

**Marked Agendas
Approved Minutes
Approved Reports**

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approved Minutes can be found at:
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Ordinance No. 4315
Resolution No. 10834

Planning Commission Hearing 02/22/2017 (Initiation)

Open House 04/04/2017

Open House 04/05/2017

Planning Commission Hearing 04/26/2017 (Non-Action)

Planning Commission Hearing 05/24/2017

City Council Hearing 07/05/2017

Case History

38-PA-2017

1-TA-2017

Sign Ordinance Update - Permanent Signs

PLANNING COMMISSION REPORT



Meeting Date: February 22, 2017
General Plan Element: *Character and Design*
General Plan Goal: *Use community goals, character and context to determine development appropriateness.*

ACTION

Sign Ordinance Update 38-PA-2017

Request to consider the following:

1. Initiate a text amendment to the City of Scottsdale Zoning Ordinance (Ordinance No. 455) for the purposes of amending and updating the sign regulations, related provisions and requirements.

Goal/Purpose of Request

This is a request by the City of Scottsdale for a text amendment pertaining to the sign regulations for permanent signs, temporary signs, and related provisions. The goal is to analyze the Zoning Ordinance to determine what changes are needed; to update related sign requirement provisions (administration, definitions, format, procedures, etc.); and to establish more user-friendly and contemporary sign regulations.

Key Items for Consideration

- Consistency with the General Plan, as amended.
- Updates all sign regulations, related provisions and requirements.
- Establishes a more user-friendly and contemporary Zoning Ordinance.

APPLICANT CONTACT

Andrew Chi, Planner
City of Scottsdale
480-312-7828
achi@scottsdaleaz.gov

LOCATION

City-wide

BACKGROUND

On May 25, 2016, the Planning Commission initiated a text amendment to the Zoning Ordinance to update the sign regulations pertaining to Temporary, Semi-Permanent, and Special Event Signs (Case# 2-TA-2016). At that time, the Planning Commission also expressed interest in updating the permanent sign requirements.

APPLICANTS PROPOSAL

The Zoning Ordinance is one of the key implementation tools of the Scottsdale General Plan. An essential task in implementing the goals and approaches of the General Plan involves updating the Zoning Ordinance to ensure its provisions align with the General Plan. The sign requirements and related provisions have not been revised for many years, and need to be reevaluated, reformatted, and updated.

Currently, the sign regulations include several different sign types that are based on use-specific regulations that may be inconsistently applied throughout the City. The intent of the proposed Zoning Ordinance text amendment is to update the existing sign regulations with contemporary provisions that will maintain the community's desire outlined in the General Plan's goals and approaches for strong sign control, a high quality physical environment, an aesthetically attractive community to live and do business in, and to establish a more user-friendly and contemporary Zoning Ordinance.

The modifications that will be proposed with this text amendment should enhance and maintain the City's character and aesthetics, and be more reliable and useable for businesses. With the implementation of the proposed text amendment, all properties throughout the City would be subject to the updated sign requirements.

Proposed Next Steps

- An in-depth analysis of the Zoning Ordinance to determine what changes, updates, and reformatting is needed related to all sign requirements and related provisions.
- Development of draft sign ordinance text.
- Hold at least two community open house meetings.
- Planning Commission Non-Action Meeting.
- Planning Commission Hearing.
- City Council Hearing.

Staff estimates that the above referenced process will be completed in approximately five months.

OPTIONS & STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Planning Commission initiate the text amendment.

RESPONSIBLE DEPARTMENT(S)

Planning, Neighborhood and Transportation
Current Planning Services

STAFF CONTACTS

Andrew Chi, Planner
Phone: 480-312-7828
E-mail: achi@scottsdaleaz.gov

APPROVED BY



Andrew Chi, Planner, Report Author

01/27/17

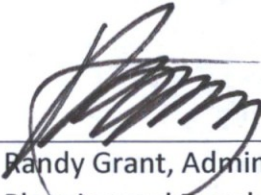
Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

2/2/2017

Date



Randy Grant, Administrator
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

2/15/17

Date



Community & Economic Development Division
Planning and Development Services

7447 East Indian School Road, Suite 105
Scottsdale, Arizona 85251

To: Members of the Planning Commission
From: Andrew Chi, Planner
Through: Tim Curtis, AICP, Current Planning Director
Date: April 26, 2017
Re: Case No. 1-TA-2017 – Sign Ordinance Update – Permanent Signs

At the May 25, 2016, Planning Commission Study Session, the Commission expressed interest in updating the Sign Ordinance pertaining to permanent signs. On February 22, 2017, the Planning Commission initiated the above-referenced text amendment to the Zoning Ordinance pertaining to Permanent Signs of Article VIII. – Sign Requirements.

The proposed modifications to update the Sign Ordinance are planned to be completed in two text amendments. At the April 26, 2017 Planning Commission Meeting, staff will discuss the first of the two amendments. This amendment will address the following: remove sign requirements that are based on specified uses; regulate permanent signs based on zoning district, street classification, street frontage length, and development size; re-format the existing ordinance; eliminate conflicting requirements and ambiguity; maintain the integrity of the current ordinance; and establish a more user-friendly and contemporary Sign Ordinance.

Some of the more relevant modifications include the following: consolidate freestanding Ground Signs with Monument Signs, limit freestanding Mid-Size Monument Signs and Tower Signs to arterial and collector streets in developments with longer street frontages, separate sign requirements based on non-residential and residential uses, and consolidate permanent sign types into two sections: Building Signs and Freestanding Signs.

The draft of the proposed amendment is included as Attachment #1 for your review.

Temporary sign requirements were previously addressed and considered under the Sign Ordinance Update – Temporary Signs Text Amendment, Case No. 2-TA-2016.

Next Steps:

- May 24, 2017 (tentative) Planning Commission meeting for possible action.
- June 2017 (tentative) City Council meeting.
- Late Fall 2017: Staff is anticipating completion of the second permanent signs text amendment which will address: sign definitions, general sign provisions, sign programs, formatting, and may include modifications to the scenic corridor sign requirements.

ATTACHMENTS

1. Draft Sign Ordinance Update – Permanent Signs

ZONING ORDINANCE TEXT AMENDMENT
1-TA-2017 – SIGN ORDINANCE UPDATE – PERMANENT SIGNS
DRAFT
04/18/2017

HOW TO READ THIS DOCUMENT

Unless otherwise stated, provisions that are being deleted are shown with a strike-through, like this: ~~Provisions that are being deleted are shown with a strike-through.~~ Graphic that are being deleted are indicated with an "X" over the graphic. Provisions that are being added are shown as highlighted, like this: **Provisions that are being added are shown as highlighted.**

Section 1. Repeal and replace Sec. 8.109. - Enforcement officer., as follows:

~~Sec. 8.109. – Enforcement officer.~~

~~The general manager shall have the authority to enforce this ordinance, and to make all inspections required to ensure such enforcement, and to hear appeals of all decisions relating to the Uniform Building Code and the National Electrical Code.~~

Sec. 8.109. – Reserved.

Section 2. Amend Section 8.200. – Definitions., to add the terms to the existing definitions in alphabetical order, to delete, and to amend existing definitions, as follows:

Sec. 8.200. - Definitions.

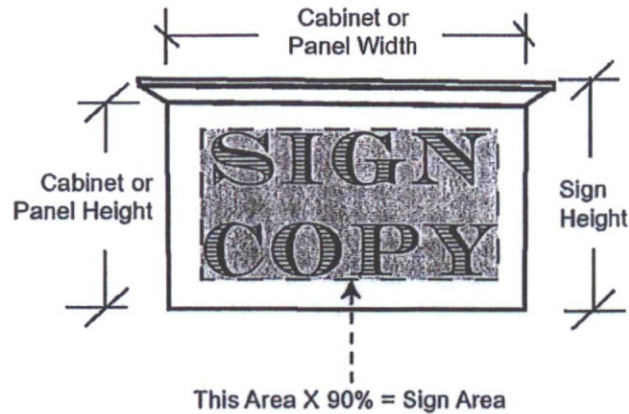
~~Arterial (street) street.~~ **Those lengths of streets so classified on the City of Scottsdale's General Plan.** Shall mean the streets designated in the City's Transportation Master Plan with the classification of the Major Arterial and Minor Arterial.

Address Sign is a sign required by Chapter 31 and Chapter 36 of the Scottsdale Revised Code that identifies a building address numbers, building numbers or approved building identification.

~~Area of sign.~~ In the case of individual letters used as a sign, the area is ninety (90) percent of the area enclosed within the smallest regular geometric figure needed to completely encompass all letters, insignias or symbols of the sign, including horizontal spacings between letters, insignias or symbols, except as otherwise provided herein.

~~For signs other than individual letters, words, insignias or symbols, the area is the total area of the facing or the total area within the outer edge of any existing border of the sign.~~

Area of sign. In the case of individual characters used as a sign, the area is ninety (90) percent of the area enclosed within the smallest regular geometric figure needed to completely encompass all characters of the sign, including horizontal spacing between characters, except as otherwise provided herein. For signs other than individual characters, the area is the smallest regular geometric figure needed to completely encompass the total area of a cabinet or panel, or the total area within the outer edge of a frame or other material, color, or condition utilized to create an outer border of the sign. The area of sign does not include address signs that are twelve (12) inches or less required by Chapters 31 and 36 of the Scottsdale Revised Code.



Area of Sign

INSERT NEW GRAPHICS TO IDENTIFY FREESTANDING SIGN AREA, INDIVIDUAL CHARACTER AREA, AND PANEL OR CABINET AREA

~~*Automated teller machine directional sign.* A traffic directional sign which is used to direct pedestrian or vehicular traffic on a parcel to the location of an automated teller machine.~~

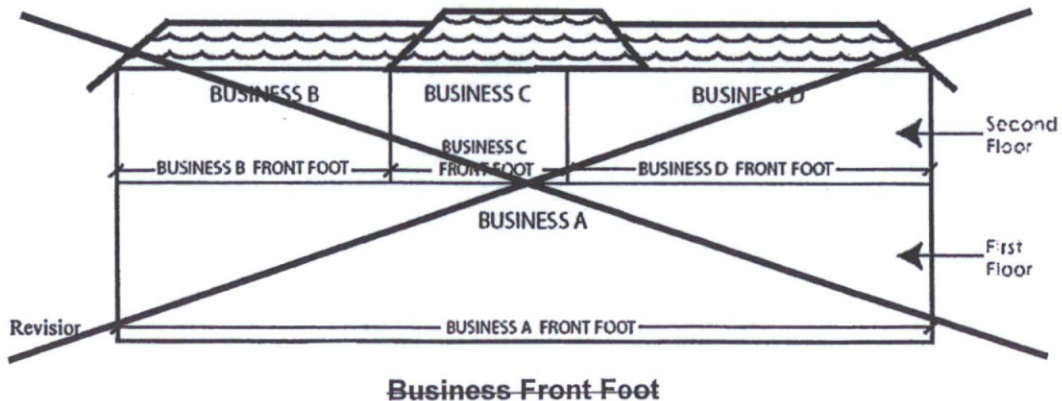
~~*Automated teller machine sign.* Any sign located on or architecturally associated with the exterior face of an automated teller machine.~~

~~*Building identification.* The name of a building or of a tenant or occupants occupying at least thirty (30) percent of the building or sixty (60) percent of the first floor, which is placed on the building, or on a freestanding sign.~~

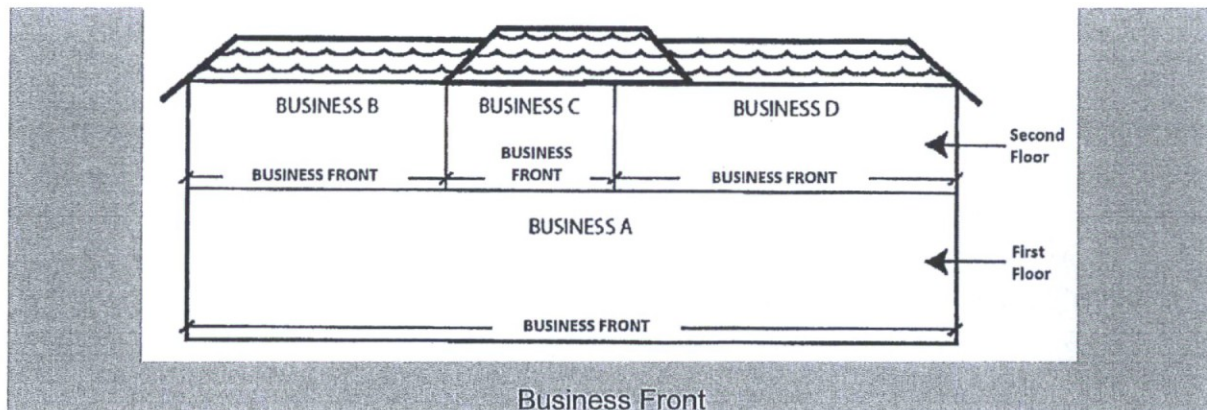
~~*Building wall.* The individual sides of a building.~~

~~*Business entrance identification.* A sign adjacent to, or on the entrance door of, a business containing the business name and such other appropriate information as store hours and telephone numbers.~~

~~*Business front foot.* The lineal distance measured along the exterior wall of the building space occupied by the business. The lineal distance of the building space occupied by the particular business measured on a straight line parallel to the street. Where a business does not parallel a street, the front foot shall be measured along the exterior of the building space occupied by the particular business.~~

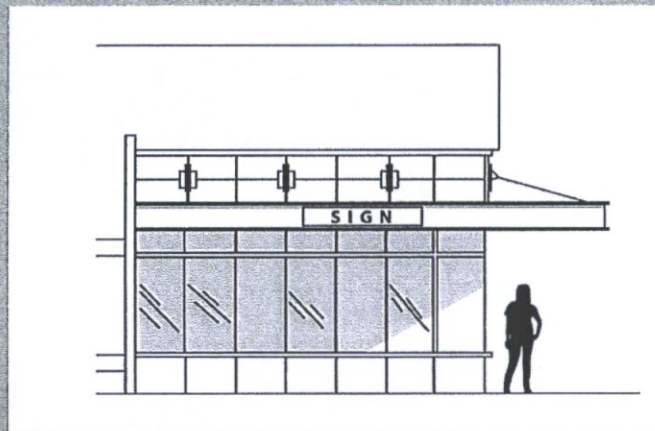


Business Front Foot



Business name. The name by which a business is commonly recognized and used by the applicant. The applicant shall provide stationery or other supporting documents illustrating the use of the business name or verification of the official business license or tax name. Slogans or product information shall not be considered as the business name.

Canopy Fascia Sign is a sign attached to the vertical front face of a canopy, roof overhang, covered walkway, covered porch, or purlin of an open lattice structure.



Canopy Fascia Sign Example

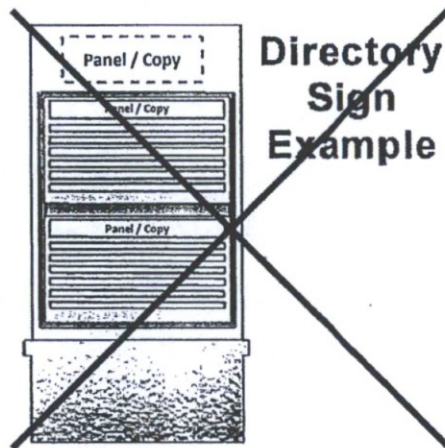
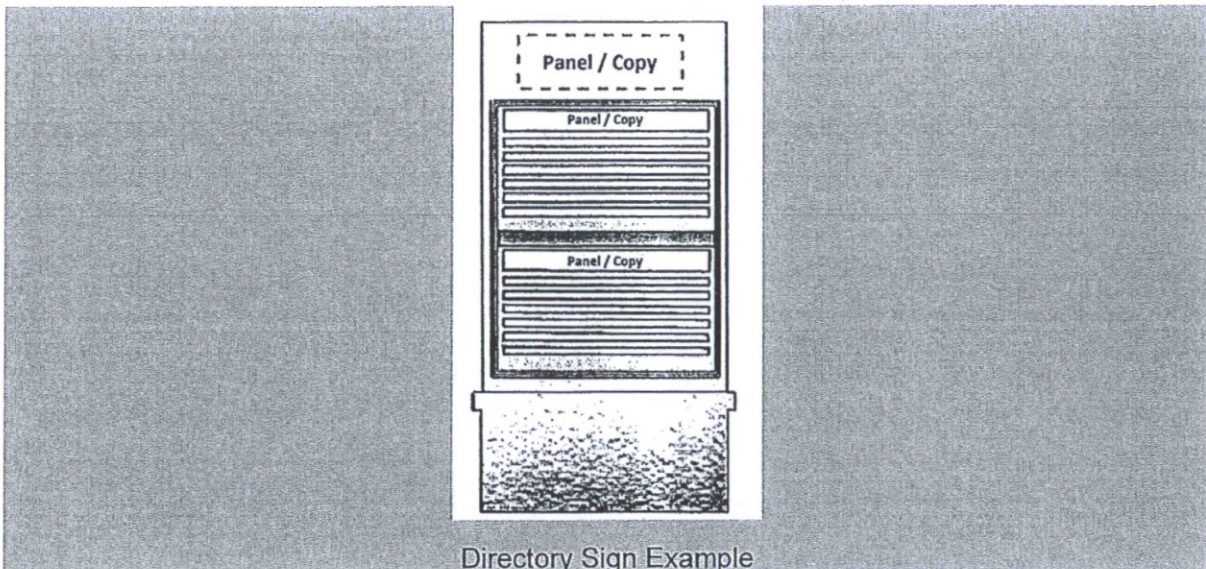
Change panel. A sign designed to permit immediate change of copy with language other than the name of the business.

Commercial district. A group or cluster of retail shops, offices or industrial buildings which share common parking, landscaping, and/or frontage, have a property owners association and have a name which is generally understood by the public to refer to the group or cluster.

Common building entrance. In a multitenant building, an entrance leading to a common lobby, atrium, patio and/or elevator foyer.

Community sign district. A group of businesses property owners in a specified area in the city which have been organized into a coordinated group for the purpose of common signage and signage control.

Directory sign. A sign which provides a listing of the names of businesses, activities, addresses, locations, uses or places within a building or complex of buildings for the purpose of identification only.



Directory Sign

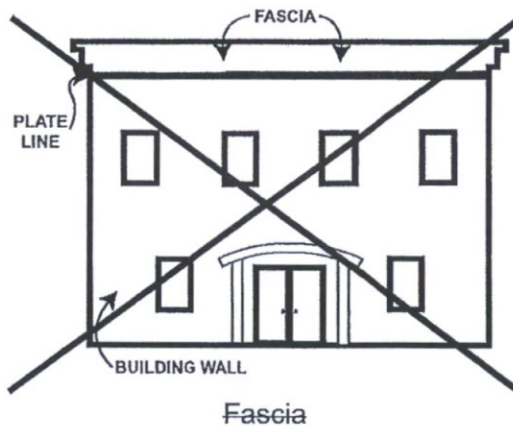
Drive-through sign is a freestanding sign adjacent to a drive-through.

Entry sign is a small sign located adjacent to a primary pedestrian entrance to a dwelling or suite.

Entryway monument sign is a freestanding cabinet or panel sign mounted on, or within a base (above grade), placed at the street or driveway leading into the development project.

Entryway sign-A is a freestanding sign which is placed on the a perimeter or screen wall of a development project, and adjacent to a street or driveway leading into the development project, having individual characters that may be mounted on, or integrated into, a panel. recorded subdivision, townhouse project, commercial district, master planned community, hotel, motel or guest ranch at a major street or driveway entrance to identify the name of the interior project. Such signs may flank both sides of the entrance and may include ground or landscape wall sign types.

Fascia. A parapet-type wall used as part of the face of a flat roofed building and projecting not more than six (6) feet from the building face immediately adjacent thereto. Such a wall shall enclose at least three (3) sides of the projecting flat roof and return to a parapet wall or the building.



Freestanding canopy sign is a sign attached to the vertical front face of a freestanding canopy structure that is not attached to a building.

Fuel change panel price sign. A is a sign used to identify the current price(s) of fuel as required by the state law-Arizona Administrative Code.

General manager. The city's planning and zoning general manager or designee.

Ground sign. A freestanding sign that is architecturally integrated with the building with individually mounted letters and logos only. This sign shall be built with continuous background surface built from the ground up.

Identification sign. A building wall, landscape wall, ground sign or temporary sign used to present the name of a major residential project, master planned community or master planned community information center.

Information center. A facility in a master planned community which provides information, displays and guides for visitors in order to direct, to promote and sell projects within the master planned community.

Landscape wall sign. A freestanding sign architecturally integrated with the building, mounted on a screen or perimeter wall and having individual letters characters that may be mounted on, or integrated into, a panel. The sign is mounted on, or to, a wall, pole or base which may or may not be an attachment or extension of a building wall.

Modifiers. A word describing uses and activities other than the business name.

Monument sign. A freestanding cabinet or panel sign mounted on, or within a base (above grade), which is detached from any building.

Monument sign is a freestanding sign that may be a cabinet or panel mounted on, or integrated into, a background surface. Monument signs include individual characters that may be mounted on, or integrated into, a panel that is mounted on a background surface.

Multiple tenant commercial building. A commercial development in which there exists two or more separate commercial activities, in which there are appurtenant shared facilities (such as parking or pedestrian mall), and which is designed to provide a single area in which the public can obtain varied products and services. Distinguishing characteristics of a multiple tenant commercial building may, but need not, include common ownership of the real property upon which the center is located, common wall construction, and multiple occupant commercial use of a single structure.

Nameplate. A small sign which identifies a resident's or home's name and address or the name of a farm, ranch or commercial stable. Such signs may be shingle, building wall, or archway-mounted signs.

Occupancy. A purpose for which a building, or part thereof, is used or intended to be used.

Plate line. The point at which any part of the main roof structure first touches or bears upon an external wall.

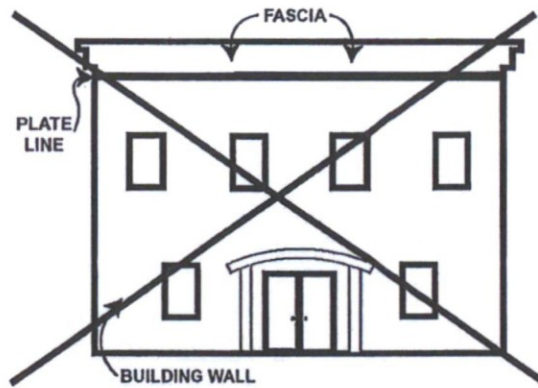


Plate Line

Projected building face. A calculation of the maximum lineal footage of the building front times the maximum height of the building.

Projected elevation area. The total area of the building face as projected to an imaginary plane parallel to the primary direction of the building face.

Purlin is a horizontal beam along the length of a canopy or trellis, resting on or supporting rafters or boards.

INSERT NEW GRAPHIC FOR PURLIN

Raceway is an enclosure for both wiring and electrical components.

Required landscaping Landscape Area. The specific area (on site) to be landscaped with plant material at the base of the freestanding sign.

Residential entry sign. A sign that is placed at the entrance to a multifamily and duplex development, manufactured home park, or single family development only in order to identify the name of the development.

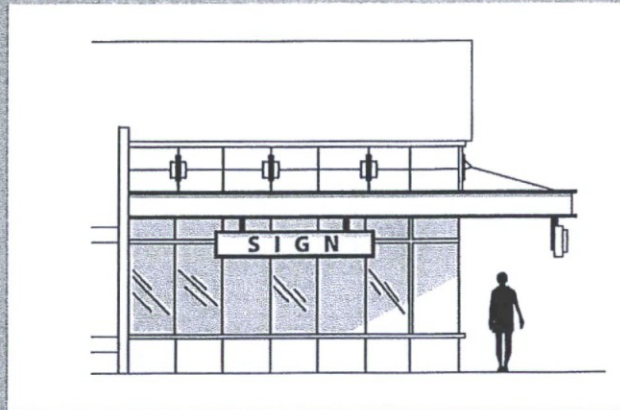
Shingle sign. A sign is a sign suspended from a roof overhang of a covered porch or walkway which identifies the tenant of the adjoining space and perpendicular to a building wall.



Shingle Sign Example

Sign budget. The total cumulative sign area for all types of signs allowed to a parcel or project.

Suspended Canopy Sign is a sign suspended under a canopy, roof overhang, covered walkway, covered porch, or open lattice walkway and parallel to a building wall.



Suspended Canopy Sign Example

Sum total sign area. Aggregate area of all building signs, not including address signs twelve (12) inches or less required by Chapter 31 and 36 of the Scottsdale Revised Code, for any individual use (excluding traffic directional signs) and may include the area of a freestanding sign. In every event, computation of allowable sign area includes all existing signs on the premises, whether such signs be conforming or nonconforming unless specifically excepted by the terms of this ordinance.

Traffic directional sign. Signs used at driveways to improve public safety and to enhance public access to the site from public streets. This sign provides information which will assist the operators of vehicles in the flow of traffic. Such signs may use names, logos, or symbols of buildings, businesses, activities, uses or places as a means of direction.

Traffic directional sign is a freestanding sign placed near the intersection of a driveway and a street, or intersecting drive aisles, to assist the operators of vehicles to locate vehicle turning locations, and to assist in maintaining the free flow of traffic.

Section 3. Amend Sec. 8.301. – Approvals required, as follows:

Sec. 8.301. - Approvals required.

- I. **A.** Sign illumination, method of attachment, placement, structure, and comprehensive sign programs, master sign programs, and community sign districts created by property owners, are subject to Development Review Board approval as described in Article I.
- II. **B.** The Development Review Board shall review and render a decision for sign code exception requests relating signage design, and to the placement of building signs on a new multi-tenant building as provided in Sections 8.403 and 8.405. In no case shall the total sign area increase for the property.

Section 4. Amend Sec. 8.302. – Sign Programs, as follows:

Sec. 8.302. - Sign programs.

- I. *Master sign program.*

- A. The purpose of the master sign program is to provide design compatibility for all signs and to integrate the signs with the architectural features of the multi-tenant building or complex of buildings.
 - B. Submittal requirements: The property owner(s) or designated agent shall submit an application with a specific set of design standards, including but not limited to, letter and logo sizes, letter style, colors, texture, lighting methods, sign type and architectural features.
 - C. Upon approval of the master sign program, all signage contained within the limits of the property, regardless of ownership or tenancy, shall comply with the design standards established by the program.
- II. *Community sign district.* The community sign district provides for a comprehensive sign program which is intended to encourage more flexible signage opportunities than allowed by the underlying zoning district. Community sign districts are regulated to the extent necessary to be consistent with the purpose and intent of the sign ordinance as specified in Section 8.101.
- A. Property owners may form a community sign district to propose and maintain a comprehensive sign program for additional signage as provided in this section.
 1. A community sign district may be formed by petition of at least seventy-five (75) percent or more of the affected property owners in the community sign district.
 2. The property owner(s) in a community sign district shall coordinate the preparation and submission of the comprehensive sign program.
 3. A community sign district and its comprehensive sign program may be approved for any of the following:
 - a. ~~Commercial or industrial~~ Non-residential development(s) that have a gross floor area of at least three hundred thousand (300,000) square feet;
 - b. ~~Resorts;~~
 - c. ~~Hospitals;~~
 - d. Planned districts that have a district size of at least fifteen (15) acres;
 - e. Part of a Type 1 Area that has a linear frontage on both sides of the street totaling at least one thousand (1,000) feet; and
 - f. Part of a Type 2 Area that is comprised of contiguous lots with a gross lot area of at least five (5) acres.
 4. A community sign district allows for the following bonuses that may be approved with the comprehensive sign program:
 - a. Twenty (20) percent increase to the allowed ~~sign budget~~ sum total sign area;
 - b. Twenty (20) percent increase to the allowed area of signs; and
 - c. Twenty (20) percent increase to the allowed height.
 5. Only signs allowed in Article VIII may be approved as part of a ~~the~~ comprehensive sign program.
 6. The comprehensive sign program shall include a complete set of standards, including but not limited to, letter size, style, colors, type(s) of sign, placement of signs, number of signs, sign types and sign material.
 7. The property owner(s) shall install and maintain all signage approved in the comprehensive sign program.

- B. The City Council may form a community sign district for all or part of the Downtown Area or a redevelopment district.
1. The comprehensive sign program shall include a complete set of standards, including but not limited to, letter size, style, colors, type(s) of sign, placement of signs, number of signs, and sign material. In no event may the comprehensive sign program propose signage of a type that is otherwise prohibited by this ordinance.
 2. The comprehensive sign program may include architectural signs in accordance with the following:
 - a. Municipal signs may be installed in right-of-way that has a street classification of a minor collector or greater in the Transportation Master Plan, and on property abutting such right-of-way.
 - b. Municipal signs may be installed in right-of-way or on property abutting the right-of-way at the intersection of two streets. One of the two intersecting streets shall have a classification of a minor collector or greater in the Transportation Master Plan.
 - c. The text shall be limited to the overall identification of all or part of the Downtown Area or redevelopment area.
 - d. Maximum area of sign: sixty (60) square feet.
 - e. Maximum height of sign: twenty (20) feet.
 - f. Maximum number of signs per architectural element: one (1) sign.
 - g. Maximum letter height for each architectural sign: two (2) feet.
 3. The comprehensive sign program may include banners mounted on the side of a street light pole in accordance with the following:
 - a. The banners may identify all or part of the Downtown Area or redevelopment area.
 - b. The banners shall be of new material and may be permanent, subject to Development Review Board approval of a maintenance program.
 4. The comprehensive sign program may include freestanding directory signs designed as architectural elements identifying points of interest in accordance with the following:
 - a. Maximum area of sign: fifteen (15) square feet.
 - b. Maximum height of sign: seven (7) feet.
 5. The City shall coordinate the preparation and submission of the comprehensive sign program. The application shall detail the responsibility for the installation and maintenance of signage approved in the comprehensive sign program.
- C. No sign identified in this section shall be placed upon real property without the consent of the property owner, nor shall such sign be placed in any public right-of-way, except when placed in accordance with subsection 8.302.II.B. above and other applicable ordinances.
- ~~D. Any sign placed upon private property in accordance with subsection 8.302.II.B. above, shall be within an easement dedicated to the City.~~

Section 5. Repeal Sections 8.403., 8.404., 8.405., 8.406., 8.407., 8.408., 8.409., 8.410., and adopt as follows:

Sec. 8.403. - 8.410. – Reserved.

Section 6. Repeal Sections 8.412., 8.413., 8.414., 8.415., 8.416., and adopt as follows:

Sec. 8.412. - 8.416. – Reserved.

Sec. 8.418. - Open and closed signs. Permanent Window Signs.

1. ~~An open or closed sign signifies that a business is open or closed.~~
2. ~~The sign may indicate the hours of operation.~~
3. ~~1. Maximum number of signs per business: one (1) sign.~~
4. ~~2. Maximum area of sign: two (2) square feet.~~
5. ~~3. Illumination, if provided, shall be internal.~~
6. ~~4. The sign shall be placed inside the building, and may be displayed in a door or window, but no sign is permitted in unglazed openings.~~
7. ~~5. The sign shall not be calculated in the sign budget for the property.~~
8. ~~6. No permit or approval shall be required for the sign, unless required by Chapters 31 and 36 of the Scottsdale Revised Code.~~

Section 7. Repeal Sections 8.500. through 8.538, and adopt the following:

Sec. 8.500. – Permanent Building Signs Allowed.

Sec. 8.501. – Building Sign General Provisions.

- A. All building signs shall be limited to identifying an onsite business or development.
- B. Placement.
 1. No part of a building sign shall extend above a roof line.
 2. A building sign shall be placed on a wall of the business that the sign identifies.
- C. Maximum sign area of any building sign:
 1. Forty (40) square feet in the Type 1 Area, and
 2. Two hundred fifty (250) square feet elsewhere.
- D. Maximum height of an individual character of a sign: six (6) feet.
- E. Maximum height of a cabinet or panel: six (6) feet.
- F. Individual characters of a sign shall not be mounted to the front of a raceway.

Sec. 8.502. – Building Wall Signs.

- A. Placement.
 1. No part of the sign shall be placed a distance greater than twelve (12) inches from the building wall.
- B. Building wall signs are allowed in Table 8.502.A in accordance with the following:
 1. Category A, includes zoning districts shown on Table 4.100.A. Residential Districts, and the Open Space (O-S) district; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Table 4.100.A, and the Open Space (O-S) district; or any portion of a Planned Residential Development (PRD)

- with an underlying zoning district comparable to the residential districts shown on Table 4.100.A.
2. Category B, includes multiple-family development's with zoning districts shown on Table 4.100.A. Residential Districts, not including Single-family Residential districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Table 4.100.A , not including Single-family Residential districts; or any portion of a Planned Residential Development (PRD) with an underlying zoning district comparable to the residential districts shown on Table 4.100.A. not including Single-family Residential districts.
 3. Category C, includes zoning districts shown on Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Western Theme Park (W-P), and Special Campus (S-C), not including Planned Regional Center (PRC), Service Residential (S-R), and Commercial Office (C-O); or, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the districts shown on Tables 4.100.B., 4.100.C., 4.100.D, Western Theme Park (W-P), and Special Campus (S-C), not including Planned Regional Center (PRC), Service Residential (S-R), and Commercial Office (C-O).
 4. Category D, includes Commercial Office (C-O), Parking P-1 District; Passenger Vehicle Parking, and Limited, and Parking P-2 District; Vehicle Parking, districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the Commercial Office (C-O) districts, Parking P-1 District; Passenger Vehicle Parking, and Limited, and Parking P-2 District; Vehicle Parking, districts.
 5. Category E, includes Planned Regional Center (PRC) districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the Planned Regional Center (PRC) district.
 6. Category F, includes Service Residential (S-R) districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the Service Residential (S-R) district.

Table 8.502.A. Building Sign Allowances

Zoning Districts	Standards				
	Maximum sum total sign area per business ¹	Maximum sum total per development project	Maximum sign area of a business front that is less than 200 feet from any street line ²	Maximum sign area of a business front that is equal to or greater than 200 feet from any street line	Maximum Height of sign (To Top of Sign)
Category A ²	N/A	60 square feet	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	Maximum building height allowed by a lots' zoning.
Category B ²	N/A	60 square feet	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	36 feet
Category C ²	1.5 square feet of sign area for every 1 linear foot of the longest business front	N/A	1 square foot for each 1 lineal foot of business front foot?, not to exceed maximum sum total of the business	1.5 square feet for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet
Category D ²	24 square feet ⁸	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet
Category E ²	1.5 square feet of sign area for every 1 linear foot of the longest business front. ³	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1.5 square feet for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet ⁴
Category F ²	18 square feet ⁵	Note 6 and 7	1 square foot for each 1 lineal foot of business front, not to exceed 12 square feet	1 square foot for each 1 lineal foot of business front, not to exceed 12 square feet	18 feet

1. The maximum sum total sign area per business includes the Additional Building Sign Allowances.
2. Refer the Building Sign General Provisions for additional size restrictions.
3. The Development Review Board may approve a Sum Total Sign Area of two (2) square feet of sign area for every one (1) linear foot of the longest business front as part of the approval of a Master Sign Program for businesses with one (1) business front facing a public street and a second business front facing the interior of a development.
4. The Development Review Board may approve a maximum sign height of 60 feet in the Planned Regional Center (PRC) district as part of the approval of a Master Sign Program
5. The Sum Total Sign Area of a development project in the Service Residential (S-R) district for wall sign includes any sign area on a free standing sign for the same business.
6. Maximum sum total sign area per development project with a gross floor area less than 40,000 square feet: 72 square feet.
7. Maximum sum total per area per development project with a gross floor area great than or equal to 40,000 square feet: 144 square feet.
8. In the C-0 district, the Development Review Board may approve a Sum Total Sign Area of 1.5 square feet of sign area for every one (1) linear foot of the longest business front as part of the approval of a Master Sign Program for a building with a gross floor area less of 50,000 square feet, or more

Sec. 8.503. – Additional Building Sign Allowances.

A. The following building sign types are allowed in the districts described in Category C and Category D, above, and the Planned Regional Center (PRC), and Service Residential (S-R), districts.

1. Suspended Canopy Sign.

- a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A.
 - i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of a Suspended Canopy Sign.
- b. Placement: Parallel to the face of the building wall, and shall not project beyond the face of a canopy, roof overhang, covered walkway, covered porch, or open lattice walkway.
- c. Minimum Clearance: Seven (7) foot, six (6) inches from the bottom of the sign to the grade or finished surface below the sign.
- d. Maximum height of sign: Same as allowed for a building wall sign on Table 8.502.A.

2. Canopy Fascia Sign.

- a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A.
 - i. Maximum building wall sign sum total sign area per business allowed on Table 8.502.A. shall include the sign area of a Canopy Fascia Sign.
- b. Placement:
 - i. Sign shall not project above or below the fascia or purlin that the sign is attached to.
 - ii. No part of the sign shall be placed a distance greater than twelve (12) inches from the canopy fascia.
- c. Maximum height of sign: Same as allowed for a building wall sign on Table 8.502.A.

3. Shingle Sign.

- a. Maximum sign area: four (4) square feet.
 - i. Shingle signs are not included in the maximum sign area and maximum sum total sign area per business allowed on Table 8.502.A.
- b. Placement: Perpendicular to the face of the building wall, within ten (10) of the primary pedestrian entrance of the associated tenant suite, and shall not extend beyond the edge of the overhang of a covered porch or walkway.
- c. Minimum Clearance: Seven (7) foot, six (6) inches from the bottom of the sign to the grade or finished surface below the sign.

4. Freestanding Canopy Sign.

- a. Maximum number of signs: one (1) per side of canopy.
- b. Maximum sign area: one (1) square foot for each two (2) linear feet of canopy fascia, not to exceed twenty four (24) square feet on any one side of the exterior face of canopy fascia, and forty eight (48) square feet per canopy.
 - i. Maximum building wall sign sum total sign area per business allowed on Table 8.502.A. shall include the sign area of a Freestanding Canopy Sign.
- c. Placement:

- i. Sign shall be placed a minimum of six (6) inches from the top, six (6) inches from the bottom, and six (6) inches from the end (not including a circular canopy) of the freestanding canopy fascia.
 - ii. No part of the sign shall be placed a distance greater than twelve (12) inches from the building wall.
- B. The following building sign types are allowed in the Planned Regional Center (PRC) district or any portion of a Planned Community P-C with an underlying zoning district comparable to the Planned Regional Center (PRC) district as part of an approved master sign program.
 - 1. Projecting Signs.
 - a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A., not to exceed thirty-six (36) square feet.
 - i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of a Projecting Sign.
 - b. Maximum Quantity per Building: One (1) sign for each fifty (50) lineal feet of building wall.
 - c. Placement:
 - i. Unless separated by a structure and not visible from an abutting public street, such signs shall not be placed within one-hundred fifty (150) feet from an abutting public street.
 - d. Maximum Projection: Forty-eight (48) inches from the wall of the building to the outside edge of the sign.
 - e. Minimum Clearance: Eight (8) feet from the bottom of the sign to the grade or finished surface below the sign.
 - f. Minimum Separation: Twenty (20) feet between Projecting Signs on the same building wall.
 - g. Maximum height of sign: Same as allowed for a building wall sign on Table 8.502.A.
 - 2. Standing Canopy Signs.
 - a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A., not to exceed thirty-six (36) square feet.
 - i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of a Standing Canopy Sign.
 - b. Placement:
 - i. Parallel to the adjacent building façade.
 - ii. The front face of the sign shall not project beyond the leading edge of the canopy or lattice.
 - c. Design Standards:
 - i. The sign shall limited to individual characters.
 - ii. Raceways shall be concealed with in the canopy or lattice.
 - iii. The Development Review Board may approve individual character up to a maximum of forty (40) inches.
 - d. Maximum height of sign: As allowed in the PRC district on Table 8.502.A.
- C. The following building sign type is allowed the zoning district of Category B, Category C, and Category D described above, and Planned Regional Center (PRC), Service Residential (S-R), or any portion of a Planned Community P-C or Planned Residential Development (PRD)

with an underlying zoning district comparable to Planned Regional Center (PRC), Service Residential (S-R) districts.

1. Awning Signs.

- a. Maximum sign area: twenty (20) percent of the total front face area of the awning, or the business front, whichever is less.
- i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of an Awning Sign.
- b. Placement: sign may be placed on the awning valance, body or wing.
- c. Illumination: The copy of an awning sign may only be illuminated by a light source internal to the awning.

D. The following building sign types are allowed in all zoning districts:

1. Entry Signs

- a. Maximum sign area: One (1) square foot
- b. Placement: Within ten (10) feet of the primary entrance of a tenant suite or dwelling unit.
- c. Maximum height: Ten (10) feet from the top of the sign to the grade or finished surface below the sign.
- d. Maximum projection from a building wall: four (4) inches.

2. Address Signs

- a. Maximum height of letters: Twelve (12) inches.
 1. An address that has a height greater twelve (12) inches is a building wall sign.
- b. Maximum height and width of a backer panel: three (3) inches greater than copy height and width.
- c. Signs placed within a height of eight (8) feet measured from grade or finished surface, may project a maximum of four (4) inches from the building wall.
- d. Signs placed above eight (8) feet measured from grade or finished surface may project a maximum of twelve (12) inches from the building wall.

Sec. 8.504 – 8.509. Reserved.

Sec. 8.510. – Permanent Freestanding Signs Allowed

Sec. 8.511. – Freestanding Sign General Provisions.

- A. All onsite freestanding signs shall be limited to identifying an onsite business or development project.
- B. The following shall apply to all freestanding signs.
 1. Placement:
 - a. A freestanding sign shall be placed in a manner so not to interfere with traffic in any way, or to confuse traffic, or to present any traffic hazard.
 - b. Signs shall not obstruct the sight distance requirements of the Design Standards and Policies Manual.
 - c. All permanent freestanding signs shall be set back a minimum of fifteen (15) feet from back of curb, unless a lesser setback is approved.
- C. Landscape Requirements.
 1. Minimum landscape area requirements for column, tower, mid-size monument, monument, and landscape wall signs:

- a. Signs equal to or less than twelve (12) feet in height: two hundred forty (240) square feet.
 - b. Signs greater than twelve (12) feet in height: twenty (20) square feet multiplied by the total height of the sign.
- D. Minimum distance between the top of the freestanding sign structure and the sign copy: six (6) inches.
- E. The maximum number of onsite businesses or development projects identified on a freestanding sign shall be in accordance with Table 8.511.E.

Table 8.511.E. Maximum Number of Businesses or Development Project Identification	
Freestanding Sign type	Maximum number of onsite businesses or development project identified
Column	1
Directory Sign	Not applicable
Drive-Through	Not applicable
Entryway Monument Sign	1
Entryway Wall Sign	1
Gas Station Monument	2
Landscape Wall	1
Mid-size Monument	4
Monument	2
Tower	4
Traffic Directional	Not applicable

- F. Freestanding signs in the Type 1 Area of the Downtown:
- 1. Column, Drive-Through, Entryway Monument Sign, Entryway Wall Sign, Landscape Wall, Mid-size Monument, Monument, Perimeter Site Wall, and Tower signs are prohibited in the Type 1 Area of the Downtown.
- G. Scenic Corridor.
- 1. The provisions of Section 8.411. shall apply.

Sec. 8.512 –Freestanding Subdivision Signs.

- A. Freestanding signs allowed:
- 1. Recorded land divisions in all zoning districts are allowed freestanding signs in accordance with Table 8.512.A.
 - a. A recorded condominium land division development project may utilize the freestanding sign allowances of the development project's property zoning in-lieu of freestanding subdivision sign allowances of this section.
 - 2. Maximum number of freestanding sign types allowed:
 - a. A land division with zero (0) to less than ten (10) gross acres: one (1) sign type per street.
 - b. A land division with greater than or equal to ten (10) gross acres, and less than one hundred (100) acres: two (2) sign types, or two (2) of the same sign type, per street.

- c. A land division with greater than or equal to one hundred (100) acres: four (4) sign types, a combination of four (4) sign types, or four (4) of the same sign type, per street.

Example 8.512.A. Recorded Land Division Freestanding Sign Quantity

A land division with one hundred fifty (150) acres is allowed four (4) sign types per street. The property owner may choose: 1) one of each of the allowed sign types; 2) four (4) of the same sign type; 3) two (2) of one sign type and two (2) of another sign type; or 4) one (1) sign type and three (3) of another sign type.

Table 8.512.A. Land Division Freestanding Sign Allowances

Sign Types											
Monument Sign			Entryway Wall Sign			Entryway Monument Sign			Landscape Wall Sign		
Maximum Quantity of signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face
1	5 feet	24 sqft	Note 1	5 feet	24 sqft	1	5 feet	24 sqft	1	Note 2	Note 3

Notes:

1. Maximum quantity of entryway wall signs: One (1) sign on each side of an entry driveway or street into the land division.
2. The maximum height of a Landscape Wall Sign is 5 feet. The Development Review Board may approve a Landscape Wall Sign up to a height equal to seventy-five (75) percent of the total height of the wall that the sign will be placed, not exceed eight (8) feet. No sign shall be placed higher than two (2) feet above the average wall height within 25 feet of either side of the sign.
3. The maximum area of a sign:
 - a. Zero to less than forty (40) gross acres: 24 square feet
 - b. Greater than or equal to forty (40) gross acres, and less than one hundred (100) acres: 48 square feet
 - c. Greater than or equal to one hundred (100) acres: 72 square feet

3. Placement of Entryway Wall and Entryway Monument Signs:

- a. Entryway wall signs shall be placed on one, or both sides, of the entry driveway or street into the development project, and within twenty-five (25) feet from the back of the curb of the driveway or street, or edge of the pavement when a curb is not provided.
- b. Entryway monument signs shall be placed in a landscape median that is between the inbound and outbound vehicular traffic lanes of the entry driveway or private street; or, the sign may be placed adjacent to the inbound or outbound vehicular traffic lane.

Sec. 8.513. – Freestanding signs for non-residential developments (excluding the R-5 district) and multiple-family developments in residential districts, and O-S.

A. Freestanding signs are allowed:

1. Non-residential development projects with a zoning districts shown on Table 4.100.A. Residential Districts, and Open Space (O-S) district, excluding the Multiple Family Residential (R-5); or, any portion of a Planned Community (P-C), or Planned Residential Development (PRD), with an underlying zoning district comparable to the districts shown on Table 4.100.A. and the Open Space (O-S) district, excluding the Multiple Family Residential (R-5), are allowed the freestanding signs are on Table 8.513.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.
2. Multiple family development projects within a zoning districts shown Table 4.100.A. Residential Districts; or, any portion of a Planned Community (P-C), or Planned Residential Development (PRD), with an underlying zoning district comparable to the districts shown on Table 4.100.A. , are allowed the freestanding signs on Table 8.513.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.

Table 8.513.A. Freestanding signs for non-residential developments (excluding the R-5 district) and multiple-family developments in residential districts, and O-S district.

Street Classification	Development project width at the property line abutting the street that the freestanding sign is to be place adjacent to.	Freestanding Sign Types					
		Monument Sign			Landscape Wall Sign		
		Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face
All Classifications	Any width abutting a street	1	5 feet	24 sqft	1	5 feet	24 sqft

Sec. 8.514. – Freestanding signs for non-residential developments in the R-5 district

A. Freestanding signs are allowed:

1. Non-residential development in the Multiple Family Residential (R-5) districts; or, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the Multiple Family Residential (R-5) district, are allowed the freestanding signs on Table 8.514.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.

Table 8.514.B. Freestanding Sign Allowances for a Non-residential Uses in a R-5 District

Gross Floor Area of all Building in a Development Project	Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to.	Freestanding Sign Types											
			Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
			Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face
Equal to, or great than, 30,000 square feet	Arterial	Equal to, or great than, 300 feet	1	15 feet	50 sqft	1	8 feet	50 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Equal to, or great than, 30,000 square feet	Arterial	Less than 300 feet	0	N/A	N/A	1	8 feet	50 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Less than, 30,000 square feet	All Streets	All widths	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft

Sec. 8.515. – All Developments in Commercial, Industrial, Mixed Use, P-1, P-2, S-C, and W-P districts.

A. Freestanding signs are allowed in the zoning districts of Category E, and in accordance with the development project's gross floor area indicated in B.

1. Category E, includes: zoning districts shown Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Parking P-1 District, Passenger Vehicle Parking, and Limited, Parking P-2 District, Special Campus (S-C) and Western Theme Park (W-P); and, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the districts shown on 4.100.B., 4.100.C., and 4.100.D., Parking P-1 District, Passenger Vehicle Parking, and Limited, Parking P-2 District, Special Campus (S-C) and Western Theme Park (W-P) shall comply with:

B. Development projects with a gross floor area:

1. Less than 30,000 square feet are allowed freestanding signs in accordance with Table 8.515.B.1.
 - a. Maximum number of free standing sign types per street: one (1) sign type.
2. Equal to or greater than 30,000 square feet, and less than 60,000 square feet, are allowed freestanding signs in accordance with Table 8.515.B.2.
 - a. Maximum number of free standing sign types per street: one (1) sign type.
3. Equal to or greater than 60,000 square feet, and less than 100,000 square feet, are allowed freestanding signs in accordance with Table 8.515.B.3.
 - a. Maximum number of free standing sign types per street: one (1) sign type.
4. Equal to or greater than 100,000 square feet allowed freestanding signs in accordance with Table 8.514.B.4.
 - a. Maximum number of free standing sign types per street: one (1) sign type.

Table 8.515.B.1: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Less than 30,000 Square Feet							
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to.	Freestanding Sign Types					
		Monument Sign			Landscape Wall Sign		
		Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face
All Classifications	Any width abutting a street	1	5 feet	24 sqft	1	5 feet	24 sqft

Table 8.515.B.2: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to or Greater than 30,000 Square Feet and Less than 60,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to.	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
		Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to, or greater than, 300 feet	1	15 feet	50 sqft	2	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to, or greater than, 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	24 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district on Table 4.100.A.	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft

Table 8.515.B.3: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to or Greater than 60,000 Square Feet and Less than 100,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to.	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
		Quantity of signs per Street	Height	Sum Total Area of Sign per Face	Quantity of signs per Street	Height	Sum Total Area of Sign per Face	Quantity of signs per Street	Height	Sum Total Area of Sign per Face	Quantity of signs per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to, or greater than, 300 feet	1	20 feet	75 sqft	2	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to, or greater than, 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	24 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district on Table 4.100.A.	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft

Table 8.515.B.4: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to, or Greater than, 100,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to.	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Monument Sign		
		Quantity of signs per Street	Height	Sum Total Area of Sign per Face	Quantity of signs per Street	Height	Sum Total Area of Sign per Face	Quantity of signs per Street	Height	Sum Total Area of Sign per Face	Quantity of signs per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to, or greater than, 300 feet	1	25 feet	120 sqft	2	12 feet	60 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	12 feet	60 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to, or greater than, 300 feet	0	N/A	N/A	1	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	32 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district on Table 4.100.A.	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft

Sec. 8.516. – Additional freestanding sign allowances.

A. Entryway Signs.

1. Entryway signs are allowed in:
 - a. Multiple family developments with a zoning district shown on Table 4.100.A. Residential Districts; or, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the districts shown on Table 4.100.A.
 - b. Non-residential developments with Resort/Townhouse Residential (R-4R) zoning and Multiple-family Residential (R-5) zoning; or, any portion of a Planned Community (P-C) or Planned Residential Development (PRD) zoning, with an underlying zoning district comparable to the Resort/Townhouse Residential (R-4R) and Multiple-family Residential (R-5) districts.
3. Maximum Quantity:
 - a. One (1) entryway wall sign on each side of an entry driveway; or
 - b. One (1) entryway monument sign
4. Placement:
 - a. Entryway wall signs shall be placed on one, or both sides, of the entry driveway or street into the development project, and within twenty-five (25) feet from the back of the curb of the driveway or street, or edge of the pavement when a curb is not provided.
 - b. Entryway monument signs shall be placed in a landscape median that is between the inbound and outbound vehicular traffic lanes of the entry driveway or private street; or, the sign may be placed adjacent to the inbound or outbound vehicular traffic lane.
5. Maximum Height: Five (5) feet.
 - a. Exception. The Development Review Board may approve an entryway wall sign up to a height equal to seventy-five (75) percent of the total height of the wall that the sign will be placed, not exceed eight (8) feet. No sign shall be placed higher than two (2) feet above the average wall height within 25 feet of either side of the sign.
6. Maximum Area: Twenty-four (24) square feet
7. Maximum sum total sign area: Forty-eight (48) square feet.

B. Gas Station Monument Signs

1. Gas Station development projects or development sites are allowed a Gas Station Monument Sign in-lieu of the development's freestanding sign allowed in a Section 8.515.
2. Maximum Quantity: one (1) sign per street.
3. Maximum Height: Five (5) square feet.
4. Maximum Area: Thirty (30) square feet.
5. Maximum Fuel Change Panel Area: one-half of the area of the sign may be Fuel Change Panels to display fuel prices in accordance with Arizona Administrative Code.

C. Drive-Through Signs.

1. Drive-thru signs are allowed in zoning district shown on Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, not including the Downtown or Downtown Overlay districts, or any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on 4.100.B., 4.100.C., and 4.100.D., not including the Downtown or Downtown Overlay district.
2. Maximum Quantity: Two (2) sign per drive-through lane.

3. Placement:

- a. Within ten (10) feet of the drive-through lane; and
- b. At least twenty (20) feet from any street line

4. Maximum Height: Seven (7) square feet

5. Maximum Area: Forty-five (45) square feet

6. Drive-thru sign shall be screened from streets, subject to Development Review Board approval.

D. Directory Signs.

1. Multiple family and non-residential development projects with zoning district shown on Tables 4.100.A. Residential Districts; 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Tables 4.100.A., 4.100.B., 4.100.C., and 4.100.D. and Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning, are allowed directory signs.

2. Quantity of signs: subject to Development Review Board approval.

3. Maximum Height:

- a. Seven (7) feet, not including the Planned Regional Center (PRC) district; and
- b. Twelve (12) feet in the Planned Regional Center (PRC) district.

4. Placement:

- a. Signs equal to, or less than seven (7) feet: Unless separated by a structure and not visible from an abutting street, freestanding directory signs shall not be placed within 100 feet from a street line.
- b. Signs greater than seven (7) feet: Unless separated by a structure and not visible from an abutting street, freestanding directory signs shall not be placed within 150 feet from a street line.

5. Maximum Area: Four (4) square feet per panel.

6. Maximum Sum Total Area: Thirty-two (32) square feet.

E. Traffic Directional Signs.

1. Multiple family and non-residential development projects with zoning district shown on Tables 4.100.A. Residential Districts; 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Tables 4.100.A., 4.100.B., 4.100.C., and 4.100.D. and Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning, are allowed traffic directional signs.

2. Maximum number of signs for each driveway: one (1) sign.

3. Maximum number of signs for each drive aisle internal to a development project: subject to Development Review Board approval.

3. Maximum height of sign: three (3) feet.

4. Placement:

- a. Adjacent to a street and driveway intersection: Within fifty (50) feet from the back of the curb of the driveway, or the edge of the pavement when a curb is not provided; and

b. Within a development project: Locations shall be approved by the Development Review Board.

5. Maximum area of sign:

- a. Driveway and drive aisle accessing one (1) lot: four (4) square feet.
- b. Driveway and drive aisle accessing two (2) or more lots: eight (8) square feet.

F. Column Signs.

1. Freestanding Column Signs are allowed in development projects that:

- a. Are zoned Planned Regional Center (PRC); or any portion of a Planned Community P-C with an underlying zoning district comparable to Planned Regional Center (PRC) zoning; and
- b. Have a gross floor area equal to, or greater than, 100,000 square feet.

3. Quantity of signs: One (1) freestanding column sign may be utilized in-lieu of one of the freestanding sign types allowed in Table 8.514.A.4.

3. Maximum Height: twenty-five (25) square feet

4. Maximum diameter or width: six (6) feet

5. Placement:

- a. Signs shall be placed adjacent to an arterial or collector street with a development project street line width equal to, or greater than, 300 feet.

6. Maximum Area: one hundred fifty (150) square feet

G. Perimeter site wall signs

1. Perimeter site wall signs are allowed in zoning districts shown on Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Western Theme Park (W-P), and Special Campus (S-C) zoning; or any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Tables 4.100.B., 4.100.C., and 4.100.D. and Western Theme Park (W-P), and Special Campus (S-C) zoning.

2. The Development Review Board may approve a master sign program that includes relocating a portion of the allowed sum total sign area for a business to be located on a development project's perimeter site wall, upon finding that the sign placement improves visibility, limits the proliferation and clutter of signage adjacent to a street, maintains the surrounding character, and achieves a higher quality of sign placement and design.

3. Maximum Quantity per onsite business: one (1) sign

4. Maximum Area: ten (10) square feet.

5. Sum total area of all perimeter site wall signs: (1) square foot for each one thousand (1,000) square feet of gross floor area of a development project.

Sec. 8.517 –Freestanding Signs in Planned Community (P-C) and Planned Residential Development (PRD) Districts.

A. Onsite freestanding signs are allowed in the Planned Community (P-C) and Planned Residential Development (PRD) districts.

1. Minimum Area of the Planned Community (P-C) or Planned Residential Development (PRD) district: one hundred sixty (160) acres.

2. Maximum Quantity of signs in a Planned Community (P-C) or Planned Residential Development (PRD) district: One (1) sign per street entrance into the district.

3. Maximum sign area: One hundred (100) square feet
4. Maximum Height: Eight (8) feet.
5. Placement:
 - a. Maximum number of signs placed adjacent to a street entrance: Two (2) signs.
 - b. Within five hundred (500) feet of the Planned Community (P-C) or Planned Residential Development (PRD) district boundary, and within 100 feet of the right-of-way or private street tract that enters into the Planned Community (P-C) or Planned Residential Development (PRD) district.

PLANNING COMMISSION REPORT



Meeting Date: May 24, 2017
General Plan Element: *Character and Design*
General Plan Goal: *Use community goals, character and context to determine development appropriateness.*

ACTION

Sign Ordinance Update - Permanent Signs 1-TA-2017

Request to consider the following:

1. A recommendation to City Council on the City of Scottsdale's request to amend the City's Zoning Ordinance (Ordinance No. 455), and Article VIII. (Sign Requirements), for the purposes of amending and updating the sign regulations for permanent signs, related provisions, requirements, and definitions.

Key Items for Consideration

- Maintain Scottsdale's heritage of sign aesthetics.
- Consistency with the General Plan.
- Remove permanent sign requirements based on specified land uses.
- Permanent sign requirements based on zoning district, street classification, street frontage length, and development size.
- Eliminate conflicting sign requirements and ambiguity.
- Establish a more user-friendly and contemporary Zoning Ordinance.

APPLICANT CONTACT

Andrew Chi, Planner
City of Scottsdale
480-312-7828
achi@scottsdaleaz.gov

LOCATION

City-wide

BACKGROUND

The sign requirements of the Zoning Ordinance were a pioneering effort when first adopted in the 1960s. In June 1969, the sign requirements were amended with the adoption of Zoning Ordinance No. 455, and revised throughout the 1970s and 1980s. In June 2003, the City Council adopted an amendment that updated the permanent sign requirements to include additional freestanding sign allowances for commercial developments, and allow the display of multiple tenant and occupant names on freestanding signs. In March 2007, to address the proliferation of signs in the public right-of-way, the City Council adopted an amendment to the Zoning Ordinance by prohibiting permanent and temporary signs in the right-of-way to reduce sign clutter and maintain aesthetically pleasing streetscapes.

General Plan

The Scottsdale General Plan, as amended, is the primary policy containing values, goals, and approaches for guiding the future development of the City. These values, goals, and approaches contained in the General Plan encourage a high quality physical environment and an aesthetically attractive community to live and do business. The community's desire for strong sign controls assist in accomplishing and implementing the goals and approaches of the General Plan. The Zoning Ordinance is considered one of the key implementation tools that are used to achieve the goals and approaches of the General Plan.

The General Plan's City values, goals, and approaches address signs in three of its elements, which are Character and Design, Neighborhoods, and Community Mobility. As it pertains to signage, and through enforcement of a strong sign ordinance and unified street signage, Character and Design, Neighborhoods, and Community Mobility Elements focus on the preservation and enhancement of the unique sense of neighborhood, streetscapes, and quality design standards throughout the community that reflects an image that is uniquely Scottsdale.

Other Related Policies, References:

- Scottsdale General Plan 2001, as amended
- Zoning Ordinance

APPLICANTS PROPOSAL

Goal/Purpose of Request

The City is seeking a text amendment to the Zoning Ordinance to: 1) remove permanent sign requirements that are based on the specific land uses; 2) regulate permanent signs based on zoning district, street classification, street frontage length, and development size; 3) re-format the existing ordinance; 4) eliminate conflicting requirements and ambiguity; 5) maintain the integrity of the current ordinance; and 6) create a more contemporary and user-friendly Zoning Ordinance.

Refer to Attachment #1 for the draft ordinance.

To achieve the objectives, the following provides an assessment of the proposed changes to the sign requirements of the Zoning Ordinance:

- Remove permanent sign requirements based on the specified land use

The current ordinance separates sign requirements under two categories: sign requirements based on the zoning district, and sign requirements based on the specified land use regardless of the zoning district. This method can lead to conflicting and inequitable sign requirements.

For example: in the Service Residential (S-R) district, current unspecified uses, such as a medical office, are limited to a 12 square foot wall sign. However, a bank, which is allowed in S-R, is listed as a specified land use under the existing ordinance; and it would be allowed a wall sign greater than 12 square feet. This method leads to the appearance of preferential treatment based on the use.

To remedy this conflicting requirement, the recommendation is to eliminate all specified land uses listed in the ordinance, and consolidate all uses based on the zoning district requirements.

- Consolidate permanent sign types into two sections: Building Signs and Freestanding Signs

The current ordinance has sign requirements for building signs and freestanding signs scattered in various sections, which leads to inconsistent application of requirements and ambiguity. To eliminate these inconsistencies, the proposed amendment consolidates sign requirements into two sections: Building Signs and Freestanding Signs.

All permanent sign requirements for buildings (Wall Signs, Shingle Signs, Suspended Canopy Signs, Canopy Fascia Signs, Shingle Signs, Freestanding Canopy Signs, Projecting Signs, Standing Canopy Signs, Awning Signs, Entry Signs, and Address Signs) have been consolidated into a new section for building signs. Sign size, sum total sign area, and building sign placement requirements are divided up into six (6) categories based on the zoning district.

To provide clearer and more user-friendly sign regulations, the amendment proposes to be reformatted with more distinguishable sign terminology by renaming the signs based on where the sign is placed on the building. Two of the renamed sign types are Shingle Signs and Nameplate Signs:

Current Ordinance	Proposed Ordinance	Proposed Placement
Shingle Sign	Shingle Sign	A sign suspended from a roof overhang or covered walkway, and perpendicular to the building wall.
	Suspended Canopy Sign	A sign suspended under a building canopy and parallel to the building wall.
	Canopy Fascia Sign	A sign mounted on the front face of a canopy and not project above or below the canopy face.
Nameplate Sign	Entry Sign	A small sign located adjacent to a primary pedestrian entrance to a dwelling or suite, mounted flush to the building wall.

All permanent freestanding sign requirements for developments (Tower Signs, Mid-Size Monument Signs, Monument Signs, Landscape Wall Signs, Entryway Wall Signs, Entryway Monument Signs, Gas Station Monument Signs, Drive-Through Signs, Directory Signs, Traffic Directional Signs, Column Signs, and Perimeter Site Wall Signs) have been consolidated into a new section for freestanding signs. The amendment proposes to distinguish all freestanding sign size, height, and placement requirements into five (5) sections based on the zoning district and the type of development:

- Freestanding signs for subdivision developments.
- Freestanding signs for non-residential developments in Residential Districts, excluding the Multiple-Family District (R-5).
- Freestanding signs for non-residential developments in the Multiple-Family District (R-5) only.
- Freestanding signs for developments in all Commercial, Industrial, Mixed-Use, Parking, Special Campus, and Western Park Districts.
- Additional freestanding sign allowances based on the specified zoning district.
- Freestanding signs in Planned Community (P-C) and Planned Residential Development (PRD) districts (master planned communities).

In-addition, the amendment proposes to rename existing freestanding sign types with more distinguishable sign terminology based on the location of the sign. The renamed and new sign types are:

Current Ordinance	Proposed Ordinance	Proposed Placement
Entryway Sign	Entryway Wall Sign	A freestanding sign placed on a perimeter or screen wall and adjacent to a street or entry drive into the development.
	Entryway Monument Sign	A freestanding sign placed at the street or driveway leading into the development, typically on a landscaped median.
Landscape Wall Sign for Tenants with no Street Frontage	Perimeter Site Wall Sign	A sign type that allows an on-site business in a development to display a ten (10) square feet sign on a perimeter site wall.
Service Station Monument Sign	Gas Station Monument Sign	A freestanding sign for a gas station which include change panels for fuel pricing as required by Arizona Administrative Code.
A Drive-Through Signs was previously a form of a Directory Sign under current ordinance	Drive-Through Sign	A Drive-Through Sign is a new freestanding sign type that is adjacent to a drive-through lane.

- Consolidate freestanding Ground Signs with Monument Signs

The current ordinance has two types of similar freestanding sign types: Ground Sign and Monument Sign. A Ground Sign is a freestanding sign built with a continuous background surface from the ground, limited to five (5) feet tall, with individually mounted letters and logos limited to 12 square feet of area. Whereas, a Monument Sign is a freestanding cabinet or panel sign mounted on a base, also limited to 5 feet tall, but the area is limited to 24 square feet. These two freestanding sign types have been applied inconsistently and interchangeably. To eliminate the ambiguity and inconsistent application, the amendment proposes to consolidate Ground Signs with Monument Signs. No changes are proposed to the existing height and area allowed for a freestanding Monument Sign.

- Regulate freestanding signs by the street classification, street length and development size

The current ordinance regulates freestanding signs based on the gross floor area of the development, and whether a development has multiple tenants or a single tenant. The current ordinance does not specify the location of freestanding signs based on the abutting street classification. This inconsistency may allow a tall freestanding sign (such as a 25-foot-tall Tower Sign or 12-foot-tall Mid-Size Monument Sign) on an unclassified street (such as a residential street), thus the freestanding sign location as applied may not be appropriate with the surrounding neighborhood character and context.

Another inconsistent application under the existing ordinance is the criteria for commercial developments to qualify for a Tower Sign and Mid-Size Monument Sign. Tower and Mid-Size Monument Signs are allowed if a development has more than one (1) tenant and exceed 30,000 square feet of gross floor area. However, if a development has a single tenant and exceeds 30,000 square feet of gross floor area, only a five (5) foot tall Monument Sign is allowed. This method of regulation may not be equitably applied under the current ordinance, for example:

- A commercial development with 100,000 square feet of gross floor area with multiple tenants is allowed a 25-foot-tall Tower or 12-foot-tall Mid-Size Monument Sign, but
- A commercial development with 100,000 square feet of gross floor area with a single tenant is only allowed a 5-foot-tall Monument Sign.

To implement a more equitable and consistent freestanding sign regulations, the proposed amendment would eliminate the multi-tenant requirement, and instead, establish freestanding sign requirements based on the gross floor area of the development, the street frontage length, and the street classification in accordance with the Transportation Master Plan. To provide clearer sign regulations, the proposed amendment consolidates freestanding sign requirements into tables, and categorized based on the zoning district and type of development.

Additional modifications to the ordinance include: new and revised sign definitions, including new graphics to provide a more user-friendly ordinance; elimination of outdated and non-applicable sign definitions; and renaming Open and Closed Window Signs to Permanent Window Signs.

IMPACT ANALYSIS

General Plan Consistency

The proposed text amendment reflects Scottsdale's desire for strong sign control to assist in accomplishing and implementing the goals, values, and approaches of the General Plan. The General Plan's Character and Design Element – Design Standards, focuses on character and design through the enforcement of a strong sign ordinance. Approach 1.2 indicates that development should enrich the lives of all Scottsdale residents by being safe, attractive, and context compatible. The proposed text amendment exemplifies this approach by proposing an ordinance that maintains strong control by regulating sign size, height and placement through zoning district regulations, thereby limiting clutter along streetscapes.

Approach 4.8 of the Neighborhoods Element encourages the improvement and maintenance of the current landscape, signage, and quality design standards throughout the community. The proposed text amendment maintains consistency with this approach by proposing an ordinance that limits the proliferation of permanent signs in Scottsdale neighborhoods, such as limited size and height requirements in residential zoning districts, and limitations on sign placement and sign quantity along street frontages in all zoning districts.

Furthermore, Approach 1.3 of the Community Mobility Element encourages the protection of the function and forms of regional land corridors by maintaining Scottsdale's high development standards through unified streetscapes and unified street signage. The proposed ordinance demonstrates this approach by proposing permanent sign regulations that are more uniform in its application by regulating sign size, height and placement based on zoning district, street classification, street frontage length, and development size.

Community Involvement

Open House Meetings and Community Input

Two open house meetings were held on April 4, 2017, at the Via Linda Senior Center, and April 5, 2017, at the City of Scottsdale One Civic Center. An eighth page advertisement was published in the Arizona Republic Scottsdale Section, and information was published on the City's website to advertise the community of the open house meetings. Individuals on record with the Planning and Development Services Department Interested Parties List were notified, and email notifications were sent to 130 recipients of local sign companies, Scottsdale residents, and stakeholders inviting them to the open house meetings. In-addition, requests for comment and input were sent to the Arizona Sign Association (ASA), the International Sign Association (ISA), and the Scottsdale Area Chamber of Commerce.

At the community open house meetings, the draft ordinance was provided to the public for comment, and made available on the City's website. A summary of the open house meetings:

April 4, 2017 – Open House Meeting #1

8 attendees attended this meeting.

Comments and suggestions received from April 4th attendees:

- The current ordinance allows the Development Review Board to approve a Community Sign District and Comprehensive Sign Program with a 20% increase in sum total sign area, individual sign area, and sign height requirements. A suggestion was provided to incorporate the ability for the City Council to approve a Community Sign District and allow an increase beyond the 20% bonuses for sum total sign area, individual sign area, and sign height.
- Address signs in the Scenic Corridor to remove ambiguity, tighten restrictions, and allow traffic directional signs in Scenic Corridors.

April 5, 2017 – Open House Meeting #2

8 attendees attended this meeting.

Comments and suggestions received from April 5th attendees:

- Increase the number of business or development identification on a monument sign from one (1) to at least two (2) to help identify onsite businesses for a development project with less than 30,000 square feet of total gross floor area.
- Continue to prohibit visible raceways for individual letters on building wall signs, but provide flexibility for screened or concealed raceways by a sign cabinet or a sign panel.
- There is no incentive for an owner to create a master sign program under the existing ordinance, other than to regulate sign placement and sign design. Comments provided suggested inclusion of requirements on when a master sign program is required, and provide more incentives for a property owner to produce a master sign program.
- Incorporate sign requirements to regulate signs in the scenic corridor in the boundary between Environmentally Sensitive Lands (ESL) and non-Environmentally Sensitive Lands.
- The City should consider analyzing and updating the scenic corridor sign requirements at a future text amendment, and consider allowing flexibility.

Correspondences

Staff has received five (5) emails and one (1) phone call regarding the proposed amendment, as of the writing of this report. The email correspondences are included in Attachment #2. The email comments include: 1) support of the proposed amendment and removing contradicting and inconsistent sign requirements, 2) support of the proposed amendment with suggestions on providing more flexible sign requirements, 3) provide additional sign flexibility and increase sign bonuses for Community Sign Districts and Master Sign Programs, 4) update the Scenic Corridor sign requirements to provide some additional flexibility, and 5) and update the Scenic Corridor sign requirements to clarify and refine the existing text and requirements. The phone call was from a resident seeking details on the proposed amendment, and to obtain additional information regarding the community open house meetings.

Stakeholder & Resident Meetings

Staff met with several stakeholders and residents on separate occasions to seek additional input and comments regarding the proposed amendment, and correspondence and input from these meetings are included in Attachment #2:

- May 1, 2017: Meeting with Arizona Sign Association (ASA) and International Sign Association (ISA) representatives. At the meeting, staff went over the details of the proposed amendment, and the positive effects the amendment would be for businesses. Additional comments include requesting staff to update the Scenic Corridor sign requirements, and provide additional flexibility and incentives for Community Sign Districts and Master Sign Programs.
- May 3, 2017: Presentation at the Scottsdale Area Chamber of Commerce Downtown Committee meeting. At the meeting, staff presented the proposed amendment, and the positive effects the amendment would be for Downtown businesses. Comments from the committee were positive, with questions from committee members pertaining to temporary Window Sign and Portable Signs allowances and requirements.
- May 5, 2017: Meeting with Scottsdale Residents. Staff met with several Scottsdale residents to discuss the proposed amendment. The comments were supportive of the amendment to simplify, clarify and organize sign requirements, and to make it more understandable and equitable. Additional comments include requesting Staff to consider reviewing and updating the requirements pertaining to Scenic Corridor signs at a future text amendment.

Responses to Community Involvement

As it pertains to comments and input received, in this current amendment, the proposed ordinance incorporates two comments from the open house meetings: increase the number of on-site business or development identification on a Monument Sign from one (1) to at least two (2) to help identify on-site businesses for a development with less than 30,000 square feet of total gross floor area; and incorporate language to conceal raceways by a sign cabinet or sign panel.

The proposed amendments to the Sign Ordinance address the elimination of sign regulations based on the specified use. Based on additional comments and desires received from the community, a future text amendment may address comments pertaining to updating the requirements for Community Sign Districts and Master Sign Programs, and updating the Scenic Corridor sign requirements.

Community Impact

The Zoning Ordinance is the implementing tool for regulations associated with signs. The proposed modifications incorporated with this text amendment are intended to enhance and maintain the City's character and aesthetics. With the implementation of the proposed text amendment, all properties throughout the City would be subject to the new permanent sign requirements.

Many of the current permanent sign regulations are classified based on the sign's purpose and specified land use, which allow for inconsistent application of regulations. The proposed amendment resolves this inconsistency by providing regulations that are based time, place, and manner, which is achieved by incorporating requirements based on zoning district, street classification, street frontage length, and development size. In-addition, making the sign ordinance more equitable will eliminate the appearance of preferential treatment to certain uses.

Many existing large lots and commercial developments throughout the City that have Tower and Mid-Size Monument Signs are in-compliance with the proposed amendment. Only a few commercial

developments may have freestanding signs that are legal non-conforming, such as commercial developments with Tower or Mid-Size Monument Signs on street frontages with less than 300 feet.

Policy Implications

The proposed text amendment provides a more uniform implementation of sign regulations that are achieved through zoning district regulations, which will allow greater clarity, reliability, consistency, and improved enforcement.

OTHER BOARDS & COMMISSIONS

Planning Commission

At the May 25, 2016, Planning Commission Study Session, the Commission expressed interest in updating the Sign Ordinance pertaining to permanent signs.

On February 22, 2017, the Planning Commission initiated the above-referenced text amendment to the Zoning Ordinance pertaining to Permanent Signs of Article VIII. – Sign Requirements.

On April 26, 2017, the Planning Commission held a non-action hearing to discuss the proposed text amendment.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Planning Commission find that proposed zoning text amendment is consistent and conforms to the adopted General Plan, and make a recommendation to City Council for approval.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

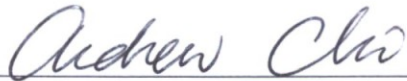
STAFF CONTACT

Andrew Chi, Planner

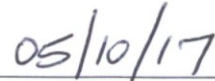
480-312-7828

Email: achi@ScottsdaleAZ.gov

APPROVED BY



Andrew Chi, Planner, Report Author
480-312-7828, achi@scottsdaleaz.gov



Date



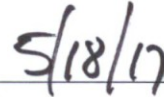
Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov



Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov



Date

ATTACHMENTS

1. Proposed Draft Sign Ordinance Update – Permanent Signs
2. Citizen Review Plan and Report & Correspondences

ZONING ORDINANCE TEXT AMENDMENT
1-TA-2017 – SIGN ORDINANCE UPDATE – PERMANENT SIGNS
DRAFT
05/12/2017

HOW TO READ THIS DOCUMENT

Unless otherwise stated, provisions that are being deleted are shown with a strike-through, like this: ~~Provisions that are being deleted are shown with a strike-through.~~ Graphic that are being deleted are indicated with an "X" over the graphic.

Provisions that are being added are shown as highlighted, like this: **Provisions that are being added are shown as highlighted.**

Section 1. Repeal and replace Sec. 8.109. - Enforcement officer., as follows:

~~Sec. 8.109. – Enforcement officer.~~

~~The general manager shall have the authority to enforce this ordinance, and to make all inspections required to ensure such enforcement, and to hear appeals of all decisions relating to the Uniform Building Code and the National Electrical Code.~~

Sec. 8.109. – Reserved .

Section 2. Amend Section 8.200. – Definitions., to add the terms to the existing definitions in alphabetical order, to delete, and to amend existing definitions, as follows:

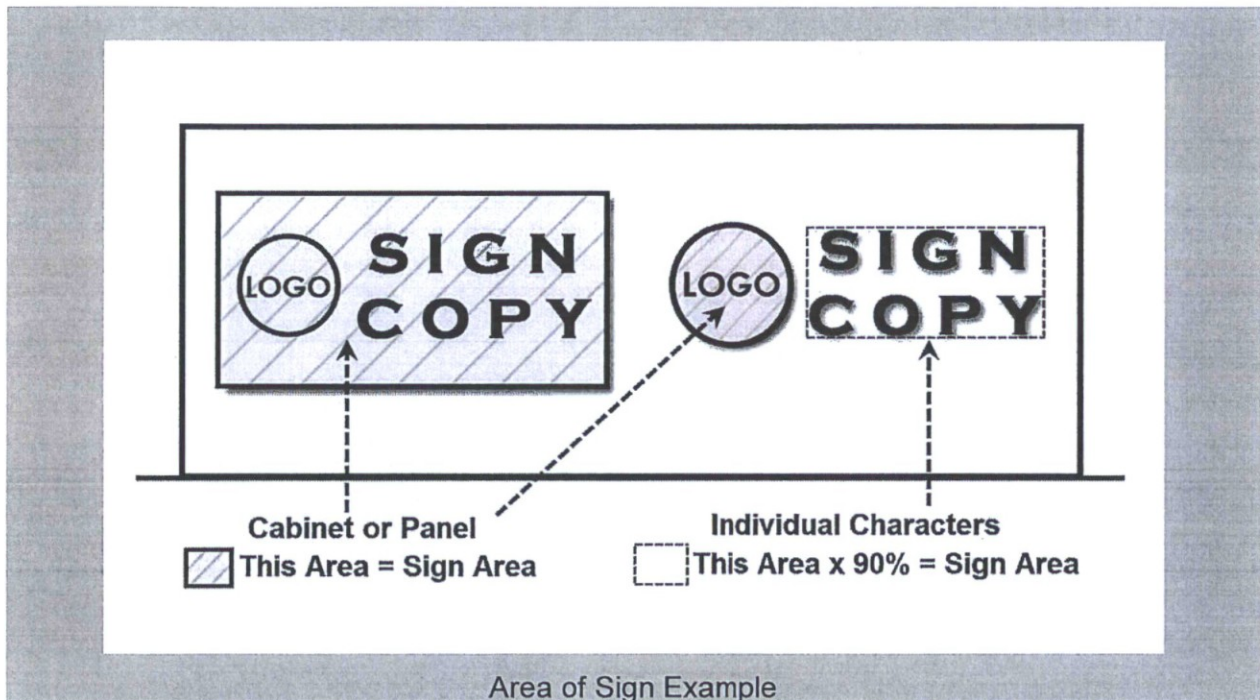
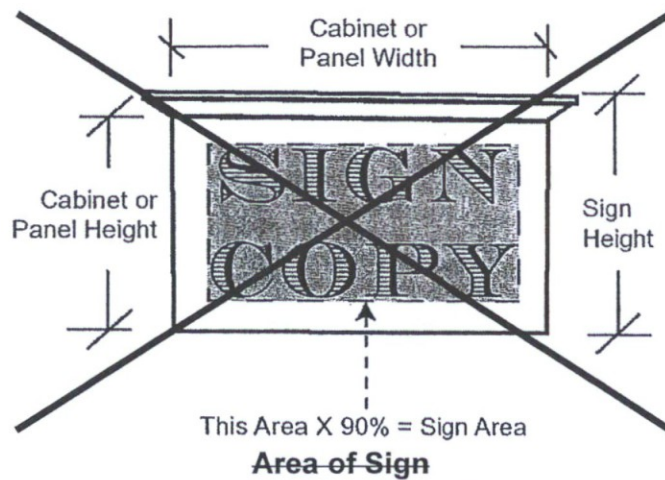
Sec. 8.200. - Definitions.

~~Arterial (street) street.~~ Those lengths of streets so classified on the City of Scottsdale's General Plan. **Shall mean the streets designated in the City's Transportation Master Plan with the classification of the Major Arterial and Minor Arterial.**

Address Sign is a sign required by Chapter 31 and Chapter 36 of the Scottsdale Revised Code that identifies a building address numbers, building numbers or approved building identification.

Area of sign. In the case of individual characters used as a sign, the area is ninety (90) percent of the area enclosed within the smallest regular geometric figure needed to completely encompass all characters of the sign, including horizontal spacing between characters, except as otherwise provided herein. For signs other than individual characters, the area is the smallest regular geometric figure needed to completely encompass the total area of a cabinet or panel, or the total area within the outer edge of a frame or other material, color, or condition utilized to create an outer border of the sign. The area of sign does not include address signs that are twelve (12) inches or less required by Chapters 31 and 36 of the Scottsdale Revised Code.

~~For signs other than individual letters, words, insignias or symbols, the area is the total area of the facing or the total area within the outer edge of any existing border of the sign.~~



Automated teller machine directional sign. A traffic directional sign which is used to direct pedestrian or vehicular traffic on a parcel to the location of an automated teller machine.

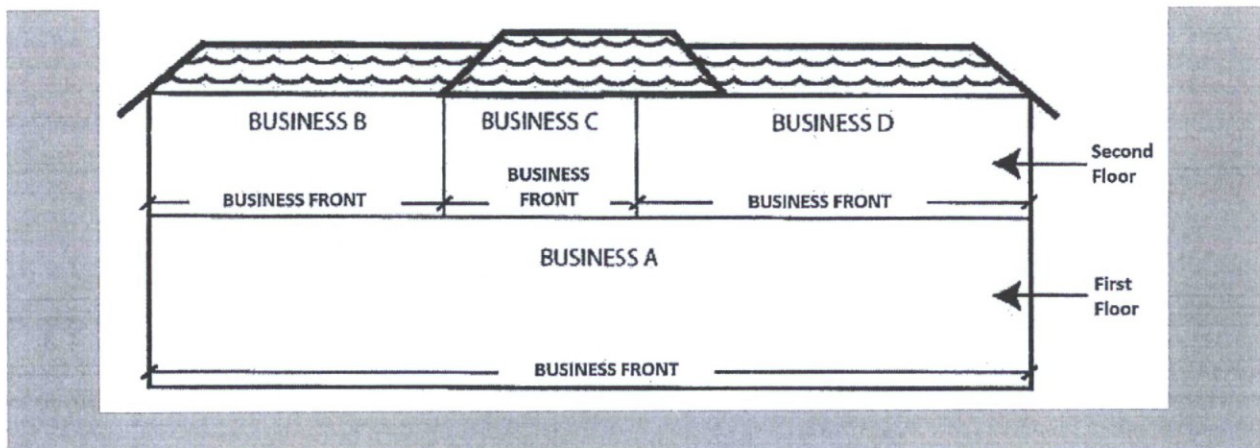
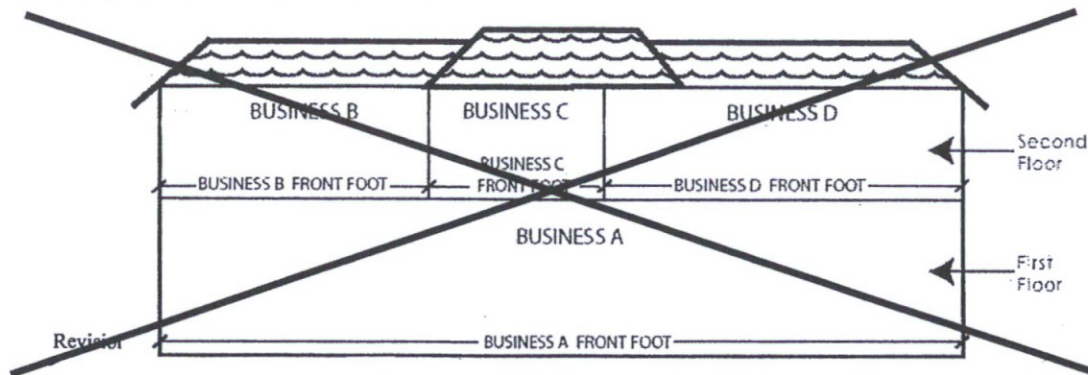
Automated teller machine sign. Any sign located on or architecturally associated with the exterior face of an automated teller machine.

Building identification. The name of a building or of a tenant or occupants occupying at least thirty (30) percent of the building or sixty (60) percent of the first floor, which is placed on the building, or on a freestanding sign.

Building wall. The individual sides of a building.

Business entrance identification. A sign adjacent to, or on the entrance door of, a business containing the business name and such other appropriate information as store hours and telephone numbers.

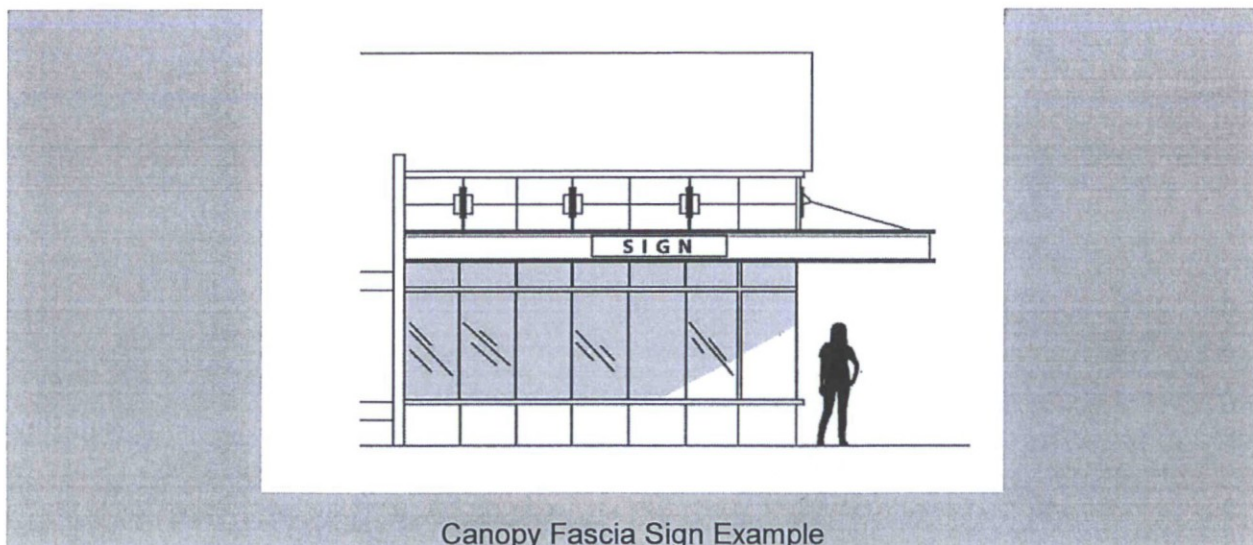
Business front foot. The lineal distance measured along the exterior wall of the building space occupied by the business that the sign will be placed. The lineal distance of the building space occupied by the particular business measured on a straight line parallel to the street. Where a business does not parallel a street, the front foot shall be measured along the exterior of the building space occupied by the particular business.



Business Front Foot

Business name. The name by which a business is commonly recognized and used by the applicant. The applicant shall provide stationery or other supporting documents illustrating the use of the business name or verification of the official business license or tax name. Slogans or product information shall not be considered as the business name.

Canopy Fascia Sign is a sign attached to the vertical front face of a canopy, roof overhang, covered walkway, covered porch, or purlin of an open lattice structure.



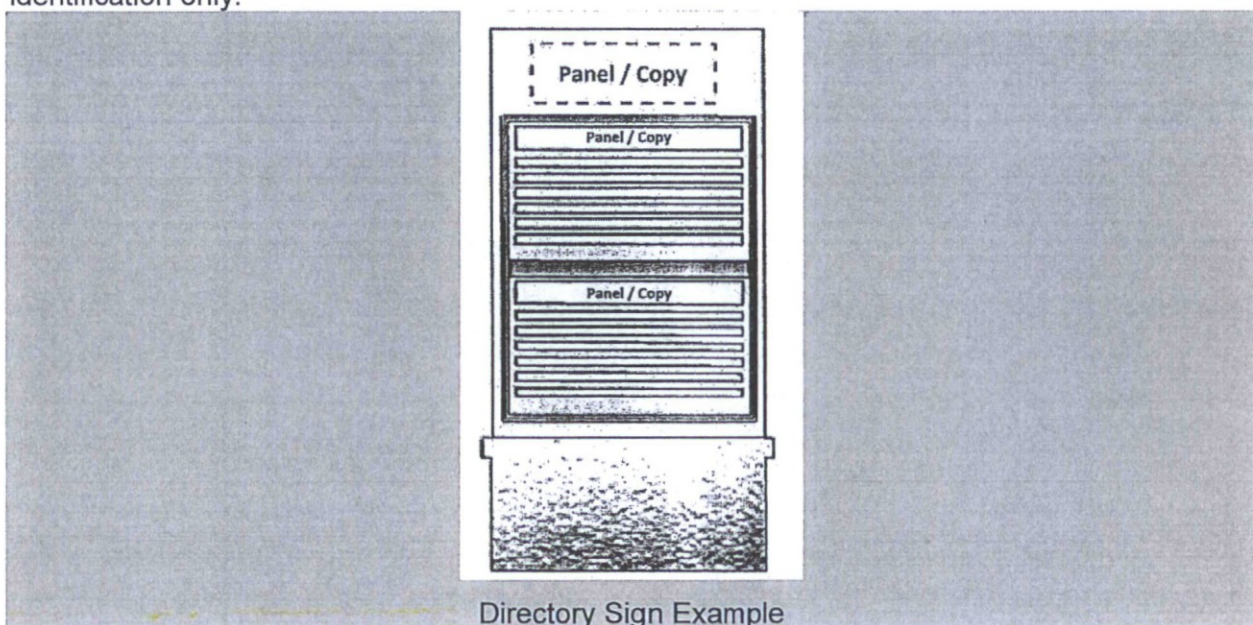
Change panel. A sign designed to permit immediate change of copy with language other than the name of the business.

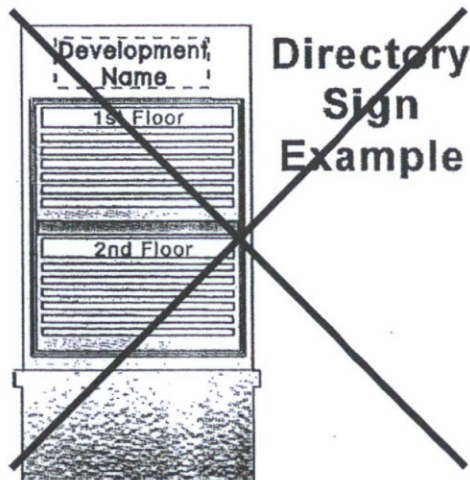
Commercial district. A group or cluster of retail shops, offices or industrial buildings which share common parking, landscaping, and/or frontage, have a property owners association and have a name which is generally understood by the public to refer to the group or cluster.

Common building entrance. In a multitenant building, an entrance leading to a common lobby, atrium, patio and/or elevator foyer.

Community sign district. A group of businesses property owners in a specified area in the city which that have been organized into a coordinated group for the purpose of common signage and signage control.

Directory sign. A sign which provides a listing of the names of businesses, activities, addresses, locations, uses or places within a building or complex of buildings for the purpose of identification only.





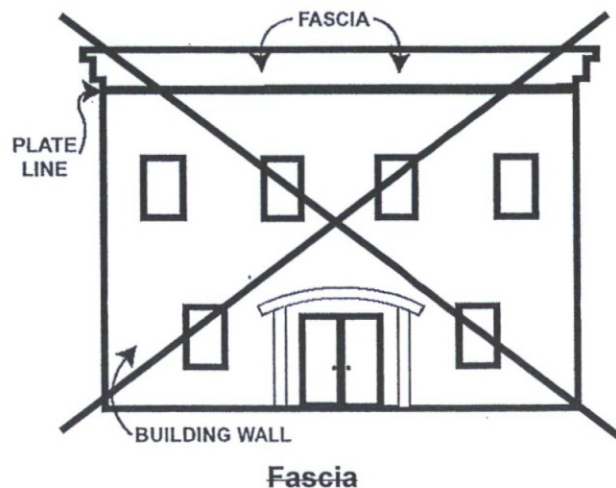
Drive-through sign is a freestanding sign adjacent to a drive-through.

Entry sign is a small sign located adjacent to a primary pedestrian entrance to a dwelling or suite.

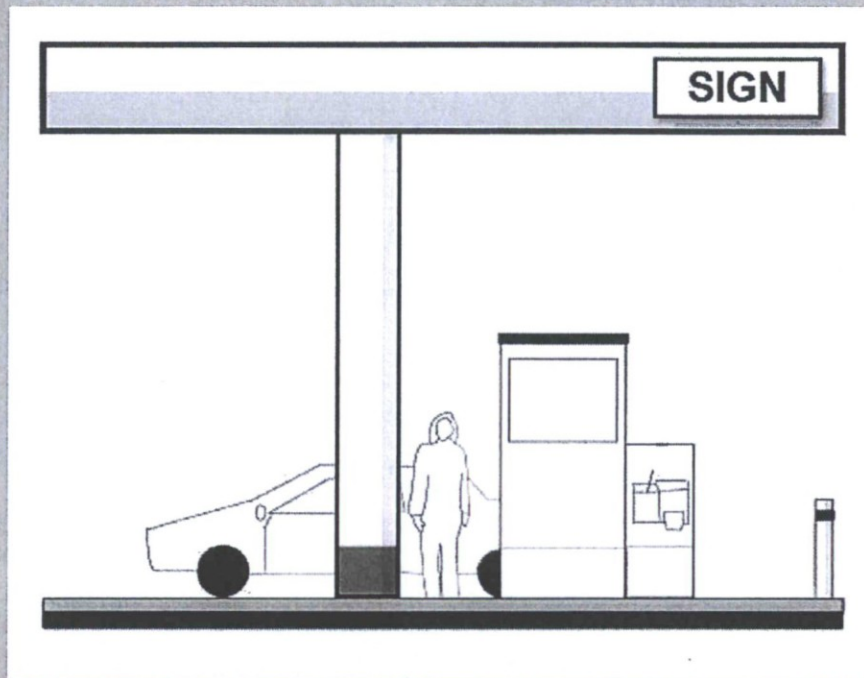
Entryway monument sign is a freestanding cabinet or panel sign mounted on, or within a base (above grade), placed at the street or driveway leading into the development project.

Entryway sign. A is a freestanding sign which is placed on the a perimeter or screen wall of a development project, and adjacent to a street or driveway leading into the development project, having individual characters that may be mounted on, or integrated into, a panel. recorded subdivision, townhouse project, commercial district, master planned community, hotel, motel or guest ranch at a major street or driveway entrance to identify the name of the interior project. Such signs may flank both sides of the entrance and may include ground or landscape wall sign types.

Fascia. A parapet-type wall used as part of the face of a flat roofed building and projecting not more than six (6) feet from the building face immediately adjacent thereto. Such a wall shall enclose at least three (3) sides of the projecting flat roof and return to a parapet wall or the building.



Freestanding canopy sign is a sign attached to the vertical front face of a freestanding canopy structure that is not attached to a building.



Freestanding Canopy Sign Example

~~Fuel change panel price sign.~~ A is a sign used to identify the current price(s) of fuel as required by the state law-Arizona Administrative Code.

~~General manager.~~ The city's planning and zoning general manager or designee.

~~Ground sign.~~ A freestanding sign that is architecturally integrated with the building with individually mounted letters and logos only. This sign shall be built with continuous background surface built from the ground up.

~~Identification sign.~~ A building wall, landscape wall, ground sign or temporary sign used to present the name of a major residential project, master planned community or master planned community information center.

~~Information center.~~ A facility in a master planned community which provides information, displays and guides for visitors in order to direct, to promote and sell projects within the master planned community.

~~Landscape wall sign.~~ A freestanding sign architecturally integrated with the building, mounted on a screen or perimeter wall and having individual letters characters that may be mounted on, or integrated into, a panel. The sign is mounted on, or to, a wall, pole or base which may or may not be an attachment or extension of a building wall.

~~Modifiers.~~ A word describing uses and activities other than the business name.

~~Monument sign.~~ A freestanding cabinet or panel sign mounted on, or within a base (above grade), which is detached from any building.

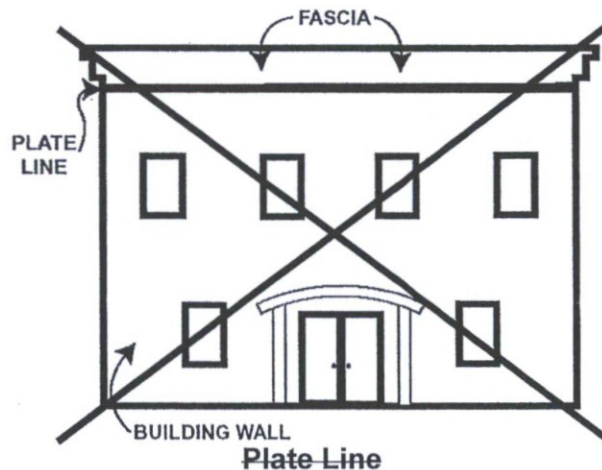
Monument sign is a freestanding sign that may be a cabinet or panel mounted on, or integrated into, a background surface. Monument signs include individual characters that may be mounted on, or integrated into, a panel that is mounted on a background surface.

Multiple tenant commercial building. A commercial development in which there exists two or more separate commercial activities, in which there are appurtenant shared facilities (such as parking or pedestrian mall), and which is designed to provide a single area in which the public can obtain varied products and services. Distinguishing characteristics of a multiple tenant commercial building may, but need not, include common ownership of the real property upon which the center is located, common wall construction, and multiple occupant commercial use of a single structure.

Nameplate. A small sign which identifies a resident's or home's name and address or the name of a farm, ranch or commercial stable. Such signs may be shingle, building wall, or archway-mounted signs.

Occupancy. A purpose for which a building, or part thereof, is used or intended to be used.

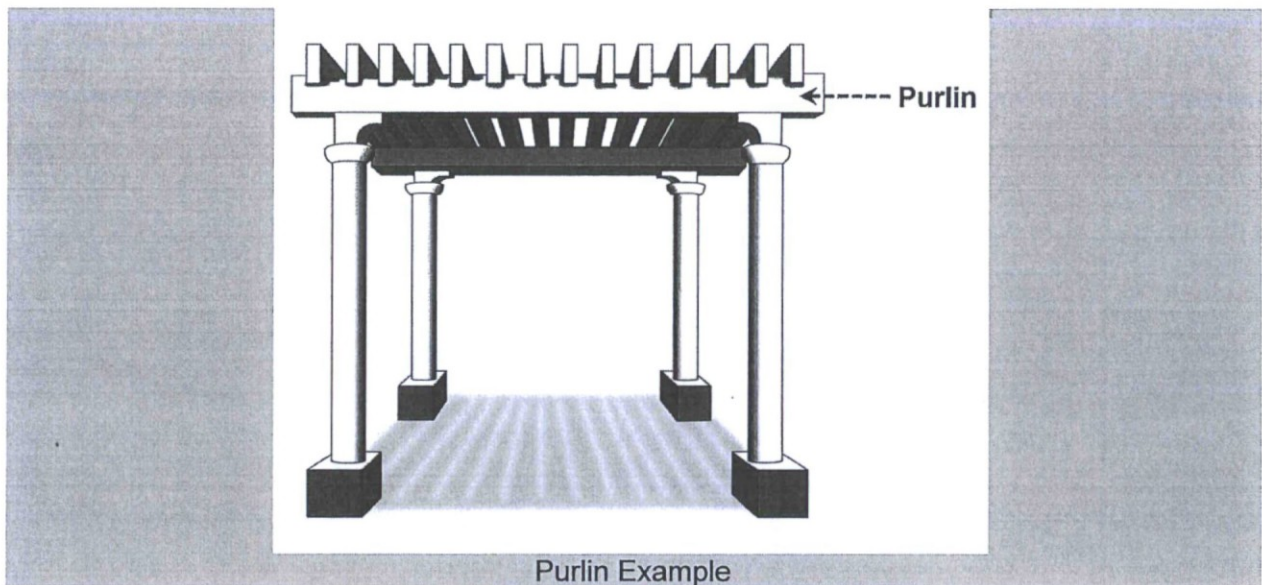
Plate line. The point at which any part of the main roof structure first touches or bears upon an external wall.



Projected building face. A calculation of the maximum lineal footage of the building front times the maximum height of the building.

Projected elevation area. The total area of the building face as projected to an imaginary plane parallel to the primary direction of the building face.

Purlin is a horizontal beam along the length of a canopy or trellis, resting on or supporting rafters or boards.

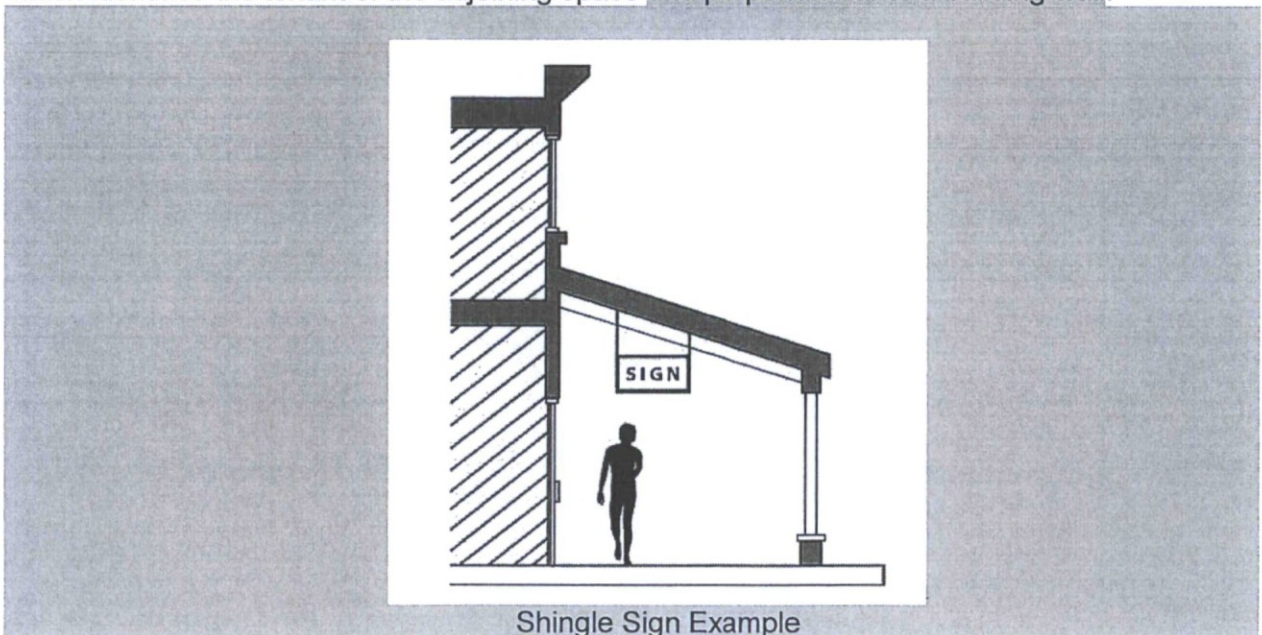


Raceway is an enclosure for both wiring and electrical components.

Required landscaping Landscape Area. The specific area (on site) to be landscaped with plant material at the base of the freestanding sign.

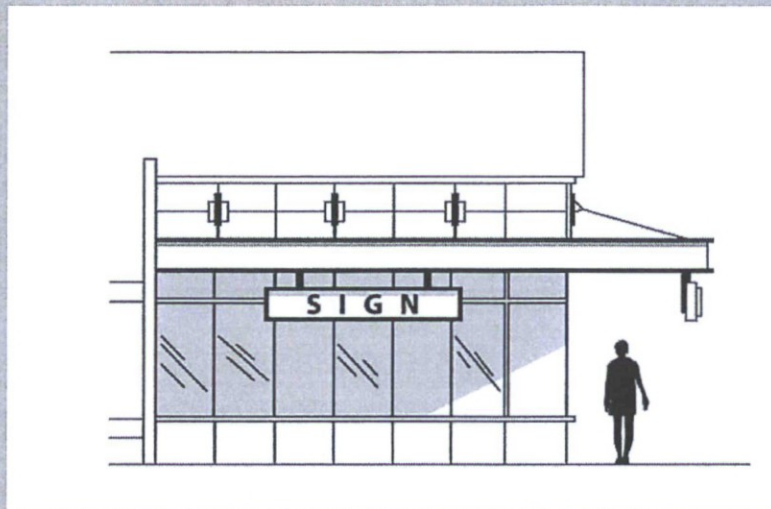
Residential entry sign. A sign that is placed at the entrance to a multifamily and duplex development, manufactured home park, or single family development only in order to identify the name of the development.

Shingle sign. A sign suspended from a roof overhang of a covered porch or walkway which identifies the tenant of the adjoining space and perpendicular to a building wall.



Sign budget. The total cumulative sign area for all types of signs allowed to a parcel or project.

Suspended Canopy Sign is a sign suspended under a canopy, roof overhang, covered walkway, covered porch, or open lattice walkway and parallel to a building wall.



Suspended Canopy Sign Example

Sum total sign area. Aggregate area of all building signs, not including address signs twelve (12) inches or less required by Chapter 31 and 36 of the Scottsdale Revised Code, for any individual use (excluding traffic directional signs) and may include the area of a freestanding sign. In every event, computation of allowable sign area includes all existing signs on the premises, whether such signs be conforming or nonconforming unless specifically excepted by the terms of this ordinance.

Traffic directional sign. Signs used at driveways to improve public safety and to enhance public access to the site from public streets. This sign provides information which will assist the operators of vehicles in the flow of traffic. Such signs may use names, logos, or symbols of buildings, businesses, activities, uses or places as a means of direction.

Traffic directional sign is a freestanding sign placed near the intersection of a driveway and a street, or intersecting drive aisles, to assist the operators of vehicles to locate vehicle turning locations, and to assist in maintaining the free flow of traffic.

Section 3. Amend Sec. 8.301. – Approvals required, as follows:

Sec. 8.301. - Approvals required.

- I. A. Signs, Sign illumination, method of attachment, placement, structure, and comprehensive sign programs, master sign programs, and community sign districts created by property owners, are subject to Development Review Board approval as described in Article I.
- II. B. The Development Review Board shall review and render a decision for sign code exception requests relating signage design, and to the placement of building signs on a new multi-tenant building as provided in Sections 8.403 and 8.405. In no case shall the total sign area increase for the property.

Section 4. Amend Sec. 8.302. – Sign Programs, as follows:

Sec. 8.302. - Sign programs.

I. *Master sign program.*

- A. The purpose of the master sign program is to provide design compatibility for all signs and to integrate the signs with the architectural features of the multi-tenant building or complex of buildings.
- B. Submittal requirements: The property owner(s) or designated agent shall submit an application with a specific set of design standards, including but not limited to, letter and logo sizes, letter style, colors, texture, lighting methods, sign type and architectural features.
- C. Upon approval of the master sign program, all signage contained within the limits of the property, regardless of ownership or tenancy, shall comply with the design standards established by the program.

II. *Community sign district.* The community sign district provides for a comprehensive sign program which is intended to encourage more flexible signage opportunities than allowed by the underlying zoning district. Community sign districts are regulated to the extent necessary to be consistent with the purpose and intent of the sign ordinance as specified in Section 8.101.

- A. Property owners may form a community sign district to propose and maintain a comprehensive sign program for additional signage as provided in this section.
 - 1. A community sign district may be formed by petition of at least seventy-five (75) percent or more of the affected property owners in the community sign district.
 - 2. The property owner(s) in a community sign district shall coordinate the preparation and submission of the comprehensive sign program.
 - 3. A community sign district and its comprehensive sign program may be approved for any of the following:
 - a. **Non-residential** development(s) that have a gross floor area of at least three hundred thousand (300,000) square feet;
 - b. ~~Resorts~~;
 - c. ~~Hospitals~~;
 - d. ~~Planned districts~~ that have a district size of at least fifteen (15) acres;
 - e. ~~Part of a Type 1 Area that has a linear frontage on both sides of the street totaling at least one thousand (1,000) feet; and~~
 - f. ~~Part of a Type 2 Area that is comprised of contiguous lots with a gross lot area of at least five (5) acres.~~
 - 4. A community sign district allows for the following bonuses that may be approved with the comprehensive sign program:
 - a. Twenty (20) percent increase to the allowed sign-budget **sum total sign area**;
 - b. Twenty (20) percent increase to the allowed area of signs; and
 - c. Twenty (20) percent increase to the allowed height.
 - 5. Only signs allowed in Article VIII may be approved as part of a the comprehensive sign program.

6. The comprehensive sign program shall include a complete set of standards, including but not limited to, letter size, style, colors, type(s) of sign, placement of signs, number of signs, ~~sign types~~ and sign material.
 7. The property owner(s) shall install and maintain all signage approved in the comprehensive sign program.
- B. The City Council may form a community sign district for all or part of the Downtown Area or a redevelopment district.
1. The comprehensive sign program shall include a complete set of standards, including but not limited to, letter size, style, colors, type(s) of sign, placement of signs, number of signs, and sign material. In no event may the comprehensive sign program propose signage of a type that is otherwise prohibited by this ordinance.
 2. The comprehensive sign program may include architectural signs in accordance with the following:
 - a. ~~Signs~~ ~~Municipal signs~~ may be installed ~~in~~ right-of-way that has a street classification of a minor collector or greater in the Transportation Master Plan, and on property abutting such right-of-way.
 - b. ~~Signs~~ ~~Municipal signs~~ may be installed in right-of-way or on property abutting the right-of-way at the intersection of two streets. One of the two intersecting streets shall have a classification of a minor collector or greater in the Transportation Master Plan.
 - c. The text shall be limited to the overall identification of all or part of the Downtown Area or redevelopment area.
 - d. Maximum area of sign: sixty (60) square feet.
 - e. Maximum height of sign: twenty (20) feet.
 - f. Maximum number of signs per architectural element: one (1) sign.
 - g. Maximum letter height for each architectural sign: two (2) feet.
 3. The comprehensive sign program may include banners mounted on the side of a street light pole in accordance with the following:
 - a. The banners may identify all or part of the Downtown Area or redevelopment area.
 - b. The banners shall be of new material and may be permanent, subject to Development Review Board approval of a maintenance program.
 4. The comprehensive sign program may include freestanding directory signs designed as architectural elements identifying points of interest in accordance with the following:
 - a. Maximum area of sign: fifteen (15) square feet.
 - b. Maximum height of sign: seven (7) feet.
 5. The City shall coordinate the preparation and submission of the comprehensive sign program. The application shall detail the responsibility for the installation and maintenance of signage approved in the comprehensive sign program.
- C. No sign identified in this section shall be placed upon real property without the consent of the property owner, nor shall such sign be placed in any public right-of-way, except

when placed in accordance with subsection 8.302.II.B. above and other applicable ordinances.

- ~~D. Any sign placed upon private property in accordance with subsection 8.302.II.B. above, shall be within an easement dedicated to the City.~~

Section 5. Repeal Sections 8.403., 8.404., 8.405., 8.406., 8.407., 8.408., 8.409., 8.410., and adopt as follows:

Sec. 8.403. - 8.410. – Reserved.

Section 6. Repeal Sections 8.412., 8.413., 8.414., 8.415., 8.416., and adopt as follows:

Sec. 8.412. - 8.416. – Reserved.

Sec. 8.418. - Open and closed signs. Permanent Window Signs.

- ~~1. An open or closed sign signifies that a business is open or closed.~~
- ~~2. The sign may indicate the hours of operation.~~
- ~~3. 1. Maximum number of signs per business: one (1) sign.~~
- ~~4. 2. Maximum area of sign: two (2) square feet.~~
- ~~5. 3. Illumination, if provided, shall be internal.~~
- ~~6. 4. The sign shall be placed inside the building, and may be displayed in a door or window, but no sign is permitted in unglazed openings.~~
- ~~7. 5. The sign shall not be calculated in the sign budget for the property.~~
- ~~8. 6. No permit or approval shall be required for the sign, unless required by Chapters 31 and 36 of the Scottsdale Revised Code.~~

Section 7. Repeal Sections 8.500. through 8.538, and adopt the following:

Sec. 8.500. – Permanent Building Signs Allowed.

Sec. 8.501. – Building Sign General Provisions.

- A. All building signs shall be limited to identifying an onsite business or development.
- B. Placement.
 1. No part of a building sign shall extend above a roof line.
 2. A building sign shall be placed on a wall of the business that the sign identifies.
- C. Maximum sign area of any building sign:
 1. Forty (40) square feet in the Type 1 Area, and
 2. Two hundred fifty (250) square feet elsewhere.
- D. Maximum height of an individual character of a sign: six (6) feet.
- E. Maximum height of a cabinet or panel: six (6) feet.
- F. Individual characters of a sign shall not be mounted to the front of a raceway. When raceways are used, they shall be integrated into the cabinet, screened by a panel, or as the base for the individual letters.

Sec. 8.502. – Building Wall Signs.

A. Placement.

1. No part of the sign shall be placed a distance greater than twelve (12) inches from the building wall.

B. Building wall signs are allowed in Table 8.502.A in accordance with the following:

1. Category A, includes zoning districts shown on Table 4.100.A. Residential Districts, and the Open Space (O-S) district; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Table 4.100.A , and the Open Space (O-S) district; or any portion of a Planned Residential Development (PRD) with an underlying zoning district comparable to the residential districts shown on Table 4.100.A.
2. Category B, includes multiple-family development's with zoning districts shown on Table 4.100.A. Residential Districts, not including Single-family Residential districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Table 4.100.A , not including Single-family Residential districts; or any portion of a Planned Residential Development (PRD) with an underlying zoning district comparable to the residential districts shown on Table 4.100.A. not including Single-family Residential districts.
3. Category C, includes zoning districts shown on Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Western Theme Park (W-P), and Special Campus (S-C), not including Planned Regional Center (PRC), Service Residential (S-R), and Commercial Office (C-O); or, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the districts shown on Tables 4.100.B., 4.100.C., 4.100.D, Western Theme Park (W-P), and Special Campus (S-C), not including Planned Regional Center (PRC), Service Residential (S-R), and Commercial Office (C-O).
4. Category D, includes Commercial Office (C-O), Parking P-1 District; Passenger Vehicle Parking, and Limited, and Parking P-2 District; Vehicle Parking, districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the Commercial Office (C-O) districts, Parking P-1 District; Passenger Vehicle Parking, and Limited, and Parking P-2 District; Vehicle Parking, districts.
5. Category E, includes Planned Regional Center (PRC) districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the Planned Regional Center (PRC) district.
6. Category F, includes Service Residential (S-R) districts; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the Service Residential (S-R) district.

Table 8.502.A. Building Sign Allowances

Zoning Districts	Standards				
	Maximum sum total sign area per business ¹	Maximum sum total per development project	Maximum sign area of a business front that is less than 200 feet from any street line ²	Maximum sign area of a business front that is equal to or greater than 200 feet from any street line	Maximum Height of sign (To Top of Sign)
Category A ²	N/A	60 square feet	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	Maximum building height allowed by a lots' zoning.
Category B ²	N/A	60 square feet	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	36 feet
Category C ²	1.5 square feet of sign area for every 1 linear foot of the longest business front	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1.5 square feet for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet
Category D ²	24 square feet ⁸	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet
Category E ²	1.5 square feet of sign area for every 1 linear foot of the longest business front. ³	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1.5 square feet for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet ⁴
Category F ²	18 square feet ⁵	Note 6 and 7	1 square foot for each 1 lineal foot of business front, not to exceed 12 square feet	1 square foot for each 1 lineal foot of business front, not to exceed 12 square feet	18 feet

1. The maximum sum total sign area per business includes the Additional Building Sign Allowances.
2. Refer the Building Sign General Provisions for additional size restrictions.
3. The Development Review Board may approve a Sum Total Sign Area of two (2) square feet of sign area for every one (1) linear foot of the longest business front as part of the approval of a Master Sign Program for businesses with one (1) business front facing a public street and a second business front facing the interior of a development.
4. The Development Review Board may approve a maximum sign height of 60 feet in the Planned Regional Center (PRC) district as part of the approval of a Master Sign Program
5. The Sum Total Sign Area of a development project in the Service Residential (S-R) district for wall sign includes any sign area on a free standing sign for the same business.
6. Maximum sum total sign area per development project with a gross floor area less than 40,000 square feet: 72 square feet.
7. Maximum sum total per area per development project with a gross floor area great than or equal to 40,000 square feet: 144 square feet.
8. In the C-0 district, the Development Review Board may approve a Sum Total Sign Area of 1.5 square feet of sign area for every one (1) linear foot of the longest business front as part of the approval of a Master Sign Program for a building with a gross floor area less of 50,000 square feet, or more

Sec. 8.503. – Additional Building Sign Allowances.

A. The following building sign types are allowed in the districts described in Category C and Category D, above, and the Planned Regional Center (PRC), and Service Residential (S-R), districts.

1. Suspended Canopy Sign.

- a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A.
 - i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of a Suspended Canopy Sign.
- b. Placement: Parallel to the face of the building wall, and shall not project beyond the face of a canopy, roof overhang, covered walkway, covered porch, or open lattice walkway.
- c. Minimum Clearance: Seven (7) foot, six (6) inches from the bottom of the sign to the grade or finished surface below the sign.
- d. Maximum height of sign: Same as allowed for a building wall sign on Table 8.502.A.

2. Canopy Fascia Sign.

- a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A.
 - i. Maximum building wall sign sum total sign area per business allowed on Table 8.502.A. shall include the sign area of a Canopy Fascia Sign.
- b. Placement:
 - i. Sign shall not project above or below the fascia or purlin that the sign is attached to.
 - ii. No part of the sign shall be placed a distance greater than twelve (12) inches from the canopy fascia.
- c. Maximum height of sign: Same as allowed for a building wall sign on Table 8.502.A.

3. Shingle Sign.

- a. Maximum sign area: four (4) square feet.
 - i. Shingle signs are not included in the maximum sign area and maximum sum total sign area per business allowed on Table 8.502.A.
- b. Placement: Perpendicular to the face of the building wall, within ten (10) of the primary pedestrian entrance of the associated tenant suite, and shall not extend beyond the edge of the overhang of a covered porch or walkway.
- c. Minimum Clearance: Seven (7) foot, six (6) inches from the bottom of the sign to the grade or finished surface below the sign.

4. Freestanding Canopy Sign.

- a. Maximum number of signs: one (1) per side of canopy.
- b. Maximum sign area: one (1) square foot for each two (2) linear feet of canopy fascia, not to exceed twenty four (24) square feet on any one side of the exterior face of canopy fascia, and forty eight (48) square feet per canopy.
 - i. Maximum building wall sign sum total sign area per business allowed on Table 8.502.A. shall include the sign area of a Freestanding Canopy Sign.
- c. Placement:

- i. Sign shall be placed a minimum of six (6) inches from the top, six (6) inches from the bottom, and six (6) inches from the end (not including a circular canopy) of the freestanding canopy fascia.
 - ii. No part of the sign shall be placed a distance greater than twelve (12) inches from the building wall.
- B. The following building sign types are allowed in the Planned Regional Center (PRC) district or any portion of a Planned Community P-C with an underlying zoning district comparable to the Planned Regional Center (PRC) district as part of an approved master sign program.
 - 1. Projecting Signs.
 - a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A., not to exceed thirty-six (36) square feet.
 - i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of a Projecting Sign.
 - b. Maximum Quantity per Building: One (1) sign for each fifty (50) lineal feet of building wall.
 - c. Placement:
 - i. Unless separated by a structure and not visible from an abutting public street, such signs shall not be placed within one-hundred fifty (150) feet from an abutting public street.
 - d. Maximum Projection: Forty-eight (48) inches from the wall of the building to the outside edge of the sign.
 - e. Minimum Clearance: Eight (8) feet from the bottom of the sign to the grade or finished surface below the sign.
 - f. Minimum Separation: Twenty (20) feet between Projecting Signs on the same building wall.
 - g. Maximum height of sign: Same as allowed for a building wall sign on Table 8.502.A.
 - 2. Standing Canopy Signs.
 - a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8.502.A., not to exceed thirty-six (36) square feet.
 - i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of a Standing Canopy Sign.
 - b. Placement:
 - i. Parallel to the adjacent building façade.
 - ii. The front face of the sign shall not project beyond the leading edge of the canopy or lattice.
 - c. Design Standards:
 - i. The sign shall limited to individual characters.
 - ii. Raceways shall be concealed with in the canopy or lattice.
 - iii. The Development Review Board may approve individual character up to a maximum of forty (40) inches.
 - d. Maximum height of sign: As allowed in the PRC district on Table 8.502.A.
- C. The following building sign type is allowed the zoning district of Category B, Category C, and Category D described above, and Planned Regional Center (PRC), Service Residential (S-R), or any portion of a Planned Community P-C or Planned Residential Development (PRD)

with an underlying zoning district comparable to Planned Regional Center (PRC), Service Residential (S-R) districts.

1. Awning Signs.

- a. Maximum sign area: twenty (20) percent of the total front face area of the awning, or the business front, whichever is less.
 - i. Maximum building wall sign sum total sign area per business allowed in Table 8.502.A. shall include the sign area of an Awning Sign.
- b. Placement: sign may be placed on the awning valance, body or wing.
- c. Illumination: The copy of an awning sign may only be illuminated by a light source internal to the awning.

D. The following building sign types are allowed in all zoning districts:

1. Entry Signs

- a. Maximum sign area: One (1) square foot
- b. Placement: Within ten (10) feet of the primary entrance of a tenant suite or dwelling unit.
- c. Maximum height: Ten (10) feet from the top of the sign to the grade or finished surface below the sign.
- d. Maximum projection from a building wall: four (4) inches.

2. Address Signs

- a. Maximum height of letters: Twelve (12) inches.
 1. An address that has a height greater twelve (12) inches is a building wall sign.
- b. Maximum height and width of a backer panel: three (3) inches greater than copy height and width.
- c. Signs placed within a height of eight (8) feet measured from grade or finished surface, may project a maximum of four (4) inches from the building wall.
- d. Signs placed above eight (8) feet measured from grade or finished surface may project a maximum of twelve (12) inches from the building wall.

Sec. 8.504 – 8.509. Reserved.

Sec. 8.510. – Permanent Freestanding Signs Allowed

Sec. 8.511. – Freestanding Sign General Provisions.

- A. All onsite freestanding signs shall be limited to identifying an onsite business or development project.
- B. The following shall apply to all freestanding signs.
 1. Placement:
 - a. A freestanding sign shall be placed in a manner so not to interfere with traffic in any way, or to confuse traffic, or to present any traffic hazard.
 - b. Signs shall not obstruct the sight distance requirements of the Design Standards and Policies Manual.
 - c. All permanent freestanding signs shall be set back a minimum of fifteen (15) feet from back of curb, unless a lesser setback is approved.
- C. Landscape Requirements.

1. Minimum landscape area requirements for column, tower, mid-size monument, monument, and landscape wall signs:
 - a. Signs equal to or less than twelve (12) feet in height: two hundred forty (240) square feet.
 - b. Signs greater than twelve (12) feet in height: twenty (20) square feet multiplied by the total height of the sign.
- D. Minimum distance between the top of the freestanding sign structure and the sign copy: six (6) inches.
- E. The maximum number of onsite businesses or development projects identified on a freestanding sign shall be in accordance with Table 8.511.E.

Table 8.511.E. Maximum Number of Businesses or Development Project Identification	
Freestanding Sign type	Maximum number of onsite businesses or development project identified
Column	1
Directory Sign	Not applicable
Drive-Through	Not applicable
Entryway Monument Sign	1
Entryway Wall Sign	1
Gas Station Monument	2
Landscape Wall	1
Mid-size Monument	4
Monument	2
Tower	4
Traffic Directional	Not applicable

- F. Freestanding signs in the Type 1 Area of the Downtown:
 1. Column, Drive-Through, Entryway Monument Sign, Entryway Wall Sign, Landscape Wall, Mid-size Monument, Monument, Perimeter Site Wall, and Tower signs are prohibited in the Type 1 Area of the Downtown.
- G. Scenic Corridor.
 1. The provisions of Section 8.411. shall apply.

Sec. 8.512 –Freestanding Subdivision Signs.

- A. Freestanding signs allowed:
 1. Recorded land divisions in all zoning districts are allowed freestanding signs in accordance with Table 8.512.A.
 - a. A recorded condominium land division development project may utilize the freestanding sign allowances of the development project's property zoning in-lieu of freestanding subdivision sign allowances of this section.
 2. Maximum number of freestanding sign types allowed:

- a. A land division with zero (0) to less than ten (10) gross acres: one (1) sign type per street.
- b. A land division with greater than or equal to ten (10) gross acres, and less than one hundred (100) acres: two (2) sign types, or two (2) of the same sign type, per street.
- c. A land division with greater than or equal to one hundred (100) acres: four (4) sign types, a combination of four (4) sign types, or four (4) of the same sign type, per street.

Example 8.512.A. Recorded Land Division Freestanding Sign Quantity

A land division with one hundred fifty (150) acres is allowed four (4) sign types per street. The property owner may choose: 1) one of each of the allowed sign types; 2) four (4) of the same sign type; 3) two (2) of one sign type and two (2) of another sign type; or 4) one (1) sign type and three (3) of another sign type.

Table 8.512.A. Land Division Freestanding Sign Allowances

Sign Types

Monument Sign			Entryway Wall Sign			Entryway Monument Sign			Landscape Wall Sign		
Maximum Quantity of signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face
1	5 feet	24 sqft	Note 1	5 feet	24 sqft	1	5 feet	24 sqft	1	Note 2	Note 3

Notes:

1. Maximum quantity of entryway wall signs: One (1) sign on each side of an entry driveway or street into the land division.
2. The maximum height of a Landscape Wall Sign is 5 feet. The Development Review Board may approve a Landscape Wall Sign up to a height equal to seventy-five (75) percent of the total height of the wall that the sign will be placed, not exceed eight (8) feet. No sign shall be placed higher than two (2) feet above the average wall height within 25 feet of either side of the sign.
3. The maximum area of a sign:
 - a. Zero to less than forty (40) gross acres: 24 square feet
 - b. Greater than or equal to forty (40) gross acres, and less than one hundred (100) acres: 48 square feet
 - c. Greater than or equal to one hundred (100) acres: 72 square feet

3. Placement of Entryway Wall and Entryway Monument Signs:

- a. Entryway wall signs shall be placed on one, or both sides, of the entry driveway or street into the development project, and within twenty-five (25) feet from the back of the curb of the driveway or street, or edge of the pavement when a curb is not provided.

- b. Entryway monument signs shall be placed in a landscape median that is between the inbound and outbound vehicular traffic lanes of the entry driveway or private street; or, the sign may be placed adjacent to the inbound or outbound vehicular traffic lane.

Sec. 8.513. – Freestanding signs for non-residential developments (excluding the R-5 district) and multiple-family developments in residential districts, and O-S.

A. Freestanding signs are allowed:

1. Non-residential development projects with a zoning districts shown on Table 4.100.A. Residential Districts, and Open Space (O-S) district, excluding the Multiple Family Residential (R-5); or, any portion of a Planned Community (P-C), or Planned Residential Development (PRD), with an underlying zoning district comparable to the districts shown on Table 4.100.A. and the Open Space (O-S) district, excluding the Multiple Family Residential (R-5), are allowed the freestanding signs are on Table 8.513.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.
2. Multiple family development projects within a zoning districts shown Table 4.100.A. Residential Districts; or, any portion of a Planned Community (P-C), or Planned Residential Development (PRD), with an underlying zoning district comparable to the districts shown on Table 4.100.A. , are allowed the freestanding signs on Table 8.513.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.

Table 8.513.A. Freestanding signs for non-residential developments (excluding the R-5 district) and multiple-family developments in residential districts, and O-S district.

Street Classification	Development project width at the property line abutting the street that the freestanding sign is to be place adjacent to.	Freestanding Sign Types					
		Monument Sign			Landscape Wall Sign		
		Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantit y of Signs Per Street	Height	Sum Total Area of Sign per Face
All Classifications	Any width abutting a street	1	5 feet	24 sqft	1	5 feet	24 sqft

Sec. 8.514. – Freestanding signs for non-residential developments in the R-5 district

A. Freestanding signs are allowed:

1. Non-residential development in the Multiple Family Residential (R-5) districts; or, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the Multiple Family Residential (R-5) district, are allowed the freestanding signs on Table 8.514.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.

Table 8.514.B. Freestanding Sign Allowances for a Non-residential Uses in a R-5 District														
Gross Floor Area of all Building in a Development Project	Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to.	Freestanding Sign Types											
			Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
			Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face
Equal to, or great than, 30,000 square feet	Arterial	Equal to, or great than, 300 feet	1	15 feet	50 sqft	1	8 feet	50 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Equal to, or great than, 30,000 square feet	Arterial	Less than 300 feet	0	N/A	N/A	1	8 feet	50 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Less than, 30,000 square feet	All Streets	All widths	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A = Not Allowed														

Sec. 8.515. – All Developments in Commercial, Industrial, Mixed Use, P-1, P-2, S-C, and W-P districts.

- A. Freestanding signs are allowed in the zoning districts of Category E, and in accordance with the development project's gross floor area indicated in B.
 - 1. Category E, includes: zoning districts shown Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Parking P-1 District, Passenger Vehicle Parking, and Limited, Parking P-2 District, Special Campus (S-C) and Western Theme Park (W-P); and, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the districts shown on 4.100.B., 4.100.C., and 4.100.D., Parking P-1 District, Passenger Vehicle Parking, and Limited, Parking P-2 District, Special Campus (S-C) and Western Theme Park (W-P) shall comply with:
- B. Development projects with a gross floor area:
 - 1. Less than 30,000 square feet are allowed freestanding signs in accordance with Table 8.515.B.1.
 - a. Maximum number of free standing sign types per street: one (1) sign type.
 - 2. Equal to or greater than 30,000 square feet, and less than 60,000 square feet, are allowed freestanding signs in accordance with Table 8.515.B.2.
 - a. Maximum number of free standing sign types per street: one (1) sign type.
 - 3. Equal to or greater than 60,000 square feet, and less than 100,000 square feet, are allowed freestanding signs in accordance with Table 8.515.B.3.
 - a. Maximum number of free standing sign types per street: one (1) sign type.
 - 4. Equal to or greater than 100,000 square feet allowed freestanding signs in accordance with Table 8.514.B.4.
 - a. Maximum number of free standing sign types per street: one (1) sign type.

Table 8.515.B.1. Freestanding Sign Allowances for a Development Project with a Gross Floor Area Less than 30,000 Square Feet							
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be place adjacent to.	Freestanding Sign Types					
		Monument Sign			Landscape Wall Sign		
		Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face
All Classifications	Any width abutting a street	1	5 feet	24 sqft	1	5 feet	24 sqft

Table 8.515.B.2. Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to or Greater than 30,000 Square Feet and Less than 60,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be place adjacent to.	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
		Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to, or great than, 300 feet	1	15 feet	50 sqft	2	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to, or great than, 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	24 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district on Table 4.100.A.	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A = Not allowed													

Table 8.515.B.3. Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to or Greater than 60,000 Square Feet and Less than 100,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be place adjacent to.	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
		Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to, or great than, 300 feet	1	20 feet	75 sqft	2	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to, or great than, 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	24 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district on Table 4.100.A.	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A = Not Allowed													

Table 8.515.B.4. Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to, or Greater than, 100,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be place adjacent to.	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Monument Sign		
		Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to, or great than, 300 feet	1	25 feet	120 sqft	2	12 feet	60 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	12 feet	60 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to, or great than, 300 feet	0	N/A	N/A	1	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	32 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district on Table 4.100.A.	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A = Not Allowed													

Sec. 8.516. – Additional freestanding sign allowances.

A. Entryway Signs.

1. Entryway signs are allowed in:
 - a. Multiple family developments with a zoning district shown on Table 4.100.A. Residential Districts; or, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the districts shown on Table 4.100.A.
 - b. Non-residential developments with Resort/Townhouse Residential (R-4R) zoning and Multiple-family Residential (R-5) zoning; or, any portion of a Planned Community (P-C) or Planned Residential Development (PRD) zoning, with an underlying zoning district comparable to the Resort/Townhouse Residential (R-4R) and Multiple-family Residential (R-5) districts.
3. Maximum Quantity:
 - a. One (1) entryway wall sign on each side of an entry driveway; or
 - b. One (1) entryway monument sign
4. Placement:
 - a. Entryway wall signs shall be placed on one, or both sides, of the entry driveway or street into the development project, and within twenty-five (25) feet from the back of the curb of the driveway or street, or edge of the pavement when a curb is not provided.
 - b. Entryway monument signs shall be placed in a landscape median that is between the inbound and outbound vehicular traffic lanes of the entry driveway or private street; or, the sign may be placed adjacent to the inbound or outbound vehicular traffic lane.
5. Maximum Height: Five (5) feet.
 - a. Exception. The Development Review Board may approve an entryway wall sign up to a height equal to seventy-five (75) percent of the total height of the wall that the sign will be placed, not exceed eight (8) feet. No sign shall be placed higher than two (2) feet above the average wall height within 25 feet of either side of the sign.
6. Maximum Area: Twenty-four (24) square feet
7. Maximum sum total sign area: Forty-eight (48) square feet.

B. Gas Station Monument Signs

1. Gas Station development projects or development sites are allowed a Gas Station Monument Sign in-lieu of the development's freestanding sign allowed in a Section 8.515.
2. Maximum Quantity: one (1) sign per street.
3. Maximum Height: Five (5) square feet.
4. Maximum Area: Thirty (30) square feet.
5. Maximum Fuel Change Panel Area: one-half of the area of the sign may be Fuel Change Panels to display fuel prices in accordance with Arizona Administrative Code.

C. Drive-Through Signs.

1. Drive-thru signs are allowed in zoning district shown on Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, not including the Downtown or Downtown Overlay districts, or any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on 4.100.B., 4.100.C., and 4.100.D., not including the Downtown or Downtown Overlay district.
2. Maximum Quantity: Two (2) sign per drive-through lane.

3. Placement:

- a. Within ten (10) feet of the drive-through lane; and
- b. At least twenty (20) feet from any street line

4. Maximum Height: Seven (7) square feet

5. Maximum Area: Forty-five (45) square feet

6. Drive-thru sign shall be screened from streets, subject to Development Review Board approval.

D. Directory Signs.

1. Multiple family and non-residential development projects with zoning district shown on Tables 4.100.A. Residential Districts; 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Tables 4.100.A., 4.100.B., 4.100.C., and 4.100.D. and Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning, are allowed directory signs.

2. Quantity of signs: subject to Development Review Board approval.

3. Maximum Height:

- a. Seven (7) feet, not including the Planned Regional Center (PRC) district; and
- b. Twelve (12) feet in the Planned Regional Center (PRC) district.

4. Placement:

- a. Signs equal to, or less than seven (7) feet: Unless separated by a structure and not visible from an abutting street, freestanding directory signs shall not be placed within 100 feet from a street line.
- b. Signs greater than seven (7) feet: Unless separated by a structure and not visible from an abutting street, freestanding directory signs shall not be placed within 150 feet from a street line.

5. Maximum Area: Four (4) square feet per panel.

6. Maximum Sum Total Area: Thirty-two (32) square feet.

E. Traffic Directional Signs.

1. Multiple family and non-residential development projects with zoning district shown on Tables 4.100.A. Residential Districts; 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning; or, any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Tables 4.100.A., 4.100.B., 4.100.C., and 4.100.D. and Open Space (O-S), Western Theme Park (W-P), and Special Campus (S-C) zoning, are allowed traffic directional signs.

2. Maximum number of signs for each driveway: one (1) sign.

3. Maximum number of signs for each drive aisle internal to a development project: subject to Development Review Board approval.

3. Maximum height of sign: three (3) feet.

4. Placement:

- a. Adjacent to a street and driveway intersection: Within fifty (50) feet from the back of the curb of the driveway, or the edge of the pavement when a curb is not provided; and

- b. Within a development project: Locations shall be approved by the Development Review Board.
- 5. Maximum area of sign:
 - a. Driveway and drive aisle accessing one (1) lot: four (4) square feet.
 - b. Driveway and drive aisle accessing two (2) or more lots: eight (8) square feet.
- F. Column Signs.
 - 1. Freestanding Column Signs are allowed in development projects that:
 - a. Are zoned Planned Regional Center (PRC); or any portion of a Planned Community P-C with an underlying zoning district comparable to Planned Regional Center (PRC) zoning; and
 - b. Have a gross floor area equal to, or greater than, 100,000 square feet.
 - 3. Quantity of signs: One (1) freestanding column sign may be utilized in-lieu of one of the freestanding sign types allowed in Table 8.514.A.4.
 - 3. Maximum Height: twenty-five (25) square feet
 - 4. Maximum diameter or width: six (6) feet
 - 5. Placement:
 - a. Signs shall be placed adjacent to an arterial or collector street with a development project street line width equal to, or greater than, 300 feet.
 - 6. Maximum Area: one hundred fifty (150) square feet
- G. Perimeter site wall signs
 - 1. Perimeter site wall signs are allowed in zoning districts shown on Table 4.100.B. Commercial Districts, 4.100.C. Industrial Districts, and 4.100.D. Mixed Use Districts, Western Theme Park (W-P), and Special Campus (S-C) zoning; or any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Tables 4.100.B., 4.100.C., and 4.100.D. and Western Theme Park (W-P), and Special Campus (S-C) zoning.
 - 2. The Development Review Board may approve a master sign program that includes relocating a portion of the allowed sum total sign area for a business to be located on a development project's perimeter site wall, upon finding that the sign placement improves visibility, limits the proliferation and clutter of signage adjacent to a street, maintains the surrounding character, and achieves a higher quality of sign placement and design.
 - 3. Maximum Quantity per onsite business: one (1) sign
 - 4. Maximum Area: ten (10) square feet.
 - 5. Sum total area of all perimeter site wall signs: (1) square foot for each one thousand (1,000) square feet of gross floor area of a development project.

Sec. 8.517 –Freestanding Signs in Planned Community (P-C) and Planned Residential Development (PRD) Districts.

- A. Onsite freestanding signs are allowed in the Planned Community (P-C) and Planned Residential Development (PRD) districts.
 - 1. Minimum Area of the Planned Community (P-C) or Planned Residential Development (PRD) district: one hundred sixty (160) acres.

2. Maximum Quantity of signs in a Planned Community (P-C) or Planned Residential Development (PRD) district: One (1) sign per street entrance into the district.
3. Maximum sign area: One hundred (100) square feet
4. Maximum Height: Eight (8) feet.
5. Placement:
 - a. Maximum number of signs placed adjacent to a street entrance: Two (2) signs.
 - b. Within five hundred (500) feet of the Planned Community (P-C) or Planned Residential Development (PRD) district boundary, and within 100 feet of the right-of-way or private street tract that enters into the Planned Community (P-C) or Planned Residential Development (PRD) district.

Sign Ordinance Update – Permanent Signs
Case# 1-TA-2017
Citywide

Citizen Review Plan and Report
May 2017

Citizen Review Plan

The key proposal of this text amendment is to update the Sign Requirements of the Zoning Ordinance for the purposes of amending and updating the sign regulations for permanent signs, related provisions, and requirements. This effort will review and update: permanent sign regulations that are confusing and out-of-date; re-format the existing ordinance; remove sign requirements that are based on the specific land use; regulate permanent sign types based on zoning district, street classification, street frontage length and development size; eliminate conflicting requirements and ambiguity; maintain the integrity of the current ordinance; and establish a more user-friendly and contemporary Sign Ordinance.

A minimum of two open house meetings will be held for input and discussion of the proposed modifications. The community will be made aware of the open house meetings through an eighth page newspaper advertisement, Scottsdale subscriber e-mail, internet postings, and postcard mailings. The internet will be updated periodically as new documents and draft ordinances are prepared and provided to the community. Individuals on record with the Planning and Development Services Department Interested Parties List will be notified. Email notifications to 130 recipients of local sign companies and stakeholders will be notified. At the open house meetings, the proposed draft ordinance will be provided for input and comment.

Citizen Review Report

Open House Meetings and Community Input

Two open house meetings were held on April 4, 2017, at the Via Linda Senior Center, and April 5, 2017, at the City of Scottsdale One Civic Center. An eighth page advertisement was published in the Arizona Republic Scottsdale Section, and information was published on the City's website to advertise the community of the open house meetings. Individuals on record with the Planning and Development Services Department Interested Parties List were notified, and email notifications were sent to 130 recipients of local sign companies, Scottsdale residents, and stakeholders inviting them to the open house meetings. In-addition, requests for comment and input were sent to the Arizona Sign Association (ASA), the International Sign Association (ISA), and the Scottsdale Area Chamber of Commerce.

At the community open house meetings, the draft ordinance was provided to the public for comment, and made available on the City's website. A summary of the open house meetings:

April 4, 2017 – Open House Meeting #1

8 attendees attended this meeting.

Comments and suggestions received from April 4th attendees:

- The current ordinance allows the Development Review Board to approve a Community Sign District and Comprehensive Sign Program with a 20% increase in sum total sign area, individual sign area, and sign height requirements. A suggestion was provided to incorporate the ability for the City Council to approve a Community Sign District and allow an increase beyond the 20% bonuses for sum total sign area, individual sign area, and sign height.

- Address signs in the Scenic Corridor to remove ambiguity, tighten restrictions, and allow traffic directional signs in Scenic Corridors.

April 5, 2017 – Open House Meeting #2

8 attendees attended this meeting.

Comments and suggestions received from April 5th attendees:

- Increase the number of business or development identification on a monument sign from one (1) to at least two (2) to help identify onsite businesses for a development project with less than 30,000 square feet of total gross floor area.
- Continue to prohibit visible raceways for individual letters on building wall signs, but provide flexibility for screened or concealed raceways by a sign cabinet or a sign panel.
- There is no incentive for an owner to create a master sign program under the existing ordinance, other than to regulate sign placement and sign design. Comments provided suggested inclusion of requirements on when a master sign program is required, and provide more incentives for a property owner to produce a master sign program.
- Incorporate sign requirements to regulate signs in the scenic corridor in the boundary between Environmentally Sensitive Lands (ESL) and non-Environmentally Sensitive Lands.
- The City should consider analyzing and updating the scenic corridor sign requirements at a future text amendment, and consider allowing flexibility.

Correspondences

Staff has received five (5) emails and one (1) phone call regarding the proposed amendment, as of the writing of this report. The email correspondences are included in Attachment A. The email comments include: 1) support of the proposed amendment and removing contradicting and inconsistent sign requirements, 2) support of the proposed amendment with suggestions on providing more flexible sign requirements, 3) provide additional sign flexibility and increase sign bonuses for Community Sign Districts and Master Sign Programs, 4) update the Scenic Corridor sign requirements to provide some additional flexibility, and 5) and update the Scenic Corridor sign requirements to clarify and refine the existing text and requirements. The phone call was from a resident seeking details on the proposed amendment, and to obtain additional information regarding the community open house meetings.

Stakeholder & Resident Meetings

Staff met with several stakeholders and residents on separate occasions to seek additional input and comments regarding the proposed amendment and correspondence from these meetings are included in Attachment A:

- May 1, 2017: Meeting with Arizona Sign Association (ASA) and International Sign Association (ISA) representatives. At the meeting, staff went over the details of the proposed amendment, and the positive effects the amendment would be for businesses. Additional comments include requesting staff to update the Scenic Corridor sign requirements, and provide additional flexibility and incentives for Community Sign Districts and Master Sign Programs.
- May 3, 2017: Presentation at the Scottsdale Area Chamber of Commerce Downtown Committee meeting. At the meeting, staff presented the proposed amendment, and the positive effects the amendment would be for Downtown businesses. Comments from the committee were positive,

with questions from committee members pertaining to temporary Window Sign and Portable Signs allowances and requirements.

- May 5, 2017: Meeting with Scottsdale Residents. Staff met with several Scottsdale residents to discuss the proposed amendment. The comments were supportive of the amendment to simplify, clarify and organize sign requirements, and to make it more understandable and equitable. Additional comments include requesting Staff to consider reviewing and updating the requirements pertaining to Scenic Corridor signs at a future text amendment.

Responses to Community Involvement

As it pertains to comments and input received, in this current amendment, the proposed ordinance incorporates two comments from the open house meetings: increase the number of on-site business or development identification on a Monument Sign from one (1) to at least two (2) to help identify on-site businesses for a development with less than 30,000 square feet of total gross floor area; and incorporate language to conceal raceways by a sign cabinet or sign panel.

The proposed amendments to the Sign Ordinance are planned to be completed in several phases. This phase of the ordinance update addresses the elimination of sign regulations based on the specified use. Based on additional comments and desires received from the community, a future text amendment phase may address comments pertaining to updating the requirements for Community Sign Districts and Master Sign Programs, and updating the Scenic Corridor sign requirements.

ATTACHMENTS

- A. Correspondences
- B. Open House Invite List
- C. Open House Eighth Page Newspaper Advertisement
- D. Open House Email Distribution List
- E. Open House Invite Email
- F. Open House Postcard Mailing to Interested Parties
- G. Planning & Development Services Interested Parties List
- H. Open House Sign-In Sheets and Comment Card

Attachments B – H are on file and available at the Planning and Development Services, Records office.

Chi, Andrew

From: Robert Vandenberg <rvandenberg@fluoresco.com>
Sent: Monday, April 03, 2017 2:52 PM
To: Chi, Andrew
Subject: Open House on Code Revision (1-TA-2017)

Categories: Correspondence

Hi Andrew,

Since the next two nights are for community input on code revision, I may pass.

For my part, I find the majority of the current code is very clear, and you & your staff are very patient to explain the intent when it is not.

Seems to me you have already identified the contradictory areas, and if I know you, plans are already afoot to address them.

Thanks for all your prompt attention to my projects.

I look forward to reviewing a draft of the revisions you decide on.

Robert J Vandenberg
Project Manager



Fluoresco Services, LLC.
An Everbrite Company

Phoenix Branch
4048 E. Superior Avenue
Phoenix, AZ 85040
602-276-0600
www.fluoresco.com

ATTACHMENT A
OF ATTACHMENT 2

Chi, Andrew

From: Brad Beller <brad@image360scottsdale.com>
Sent: Wednesday, April 05, 2017 4:10 PM
To: Chi, Andrew
Subject: Open House Comments 1-TA-2017

Categories: Correspondence

Thank you Andrew.

Regarding the meeting –

Very informative as to the 'why's". A couple of thoughts....

1. What about the airpark directional signs? Any thoughts to putting that in the ordinance, or is that not necessary.
2. Any restrictions as to the number of signs per business?
3. I love the idea of 1-page MSP's.....
4. That can be accessed from the maps site.

Ok, I had to get the last two in writing (for the record). I will give it some additional thought.

Thank you.

Please note that I am usually out of the office until late afternoon. If you need immediate assistance AND a faster response, please call (480) 368-SIGN (7446) and ask for Kelsey or Sheri.

Brad Beller, Owner



8230 E. Raintree Dr. Suite 101 Scottsdale, AZ 85260

480.368.7446(SIGN) Fax: 480.368.7454

Image360Scottsdale.com

2014 Scottsdale Area Chamber of Commerce Sterling Award Winner

2015 AFB "Best of the Best" Award Winner



Please consider the environment - do you really need to print this email?

.....Internet Email Confidentiality.....

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From: Chi, Andrew [<mailto:AChi@Scottsdaleaz.gov>]

Sent: Wednesday, April 5, 2017 11:32 AM

To: Brad Beller <brad@image360scottsdale.com>

Subject: RE: 8765 E. Bell Road - Desert Fairways

Hi Brad,

Thanks for attending the open house yesterday – we appreciate your participation and I look forward to any comments and input you have.

Regarding Desert Fairways II & III:

Attached are two email chains between me and Kathy Rosko regarding Desert Fairways II & II. Also attached is the current master sign program for Desert Fairways II & III. Go ahead and read thru the MSP and you'll notice it goes back almost 10 years.

In the email attachment, you'll notice I provided Kathy a list of what to submit for the pre-application. Let me know what will the next step is.

Thanks!

Andrew Chi, Planner

City of Scottsdale | Planning & Development Department

7447 East Indian School Road, Suite 105 Scottsdale, Arizona 85251

[Direct] 480.312.7828

[Email] achi@scottsdaleaz.gov

[Web] www.scottsdaleaz.gov/codes

Chi, Andrew

From: Kurt A. Jones <kajones@tblaw.com>
Sent: Thursday, April 20, 2017 9:46 AM
To: Chi, Andrew; Symer, Daniel
Subject: City Sign Ordinance Update 1-TA-2017
Attachments: Review of City of Scottsdale Sign Ord Update.pdf

Categories: Correspondence

Guys, here are our comments regarding the City's proposed sign ordinance update. Let me know if you have any questions.
Kurt

Kurt A. Jones, AICP | Senior Planner | 602.452.2729



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**TIFFANY
& BOSCO**
P.A.

April 19, 2017

Mr. Andrew Chi and Mr. Daniel Symer
City of Scottsdale Planning & Development Department
7447 E. Indian School Rd.
Scottsdale, AZ 85251

RE: 1-TA-2017 – Sign Ordinance Update – Comments

Dear Mr. Chi and Mr. Symer:

We represent several businesses within the City of Scottsdale (“City”). The following are our comments regarding the proposed update to the City’s sign ordinance (1-TA-2017):

Page 1:

No Comments

Page 2:

Definition of ‘Business Frontage’ does not benefit small storefronts that don’t typically land their names on a pylon/mid-size monument sign along the street for consumers to see their signage. Flexibility is necessary, at a staff level, to allow for sign location alternatives as well as sign size alternatives for small business with small building frontage.

Page 3:

Community Sign District definition. The change mentions ‘property owners’ can organize a community sign district. If the property is owned by one owner can they still form a community sign district?

Page 4:

Entryway monument sign. What is the difference between an entryway monument sign and a ‘monument sign’ defined on page 5 of the sign ordinance update?

Page 5:

Monument sign. What is the difference between a monument sign and an ‘entryway monument sign’ defined on page 4 of the sign ordinance update?

Can you have a monument sign, entryway monument sign and a landscape sign all at the same entrance to a development project?

Page 6:

No comment

Page 7:

Suspended Canopy Sign. This is a positive change to the sign ordinance. However, see comments on page 13 on sign placement and size.

Sum total sign area. The definition states that the aggregate area of all building signs “may include the area of a freestanding sign.” Who makes that decision on when it ‘may’ be counted toward the sum total sign area? I think this should be better defined so as not to allow subjective decisions. Although I like that it is flexible, how is it going to be uniformly applied?

Page 8:

Traffic directional sign. At one of the sign ordinance open houses, a business operator, located in North Scottsdale in the ESL districts, stated that the City may benefit from having off-site traffic directional signs similar to DC Ranch’s directional signs. This should be researched and enhanced for projects that area required to have scenic corridors. Scenic corridors are great ideas for the traveling public, but bad for any business trying to provide goods and services to the public in that area. Typically, their businesses and access driveways to those businesses are screened by the extremely large depth of the scenic corridor. Plus the fact that signage in the scenic corridor is limited, the below types of directional signage shall be studied to provide non-offensive and quality signage in the scenic corridor.



Section 8.301, B. allows for the DRB to “render a decision for sign code exception requests.” The exceptions relate to ‘design’ and ‘placement on the building.’ This is a good start for allowing the DRB to consider signage ‘exceptions.’ This section should be vetted a bit more to allow the DRB to allow many signage exceptions if the proposal demonstrates signage quality,

design and unique location alternatives. In order to ensure the exceptions are not considered variances, this section should list a percentage allowed for exceptions or other set criteria to allow businesses to propose exceptions that can be approved by the DRB. Criteria can be in the form of expanded notice provisions to surrounding neighbors, standard vs. exceptional quality thresholds, etc.

Section 8.302 II. A 3 a. allows for a Community Sign District for commercial and industrial developments with at least 300,000 square feet. This penalizes smaller centers with no signage flexibility. I don't believe there should be a threshold. This is punitive and provides for favoritism to larger centers. This could be construed as allowing flexibility for only certain sized developments and not providing the same first amendment rights of each and every sized center.

Page 9:

Section 8.302 II. A 3.d. and e. – same comment as above. Big centers receive an advantage while smaller centers have no option for flexibility.

Section 8.302 II. A 3 f. There is at least one property zoned with a PCD designation and have amended sign standards via the provisions of the PCD that allow for amended development standards. Since this was a City Council action, the sign ordinance update should create a vehicle/provision that allows applicants to process a legislative request to amend the sign standards. Currently, the City of Phoenix and the Salt River Pima Maricopa Indian Community are allowing large and video signage along their freeway that does not allow businesses in Scottsdale to compete. I am not advocating for humungous signage out of character with Scottsdale's standards. What I am advocating for is a process whereby exceptional signage and exceptional design could be proposed and the City leaders (Mayor and City Council) could vote to allow it.

Consider greater percentage increase for Community Sign Districts (currently 20%). Provide criteria for greater than a 20% increase, such as enhanced design, signage materials, or maybe a decrease in some signage area on freestanding signs for more signage on buildings or vice versa.

Page 10:

Sec. 8.418 Permanent Window Signs. 2 square feet is unrealistic. Flexibility should be figured into this provision for larger, more design oriented signage. Enforcement of this provision is unrealistic.

Sec. 8.501 B.1. "No part of a building sign shall extend above a roof line." This regulation does not assist businesses in back buildings in commercial developments. Nor does it assist buildings with freeway frontage but located behind buildings directly on the freeway. There should be some design criteria and allowances that enable the DRB the ability to make a decision on whether a sign above the roof line is acceptable. At a minimum, the requirement to screen all

mechanical equipment on the roof by a parapet, etc. would be considered above the roofline. This parapet should be considered an available space for signage if quality and exceptional signage can be approved by the DRB for visibility purposes.

Sec. 8.501 B.2. states that a building sign shall be placed on a wall of the business the sign identifies. What about that building internal to a development project that allows for no visibility to the traveling public because the buildings along the street block views to the signs from the public right-of way. Why can't the DRB approve of a building sign on the building that fronts the public right-of-way by removing the allowance to put signage or reduced signage on the building where the actual business is? This type of flexibility can be drafted into a community sign district or master sign program.

Page 11:

Section 8.502 A. Placement. This section states that a sign can be placed no greater than 12" from the building wall. Signs and sign manufacturers continue to create unique and creative signs. This ordinance requirement is restrictive. Again, potentially provide and process by which the DRB can approve of alternatives to this requirement if quality and exceptional signage is proposed by an applicant.

Page 12:

Category E. Note #4 allows for the DRB to allow for greater height of signage up to 60 feet in PRC zoning districts. However, there are some PCD's with comparable PRC zoning that allow for building heights above 60' (One Scottsdale, Scottsdale Quarter, etc.). An asterisk or caveat needs to be added to this section that states..."signage may be placed per the allowed building height of the zoning district or approved amended height standard"

This table creates some flexibility for the DRB to grant and additional square footage to the overall sign size up to 2 square feet of sign area for every one foot of linear. This allowance includes a MSP requirement and other criteria. The DRB should be able to grant additional flexibility up to the 2 sq. feet maximum if the applicant's MSP demonstrates exceptional signage design and overall development quality.

Maybe add verbiage in notes or somewhere in this table that speaks to signage internal to commercial/mixed-use developments. "Signage internal to the site that is not visible from off-site or public right-of-way shall not be considered in the maximum sum total sign area calculations. The applicant shall demonstrate that the sign is not visible from off-site or public right-of-way."

Mixed-use districts typically provide for a development design whereby several uses share one buildings linear frontage. In order for each of the businesses to have adequate signage, consider allowing each business to utilize the one foot of linear street frontage along the public right-of-

way or along a private internal street within the development project or some increase in signage area if a MSP with exceptional design and quality is demonstrated by the applicant.

Page 13:

Section 8.503.A.2. allows for canopy fascia signage but the signage cannot be placed above or below fascia. Again, allow the DRB to permit flexibility on location of signage on canopy fascia if exceptional design and quality is demonstrated by applicants within a MSP.

Page 14:

Section 8.503.B.1. & 2. Allow for projecting signs and standing canopy signs at a maximum of 36 square feet. PRC districts are typically large development projects. Allow DRB to increase size of sign for exceptional design and quality is demonstrated by applicants within a MSP.

Section 8.503.B.1.g. and B.2.d. allows for height of signs as permitted in Table 8.502.A. This table allows height of signs at a max. height of 60 feet. This should reference a corrected table that allows for height per the zoning district (some PRC PCD's allow for 90 feet in height, i.e. Scottsdale Quarter, One Scottsdale, etc.) which may be higher than 60 feet.

Page 15:

Section 8.511 Freestanding Sign General Provisions. Allows for the signs to be placed closer than 15' from the back of curb. Who makes this decision? Staff, Planning Director, DRB? Suggest that this is a staff review and approval with enhanced landscaping if closer to street.

Page 16:

Table 8.511.E should allow for up to 2 signs on entryway monument, entryway wall, landscape wall and monument signs, if exceptional design and quality is demonstrated by applicants within a MSP.

Section 8.511 G. Scenic Corridor. This provision refers to the existing scenic corridor sign ordinance. The scenic corridor sign ordinance should be included within this update for potential enhancements and updating a scenic corridor ordinance that was drafted and by a private party and approved by the City Council over 10 years ago. The City should take ownership and provide for potential modifications or allow input from the public with this sign ordinance overhaul.

Page 17:

Table 8.512.A Freestanding Subdivision Sign Allowances. Within this table, Note 2 allows the DRB to approve greater heights to landscape wall signs. This type of flexibility should be allowed with many of the sign ordinance requirements including signage size totals, location and placement and other flexible alternatives.

Page 18:

No comments

Page 19:

No comments

Page 20:

Section 8.515 B. delineates signage based on the size of non-residential centers. This size characteristic is a carry-over from the previous sign ordinance. This means smaller centers receive less signage size and other requirements. This places smaller centers at a disadvantage. Further analysis is necessary to determine why the sign ordinance update still needs to distinguish between the different sizes of the non-residential development projects.

Page 21:

Tables 8.515 B.1. and B.2 again provides different requirements because centers have different amounts of non-residential square footage. The smaller the center, the less competitive the center will be because of the restrictive sign requirements. Larger centers benefit greatly with this outdated methodology. Maybe a discussion with stakeholders is needed to determine if this is the best method and determine if other communities handle this 'size of center' in the same manner.

Provide DRB flexibility with signage sign and locations for exceptional design and quality is demonstrated by applicants within a MSP.

Page 22:

Same comments as Page 21.

Page 23:

No comments

Page 24:

E.3. Allows the DRB to determine the number of Traffic Directional Signs internal to a development project. Again, the DRB should be granted more flexibility when exceptional design and quality is demonstrated by applicants within a MSP on all types of signage.

Page 25:

F.3. Column signs. This section allows for column signs up to 25' in height. There are some unique properties in Scottsdale along the Loop 101 freeway. A 25' high column sign or any

other freestanding signs will not be visible, readable or effective for developments along the Loop 101. This is an extreme disadvantage compared to the signage allowed in the growing Salt River Pima Maricopa Indian Community to the south and within Phoenix to the west. These communities have benefitted from flexible sign standards to assist the businesses along the freeway. I am not suggesting the extremes of digital video displays, but there should be some flexibility afforded to mixed-use and other non-residential businesses and development projects adjacent to Scottsdale's only freeway frontage and were developed to take advantage of the freeway's proximity. Again, superior design and quality could be the threshold that is determined by the City Council or in concert with a DRB recommendation.

Page 26:

No Comments

General Comments:

Signs on buildings where there is another building in front of it effectively blocking the view from the traveling public/customers from the right-of-way. There should be some sort of variance or DRB alternative available to these businesses such as allowing their building signage on the building along the street with minimal signage then allowed for their actual building.

Signs on roofs. There is no signage allowed on roofs. Roof signage, again for exceptional design and quality is demonstrated by applicants within a MSP, could be allowed by the DRB. This may be helpful for the properties along the freeway.

Signs on parking structures in mixed-use districts. If several businesses share a common parking structure, can signage be placed on the parking structure in lieu of building signage? As mixed-use zoning districts become more prevalent, the City should consider these signage alternatives as options to building signage.

Signs in the scenic corridor should be updated with this overall sign ordinance update. Businesses in Scottsdale with a scenic corridor struggle to attract the attention of the traveling public because of the large setback and landscape corridor filled with native trees that grow to the height (18-25 feet) of most business and block the signs.

Please let me know if you have any questions regarding our comments. I'd be happy to sit down with staff and go through the comments if necessary.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kurt Jones', with a stylized, cursive script.

Kurt Jones, AICP

Chi, Andrew

From: James Carpentier <James.Carpentier@signs.org>
Sent: Wednesday, May 03, 2017 1:58 PM
To: Chi, Andrew
Cc: Patricia King; David Hickey
Subject: Follow up to our meeting
Attachments: ASA ISA letter on Permanent Sign Draft Scottsdale.pdf

Categories: Correspondence

Hello Andrew,

Thanks you for spending the time to meet with Patti and I. As a follow up to our meeting, I have attached a letter and a model code referenced in the letter, with our recommendations.

Let us know if you have any questions.

Thanks again!

James B Carpentier AICP
Director State & Local Government Affairs

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May 3, 2017

Andrew Chi, Planner

Re: Arizona Sign Association/International Sign Association recommendations in regards to the Draft 1-TA-2017 – SIGN ORDINANCE UPDATE – PERMANENT SIGNS DRAFT - 04/18/2017

Dear Mr. Chi:

I am contacting you on behalf of the Arizona Sign Association (ASA) and the International Sign Association (ISA). Both associations work with jurisdictions to assist in the creation of beneficial and enforceable sign regulations.

We appreciate the opportunity to provide comments on the aforementioned draft of the sign code. The following are our recommendations for the permanent sign regulations in the City of Scottsdale:

General Comments

1. We recommend that language be included that states the code will be administered without regard to content of the sign.
2. We recommend that a detailed purpose be included in the sign code, with reference to compliance with the first amendment and to enhance and support commerce and wayfinding in the city.

Sec. 8.200. - Definitions.

Area of Sign

We recommend that multiple geometric shapes be utilized as suggested in the attached model code, rather than a single geometric shape. This will encourage creativity since creative designs will not be penalized. See the attached model code, *A Framework for On-Premise Sign Regulations*, pgs. 26-28.

Directory Sign

Consider naming a directory sign by sign type rather than category so as to be content neutral.

Sec. 8.302. - Sign programs

We recommend that the Master Sign Program requirements be codified into the code for ease of administration by staff and for applicant.

II. Community sign district

3 a. We recommend that the threshold of 15 acres and 300,000 square footage be reduced so as to support additional projects, redevelopment and infill projects.

4 a. We recommend that additional sign area and height greater than 20% be considered.

Sec. 8.500. – Permanent Building Signs Allowed. F.

Some structures will not accommodate wall signs without a raceway. We recommend that raceways be allowed or at a minimum where raceways are not feasible due to design of a building that they be allowed for those types of structures. The city could require that the design of the raceway be integrated into the sign design with a panel behind the entire



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letter set or the raceway located on the bottom of the letters with colors to compliment the structure. Images of examples would be of assistance.

Sec. 8.510. – Permanent Freestanding Signs Allowed

Table 8.511.E. Maximum Number of Businesses or Development Project Identification

We recommend 4 number of business of development project identification rather than 2 for monument signs. We also recommend that reference to the sign content such of Business and Development Project Identification be removed.

Additional sign area should be considered for a tower sign and both monument signs. A 5' monument sign can be nonfunctional due to lack of visibility and legibility based on the ROW, landscaping, speed limits and traffic counts, additional height should be considered. This comment applies to all monument signs at 5' (for 30,000 sq. ft. businesses). Street Graphics and the law recommends that sign copy be located no lower than 6' to 7' below grade due to traffic and landscaping that can obstruct the view of the sign. A 24 sq. ft. sign area is very small (a properly designed sign will have 40% copy and 60% non-copy, as stated in Street Graphics and the LAW, which leaves an actual sign copy area of around 10 square feet) and may not be safely viewed by intended viewers depending on ROW and Speed limits.

We recommend that the number of freestanding signs be allocated not by square footage but by a ratio such as one per every 300' of frontage. This will accommodate larger parcels and always be at the ratio that will fit in with Scottsdale.

Sec. 8.516. – Additional freestanding sign allowances, B. Gas Station Monument Signs

Requirements for a specific use such as Gas Station Monument Signs is content regulation, therefore we suggest that signs be regulated by district or sign type, not a specific use.

Scenic Corridor/ESLO Requirements

We recommend that the scenic corridor/ESLO sign standards be revisited by city staff. The existing requirements are such that the signs that have been approved in most of these areas are not functional since they cannot be detected and read by the intended viewers. This is due to the traffic counts, right-of-way width and speed limits. Also consideration should be given to the approval process so that is still allows for public input but is streamlined.

We truly appreciate your consideration of our recommendations. Do not hesitate to contact me with any questions.

Sincerely,

A handwritten signature in black ink that reads "James Carpentier".

James Carpentier AICP
Director State & Local Government Affairs

From: Cindy Lee <cindy4scenicdrive@gmail.com>
Sent: Monday, May 08, 2017 10:16 AM
To: Chi, Andrew
Cc: Les Conklin; ginger480@msn.com; WildAtHeartInc; klpcs@cox.net; Maxine Rosenberg; f8u4doc@hotmail.com; gconstant@hotmail.com
Subject: Sign Ordinance Update - Permanent Signs 1-TA-2017
Categories: Correspondence

Hi Andrew,

Having attended one of the City's Open House meetings on the Sign Ordinance Update - Permanent Signs, I applaud the work you and City staff have done to invite public input and participation in shaping the text amendment to the Zoning Ordinance, with the results being presented this month to the Planning Commission for 1-TA-2017.

The meetings were so helpful to citizens in educating on terminology and on the intricacies and considerations of the sign regulations. More than one Scottsdale homeowner remarked, *"I never knew signage could be that complicated until I picked up the package at the meeting."*

The open house meetings were very productive in bringing together residents, city staff, sign company and business representatives to discuss the needs and desires of different elements of our community in Scottsdale. That was a valuable education for all attending. It provided an opportunity for civil dialogue and better understanding.

From the standpoint of Scottsdale citizens, we, the undersigned, support the City's unwavering commitment to *Consistency with the General Plan, as amended* under "Key Items for Consideration." Quoting from your 02/22/17 Report:

Planning Commission Report | Sign Ordinance Update 38-PA-2017 Request to Initiate Permanent Signs Text Amendment

http://eservices.scottsdaleaz.gov/planning/projectsummary/unrelated_documents/38-PA-2017_Sign%20Ordinance%20Update.pdf

APPLICANTS PROPOSAL (Page 2 of the Staff Report)

.... *"The intent of the proposed Zoning Ordinance text amendment is to update the existing sign regulations with contemporary provisions that will maintain the community's desire outlined in the General Plan's goals and approaches for strong sign control, a high quality physical environment, an aesthetically attractive community to live and do business in, and to establish a more user-friendly and contemporary Zoning Ordinance.*

"The modifications that will be proposed with this text amendment should enhance and maintain the City's character and aesthetics, and be more reliable and useable for businesses. With the implementation of the proposed text amendment, all properties throughout the City would be subject to the updated sign requirements."

We Scottsdale citizens and members of GPPA's Board of Directors thank you for all the admirable work being done to simplify, clarify and organize the Sign Ordinance, to make it more understandable and equitable for all.

After the required text amendments for temporary and permanent signs are addressed, we ask the City to review Section 8.411 of the sign ordinance relating to the Scenic Corridor. We look forward to participating again in the open process with community input to clarify and refine the existing text. Simplifying the existing text and how it applies, perhaps as a table, will help businesses and citizens better understand the Scenic Corridor sign requirements.

Yours sincerely,

Board of Directors, The Greater Pinnacle Peak Association - Friends of the Scenic Drive (GPPA)

Les Conklin, President

Cindy Lee, Vice President

Ginger Schoenau

Bob Fox

Ken Lew

Maxine Rosenberg

Don Doherty

George Constantinou

CITY COUNCIL REPORT



Meeting Date: July 5, 2017
General Plan Element: *Character and Design*
General Plan Goal: *Use community goals, character and context to determine development appropriateness.*

ACTION

Sign Ordinance Update - Permanent Signs

1-TA-2017

Request to consider the following:

1. Adopt Ordinance No. 4315 amending the City's Zoning Ordinance (Ordinance No. 455), and Article VIII. (Sign Requirements), for the purposes of amending and updating the sign regulations for permanent signs, related provisions, requirements, and definitions.
2. Adopt Resolution No. 10834 declaring "1-TA-2017 – Sign Ordinance Update – Permanent Signs," as a public record.

Key Items for Consideration

- Maintain Scottsdale's heritage of sign aesthetics.
- Consistency with the General Plan.
- Remove permanent sign requirements based on specified land uses.
- Regulate permanent sign requirements based on zoning district, street classification, street frontage length, and development size.
- Eliminate conflicting sign requirements and ambiguity.
- Establish a more user-friendly and contemporary Zoning Ordinance.
- Planning Commission heard this case on May 24, 2017, and recommended approval with a 6-0 vote.

APPLICANT CONTACT

Andrew Chi, Planner
City of Scottsdale
480-312-7828
achi@scottsdaleaz.gov

LOCATION

City-wide

BACKGROUND

The sign requirements of the Zoning Ordinance were a pioneering effort when first adopted in the 1960s. In June 1969, the sign requirements were amended with the adoption of Zoning Ordinance No. 455, and revised throughout the 1970s and 1980s. In June 2003, the City Council adopted an amendment that updated the permanent sign requirements to include additional freestanding sign allowances for commercial developments, and allow the display of multiple tenant and occupant names on freestanding signs. In March 2007, to address the proliferation of signs in the public right-of-way, the City Council adopted an amendment to the Zoning Ordinance by prohibiting permanent and temporary signs in the right-of-way to reduce sign clutter and maintain aesthetically pleasing streetscapes.

General Plan

The Scottsdale General Plan, as amended, is the primary policy containing values, goals, and approaches for guiding the future development of the City. These values, goals, and approaches contained in the General Plan encourage a high quality physical environment and an aesthetically attractive community to live and do business. The community's desire for strong sign controls assist in accomplishing and implementing the goals and approaches of the General Plan. The Zoning Ordinance is considered one of the key implementation tools that are used to achieve the goals and approaches of the General Plan.

The General Plan's City values, goals, and approaches address signs in three of its elements, which are: Character and Design, Neighborhoods, and Community Mobility. As it pertains to signage, and through enforcement of a strong sign ordinance and unified street signage, the Character and Design, Neighborhoods, and Community Mobility Elements all focus on the preservation and enhancement of the unique sense of neighborhood, streetscapes, and quality design standards throughout the community, which reflects an image that is uniquely Scottsdale.

Other Related Policies, References:

- Scottsdale General Plan 2001, as amended
- Zoning Ordinance

APPLICANTS PROPOSAL

Goal/Purpose of Request

The City is seeking a text amendment to the Zoning Ordinance to: 1) remove permanent sign requirements that are based on the specific land uses; 2) regulate permanent signs based on zoning district, street classification, street frontage length, and development size; 3) re-format the existing ordinance; 4) eliminate conflicting requirements and ambiguity; 5) maintain the integrity of the current ordinance; and 6) create a more contemporary and user-friendly Zoning Ordinance.

Refer to Attachment #1 for the draft ordinance.

To achieve the objectives, the following provides an assessment of the proposed changes to the sign requirements of the Zoning Ordinance:

- Remove permanent sign requirements based on the specified land use

The current ordinance separates sign requirements under two categories: sign requirements based on the zoning district, and sign requirements based on the specified land use regardless of the zoning district. This method can lead to conflicting and inequitable sign requirements.

For example: in the Service Residential (S-R) district, current unspecified uses, such as a medical office, are limited to a 12 square foot wall sign. However, a bank, which is allowed in S-R, is listed as a specified land use under the existing ordinance; and it would be allowed a wall sign greater than 12 square feet. This method leads to the appearance of preferential treatment based on the use.

To remedy this conflicting requirement, the recommendation is to eliminate all specified land uses listed in the ordinance, and consolidate all uses based on the zoning district requirements.

- Consolidate permanent sign types into two sections: Building Signs and Freestanding Signs

The current ordinance has sign requirements for building signs and freestanding signs scattered in various sections, which leads to inconsistent application of requirements and ambiguity. To eliminate these inconsistencies, the proposed amendment consolidates sign requirements into two sections: Building Signs and Freestanding Signs.

All permanent sign requirements for buildings (Wall Signs, Shingle Signs, Suspended Canopy Signs, Canopy Fascia Signs, Shingle Signs, Freestanding Canopy Signs, Projecting Signs, Standing Canopy Signs, Awning Signs, Entry Signs, and Address Signs) have been consolidated into a new section for building signs. Sign size, sum total sign area, and building sign placement requirements are divided up into six (6) categories based on the zoning district.

To provide clearer and more user-friendly sign regulations, the amendment proposes to be reformatted with more distinguishable sign terminology by renaming the signs based on where the sign is placed on the building. Two of the renamed sign types are Shingle Signs and Nameplate Signs:

Current Ordinance	Proposed Ordinance	Proposed Placement
Shingle Sign	Shingle Sign	A sign suspended from a roof overhang or covered walkway, and perpendicular to the building wall.
	Suspended Canopy Sign	A sign suspended under a building canopy and parallel to the building wall.
	Canopy Fascia Sign	A sign mounted on the front face of a canopy and not project above or below the canopy face.
Nameplate Sign	Entry Sign	A small sign located adjacent to a primary pedestrian entrance to a dwelling or suite, mounted flush to the building wall.

All permanent freestanding sign requirements for developments (Tower Signs, Mid-Size Monument Signs, Monument Signs, Landscape Wall Signs, Entryway Wall Signs, Entryway Monument Signs, Gas Station Monument Signs, Drive-Through Signs, Directory Signs, Traffic Directional Signs, Column Signs, and Perimeter Site Wall Signs) have been consolidated into a new section for freestanding signs. The amendment proposes to distinguish all freestanding sign size, height, and placement requirements into six (6) subsections based on the zoning district and the type of development:

- Freestanding signs for subdivision developments.
- Freestanding signs for non-residential developments in Residential Districts, excluding the Multiple-Family District (R-5).
- Freestanding signs for non-residential developments in the Multiple-Family District (R-5) only.
- Freestanding signs for developments in all Commercial, Industrial, Mixed-Use, Parking, Special Campus, and Western Park Districts.
- Additional freestanding sign allowances based on the specified zoning district.
- Freestanding signs in Planned Community (P-C) and Planned Residential Development (PRD) districts (master planned communities).

In-addition, the amendment proposes to rename existing freestanding sign types with more distinguishable sign terminology based on the location of the sign. The renamed and new sign types are:

Current Ordinance	Proposed Ordinance	Proposed Placement
Entryway Sign	Entryway Wall Sign	A freestanding sign placed on a perimeter or screen wall and adjacent to a street or entry drive into the development.
	Entryway Monument Sign	A freestanding sign placed at the street or driveway leading into the development, typically on a landscaped median.
Landscape Wall Sign for Tenants with no Street Frontage	Perimeter Site Wall Sign	A sign type that allows an on-site business in a development to display a ten (10) square feet sign on a perimeter site wall.
Service Station Monument Sign	Gas Station Monument Sign	A freestanding sign for a gas station which include change panels for fuel pricing as required by Arizona Administrative Code.
A Drive-Through Sign was previously a form of a Directory Sign under current ordinance	Drive-Through Sign	A Drive-Through Sign is a new freestanding sign type that is adjacent to a drive-through lane.

- Consolidate freestanding Ground Signs with Monument Signs

The current ordinance has two types of similar freestanding sign types: Ground Sign and Monument Sign. A Ground Sign is a freestanding sign built with a continuous background surface from the ground, limited to five (5) feet tall, with individually mounted letters and logos limited to 12 square feet of area. Whereas, a Monument Sign is a freestanding cabinet or panel sign mounted on a base, also limited to 5 feet tall, but the area is limited to 24 square feet. These two freestanding sign types have been applied inconsistently and interchangeably. To eliminate the ambiguity and inconsistent application, the amendment proposes to consolidate Ground Signs with Monument Signs. No changes are proposed to the existing height and area allowed for a freestanding Monument Sign.

- Regulate freestanding signs by the street classification, street length and development size

The current ordinance regulates freestanding signs based on the gross floor area of the development, and whether a development has multiple tenants or a single tenant. The current ordinance does not specify the location of freestanding signs based on the abutting street classification. This inconsistency may allow a tall freestanding sign (such as a 25-foot-tall Tower Sign or 12-foot-tall Mid-Size Monument Sign) on an unclassified street (such as a residential street), thus the freestanding sign location as applied may not be appropriate with the surrounding neighborhood character and context.

Another inconsistent application under the existing ordinance is the criteria for commercial developments to qualify for a Tower Sign and Mid-Size Monument Sign. Tower and Mid-Size Monument Signs are allowed if a development has more than one (1) tenant and exceed 30,000 square feet of gross floor area. However, if a development has a single tenant and exceeds 30,000 square feet of gross floor area, only a five (5) foot tall Monument Sign is allowed. This method of regulation may not be equitably applied under the current ordinance, for example:

- A commercial development with 100,000 square feet of gross floor area with multiple tenants is allowed a 25-foot-tall Tower or 12-foot-tall Mid-Size Monument Sign, but
- A commercial development with 100,000 square feet of gross floor area with a single tenant is only allowed a 5-foot-tall Monument Sign.

To implement a more equitable and consistent freestanding sign regulations, the proposed amendment would eliminate the multi-tenant requirement, and instead, establish freestanding sign requirements based on the gross floor area of the development, the street frontage length, and the street classification in-accordance with the Transportation Master Plan. To provide clearer sign regulations, the proposed amendment consolidates freestanding sign requirements into tables, and categorized based on the zoning district and type of development.

Additional modifications to the ordinance include: new and revised sign definitions, including new graphics to provide a more user-friendly ordinance; elimination of outdated and non-applicable sign definitions; and renaming Open and Closed Window Signs to Permanent Window Signs.

IMPACT ANALYSIS

General Plan Consistency

The proposed text amendment reflects Scottsdale's desire for strong sign control to assist in accomplishing and implementing the goals, values, and approaches of the General Plan. The General Plan's Character and Design Element – Design Standards, focuses on character and design through the enforcement of a strong sign ordinance. Approach 1.2 indicates that development should enrich the lives of all Scottsdale residents by being safe, attractive, and context compatible. The proposed text amendment exemplifies this approach by proposing an ordinance that maintains strong control by regulating sign size, height and placement through zoning district regulations, thereby limiting clutter along streetscapes.

Approach 4.8 of the Neighborhoods Element encourages the improvement and maintenance of the current landscape, signage, and quality design standards throughout the community. The proposed text amendment maintains consistency with this approach by proposing an ordinance that limits the proliferation of permanent signs in Scottsdale neighborhoods, such as limited size and height requirements in residential zoning districts, and limitations on sign placement and sign quantity along street frontages in all zoning districts.

Furthermore, Approach 1.3 of the Community Mobility Element encourages the protection of the function and forms of regional land corridors by maintaining Scottsdale's high development standards through unified streetscapes and unified street signage. The proposed ordinance demonstrates this approach by proposing permanent sign regulations that are more uniform in its application by regulating sign size, height and placement based on zoning district, street classification, street frontage length, and development size.

Community Involvement

Open House Meetings and Community Input

Two open house meetings were held on April 4, 2017, at the Via Linda Senior Center, and April 5, 2017, at the City of Scottsdale One Civic Center. An eighth page advertisement was published in the Arizona Republic Scottsdale Section, and information was published on the City's website to advertise the community of the open house meetings. Individuals on record with the Planning and Development Services Department Interested Parties List were notified, and email notifications were sent to 130 recipients of local sign companies, Scottsdale residents, and stakeholders inviting them to the open house meetings. In-addition, requests for comment and input were sent to the Arizona Sign Association (ASA), the International Sign Association (ISA), and the Scottsdale Area Chamber of Commerce.

At the community open house meetings, the draft ordinance was provided to the public for comment, and made available on the City's website. A summary of the open house meetings:

April 4, 2017 – Open House Meeting #1

8 attendees attended this meeting.

Comments and suggestions received from April 4th attendees:

- The current ordinance allows the Development Review Board to approve a Community Sign District and Comprehensive Sign Program with a 20% increase in sum total sign area, individual sign area, and sign height requirements. A suggestion was provided to incorporate the ability for the City Council to approve a Community Sign District and allow an increase beyond the 20% bonuses for sum total sign area, individual sign area, and sign height.
- Address signs in the Scenic Corridor to remove ambiguity, tighten restrictions, and allow traffic directional signs in Scenic Corridors.

April 5, 2017 – Open House Meeting #2

8 attendees attended this meeting.

Comments and suggestions received from April 5th attendees:

- Increase the number of business or development identification on a monument sign from one (1) to at least two (2) to help identify onsite businesses for a development project with less than 30,000 square feet of total gross floor area.
- Continue to prohibit visible raceways for individual letters on building wall signs, but provide flexibility for screened or concealed raceways by a sign cabinet or a sign panel.
- There is no incentive for an owner to create a master sign program under the existing ordinance, other than to regulate sign placement and sign design. Comments provided suggested inclusion of requirements on when a master sign program is required, and provide more incentives for a property owner to produce a master sign program.
- Incorporate sign requirements to regulate signs in the scenic corridor in the boundary between Environmentally Sensitive Lands (ESL) and non-Environmentally Sensitive Lands.
- The City should consider analyzing and updating the scenic corridor sign requirements at a future text amendment, and consider allowing flexibility.

Correspondences

Staff has received five (5) emails and one (1) phone call regarding the proposed amendment, as of the writing of this report. The email correspondences are included in Attachment #2. The email comments include: 1) support of the proposed amendment and removing contradicting and inconsistent sign requirements, 2) support of the proposed amendment with suggestions on providing more flexible sign requirements, 3) provide additional sign flexibility and increase sign bonuses for Community Sign Districts and Master Sign Programs, 4) update the Scenic Corridor sign requirements to provide some additional flexibility, and 5) and update the Scenic Corridor sign requirements to clarify and refine the existing text and requirements. The phone call was from a resident seeking details on the proposed amendment, and to obtain additional information regarding the community open house meetings.

Stakeholder & Resident Meetings

Staff met with several stakeholders and residents on separate occasions to seek additional input and comments regarding the proposed amendment, and correspondence and input from these meetings are included in Attachment #2:

- May 1, 2017: Meeting with Arizona Sign Association (ASA) and International Sign Association (ISA) representatives. At the meeting, staff went over the details of the proposed amendment, and the positive effects the amendment would be for businesses. Additional comments include requesting staff to update the Scenic Corridor sign requirements, and provide additional flexibility and incentives for Community Sign Districts and Master Sign Programs.
- May 3, 2017: Presentation at the Scottsdale Area Chamber of Commerce Downtown Committee meeting. At the meeting, staff presented the proposed amendment, and the positive effects the amendment would be for Downtown businesses. Comments from the committee were positive, with questions from committee members pertaining to temporary Window Sign and Portable Signs allowances and requirements.
- May 5, 2017: Meeting with Scottsdale Residents. Staff met with several Scottsdale residents to discuss the proposed amendment. The comments were supportive of the amendment to simplify, clarify and organize sign requirements, and to make it more understandable and equitable. Additional comments include requesting Staff to consider reviewing and updating the requirements pertaining to Scenic Corridor signs at a future text amendment.

As of the writing of this report, there are two planned meetings with stakeholders to advertise and market the proposed changes to the permanent sign requirements:

- June 13, 2017: Presentation at the Scottsdale Area Chamber of Commerce Economic Development Advisory Council Meeting.
- June 20, 2017: Presentation at the Scottsdale Area Chamber of Commerce Public Policy Advisory Council Meeting.

Staff has also reached out to the International Council of Shopping Centers (ICSC) – Western Division Ambassador for Arizona, to advertise the proposed changes to the Sign Ordinance, since the proposed text amendment would allow additional permanent sign allowances and flexibility for commercial developments and businesses.

Responses to Community Involvement

As it pertains to comments and input received, in this current amendment, the proposed ordinance incorporates two comments from the open house meetings: increase the number of on-site business or development identification on a Monument Sign from one (1) to at least two (2) to help identify on-site businesses for a development with less than 30,000 square feet of total gross floor area; and incorporate language to conceal raceways by a sign cabinet or sign panel.

The proposed amendments to the Sign Ordinance address the elimination of sign regulations based on the specified use. Based on additional comments and desires received from the community, a future text amendment may address comments pertaining to updating the requirements for Community Sign Districts and Master Sign Programs, and updating the Scenic Corridor sign requirements.

Community Impact

The Zoning Ordinance is the implementing tool for regulations associated with signs. The proposed modifications incorporated with this text amendment are intended to enhance and maintain the City's character and aesthetics. With the implementation of the proposed text amendment, all properties throughout the City would be subject to the new permanent sign requirements.

Many of the current permanent sign regulations are classified based on the sign's purpose and specified land use, which allow for inconsistent application of regulations. The proposed amendment resolves this inconsistency by providing regulations that are based on time, place, and manner, which is achieved by incorporating requirements based on zoning district, street classification, street frontage length, and development size. In-addition, making the sign ordinance more equitable will eliminate the appearance of preferential treatment to certain uses.

Many existing large lots and commercial developments throughout the City that have Tower and Mid-Size Monument Signs are in-compliance with the proposed amendment. Only a few commercial developments may have freestanding signs that are legal non-conforming, such as commercial developments with Tower or Mid-Size Monument Signs on street frontages with less than 300 feet.

Policy Implications

The proposed text amendment provides a more uniform implementation of sign regulations that are achieved through zoning district regulations, which will allow greater clarity, reliability, consistency, and improved enforcement.

OTHER BOARDS & COMMISSIONS

Planning Commission

At the May 25, 2016, Planning Commission Study Session, the Commission expressed interest in updating the Sign Ordinance pertaining to permanent signs.

On February 22, 2017, the Planning Commission initiated the above-referenced text amendment to the Zoning Ordinance pertaining to Permanent Signs of Article VIII. – Sign Requirements.

On April 26, 2017, the Planning Commission held a non-action hearing to discuss the proposed text amendment.

Staff's Recommendation to Planning Commission:

Staff recommended that the Planning Commission find that proposed zoning text amendment is consistent and conforms to the adopted General Plan, and make a recommendation to City Council for approval.

On May 24, 2017, the Planning Commission heard this case, and recommended approval to the City Council with a 6-0 vote.

STAFF RECOMMENDATION

Recommended Approach:

1. Adopt Ordinance No. 4315 amending the City's Zoning Ordinance (Ordinance No. 455), and Article VIII. (Sign Requirements), for the purposes of amending and updating the sign regulations for permanent signs, related provisions, requirements, and definitions.
2. Adopt Resolution No. 10834 declaring "1-TA-2017 – Sign Ordinance Update – Permanent Signs," as a public record.


RESPONSIBLE DEPARTMENT

Planning and Development Services
Current Planning Services

STAFF CONTACT

Andrew Chi, Planner
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Email: achi@ScottsdaleAZ.gov

APPROVED BY



Andrew Chi, Planner, Report Author
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06/09/17

Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

6/13/2017

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

6/19/17

Date

ATTACHMENTS

1. Ordinance No. 4315
2. Resolution No. 10834
Exhibit A: "1-TA-2017 – Sign Ordinance Update – Permanent Signs"
3. Citizen Review Plan, Report and Correspondences
4. May 24, 2017, Planning Commission Meeting Minutes

ORDINANCE NO. 4315

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, TO AMEND THE CITY'S ZONING ORDINANCE (ORDINANCE NO. 455) ARTICLE VIII (SIGN REQUIREMENTS), FOR THE PURPOSES OF AMENDING AND UPDATING THE SIGN REGULATIONS FOR PERMANENT SIGNS, RELATED PROVISIONS, REQUIREMENTS, AND DEFINITIONS AND AS PROVIDED IN CASE NO. 1-TA-2017.

WHEREAS, the City of Scottsdale wishes to amend the Zoning Ordinance provisions regarding Article VIII. (Sign Requirements), for the purposes of amending and updating the sign regulations for permanent signs; and

WHEREAS, the Planning Commission held a public hearing on May 24, 2017; and

WHEREAS, the City Council held a public hearing on July 5, 2017 and considered a text amendment to the Zoning Ordinance of the City of Scottsdale, Case No. 1-TA-2017; and

WHEREAS, the City Council has determined that the subject Zoning Ordinance amendment is in conformance with the General Plan.

BE IT ORDAINED by the Council of the City of Scottsdale as follows:

Section 1. That the Zoning Ordinance of the City of Scottsdale, is hereby amended as specified in that certain document entitled "1-TA-2017 Sign Ordinance Update – Permanent Signs," declared to be a public record by Resolution No. 10834 of the City of Scottsdale, and hereby referred to, adopted and made a part hereof as if fully set out in this Ordinance.

Section 2. If any section, subsection, sentence, clause, phrase or portion of this ordinance or any part of the code adopted herein is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions thereof.

PASSED AND ADOPTED by the City Council of the City of Scottsdale this _____ day of _____, 2017.

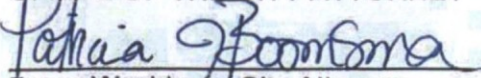
CITY OF SCOTTSDALE, an
Arizona municipal corporation

ATTEST:

By : _____
Carolyn Jagger, City Clerk

By: _____
W. J. "Jim" Lane, Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY


Bruce Washburn, City Attorney

By: Patricia J. Boomsma, Assistant City Attorney

RESOLUTION NO. 10834

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT FILED WITH THE CITY CLERK OF THE CITY OF SCOTTSDALE AND ENTITLED "1-TA-2017 – SIGN ORDINANCE UPDATE – PERMANENT SIGNS."

WHEREAS, State Law permits cities to declare documents a public record for the purpose of incorporation into city ordinances; and

WHEREAS, the City of Scottsdale wishes to incorporate by reference amendments to the Zoning Ordinance, Ordinance No. 455, by first declaring said amendments to be a public record.

NOW, THEREFORE BE IT RESOLVED, by the Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. That certain document entitled "1-TA-2017 – Sign Ordinance Update – Permanent Signs," attached as "Exhibit A", three copies of which are on file in the office of the City Clerk, is hereby declared to be a public record. Said copies are ordered to remain on file with the City Clerk for public use and inspection.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this ____ day of _____, 2017.

CITY OF SCOTTSDALE, an
Arizona municipal corporation

ATTEST:

By: _____
Carolyn Jagger, City Clerk

By: _____
W. J. "Jim" Lane, Mayor

APPROVED AS TO FORM:

OFFICE OF THE CITY ATTORNEY


Bruce Washburn, City Attorney

By: Patricia J. Boomsma, Assistant City Attorney

ZONING ORDINANCE TEXT AMENDMENT

1-TA-2017

SIGN ORDINANCE UPDATE – PERMANENT SIGNS

HOW TO READ THIS DOCUMENT

Unless otherwise stated, provisions that are being deleted are shown with a strike-through, like this: ~~Provisions that are being deleted are shown with a strike-through.~~ Graphic that are being deleted are indicated with an "X" over the graphic.

Provisions that are being added are shown as highlighted, like this: Provisions that are being added are shown as highlighted.

Section 1. Repeal and replace Sec. 8.109. - Enforcement officer., as follows:

Sec. 8.109. – Enforcement officer.

~~The general manager shall have the authority to enforce this ordinance, and to make all inspections required to ensure such enforcement, and to hear appeals of all decisions relating to the Uniform Building Code and the National Electrical Code.~~

Sec. 8.109. – Reserved.

Section 2. Amend Section 8.200. – Definitions., to add the terms to the existing definitions in alphabetical order, to delete, and to amend existing definitions, as follows:

Sec. 8.200. - Definitions.

~~Arterial (street) street. Those lengths of streets so classified on the City of Scottsdale's~~

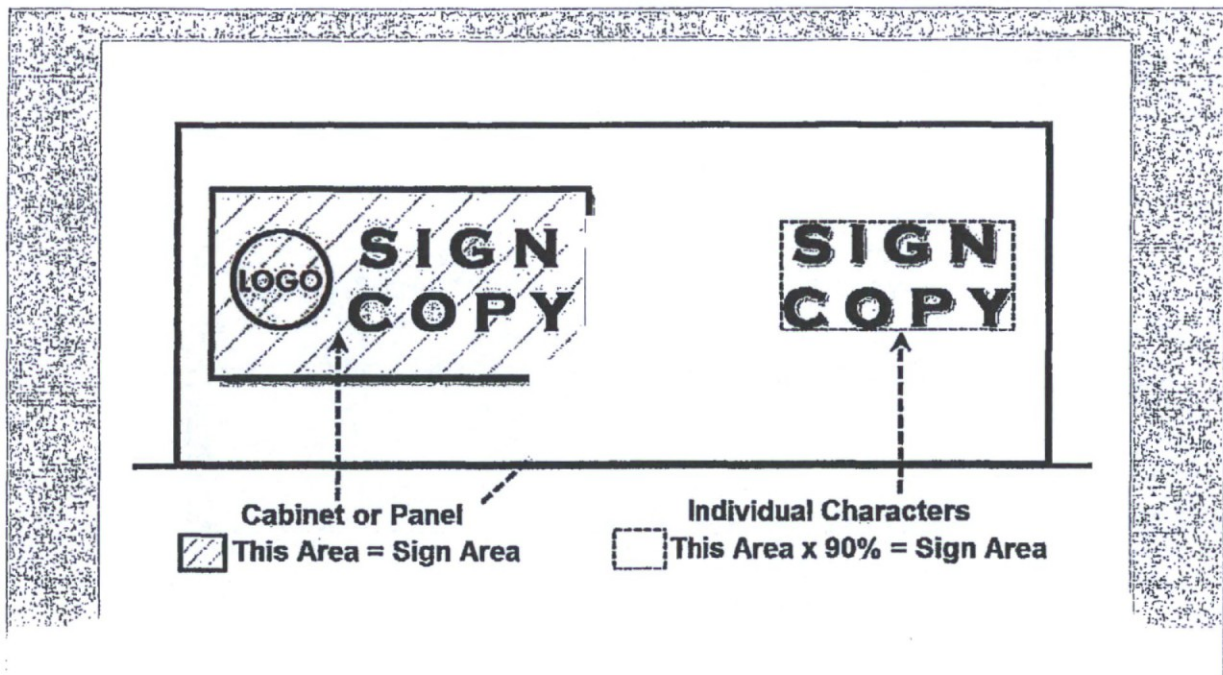
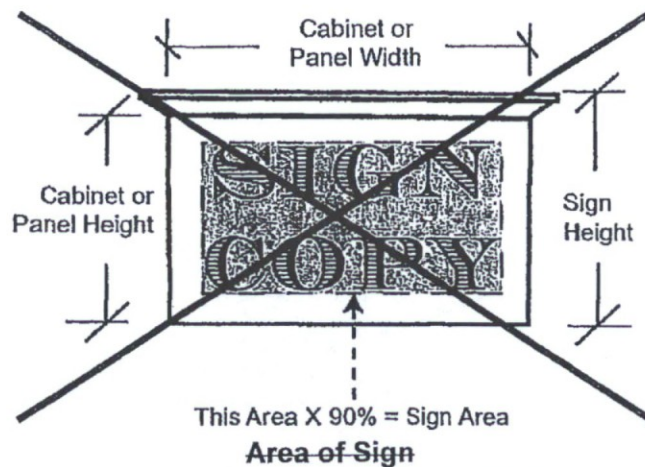
~~Area of sign. In the case of individual characters used as a sign, the area is ninety (90) percent of the area enclosed within the smallest regular geometric figure needed to completely encompass all characters of the sign, including horizontal spacing between characters, except as otherwise provided herein. For signs other than individual characters, the area is the smallest regular geometric figure needed to completely encompass the total area of a cabinet or panel for the total area within the outer edge of a frame or other material, color, or condition utilized to create an outer border of the sign. The area of sign does not include address signs that are twelve (12) inches or less required by Chapters 31 and 36 of the Scottsdale Revised Code.~~

~~For signs other than individual letters, words, insignias or symbols, the area is the total area of the facing of the total area within the outer edge of any existing border of the sign.~~

Resolution No. 10834

Exhibit A

Page 1 of 28



Automated teller machine directional sign. A traffic directional sign which is used to direct pedestrian or vehicular traffic on a parcel to the location of an automated teller machine.

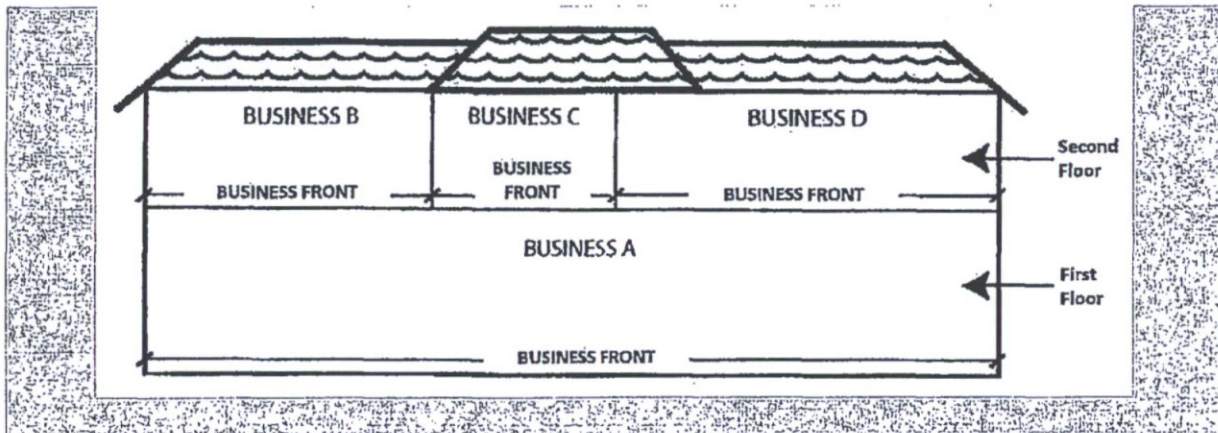
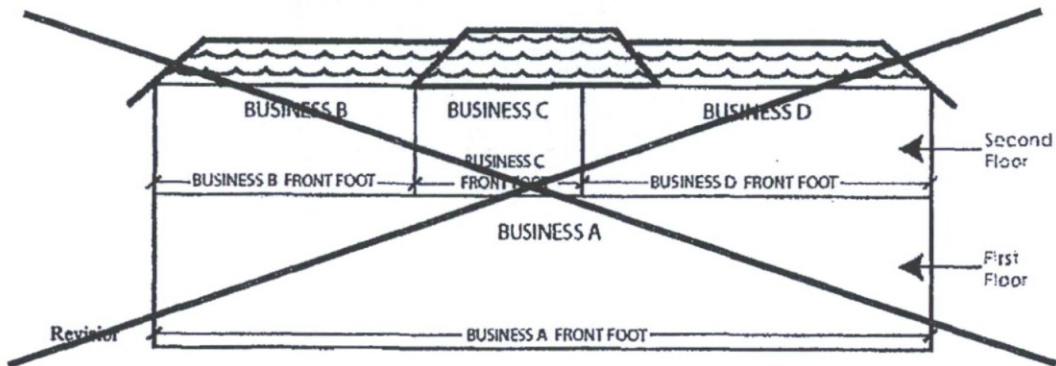
Automated teller machine sign. Any sign located on or architecturally associated with the exterior face of an automated teller machine.

Building identification. The name of a building or of a tenant or occupants occupying at least thirty (30) percent of the building or sixty (60) percent of the first floor, which is placed on the building, or on a freestanding sign.

Building wall. The individual sides of a building.

Business entrance identification. A sign adjacent to, or on the entrance door of, a business containing the business name and such other appropriate information as store hours and telephone numbers.

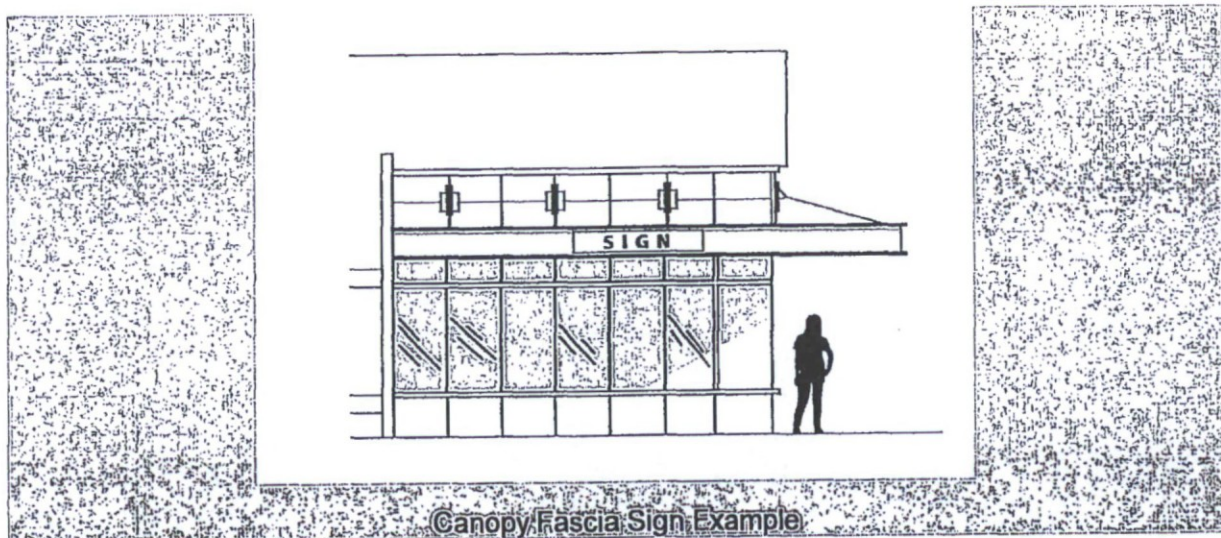
Business front foot. The lineal distance measured along the exterior wall of the building space occupied by the business that the sign will be placed. The lineal distance of the building space occupied by the particular business measured on a straight line parallel to the street. Where a business does not parallel a street, the front foot shall be measured along the exterior of the building space occupied by the particular business.



Business Front Foot

Business name. The name by which a business is commonly recognized and used by the applicant. The applicant shall provide stationery or other supporting documents illustrating the use of the business name or verification of the official business license or tax name. Slogans or product information shall not be considered as the business name.

Canopy Fascia Sign is a sign attached to the vertical front face of a canopy, roof overhang, covered walkway, covered porch, or portion of an open lattice structure.



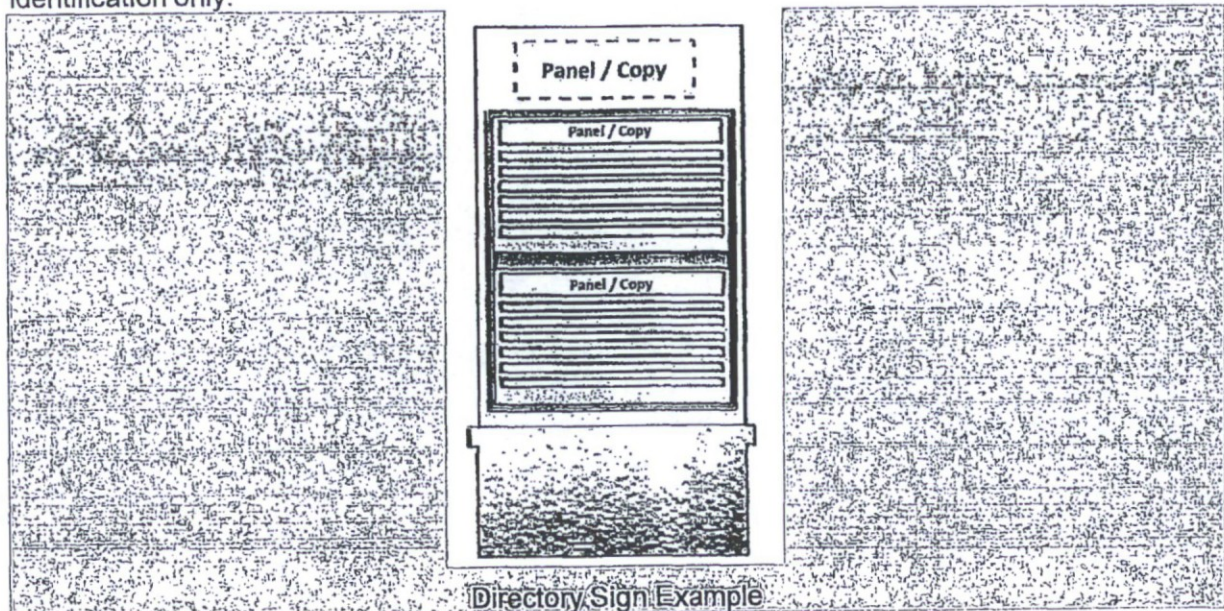
Change panel. A sign designed to permit immediate change of copy with language other than the name of the business.

Commercial district. A group or cluster of retail shops, offices or industrial buildings which share common parking, landscaping, and/or frontage, have a property owners association and have a name which is generally understood by the public to refer to the group or cluster.

Common building entrance. In a multitenant building, an entrance leading to a common lobby, atrium, patio and/or elevator foyer.

Community sign district. A group of businesses property owners in a specified area in the city which that have been organized into a coordinated group for the purpose of common signage and signage control.

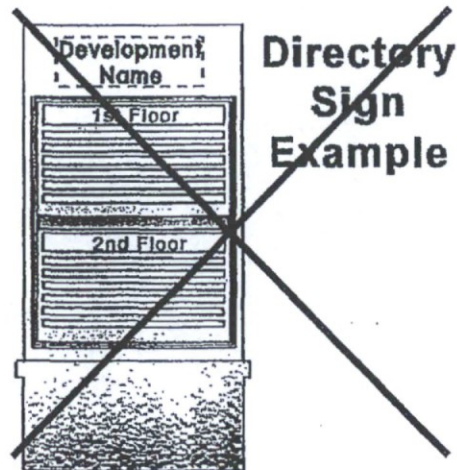
Directory sign. A sign which provides a listing of the names of businesses, activities, addresses, locations, uses or places within a building or complex of buildings for the purpose of identification only.



Resolution No. 10834

Exhibit A

Page 4 of 28



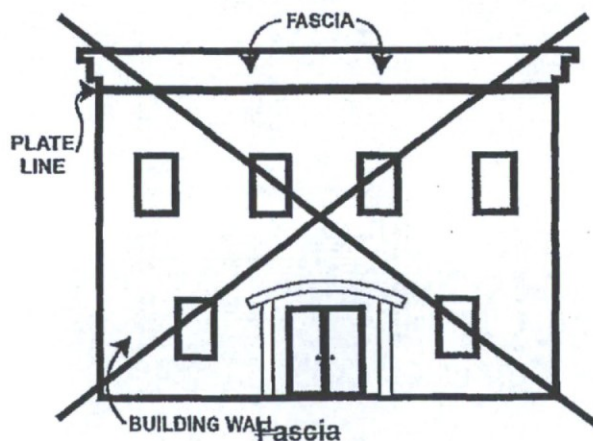
Drive-through sign is a freestanding sign adjacent to a drive-through.

Entry sign is a small sign located adjacent to a primary pedestrian entrance to a dwelling or suite.

Entryway monument sign is a freestanding cabinet or panel sign mounted on, or within a base (above grade), placed at the street or driveway leading into the development project.

Entryway sign-A is a freestanding sign which is placed on the perimeter or screen wall of a development project, and adjacent to a street or driveway leading into the development project, having individual characters that may be mounted on, or integrated into, a panel, recorded subdivision, townhouse project, commercial district, master planned community, hotel, motel or guest ranch at a major street or driveway entrance to identify the name of the interior project. Such signs may flank both sides of the entrance and may include ground or landscape wall sign types.

Fascia. A parapet-type wall used as part of the face of a flat roofed building and projecting not more than six (6) feet from the building face immediately adjacent thereto. Such a wall shall enclose at least three (3) sides of the projecting flat roof and return to a parapet wall or the building.

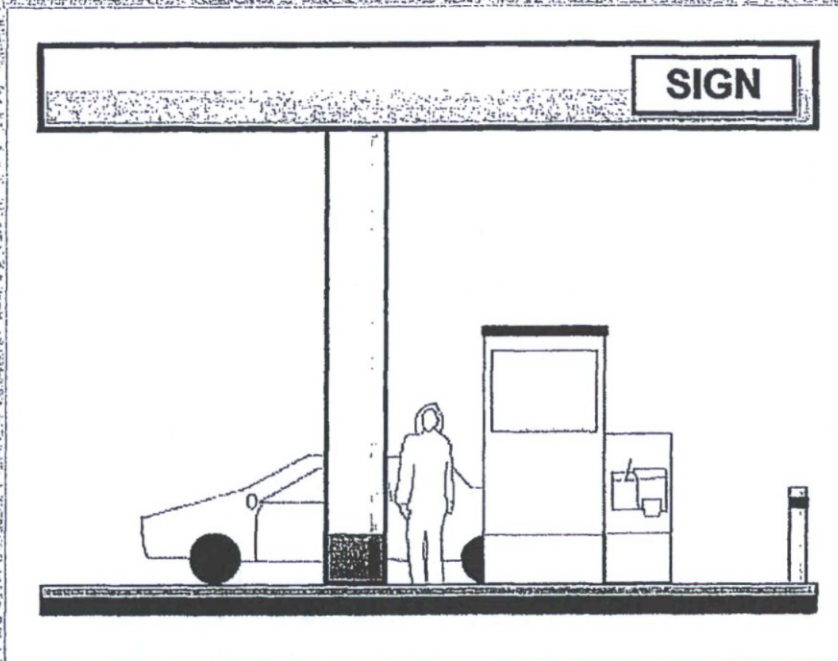


Resolution No. 10834

Exhibit A

Page 5 of 28

~~Freestanding canopy sign is a sign attached to the vertical front face of a freestanding canopy structure that is not attached to a building.~~



~~Freestanding Canopy Sign Example~~

~~Fuel change panel price sign. A sign used to identify the current price(s) of fuel as required by the statelaw Arizona Administrative Code.~~

~~General manager. The city's planning and zoning general manager or designee.~~

~~Ground sign. A freestanding sign that is architecturally integrated with the building with individually mounted letters and logos only. This sign shall be built with continuous background surface built from the ground up.~~

~~Identification sign. A building wall, landscape wall, ground sign or temporary sign used to present the name of a major residential project, master planned community or master planned community information center.~~

~~Information center. A facility in a master planned community which provides information, displays and guides for visitors in order to direct, to promote and sell projects within the master planned community.~~

~~Landscape wall sign. A freestanding sign architecturally integrated with the building, mounted on a screen or perimeter wall and having individual letters characters that may be mounted on or integrated into a panel. The sign is mounted on, or to, a wall, pole or base which may or may not be an attachment or extension of a building wall.~~

~~Modifiers. A word describing uses and activities other than the business name.~~

~~Monument sign. A freestanding cabinet or panel sign mounted on, or within a base (above grade), which is detached from any building.~~

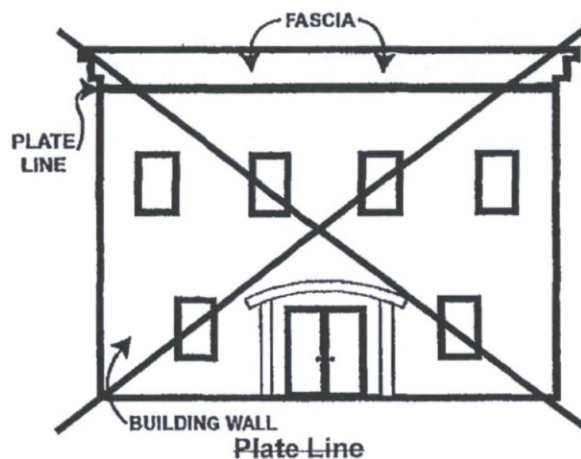
Monument sign is a freestanding sign that may be a cabinet or panel mounted on, or integrated into, a background surface. Monument signs include individual characters that may be mounted on, or integrated into, a panel that is mounted on a background surface.

Multiple tenant commercial building. A commercial development in which there exists two or more separate commercial activities, in which there are appurtenant shared facilities (such as parking or pedestrian mall), and which is designed to provide a single area in which the public can obtain varied products and services. Distinguishing characteristics of a multiple tenant commercial building may, but need not, include common ownership of the real property upon which the center is located, common wall construction, and multiple occupant commercial use of a single structure.

Nameplate. A small sign which identifies a resident's or home's name and address or the name of a farm, ranch or commercial stable. Such signs may be shingle, building wall, or archway-mounted signs.

Occupancy. A purpose for which a building, or part thereof, is used or intended to be used.

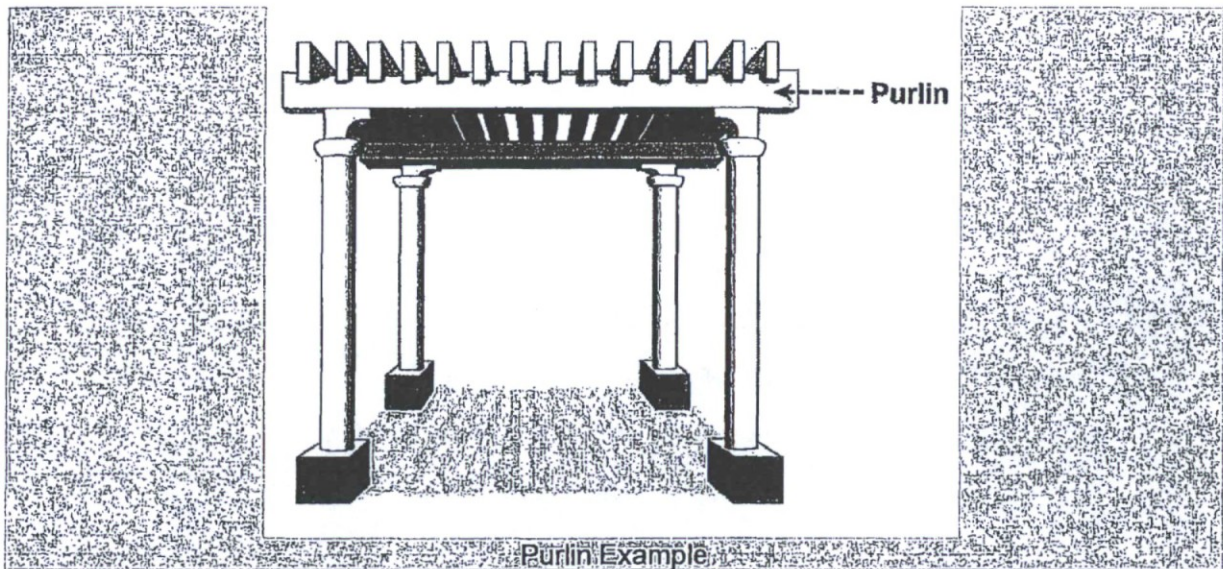
Plate line. The point at which any part of the main roof structure first touches or bears upon an external wall.



Projected building face. A calculation of the maximum lineal footage of the building front times the maximum height of the building.

Projected elevation area. The total area of the building face as projected to an imaginary plane parallel to the primary direction of the building face.

Purlin is a horizontal beam along the length of a canopy or trellis, resting on or supporting rafters or boards.

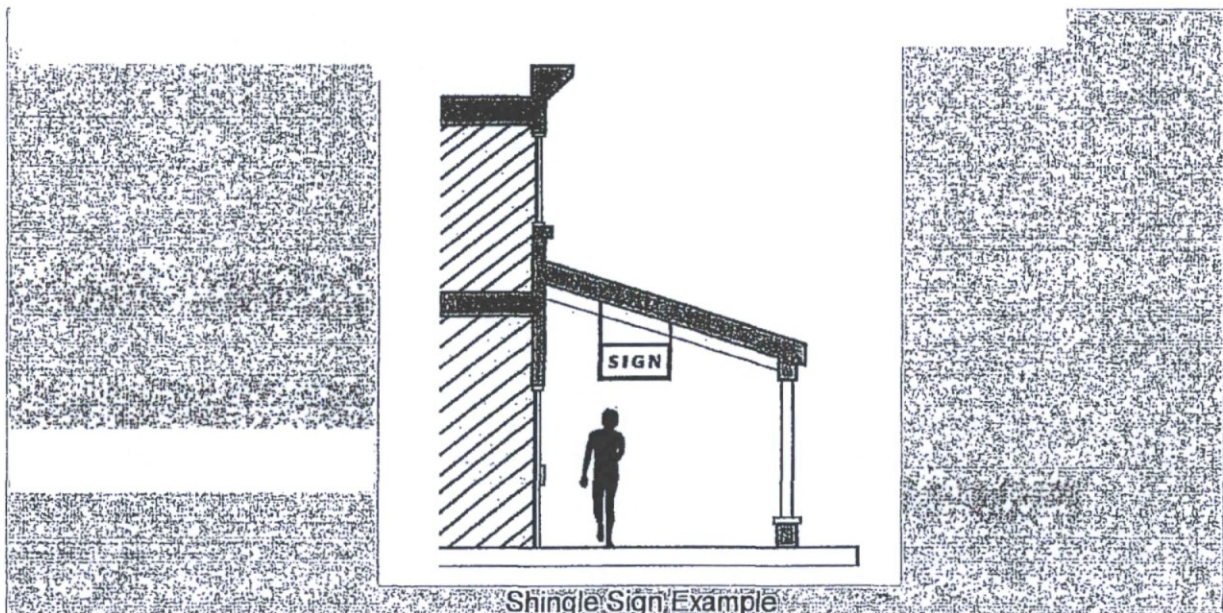


Raceway is an enclosure for both wiring and electrical components.

Required landscaping Landscape Area The specific area (on site) to be landscaped with plant material at the base of the freestanding sign.

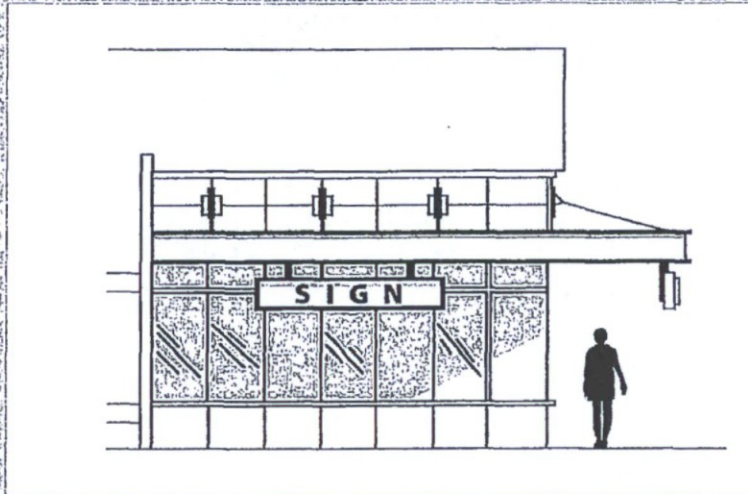
Residential entry sign. A sign that is placed at the entrance to a multifamily and duplex development, manufactured home park, or single-family development only in order to identify the name of the development.

Shingle sign. A is a sign suspended from a roof overhang of a covered porch or walkway



Sign budget. The total cumulative sign area for all types of signs allowed to a parcel or project.

Suspended Canopy Sign is a sign suspended under a canopy, roof overhang, covered walkway, covered porch, or open lattice walkway and parallel to a building wall.



Suspended Canopy Sign Example

Sum total sign area. Aggregate area of all building signs, not including address signs twelve (12) inches or less required by Chapter 31 and 36 of the Scottsdale Revised Code, for any individual use (excluding traffic directional signs) and may include the area of a freestanding sign. In every event, computation of allowable sign area includes all existing signs on the premises, whether such signs be conforming or nonconforming unless specifically excepted by the terms of this ordinance.

Traffic directional sign. Signs used at driveways to improve public safety and to enhance public access to the site from public streets. This sign provides information which will assist the operators of vehicles in the flow of traffic. Such signs may use names, logos, or symbols of buildings, businesses, activities, uses or places as a means of direction.

d near the intersection of a driveway and

Section 3. Amend Sec. 8.301. -- Approvals required, as follows:

Sec. 8.301. - Approvals required.

- I. A. Signs, sign illumination, method of attachment, placement, structure, and comprehensive sign programs, master sign programs, and community sign districts created by property owners, are subject to Development Review Board approval as described in Article I.
- II. B. The Development Review Board shall review and render a decision for sign code exception requests relating signage design, and to the placement of building signs on a new multi-tenant building as provided in Sections 8.403 and 8.405. In no case shall the total sign area increase for the property.

Section 4. Amend Sec. 8.302. -- Sign Programs, as follows:

Sec. 8.302. - Sign programs.

I. Master sign program.

- A. The purpose of the master sign program is to provide design compatibility for all signs and to integrate the signs with the architectural features of the multi-tenant building or complex of buildings.
- B. Submittal requirements: The property owner(s) or designated agent shall submit an application with a specific set of design standards, including but not limited to, letter and logo sizes, letter style, colors, texture, lighting methods, sign type and architectural features.
- C. Upon approval of the master sign program, all signage contained within the limits of the property, regardless of ownership or tenancy, shall comply with the design standards established by the program.

II. Community sign district. The community sign district provides for a comprehensive sign program which is intended to encourage more flexible signage opportunities than allowed by the underlying zoning district. Community sign districts are regulated to the extent necessary to be consistent with the purpose and intent of the sign ordinance as specified in Section 8.101.

- A. Property owners may form a community sign district to propose and maintain a comprehensive sign program for additional signage as provided in this section.
 - 1. A community sign district may be formed by petition of at least seventy-five (75) percent or more of the affected property owners in the community sign district.
 - 2. The property owner(s) in a community sign district shall coordinate the preparation and submission of the comprehensive sign program.
 - 3. A community sign district and its comprehensive sign program may be approved for any of the following:
 - a. ~~Non-residential~~ development(s) that have a gross floor area of at least three hundred thousand (300,000) square feet;
 - b. ~~Resorts;~~
 - c. ~~Hospitals;~~
 - d. ~~Planned districts~~ that have a district size of at least fifteen (15) acres;
 - e. ~~Part of a Type 1 Area~~ that has a linear frontage on both sides of the street totaling at least one thousand (1,000) feet; and
 - f. ~~Part of a Type 2 Area~~ that is comprised of contiguous lots with a gross lot area of at least five (5) acres.
 - 4. A community sign district allows for the following bonuses that may be approved with the comprehensive sign program:
 - a. Twenty (20) percent increase to the allowed sign budget ~~sumtotal sign area;~~
 - b. Twenty (20) percent increase to the allowed area of signs; and
 - c. Twenty (20) percent increase to the allowed height.
 - 5. Only signs allowed in Article VIII may be approved as part of a the comprehensive sign program.

6. The comprehensive sign program shall include a complete set of standards, including but not limited to, letter size, style, colors, type(s) of sign, placement of signs, number of signs, ~~sign types~~ and sign material.
 7. The property owner(s) shall install and maintain all signage approved in the comprehensive sign program.
- B. The City Council may form a community sign district for all or part of the Downtown Area or a redevelopment district.
1. The comprehensive sign program shall include a complete set of standards, including but not limited to, letter size, style, colors, type(s) of sign, placement of signs, number of signs, and sign material. In no event may the comprehensive sign program propose signage of a type that is otherwise prohibited by this ordinance.
 2. The comprehensive sign program may include architectural signs in accordance with the following:
 - a. ~~Signs~~ ~~Municipal signs~~ may be installed ~~in~~ right-of-way that has a street classification of a minor collector or greater in the Transportation Master Plan, and on property abutting such right-of-way.
 - b. ~~Signs~~ ~~Municipal signs~~ may be installed in right-of-way or on property abutting the right-of-way at the intersection of two streets. One of the two intersecting streets shall have a classification of a minor collector or greater in the Transportation Master Plan.
 - c. The text shall be limited to the overall identification of all or part of the Downtown Area or redevelopment area.
 - d. Maximum area of sign: sixty (60) square feet.
 - e. Maximum height of sign: twenty (20) feet.
 - f. Maximum number of signs per architectural element: one (1) sign.
 - g. Maximum letter height for each architectural sign: two (2) feet.
 3. The comprehensive sign program may include banners mounted on the side of a street light pole in accordance with the following:
 - a. The banners may identify all or part of the Downtown Area or redevelopment area.
 - b. The banners shall be of new material and may be permanent, subject to Development Review Board approval of a maintenance program.
 4. The comprehensive sign program may include freestanding directory signs designed as architectural elements identifying points of interest in accordance with the following:
 - a. Maximum area of sign: fifteen (15) square feet.
 - b. Maximum height of sign: seven (7) feet.
 5. The City shall coordinate the preparation and submission of the comprehensive sign program. The application shall detail the responsibility for the installation and maintenance of signage approved in the comprehensive sign program.
- C. No sign identified in this section shall be placed upon real property without the consent of the property owner, nor shall such sign be placed in any public right-of-way, except

when placed in accordance with subsection 8.302.II.B. above and other applicable ordinances.

D. ~~Any sign placed upon private property in accordance with subsection 8.302.II.B. above, shall be within an easement dedicated to the City.~~

Section 5. Repeal Sections 8.403., 8.404., 8.405., 8.406., 8.407., 8.408., 8.409., 8.410., and adopt as follows:

~~Sec. 8.403. - 8.410. - Reserved.~~

Section 6. Repeal Sections 8.412., 8.413., 8.414., 8.415., 8.416., and adopt as follows:

~~Sec. 8.412. - 8.416. - Reserved.~~

Sec. 8.418. - Open and closed signs. Permanent Window Signs

1. ~~An open or closed sign signifies that a business is open or closed.~~
2. ~~The sign may indicate the hours of operation.~~
3. ~~1. Maximum number of signs per business: one (1) sign.~~
4. ~~2. Maximum area of sign: two (2) square feet.~~
5. ~~3. Illumination, if provided, shall be internal.~~
6. ~~4. The sign shall be placed inside the building, and may be displayed in a door or window, but no sign is permitted in unglazed openings.~~
7. ~~5. The sign shall not be calculated in the sign budget for the property.~~
8. ~~6. No permit or approval shall be required for the sign, unless required by Chapters 31 and 36 of the Scottsdale Revised Code.~~

Section 7. Repeal Sections 8.500. through 8.538, and adopt the following:

~~Sec. 8.500. - Permanent Building Signs Allowed:~~

~~raceways are used, or the sign is mounted on a cabinet screened by a panel or as the base for the individual letters.~~

(S-R) district

Resolution No. 10834

Exhibit A Page

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Document No. 15468214

Table 8.502.A. Building Sign Allowances

Zoning Districts	Standards				
	Maximum sum total sign area per business ¹	Maximum sum total per development project	Maximum sign area of a business front that is less than 200 feet from any street line ²	Maximum sign area of a business front that is equal to or greater than 200 feet from any street line	Maximum Height of sign (To Top of Sign)
Category A ²	N/A	60 square feet	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	Maximum building height allowed by a lot's zoning.
Category B ²	N/A	60 square feet	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the Development Project	36 feet
Category C ²	1.5 square feet of sign area for every 1 lineal foot of the longest business front	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1.5 square feet for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet
Category D ²	24 square feet ⁸	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet
Category E ²	1.5 square feet of sign area for every 1 lineal foot of the longest business front ³	N/A	1 square foot for each 1 lineal foot of business front, not to exceed maximum sum total of the business	1.5 square feet for each 1 lineal foot of business front, not to exceed maximum sum total of the business	36 feet ⁴
Category F ²	18 square feet ⁵	Note 6 and 7	1 square foot for each 1 lineal foot of business front, not to exceed 12 square feet	1 square foot for each 1 lineal foot of business front, not to exceed 12 square feet	18 feet

1. The maximum sum total sign area per business includes the Additional Building Sign Allowances.
2. Refer the Building Sign General Provisions for additional size restrictions.
3. The Development Review Board may approve a Sum Total Sign Area of two (2) square feet of sign area for every one (1) lineal foot of the longest business front as part of the approval of a Master Sign Program for businesses with one (1) business front facing a public street and a second business front facing the interior of a development.
4. The Development Review Board may approve a maximum sign height of 60 feet in the Planned Regional Center (PRC) district as part of the approval of a Master Sign Program.
5. The Sum Total Sign Area of a development project in the Service Residential (S-R) district for wall sign includes any sign area on a free standing sign for the same business.
6. Maximum sum total sign area per development project with a gross floor area less than 40,000 square feet: 72 square feet.
7. Maximum sum total per area per development project with a gross floor area great than or equal to 40,000 square feet: 144 square feet.
8. In the C-0 district, the Development Review Board may approve a Sum Total Sign Area of 1.5 square feet of sign area for every one (1) lineal foot of the longest business front as part of the approval of a Master Sign Program for a building with a gross floor area less of 50,000 square feet, or more.

Sec. 8-503 - Additional Building Sign Allowances

A. The following building sign types are allowed in the districts described in Category C and Category D, above, and the Planned Regional Center (PRC), and Service Residential (S-R) districts:

1. **Suspended Canopy Sign**

a. **Maximum sign area:** Same as the building wall sign area allowed for a business on Table 8-502-A.

i. Maximum building wall sign sum total sign area per business allowed in Table 8-502-A shall include the sign area of a Suspended Canopy Sign.

b. **Placement:** Parallel to the face of the building wall, and shall not project beyond the

a. **Maximum sign area:** four (4) square feet.

i. Shingle signs are not included in the maximum sign area and maximum sum total sign area per business allowed on Table 8-502-A.

i. Sign shall be placed a minimum of six (6) inches from the top, six (6) inches from the bottom, and six (6) inches from the end (not including a circular canopy) of the freestanding canopy fascia.

ii. No part of the sign shall be placed a distance greater than twelve (12) inches from the building wall.

B. The following building sign types are allowed in the Planned Regional Center (PRC) district or any portion of a Planned Community P-C with an underlying zoning district comparable to the Planned Regional Center (PRC) district as part of an approved master sign program:

1. Projecting Signs

a. Maximum sign area: Same as the building wall sign area allowed for a business on Table 8-502.A, not to exceed thirty-six (36) square feet.

c. Placement

i. Unless separated by a structure and not visible from an abutting public street, such signs shall not be placed within one hundred fifty (150) feet from an abutting public street.

d. Maximum Projection: Forty-eight (48) inches from the wall of the building to the outside edge of the sign.

e. Minimum Clearance: Eight (8) feet from the bottom of the sign to the grade or finished surface below the sign.

f. Minimum Separation: Twenty (20) feet between Projecting Signs on the same building wall.

g. Maximum height of sign: Same as allowed for a building wall sign on Table 8-502.A.

2. Standing Canopy Signs

Table 8-502.A, not to exceed thirty-six (36) square feet.

i. Maximum building wall sign sum total sign area per business allowed in Table 8-502.A, shall include the sign area of a Standing Canopy Sign.

b. Placement

i. Parallel to the adjacent building facade.

ii. The front face of the sign shall not project beyond the leading edge of the canopy or lattice.

c. Design Standards

i. The sign shall limited to individual characters.

- b. Placement: Within ten (10) feet of the primary entrance of a tenant suite or dwelling

2. Address Sign

- d. Signs placed above eight (8) feet measured from grade or finished surface may project a maximum of twelve (12) inches from the building wall.

Sec. 8:504 – 8:509: Reserved

Sec. 8:510: – Permanent Freestanding Signs Allowed

B. The following shall apply to all freestanding signs

1. Placement

- a. A freestanding sign shall be placed in a manner so not to interfere with traffic in any way, or to confuse traffic, or to present any traffic hazard.
- b. Signs shall not obstruct the sight distance requirements of the Design Standards and

C. Landscape Requirements

Table 8.511.E. Maximum Number of Businesses or Development Project Identification	
Freestanding Sign type	Maximum number of onsite businesses or development project identified
Column	1
Directory Sign	Not applicable
Drive-Through	Not applicable
Entryway Monument Sign	1
Entryway Wall Sign	1
Gas Station Monument	2
Landscape Wall	1
Mid-size Monument	4
Monument	2
Tower	4
Traffic Directional	Not applicable

1. The provisions of Section 8.4.1.1 shall apply

freestanding subdivision sign allowances of this section.

2. Maximum number of freestanding sign types allowed:
- a. A land division with zero (0) to less than ten (10) gross acres: one (1) sign type per street.
 - b. A land division with greater than or equal to ten (10) gross acres, and less than one hundred (100) acres: two (2) sign types, or two (2) of the same sign type, per street.
 - c. A land division with greater than or equal to one hundred (100) acres: four (4) sign types, a combination of four (4) sign types, or four (4) of the same sign type, per street.

Example 8.512 A. Recorded Land Division Freestanding Sign Quantity

A land division with one hundred fifty (150) acres is allowed four (4) sign types per street. The property owner may choose: 1) one of each of the allowed sign types; 2) four (4) of the same sign type; 3) two (2) of one sign type and two (2) of another sign type; or 4) one (1) sign type and three (3) of another sign type.

Table 8.512 A. Land Division Freestanding Sign Allowances

Sign Types											
Monument Sign			Entryway Wall Sign			Entryway Monument Sign			Landscape Wall Sign		
Maximum Quantity of signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face	Maximum Quantity of Signs	Height	Sum Total Area of Sign per Face
1	5 feet	24 sqft	Note 1	5 feet	24 sqft	1	5 feet	24 sqft	1	Note 2	Note 3

Notes:

1. Maximum quantity of entryway wall signs: One (1) sign on each side of an entry driveway or street into the land division.
2. The maximum height of a Landscape Wall Sign is 5 feet. The Development Review Board may approve a Landscape Wall Sign up to a height equal to seventy-five (75) percent of the total height of the wall that the sign will be placed, not exceed eight (8) feet. No sign shall be placed higher than two (2) feet above the average wall height within 25 feet of either side of the sign.
3. The maximum area of a sign:
 - a. Zero to less than forty (40) gross acres: 24 square feet.
 - b. Greater than or equal to forty (40) gross acres, and less than one hundred (100) acres: 48 square feet.
 - c. Greater than or equal to one hundred (100) acres: 72 square feet.

3. Placement of Entryway Wall and Entryway Monument Signs

- the curb of the driveway or street, or edge of the pavement when a curb is not provided.
- b. Entryway monument signs shall be placed in a landscape median that is between the inbound and outbound vehicular traffic lanes of the entry driveway or private street, or the sign may be placed adjacent to the inbound or outbound vehicular traffic lane.

Sec. 8.513. Freestanding signs for non-residential developments (excluding the R-5 district) and multiple-family developments in residential districts, and O-S.

A. Freestanding signs are allowed:

1. Non-residential development projects with a zoning districts shown on Table 4.100.A Residential Districts, and Open Space (O-S) district, excluding the Multiple Family Residential (R-5), or, any portion of a Planned Community (P-C), or Planned Residential Development (PRD), with an underlying zoning district comparable to the districts shown on Table 4.100.A, and the Open Space (O-S) district, excluding the Multiple Family Residential (R-5), are allowed the freestanding signs are on Table 8.513.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.
2. Multiple family development projects within a zoning districts shown Table 4.100.A Residential Districts, or, any portion of a Planned Community (P-C), or Planned Residential Development (PRD), with an underlying zoning district comparable to the districts shown on Table 4.100.A, are allowed the freestanding signs on Table 8.513.A.
 - a. Maximum number of freestanding sign types per street: one (1) sign type.

Table 8.513.A. Freestanding signs for non-residential developments (excluding the R-5 district) and multiple-family developments in residential districts, and O-S district.

Street Classification	Development project width at the property line abutting the street that the freestanding sign is to be placed adjacent to	Freestanding Sign Types					
		Monument Sign			Landscape Wall Sign		
		Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face
All Classifications	Any width abutting a street	1	5 feet	24 sqft	1	5 feet	24 sqft

Table 8.514.B: Freestanding Sign Allowances for a Non-Residential Uses in a R-5 District														
Gross Floor Area of all Building in a Development Project	Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to	Freestanding Sign Types											
			Lower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
			Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face
Equal to or greater than 30,000 square feet	Arterial	Equal to or greater than 300 feet	1	15 feet	50 sqft	1	18 feet	50 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Equal to or greater than 30,000 square feet	Arterial	Less than 300 feet	0	N/A	N/A	1	18 feet	50 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Less than 30,000 square feet	All Streets	All widths	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A=Not Allowed														

Table 8.514-B.4

a. Maximum number of free standing sign types per street: one (1) sign type

Table 8.516.B.1: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Less than 30,000 Square Feet						
Street Classification	Development project width at the street	Freestanding Sign Types				
		Monument Sign			Landscape Wall Sign	
		Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Sum Total Area of Sign per Face
All Classifications	Any width abutting a street	1	5 feet	24 sqft	1	24 sqft

Table 8.516.B.2: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to or Greater than 30,000 Square Feet and Less than 60,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
		Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of Signs Per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to or greater than 300 feet	1	15 feet	250 sqft	2	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to or greater than 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	8 feet	24 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district or Table 4.100.A	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A = Not allowed													

Table 8.515.B.3: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to or Greater than 60,000 Square Feet and Less than 100,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Wall Sign		
		Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to or greater than 300 feet	1	20 feet	75 sqft	2	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to or greater than 300 feet	0	N/A	N/A	1	8 feet	30 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	24 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district (Table 4.100.A)	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A = Not Allowed													

Table 8.515.B.4: Freestanding Sign Allowances for a Development Project with a Gross Floor Area Equal to or Greater than 100,000 Square Feet													
Street Classification	Development project width at the street line abutting the street that the freestanding sign is to be placed adjacent to	Freestanding Sign Types											
		Tower Sign			Mid-Size Monument Sign			Monument Sign			Landscape Monument Sign		
		Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face	Quantity of signs Per Street	Height	Sum Total Area of Sign per Face
Arterial or Collector	Equal to or greater than 300 feet	1	25 feet	120 sqft	2	12 feet	60 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Arterial or Collector	Less than 300 feet	0	N/A	N/A	1	12 feet	60 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Equal to or greater than 300 feet	0	N/A	N/A	1	10 feet	40 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Less than 300 feet	0	N/A	N/A	1	6 feet	32 sqft	1	5 feet	24 sqft	1	5 feet	24 sqft
Unclassified	Any width abutting a residential district (Table 4.100.A)	0	N/A	N/A	0	N/A	N/A	1	5 feet	24 sqft	1	5 feet	24 sqft
N/A = Not Allowed													

Sec. 8.516. – Additional freestanding sign allowances.

A. Entryway Signs

1. Entryway signs are allowed in:

- a. Multiple family developments with a zoning district shown on Table 4.100.A Residential Districts, or, any portion of a Planned Community (P-C) with an underlying zoning district comparable to the districts shown on Table 4.100.A.
- b. Non-residential developments with Resort/Townhouse Residential (R-4R) zoning and Multiple-family Residential (R-5) zoning, or, any portion of a Planned Community (P-C) or Planned Residential Development (PRD) zoning, with an underlying zoning district comparable to the Resort/Townhouse Residential (R-4R) and Multiple-family Residential (R-5) districts.

3. Maximum Quantity:

- a. One (1) entryway wall sign on each side of an entry driveway, or
- b. One (1) entryway monument sign.

4. Placement:

- a. Entryway wall signs shall be placed on one, or both sides, of the entry driveway or street into the development project, and within twenty-five (25) feet from the back of the curb of the driveway or street, or edge of the pavement when a curb is not provided.
- b. Entryway monument signs shall be placed in a landscape median that is between the inbound and outbound vehicular traffic lanes of the entry driveway or private street, or the sign may be placed adjacent to the inbound or outbound vehicular traffic lane.

5. Maximum Height: Five (5) feet.

- a. Exception: The Development Review Board may approve an entryway wall sign up to a height equal to seventy-five (75) percent of the total height of the wall that the sign will be placed, not exceed eight (8) feet. No sign shall be placed higher than two (2) feet above the average wall height within 25 feet of either side of the sign.

6. Maximum Area: Twenty-four (24) square feet.

7. Maximum sum total sign area: Forty-eight (48) square feet.

B. Gas Station Monument Signs

1. Gas Station development projects or development sites are allowed a Gas Station Monument Sign in lieu of the development's freestanding sign allowed in a Section 8.515.

2. Maximum Quantity: one (1) sign per street.

3. Maximum Height: Five (5) square feet.

4. Maximum Area: Thirty (30) square feet.

5. Maximum Fuel Change Panel Area: one-half of the area of the sign may be Fuel Change Panels to display fuel prices in accordance with Arizona Administrative Code.

C. Drive-Through Signs

1. Drive-thru signs are allowed in zoning district shown on Table 4.100.B Commercial Districts, 4.100.C Industrial Districts, and 4.100.D Mixed Use Districts, not including the Downtown or Downtown Overlay districts, or any portion of a Planned Community P-C with an underlying

zoning district comparable to the districts shown on 4.100.B, 4.100.C, and 4.100.D, not

3. Maximum number of signs for each drive aisle internal to a development project, subject to Development Review Board approval.

3. Maximum height of sign: three (3) feet.

4. Placement:

- a. Adjacent to a street and driveway intersection: Within fifty (50) feet from the back of the curb of the driveway, or the edge of the pavement when a curb is not provided; and
- b. Within a development project. Locations shall be approved by the Development Review Board.

5. Maximum area of sign:

- a. Driveway and drive aisle accessing one (1) lot: four (4) square feet.
- b. Driveway and drive aisle accessing two (2) or more lots: eight (8) square feet.

F. Column Signs

1. Freestanding Column Signs are allowed in development projects that:

- a. Are zoned Planned Regional Center (PRC), or any portion of a Planned Community P-C with an underlying zoning district comparable to Planned Regional Center (PRC) zoning; and
- b. Have a gross floor area equal to, or greater than, 100,000 square feet.

3. Quantity of signs: One (1) freestanding column sign may be utilized in lieu of one of the freestanding sign types allowed in Table 8.514.A.4.

3. Maximum Height: twenty-five (25) square feet.

4. Maximum diameter or width: six (6) feet.

5. Placement:

- a. Signs shall be placed adjacent to an arterial or collector street with a development project street line width equal to, or greater than, 300 feet.

6. Maximum Area: one hundred fifty (150) square feet.

G. Perimeter site wall signs

1. Perimeter site wall signs are allowed in zoning districts shown on Table 4.100.B: Commercial Districts, 4.100.C: Industrial Districts, and 4.100.D: Mixed Use Districts, Western Theme Park (W-P), and Special Campus (S-C) zoning; or any portion of a Planned Community P-C with an underlying zoning district comparable to the districts shown on Tables 4.100.B, 4.100.C, and 4.100.D, and Western Theme Park (W-P), and Special Campus (S-C) zoning.

2. The Development Review Board may approve a master sign program that includes relocating a portion of the allowed sum total sign area for a business to be located on a development project's perimeter site wall, upon finding that the sign placement improves visibility, limits the proliferation and clutter of signage adjacent to a street, maintains the surrounding character, and achieves a higher quality of sign placement and design.

3. Maximum Quantity per onsite business: one (1) sign.

4. Maximum Area: ten (10) square feet.

5. Sum total area of all perimeter site wall signs: (1) square foot for each one thousand (1,000) square feet of gross floor area of a development project.

Confidential

Sign Ordinance Update – Permanent Signs
Case# 1-TA-2017
Citywide

Citizen Review Plan and Report
June 2017

Citizen Review Plan

The key proposal of this text amendment is to update the Sign Requirements of the Zoning Ordinance for the purposes of amending and updating the sign regulations for permanent signs, related provisions, and requirements. This effort will review and update: permanent sign regulations that are confusing and out-of-date; re-format the existing ordinance; remove sign requirements that are based on the specific land use; regulate permanent sign types based on zoning district, street classification, street frontage length and development size; eliminate conflicting requirements and ambiguity; maintain the integrity of the current ordinance; and establish a more user-friendly and contemporary Sign Ordinance.

A minimum of two open house meetings will be held for input and discussion of the proposed modifications. The community will be made aware of the open house meetings through an eighth page newspaper advertisement, Scottsdale subscriber e-mail, internet postings, and postcard mailings. The internet will be updated periodically as new documents and draft ordinances are prepared and provided to the community. Individuals on record with the Planning and Development Services Department Interested Parties List will be notified. Email notifications to 130 recipients of local sign companies and stakeholders will be notified. At the open house meetings, the proposed draft ordinance will be provided for input and comment.

Citizen Review Report

Open House Meetings and Community Input

Two open house meetings were held on April 4, 2017, at the Via Linda Senior Center, and April 5, 2017, at the City of Scottsdale One Civic Center. An eighth page advertisement was published in the Arizona Republic Scottsdale Section, and information was published on the City's website to advertise the community of the open house meetings. Individuals on record with the Planning and Development Services Department Interested Parties List were notified, and email notifications were sent to 130 recipients of local sign companies, Scottsdale residents, and stakeholders inviting them to the open house meetings. In-addition, requests for comment and input were sent to the Arizona Sign Association (ASA), the International Sign Association (ISA), and the Scottsdale Area Chamber of Commerce.

At the community open house meetings, the draft ordinance was provided to the public for comment, and made available on the City's website. A summary of the open house meetings:

April 4, 2017 – Open House Meeting #1

8 attendees attended this meeting.

Comments and suggestions received from April 4th attendees:

- The current ordinance allows the Development Review Board to approve a Community Sign District and Comprehensive Sign Program with a 20% increase in sum total sign area, individual sign area, and sign height requirements. A suggestion was provided to incorporate the ability for the City Council to approve a Community Sign District and allow an increase beyond the 20% bonuses for sum total sign area, individual sign area, and sign height.

- Address signs in the Scenic Corridor to remove ambiguity, tighten restrictions, and allow traffic directional signs in Scenic Corridors.

April 5, 2017 – Open House Meeting #2

8 attendees attended this meeting.

Comments and suggestions received from April 5th attendees:

- Increase the number of business or development identification on a monument sign from one (1) to at least two (2) to help identify onsite businesses for a development project with less than 30,000 square feet of total gross floor area.
- Continue to prohibit visible raceways for individual letters on building wall signs, but provide flexibility for screened or concealed raceways by a sign cabinet or a sign panel.
- There is no incentive for an owner to create a master sign program under the existing ordinance, other than to regulate sign placement and sign design. Comments provided suggested inclusion of requirements on when a master sign program is required, and provide more incentives for a property owner to produce a master sign program.
- Incorporate sign requirements to regulate signs in the scenic corridor in the boundary between Environmentally Sensitive Lands (ESL) and non-Environmentally Sensitive Lands.
- The City should consider analyzing and updating the scenic corridor sign requirements at a future text amendment, and consider allowing flexibility.

Correspondences

Staff has received five (5) emails and one (1) phone call regarding the proposed amendment, as of the writing of this report. The email correspondences are included in Attachment A. The email comments include: 1) support of the proposed amendment and removing contradicting and inconsistent sign requirements, 2) support of the proposed amendment with suggestions on providing more flexible sign requirements, 3) provide additional sign flexibility and increase sign bonuses for Community Sign Districts and Master Sign Programs, 4) update the Scenic Corridor sign requirements to provide some additional flexibility, and 5) and update the Scenic Corridor sign requirements to clarify and refine the existing text and requirements. The phone call was from a resident seeking details on the proposed amendment, and to obtain additional information regarding the community open house meetings.

Stakeholder & Resident Meetings

Staff met with several stakeholders and residents on separate occasions to seek additional input and comments regarding the proposed amendment and correspondence from these meetings are included in Attachment A:

- May 1, 2017: Meeting with Arizona Sign Association (ASA) and International Sign Association (ISA) representatives. At the meeting, staff went over the details of the proposed amendment, and the positive effects the amendment would be for businesses. Additional comments include requesting staff to update the Scenic Corridor sign requirements, and provide additional flexibility and incentives for Community Sign Districts and Master Sign Programs.
- May 3, 2017: Presentation at the Scottsdale Area Chamber of Commerce Downtown Committee meeting. At the meeting, staff presented the proposed amendment, and the positive effects the amendment would be for Downtown businesses. Comments from the committee were positive,

with questions from committee members pertaining to temporary Window Sign and Portable Signs allowances and requirements.

- May 5, 2017: Meeting with Scottsdale Residents. Staff met with several Scottsdale residents to discuss the proposed amendment. The comments were supportive of the amendment to simplify, clarify and organize sign requirements, and to make it more understandable and equitable. Additional comments include requesting Staff to consider reviewing and updating the requirements pertaining to Scenic Corridor signs at a future text amendment.

As of the writing of this report, there are two planned meetings with stakeholders to advertise and market the proposed changes to the permanent sign requirements:

- June 13, 2017: Presentation at the Scottsdale Area Chamber of Commerce Economic Development Advisory Council Meeting.
- June 20, 2017: Presentation at the Scottsdale Area Chamber of Commerce Public Policy Advisory Council Meeting.

Staff has also reached out to the International Council of Shopping Centers (ICSC) – Western Division Ambassador for Arizona, to advertise the proposed changes to the Sign Ordinance, since the proposed text amendment would allow additional permanent sign allowances and flexibility for commercial developments and businesses.

Responses to Community Involvement

As it pertains to comments and input received, in this current amendment, the proposed ordinance incorporates two comments from the open house meetings: increase the number of on-site business or development identification on a Monument Sign from one (1) to at least two (2) to help identify on-site businesses for a development with less than 30,000 square feet of total gross floor area; and incorporate language to conceal raceways by a sign cabinet or sign panel.

The proposed amendments to the Sign Ordinance are planned to be completed in several phases. This phase of the ordinance update addresses the elimination of sign regulations based on the specified use. Based on additional comments and desires received from the community, a future text amendment phase may address comments pertaining to updating the requirements for Community Sign Districts and Master Sign Programs, and updating the Scenic Corridor sign requirements.

ATTACHMENTS

- A. Correspondences
- B. Open House Invite List
- C. Open House Eighth Page Newspaper Advertisement
- D. Open House Email Distribution List
- E. Open House Invite Email
- F. Open House Postcard Mailing to Interested Parties
- G. Planning & Development Services Interested Parties List
- H. Open House Sign-In Sheets and Comment Card

Attachments B – H are on file and available at the Planning and Development Services, Records office.

Chi, Andrew

From: Robert Vandenberg <rvandenberg@fluoresco.com>
Sent: Monday, April 03, 2017 2:52 PM
To: Chi, Andrew
Subject: Open House on Code Revision (1-TA-2017)

Categories: Correspondence

Hi Andrew,

Since the next two nights are for community input on code revision, I may pass.

For my part, I find the majority of the current code is very clear, and you & your staff are very patient to explain the intent when it is not.

Seems to me you have already identified the contradictory areas, and if I know you, plans are already afoot to address them.

Thanks for all your prompt attention to my projects.

I look forward to reviewing a draft of the revisions you decide on.

Robert J Vandenberg
Project Manager



Fluoresco Services, LLC.
An Everbrite Company

Phoenix Branch
4048 E. Superior Avenue
Phoenix, AZ 85040
602-276-0600
www.fluoresco.com

**ATTACHMENT A
OF
ATTACHMENT 3**

Chi, Andrew

From: Brad Beller <brad@image360scottsdale.com>
Sent: Wednesday, April 05, 2017 4:10 PM
To: Chi, Andrew
Subject: Open House Comments 1-TA-2017

Categories: Correspondence

Thank you Andrew.

Regarding the meeting –

Very informative as to the ‘why’s’. A couple of thoughts....

1. What about the airpark directional signs? Any thoughts to putting that in the ordinance, or is that not necessary.
2. Any restrictions as to the number of signs per business?
3. I love the idea of 1-page MSP's.....
4. That can be accessed from the maps site.

Ok, I had to get the last two in writing (for the record). I will give it some additional thought.

Thank you.

Please note that I am usually out of the office until late afternoon. If you need immediate assistance AND a faster response, please call (480) 368-SIGN (7446) and ask for Kelsey or Sheri.

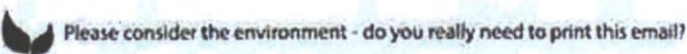
Brad Beller, Owner



Graphics that **enhance**,
Signage that **works**,
Displays that **inform**.

8230 E. Raintree Dr. Suite 101 Scottsdale, AZ 85260
480.368.7446(SIGN) Fax: 480.368.7454
Image360Scottsdale.com

2014 Scottsdale Area Chamber of Commerce Sterling Award Winner
2015 AFB "Best of the Best" Award Winner



Please consider the environment - do you really need to print this email?

.....Internet Email Confidentiality.....

The contents of this e-mail and any attachments are intended solely for the use of the named addressee(s) and may contain confidential and/or private information. Any unauthorized use, copying, disclosure, or distribution of the contents of this e-mail is strictly prohibited by the sender and may be unlawful. If you are not the intended recipient, please notify the sender immediately and delete this e-mail.

From: Chi, Andrew [<mailto:AChi@Scottsdaleaz.gov>]
Sent: Wednesday, April 5, 2017 11:32 AM

To: Brad Beller <brad@image360scottsdale.com>

Subject: RE: 8765 E. Bell Road - Desert Fairways

Hi Brad,

Thanks for attending the open house yesterday – we appreciate your participation and I look forward to any comments and input you have.

Regarding Desert Fairways II & III:

Attached are two email chains between me and Kathy Rosko regarding Desert Fairways II & II. Also attached is the current master sign program for Desert Fairways II & III. Go ahead and read thru the MSP and you'll notice it goes back almost 10 years.

In the email attachment, you'll notice I provided Kathy a list of what to submit for the pre-application. Let me know what will the next step is.

Thanks!

Andrew Chi, Planner

City of Scottsdale | Planning & Development Department
7447 East Indian School Road, Suite 105 Scottsdale, Arizona 85251

[Direct] 480.312.7828

[Email] achi@scottsdaleaz.gov

[Web] www.scottsdaleaz.gov/codes

Chi, Andrew

From: Kurt A. Jones <kajones@tblaw.com>
Sent: Thursday, April 20, 2017 9:46 AM
To: Chi, Andrew; Symer, Daniel
Subject: City Sign Ordinance Update 1-TA-2017
Attachments: Review of City of Scottsdale Sign Ord Update.pdf

Categories: Correspondence

Guys, here are our comments regarding the City's proposed sign ordinance update. Let me know if you have any questions.
Kurt

Kurt A. Jones, AICP | Senior Planner | 602.452.2729



Seventh Floor Camelback Esplanade II | 2525 E Camelback Road | Phoenix, AZ 85016
C 480.225.8937 | P 602.255.6000 | F 602.255.0103

Offices: Arizona | California | Nevada



**TIFFANY
& BOSCO**
P.A.

April 19, 2017

Mr. Andrew Chi and Mr. Daniel Symer
City of Scottsdale Planning & Development Department
7447 E. Indian School Rd.
Scottsdale, AZ 85251

RE: 1-TA-2017 – Sign Ordinance Update – Comments

Dear Mr. Chi and Mr. Symer:

We represent several businesses within the City of Scottsdale ("City"). The following are our comments regarding the proposed update to the City's sign ordinance (1-TA-2017):

Page 1:

No Comments

Page 2:

Definition of 'Business Frontage' does not benefit small storefronts that don't typically land their names on a pylon/mid-size monument sign along the street for consumers to see their signage. Flexibility is necessary, at a staff level, to allow for sign location alternatives as well as sign size alternatives for small business with small building frontage.

Page 3:

Community Sign District definition. The change mentions 'property owners' can organize a community sign district. If the property is owned by one owner can they still form a community sign district?

Page 4:

Entryway monument sign. What is the difference between an entryway monument sign and a 'monument sign' defined on page 5 of the sign ordinance update?

Page 5:

Monument sign. What is the difference between a monument sign and an 'entryway monument sign' defined on page 4 of the sign ordinance update?

Can you have a monument sign, entryway monument sign and a landscape sign all at the same entrance to a development project?

Page 6:

No comment

Page 7:

Suspended Canopy Sign. This is a positive change to the sign ordinance. However, see comments on page 13 on sign placement and size.

Sum total sign area. The definition states that the aggregate area of all building signs “may include the area of a freestanding sign.” Who makes that decision on when it ‘may’ be counted toward the sum total sign area? I think this should be better defined so as not to allow subjective decisions. Although I like that it is flexible, how is it going to be uniformly applied?

Page 8:

Traffic directional sign. At one of the sign ordinance open houses, a business operator, located in North Scottsdale in the ESL districts, stated that the City may benefit from having off-site traffic directional signs similar to DC Ranch’s directional signs. This should be researched and enhanced for projects that area required to have scenic corridors. Scenic corridors are great ideas for the traveling public, but bad for any business trying to provide goods and services to the public in that area. Typically, their businesses and access driveways to those businesses are screened by the extremely large depth of the scenic corridor. Plus the fact that signage in the scenic corridor is limited, the below types of directional signage shall be studied to provide non-offensive and quality signage in the scenic corridor.



Section 8.301, B. allows for the DRB to “render a decision for sign code exception requests.” The exceptions relate to ‘design’ and ‘placement on the building.’ This is a good start for allowing the DRB to consider signage ‘exceptions.’ This section should be vetted a bit more to allow the DRB to allow many signage exceptions if the proposal demonstrates signage quality,

design and unique location alternatives. In order to ensure the exceptions are not considered variances, this section should list a percentage allowed for exceptions or other set criteria to allow businesses to propose exceptions that can be approved by the DRB. Criteria can be in the form of expanded notice provisions to surrounding neighbors, standard vs. exceptional quality thresholds, etc.

Section 8.302 II. A 3 a. allows for a Community Sign District for commercial and industrial developments with at least 300,000 square feet. This penalizes smaller centers with no signage flexibility. I don't believe there should be a threshold. This is punitive and provides for favoritism to larger centers. This could be construed as allowing flexibility for only certain sized developments and not providing the same first amendment rights of each and every sized center.

Page 9:

Section 8.302 II. A 3.d. and e. – same comment as above. Big centers receive an advantage while smaller centers have no option for flexibility.

Section 8.302 II. A 3 f. There is at least one property zoned with a PCD designation and have amended sign standards via the provisions of the PCD that allow for amended development standards. Since this was a City Council action, the sign ordinance update should create a vehicle/provision that allows applicants to process a legislative request to amend the sign standards. Currently, the City of Phoenix and the Salt River Pima Maricopa Indian Community are allowing large and video signage along their freeway that does not allow businesses in Scottsdale to compete. I am not advocating for humungous signage out of character with Scottsdale's standards. What I am advocating for is a process whereby exceptional signage and exceptional design could be proposed and the City leaders (Mayor and City Council) could vote to allow it.

Consider greater percentage increase for Community Sign Districts (currently 20%). Provide criteria for greater than a 20% increase, such as enhanced design, signage materials, or maybe a decrease in some signage area on freestanding signs for more signage on buildings or vice versa.

Page 10:

Sec. 8.418 Permanent Window Signs. 2 square feet is unrealistic. Flexibility should be figured into this provision for larger, more design oriented signage. Enforcement of this provision is unrealistic.

Sec. 8.501 B.1. "No part of a building sign shall extend above a roof line." This regulation does not assist businesses in back buildings in commercial developments. Nor does it assist buildings with freeway frontage but located behind buildings directly on the freeway. There should be some design criteria and allowances that enable the DRB the ability to make a decision on whether a sign above the roof line is acceptable. At a minimum, the requirement to screen all

mechanical equipment on the roof by a parapet, etc. would be considered above the roofline. This parapet should be considered an available space for signage if quality and exceptional signage can be approved by the DRB for visibility purposes.

Sec. 8.501 B.2. states that a building sign shall be placed on a wall of the business the sign identifies. What about that building internal to a development project that allows for no visibility to the traveling public because the buildings along the street block views to the signs from the public right-of way. Why can't the DRB approve of a building sign on the building that fronts the public right-of-way by removing the allowance to put signage or reduced signage on the building where the actual business is? This type of flexibility can be drafted into a community sign district or master sign program.

Page 11:

Section 8.502 A. Placement. This section states that a sign can be placed no greater than 12" from the building wall. Signs and sign manufacturers continue to create unique and creative signs. This ordinance requirement is restrictive. Again, potentially provide and process by which the DRB can approve of alternatives to this requirement if quality and exceptional signage is proposed by an applicant.

Page 12:

Category E. Note #4 allows for the DRB to allow for greater height of signage up to 60 feet in PRC zoning districts. However, there are some PCD's with comparable PRC zoning that allow for building heights above 60' (One Scottsdale, Scottsdale Quarter, etc.). An asterisk or caveat needs to be added to this section that states..."signage may be placed per the allowed building height of the zoning district or approved amended height standard"

This table creates some flexibility for the DRB to grant and additional square footage to the overall sign size up to 2 square feet of sign area for every one foot of linear. This allowance includes a MSP requirement and other criteria. The DRB should be able to grant additional flexibility up to the 2 sq. feet maximum if the applicant's MSP demonstrates exceptional signage design and overall development quality.

Maybe add verbiage in notes or somewhere in this table that speaks to signage internal to commercial/mixed-use developments. "Signage internal to the site that is not visible from off-site or public right-of-way shall not be considered in the maximum sum total sign area calculations. The applicant shall demonstrate that the sign is not visible from off-site or public right-of-way."

Mixed-use districts typically provide for a development design whereby several uses share one buildings linear frontage. In order for each of the businesses to have adequate signage, consider allowing each business to utilize the one foot of linear street frontage along the public right-of-

way or along a private internal street within the development project or some increase in signage area if a MSP with exceptional design and quality is demonstrated by the applicant.

Page 13:

Section 8.503.A.2. allows for canopy fascia signage but the signage cannot be placed above or below fascia. Again, allow the DRB to permit flexibility on location of signage on canopy fascia if exceptional design and quality is demonstrated by applicants within a MSP.

Page 14:

Section 8.503.B.1. & 2. Allow for projecting signs and standing canopy signs at a maximum of 36 square feet. PRC districts are typically large development projects. Allow DRB to increase size of sign for exceptional design and quality is demonstrated by applicants within a MSP.

Section 8.503.B.1.g. and B.2.d. allows for height of signs as permitted in Table 8.502.A. This table allows height of signs at a max. height of 60 feet. This should reference a corrected table that allows for height per the zoning district (some PRC PCD's allow for 90 feet in height, i.e. Scottsdale Quarter, One Scottsdale, etc.) which may be higher than 60 feet.

Page 15:

Section 8.511 Freestanding Sign General Provisions. Allows for the signs to be placed closer than 15' from the back of curb. Who makes this decision? Staff, Planning Director, DRB? Suggest that this is a staff review and approval with enhanced landscaping if closer to street.

Page 16:

Table 8.511.E should allow for up to 2 signs on entryway monument, entryway wall, landscape wall and monument signs, if exceptional design and quality is demonstrated by applicants within a MSP.

Section 8.511 G. Scenic Corridor. This provision refers to the existing scenic corridor sign ordinance. The scenic corridor sign ordinance should be included within this update for potential enhancements and updating a scenic corridor ordinance that was drafted and by a private party and approved by the City Council over 10 years ago. The City should take ownership and provide for potential modifications or allow input from the public with this sign ordinance overhaul.

Page 17:

Table 8.512.A Freestanding Subdivision Sign Allowances. Within this table, Note 2 allows the DRB to approve greater heights to landscape wall signs. This type of flexibility should be allowed with many of the sign ordinance requirements including signage size totals, location and placement and other flexible alternatives.

Page 18:

No comments

Page 19:

No comments

Page 20:

Section 8.515 B. delineates signage based on the size of non-residential centers. This size characteristic is a carry-over from the previous sign ordinance. This means smaller centers receive less signage size and other requirements. This places smaller centers at a disadvantage. Further analysis is necessary to determine why the sign ordinance update still needs to distinguish between the different sizes of the non-residential development projects.

Page 21:

Tables 8.515 B.1. and B.2 again provides different requirements because centers have different amounts of non-residential square footage. The smaller the center, the less competitive the center will be because of the restrictive sign requirements. Larger centers benefit greatly with this outdated methodology. Maybe a discussion with stakeholders is needed to determine if this is the best method and determine if other communities handle this 'size of center' in the same manner.

Provide DRB flexibility with signage sign and locations for exceptional design and quality is demonstrated by applicants within a MSP.

Page 22:

Same comments as Page 21.

Page 23:

No comments

Page 24:

E.3. Allows the DRB to determine the number of Traffic Directional Signs internal to a development project. Again, the DRB should be granted more flexibility when exceptional design and quality is demonstrated by applicants within a MSP on all types of signage.

Page 25:

F.3. Column signs. This section allows for column signs up to 25' in height. There are some unique properties in Scottsdale along the Loop 101 freeway. A 25' high column sign or any

other freestanding signs will not be visible, readable or effective for developments along the Loop 101. This is an extreme disadvantage compared to the signage allowed in the growing Salt River Pima Maricopa Indian Community to the south and within Phoenix to the west. These communities have benefitted from flexible sign standards to assist the businesses along the freeway. I am not suggesting the extremes of digital video displays, but there should be some flexibility afforded to mixed-use and other non-residential businesses and development projects adjacent to Scottsdale's only freeway frontage and were developed to take advantage of the freeway's proximity. Again, superior design and quality could be the threshold that is determined by the City Council or in concert with a DRB recommendation.

Page 26:

No Comments

General Comments:

Signs on buildings where there is another building in front of it effectively blocking the view from the traveling public/customers from the right-of-way. There should be some sort of variance or DRB alternative available to these businesses such as allowing their building signage on the building along the street with minimal signage then allowed for their actual building.

Signs on roofs. There is no signage allowed on roofs. Roof signage, again for exceptional design and quality is demonstrated by applicants within a MSP, could be allowed by the DRB. This may be helpful for the properties along the freeway.

Signs on parking structures in mixed-use districts. If several businesses share a common parking structure, can signage be placed on the parking structure in lieu of building signage? As mixed-use zoning districts become more prevalent, the City should consider these signage alternatives as options to building signage.

Signs in the scenic corridor should be updated with this overall sign ordinance update. Businesses in Scottsdale with a scenic corridor struggle to attract the attention of the traveling public because of the large setback and landscape corridor filled with native trees that grow to the height (18-25 feet) of most business and block the signs.

Please let me know if you have any questions regarding our comments. I'd be happy to sit down with staff and go through the comments if necessary.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kurt Jones', with a stylized, cursive script.

Kurt Jones, AICP

Chi, Andrew

From: James Carpentier <James.Carpentier@signs.org>
Sent: Wednesday, May 03, 2017 1:58 PM
To: Chi, Andrew
Cc: Patricia King; David Hickey
Subject: Follow up to our meeting
Attachments: ASA ISA letter on Permanent Sign Draft Scottsdale.pdf

Categories: Correspondence

Hello Andrew,

Thanks you for spending the time to meet with Patti and I. As a follow up to our meeting, I have attached a letter and a model code referenced in the letter, with our recommendations.

Let us know if you have any questions.

Thanks again!

James B Carpentier AICP
Director State & Local Government Affairs

1001 N. Fairfax Street, Suite 301
Alexandria, VA 22314
(480) 773-3756 Cell
www.signs.org | www.signexpo.org
james.carpentier@signs.org





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May 3, 2017

Andrew Chi, Planner

Re: Arizona Sign Association/International Sign Association recommendations in regards to the Draft 1-TA-2017 – SIGN ORDINANCE UPDATE – PERMANENT SIGNS DRAFT - 04/18/2017

Dear Mr. Chi:

I am contacting you on behalf of the Arizona Sign Association (ASA) and the International Sign Association (ISA). Both associations work with jurisdictions to assist in the creation of beneficial and enforceable sign regulations.

We appreciate the opportunity to provide comments on the aforementioned draft of the sign code. The following are our recommendations for the permanent sign regulations in the City of Scottsdale:

General Comments

1. We recommend that language be included that states the code will be administered without regard to content of the sign.
2. We recommend that a detailed purpose be included in the sign code, with reference to compliance with the first amendment and to enhance and support commerce and wayfinding in the city.

Sec. 8.200. - Definitions.

Area of Sign

We recommend that multiple geometric shapes be utilized as suggested in the attached model code, rather than a single geometric shape. This will encourage creativity since creative designs will not be penalized. See the attached model code, *A Framework for On-Premise Sign Regulations*, pgs. 26-28.

Directory Sign

Consider naming a directory sign by sign type rather than category so as to be content neutral.

Sec. 8.302. - Sign programs

We recommend that the Master Sign Program requirements be codified into the code for ease of administration by staff and for applicant.

II. Community sign district

3 a. We recommend that the threshold of 15 acres and 300,000 square footage be reduced so as to support additional projects, redevelopment and infill projects.

4 a. We recommend that additional sign area and height greater than 20% be considered.

Sec. 8.500. – Permanent Building Signs Allowed. F.

Some structures will not accommodate wall signs without a raceway. We recommend that raceways be allowed or at a minimum where raceways are not feasible due to design of a building that they be allowed for those types of structures. The city could require that the design of the raceway be integrated into the sign design with a panel behind the entire



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letter set or the raceway located on the bottom of the letters with colors to compliment the structure. Images of examples would be of assistance.

Sec. 8.510. – Permanent Freestanding Signs Allowed

Table 8.511.E. Maximum Number of Businesses or Development Project Identification

We recommend 4 number of business of development project identification rather than 2 for monument signs. We also recommend that reference to the sign content such of Business and Development Project Identification be removed.

Additional sign area should be considered for a tower sign and both monument signs. A 5' monument sign can be nonfunctional due to lack of visibility and legibility based on the ROW, landscaping, speed limits and traffic counts, additional height should be considered. This comment applies to all monument signs at 5' (for 30,000 sq. ft. businesses). Street Graphics and the law recommends that sign copy be located no lower than 6' to 7' below grade due to traffic and landscaping that can obstruct the view of the sign. A 24 sq. ft. sign area is very small (a properly designed sign will have 40% copy and 60% non-copy, as stated in Street Graphics and the LAW, which leaves an actual sign copy area of around 10 square feet) and may not be safely viewed by intended viewers depending on ROW and Speed limits.

We recommend that the number of freestanding signs be allocated not by square footage but by a ratio such as one per every 300' of frontage. This will accommodate larger parcels and always be at the ratio that will fit in with Scottsdale.

Sec. 8.516. – Additional freestanding sign allowances, B. Gas Station Monument Signs

Requirements for a specific use such as Gas Station Monument Signs is content regulation, therefore we suggest that signs be regulated by district or sign type, not a specific use.

Scenic Corridor/ESLO Requirements

We recommend that the scenic corridor/ESLO sign standards be revisited by city staff. The existing requirements are such that the signs that have been approved in most of these areas are not functional since they cannot be detected and read by the intended viewers. This is due to the traffic counts, right-of-way width and speed limits. Also consideration should be given to the approval process so that is still allows for public input but is streamlined.

We truly appreciate your consideration of our recommendations. Do not hesitate to contact me with any questions.

Sincerely,

A handwritten signature in black ink that reads "James Carpentier".

James Carpentier AICP
Director State & Local Government Affairs

Chi, Andrew

From: Cindy Lee <cindy4scenicdrive@gmail.com>
Sent: Monday, May 08, 2017 10:16 AM
To: Chi, Andrew
Cc: Les Conklin; ginger480@msn.com; WildAtHeartInc; klpcs@cox.net; Maxine Rosenberg; f8u4doc@hotmail.com; gconstant@hotmail.com
Subject: Sign Ordinance Update - Permanent Signs 1-TA-2017
Categories: Correspondence

Hi Andrew,

Having attended one of the City's Open House meetings on the Sign Ordinance Update - Permanent Signs, I applaud the work you and City staff have done to invite public input and participation in shaping the text amendment to the Zoning Ordinance, with the results being presented this month to the Planning Commission for 1-TA-2017.

The meetings were so helpful to citizens in educating on terminology and on the intricacies and considerations of the sign regulations. More than one Scottsdale homeowner remarked, *"I never knew signage could be that complicated until I picked up the package at the meeting."*

The open house meetings were very productive in bringing together residents, city staff, sign company and business representatives to discuss the needs and desires of different elements of our community in Scottsdale. That was a valuable education for all attending. It provided an opportunity for civil dialogue and better understanding.

From the standpoint of Scottsdale citizens, we, the undersigned, support the City's unwavering commitment to *Consistency with the General Plan, as amended* under "Key Items for Consideration." Quoting from your 02/22/17 Report:

Planning Commission Report | Sign Ordinance Update 38-PA-2017 Request to Initiate Permanent Signs Text Amendment

http://eservices.scottsdaleaz.gov/planning/projectsummary/unrelated_documents/38-PA-2017_Sign%20Ordinance%20Update.pdf

APPLICANTS PROPOSAL (Page 2 of the Staff Report)

.... *"The intent of the proposed Zoning Ordinance text amendment is to update the existing sign regulations with contemporary provisions that will maintain the community's desire outlined in the General Plan's goals and approaches for strong sign control, a high quality physical environment, an aesthetically attractive community to live and do business in, and to establish a more user-friendly and contemporary Zoning Ordinance.*

"The modifications that will be proposed with this text amendment should enhance and maintain the City's character and aesthetics, and be more reliable and useable for businesses. With the implementation of the proposed text amendment, all properties throughout the City would be subject to the updated sign requirements."

We Scottsdale citizens and members of GPPA's Board of Directors thank you for all the admirable work being done to simplify, clarify and organize the Sign Ordinance, to make it more understandable and equitable for all.

After the required text amendments for temporary and permanent signs are addressed, we ask the City to review Section 8.411 of the sign ordinance relating to the Scenic Corridor. We look forward to participating again in the open process with community input to clarify and refine the existing text. Simplifying the existing text and how it applies, perhaps as a table, will help businesses and citizens better understand the Scenic Corridor sign requirements.

Yours sincerely,

Board of Directors, The Greater Pinnacle Peak Association - Friends of the Scenic Drive (GPPA)
Les Conklin, President
Cindy Lee, Vice President
Ginger Schoenau
Bob Fox
Ken Lew
Maxine Rosenberg
Don Doherty
George Constantinou



**SCOTTSDALE PLANNING COMMISSION
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

WEDNESDAY, MAY 24, 2017

***DRAFT SUMMARIZED MEETING MINUTES ***

PRESENT: Paul Alessio, Chair
David Brantner, Vice Chair
Matt Cody, Commissioner
Larry S. Kush, Commissioner
Prescott Smith, Commissioner
Ali Fakih, Commissioner

ABSENT: Michael J. Minnaugh, Commissioner

STAFF: Tim Curtis
Joe Padilla
Lorraine Castro
Alex Acevedo
Casey Steinke
Brad Carr
Andrew Chi
Dan Symer
Bryan Cluff

CALL TO ORDER

Chair Alessio called the regular session of the Scottsdale Planning Commission to order at 5:00 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

MINUTES REVIEW AND APPROVAL

1. Approval of May 10, 2017 Regular Meeting Minutes including Study Session.

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ.gov, search "Planning Commission"

VICE CHAIR BRANTNER MOVED TO APPROVE THE MAY 10, 2017, REGULAR MEETING MINUTES, INCLUDING STUDY SESSION. SECONDED BY COMMISSIONER KUSH, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (6) TO ZERO (0).

CONTINUANCES

2. 25-ZN-2015 (Scottsdale Fashion Square Mall)

Request by applicant to continue to the June 28, 2017.

Request by owner for a Zoning District Map Amendment on a +/- 56-acre site from Downtown/Regional Commercial Office - Type 2, Planned Block Development, Downtown Overlay (D/RCO-2 PBD DO) to Downtown/Downtown Regional Use - Type 2, Planned Block Development, Downtown Overlay (D/DRU-2 PBD DO) and approval of a Development Plan with building height up to 150 feet, reallocation of building square footage throughout the Scottsdale Fashion Square property, and new dwelling units located on the northwest corner of Camelback Road and Scottsdale Road (6900, 7000, 7003, 7014, 7032, 7102, 7150, 7055 E. Camelback Road, 4649 N. Goldwater Blvd., 7000 E. Via Soleri Drive, 4710, 4500, 4510, 4610, 4626, 4700, 4720 N. Scottsdale Road, and 7001 E Highland Avenue). Staff contact person is Bryan Cluff, 480-312-2258. **Applicant contact person is John Berry, 480-385-2727.**

3. 1-II-2016 (Scottsdale Fashion Square Mall)

Request by applicant to continue to the June 28, 2017.

Request by owner for approval of a Downtown Infill Incentive District application over a +/- 1.8-acre site of a +/- 56-acre site with Downtown/Downtown Regional Use - Type 2, Planned Block Development, Downtown Overlay (D/DRU-2 PBD DO) zoning by approving a Development Plan and amendments to Property Development Standards of the Zoning Ordinance regarding the inclined stepback plan adjacent to the Downtown Boundary, specifically at the northeast corner of the Development Plan area located on the northwest corner of Camelback Road and Scottsdale Road. Staff contact person is Bryan Cluff, 480-312-2258. **Applicant contact person is John Berry, 480-385-2727.**

Item No's. 2 & 3: Move to continue cases 25-ZN-2015 and 1-II-2016 to the June 28, 2017 meeting. Approved 4-0; Motion by Vice Chair Brantner, 2nd by Commissioner Young. Commissioners Smith and Fakhri recused themselves.

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EXPEDITED AGENDA

4. 7-AB-2012#3 (Cochise Manor GLO Abandonment)

Request by owner for re-approval of abandonment of 33 feet of GLO easement along the west, east and south property lines of a +/- 4.3-acre parcel located at 13102 E. Cochise Road with Single-family Residential, Environmentally Sensitive Lands (R1-43 ESL) zoning. Staff contact person is Brad Carr, AICP, 480-312-7713. **Applicant contact person is Dave Gulino, 602-330-5252.**

Item No 4: Recommended City Council approve case 2-AB-2017, by a vote of 4-0; motion by Commissioner Kush, per the staff recommended stipulations, based upon the finding that the Abandonment is consistent and conforms with the adopted General Plan. 2nd by Commissioner Smith. Vice Chiar Brantner and Commissioner Fakih recused themselves.

REGULAR AGENDA

5. 5-UP-2017 (Clayton Encore)

Request by owner for a Conditional Use Permit for live entertainment on a +/- 1.26-acre site with Highway Commercial, Downtown Overlay (C-3 DO) zoning located at 3719 N. 75th St. Staff contact person is Dan Symer, AICP, 480-312-4218. **Applicant contact person is Jeff Graham, 480-273-4233.**

Item No 5: Recommended City Council approve case 5-UP-2017, by a vote of 6-0; Motion by Commissioner Young, per the staff recommended stipulations, based upon the finding that the Conditional Use Permit criteria have been met. 2nd by Commissioner Smith.

Request to speak cards: Christopher Szabo, Allan Edsall, Harry Smith, Max Frenkel, Gebran Gebran, Susan Sutton, John Washington, Miriam Frend, Noel McDonnell, Jeff Graham, Brian Krob, Kris Rigsby, Robert Jacobson

Written Comment Cards: Dale Jodowin, Allan Edsall, Harry Smith

6. 1-TA-2017 (Sign Ordinance Update - Permanent Signs)

Request by the City of Scottsdale to amend the City's Zoning Ordinance (Ordinance No. 455) for the purposes of amending and updating the sign regulations for permanent signs related provisions, requirements, and definitions. Staff contact person is Andrew Chi, 480-312-7828. **Applicant contact person is Andrew Chi, 480-312-7828.**

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Request to speak card: James Carpentier

Item No 6: Recommended City Council approve case 1-TA-2017, by a vote of 6-0; Motion by Commissioner Smith, after determining that the proposed Text Amendment is consistent and conforms with the General Plan. 2nd by Commissioner Young. Commissioner Fakhri was absent for this item.

ADJOURNMENT

With no further business to discuss, the regular session of the Planning Commission adjourned at 6:44 p.m.

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