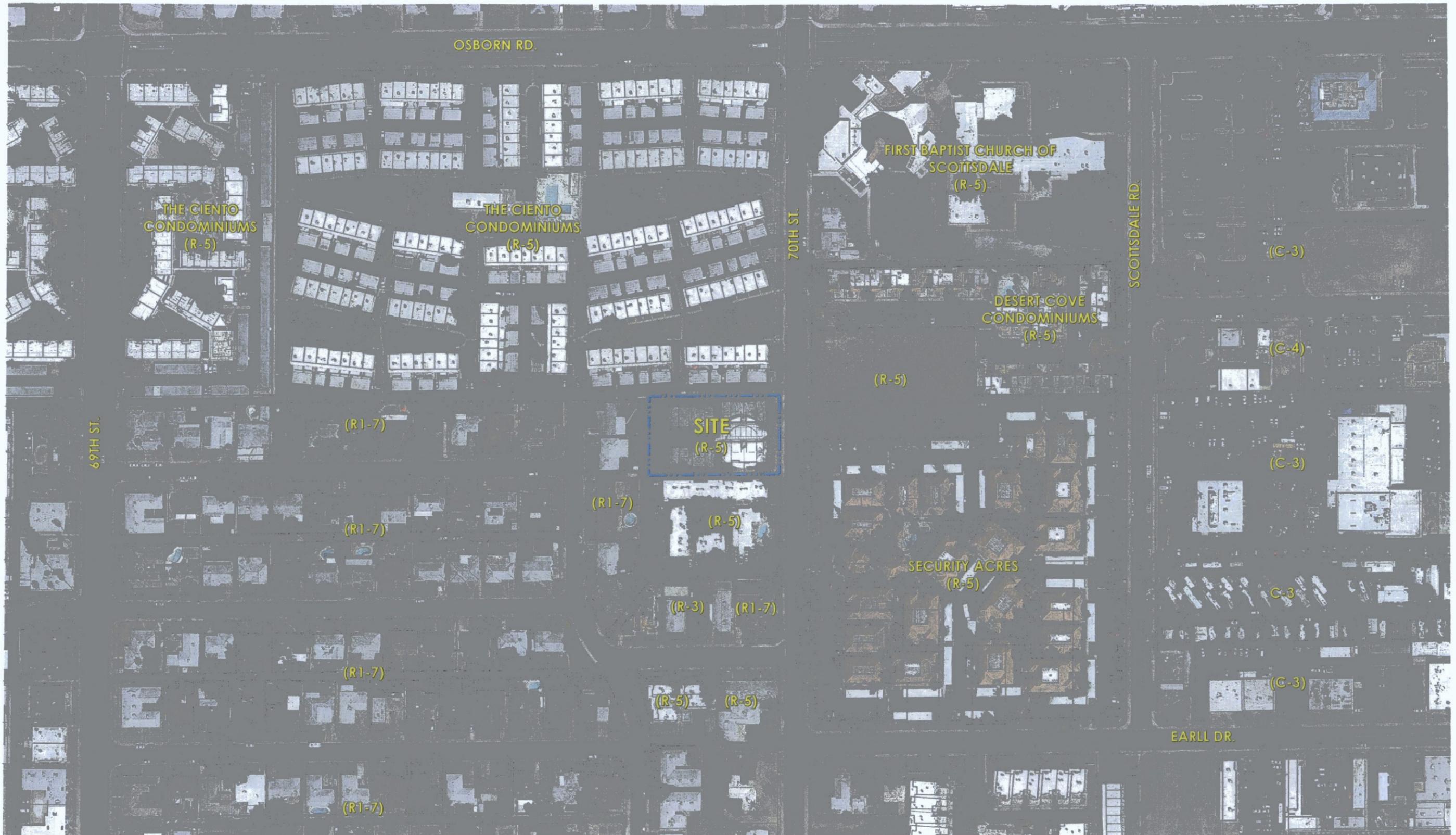
**Simulations**  
**Photos**  
**All Graphics (no plans)**

# THE AERIES

TOWNHOMES

AERIES - 19-DR-2016  
3214 N. 70TH STREET - SCOTTSDALE, AZ  
DEVELOPMENT REVIEW  
05.05.2017

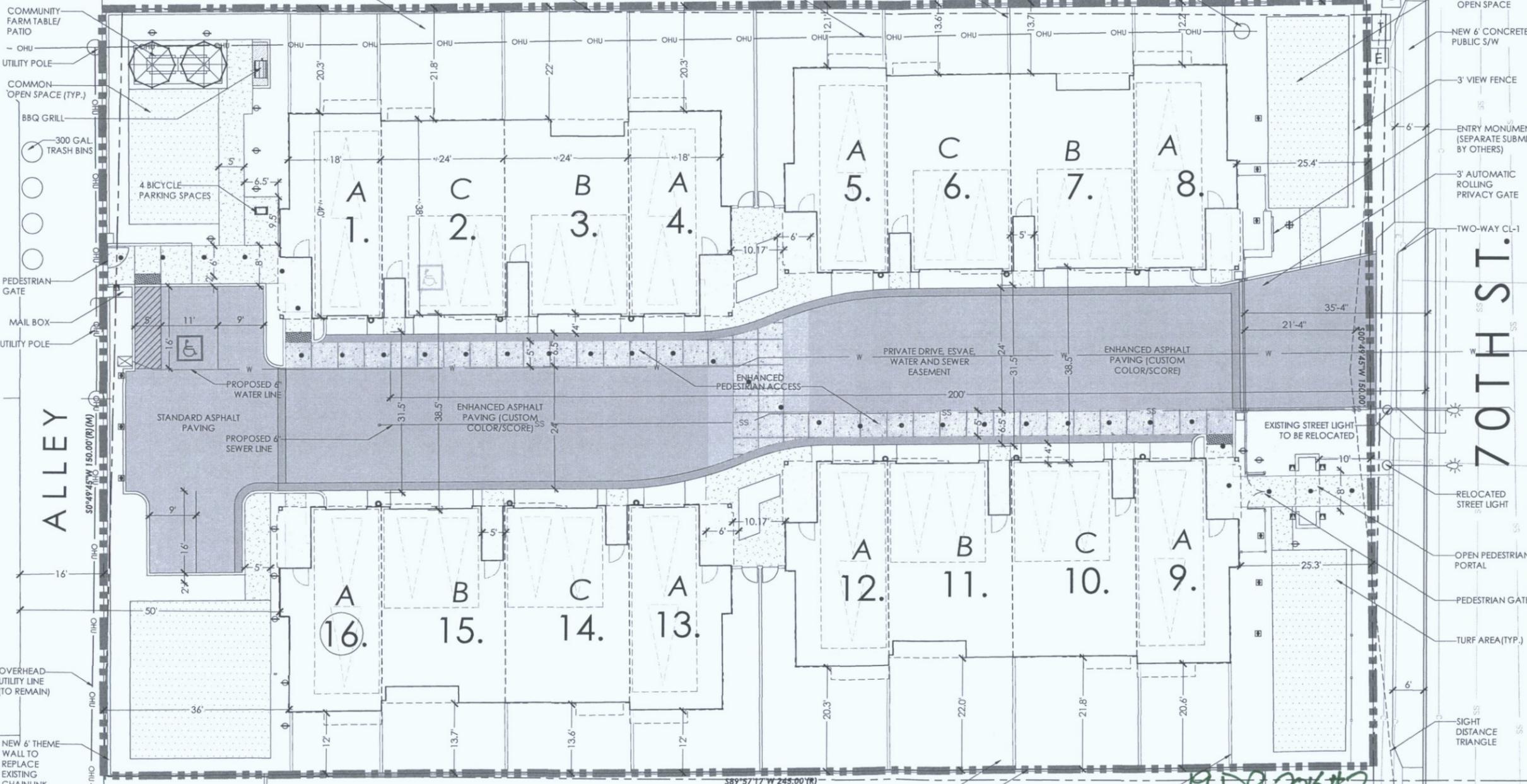




VICINITY MAP



MULTI-FAMILY (R-5)  
APN:130-14-252



PROJECT TEAM

DISCIPLINE	COMPANY CONTACT INFO.
OWNER	LANDMARK HOMES, USA JOHN KOSTARAS, KEN JOHNSON 8910 E PIMA CENTER PKWY #100 SCOTTSDALE ARIZONA, 85258 (480) 270-6824 JOHNK@LANDMARKHOMESUSA.COM
PLANNER/ LANDSCAPE ARCHITECT	LVA URBAN DESIGN STUDIO KEITH NICHTER, LAURA THELEN 120 SOUTH ASH AVENUE TEMPE, ARIZONA 85281 (480) 994-0994 KNICHTER@LVADESIGN.COM
CIVIL ENGINEER	EPSILON ENGINEERING & MATERIAL MARCUS REED 13765 W AUTO DRIVE (623) 882-9928 MREED@EPSILONENGINEERING.COM
ARCHITECT	PHX ARCHITECTS - ERIK PETERSON 15990 N GREENWAY-HAYDEN ROAD SUITE C100 SCOTTSDALE, AZ 85260 (480) 477-1111 ERIKP@PHXARCH.COM

**LEGEND**

- PROJECT BOUNDARY
- RIGHT OF WAY
- OVERHEAD UTILITY LINE
- BICYCLE PARKING
- ENHANCED ASPHALT
- CONCRETE SIDEWALKS
- TURF
- INTERNAL ACCESSIBLE ROUTE
- LOW VOLTAGE ACCENT UPLIGHT
- LOW VOLTAGE INGRADE UPLIGHT
- LOW VOLTAGE PATHWAY LIGHT
- FULL CUTOFF SCONCE FIXTURE
- UNIT MOUNTED ENTRY FIXTURE

NOTE: REFERENCE CONCEPTUAL LANDSCAPE SHEETS L-1-4 FOR HARDSCAPE, WALL & LIGHTING DETAILS.

SITE DATA

LOCATION: NWC OF 70TH ST & MONTEREY WY ALIGN.  
ADDRESS: 3214 N. 70TH STREET  
PARCEL #: 130-14-011  
ZONING: R-5  
CURRENT USE: GODS GRACE CHURCH  
PROPOSED USE: TOWNHOMES  
GROSS ACRES: 0.946 ACRES (41,235 S.F.)  
NET ACRES: 0.844 ACRES (36,750 S.F.)  
DWELLING UNITS: 16  
ALLOWED DU/AC: ≤23  
PROPOSED DU/AC: 16.9

REQUIRED OPEN SPACE (NET): 22% (8,085 S.F.)  
PROPOSED OPEN SPACE (NET): +/-23% (8,700 S.F.)  
REQUIRED FRONTAGE OPEN SPACE: 4,042.5 S.F.  
11% OF NET SITE AREA  
PROPOSED FRONTAGE OPEN SPACE: 4,043 S.F.  
REQUIRED PRIVATE OPEN SPACE: 1,402.6 S.F.  
10% 1ST FLOOR (4,264 S.F.) +5% 2ND/3RD FLR. (19,524 S.F.)  
PROPOSED PRIVATE OPEN SPACE: +/-7,000  
REQUIRED PARKING LOT L/S: 104 S.F.  
15% OF PARKING AREA (695 S.F.)  
PROPOSED PARKING LOT L/S: 400 S.F.

ALLOWED HEIGHT: (36') 3 STORY  
PROPOSED HEIGHT: (≤36') 3 STORY  
ALLOWED WALL HEIGHT: VARIES (8' MAX)  
PROPOSED WALL HEIGHT: VARIES (8' MAX)  
ALLOWED DISTANCE BETWEEN BUILDINGS: 10' MIN.  
PROPOSED DISTANCE BETWEEN BUILDINGS: ≥10'  
PERIMETER SETBACKS: REQUIRED PROVIDED

WEST:	15'	34'
N.E. & S.:	10'	≥10'

SURFACE PARKING: 4 STALLS  
GARAGE PARKING: 32 STALLS  
TOTAL PARKING: 27 STALLS 36 STALLS  
(16(2BR)x1.7)  
ADA PARKING: 1.44 STALLS 2 STALLS  
(4% x 36)  
BIKE PARKING: 2 SPACES (REQ. FOR ≤40 STALLS) 4 STALLS

**NOTES:**  
- EQUIPMENT TO BE MOUNTED/SCREENED ON ROOFTOPS.  
- HYDRANTS ARE PROVIDED AT A MAX. SPACING OF 700' PER ORD. 507.5.1-2.  
- KEY SWITCH/PRE-EMPTION SENSOR WILL BE PROVIDED FOR ENTRY GATE.  
- FIRE LANES WILL SUPPORT 83,000LB LOAD PER DS&PM 2-1.802.  
- INTERNAL PRIVATE DRIVE TO BE DESIGNATED EMERGENCY SERVICE VEHICLE ACCESS. WATER AND SEWER EASEMENT.  
- SPRINKLER SUPPRESSION SYSTEM TO BE NFPA 13D.

NOTE: THIS PLAN IS CONCEPTUAL AND IS SUBJECT TO CHANGE BASED ON DETAILED SITE PLANNING, ENGINEERING AND CITY APPROVALS.

MULTI-FAMILY (R-5)  
APN:130-14-470

**LVA** urban design studio  
land planning • development entitlements • landscape architecture  
120 south ash avenue • tempe, arizona 85281 • 480.994.0994

THE  
**AERIES**  
TOWNHOMES

19-DR-2016#2  
**STIPULATION SET**  
**RETAIN FOR RECORDS**  
**APPROVED**  
5/18/17  
DATE INITIALS

**LANDMARK**  
**HOMES USA**

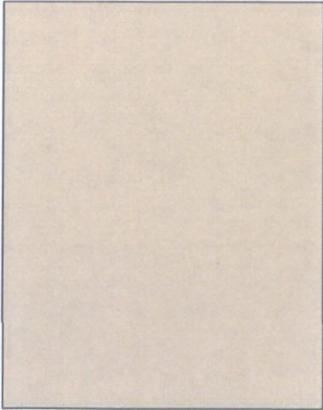
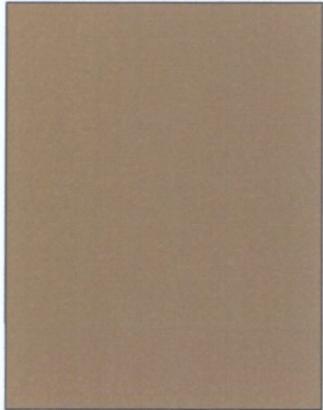
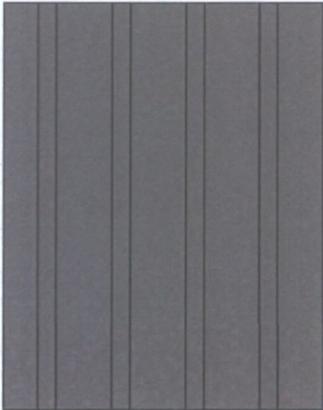
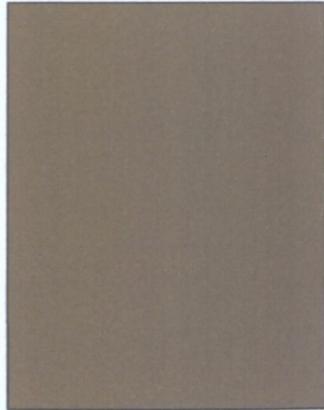
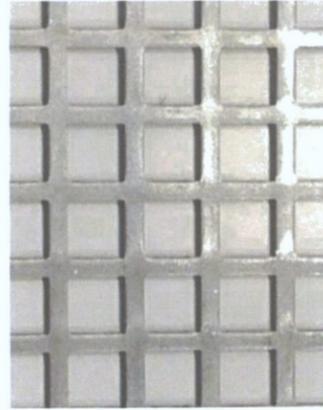
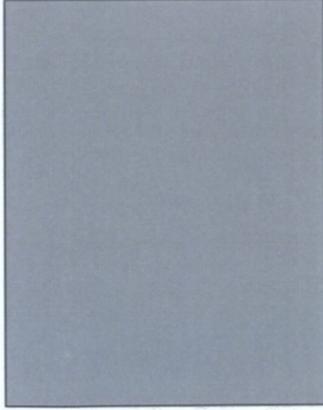
APPROX. SCALE: 1" = 10'  
NORTH  
1567 DRAWN BY: AV 4/19/16  
REV: 7/18/16, 9/30/16, 1/19/17



SIDE ELEVATION (FACING WEST)



FRONT ELEVATION (FACING SOUTH)

1	2	3	4	5	6	7	8
							
<b>[FLOATING FEATHER]</b> - DE 6142 - LRV 65 -STUCCO FACADE	<b>[DARK SEPIA]</b> - DE 6138 - LRV 26 -STUCCO FACADE	<b>[GAUNTLET GRAY]</b> - SW 7019 - LRV 17 -BOARD AND BATTEN WOOD SIDING	<b>[OLD BOOT]</b> - DE 6133 - LRV 13 GARAGE DOORS	<b>[AMALFI LEDGE]</b> - CORONADO STONE -STONE VENEER	<b>[METAL MESH]</b> -METAL MESH RAILING + DETAILING	<b>[CARDINAL EC+ 366 CLEAR GLASS]</b> -ALL WINDOWS	<b>[DARK BRONZE]</b> -METAL DETAILS

THE  
**AERIES**  
TOWNHOMES

19-DR-2016#2  
STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
5/18/17  
DATE INITIALS

Aeries Townhomes  
material sample board

**PHX**  
ARCHITECTURE

This design is for conceptual purposes only.  
Not to be used for construction.

19-DR-2016#2  
05/05/2017



**1 WEST BUILDING ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 FRONT BUILDING ELEVATION (NORTH SIDE OF DRIVE)**  
SCALE: 3/16" = 1'-0"

19-DR-2016#2  
STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
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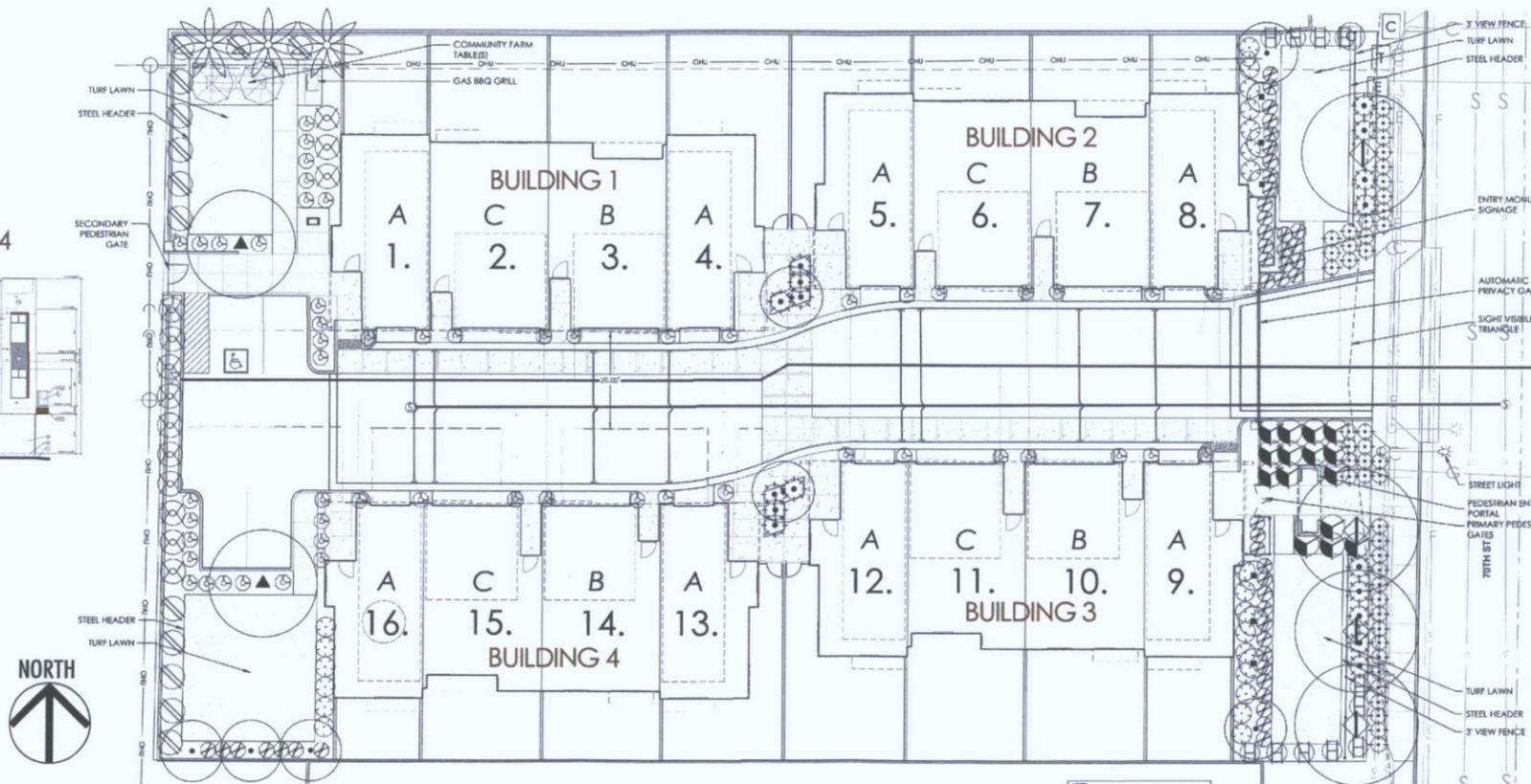
**3 EAST BUILDING ELEVATION**  
SCALE: 3/16" = 1'-0"



**4 REAR BUILDING ELEVATION (SOUTH SIDE OF DRIVE)**  
SCALE: 3/16" = 1'-0"

19-DR-2016#2  
05/05/2017

- 1 [FLOATING FEATHER] - DE 6142 - LRV 65  
-STUCCO FACADE
- 2 [DARK SEPIA] - DE 6138 - LRV 26  
-STUCCO FACADE
- 3 [GUANTLET GRAY] - SW 7019 - LRV 17  
-BOARD AND BATTEN WOOD SIDING
- 4 [OLD BOOT] - DE 6133 - LRV 13  
- GARAGE DOORS
- 5 [AMALFI LEDGE] - CORONADO STONE  
-STONE VENEER
- 6 [METAL MESH] -  
-METAL MESH RAILING + DETAILING
- 7 [CARDINAL EC+366]  
-CLEAR GLASS
- 8 [DARK BRONZE]  
-WINDOWS, DOORS AND METAL ACCENTS



**PLANT LEGEND**

TREES	SIZE	QTY.	CALIPER	SHRUBS & ACCENTS	GROUNDCOVERS	INERT
LAIURUS NOBILIS BAY LAUREL	36" BOX 3" CAL	7	3"	CAESALPINIA MEXICANA YELLOW BIRD OF PARADISE	LANTANA 'NEW GOLD'	CYNODON DACTYLON - TURF
CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS	36" BOX 2" CAL	6	2"	EREMOPHILA MACULATA VALENTINE BUSH	TEUCRIUM CHAMAEDRY'S	HYBRID BERMUDA - SOD
PARKINSONIA X 'DESERT MUSEUM'	48" BOX / 3" CAL	2	3"	HAMELIA PATENS FIRECRACKER BUSH		
QUERCUS VIRGINIANA LIVE OAK	24" BOX 1.5" CAL	4	1.0-1.5	MUHLENBERGIA CAPILLARS REGAL MIST		
PHOENIX DACTYLIFERA DATE PALM	SALVAGE	3	30" CLEAR TRUNK	MUHLENBERGIA RIGENS DEER GRASS		
				R. OFFICINALIS 'PROSTRATUS' CREEPING ROSEMARY		
				TECOMA STANS 'ORANGE JUBILEE' ORANGE BELLS		

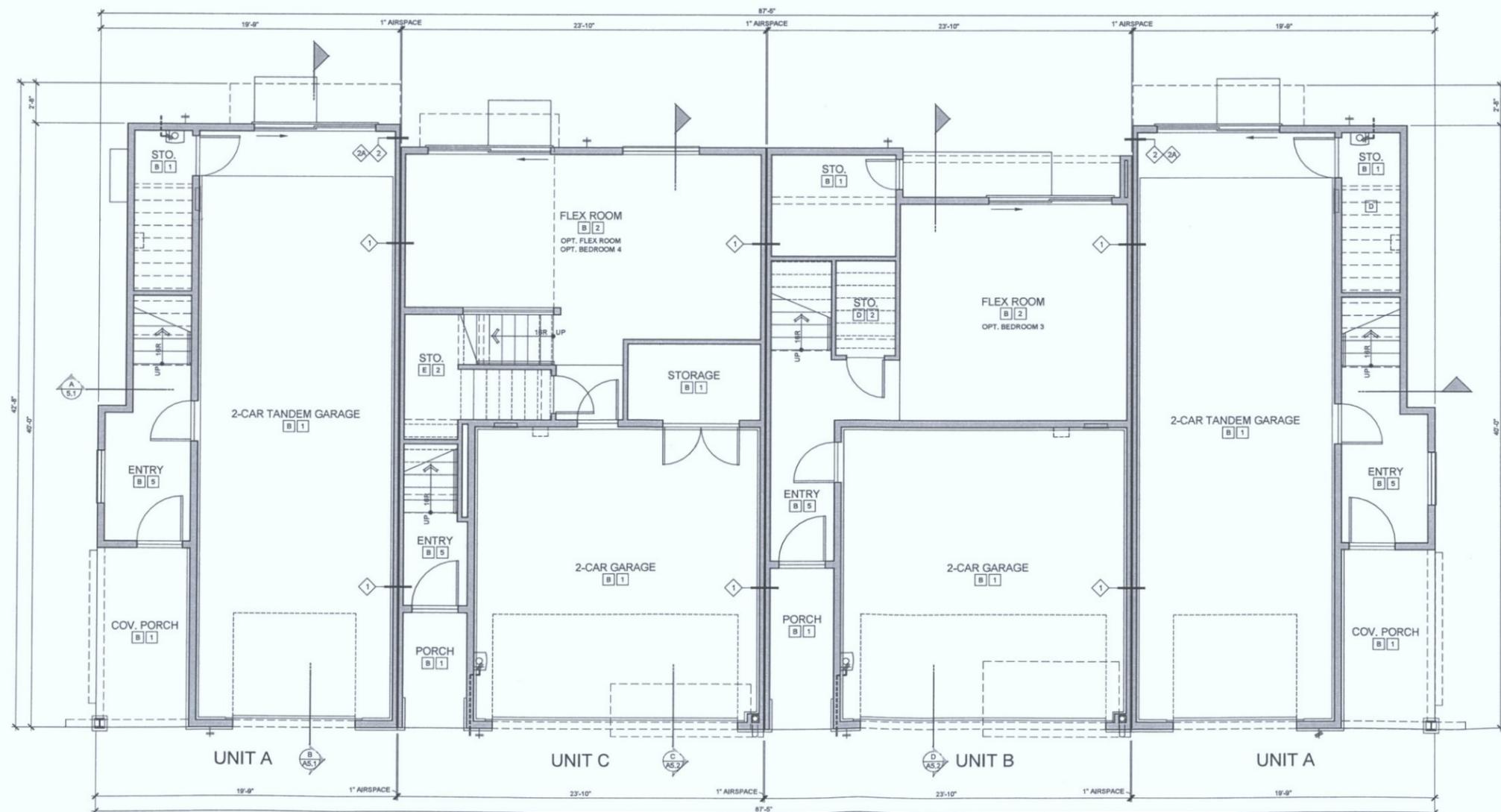
2" DEPTH GRANITE TOP DRESSING COLOR: 'DESERT GOLD' OR APPROVED EQUAL  
 1/2" SCREENED SIZE (DOES NOT INCLUDE PRIVATE YARDS) KELLY SHEPHERD (480) 354-6809

19-DR-2016 #2  
 STIPULATION SET  
 RETAIN FOR RECORDS  
 APPROVED  
 5/18/17 DATE  
 INITIALS



19-DR-2016#2  
STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED

*Shelby*  
DATE



**GROUND FLOOR BUILDING PLAN**  
1/4" = 1'-0"

HEIGHT SCHEDULE		
A 7'-1"	C 9'-1"	E LOW CEILING BELOW LANDING
B 8'-1"	D SLOPED CEILING BELOW STAIRS	F -

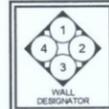
FLOOR MATERIAL SCHEDULE		
1 CONCRETE	3 VINYL	5 HARD SURFACE
2 CARPET AND PAD	4 CERAMIC TILE	6 ELASTOMERIC COCKING

GENERAL NOTES
1. ALL INTERIOR WALLS TO BE 2x4 FRAMED WALLS U.N.O.
2. ALL EXTERIOR WALLS TO BE 3x6 FRAMED WALLS U.N.O.
3. ALL GROUND FLOOR WINDOW HEADERS TO BE 6'-8" U.N.O.
4. ALL 1ST AND 2ND FLOOR WINDOW HEADERS TO BE 8'-0" U.N.O.
5. PROVIDE WINDOW AREAS EQUAL TO 8% OF FLOOR AREA WITH MINIMUM OPENABLE AREA TO OUTDOORS EQUAL TO 4% OF FLOOR AREA - SEE GAN SHEET FOR MORE INFORMATION.
6. SEE EXTERIOR ELEVATIONS FOR VERTICAL HEIGHTS.
7. FIRE / DRAFTSTOP BLOCK ALL VERTICAL AND HORIZONTAL VOID SPACES AS REQUIRED BY BUILDING CODE.
8. APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES.

SYMBOLS
SEE "AFR" SHEETS FOR FIRE-RATED WALL ASSEMBLIES AND DETAILS



ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 ALL WALLS ARE TO BE 2x4 FRAMED WALLS UNLESS OTHERWISE NOTED.  
 ALL EXTERIOR WALLS ARE TO BE 3x6 FRAMED WALLS UNLESS OTHERWISE NOTED.  
 ALL WINDOW HEADERS ARE TO BE 6'-8" UNLESS OTHERWISE NOTED.  
 ALL 1ST AND 2ND FLOOR WINDOW HEADERS ARE TO BE 8'-0" UNLESS OTHERWISE NOTED.  
 PROVIDE WINDOW AREAS EQUAL TO 8% OF FLOOR AREA WITH MINIMUM OPENABLE AREA TO OUTDOORS EQUAL TO 4% OF FLOOR AREA - SEE GAN SHEET FOR MORE INFORMATION.  
 SEE EXTERIOR ELEVATIONS FOR VERTICAL HEIGHTS.  
 FIRE / DRAFTSTOP BLOCK ALL VERTICAL AND HORIZONTAL VOID SPACES AS REQUIRED BY BUILDING CODE.  
 APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES.  
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**FELTENGROUP**  
ARCHITECTURE | ENGINEERING | FORENSICS  
PHONE: 602.887.2800 WWW.FELTENGROUP.COM

**LANDMARK HOMES**  
4801 E Prime Center Dr. Suite 100, Scottsdale, AZ 85253  
Phone: (480) 270-8881

TITLE: **GROUND FLOOR BUILDING PLAN**

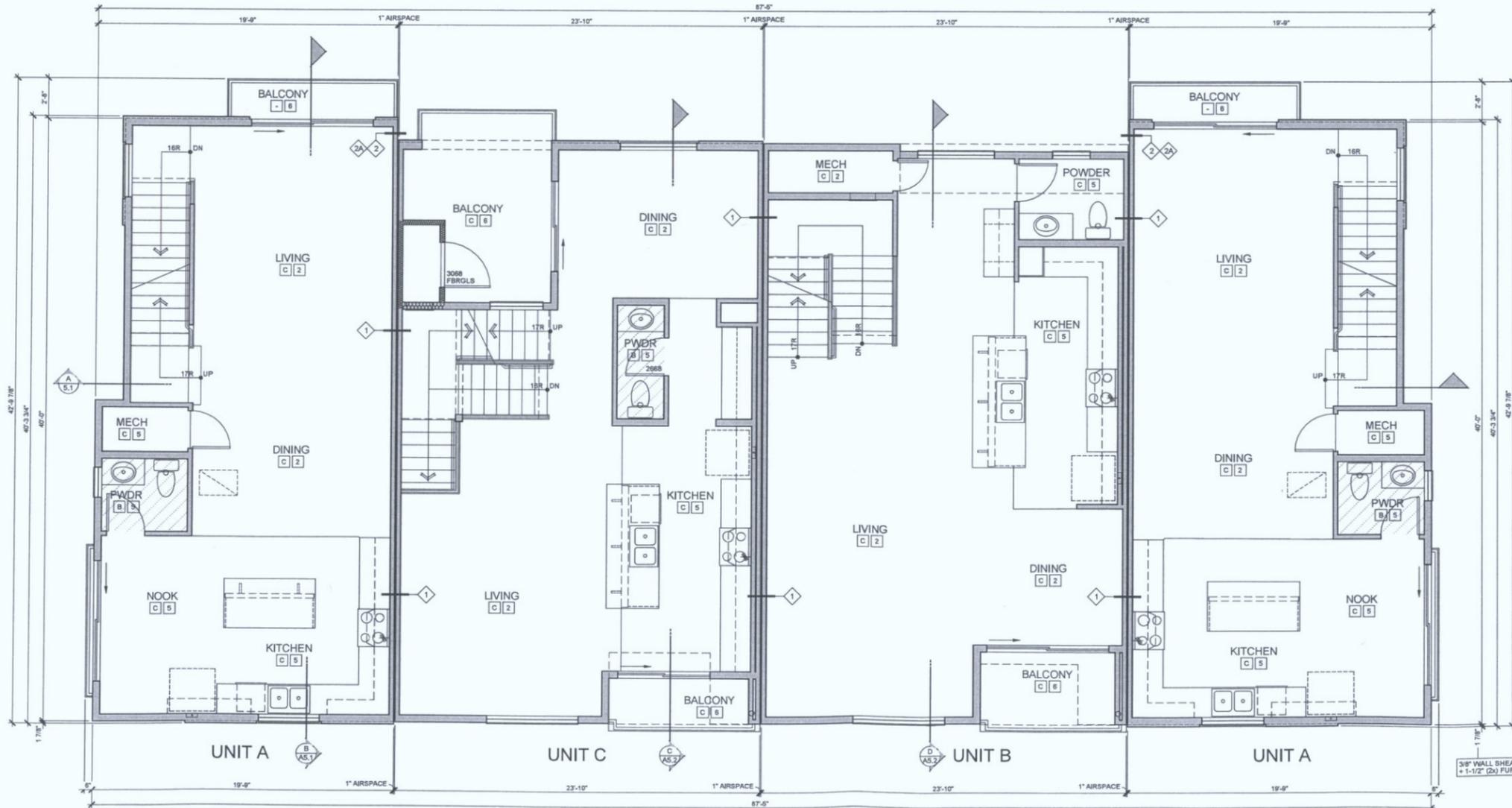
**PRELIMINARY**  
1/19/2017

DESIGN BY	DATE
F.G.	2016-00-00
ORDERED BY	DATE
F.G.	2016-00-00
PROJECT NUMBER	
AZ-16-226-01-FA002	

**THE AERIES TOWNHOMES**  
3214 N. 70TH ST.  
SCOTTSDALE  
ARIZONA

SHEET NUMBER  
**A2.1**

**19-DR-2016#2**  
**05/05/2017**



**1ST FLOOR BUILDING PLAN**  
1/4" = 1'-0"

HEIGHT SCHEDULE		
A 7'-1"	C 9'-1"	E LOW CEILING BELOW LANDING
B 8'-1"	D SLOPED CEILING BELOW STAIRS	F -

FLOOR MATERIAL SCHEDULE		
1 CONCRETE	3 VINYL	5 HARD SURFACE
2 CARPET AND PAD	4 CERAMIC TILE	6 ELASTOMERIC DECKING

**GENERAL NOTES**

- ALL INTERIOR WALLS TO BE 2x4 FRAMED WALLS U.N.O.
- ALL EXTERIOR WALLS TO BE 2x6 FRAMED WALLS U.N.O.
- ALL GROUND FLOOR WINDOW HEADERS TO BE 8'-0" U.N.O.
- ALL 1ST AND 2ND FLOOR WINDOW HEADERS TO BE 8'-0" U.N.O.
- PROVIDE WINDOW AREAS EQUAL TO 8% OF FLOOR AREA WITH MINIMUM OPENABLE AREA TO OUTDOORS EQUAL TO 4% OF FLOOR AREA - SEE GAN SHEET FOR MORE INFORMATION.
- SEE EXTERIOR ELEVATIONS FOR VERTICAL HEIGHTS.
- FIRE / DRAFTSTOP BLOCK ALL VERTICAL AND HORIZONTAL VOID SPACES AS REQUIRED BY BUILDING CODE.
- APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES.

**SYMBOLS**

SEE "AIR" SHEETS FOR PRE-FRATED WALL ASSEMBLIES AND DETAILS



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**LANDMARK HOMES**  
3000 E. Pima Center Parkway #100  
Scottsdale, AZ 85268  
Phone: (480) 870-8881

TITLE: **1ST FLOOR BUILDING PLAN**

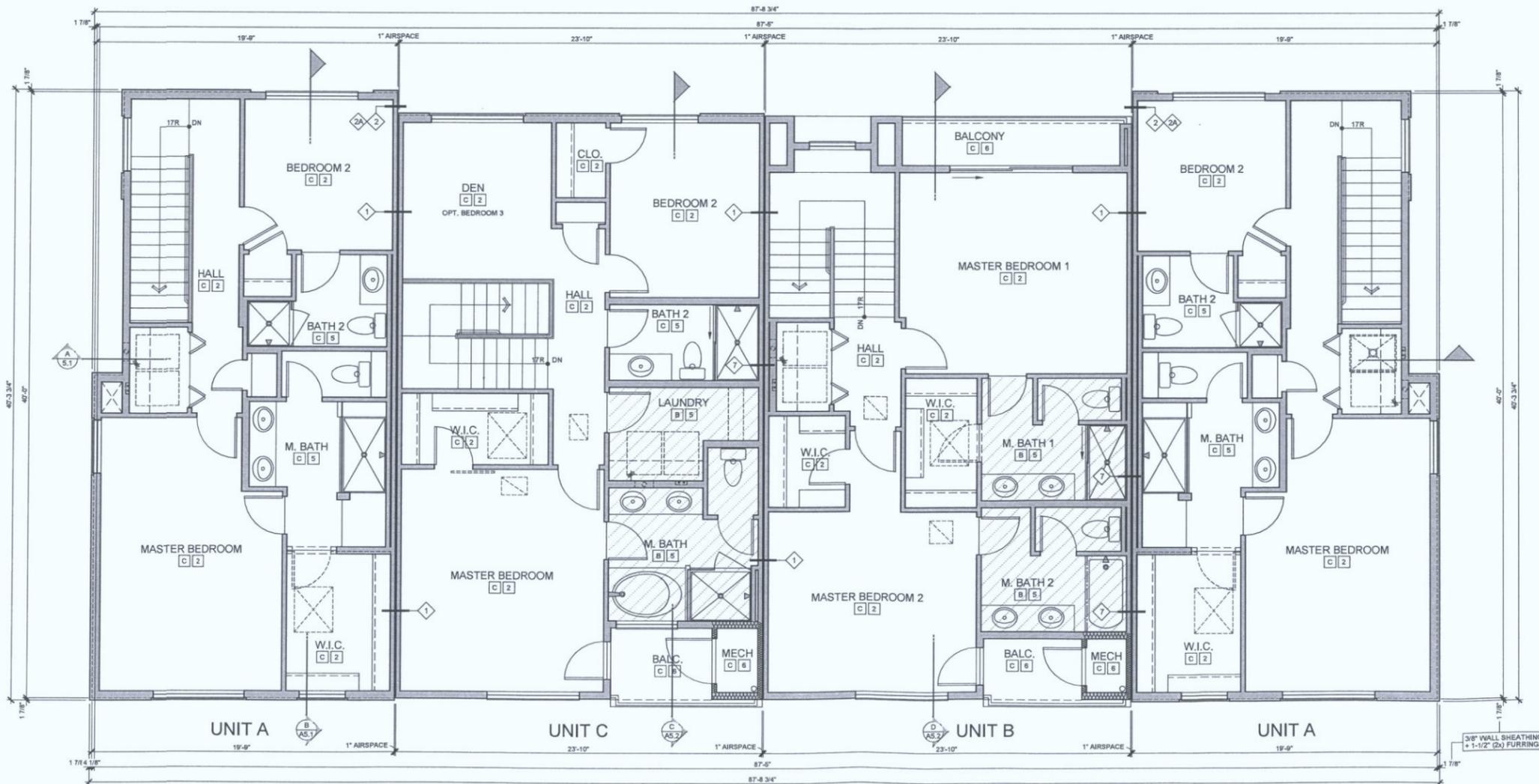
**PRELIMINARY**  
1/18/2017

DESIGNED BY:	F.G.	DATE:	2016-00-00
DRAWN BY:	F.G.	DATE:	2016-00-00
PROJECT NUMBER:	AZ-16-226-01-FA002		

**THE AERIES TOWNHOMES**  
3214 N. 70TH ST.  
SCOTTSDALE  
ARIZONA

SHORT NUMBER  
**A2.2**

**19-DR-2016#2**  
**05/05/2017**



**2ND FLOOR BUILDING PLAN**  
1/4" = 1'-0"

HEIGHT SCHEDULE		
A 7'-1"	C 6'-1"	E LOW CEILING BELOW LANDING
B 6'-1"	D SLOPED CEILING BELOW STAIRS	F -

FLOOR MATERIAL SCHEDULE		
1 CONCRETE	3 VINYL	5 HARD SURFACE
2 CARPET AND PAD	4 CERAMIC TILE	6 GLASS/THERMIC DECKING

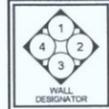
**GENERAL NOTES**

- ALL INTERIOR WALLS TO BE 2x4 FRAMED WALLS U.N.O.
- ALL EXTERIOR WALLS TO BE 2x6 FRAMED WALLS U.N.O.
- ALL GROUND FLOOR WINDOW HEADERS TO BE 6'-8" U.N.O.
- ALL 1ST AND 2ND FLOOR WINDOW HEADERS TO BE 8'-0" U.N.O.
- PROVIDE WINDOW AREAS EQUAL TO 4% OF FLOOR AREA WITH MINIMUM OPENABLE AREA TO OUTDOORS EQUAL TO 4% OF FLOOR AREA - SEE GAN SHEET FOR MORE INFORMATION.
- SEE EXTERIOR ELEVATIONS FOR VERTICAL HEIGHTS.
- FIRE / DRAFTSTOP BLOCK ALL VERTICAL AND HORIZONTAL VOID SPACES AS REQUIRED BY BUILDING CODE.
- APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES.

**SYMBOLS**

SEE "A"RY SHEETS FOR FIRE-RATED WALL ASSEMBLIES AND DETAILS



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1000 E. Pima Center Plaza #100  
Scottsdale, AZ 85260  
Phone: (480) 579-8881

TITLE: **2ND FLOOR BUILDING PLAN**

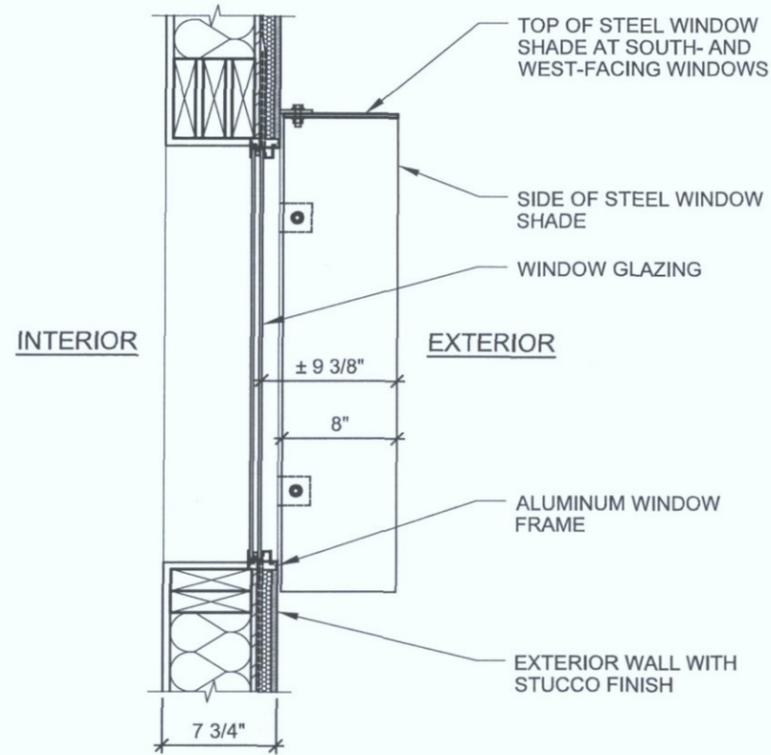
**PRELIMINARY**  
1/18/2017

DESIGN BY	F.G.	DATE	2016-00-00
CHECKED BY	F.G.	DATE	2016-00-00
PROJECT NUMBER	AZ-16-226-01-P-A002		

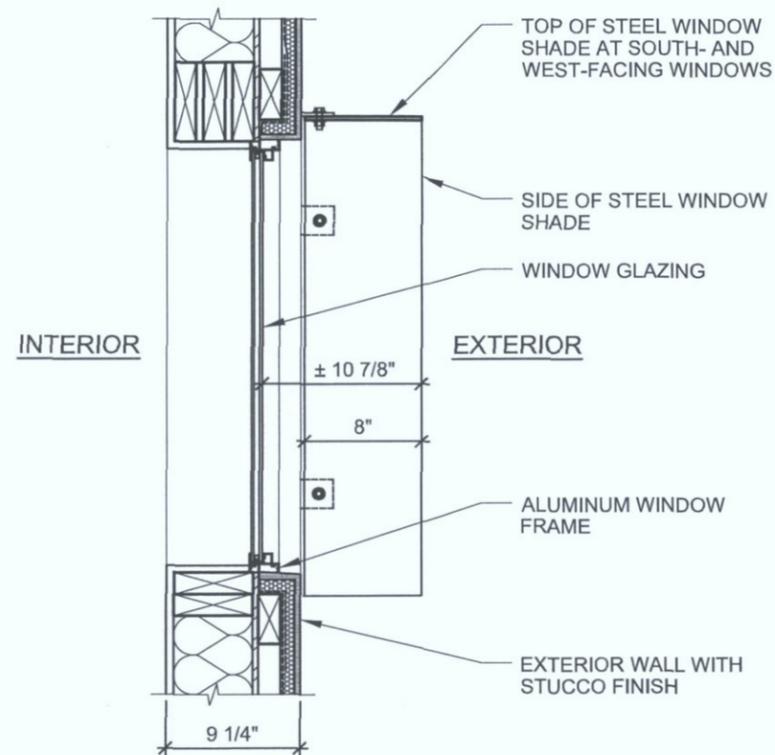
**THE AERIES TOWNHOMES**  
3214 N. 70TH ST.  
SCOTTSDALE  
ARIZONA

SHEET NUMBER  
**A2.3**

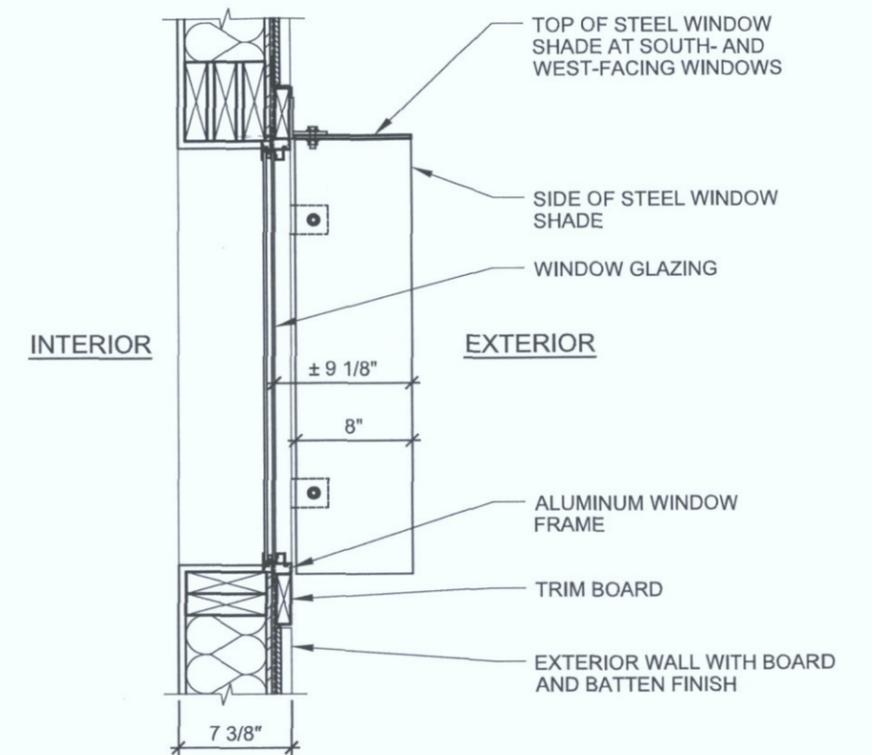
**19-DR-2016#2**  
**05/05/2017**



1 STEEL WINDOW SHADE FOR WINDOW AT STUCCO WALL



2 STEEL WINDOW SHADE FOR WINDOW AT FURRED STUCCO WALL



3 STEEL WINDOW SHADE FOR WINDOW AT BOARD AND BATTEN WALL

19-DR-2016#2  
 STIPULATION SET  
 RETAIN FOR RECORDS  
 APPROVED  
 5/18/17  
 DATE INITIALS

THE AERIES TOWNHOMES | SCOTTSDALE

5-1-2017



19-DR-2016#2  
 05/05/2017



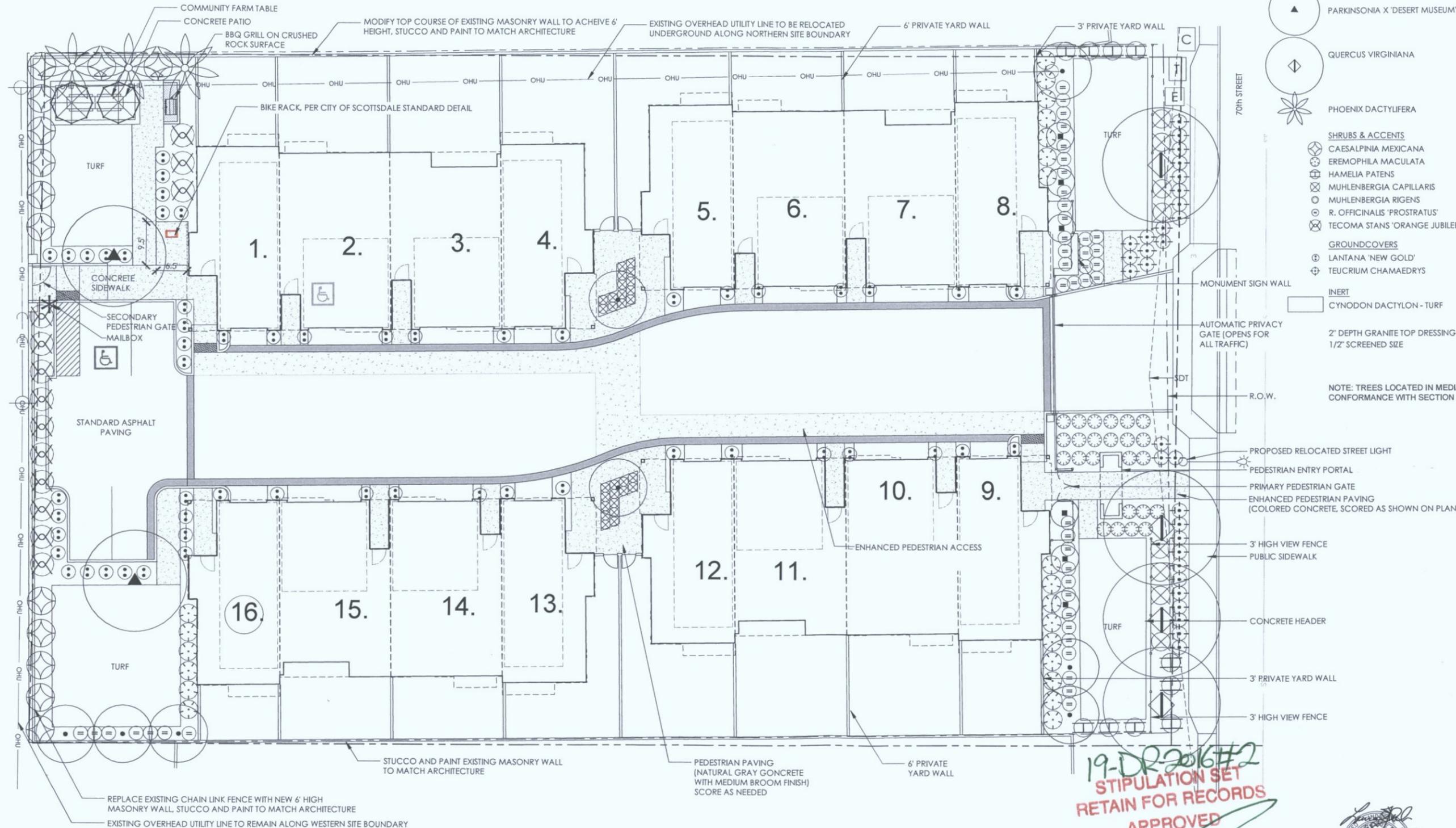
PROJECT TEAM

DISCIPLINE	OWNER	CIVIL ENGINEER	PLANNER/LANDSCAPE ARCHITECT	ARCHITECT
	LANDMARK HOMES, USA JOHN KOSTARAS, KEN JOHNSON 8910 E PIMA CENTER PKWY #100 SCOTTSDALE ARIZONA, 85258 (480) 270-6824 JOHNK@LANDMARKHOMESUSA.COM	EPSILON ENGINEERING & MATERIAL MARCUS REED 13765 W ALTO DRIVE TEMPE, ARIZONA 85281 (623) 882-9928 MREED@EPSILONENGINEERING.COM	LVA URBAN DESIGN STUDIO KEITH NICHTER, LAURA THELEN 120 SOUTH ASH AVENUE TEMPE, ARIZONA 85281 (480) 994-0994 KNICHTER@LVADESIGN.COM LTHELEN@LVADESIGN.COM	PHX ARCHITECTS - ERIK PETERSON 15990 N GREENWAY-HAYDEN ROAD SUITE C100 SCOTTSDALE, AZ 85260 (480) 477-1111 ERIKP@PHXARCH.COM

PLANT LEGEND

TREES	SIZE	QTY.
LAURUS NOBILIS	BAY LAUREL	24" BOX / 1.5" CAL. 8
CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	36" BOX / 2" CAL. 6
PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX / 1.5" CAL. 2
QUERCUS VIRGINIANA	LIVE OAK	24" BOX / 1.5" CAL. 4
PHOENIX DACTYLIFERA	DATE PALM	SALVAGE 3
SHRUBS & ACCENTS	SIZE	QTY.
CAESALPINIA MEXICANA	YELLOW BIRD OF PARADISE	15 GAL. 12
EREMOPHILA MACULATA	VALENTINE BUSH	5 GAL. 16
HAMELIA PATENS	FIRECRACKER BUSH	5 GAL. 10
MUHLENBERGIA CAPILLARIS	REGAL MIST	5 GAL. 38
MUHLENBERGIA RIGENS	DEER GRASS	5 GAL. 24
R. OFFICINALIS 'PROSTRATUS'	CREeping ROSEMARY	5 GAL. 43
TECOMA STANS 'ORANGE JUBILEE'	ORANGE BELLS	5 GAL. 13
GROUNDCOVERS	SIZE	QTY.
LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL. 61
TEUCRIUM CHAMAEDRYS	GERMANDER	5 GAL. 30
INERT	QTY.	
CYNODON DACTYLON - TURF	HYBRID BERMUDA - SOD	1,970 S.
2" DEPTH GRANITE TOP DRESSING 1/2" SCREENED SIZE	COLOR: 'DESERT GOLD' OR APPROVED EQUAL. KELLY SHEPHERD (480) 354-6809	4,200 S.

NOTE: TREES LOCATED IN MEDIANS AND NEAR ROADWAYS SHALL BE IN CONFORMANCE WITH SECTION 2-1.901 OF THE DS&PM.



VICINITY MAP

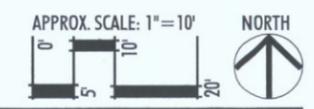


SITE DATA

LOCATION: NWC OF 70TH ST & MONTEREY WY ALIGN.  
ADDRESS: 3214 N. 70TH STREET  
PARCEL #: 130-14-011  
ZONING: R-5  
CURRENT USE: GODS GRACE CHURCH  
PROPOSED USE: TOWNHOMES  
GROSS ACRES: 0.946 ACRES (41,235 S.F.)  
NET ACRES: 0.844 ACRES (36,750 S.F.)  
DWELLING UNITS: 16  
ALLOWED DU/AC: <=23  
PROPOSED DU/AC: 16.9

SHEET INDEX

- L-1 CONCEPTUAL LANDSCAPE AND HARDSCAPE PLAN
- L-2 CONCEPTUAL WALL DETAILS
- L-3 CONCEPTUAL WALL DETAILS
- L-4 CONCEPTUAL WALL AND LIGHTING PLAN
- L-5 LIGHTING CUT SHEETS



APPROX. SCALE: 1"=10'  
1567 DRAWN BY: TEAM 4/18/16  
REV: 7/18/16, 9/30/16

RELATED COS CASE NUMBERS: 1011-PA-2015, 19-DR-2016  
THE AERIES TOWNHOMES - DEVELOPMENT REVIEW

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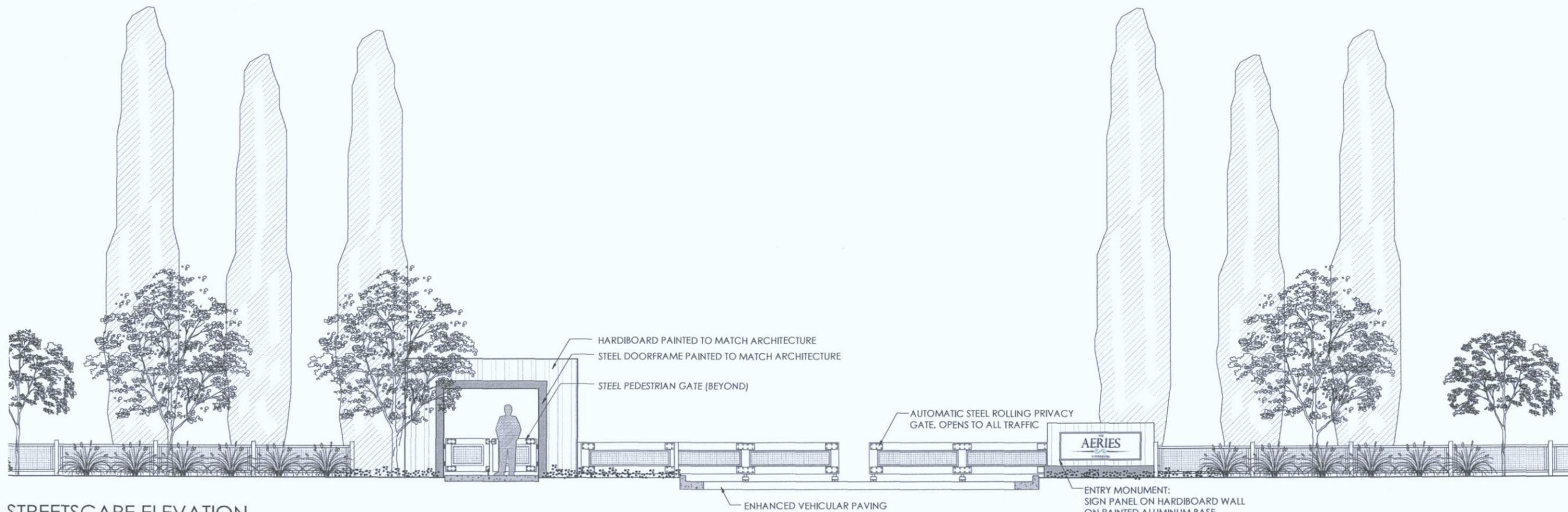
**AERIES TOWNHOMES**  
L-1 CONCEPTUAL LANDSCAPE AND HARDSCAPE PLAN

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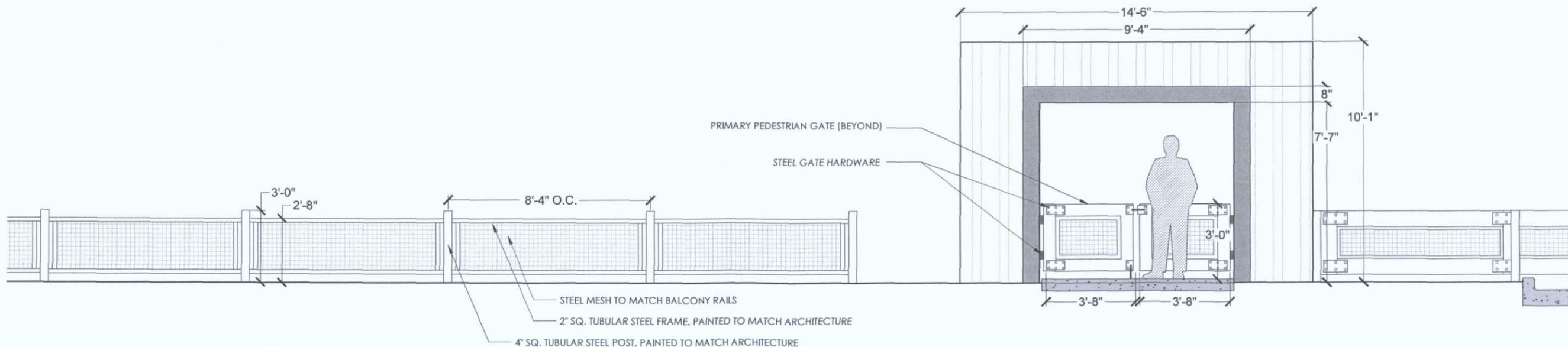
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19-DR-2016#2  
STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
5/18/17  
DATE INITIALS

19-DR-2016#2  
05/05/2017

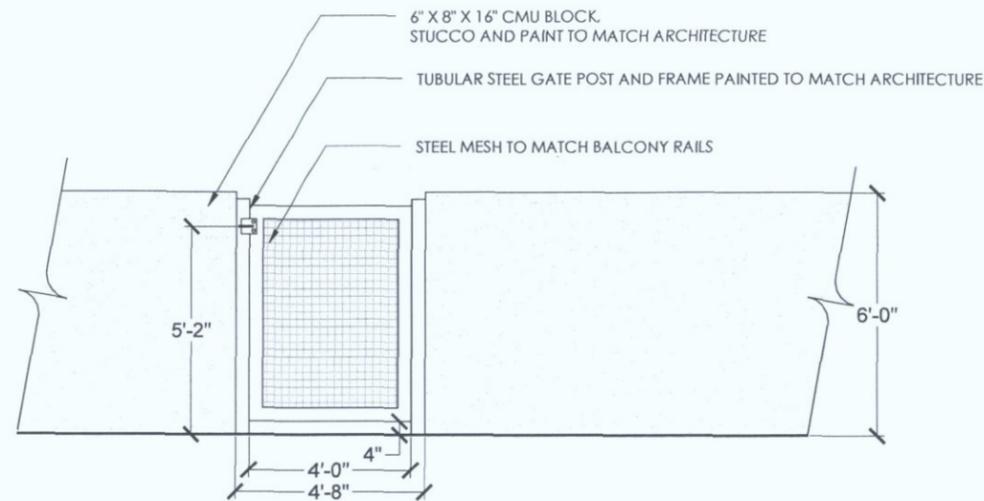


**1** STREETScape ELEVATION  
SCALE: N.T.S.

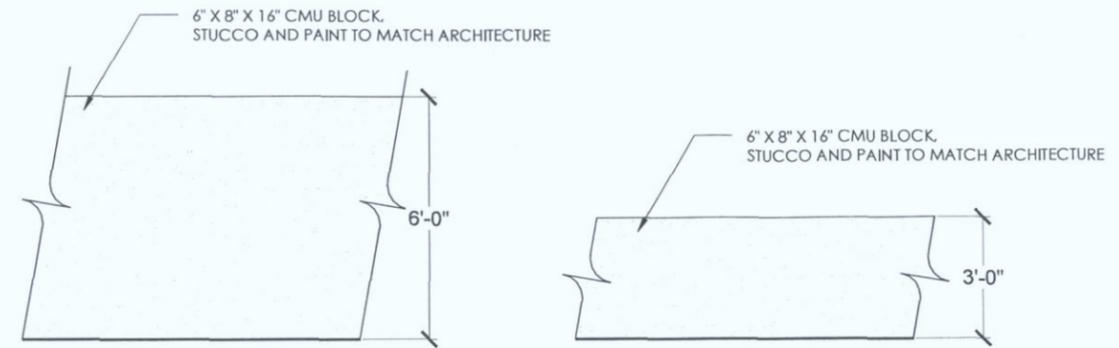


**2** PEDESTRIAN ENTRY PORTAL, PRIMARY PEDESTRIAN GATE, AND VIEW FENCE ELEVATION  
SCALE: N.T.S.

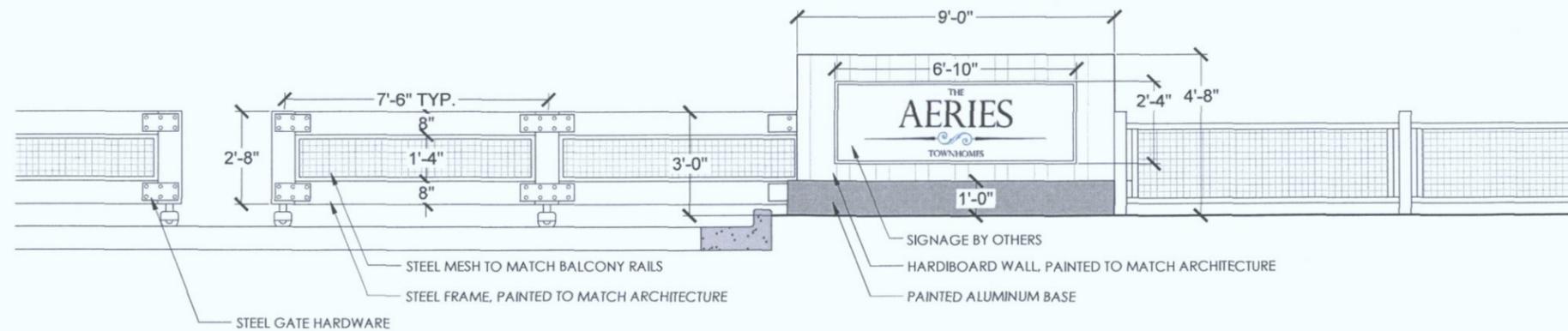




**1** THEME WALL AND SECONDARY PEDESTRIAN ENTRY GATE ELEVATION  
SCALE: N.T.S.

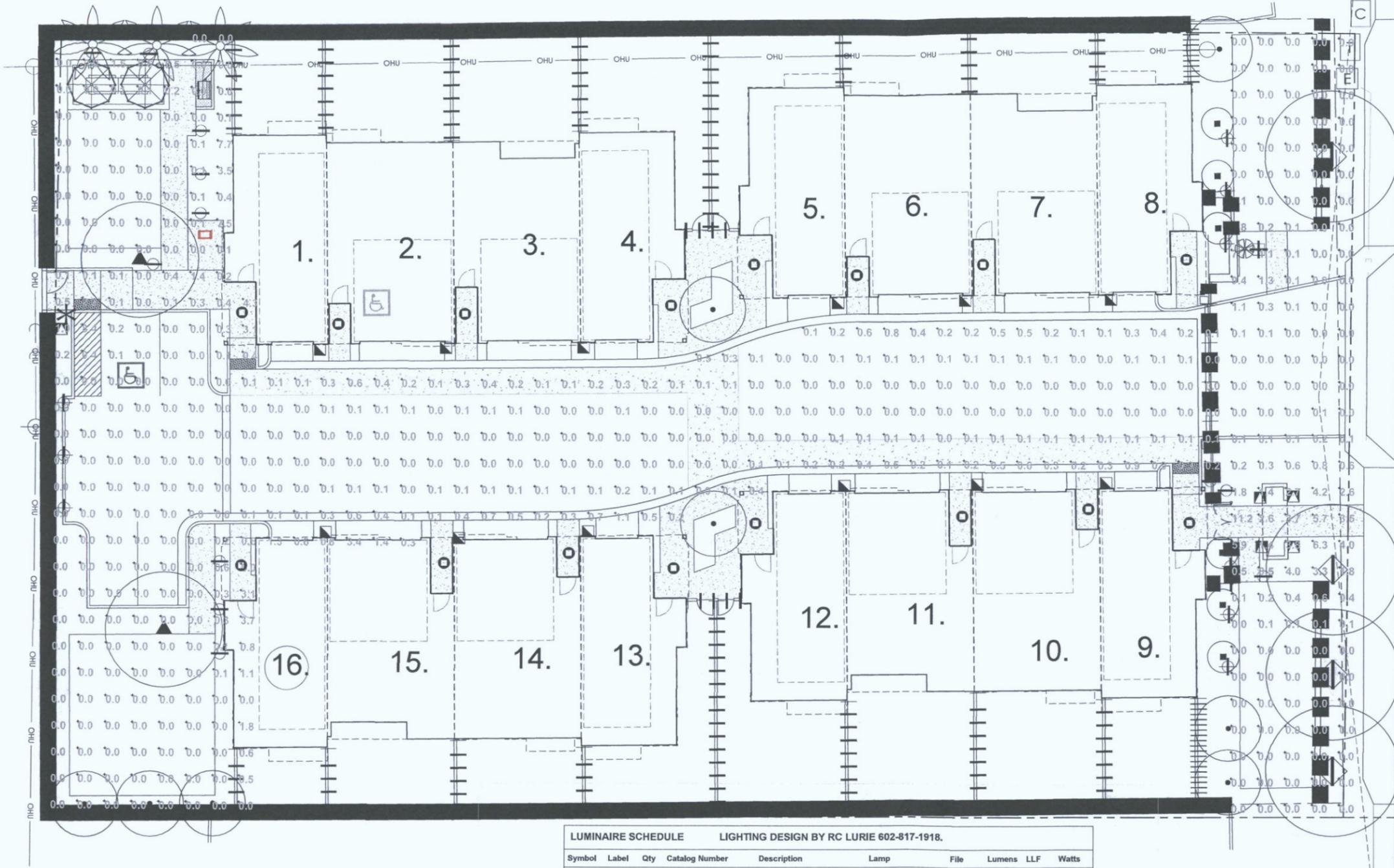


**2** PRIVATE YARD WALL  
SCALE: N.T.S.



**3** VEHICULAR PRIVACY GATE AND MONUMENT SIGN ELEVATION  
SCALE: N.T.S.





# LEGEND

-  PEDESTRIAN ENTRY PORTAL  
REFER TO DETAIL 2, SHEET L-2
-  3' VIEW FENCE  
REFER TO DETAIL 2, SHEET L-2
-  3' VEHICULAR PRIVACY GATE  
REFER TO DETAIL 3, SHEET L-3
-  6' THEME WALL  
REFER TO DETAIL 1, SHEET L-3
-  6' PRIVATE YARD WALL  
REFER TO DETAIL 2, SHEET L-3
-  3' PRIVATE YARD WALL  
REFER TO DETAIL 2, SHEET L-3
-  3' PRIMARY PEDESTRIAN GATE  
REFER TO DETAIL 2, SHEET L-2
-  6' SECONDARY PEDESTRIAN GATE  
REFER TO DETAIL 1, SHEET L-3
-  ENTRY MONUMENT SIGN  
REFER TO DETAIL 3, SHEET L-3
-  PROPOSED MAILBOX LOCATION  
PREFABRICATED UNIT, TBD

## LUMINAIRE SCHEDULE LIGHTING DESIGN BY RC LURIE 602-817-1918.

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
+	SA	1	WAC 5011-30- BBR/9000-ST9-BK	LOW VOLTAGE ACCENT UPLIGHT, REQUIRES REMOTE TRANSFORMER	3000K LED	5011-CCBZ- 3000K_60D.JE S	357	0.90	15.7
⊙	SB	9	WAC 5031-30- BBR/5030-GDR- BBR	LOW VOLTAGE INGRADE UPLIGHT REQUIRES REMOTE TRANSFORMER	3000K LED	5031-CCBZ- 3000K_60D.JE S	248	0.90	15.5
⊖	SC	13	WAC 6021-30BZ 9000-ST9-BK	LOW VOLTAGE PATHWAY LIGHT REQUIRES REMOTE TRANSFORMER	3000K LED	6021-30BZ A122115.JES	94	0.90	5
▲	SE	5	BEGA 22261	FULL CUTOFF SCENCE FIXTURE	3000K LED	22261.i.es	Absolute	0.90	6
■	SF	12	HINKLEY LIGHTING 1660BZ-LED	UNIT ENTRY FIXTURE	3000K LED	L_WS- W38608.JES	250	0.90	9.2
○	SG	16	JUNO IC91LEDG4- 3K-1/17W WH	RECESSED DOWNLIGHT 3000K LED	3000K LED	IC91LEDG4-3K- -1 + 17C- WHJES	Absolute	1.00	15

## STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC AT GRADE	+	0.3 fc	9.6 fc	0.0 fc	N / A	N / A

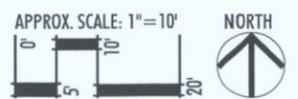
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# AERIES TOWNHOMES

## L-4 CONCEPTUAL WALL AND LIGHTING PLAN

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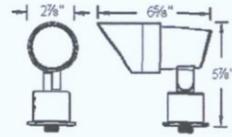
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P:\2015\1567 - 70th St & Monterey Alignment\CAD\LVA\LS\EXHIBITS\CONCEPTUAL LS PLAN-2017-02-06.dwg Feb 13, 2017



19-DR-2016#2  
05/05/2017

1567 DRAWN BY: TEAM 4/18/16  
REV-7/18/16, 9/30/16  
RELATED COS CASE NUMBERS: 1011-PA-2015, 19-DR-2016  
THE AERIES TOWNHOMES - DEVELOPMENT REVIEW

SA  
**ACCENT 12V**  
5011



**SPECIFICATIONS**

**Input:** 9 - 15VAC  
**Power:** 2W to 16W / 2VA - 23VA  
**Brightness:** 190 lm to 1045 lm  
**Beam Angle:** 10° to 60°  
**CRI:** 85  
**Rated Life:** 70,000 hours

**ORDERING NUMBER**

	Color Temp	Finish
5011 Accent 12V	27 2700K 30 3000K	BZ Bronze on Aluminum BBR Bronze on Brass

5011-  
Example: 5011-30BBR

**PRODUCT DESCRIPTION**

Landscape accent luminaire. One fixture replaces all older halogen landscape accent lights

**FEATURES**

- Adjustable and lockable beam angle
- Integral dimmer
- IP66 rated, Protected against high-pressure water jets
- Includes a detachable shroud
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Mounting stake, 6' lead wire and direct burial gel filled wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1838 Listed
- Not suitable to use with external dimmers

SB  
**3" INGROUND 12V**  
5031



**SPECIFICATIONS**

**Input:** 9 - 15VAC  
**Power:** 2W to 12W / 2VA - 17VA  
**Brightness:** 70 lm to 505 lm  
**Beam Angle:** 15° to 60°  
**CRI:** 85  
**Rated Life:** 55,000 hours

**ORDERING NUMBER**

	Color Temp	Finish
5031 3" Inground 12V	27 2700K 30 3000K	BZ Bronze on Aluminum BBR Bronze on Brass

5031-  
Example: 5031-30BBR

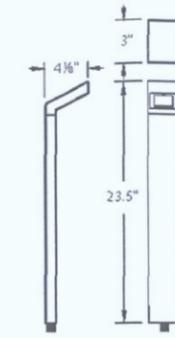
**PRODUCT DESCRIPTION**

Landscape Wall Wash luminaire

**FEATURES**

- Tiltable and adjustable beam angle
- Integral dimmer
- IP67 rated, protected from temporary immersion under water
- Drive over up to 4500lbs
- Solid diecast brass or corrosion resistant aluminum
- Available concrete pour kit
- 6' lead wire and direct burial gel filled wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1838 Listed
- Not suitable to use with external dimmers

SC  
**LINEAR PATH LIGHT**  
6021



**SPECIFICATIONS**

**Input:** 9-15VAC  
**Power:** 2.9W / 4.7VA  
**Brightness:** 95 lm  
**CRI:** 90+  
**Rated Life:** 60,000 hours

**ORDERING NUMBER**

	Color Temp
6021 Linear Path	27 2700K 30 3000K

6021-  
Example: 6021-30BZ

**PRODUCT DESCRIPTION**

Steak linear design blends seamlessly into pathways while providing soft, directional illumination

**FEATURES**

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Translucent lens provides uniform light distribution
- Solid diecast corrosion resistant aluminum alloy
- Recommended spacing for installation: 8 to 10ft
- Mounting stake, 6 foot lead wire, and direct burial gel filled wire nuts are included
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

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WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB 2016

SE

LED wall luminaires with directed light

**Housing:** One piece die-cast aluminum for direct attachment to 3 1/2" or 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

**Enclosure:** One piece die-cast aluminum cover frame secured by two (2) captive, stainless steel set screws threaded into stainless steel inserts. Matte safety glass. Fully gasketed for weather tight operation using a molded 'U' channel silicone rubber gasket.

**Electrical:** 6.6W LED luminaire, 9 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order. Optionally available with 2700K color temperature, consult factory.

**Note:** LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP64

Weight: 1.5 lbs.

Luminaire Lumens: 291

Tested in accordance with LM-79-08

Lamp	A	B	C
22261 ADA 6.6W LED	6 7/8"	3 3/4"	2 3/4"

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com  
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SF

HINKLEY & R.

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 33000 PIN OAK PARKWAY  
 AVON LAKE, OHIO 44012  
 P (440) 653-5500  
 F (440) 653-5555  
 SERVICE@HINKLEYLIGHTING.COM

**WIDTH:** 6"  
**HEIGHT:** 16"  
**WEIGHT:** 5 LBS  
**MATERIAL:** ALUMINUM  
**GLASS:** ETCHED GLASS LENS  
**BACKPLATE WIDTH:** 6"  
**BACKPLATE HEIGHT:** 16"  
**SOCKET:** 2-5.50WCOL-35  
**DARKSKY:** YES  
**LED INFO:** LUMENS: 250  
 COLOR TEMP: 2700K  
 CRI: 90  
**LED WATTAGE:** 6W  
**INCANDESCENT EQUIVALENCY:** 35W  
**DIMMABLE:** YES ON ANY INCANDESCENT MLV, ELV, OR C-L DIMMER  
 PATENT US & FOREIGN PATENTS PENDING  
**NOTES:** EXTENSION: T10: 10"  
 C-US WET RATED  
**VOLTAGE:** 120V  
**UPC:** 640665166071



At Hinkley, we embrace the design philosophy that you can merge together the lighting, furniture, art and accessories you love into a beautiful environment that defines your own personal style. We hope you will be inspired by our commitment to keep your "life aglow."

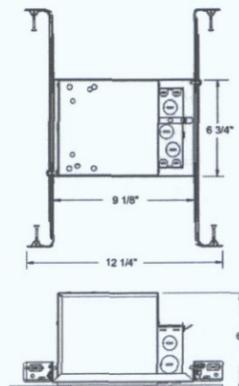
**4" IC 900 LUMEN LED DOWNLIGHT NEW CONSTRUCTION**

IC91 LEDG4 RECESSED HOUSING

OPEN TRIMS



**DIMENSIONS**



4 1/2" CEILING CUTOUT

**PRODUCT DESCRIPTION**

Dedicated LED, Air-Loc® sealed new construction housing with integral light engine • Double wall, shallow housing construction allows for fit in 2 x 6 construction • Can be completely covered with insulation • Fully sealed housing stops infiltration and exfiltration of air, reducing heating and air cooling costs without the use of additional gaskets • LED housing is designed to provide 50,000 hours of life and is compatible with many standard Juno trims • 5 year limited warranty on LED components.

**ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT**

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury, RoHS compliant
- Comparable light output to 75W incandescent

**PRODUCT SPECIFICATIONS**

**LED Light Engine** LED array attached to high purity aluminum, thermally conductive inner housing provides superior heat transfer to ensure long life of the LED • Replaceable light engine mounts directly to inner housing assembly and incorporates the latest generation, high lumen output LED array • LEDs are binned within a 3-step MacAdam Ellipse exceeding ENERGY STAR® requirements for superior fixture to fixture color uniformity • 2700K, 3000K, 3500K, or 4100K color temperatures available • 90 CRI minimum.

**Optical System** Computer-optimized reflector design with high reflectance finish coupled with a high transmission diffusing lens conceals the LEDs and produces uniform aperture luminance • Deep regression of lens produces a low glare, efficient system that can produce over 900 lumens with select trims (see page 2 for details) using less than 15W\*

**Aesthetic Trim Selections** Compatible with wide selection of existing Juno trims • Shadow free, knife edge design blends seamlessly into ceiling.  
**LED Driver** Choice of dedicated 120 volt driver or universal voltage driver that accommodates input voltages from 120-277 volts AC at 50/60Hz • Power factor > 0.9 at 120V input • 120 volt only driver is dimmable with the use of most incandescent, magnetic low voltage and electronic low voltage wall box dimmers • Universal voltage driver is dimmable with the use of most 0-10V wall box dimmers • For a list of compatible dimmers, see JUNCLED-DIM • Mounted inside housing for easy access from below ceiling.

**Life** Rated for 50,000 hours at 70% lumen maintenance.

**Labels** ENERGY STAR® Qualified when used with select trims • Certified to the high efficacy requirements of California T24 with select trims • UL listed for U.S. and Canada through-branch wiring, damp locations • Union made • UL and cUL

**Testing** All reports are based on published industry procedures; field performance may differ from laboratory performance. Product specifications subject to change without notice.



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**AERIES TOWNHOMES**  
 L-5 LIGHTING CUT SHEETS

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