

**COS PLANNING NOTES:**

- SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' INSPECTION SERVICES DIVISION.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVED OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
- NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.

- NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- PATIO UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
- ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF TALLEST UNIT. (DETAILS ARE STILL REQUIRED.)
- ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
- NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
- ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
- NO CHAIN LINK FENCING SHALL BE ALLOWED.
- FLAGPOLES, IF PROVIDED, SHALL BE A MAXIMUM OF 30 FEET IN HEIGHT AND SHALL BE ONE PIECE CONICAL TAPERED DESIGN.
- SIGNAGE NOT INCLUDED AS PART OF THIS APPROVAL. SEPARATE REVIEW AND APPROVAL REQUIRED

**LEGAL DESCRIPTION**

THE NORTH 150 FEET OF THE EAST 275 FEET OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; EXCEPT THE EAST 30 FEET.

**LEGEND**

- PROJECT BOUNDARY
- RIGHT OF WAY
- OVERHEAD UTILITY LINE
- BICYCLE PARKING
- ASPHALT
- PEDESTRIAN ACCESS
- CONCRETE SIDEWALKS
- TURF
- INTERNAL ACCESSIBLE ROUTE
- LOW VOLTAGE ACCENT UPLIGHT
- LOW VOLTAGE INGRADE UPLIGHT
- LOW VOLTAGE PATHWAY LIGHT
- FULL CUTOFF SCONCE FIXTURE
- UNIT MOUNTED ENTRY FIXTURE
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING FIBER OPTIC LINE
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING CATV/COMMUNICATION LINE
- PROPOSED WATER LINE/WATER METER
- PROPOSED SEWER LINE/MANHOLE

**UNIT DATA**

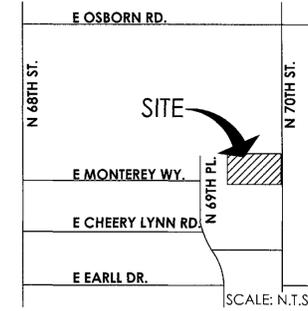
TYP. BUILDING (N.T.S.)	PLAN A - QTY - 8	PLAN B - QTY - 4	PLAN C - QTY - 4
	BEDROOMS - 2, BATHS - 2.5	BEDROOMS - 2, BATHS - 2.5	BEDROOMS - 2, BATHS - 2.5
	TOTAL GROSS UNIT - 2,306 SF	TOTAL GROSS UNIT - 2,757 SF	TOTAL GROSS UNIT - 2,792 SF
GROUND FLOOR:	98 SF PORCH 73 SF	372 SF PORCH 48 SF	454 SF PORCH 35 SF
FIRST FLOOR:	757 SF PATIO -	867 SF PATIO 41 SF	784 SF PATIO 0 SF
SECOND FLOOR:	757 SF BALCONY -	814 SF BALCONY 130 SF	874 SF BALCONY 161 SF
TOTAL LIVABLE:	1,612 SF	2,053 SF	2,112 SF
TOTAL ENCLOSED:	586 SF	485 SF	464 SF
(NON A/C)			
TOTAL UNENCLOSED:	73 SF		196 SF
UNCOVERED BALCONY:	35 SF		20 SF

NOTE: 1ST & 2ND FLOOR LIVABLE AREAS INCLUDE STAIRS WELLS SERVING THOSE FLOORS PER ANSI Z765-2003 CALCULATION METHODS.

**PHASING**

PHASE 1A (MONTHS 1-3 +/-)	PHASE 1B (MONTHS 4-11 +/-)	PHASE 1C (MONTHS 8-13 +/-)
- DEMOLITION	- BUILDING 1&2 CONSTRUCTION	- BUILDING 3&4 CONSTRUCTION
- SITE IMPROVEMENTS	- BUILDING 1&2 LANDSCAPING	- BUILDING 3&4 LANDSCAPING
- COMMON LANDSCAPING		

**VICINITY MAP**



**PROJECT TEAM**

DISCIPLINE	COMPANY CONTACT INFO.
OWNER	LANDMARK HOMES, USA JOHN KOSTARAS, MATT CLARK 8910 E PIMA CENTER PKWY #100 SCOTTSDALE ARIZONA, 85258 (480) 270-6824 JOHNK@LANDMARKHOMESUSA.COM
PLANNER/ LANDSCAPE ARCHITECT	LVA URBAN DESIGN STUDIO KEITH NICHTER, LAURA THELEN 120 SOUTH ASH AVENUE TEMPE, ARIZONA 85281 (480) 994-0994 KNICHTER@LVADESIGN.COM
CIVIL ENGINEER	EPSILON ENGINEERING & MATERIAL MAHDI SADEK 13765 W AUTO DRIVE (623) 882-9928 MSADEK@EPSILONENGINEERING.COM
ARCHITECT	FELTON GROUP - PHILL COOPER 18325 N ALLIED WAY #200 PHOENIX, ARIZONA 85054 (602) 867-2500 PHILL.COOPER@FELTONGROUP.COM

**SITE DATA**

LOCATION: NWC OF 70TH ST & MONTEREY WY ALIGN.  
ADDRESS: 3214 N. 70TH STREET  
PARCEL #: 130-14-011  
ZONING: R-5  
CURRENT USE: VACANT CHURCH  
PROPOSED USE: CONDOMINIUMS  
GROSS ACRES: 0.946 ACRES (41,231 S.F.)  
NET ACRES: 0.844 ACRES (36,731 S.F.)  
DWELLING UNITS: 16  
ALLOWED DU/AC: ≤23  
PROPOSED DU/AC: 16.9

REQUIRED OPEN SPACE (NET): 22% (8,085 S.F.)  
PROPOSED OPEN SPACE (NET): +1-23% (8,700 S.F.)  
REQUIRED FRONTAGE OPEN SPACE: 4,040 S.F.  
11% OF NET SITE AREA  
PROPOSED FRONTAGE OPEN SPACE: 4,048 S.F.  
REQUIRED PRIVATE OPEN SPACE: 1,402.6 S.F.  
10% 1ST FLOOR (4,264 S.F.) + 5% 2ND/3RD FLR. (19,524 S.F.)  
PROPOSED PRIVATE OPEN SPACE: +1-7,000  
REQUIRED PARKING LOT L/S: 104 S.F.  
15% OF PARKING AREA (695 S.F.)  
PROPOSED PARKING LOT L/S: 400 S.F.

ALLOWED HEIGHT: (36') 3 STORY  
PROPOSED HEIGHT: (≤36') 3 STORY  
ALLOWED WALL HEIGHT: VARIES (8' MAX)  
PROPOSED WALL HEIGHT: VARIES (8' MAX)  
ALLOWED DISTANCE BETWEEN BUILDINGS: 10' MIN.  
PROPOSED DISTANCE BETWEEN BUILDINGS: ≥10'  
PERIMETER SETBACK: PROVIDED

WEST:  
N, E, & S:

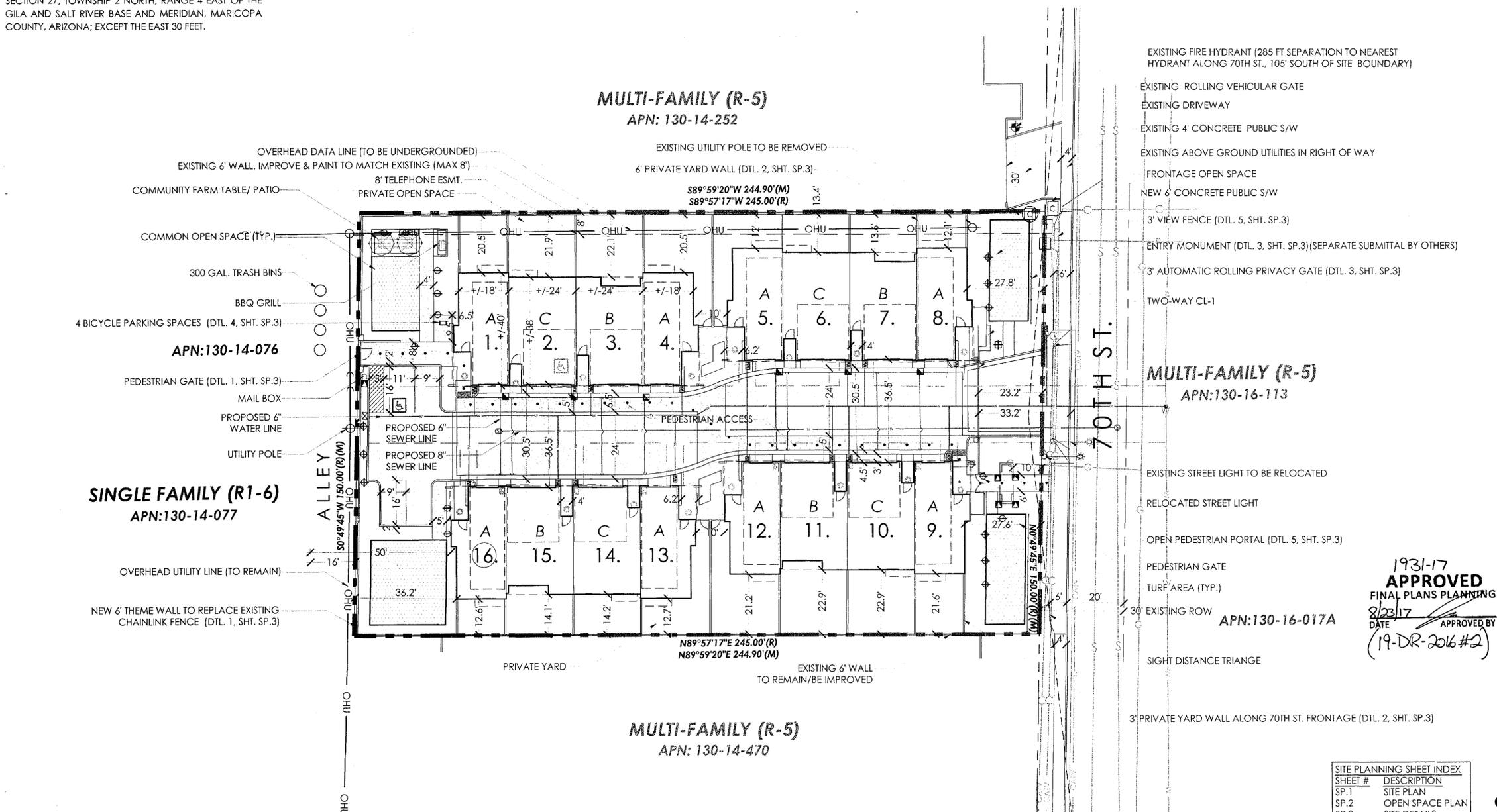
SURFACE PAV  
GARAGE PAV  
TOTAL PARKI  
(16(2BR)X1.7)  
ADA PARKIN  
(4' x 36')  
BIKE PARKIN

NOTE:  
- EQUIPMENT  
ROOF TOP  
- HYDRANTS ARE PROVIDED  
700' PER ORD. 507.5.1.2.  
- KEY SWITCH/PRE-EMPTION SENSOR WILL BE  
PROVIDED FOR ENTRY GATE.  
- FIRE LANES WILL SUPPORT 83,000LB LOAD PER  
DS&PM 2-1.802.  
- INTERNAL PRIVATE DRIVE TO BE DESIGNATED  
EMERGENCY SERVICE VEHICLE ACCESS, WATER  
AND SEWER EASEMENT.  
- SPRINKLER SUPPRESSION SYSTEM TO BE  
NFPA 13D.



**SITE PLAN**

SHEET #	DESCRIPTION
SP.1	SITE PLAN
SP.2	OPEN SPACE PLAN
SP.3	SITE DETAILS



1931-17  
**APPROVED**  
FINAL PLANS PLANNING  
8/23/17  
DATE APPROVED BY  
(19-DR-2016#2)

Please add  
to 19-DR-2016#2  
as Final Plans

**LVA urban design studio**  
land planning • development entitlements • landscape architecture  
120 south ash avenue • tempe, arizona 85281 • 480.994.0994

THE **AERIES** TOWNHOMES

**LANDMARK HOMES USA**

REVISION	DATE
NO REDLINES	08/08/17

DATE: 02/22/17

JOB NO.: 1567

DRAWN: KN, AV

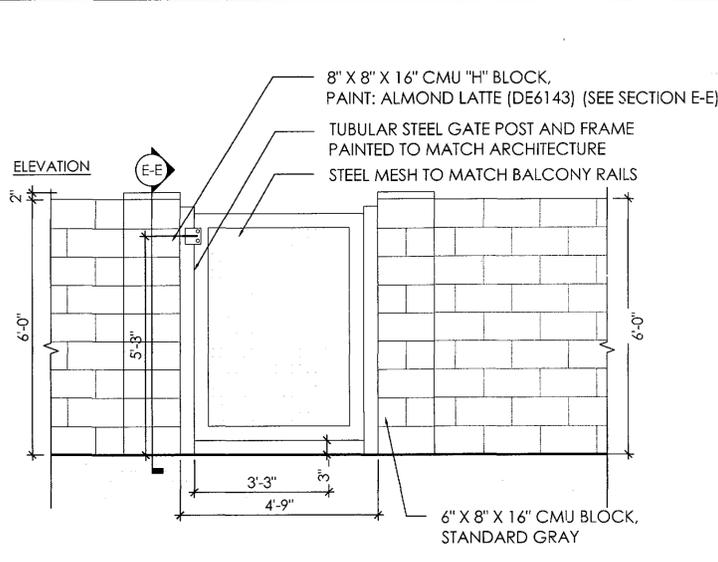
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DRAWING: CONDOMINIUM PLAN ARCHITECTURAL REVIEW SET - SITE PLAN

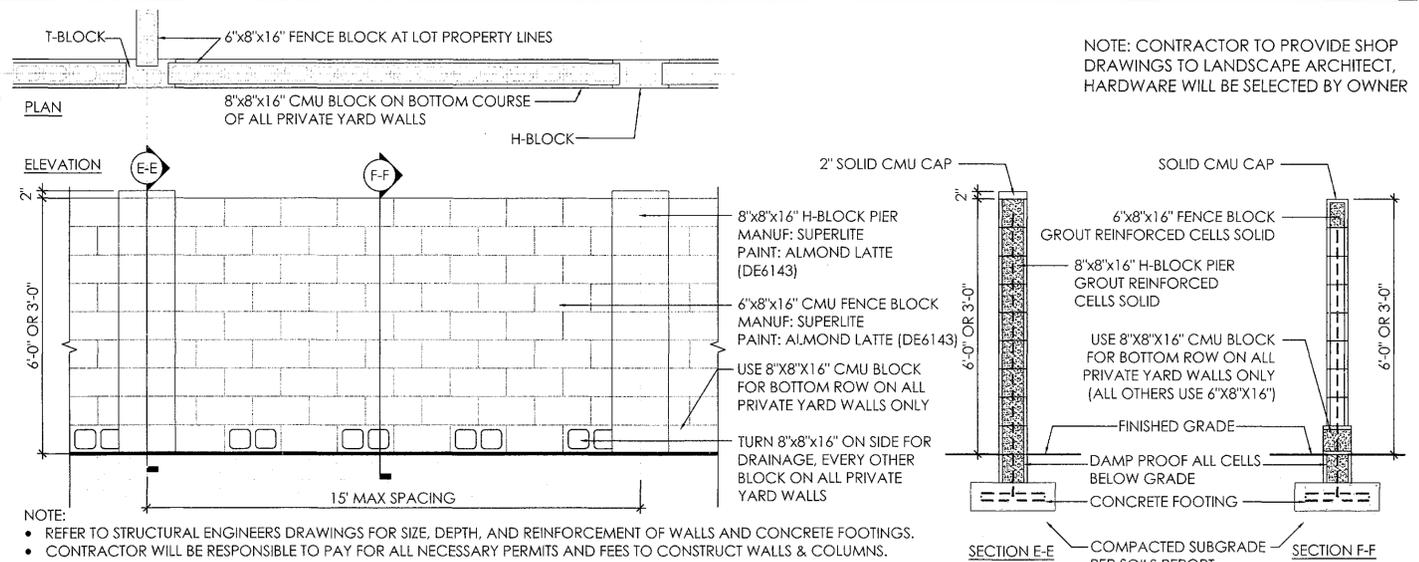
SUBMITTED FOR: LANDMARK HOMES, USA

SHEET # SP.1 of 3

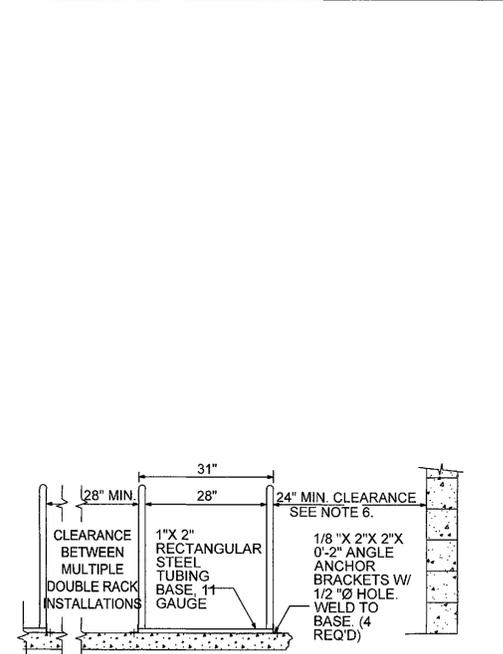




**1. THEME WALL AND SECONDARY PEDESTRIAN ENTRY GATE ELEVATION** N.T.S.

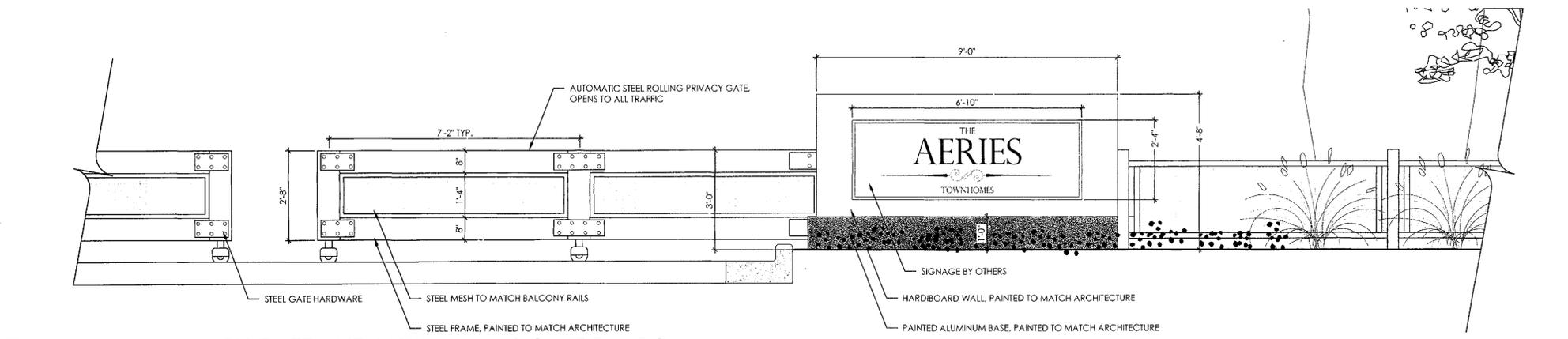


**2. 6' AND 3' PRIVATE YARD WALL (WALLS FRONTING 70TH STREET TO BE 3' TALL, ALL OTHERS TO BE 6' TALL)** N.T.S.

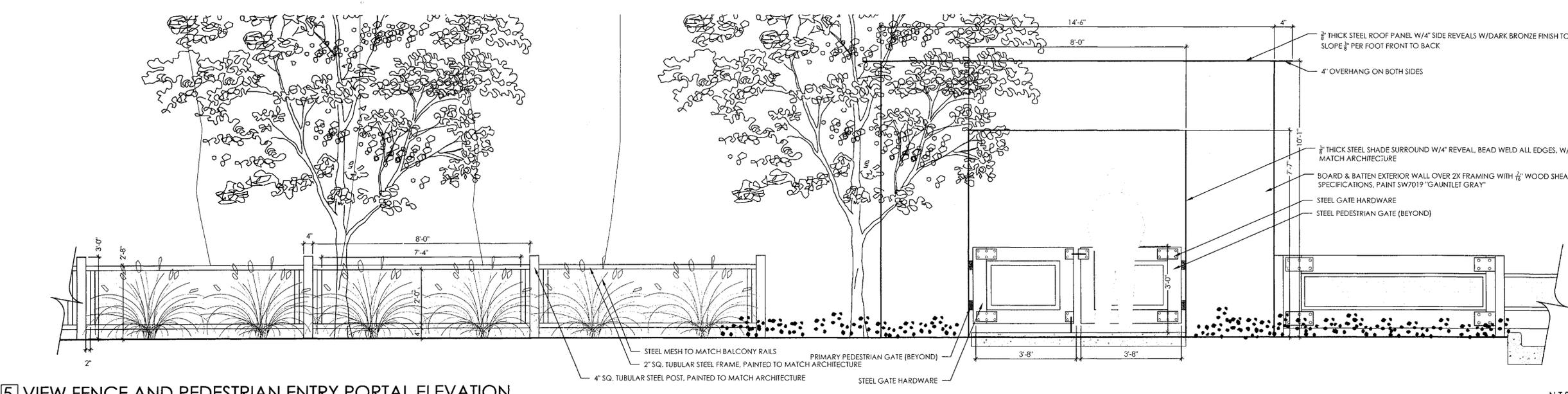


- NOTES:
1. DOUBLE RACK HOLDS 4 BICYCLES.
  2. FINISH TO BE WEATHER RESISTANT, BAKED-ON POWDER POLYMER COATING.
  3. ANCHOR RACK TO CONCRETE W/ 3/8"Ø X 2 1/2" WEDGE ANCHORS AND TAMPER RESISTANT OR WELDED NUTS, (4 REQ'D) OR SET TUBING 12" BELOW GRADE IN 24" DEEP X 6" WIDE CONCRETE FOOTING.
  4. CONCRETE BASE MAY BE COVERED WITH TURF OR DECOMPOSED GRANITE.
  5. PLACEMENT OF BICYCLE RACK SHALL BE CONVENIENT TO MAIN ENTRANCE AND IN A HIGHLY VISIBLE AREA.
  6. 24" MIN. CLEARANCE FROM WALLS OR OBSTRUCTIONS INCLUDING CURBS OR EDGE OF ROADWAY ON BOTH SIDES AND BACK OF RACK. FRONT OF RACK SHALL HAVE A 6' MIN CLEAR AREA.

**4. BICYCLE RACK - COS DETAIL NO. 2285** N.T.S.



**3. VEHICULAR PRIVACY GATE AND MONUMENT SIGN ELEVATION** N.T.S.



**5. VIEW FENCE AND PEDESTRIAN ENTRY PORTAL ELEVATION** N.T.S.

**SITE DETAILS** AS SHOWN

NOTE: FOR REFERENCE ONLY, SEE LANDSCAPE, ELECTRICAL AND STRUCTURAL SHEETS (SA.1) FOR DETAILS



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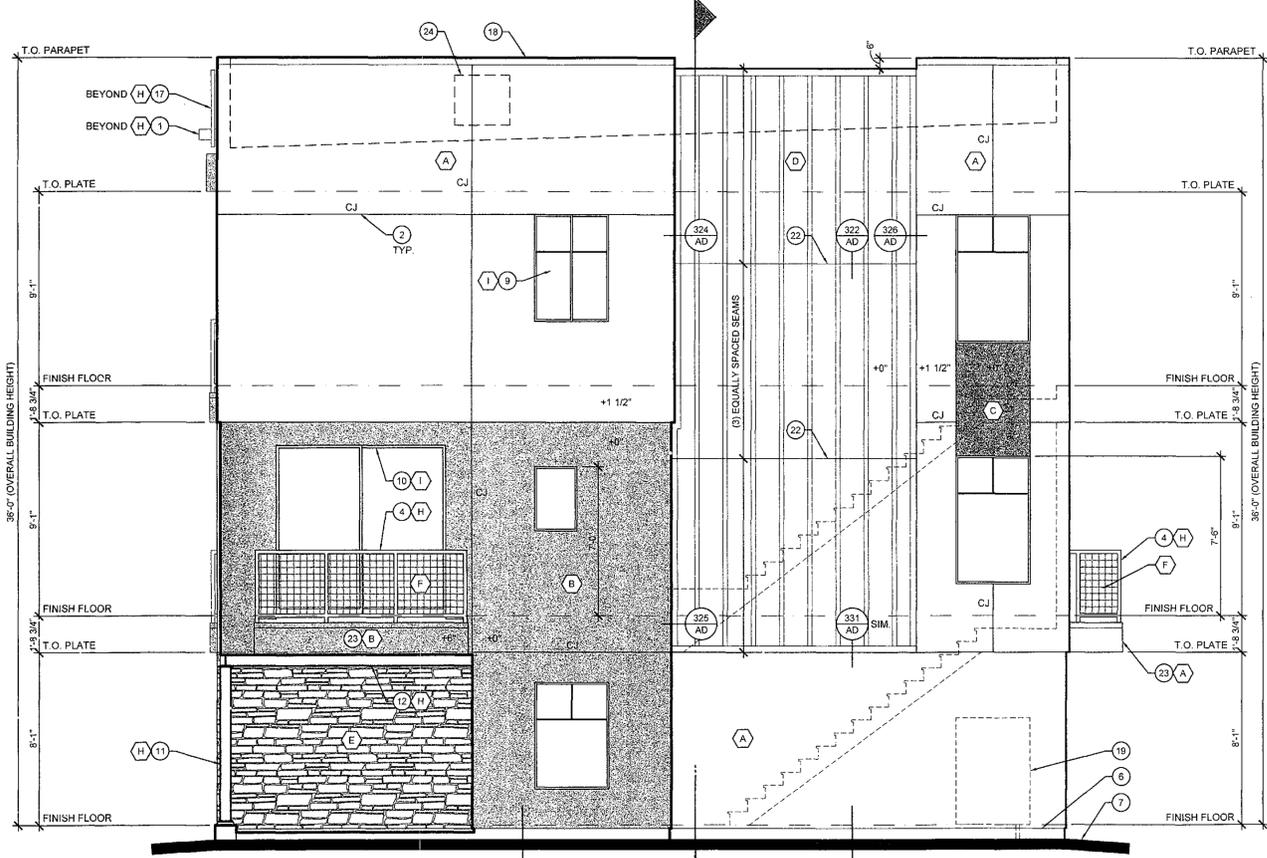
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DRAWING: CONDOMINIUM PLAT ARCHITECTURAL REVIEW SET - SITE DETAILS

SUBMITTED FOR: LANDMARK HOMES, USA

SHEET # **SP.3 of 3**

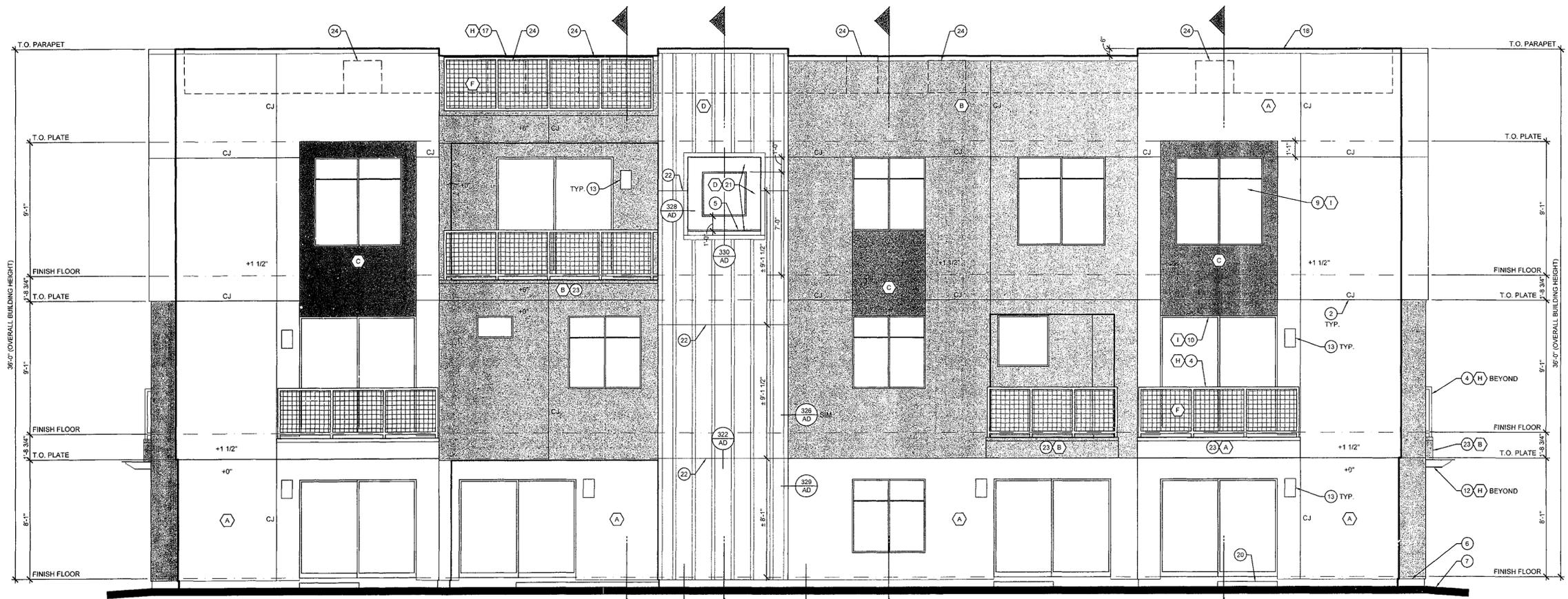




**UNIT A**  
**RIGHT ELEVATION**  
1/4" = 1'-0"

EXTERIOR COLOR SCHEDULE	
(A) STUCCO EXTERIOR WALLS	DUNN EDWARDS "FLOATING FEATHER" #DE6142 LRV=55
(B) STUCCO EXTERIOR WALLS	DUNN EDWARDS "DARK SEPIA" #DE6138 LRV=28
(C) STUCCO ACCENT WALLS	DUNN EDWARDS "OLD BOOT" #DE6133 LRV=13
(D) BOARD & BATTEN EXTERIOR WALLS	SHERWIN WILLIAMS "GAUNTLET GRAY" #SW7019 LRV=17
(E) ADHERED STONE VENEER	CORONADO STONE AMALFI LEDGE #ESR-1844
(F) DECORATIVE STEEL MESH GUARDRAILS AND DECORATIVE PANELS	DECORATIVE STEEL MESH TO BE SELECTED
(G) GARAGE DOORS, AND SERVICE DOORS	DUNN EDWARDS "OLD BOOT" #DE6133 LRV=13
(H) FRONT DOORS, AND METAL DETAILING	DARK BRONZE FINISH
(I) WINDOWS AND SLIDING GLASS DOORS	CASCADE WINDOWS, 4250 SERIES BRONZE ALUMINUM FRAMES CARDINAL LOW-E 366 GLASS

MATERIAL LEGEND	
(A)	TYPICAL EXTERIOR FINISH - U.N.O. STUCCO SYSTEM - WESTERN 1-KOTE EXTERIOR STUCCO SYSTEM (APMO / UES ER #382), OR EQUAL COLOR MATCH DUNN EDWARDS #DE6142, "FLOATING FEATHER"
(B)	TYPICAL EXTERIOR FINISH - U.N.O. STUCCO SYSTEM - WESTERN 1-KOTE EXTERIOR STUCCO SYSTEM (APMO / UES ER #382), OR EQUAL COLOR MATCH DUNN EDWARDS #DE6138, "DARK SEPIA"
(C)	TYPICAL EXTERIOR FINISH - U.N.O. STUCCO SYSTEM - WESTERN 1-KOTE EXTERIOR STUCCO SYSTEM (APMO / UES ER #382), OR EQUAL COLOR MATCH DUNN EDWARDS #DE6133, "OLD BOOT"
(D)	BOARD & BATTEN VERTICAL SIDING w/ 1x2 BATTENS AT 12" O.C. - HARDIPANEL SIDING (ESR-1844), OR EQUAL
(E)	ADHERED STONE VENEER - CORONADO STONE (ESR-2588), AMALFI LEDGE, "SALERNO," OR EQUAL
ELEVATION KEYED NOTES	
1.	6"x6" GALV. METAL SCUPPER - COORDINATE LOCATION OF SCUPPER WITH PENETRATION OF DECORATIVE STEEL FRAME WITH STEEL MESH PANELS
2.	STUCCO CONTROL JOINT - STUCCO CONTRACTOR TO ADVISE BUILDER ON ADDITIONAL OR ALTERNATE LOCATIONS
3.	SECTIONAL OVERHEAD GARAGE DOOR
4.	STEEL GUARDRAIL WITH DECORATIVE STEEL MESH PANELS - TOP OF GUARDRAIL TO BE MIN. +36" ABOVE DECK OR FINISHED INTERIOR FLOOR WITHIN 36" HORIZONTALLY - ALLOW FOR THICKNESS OF FINISH FLOORING
5.	PROVIDE BITUMEN MEMBRANE - SLOPE TO DRAIN
6.	GALV. WEEP SCREED
7.	FINISH GRADE - SLOPE AWAY FROM STRUCTURE TO PROVIDE POSITIVE DRAINAGE
8.	FULL-LITE ENTRY DOOR WITH TEMPERED GLAZING
9.	WINDOW
10.	SLIDING GLASS DOOR
11.	STEEL COLUMN - SEE STRUCTURAL PLANS
12.	STEEL BEAM - SEE STRUCTURAL PLANS
13.	WALL-MOUNTED LIGHT FIXTURE - VERIFY MOUNTING HEIGHT WITH BUILDER
14.	NOT USED
15.	NOT USED
16.	NOT USED
17.	DECORATIVE STEEL FRAME WITH STEEL MESH PANELS - SEE DETAIL 725AD
18.	G.I. PARAPET CAP - PAINT TO MATCH ADJACENT EXTERIOR WALL
19.	ELECTRICAL SES / METERS - SEE SITE PLAN FOR LOCATION FOR EACH BUILDING - SEE DETAIL 303AD
20.	MIN. 36" DEEP CONCRETE STOOP IN FRONT OF EXTERIOR DOORS, OR MIN. 36" DEEP AREA OF PAVERS AS PART OF OPTIONAL LANDSCAPE / HARDWARE PACKAGE
21.	EXTERIOR STUCCO FINISH AT RECESSED WINDOW - PAINT TO MATCH ADJACENT BOARD AND BATTEN EXTERIOR WALLS
22.	HORIZONTAL SEAM WITH GALV. FLASHING AT HARDIPANEL SIDING BUTT JOINT - SEE DETAIL 322AD
23.	CANTILEVERED BALCONY WITH STUCCO FINISH
24.	ROOFTOP MECHANICAL EQUIPMENT BEHIND PARAPET - TOP OF MECHANICAL EQUIPMENT SHALL NOT BE HIGHER THAN +35'-6" TOP OF PARAPET
GENERAL NOTES	
1.	EXTERIOR WALL FINISHES AND COLORS SHALL WRAP AROUND CORNERS INTO RECESSED AREAS UNLESS OTHERWISE NOTED.
2.	FLASH ALL EXTERIOR OPENINGS - SEE DETAIL 601AD
3.	INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS.
4.	ALL GROUND FLOOR WINDOW HEADERS TO BE 6'-8" U.N.O.
5.	ALL 1ST AND 2ND FLOOR WINDOW HEADERS TO BE 8'-0" U.N.O.
6.	PROVIDE WINDOW AREAS EQUAL TO 8% OF FLOOR AREA WITH MINIMUM OPENABLE AREA TO OUTDOORS EQUAL TO 4% OF FLOOR AREA
7.	REFER TO BUILDERS SPECIFICATIONS FOR ALL EXTERIOR FINISHES AND TEXTURES.



**UNIT A**      **UNIT B**      **UNIT C**      **UNIT A**  
**REAR ELEVATION**  
1/4" = 1'-0"

**FELTENGROUP**  
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8001 E. Jim Center Pkwy #100, Scottsdale, AZ 85268  
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**REAR AND RIGHT EXTERIOR ELEVATIONS**

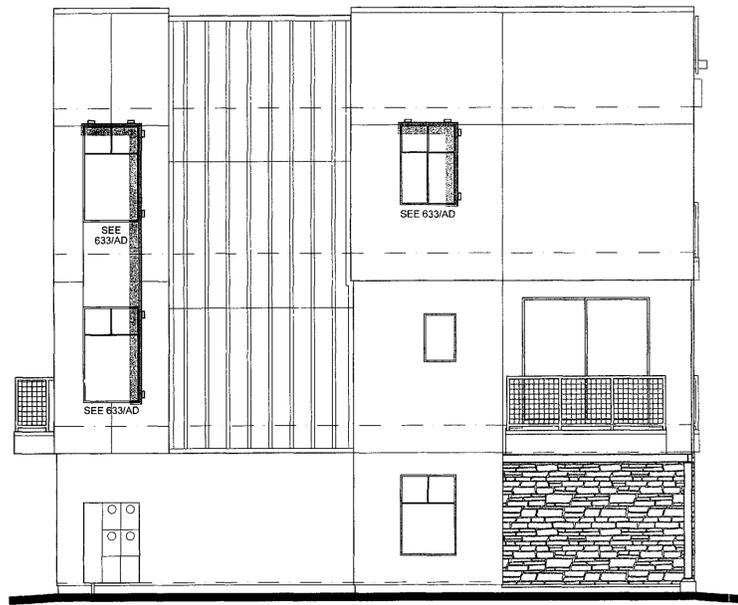
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1931-17  
**APPROVED**  
FINAL PLANS PLANNING  
8/23/17  
DATE (19-DR-2016#2) APPROVED BY

THE AERIES TOWNHOMES  
3214 N. 70TH ST.  
SCOTTSDALE ARIZONA

SHEET NUMBER  
A3.2

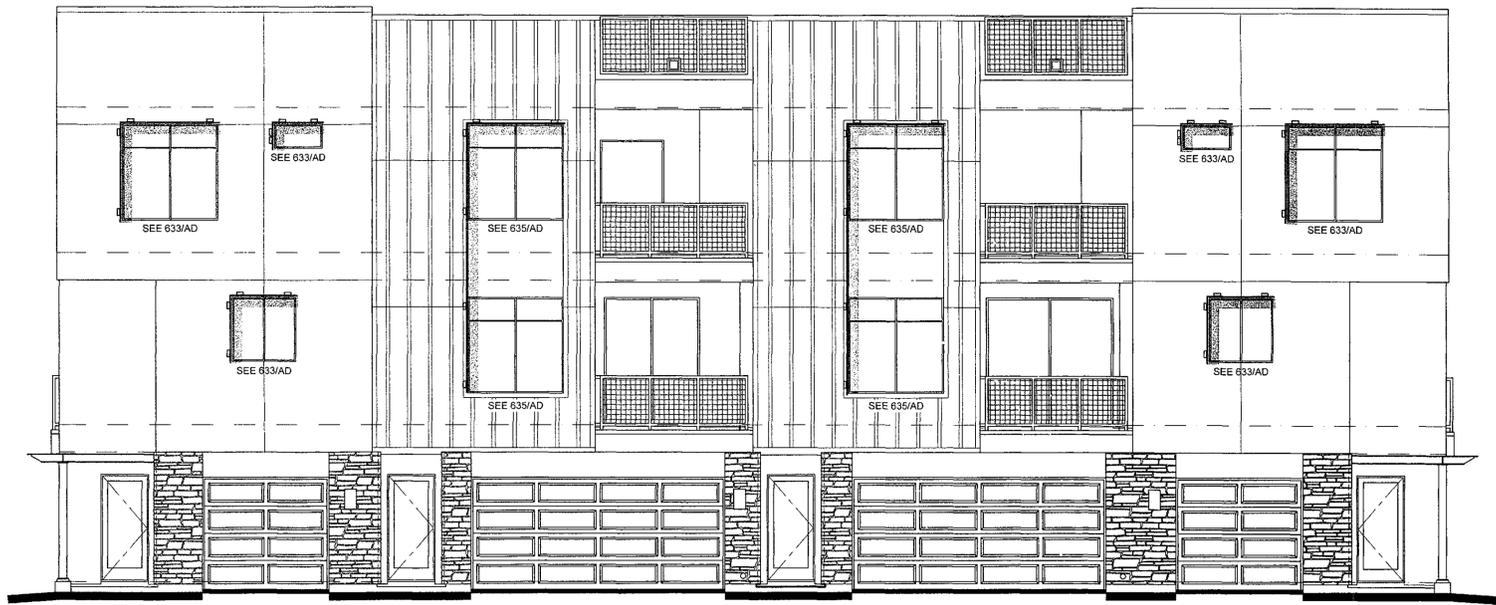
Phil Cooper Aug 10, 2017 - 8:55am Z:\Volum Drawings\Landmark Homes USA\The Aeries Condominiums - 70th St & Montway Way\Architectural\Aerie Elevation\Aerie Elev.dwg



UNIT A

**BUILDING 1 - WEST ELEVATION**

3/16" = 1'-0"



UNIT A

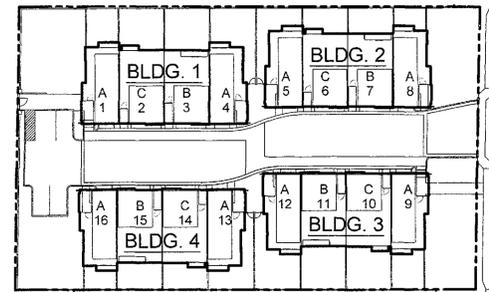
UNIT C

UNIT B

UNIT A

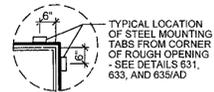
**BUILDINGS 1 & 2 - SOUTH ELEVATION**

3/16" = 1'-0"

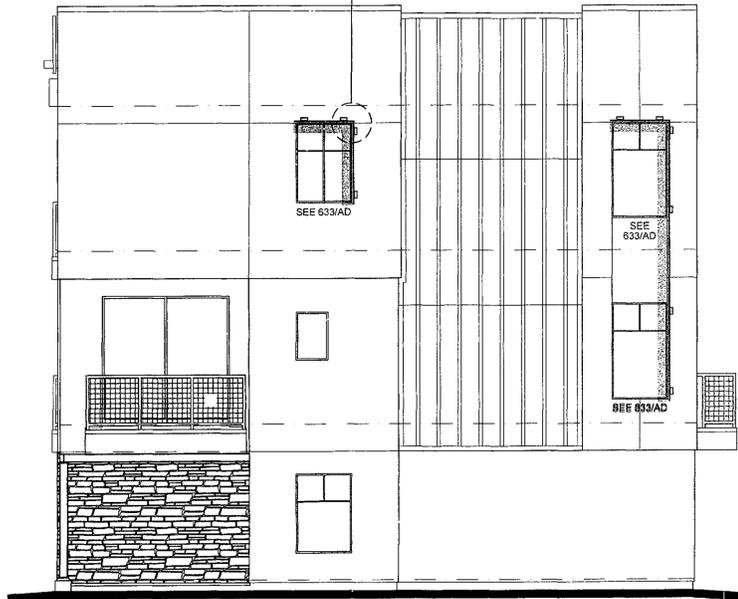


**CONTEXT SITE PLAN**

N.T.S.



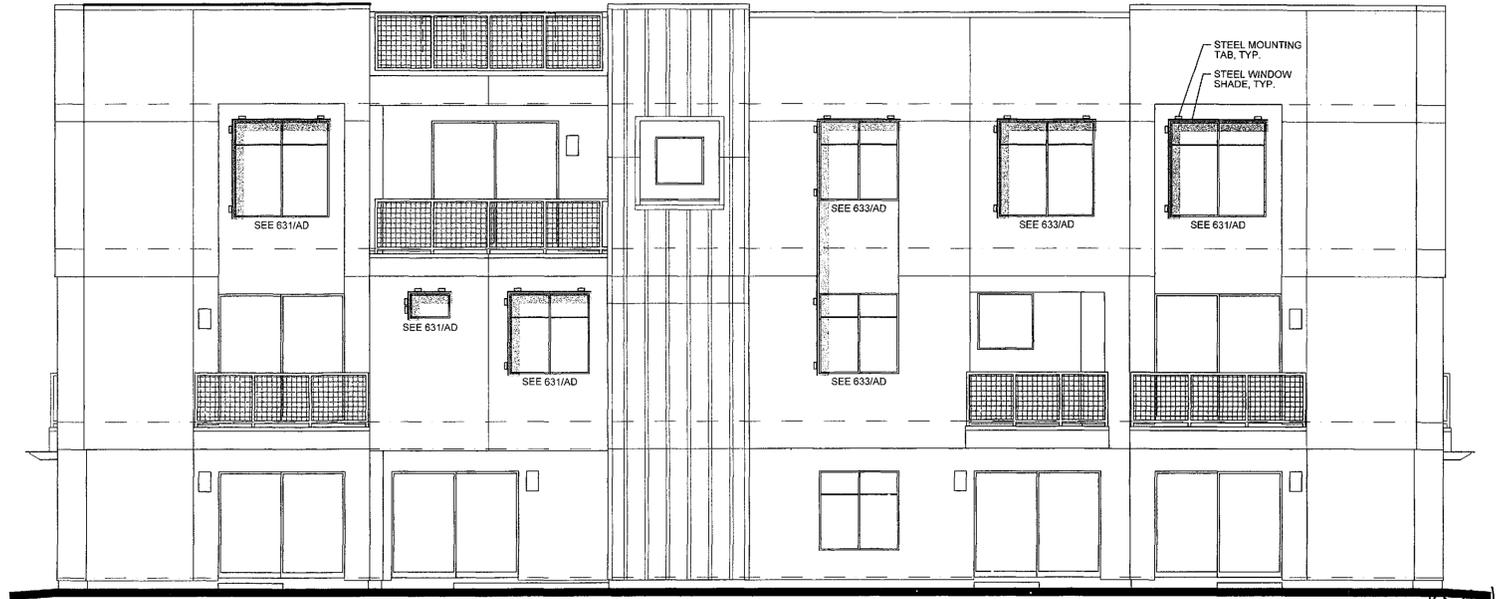
TYPICAL LOCATION OF STEEL MOUNTING TABS FROM CORNER OF ROUGH OPENING - SEE DETAILS 631, 633, AND 635/AD



UNIT A

**BUILDING 4 - WEST ELEVATION**

3/16" = 1'-0"



UNIT A

UNIT B

UNIT C

UNIT A

**BUILDINGS 3 & 4 - SOUTH ELEVATION**

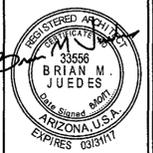
3/16" = 1'-0"

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(19.DR.2016#2)

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STEEL WINDOW SHADES  
EXTERIOR ELEVATIONS



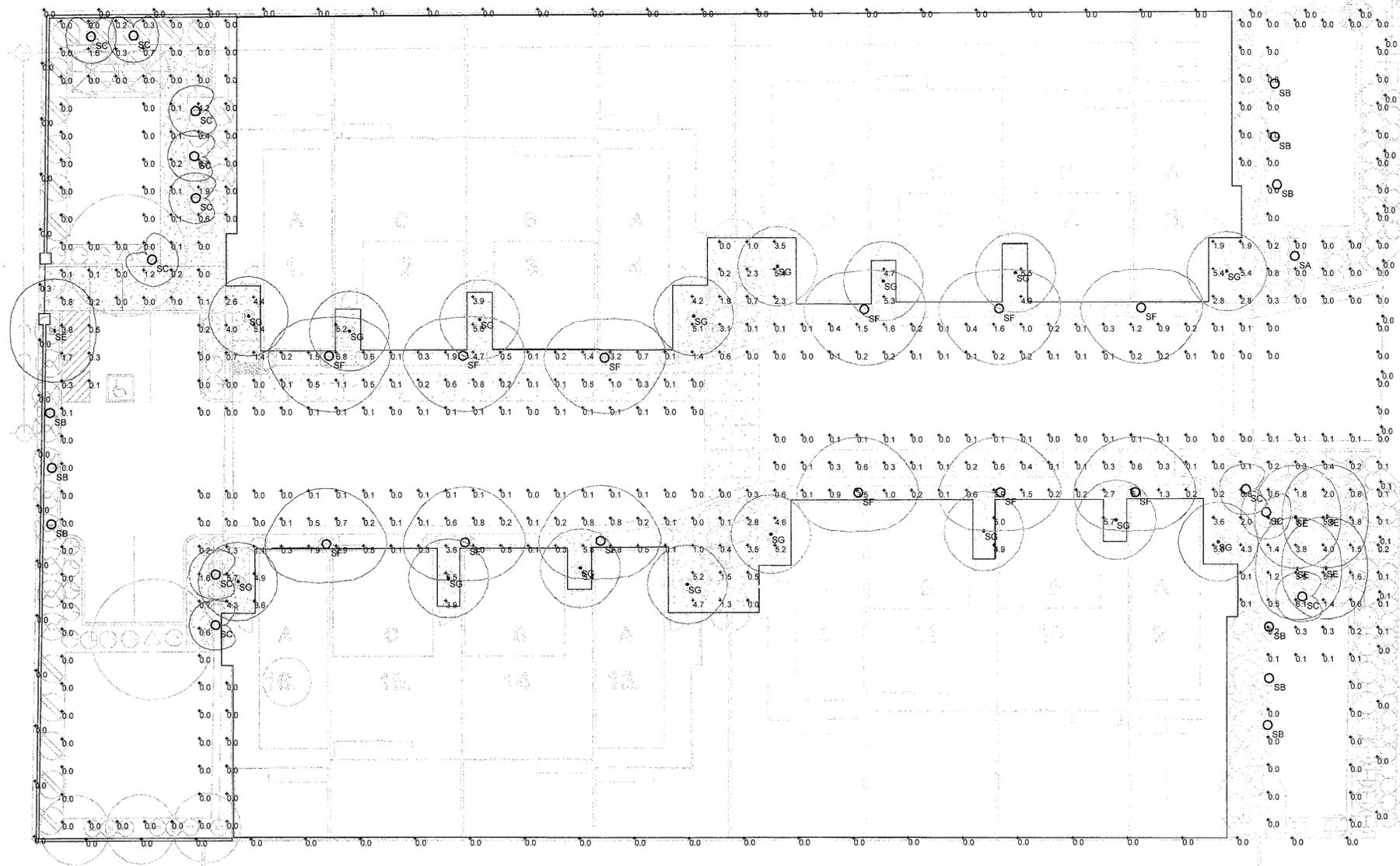
DRAWN BY	DATE
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CHECKED BY	DATE
F.G.	04/11/17
PROJECT NUMBER	
AZ-16-226-01-FA002	
APPROVED	DATE
	06/10/17
CITY COMMENTS	

THE AERIES TOWNHOMES  
3214 N. 70TH ST.  
SCOTTSDALE ARIZONA

SHEET NUMBER  
**A3.3**

Phil Cooper Aug 10, 2017 - 6:55am Z:\felten Drawings\Landmark Homes USA\The Aeries Condominiums - 70th St & Montrose Way\Architectural\Exterior Elevations\04.Exterior Elevations.dwg

1011.DA-2016 / 16.DP-2016 / 16.DP-2016.RVT



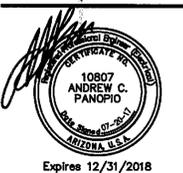
Plan View  
 Scale - 1" = 12'

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
○	SA	1	WAC	WAC 5011-30-BBR/9000-ST9-BK	LOW VOLTAGE ACCENT UPLIGHT. REQUIRES REMOTE TRANSFORMER. PRODUCES FEWER THAN 1600 LUMENS	3000K LED	1	5G11-CBZ-3000K_60D.IES	357	0.9	15.7
○	SB	9	WAC	5031-30-BBR/5030-GDR-BBR	LOW VOLTAGE INGRADE UPLIGHT REQUIRES REMOTE TRANSFORMER. PRODUCES FEWER THAN 1600 LUMENS	3000K LED	1	5031-CBZ-3000K_60D.IES	248	0.9	15.5
○	SC	11	WAC	6021-30BZ 9000-ST9-BK	LOW VOLTAGE PATHWAY LIGHT REQUIRES REMOTE TRANSFORMER. PRODUCES FEWER THAN 1600 LUMENS	3000K LED	1	6021-30BZ A122115.IES	94	0.9	5
▬	SE	5	BEGA	22261	FULL CUTOFF SCONCE FIXTURE. PRODUCES FEWER THAN 1600 LUMENS	3000K LED	1	22261.iex	382 0851	0.9	6
○	SF	12	HINKLEY	1660BZ-LED	UNIT ENTRY FIXTURE. PRODUCES FEWER THAN 1600 LUMENS	3000K LED	1	L_WS-W08608.IES	250	0.9	9.2
○	SG	16	Lithonia Lighting	LDN4 3005 L04AR LSS WL	AN LDN 3005K 500LM 80 CRI CLEAR SEMI-SPECULAR REFLECTOR	LED	1	LDN4_30_05_L04AR_LSS.iex	632	0.9	8.52

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC ON SITE AT GRADE	+	0.6 fc	7.6 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A

1931-17  
**APPROVED**  
 FINAL PLANS PLANNING  
 8/23/17  
 DATE (19-DR-2016#2)  
 APPROVED BY

**THE AERIES TOWNHOMES**  
 SCOTTSDALE, ARIZONA  
**ELECTRICAL LIGHTING - SITE PLAN**



**NP ENGINEERING INC.**  
 4115 N. 15TH AVE.  
 PHOENIX, AZ 85015  
 PH: (602) 265-1559 FAX: (602) 265-1605

NP Proj. No: **16-153**  
 Project Manager: **NC**  
 Drawn by: **NPE**  
 Date: **Oct. 2016**

**ELECTRICAL PHOTOMETRIC - SITE PLAN**

SCALE: 1"=12'-0"

**E1.3**

Sheet of

Project Numbers: 1011-PA-2015/19-DR-2016/19-DR-2016#2

### WAC LANDSCAPE LIGHTING

## LINEAR PATH LIGHT 6021

Fixture Type: **TYPE "SC"**

Catalog Number: \_\_\_\_\_

Project: \_\_\_\_\_

Location: \_\_\_\_\_

---

**PRODUCT DESCRIPTION**  
Sleek linear design blends seamlessly into pathways while providing soft, directional illumination.

**FEATURES**

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Translucent lens provides uniform light distribution
- Solid diecast corrosion resistant aluminum alloy
- Recommended spacing for installation: 8 to 10ft
- Mounting stake, 6' lead wire, and direct burial gel filled wire nuts are included
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

**SPECIFICATIONS**

Input: 9-15VAC (Transformer is required)  
Power: 2.5W / 4.2VA  
Brightness: 95 lm  
CRI: 90+  
Rated Life: 60,000 hours

**ORDERING NUMBER**

Color Temp	Finish
27 2700K	BZ Bronze on Aluminum
30 3000K	BBR Bronze on Brass

**6021- BZ**  
Example: 6021-30BBR

---

wacighting.com    Headquarters/Eastern Distribution Center    Central Distribution Center    Western Distribution Center  
Phone (800) 526.2588    44 Harbor Park Drive    1600 Distribution Ct    1750 Archibald Avenue  
Fax (800) 526.2585    Port Washington, NY 11050    Lithia Springs, GA 30122    Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. MAY 2016

### WAC LANDSCAPE LIGHTING

## 3" INGROUND 12V 5031

Fixture Type: **"SB"**

Catalog Number: \_\_\_\_\_

Project: \_\_\_\_\_

Location: \_\_\_\_\_

---

**PRODUCT DESCRIPTION**  
Landscape Wall Wash Luminaire

**FEATURES**

- Tiltable and adjustable beam angle
- Integral dimmer
- IP67 rated, protected from temporary immersion under water
- Drive over up to 4500lbs
- Solid diecast brass or corrosion resistant aluminum
- Available concrete pour kit
- 6' lead wire and direct burial gel filled wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1838 Listed
- Not suitable to use with external dimmers

**SPECIFICATIONS**

Input: 9-15VAC (Transformer is required)  
Power: 2W to 12W / 2VA - 17VA  
Brightness: 70 lm to 505 lm  
Beam Angle: 15° to 60°  
CRI: 85  
Rated Life: 55,000 hours

**IEC safety Standard**

	Walk over	Drive over
Resistance to static load test	Yes (1125lbs)	Yes (4496KN)
Resistance to torque and shear loads test	N/A	Yes

**ORDERING NUMBER**

Color Temp	Finish
27 2700K	BZ Bronze on Aluminum
30 3000K	BBR Bronze on Brass

**5031- \_\_\_\_\_**  
Example: 5031-30BBR

---

wacighting.com    Headquarters/Eastern Distribution Center    Central Distribution Center    Western Distribution Center  
Phone (800) 526.2588    44 Harbor Park Drive    1600 Distribution Ct    1750 Archibald Avenue  
Fax (800) 526.2585    Port Washington, NY 11050    Lithia Springs, GA 30122    Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2016

### WAC LANDSCAPE LIGHTING

## ACCENT 12V 5011

Fixture Type: **"SA"**

Catalog Number: \_\_\_\_\_

Project: \_\_\_\_\_

Location: \_\_\_\_\_

---

**PRODUCT DESCRIPTION**  
Landscape accent luminaire. One fixture replaces all older halogen landscape accent lights.

**FEATURES**

- Adjustable and lockable beam angle
- Integral dimmer
- IP66 rated, Protected against high-pressure water jets
- Includes a detachable shroud
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Mounting stake, 6' lead wire and direct burial gel filled wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1838 Listed
- Not suitable to use with external dimmers

**SPECIFICATIONS**

Input: 9-15VAC (Transformer is required)  
Power: 2W to 16W / 2VA - 23VA  
Brightness: 190 lm to 1045 lm  
Beam Angle: 10° to 60°  
CRI: 85  
Rated Life: 70,000 hours

**ORDERING NUMBER**

Color Temp	Finish
27 2700K	BZ Bronze on Aluminum
30 3000K	BBR Bronze on Brass

**5011- \_\_\_\_\_**  
Example: 5011-30BBR

---

wacighting.com    Headquarters/Eastern Distribution Center    Central Distribution Center    Western Distribution Center  
Phone (800) 526.2588    44 Harbor Park Drive    1600 Distribution Ct    1750 Archibald Avenue  
Fax (800) 526.2585    Port Washington, NY 11050    Lithia Springs, GA 30122    Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. MAY 2016

## LITHONIA LIGHTING

### FEATURES & SPECIFICATIONS

**INTRODUCTION** — Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by tension springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2" 3/4" and four 1/2" hangers for straight-through conductors. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and driver are accessible from above or below ceiling.

Max ceiling thickness: 1-1/2".

**OPTICS** — LEDs are bonded to a 3-step SDCM; 80 CRI minimum. LED light source concealed with diffusing optical lens.

General illumination lighting with 1:5 S/MH and 55° cutoff to source and image.

Soft flared and angled reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) eLED 0-10V dimming drivers mounted to junction box. 90% or 96% minimum dimming level available.

0-10V dimming driver requires two (2) additional low-voltage wires to be pulled.

90% lumen maintenance at 50,000 hours.

**LISTINGS** — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional). ENERGY STAR® certified product.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at [www.araylighting.com/CustomerResources/terms\\_and\\_conditions.pdf](http://www.araylighting.com/CustomerResources/terms_and_conditions.pdf)

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

# LDN4

4" OPEN Non-IC New Construction

ORDERING INFORMATION		Lead times will vary depending on options selected. Consult with your sales representative.		Example: LDN4 35/15 L04AR LSS MVOLT E21	
Series	Color Temperature	Lumens	Aperture/Trim Color	Finish	Voltage
LDN4	27 2700K	800	Clear Downlight	Clear	120V
	30 3000K	1000	White Wallwash	White	277 277V
	35 3500K	1500		Black	347 347V
	40 4000K	2000			

**Options**

- SP Single trim
- TRBL White painted flange
- TRBL Black painted flange
- EL Batterypack (integral test switch)
- ELB Batterypack (removal)
- NPSR02 0-10V dimming pack controls 0-10V eLED drivers
- NPSR02E 0-10V dimming pack controls 0-10V eLED drivers. EB controls features on emergency circuit.
- H50P High ambient option (40°C)
- CP Chicago Plenum
- WE Wet location
- RELIC Ready luminaire connectors enable simple and consistent factory installed option across all luminaire brands. Refer to RELIC complete nomenclature. Available only in ERLA, RRLA, RRLAL, and RRLC25. US point of manufacture
- USPM US point of manufacture

**Notes:**

1. Overall height varies based on lumens package, refer to Dimensional chart on page 3.
2. Not available with fixtures.
3. Not available with emergency systems.
4. Must specify voltage: 120V or 277V.
5. Available with clear (CR) reflector only.
6. Fixture height is 5-11/16" for all lumens packages with H50.

LDN4

## HINKLEY & R.

### FIXTURE TYPE "SF"

**LUNA 1660BZ-LED BRONZE**

WIDTH:	6.0"
HEIGHT:	16.0"
WEIGHT:	5.0 LBS
MATERIAL:	ALUMINIUM
GLASS:	ETCHED GLASS LENS
BACKPLATE WIDTH:	6.0"
BACKPLATE HEIGHT:	16.0"
SOCKET:	2-7.50W LED (included)
DARK SKY:	YES
LED INFO:	
LUMENS:	600
COLOR TEMP:	2700K
CRI:	90
LED WATTAGE:	3w
INCANDESCENT EQUIVALENCY:	50w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or CFL dimmer.
NOTES:	PATENT US AND FOREIGN (PATENTS PENDING)
EXTENSION:	3.5"
TTO:	10.0"
CERTIFICATION:	C-ULS WET RATED
VOLTAGE:	120V
LPC:	640565166071

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR LIFE A-GLOW!

lifeGLOW

### LED wall luminaires with directed light

Housing: One piece die-cast aluminum for attachment to wall over 3 1/2" or 4" octagonal wiring box. Die castings are marine grade, copper free (is 0.3% copper content) A360.0 aluminum alloy.

Enclosure: One piece die-cast aluminum cover frame secured by two (2) captive, stainless steel set screws threaded into stainless steel inserts. Matte safety glass. Fully gasketed for weather tight operation using a molded "U" channel silicone rubber gasket.

Electrical: 4.2W LED luminaire, 5.8 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature is 3000K with >90 CRI. Available in 4000K (>90 CRI); and suffix K4 to order. Optionally available with 2700K color temperature, consult factory.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP64

Weight: 1.5 lbs.

Luminaire Lumens: 362  
Tested in accordance with LM-79-08

Type: **"SE"**

BEGA Product:

Project:

Voltage:

Color:

Options:

Modified:

1931-17 APPROVED FINAL PLANS PLANNING 8/23/17 DATE (19-DR-2016 #2) APPROVED BY

22261    LUNA    A B C    0% 3% 2%

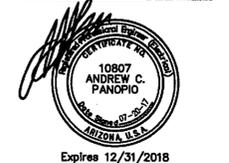
BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com  
Copyright BEGA 2017 Updated 02/17

Rev.	Date	Description
7/17/17		1st City Comments

THE ARIES TOWNHOMES

SCOTTSDALE, ARIZONA

LIGHTING FIXTURES CUT-SHEETS



## NP ENGINEERING INC.

4115 N. 15TH AVE.  
PHOENIX, AZ 85015  
PH: (602) 265-1559 FAX: (602) 265-1605

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NP Proj. No: **16-153**  
Project Manager: **NC**  
Drawn by: **NP**  
Date: **Oct. 2016**

**COS PLANNING NOTES:**

- SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' INSPECTION SERVICES DIVISION.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVED OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
- NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- PATIO UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
- ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF TALLEST UNIT. (DETAILS ARE STILL REQUIRED.)
- ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
- NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
- ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
- NO CHAIN LINK FENCING SHALL BE ALLOWED.
- FLAGPOLES, IF PROVIDED, SHALL BE A MAXIMUM OF 30 FEET IN HEIGHT AND SHALL BE ONE PIECE CONICAL TAPERED DESIGN.
- SIGNAGE NOT INCLUDED AS PART OF THIS APPROVAL. SEPARATE REVIEW AND APPROVAL REQUIRED

**LEGAL DESCRIPTION**

THE NORTH 150 FEET OF THE EAST 275 FEET OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; EXCEPT THE EAST 30 FEET.

**LEGEND**

- PROJECT BOUNDARY
- RIGHT OF WAY
- OVERHEAD UTILITY LINE
- BICYCLE PARKING
- ASPHALT
- PEDESTRIAN ACCESS
- CONCRETE SIDEWALKS
- TURF
- INTERNAL ACCESSIBLE ROUTE
- LOW VOLTAGE ACCENT UPLIGHT
- LOW VOLTAGE INGRADE UPLIGHT
- LOW VOLTAGE PATHWAY LIGHT
- FULL CUTOFF SCONE FIXTURE
- UNIT MOUNTED ENTRY FIXTURE
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING FIBER OPTIC LINE
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING CATV/COMMUNICATION LINE
- PROPOSED WATER LINE/WATER METER
- PROPOSED SEWER LINE/MANHOLE

NOTE: REFERENCE CONCEPTUAL LANDSCAPE SHEETS L-1, W-1, WD-1, LT-1 & LTD-1 FOR HARDSCAPE, WALL & LIGHTING DETAILS.

**UNIT DATA**

PLAN	QTY	BEDROOMS	BATHS	TOTAL GROSS UNIT
PLAN A	8	2	2.5	2,306 SF
PLAN B	4	2	2.5	2,757 SF
PLAN C	4	2	2.5	2,792 SF

FLOOR	98 SF	73 SF	372 SF	48 SF	454 SF	35 SF
GROUND FLOOR:	PORCH		PORCH		PORCH	
FIRST FLOOR:	PATIO		PATIO		PATIO	
SECOND FLOOR:	BALCONY		BALCONY		BALCONY	

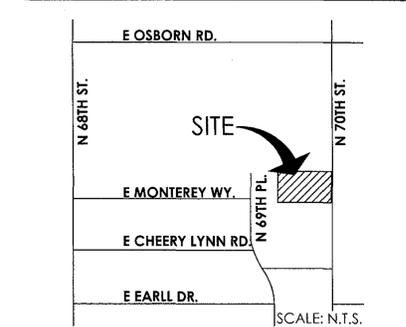
TYPE	1,612 SF	2,053 SF	2,112 SF
TOTAL LIVABLE:			
TOTAL ENCLOSED:	586 SF	485 SF	464 SF
(NON A/C)			
TOTAL UNENCLOSED:	73 SF		196 SF
UNCOVERED BALCONY:	35 SF		20 SF

NOTE: 1ST & 2ND FLOOR LIVABLE AREAS INCLUDE STAIRS WELLS SERVING THOSE FLOORS PER ANSI 2765-2003 CALCULATION METHODS.

**PHASING**

PHASE 1A (MONTHS 1-3 +/-)	PHASE 1B (MONTHS 4-11 +/-)	PHASE 1C (MONTHS 8-13 +/-)
- DEMOLITION	- BUILDING 1&2 CONSTRUCTION	- BUILDING 3&4 CONSTRUCTION
- SITE IMPROVEMENTS	- BUILDING 1&2 LANDSCAPING	- BUILDING 3&4 LANDSCAPING
- COMMON LANDSCAPING		

**VICINITY MAP**



**PROJECT TEAM**

DISCIPLINE	COMPANY CONTACT INFO.
OWNER	LANDMARK HOMES, USA JOHN KOSTARAS, MATT CLARK 8910 E PIMA CENTER PKWY #100 SCOTTSDALE ARIZONA, 85258 (480) 270-6824 JOHNK@LANDMARKHOMESUSA.COM
PLANNER/ LANDSCAPE ARCHITECT	LVA URBAN DESIGN STUDIO KEITH NICTER, LAURA THELEN 120 SOUTH ASH AVENUE TEMPE, ARIZONA 85281 (480) 994-0994 KNICTER@LVADESIGN.COM
CIVIL ENGINEER	EPSILON ENGINEERING & MATERIAL MAHDI SADEK 13765 W AUTO DRIVE (623) 882-9928 MSADEK@EPSILONENGINEERING.COM
ARCHITECT	FELTON GROUP - PHILL COOPER 18325 N ALLIED WAY #200 PHOENIX, ARIZONA 85054 (602) 867-2500 PHILL.COOPER@FELTONGROUP.COM

**SITE DATA**

LOCATION: NWC OF 70TH ST & MONTEREY WY ALIGN.  
ADDRESS: 3214 N. 70TH STREET  
PARCEL #: 130-14-011  
ZONING: R-5  
CURRENT USE: VACANT CHURCH  
PROPOSED USE: CONDOMINIUMS  
GROSS ACRES: 0.946 ACRES (41,231 S.F.)  
NET ACRES: 0.844 ACRES (36,731 S.F.)  
DWELLING UNITS: 16  
ALLOWED DU/AC: ≤23  
PROPOSED DU/AC: 16.9

REQUIRED OPEN SPACE (NET): 22% (8,085 S.F.)  
PROPOSED OPEN SPACE (NET): +/ -23% (8,700 S.F.)  
REQUIRED FRONTAGE OPEN SPACE: 4,040 S.F.  
11% OF NET SITE AREA  
PROPOSED FRONTAGE OPEN SPACE: 4,048 S.F.  
REQUIRED PRIVATE OPEN SPACE: 1,402.6 S.F.  
10% 1ST FLOOR (4,264 S.F.) + 5% 2ND/3RD FLR. (119,524 S.F.)  
PROPOSED PRIVATE OPEN SPACE: +/ -7,000  
REQUIRED PARKING LOT L/S: 104 S.F.  
15% OF PARKING AREA (695 S.F.)  
PROPOSED PARKING LOT L/S: 400 S.F.

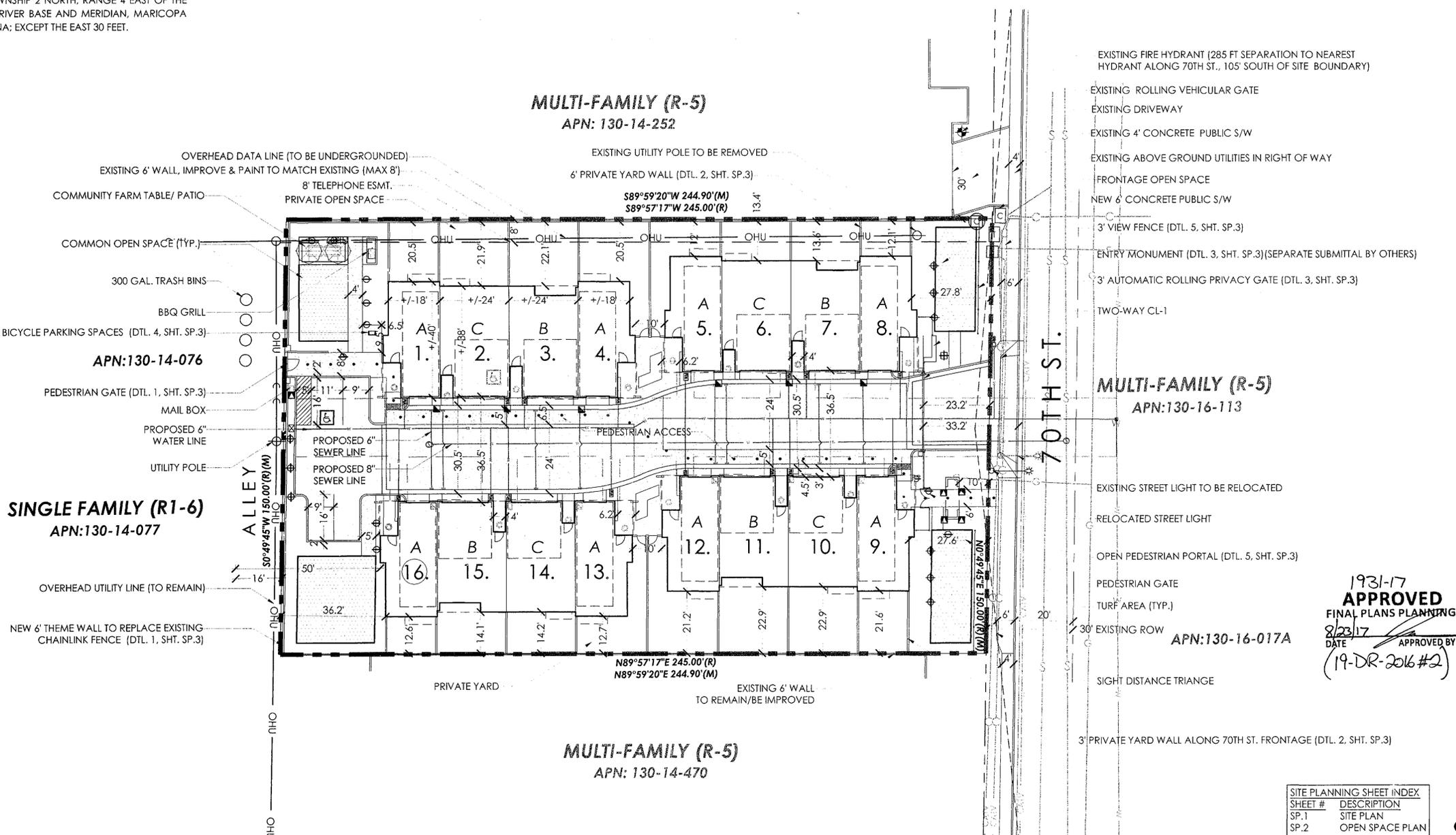
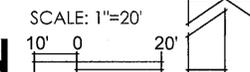
ALLOWED HEIGHT:	(36') 3 STORY
PROPOSED HEIGHT:	≤(36') 3 STORY
ALLOWED WALL HEIGHT:	VARIABLES (8' MAX)
PROPOSED WALL HEIGHT:	VARIABLES (8' MAX)
ALLOWED DISTANCE BETWEEN BUILDINGS:	10' MIN.
PROPOSED DISTANCE BETWEEN BUILDINGS:	≥10'
PERIMETER SETBACKS:	REQUIRED PROVIDED
WEST:	15' 34'
N.E. & S.:	10' ≥10'
SURFACE PARKING:	4 STALLS
GARAGE PARKING:	32 STALLS
TOTAL PARKING:	27 STALLS 36 STALLS
(16(2BR)X1.7)	
ADA PARKING:	1.44 STALLS 2 STALLS
(4% X 36)	
BIKE PARKING:	2 SPACES 4 STALLS
(REQ. FOR	≤40 STALLS)

**NOTES:**

- EQUIPMENT TO BE MOUNTED/SCREENED ON ROOFTOPS.
- HYDRANTS ARE PROVIDED AT A MAX. SPACING OF 700' PER ORD. 507.5.1.2.
- KEY SWITCH/PRE-EMPTION SENSOR WILL BE PROVIDED FOR ENTRY GATE.
- FIRE LANES WILL SUPPORT 83,000LB LOAD PER DS&PM 2-1.802.
- INTERNAL PRIVATE DRIVE TO BE DESIGNATED EMERGENCY SERVICE VEHICLE ACCESS, WATER AND SEWER EASEMENT.
- SPRINKLER SUPPRESSION SYSTEM TO BE NFPA 13D.

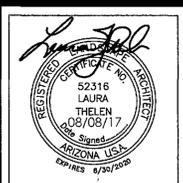
SHEET #	DESCRIPTION
SP.1	SITE PLAN
SP.2	OPEN SPACE PLAN
SP.3	SITE DETAILS

**SITE PLAN**



1931-17  
**APPROVED**  
FINAL PLANS PLANNING  
8/23/17  
DATE APPROVED BY  
(19-DR-2016#2)

**LVA urban design studio**  
land planning - development entitlements - landscape architecture  
120 south ash avenue • tempe, arizona 85281 • 480.994.0994



THE **AERIES** TOWNHOMES

**LANDMARK HOMES USA**

REVISION	DATE
NO. REDLINES	08/08/17

DATE: 02/22/17  
JOB NO.: 1567  
DRAWN: KN, AV  
SCALE: AS SHOWN  
DRAWING: CONDOMINIUM PLAT ARCHITECTURAL REVIEW SET - SITE PLAN  
SUBMITTED FOR: LANDMARK HOMES, USA  
SHEET # SP.1 of 3