

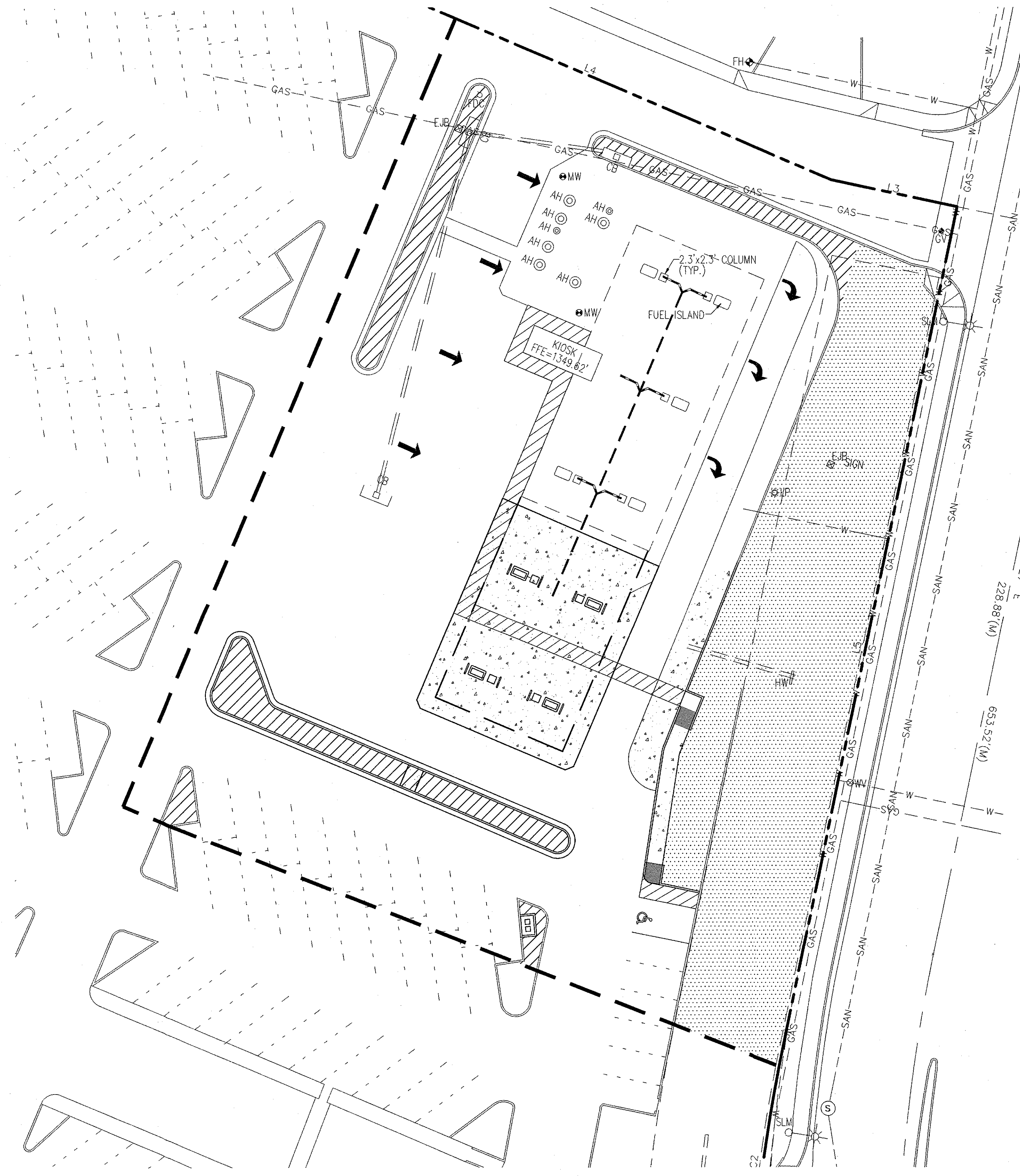
Full Size

8.5 x 11

11 x 17

(site plan, landscape, elevations)

FRY'S 621 FUEL CENTER EXPANSION OPEN SPACE EXHIBIT



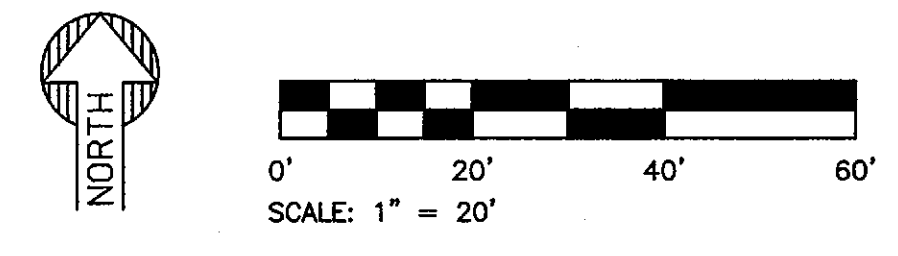
OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACE:
 BUILDING HEIGHT (FC) = 18'-6" PROPOSED
 FIRST 12' OF HEIGHT = 10% X NET LOT AREA
 = .10*51,078 SF = 5,108 SF
 NEXT 6'-6" OF HEIGHT = 6.5*.004*51,078 SF = 1,328 SF

OPEN SPACE REQUIRED = 6,436 SF
 OPEN SPACE PROVIDED = 11,484 SF

FRONT OPEN SPACE REQUIRED = 6,436/2 = 3,218 SF
 FRONT OPEN SPACE PROVIDED = 9,959 SF

- NON FRONT OPEN SPACE (2309 SF)
- FRONT OPEN SPACE (9959 SF)
- LIMITS OF DISTURBANCE
- PROPERTY LINE



NOTE TO CONTRACTOR:
 THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE NOT TO BE USED IN CONSTRUCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ IN CONJUNCTION WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.S.A. REQUIREMENTS. THE SET INCLUDES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR WIND LOADS, THE FAILURE OF THIS CONTRACTOR MAY REQUIRE IMMEDIATE ACTION TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO NOTIFY THE OWNER/ARCHITECT OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO MEET THE SITE BEFORE BEGINNING CONTRACTOR AND PROVIDING TO KNOW ALL APPLICABLE CODES AND APPLICABLE CODES.

**SUSTAINABILITY
 ENGINEERING
 GROUP**



17797 N PERIMETER DR #A107, SCOTTSDALE, ARIZONA 85255
 WWW.AZSEG.COM TEL. 480.988.7226

frys
 Fry's Food Stores of Arizona
 500 South 98th Avenue, Bldg A
 Tolleson, AZ 85235
 Phone (602) 907-1864
 Fax (602) 907-1874

Kroger
 The Kroger Co.
 10251 East 51st Street, Suite A
 Denver, CO 80239
 Phone (303) 715-5817
 Fax (303) 715-9805

PROJECT FRY'S FUEL CENTER #621 EXPANSION	LOCATION 9350 NORTH 90TH STREET, SCOTTSDALE, AZ 85258
----------------------------------------------------	-----------------------------------------------------------------

DRAWN	SANTIAGO
DESIGNED	POUNDS
CHECKED	COUNSELL
PROJ. MGR.	FAKIH

DATE: 12-06-2016

ISSUED FOR: CUP/DRB

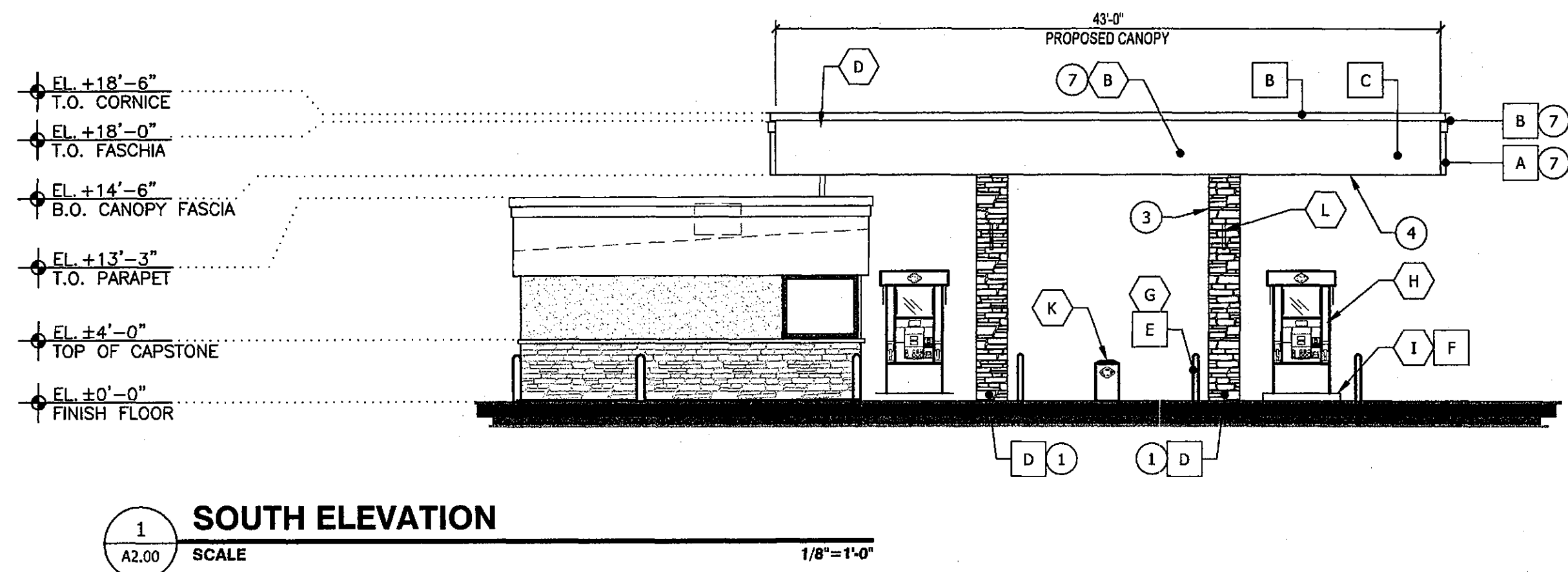
REVISION NO.:	DATE:

JOB NO.: 160621

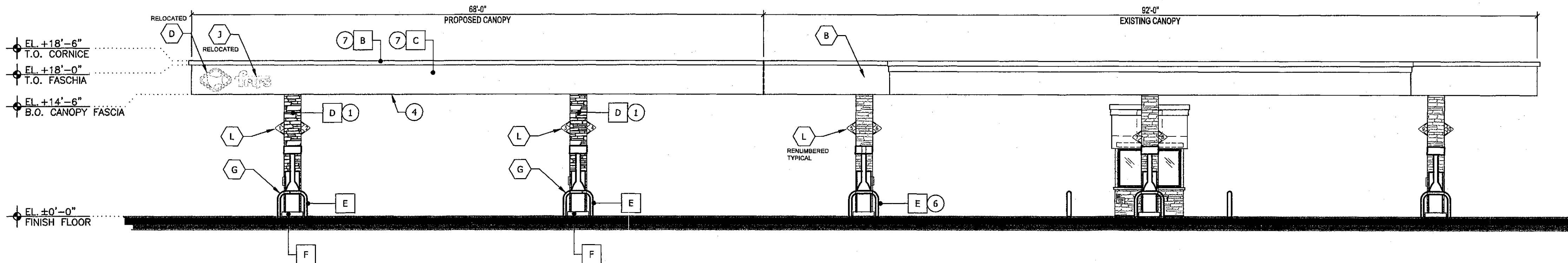
SHEET TITLE: OPEN SPACE EXHIBIT

SHEET NO.:

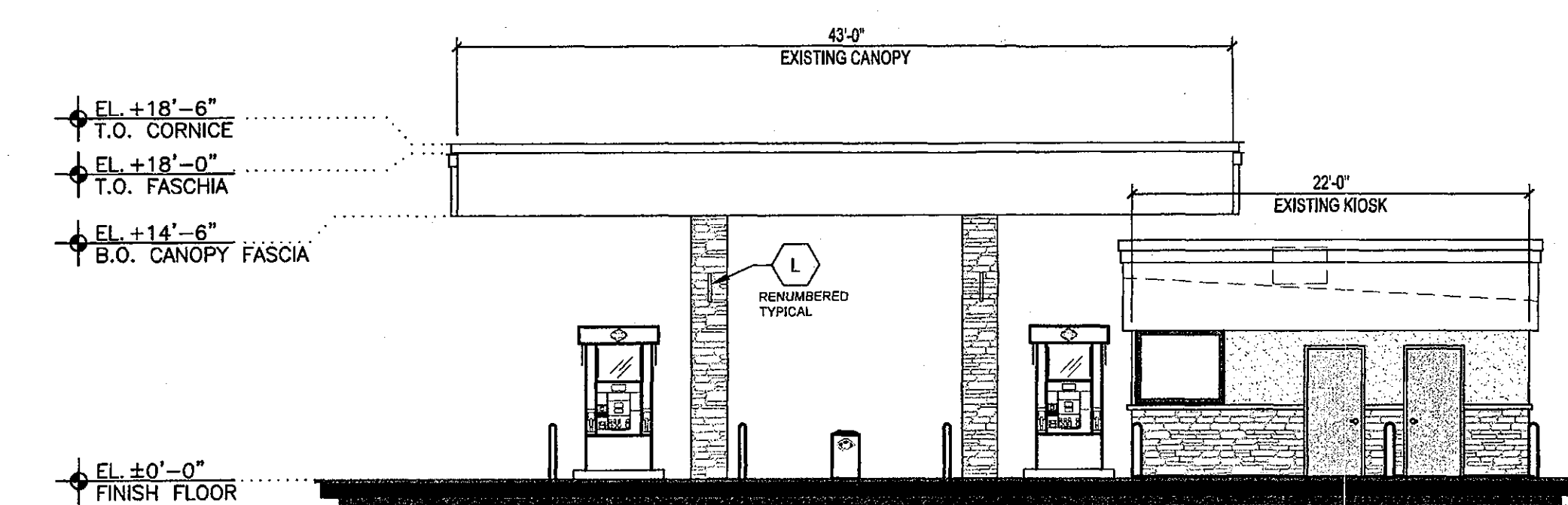
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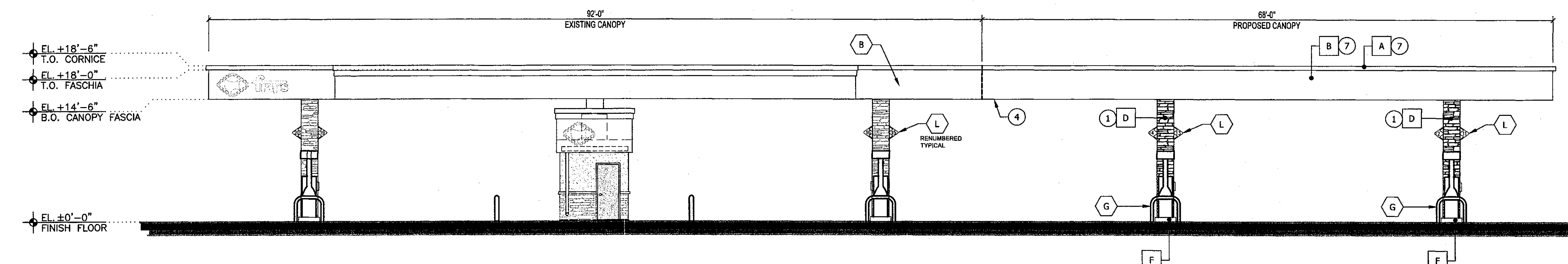
1 SOUTH ELEVATION
A2.00 SCALE 1/8"=1'-0"



2 EAST ELEVATION
A2.00 SCALE 1/8"=1'-0"



3 NORTH ELEVATION
A2.00 SCALE 1/8"=1'-0"



4 EAST ELEVATION
A2.00 SCALE 1/8"=1'-0"

EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" H X 6" W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	DISPENSER DOOR GRAPHICS		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
F	CANOPY FASCHIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
G	6"X6" SQ. BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
H	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
I	ISLAND FORMS - G.C. TO PAINT		OPW		OWNER	GENERAL CONTRACTOR
J	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
K	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
L	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
M	4" BLACK VINYL DECAL (DISPENSER NUMBER)		OWNER		OWNER	GENERAL CONTRACTOR
N	FIRE EXTINGUISHER	GRAPHITE SW4107			OWNER	GENERAL CONTRACTOR
O	LOGO - NON-ILLUMINATED		DUALITE		OWNER	SIGN INSTALLER

GENERAL NOTES:

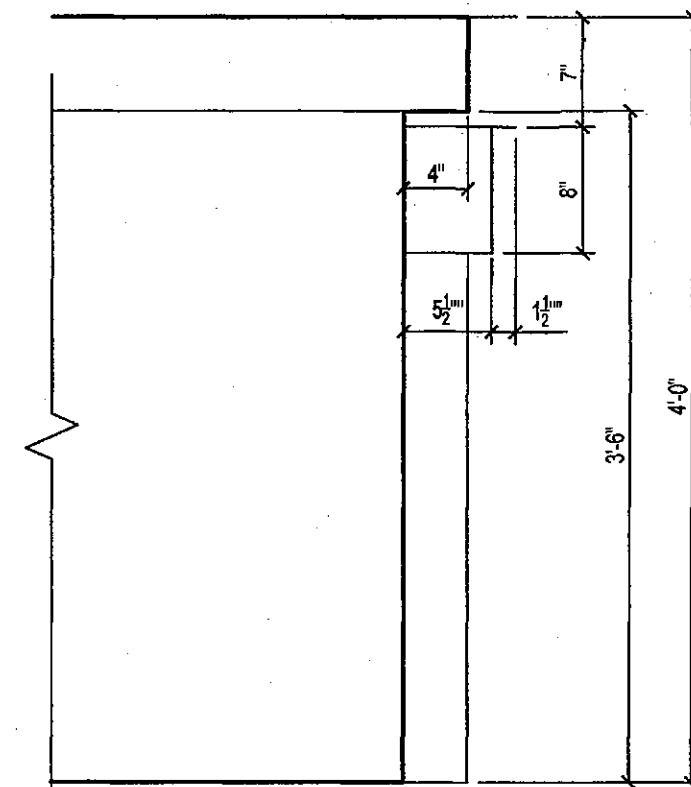
- A. CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. PREMANUFACTURED CANOPY PROVIDED BY OTHERS.
- C. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
- D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES. EXISTING & PROPOSED STRUCTURES TO BE PAINTED BY CONTRACTOR AS SHOWN.
- F. FIELD VERIFY ALL EXISTING STRUCTURE DIMENSIONS.

KEYED NOTES:

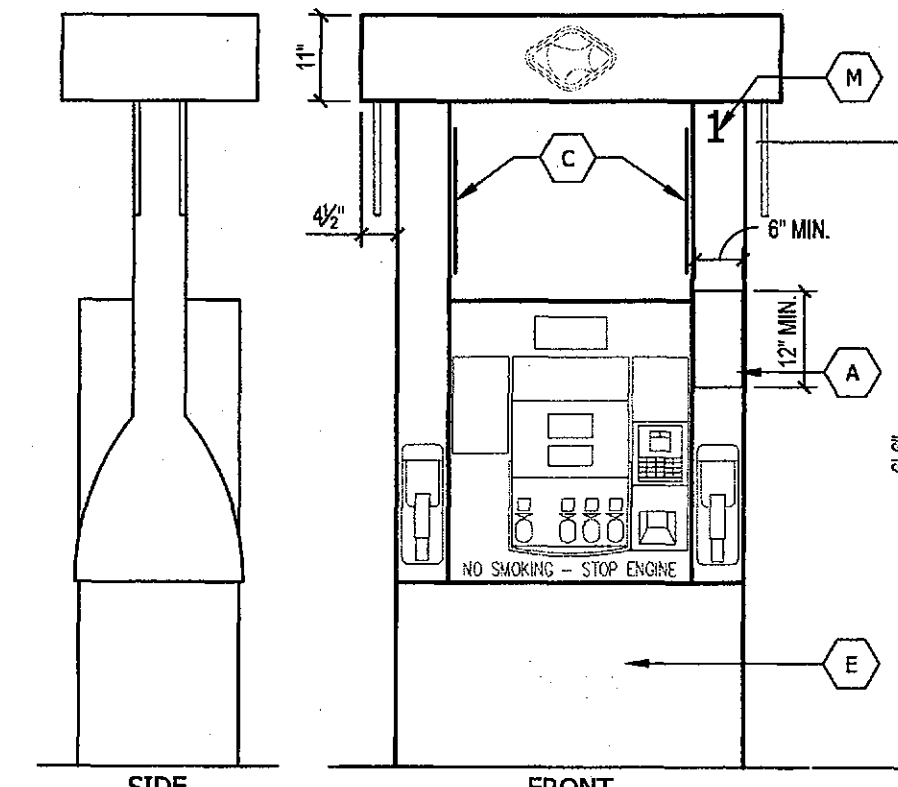
1. CULTURED STONE TO MATCH EXISTING.
2. OWENS CORNING CAST STONE SILL, "TAUPE"
3. CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
4. NOT USED
5. EXISTING 6"X6" CONCRETE-FILLED STEEL BOLLARD.
6. TEX-KOTE FINISH ON ACM PANELS
7. PAINT TO MATCH EXISTING

COLOR/FINISH LEGEND:

- A MATCH COLOR SHERWIN WILLIAMS SW6360 "FOLKSY GOLD"
- B MATCH COLOR SHERWIN WILLIAMS SW7038 "TONY TAUPE"
- C MATCH COLOR SHERWIN WILLIAMS SW7038 "MOCHA"
- D MATCH COLOR OWENS CORNING 80% "RUSTIC SOUTHERN LEDGESTONE" 20% "BRANDYWINE"
- E MATCH COLOR SHERWIN WILLIAMS SW4081 "SAFETY RED"
- F MATCH COLOR SHERWIN WILLIAMS SW4107 "GRAPHITE"

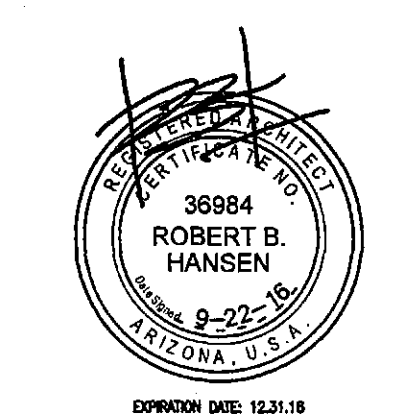
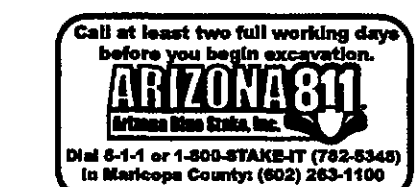


5 CANOPY CORNICE DETAIL
A2.00 SCALE 1"=1'-0"

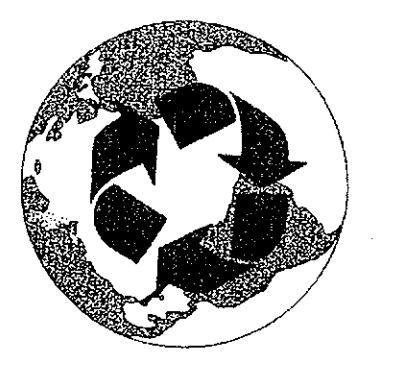


6 DISPENSER ELEVATION
A2.00 SCALE: 1/2"=1'-0"

CCSC:
KIVA:
Q.S.:



SUSTAINABILITY ENGINEERING GROUP



FRY'S
Fry's Food Stores of Arizona
1001 N. Central, Suite A
Tolson, AZ 85303
Phone (602) 907-1984
Fax (602) 907-1974

Kroger
The Kroger Co.
100 N. Central, Suite A
Tolson, CO 80239
Phone (303) 715-5617
Fax (303) 715-5605

PROJECT: FRY'S #821 FUEL CENTER EXPANSION
9350 N 90th STREET
LOCATION: 9350 N 90th STREET
SCOTTSDALE, AZ

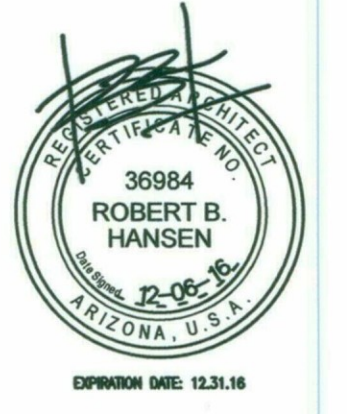
DRAWN: HANSEN
DESIGNED: HANSEN
CHECKED: COUNSELL
PROJ. MGR.: FAKIH

DATE: 05/26/2016
ISSUED FOR: PERMITS

REVISION NO.	DATE

JOB NO.: FUEL CANOPY/KIOSK EXTERIOR ELEVATIONS
SHEET TITLE: FUEL CANOPY/KIOSK EXTERIOR ELEVATIONS
SHEET NO.: A2.00

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**SUSTAINABILITY
ENGINEERING
GROUP**

SEG



fray's
FOOD & DRUG STORES

Kroger

8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.587.7228

Fry's Food Stores of Arizona
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Tolleson, AZ 85235
Tel: (602) 967-8964
Fax: (602) 967-1974

The Kroger Co.
10251 East 61st Street, Suite A
Denver, CO 80239
Tel: (303) 751-9817
Fax: (303) 715-5805

PROJECT: **FRY'S #821 FUEL CENTER EXPANSION**
9350 N 90th STREET

LOCATION:
9350 N 90th STREET
SCOTTSDALE, AZ

DRAWN: HANSEN
DESIGNED: HANSEN
CHECKED: COUNSELL
PROJ. MGR.: FAKIH

DATE: 12/06/2016
ISSUED FOR: CUP/ DRB

REVISION NO.	DATE

JOB NO.:
SHEET TITLE:
FUEL CANOPY/KIOSK EXTERIOR ELEVATIONS

SHEET NO.: A2.00

EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" HX 6"W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	DISPENSER DOOR GRAPHICS		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
F	CANOPY FASCIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
G	6" X 6" SQ. BOLLARD = G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
H	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
I	ISLAND FORMS - G.C. TO PAINT		OPW		OWNER	GENERAL CONTRACTOR
J	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
K	WASTE RECEPTACLE/ WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
L	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
M	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
N	FIRE EXTINGUISHER	GRAPHITE SW4107			OWNER	GENERAL CONTRACTOR
O	LOGO-NON-ILLUMINATED		DUALITE		OWNER	SIGN INSTALLER

GENERAL NOTES:

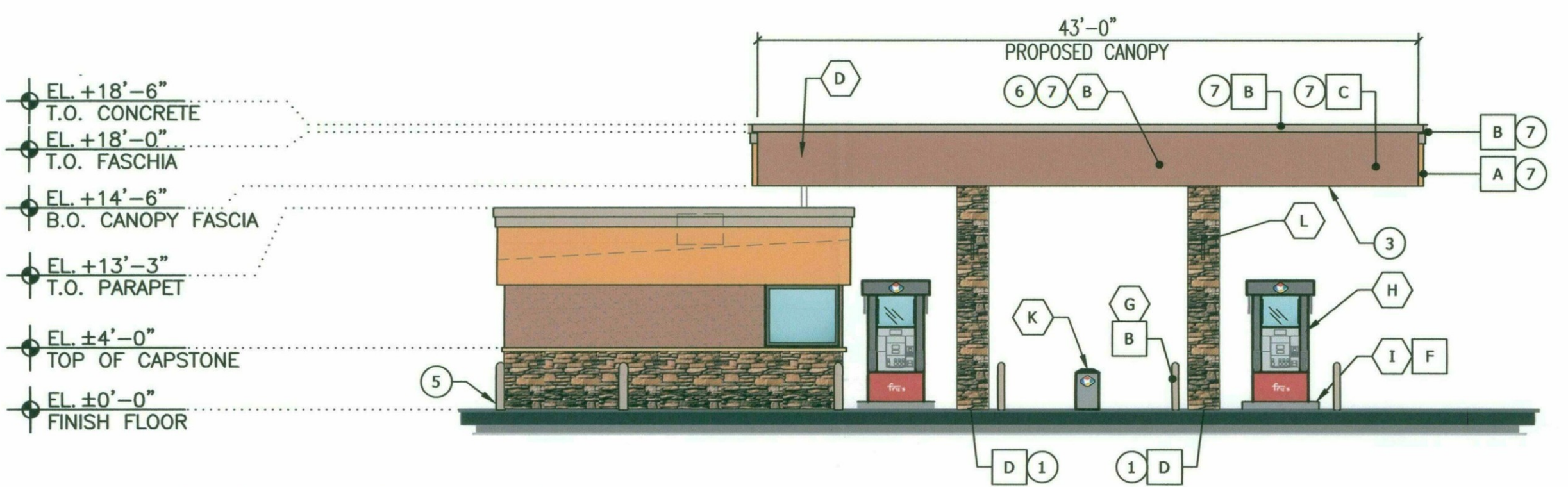
- CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- PREMANUFACTURED CANOPY PROVIDED BY OTHERS.
- ALL ON-SITE SIGNAGE UNDER SEPARATE PERMIT.
- FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.
- EXISTING & PROPOSED STRUCTURES TO BE PAINTED BY CONTRACTOR AS SHOWN.
- FIELD VERIFY ALL EXISTING STRUCTURE DIMENSIONS.

KEYED NOTES:

- CULTURED STONE TO MATCH EXISTING.
- NOT USED
- CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
- NOT USED
- EXISTING 6"x6" CONCRETE-FILLED STEEL BOLLARD.
- TEX-KOTE FINISH ON ACM PANELS
- PAINT TO MATCH EXISTING

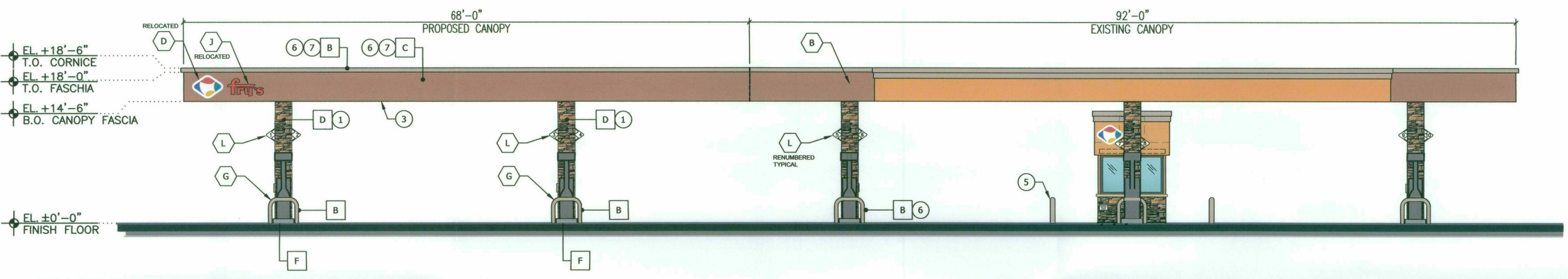
COLOR/FINISH LEGEND:

- A MATCH COLOR SHERWIN WILLIAMS SW6360 "FOLKSY GOLD"
- B MATCH COLOR SHERWIN WILLIAMS SW7038 "TONY TAUPE"
- C MATCH COLOR SHERWIN WILLIAMS SW6067 "MOCHA"
- D MATCH COLOR OWENS CORNING 80% "RUSTIC SOUTHERN LEDGESTONE" 20% "BRANDYWINE"
- E NOT USED
- F MATCH COLOR SHERWIN WILLIAMS SW4107 "GRAPHITE"



SOUTH ELEVATION

1 SCALE 1/8"=1'-0"



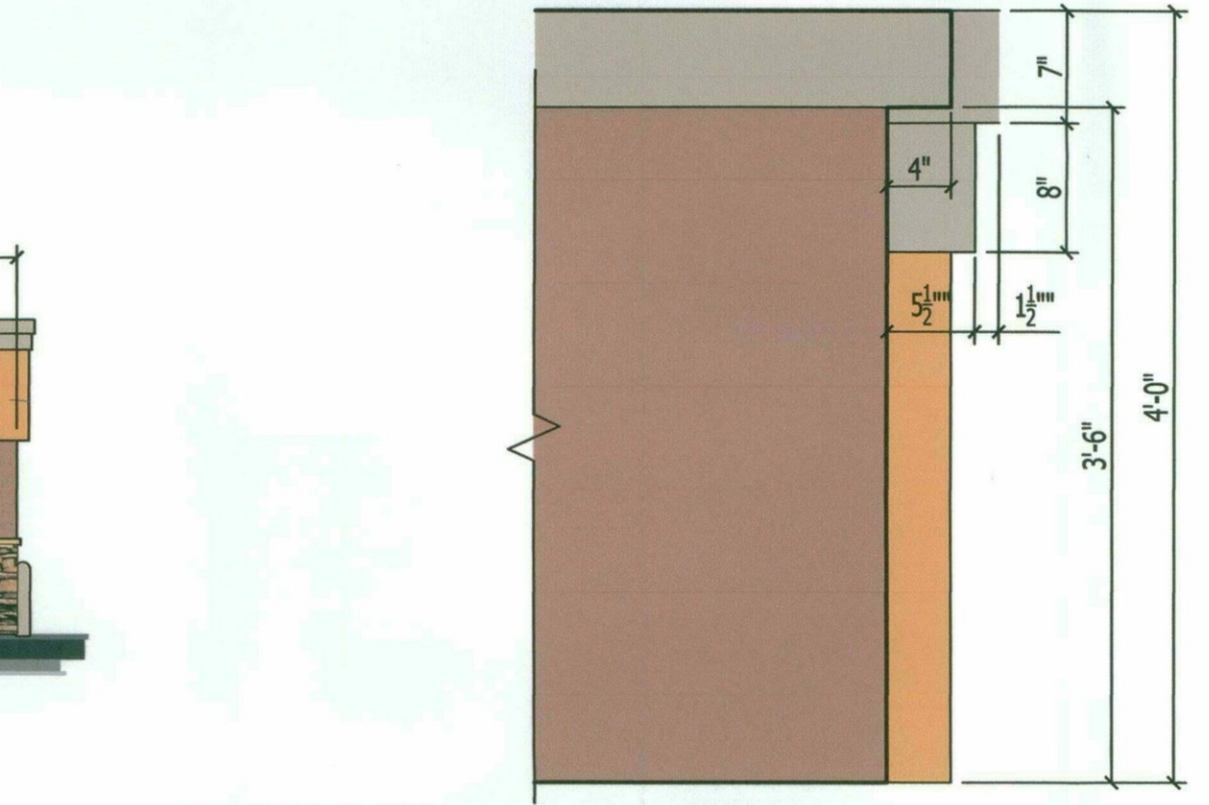
EAST ELEVATION

2 SCALE 1/8"=1'-0"



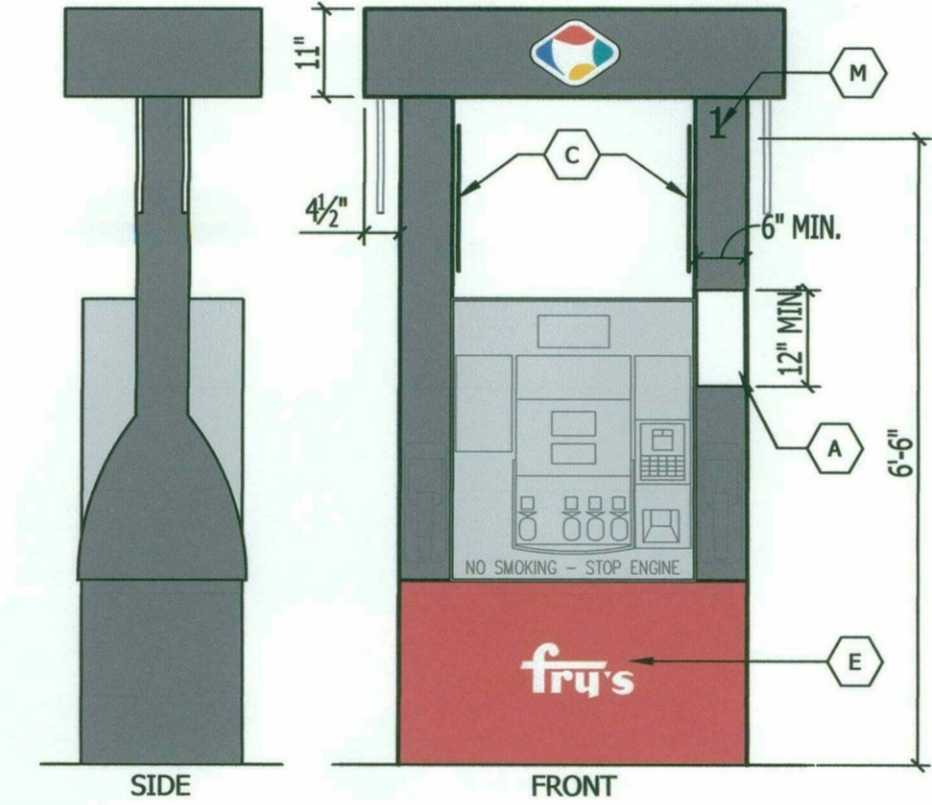
NORTH ELEVATION

3 SCALE 1/8"=1'-0"



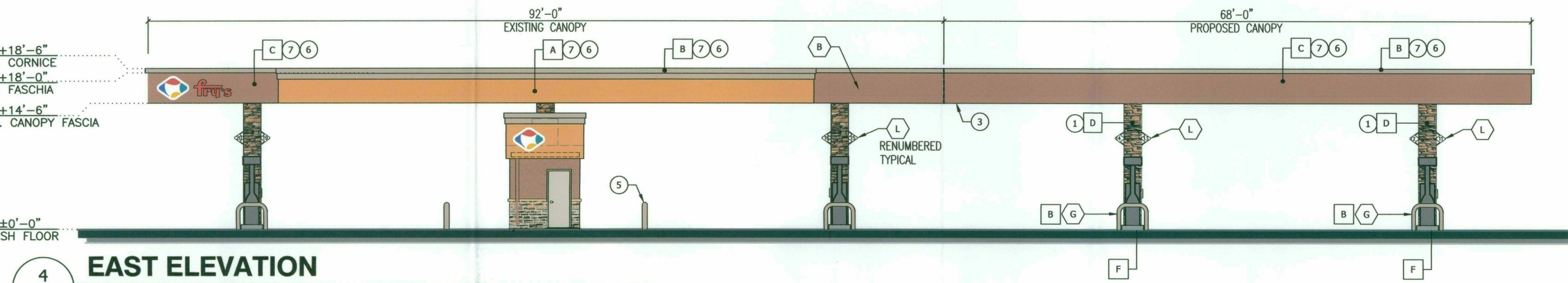
CANOPY CORNICE DETAIL

5 SCALE 1"=1'-0"



DISPENSER ELEVATION

6 SCALE 1/8"=1'-0"



EAST ELEVATION

4 SCALE 1/8"=1'-0"

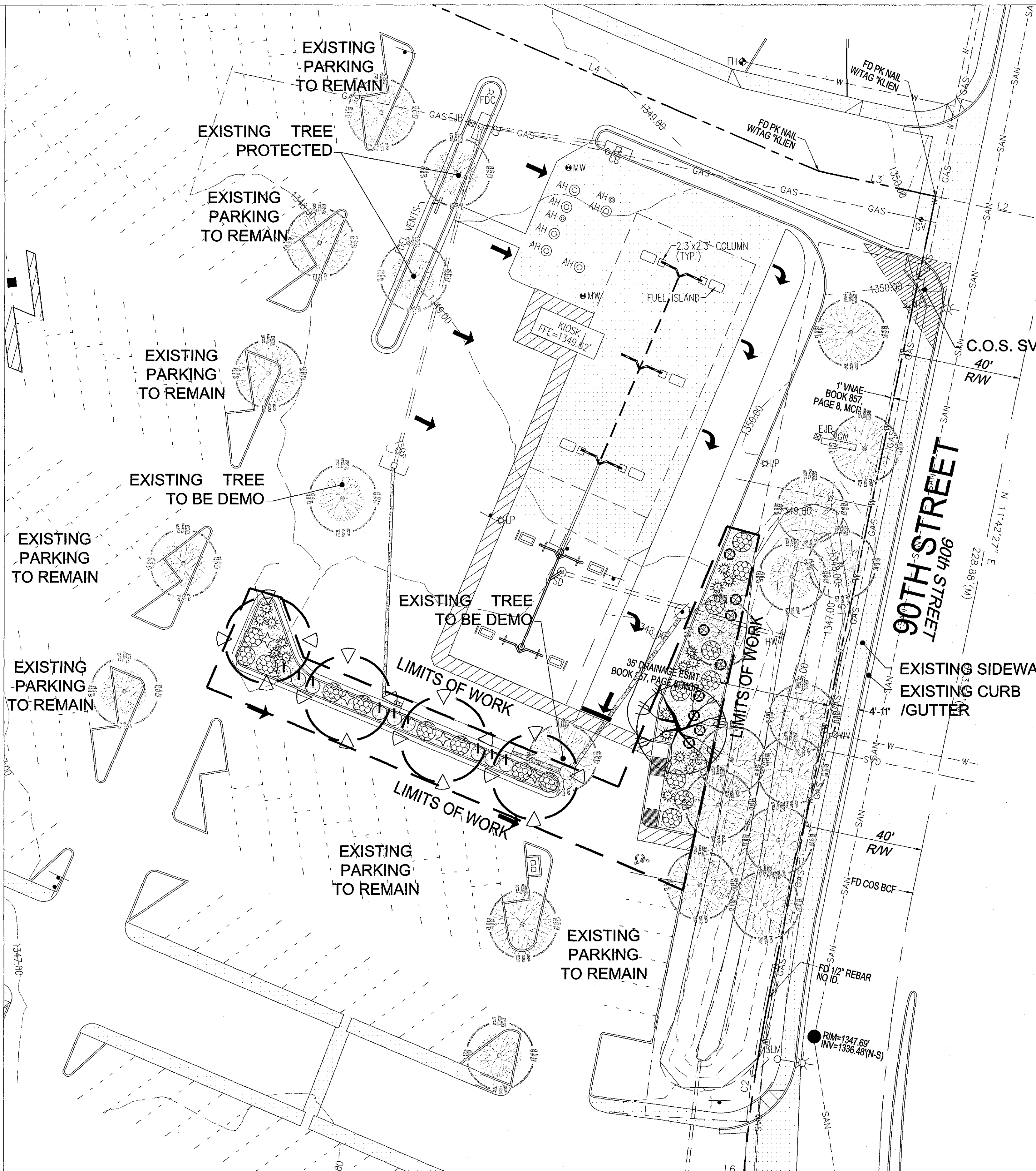
CCSC:
KIVA:
Q.S.:



50-DR-2016
12/06/2016

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SCOTTSDALE LANDSCAPE NOTES PLANTING MATERIAL LEGEND

- AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS/ GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
- A MINIMUM OF 50 PERCENT OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREES CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE THE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.

TREES	SIZE	NOTES	QTY
Existing Tree	-		00
Species Varies	-		
Caliper Size: -	-		
Parkinsonia x 'Desert Museum'	24" Box	*ADWR	1
Desert Museum Palo Brea			
Caliper Size: 1.5"			
Acacia stenophylla	24" Box	*ADWR	4
Shoestring Acacia			
Caliper Size: 2.0"			

GROUNDCOVERS	SIZE	NOTES	QTY
Lantana mo. 'Gold Mound'	5 Gallon	*ADWR	18
Gold Mound Lantana			

SHRUBS / ACCENTS	SIZE	NOTES	QTY
Euphorbia rigida	5 Gallon	*ADWR	9
Gopher Plant			
Hesperaloe parviflora	5 Gallon	*ADWR	18
Red Yucca			
Eremophila macuata 'Valentine'	5 Gallon	*ADWR	9
Valentine Bush			

LANDSCAPE MATERIALS	SIZE	NOTES	QTY
Decomposed Granite, 3/4" screened, match existing site color,			2,500 s.f.
2" deep in planting areas per plan.			

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

- AREA WITHIN THE SIGHT DISTANCE TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE FEET OF MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPERATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRED DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETATED NAOS TO BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS.

SITE LANDSCAPE NOTES

- FIELD VERIFY EXISTING SITE PRIOR TO BID AND CONSTRUCTION.
- REFER TO CIVIL ENGINEERING PLANS FOR VERTICAL AND HORIZONTAL CONTROL.
- PROTECT ALL UTILITIES DURING CONSTRUCTION.
- ALL VENDOR PRODUCTS LISTED MAY BE SUBMITTED WITH COMPARABLE / EQUAL AS APPROVED BY OWNER.

H P
+ D

HARRINGTON
PLANNING + DESIGN

3116 S. Mill Avenue, Suite 305
Tempe, Arizona 85282
Tel: 480-250-0116
www.HarringtonPlanningDesign.com

LANDSCAPE ARCHITECT

4451
JASON E.
HARRINGTON

12.02.16

ARIZONA U.S.A.

Expires 05/09/2018

FRY'S FUEL CENTER #621

90th St. & Via Linda Dr.
Scottsdale, Arizona 85256

REV.	COMMENT	DATE

Landscape Package

December 2, 2016

DRAWN BY:	JEH
CHECK BY:	JEH
PROJ. NO.:	2016-023
CASE NO.:	-

LANDSCAPE CONCEPT PLAN

L0.2

1 of 1

LANDSCAPE CALCULATIONS CITY OF SCOTTSDALE

LANDSCAPE MATERIAL NOT ON AD.W.R.	0.0%
LANDSCAPE TURF AREA TOTAL	0 SF.
TOTAL PROJECT LANDSCAPE AREA	2,500 SF.

LANDSCAPE PLAN APPROVED CITY OF SCOTTSDALE

CASE NUMBER	APPROVED BY	DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATION WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN THE RIGHT-OF-WAYS, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, AND WEED FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS CITY OF SCOTTSDALE

LANDSCAPE AREA TOTAL:	PROVIDED:
LANDSCAPE AREA TOTAL:	2500 SF
LANDSCAPE AREA ON-SITE:	1716 SF
LANDSCAPE AREA RIGHT-OF-WAY:	0 SF
LANDSCAPE AREA PARKING LOT:	785 SF

PROPERTY OWNER
 FRY'S FOOD STORES OF ARIZONA
 500 S 99TH AVE
 TOLLESON, ARIZONA 85353
 P: 623-907-7188
 ATTN: DAVE HILL

CIVIL ENGINEER
 SUSTAINABILITY ENGINEERING GROUP
 8280 E GELDING DR #101
 SCOTTSDALE, ARIZONA 85260
 P: 480-588-7226
 ATTN: ALI FAKIH

DEVELOPER
 FRY'S FOOD STORES OF ARIZONA
 500 S 99TH AVE
 TOLLESON, ARIZONA 85353
 P: 623-907-7188
 ATTN: DAVE HILL

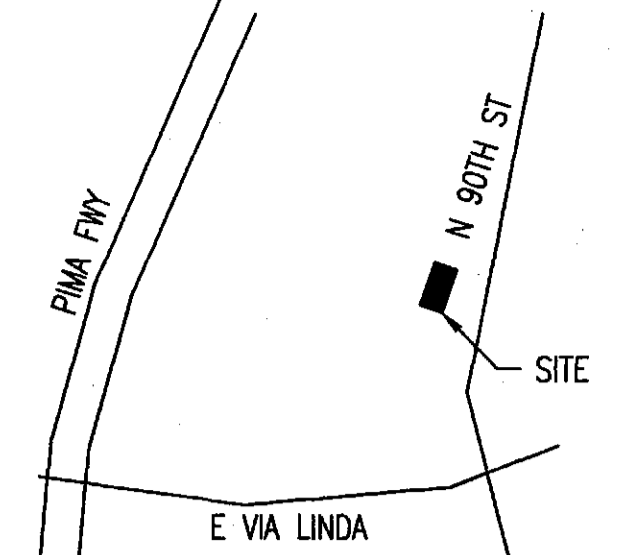
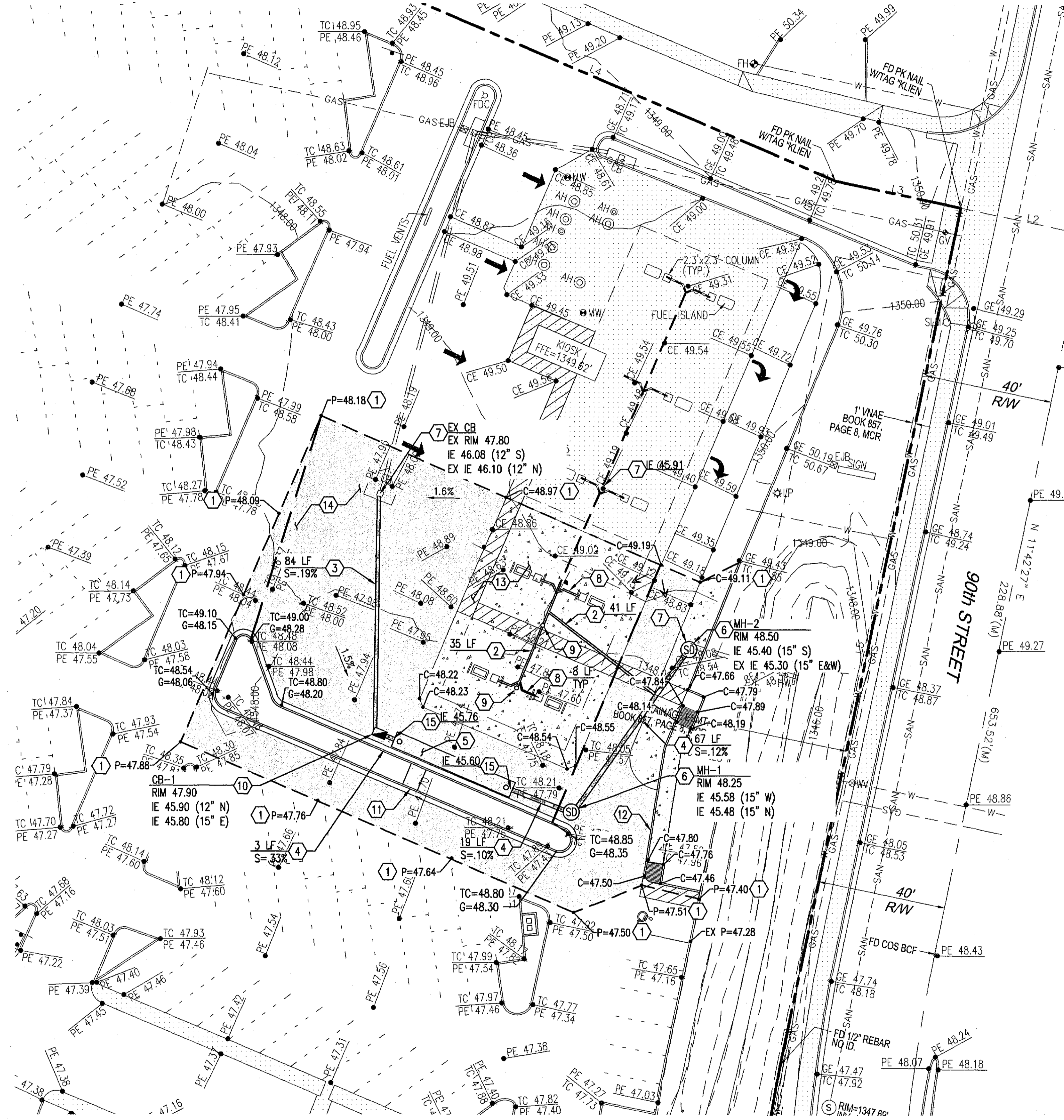
FRY'S FC #621
FUEL CENTER EXPANSION GRADING AND DRAINAGE PLAN
 SCOTTSDALE, AZ

BENCHMARK

BENCHMARK IS A CITY OF SCOTTSDALE BRASS CRAP IN A HANDHOLE AT THE INTERSECTION OF SHEA BOULEVARD AND 92ND STREET. ELEVATION = 1372.195' (NAVD 88)

GRADING NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
2. PROPOSED SPOT ELEVATIONS SHOWN REPRESENT FINISHED PAVING, SIDEWALK, SLAB, GUTTER FLOWLINE, OR GROUND ELEVATION. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
4. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE STABILIZED.
5. IF STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS ARE STOCKPILED ON THE SITE, THESE MATERIALS MAY BE PLACED TO A HEIGHT OF FIVE FEET. SILT FENCE SHALL BE PLACED AROUND THE BASE OF THE STOCKPILE AND THE STOCKPILE SHALL BE SEEDED WITH NATIVE SEED MIX IMMEDIATELY AFTER STRIPPING OPERATIONS ARE COMPLETE.
6. IF APPLICABLE, LIME TREATED SUBGRADE MATERIAL SHOULD MEET ARIZONA HIGHWAY DEPARTMENT SPECIFICATIONS. A SPECIFIC MIX DESIGN SHOULD BE PREPARED BY THE GEOTECHNICAL CONSULTANT.
7. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO PROPOSED GRADE PRIOR TO PLACEMENT OF THE FINAL LIFT OF ASPHALT.
8. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE SOILS REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE SOILS REPORT ON THE SITE AT ALL TIMES.
9. SUBGRADE WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN SUBGRADE ELEVATION. HOWEVER, ON THE FINISHED ASPHALT SURFACE, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
10. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPES AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR THE TYPICAL SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURED WITHOUT APPROVAL OF THE ENGINEER.
11. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
12. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES TO ENSURE NO STANDING WATER.
13. PROVIDE THICKENED PAVEMENT TRANSITION AROUND STRUCTURES AND AT OPEN EDGE OF PAVEMENT SECTION.
14. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
15. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
16. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
17. THE CONTRACTOR IS ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT HE SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE PROJECT AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
18. CONTRACTOR TO NOTIFY ADVANCED DRAINAGE SYSTEMS OF RELOCATION OF EXISTING WATER QUALITY UNIT. ADS WILL ASSIST IN FIELD INSPECTION, REPLACEMENT OF WATER TIGHT GASKETS, AND OVERALL RELOCATION. WATER QUALITY UNIT TO BE CLEANED WITH VACUUM TRUCK PRIOR TO RELOCATION.



KEY NOTES:

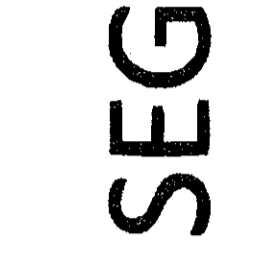
1. MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO ANY CONSTRUCTION ACTIVITIES AND TO CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES
2. INSTALL 8" PVC
3. INSTALL 12" HDPE
4. INSTALL 15" HDPE
5. RELOCATE AND INSTALL EXISTING 60"x40" WATER QUALITY UNIT. REFER TO GRADING NOTE 18 ON THIS SHEET
6. INSTALL NYLOPLAST STORM DRAIN MANHOLE
7. CONNECT TO EXISTING UNDERGROUND STORM PIPE, PROVIDE TIGHT JOINT
8. INSTALL 4" PVC
9. CONSTRUCT CLEANOUT PER MAG STD DTL 441
10. INSTALL NYLOPLAST CATCH BASIN
11. INSTALL 6" CURB AND GUTTER
12. INSTALL 6" VERTICAL CURB
13. CONCRETE PAVEMENT
14. ASPHALT PAVEMENT HEAVY DUTY
15. CONNECT TO RELOCATED WATER QUALITY UNIT

LEGEND:

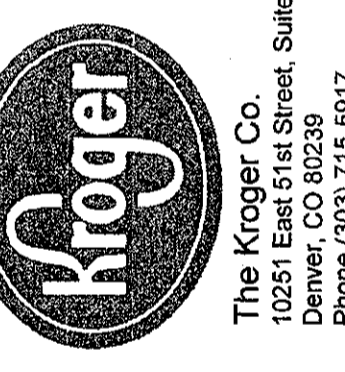
- SAWCUT LINE
- RIDGE LINE
- STORM PIPE
- CATCH BASIN
- MANHOLE
- DRAINAGE SLOPES
- NEW CONCRETE
- NEW ASPHALT PAVEMENT

Call at least two full working days before final construction
ARIZONA 811
 Dial 811 or 1-800-878-8887 (TDD) 811 in Maricopa County (602) 263-1100

SUSTAINABILITY ENGINEERING GROUP



Fry's Food Stores of Arizona
 500 South 99th Avenue, Bldg A
 Tolleson, AZ 85353
 Phone (602) 907-1884
 Fax (602) 907-1874



The Kroger Co.
 10251 East 16th Street, Suite A
 Denver, CO 80239
 Phone (303) 715-5917
 Fax (303) 715-5905

PROJECT: FRY'S FUEL CENTER #621 EXPANSION
LOCATION: 9350 NORTH 90TH STREET, SCOTTSDALE, AZ 85258

DATE: 12-06-2016
ISSUED FOR: CUP/DRB

JOB NO.: 160621
SHEET TITLE: GRADING AND DRAINAGE PLAN

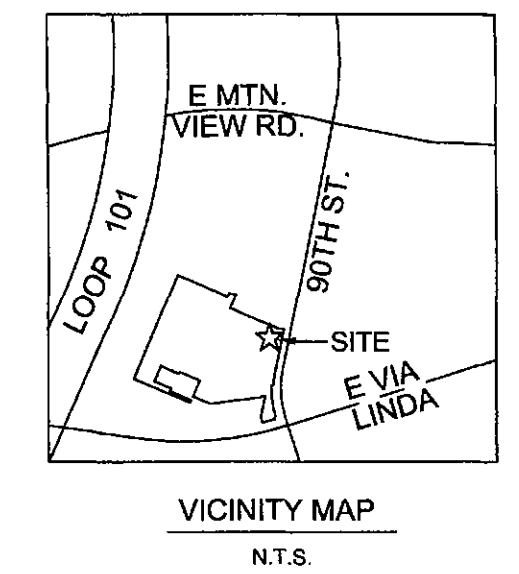
SHEET NO.: C3.00

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

ALTA/NSPS LAND TITLE SURVEY

OF
A PORTION OF
LOT 1
90TH STREET AND VIA LINDA MARKETPLACE
BOOK 857, PAGE 8, MARICOPA COUNTY RECORDS

BEING
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 30,
TOWNSHIP 3 NORTH, RANGE 5 EAST,
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.



PARCEL DESCRIPTION

LOT 1, 90TH STREET & VIA LINDA MARKETPLACE, ACCORDING TO BOOK 857 OF MAPS, PAGE 8, RECORDS OF MARICOPA COUNTY, ARIZONA;
EXCEPT ALL MINERALS AS RESERVED IN THE PATEN FROM THE UNITED STATES OF AMERICA.

SCHEDULE "B" ITEMS

- Property taxes, including any personal property taxes and any assessments collected with taxes, for the second instalment of 2016 Taxes.
- Reservations contained in the Patent
From: The United States of America
Recording Date: May 04, 1945
Recording No: Book 432 of Deeds, Page 554
Which among other things recites as follows:
Subject to any vested and accrued water rights for mining, agricultural, manufacturing, or other purposes and rights to ditches and reservoirs used in connection with such water rights, as may be recognized and acknowledged by the local customs, laws and decisions of the courts, and the reservation from the lands hereby granted, a right of way thereon for ditches or canals constructed by the authority of the United States.
- The right of entry to prospect for, mine and remove the minerals excepted from the description of said Land in Schedule A.
- Water rights, claims or title to water, whether or not disclosed by the public records.
- Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document
Recording Date: December 23, 1982
Recording No: Docket 16508, Page 1076
- Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document
Recording Date: December 23, 1982
Recording No: Docket 16508, Page 1096
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
Purpose: public utilities
Recording Date: December 24, 1984
Recording No: 84-551216 and thereafter Release of Easement (Partial Waterline)
Recording Date: October 31, 2011
Recording No: 2011-0897226
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
Purpose: fire line and fire hydrant
Recording Date: December 24, 1984
Recording No: 84-551217, and thereafter Release of Easement (Partial Waterline)
Recording Date: October 31, 2011
Recording No: 2011-0897226
- Matters contained in that certain document
Entitled: Agreement of Covenants, Restrictions and Reciprocal Easements
Dated: April 29, 1995
Executed by: Smitty's Super Valu, Inc., a Delaware corporation and Miller-McDowell Associates, a Missouri General Partnership
Recording Date: May 03, 1985
Recording No: 85-202380
Reference is hereby made to said document for full particulars.
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
Purpose: electric lines
Recording Date: May 06, 1985
Recording No: 85-204785

SCHEDULE "B" ITEMS

- Any action that may be taken by the Arizona Department of Transportation to acquire right of way and access for State Highway, as disclosed by Resolution of Establishment
Recording Date: June 30, 1989
Recording No: 89-301203
- Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document
Recording Date: November 21, 1990
Recording No: 90-522013
- Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document
Recording Date: September 15, 2005
Recording No: 2005-1360153
First Amendment of said covenants, conditions and restrictions
Recording Date: July 18, 2006
Recording No: 2006-0956964
Supplemental Declaration of said covenants, conditions and restrictions
Recording Date: August 23, 2006
Recording No: 2006-1123164
Second Amendment of said covenants, conditions and restrictions
Recording Date: January 17, 2012
Recording No: 2012-032121
- Easements, covenants, conditions and restrictions as set forth on the plat recorded in Book 857 of Maps, Page 8.
- Any right, interest or claim that may exist, arise or be asserted against the Title under or pursuant to the Perishable Agricultural Commodities Act of 1930, as amended, 7 USC 499a et seq., the Packers and Stockyard Act of 1921, as amended, 7 USC 181 et seq., or any similar state laws.
- Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.
- Matters which may be disclosed by an inspection and/or by a correct ALTA/NSPS Land Title Survey of said Land that is satisfactory to the Company, and/or by inquiry of the parties in possession thereof.

NOTES: (Table "A" Items")

- SET A 1/2" REBAR W/CAP "AWLS 45377" AT PROPERTY CORNERS AS SHOWN HEREON UNLESS OTHERWISE NOTED.
- LOT 1 AREA IS 413,285.7 SQUARE FEET OR 9.488 ACRES, MORE OR LESS.
- THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ADDITIONALLY, AS PER THE 2011 ALTA STANDARDS: WITH REGARD TO TABLE A, ITEM 11(B), SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ADJOINER INFORMATION IS PER PINAL COUNTY ASSESSOR WEBSITE.

GENERAL NOTES

- ALL TITLE INFORMATION IS BASED ON A COMMITMENT FOR TITLE INSURANCE PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, FILE NO.: 16001044-040-DN2, WITH AN EFFECTIVE DATE OF SEPTEMBER 20, 2016.
- A.R.S. 32-151 STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OR FINDINGS THAT ARE SUBJECT TO THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- SURVEY FIELD WORK WAS COMPLETED ON JULY 14, 2016.
- THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE SCOPE OF WORK FOR THIS PROJECT IS THE NORTHEAST PORTION OF SAID LOT 1, DETAILED TOPOGRAPHY FOR THIS AREA IS SHOWN ON SHEET 3 PER CLIENT REQUEST. LOT 1 IN ITS ENTIRETY CONTAINS ADDITIONAL BUILDINGS, UTILITIES, PARKING AND IMPROVEMENTS THAT ARE NOT SHOWN ON THIS SURVEY PER CLIENT REQUEST.

BENCHMARK

BENCHMARK IS A CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE AT THE INTERSECTION OF SHEA BOULEVARD AND 92ND STREET.

ELEVATION = 1372.195' (NAVD 88)

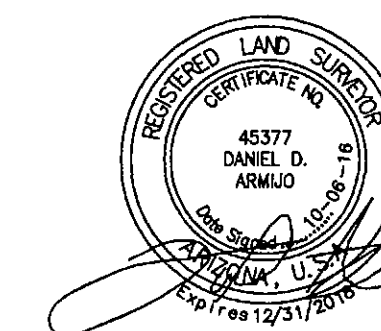
BASIS OF BEARING

THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE MONUMENT LINE OF 90TH STREET AS SHOWN ON THE PROPERTY DIVISION OF 90TH STREET AND VIA LINDA MARKETPLACE, RECORDED IN BOOK 857, PAGE 8, MCR, USING A BEARING OF NORTH 11°42'27" EAST.

CERTIFICATION

TO: SMITH'S FOOD & DRUG CENTERS, INC., AN OHIO CORPORATION
COMMONWEALTH LAND TITLE INSURANCE COMPANY

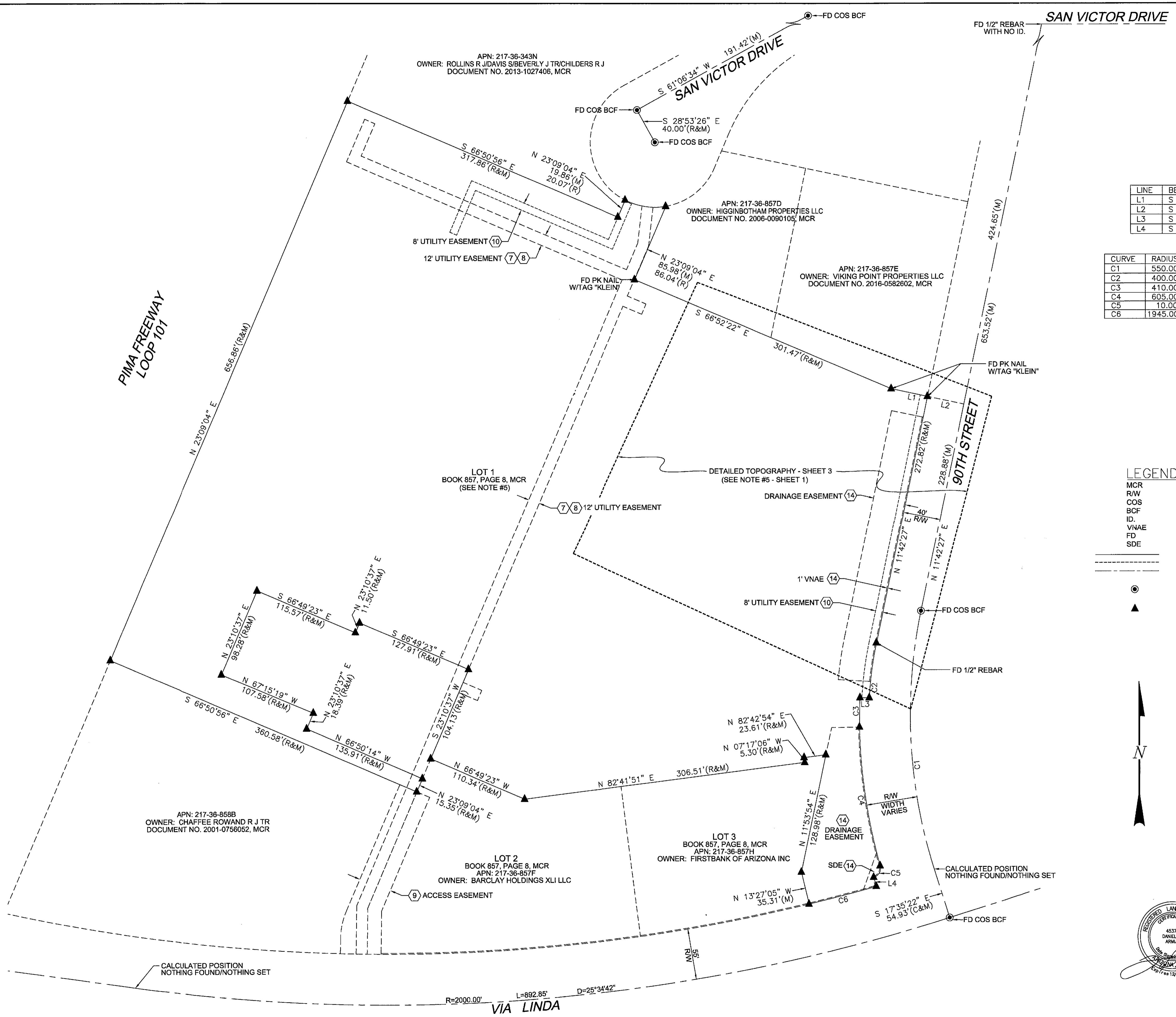
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-3 AND 13 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 14, 2016.



ALTA/NSPS LAND TITLE SURVEY
SECTION 30
TOWNSHIP 3 NORTH, RANGE 5 EAST
OF THE G.S.R.B. & M.
MARICOPA COUNTY, ARIZONA

AW LAND SURVEYING, LLC
P.O. BOX 2170, CHANDLER, AZ 85244
(480) 244-7630 (480) 243-4287

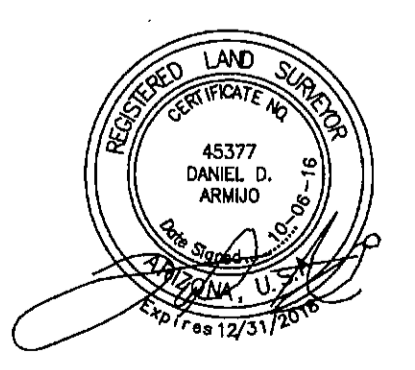
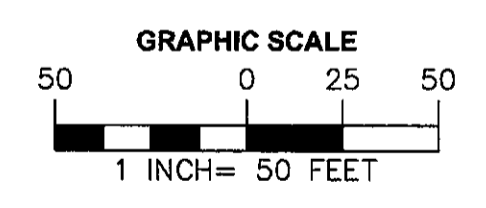
DRAWN BY: DDA CHECKED BY: DDA DATE: 10/06/16 JOB NO.: 16-077 SHEET NO. 1 OF 3



LINE	BEARING	DISTANCE
L1	S 77°59'33" E	40.00'
L2	S 77°59'33" E	40.00'
L3	S 89°11'22" E	10.01'
L4	S 15°39'47" E	10.17'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	550.00'	281.23'	29°17'49"
C2	400.00'	59.57'	8°31'58"
C3	410.00'	31.58'	4°24'48"
C4	605.00'	151.18'	14°19'01"
C5	10.00'	15.70'	89°57'16"
C6	1945.00'	75.09'	2°12'43"

- LEGEND**
- MCR MARICOPA COUNTY RECORDS
 - R/W RIGHT OF WAY
 - COS CITY OF SCOTTSDALE
 - BCF BRASS CAP FLUSH
 - ID IDENTIFICATION
 - VNAE VEHICULAR NON-ACCESS EASEMENT
 - FD FOUND
 - SDE SIGHT DISTANCE EASEMENT
 - PROPERTY LINE
 - - - EASEMENT LINE AS NOTED
 - CENTER LINE
 - ⊙ FOUND MONUMENT AS NOTED
 - ▲ SET PK NAIL W/TAG "AWLS 45377" UNLESS OTHERWISE NOTED



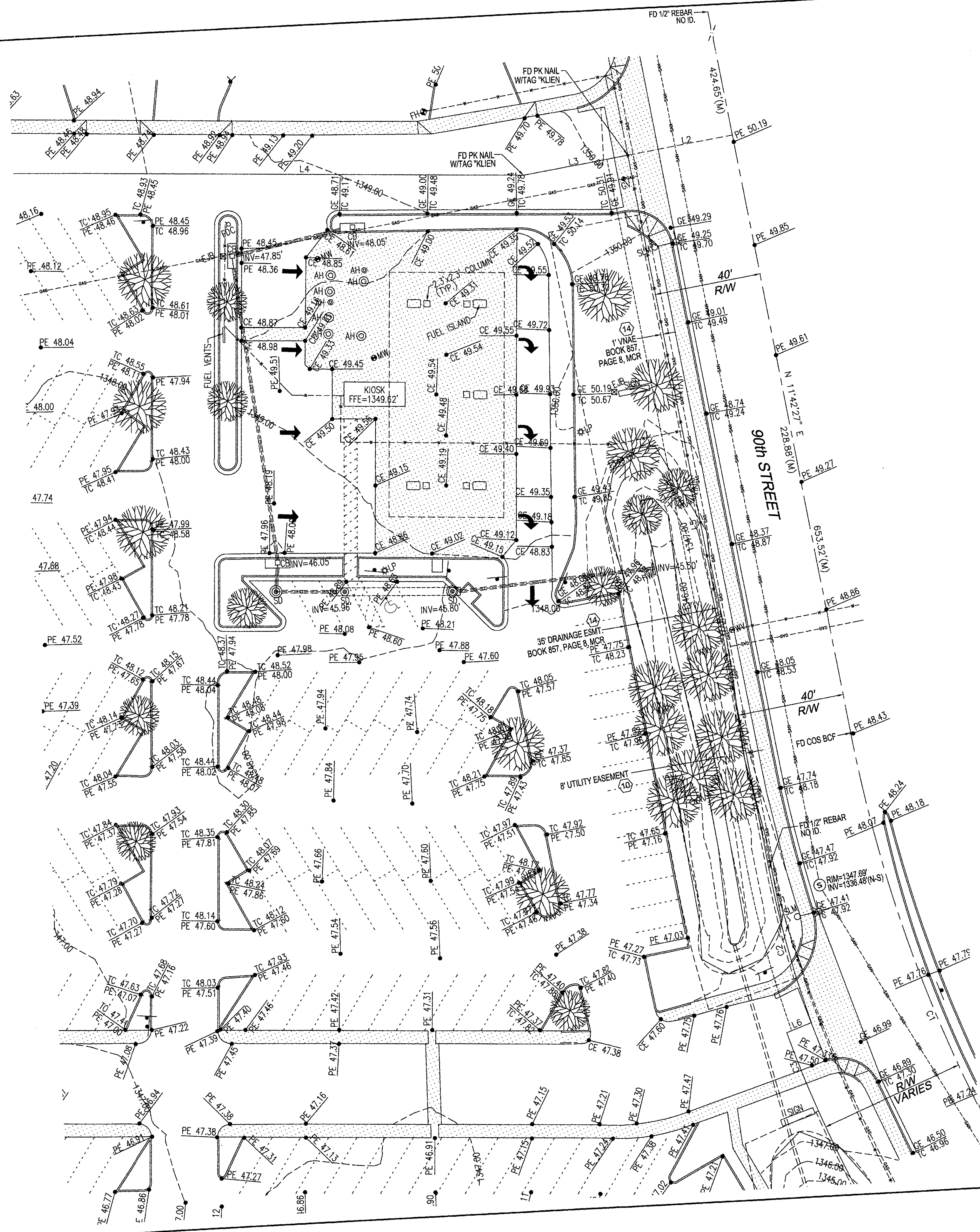
ALTA/NSPS LAND TITLE SURVEY
SECTION 30
TOWNSHIP 3 NORTH, RANGE 5 EAST
OF THE G.S.R.B. & M.
MARICOPA COUNTY, ARIZONA

AW LAND SURVEYING, LLC
P.O. BOX 2170, CHANDLER, AZ 85244
(480) 244-7630 (480) 243-4287

DRAWN BY: DDA CHECKED BY: DDA DATE: 10/06/16 JOB NO.: 16-077 SHEET NO. 1 OF 3

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING
C1	550.00'	281.23'	29°17'49"	S 02°56'28" E
C2	400.00'	59.57'	8°31'58"	S 07°26'28" W
C3	410.00'	31.58'	4°24'48"	S 00°53'50" W

LINE	BEARING	DISTANCE
L1	S 17°35'22" E	54.93'
L2	S 77°59'33" E	40.00'
L3	S 77°59'33" E	40.00'
L4	S 66°52'22" E	301.47'
L5	N 11°42'27" E	272.82'
L6	S 89°11'22" E	10.01'



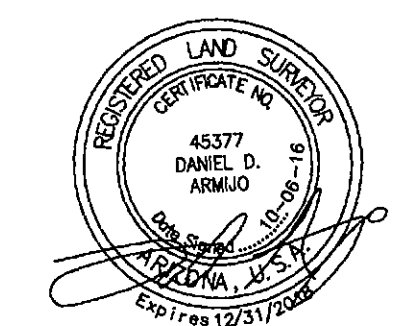
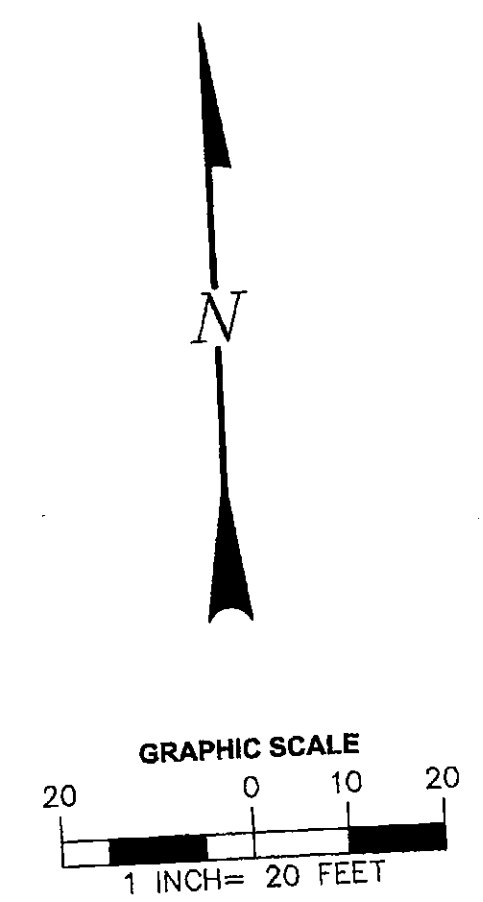
LEGEND

- MCR MARICOPA COUNTY RECORDS
- R/W RIGHT OF WAY
- COS CITY OF SCOTTSDALE
- BCF BRASS CAP FLUSH
- ID IDENTIFICATION
- VNAE VEHICULAR NON-ACCESS EASEMENT
- AH ACCESS HATCH
- MW MONITORING WELL
- CB CATCH BASIN
- FR FIRE RISER
- BP BARRIER POST
- WP WATER VALVE
- FH FIRE HYDRANT
- LP LIGHT POLE
- EJB ELECTRIC JUNCTION BOX
- SD STORMDRAIN LID (UNDERGROUND RETENTION)
- HW HEADWALL
- SLM STREET LIGHT MAST
- FDC FIRE DEPARTMENT CONNECTION

--- PROPERTY LINE
 - - - EASEMENT LINE AS NOTED
 --- CENTER LINE
 --- SAN SEWER LINE
 --- W WATER LINE
 --- G GAS LINE

[Hatched Box] CONCRETE
 [Tree Symbol] TREE OR BUSH

● PEXX.XX PAVEMENT ELEVATION
 ● GEXX.XX GUTTER ELEVATION
 ● TCXX.XX TOP OF CURB ELEVATION
 ● CEXX.XX CONCRETE ELEVATION



ALTA/NSPS LAND TITLE SURVEY
 SECTION 30
 TOWNSHIP 3 NORTH, RANGE 5 EAST
 OF THE G.S.R.B. & M.
 MARICOPA COUNTY, ARIZONA

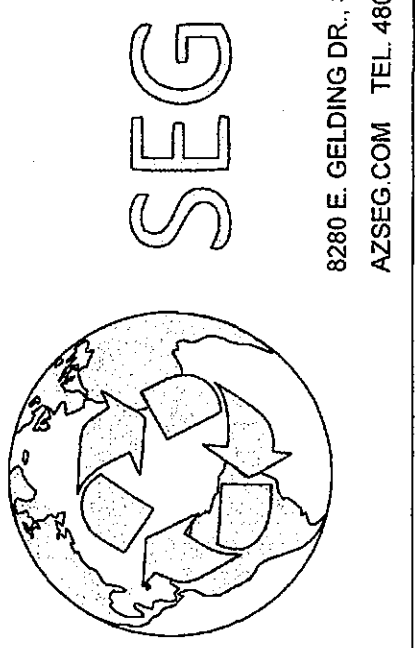
AW LAND SURVEYING, LLC
 P.O. BOX 2170, CHANDLER, AZ 85244
 (480) 244-7630 (480) 243-4287

DRAWN BY: DDA CHECKED BY: DDA DATE: 10/06/18 JOB NO.: 16-077 SHEET NO. 3 OF 3

FRY'S #621 FUEL CENTER IMPROVEMENTS SITE LIGHTING PLAN AND PHOTOMETRICS



**SUSTAINABILITY
ENGINEERING
GROUP**



FRY'S
FOODS & DRUG STORES

Kroger Co.
The Kroger Co.
10000 W. Meeker Blvd., Suite A
Denver, CO 80239
Phone (303) 715-5617
Fax (303) 715-5905

PROJECT
FRY'S #621
FUEL CENTER

LOCATION
9350 N 90TH STREET
SCOTTSDALE, ARIZONA

DRAWN _____ CRC
DESIGNED _____ CRC
CHECKED _____ ADK
PRCL MGR _____ ADK

DATE: 11-30-2016

ISSUED FOR:
2ND REVIEW

REVISION NO: _____ **DATE:** _____

JOB NO: 16223

SHEET TITLE:
CANOPY & SITE
LIGHTING PLAN
& PHOTOMETRY

SHEET NO.:
PH-1

PROPOSED PHOTOMETRICS

CALCULATIONS

SITE PHOTOMETRICS
575 points at z=0, sp 8ft by 8ft
HORIZONTAL FOOTCANDLES
Average 1.9
Maximum 15.3
Minimum 0.1
Avg:Min 19.02
Max:Min 133.00
Coef Var 1.13
UnifGrad 2.37

NORTH PROPERTY LINE
23 points
VERTICAL FOOTCANDLES, observer facing North
Average 0.5
Maximum 1.0
Minimum 0.1
Avg:Min 5.00
Max:Min 10.00
Coef Var 0.59

EAST PROPERTY LINE
30 points
VERTICAL FOOTCANDLES, observer facing East
Average 0.4
Maximum 1.1
Minimum 0.1
Avg:Min 3.73
Max:Min 11.00
Coef Var 0.71

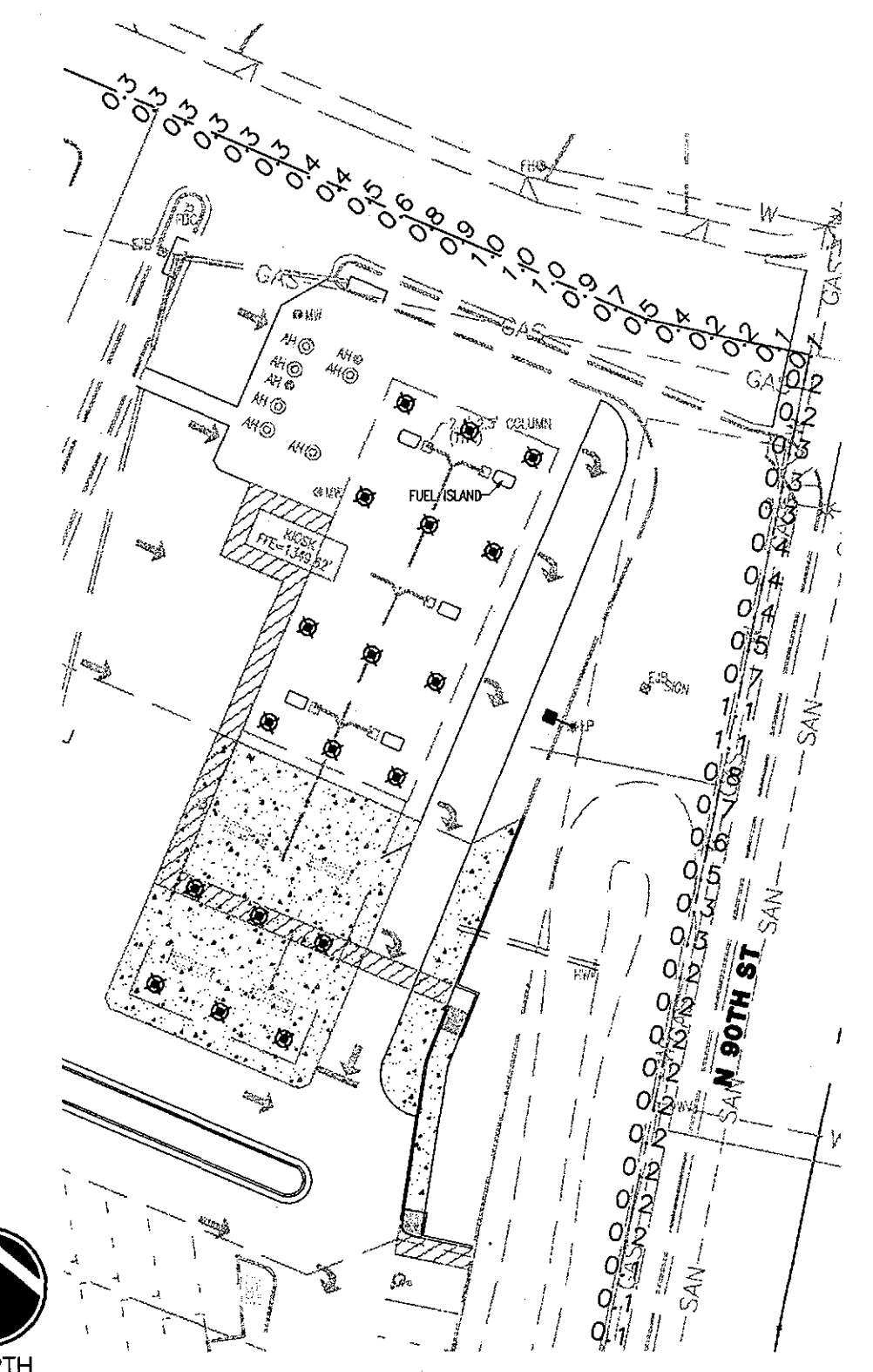
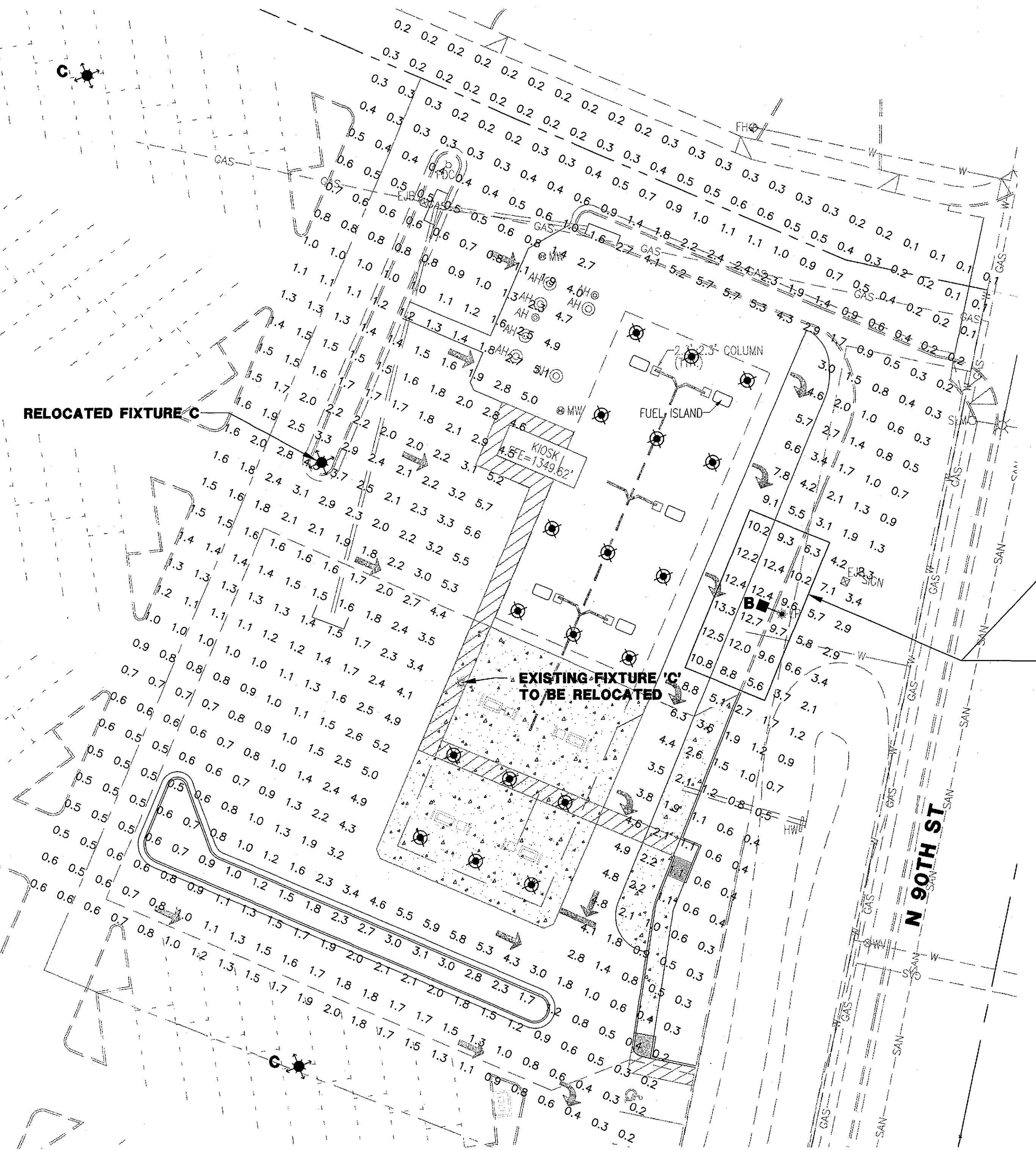
LEGEND

- FIXTURE A**
LSI INDUSTRIES
CRUS-SC-LED-SS-CW-UE
candela file "CRUS-SC-LED-SS-CW-UE.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 1.000, watts per luminaire = 114
mounting height= 15.5 ft
number locations= 40, number luminaires= 40
kw all locations= 4.6
- EXISTING FIXTURE B**
LITHONIA LIGHTING
KAD 400M R3 (PULSE START)
20' MOUNTING HEIGHT
candela file "KAD_400M_R3_(PULSE_START).ies"
1 lamp(s) per luminaire, 38000 initial lumens per lamp
Light Loss Factor = 0.700, watts per luminaire = 456
mounting height= 20 ft
number locations= 2, number luminaires= 2
kw all locations= 0.9
- EXISTING FIXTURE C**
LITHONIA LIGHTING
KVS3 400M R5 (PULSE START)
30' MOUNTING HEIGHT
candela file "KVS3_400M_R5_(PULSE_START).ies"
1 lamp(s) per luminaire, 42000 initial lumens per lamp
Light Loss Factor = 0.700, watts per luminaire = 456
mounting height= 30 ft
number locations= 6, number luminaires= 6
kw all locations= 2.7

EXISTING POLE MOUNTED LIGHT. NO CHANGES TO THIS LIGHT MADE IN PROPOSED IMPROVEMENTS. HIGH POINTS IN THIS AREA DEEMED ACCEPTABLE PER ORIGINAL PLAN SET DATED 11/09/11, SHEET E2.1.

SPILL LIGHT CALCULATION RESULTS

PROPERTY LINE	MAXIMUM VERTICAL FOOT-CANDLES
NORTH	1.0
EAST	1.1



SITE LIGHTING PLAN

SCALE 1"=20'

ONLY PHOTOMETRICS WITHIN 50'-0" OF NEW CANOPY SHOWN, CONSISTENT WITH ORIGINAL PLAN SET DATED 11/09/11, SHEET E2.1.

LIGHTING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER	CATALOG #	MOUNTING	LAMP(S)	QTY
	LSI INDUSTRIES	CRUS SC LED SS CW UE WHT	CANOPY RECESSED	114W LED	18
	LITHONIA LIGHTING	EXISTING KAD 400M R3 (PULSE START)	20' MOUNTING HEIGHT	400W PSMH	1
	LITHONIA LIGHTING	EXISTING KVS3 400M R5 (PULSE START)	30' MOUNTING HEIGHT	400W PSMH	5

PROPERTY LINE PHOTOMETRICS

SCALE 1"=40'

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263-1100
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NOTE TO CONTRACTOR: THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND IS NOT TO BE USED IN CONSTRUCTION WITH A SET READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES INCLUDING FEDERAL, STATE AND LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL APPLICABLE CODES AND TO INFORM THE OWNER/ARCHITECT OF ANY CHANGES TO THE DRAWINGS WHICH ARE REQUIRED. CONTRACTORS SHALL ALSO USE THE MARKING OF UNDERGROUND UTILITIES ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

FIXTURE A

LED CANOPY LIGHT - LEGACY™ (CRUS)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRUS SC LED SS CW UE WHT**

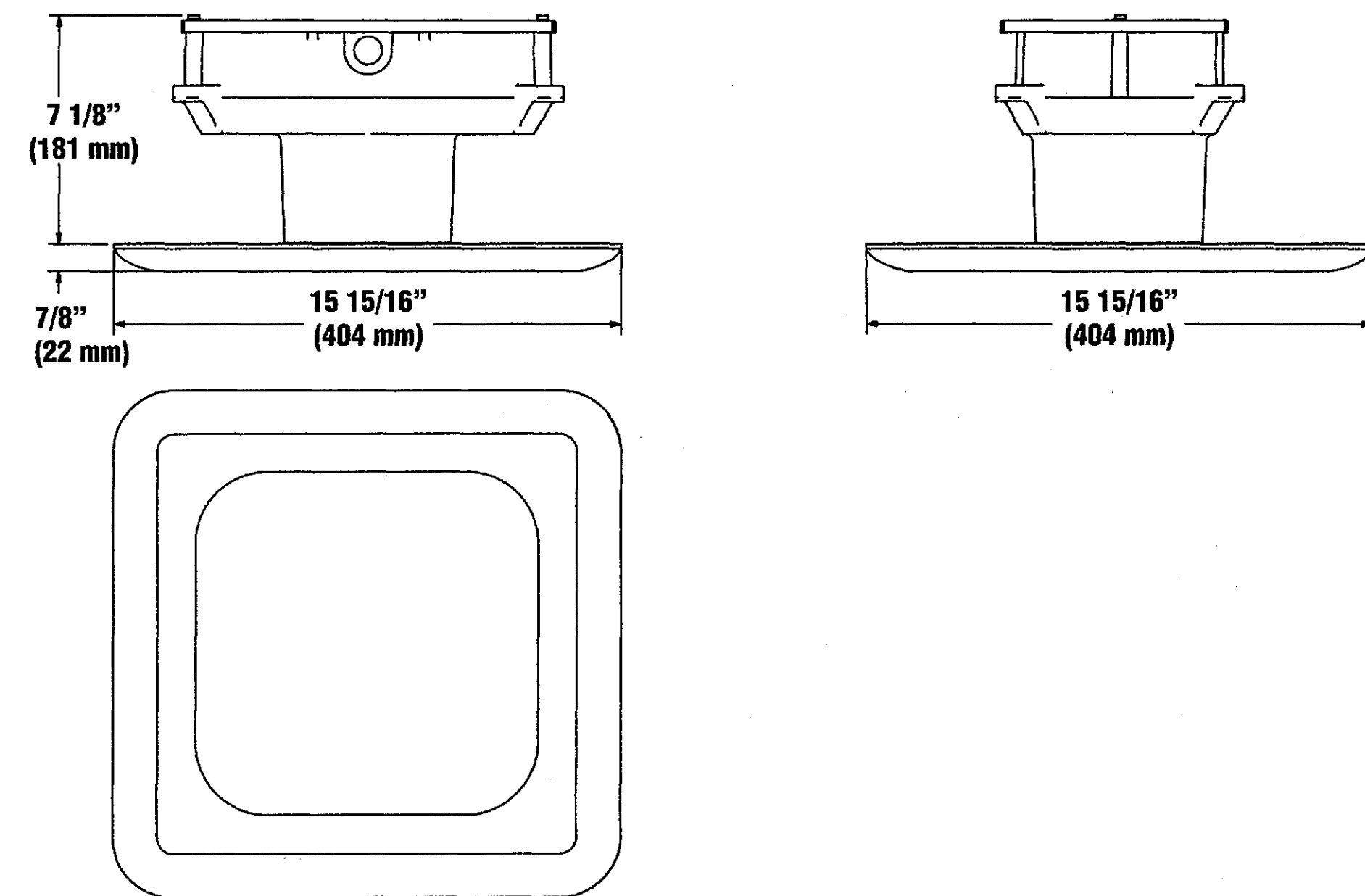
Prefix	Distribution ¹	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric AC - Asymmetric	LED	VLW - Very Low Watt LW - Low Watt SS - Super Saver	CW - Cool White	UE - Universal Voltage (120-277V) 347 - 480V	WHT - White BRZ - Bronze BLK - Black	None

FOOTNOTES:
1- AC distribution utilizes a reflector which alters the look from a standard S distribution.

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits) ¹	1320540
Retrofit Panels - ECTA / SCF to CRU, for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282		
Retrofit RIC Cover Panel Blank (no holes)	354702		

DIMENSIONS



LIGHT OUTPUT - CRUS

		Lumens		Watts		LPW	
		SC	AC	SC	AC	SC	AC
Cool White	VLW - Very Low Watt	8,842	-	79	-	112	-
	LW - Low Watt	10,871	8746	88	83	124	105
	SS - Super Saver	13,554	11,518	114	111	119	104

Project Name _____ Fixture Type _____ 01/12/15
 Catalog # _____ LSI INDUSTRIES INC. © 2014



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Fax: (480) 715-5905

PROJECT: **FRY'S #821 FUEL CENTER**
LOCATION: **9360 N 90TH STREET SCOTTSDALE, ARIZONA**

DRAWN: _____ CRC
DESIGNED: _____ CRC
CHECKED: _____ ACK
PROJ. MGR.: _____ ADK

DATE: 11-30-2016

ISSUED FOR: 2ND REVIEW

REVISION NO.: _____ DATE: _____

△	
△	
△	
△	

JOB NO.: 16223

SHEET TITLE: **SITE LIGHTING FIXTURE CUT SHEETS**

SHEET NO.: **PH-2**