

**Marked Agendas  
Approved Minutes  
Approved Reports**

**The January 5, 2017  
Development Review Board  
Meeting Agenda and  
Minutes can be found at**

**<http://www.scottsdaleaz.gov/boards/development-review-board>**

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: January 5, 2017 Item No. 6  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

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## **ACTION**

### **Greenway Hayden Loop Apartments 43-DR-2016**

**Location:** 15501 N. 73rd Street/Dial Blvd. and 15450 N. Greenway-Hayden Loop.

**Request:** Request approval of the site plan, landscape plan, and building elevations for a new mixed-use development comprised of two, four-story buildings with 581,509 square feet of building area containing 622 residential units and 22,025 square feet of non-residential space on an 8.84 net-acres site.

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## **OWNER**

Rowley Blue Water Investments, LLC  
602-749-2171

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## **ARCHITECT/DESIGNER**

Jim Applegate  
Biltform Architecture Group  
11460 N. Cave Creek Road, Ste. 6  
Phoenix, AZ 85020  
602-285-9200

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## **ENGINEER**

Mathew Stewart  
Big Red Dog  
2500 Summer Street  
Houston, TX 77007  
832-730-1901

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## **APPLICANT CONTACT**

Paul Gilbert  
Beus Gilbert, PLLC Attorneys at Law  
480-429-3002

## Development Information

- Existing Use: Office
- Proposed Use: Mixed-use / Residential
- Parcel Size: 10.29 gross acres  
8.84 net acres  
384,837 square feet
- Non-Residential space: 22,025 square feet
- Dwelling unit space (residential): 559,484 square feet
- Building Height Allowed: 48 feet, excluding rooftop appurtenances
- Building Height Proposed: 48 feet, excluding rooftop appurtenances
- Parking Required: 974 spaces
- Parking Provided: 1,002 spaces
- Open Space Required (Common): 44,830 square feet / 1.03 acres
- Open Space Provided (Common): 46,114 square feet / 1.06 acres
- Open Space Provided (Other): 50,288 square feet / 1.15 acres
- Open Space Provided (Total): 141,232 square feet / 3.24 acres
- Number of Dwelling Units Proposed: 622 units
- Density Proposed: 62.4 dwelling units per acre

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## STAFF RECOMMENDATION

### Recommended Approach:

Staff recommends that the Development Review Board approve District at the Quarter per the attached stipulations, finding that the provisions of the Character and Design Element of the General Plan, the Character and Design Chapter of the Greater Airpark Character Area Plan, and the Development Review Criteria have been met.

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## RESPONSIBLE DEPARTMENT

Planning and Development Services  
Current Planning Services

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## STAFF CONTACT

Bryan Cluff  
Senior Planner  
480-312-2258  
E-mail: [bcluff@ScottsdaleAZ.gov](mailto:bcluff@ScottsdaleAZ.gov)

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**APPROVED BY**

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Bryan Cluff, Report Author

12/22/16  
Date



Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: [svenker@scottsdaleaz.gov](mailto:svenker@scottsdaleaz.gov)

12/22/16  
Date



Randy Grant, Director  
Planning and Development Services  
480-312-2664, [rgrant@scottsdaleaz.gov](mailto:rgrant@scottsdaleaz.gov)

12/27/16  
Date

**ATTACHMENTS**

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- A. Stipulations
- 1. Context Aerial
- 1A. Close-Up Aerial
- 2. Zoning Map
- 3. Applicant's Narrative
- 4. Combined Context Aerial and Site Plan
- 5. Site Plan
- 6. Open Space Plan
- 7. Building Elevations
- 8. Perspective
- 9. Streetscape Elevations
- 10. Material and Color Board
- 11. Landscape Plans
- 12. Landmark Intersection Detail
- 13. Electrical Site Plan
- 14. Exterior Lighting Cutsheets
- 15. Detail Sheets

**Stipulations for the  
Development Review Board Application:  
Greenway Hayden Loop Apartments  
Case Number: 43-DR-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Biltform Architecture, with a city staff date of 10/31/16.
  - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Biltform Architecture, with a city staff date of 10/31/16.
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by The McGough Group, with a city staff date of 10/31/16.
  - d. The case drainage report submitted by Big Red Dog Engineering and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
  - e. Landscape and site improvements at the "Landmark Intersection" (northeast corner of Greenway-Hayden & 73<sup>rd</sup> Street) shall be consistent with the details plans submitted by The McGough Group (Attachment 12), with a city staff date of 11/17/16.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning case for the site was: 8-ZN-2016

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb, and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb, and sill details clearly showing the amount of recess for all door types.

#### **DRB Stipulations**

4. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that require the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).

#### **SITE DESIGN:**

#### **DRB Stipulations**

5. There shall be no new above ground mechanical or utility equipment installed in the area of the landmark intersection (Greenway-Hayden & 73<sup>rd</sup> Street) extending from the back of curb to the face of the building.

#### **EXTERIOR LIGHTING:**

#### **Ordinance**

- B. All exterior luminaires mounted eight (8) feet or higher, above finished grade, and shall be directed downward.
- C. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- D. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

#### **DRB Stipulations**

6. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
7. Incorporate the following parking lot and site lighting into the project's design:

#### **Parking Lot and Site Lighting:**

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 7.0-foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

## **VEHICULAR AND BICYCLE PARKING:**

### **Ordinance**

- E. The parking garage floor plans shall be revised so that the parking stalls that are at the ends of each parking row will be in compliance with the required vertical encroachment clearance, per Zoning Ordinance Section 9.106.A.

## **AIRPORT:**

### **DRB Stipulations**

8. With the Development Review Board Application, the owner shall submit a copy of the FAA Determination letter on the FAA FORM 7460-1 for any proposed structures and/or appurtenances that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed in the FAA form 7460-1 submittal.
9. Prior to building permit issuance, the owner shall provide noise disclosure notice to occupants, potential homeowners, employees and/or students in a form acceptable to the Scottsdale Aviation Director.
10. Prior to building permit issuance, the owner shall provide a signed and completed Avigation Easement in a form acceptable to the City for recording.
11. With the final plans submittal, the owner shall provide sound attenuation as set forth in Appendix F to the FAA Part 150 Noise Compatibility Study, Section 4.00. The provided sound attenuation shall provide a minimum reduction in exterior to interior noise levels of 25 decibels.

## **STREETS, IMPROVEMENTS AND RELATED DEDICATIONS:**

### **DRB Stipulations**

12. Prior to the issuance of a building permit for the site, the owner shall dedicate to the City the following right-of-way and submit plans to construct the following street improvements:
  - a. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match OSHA Safety Yellow, FED-STD-595C, 13591.
  - b. The owner shall construct a new sidewalk along the Greenway-Hayden Loop frontage a minimum 8 feet wide and separated from back of curb where possible.
  - c. The owner shall construct a new sidewalk along the Dial Boulevard/73<sup>rd</sup> Street frontage a minimum 8 feet wide at the back of curb.
  - d. Driveways along Dial Boulevard/73<sup>rd</sup> Street shall be CL Type driveways. The main entrance shall be a CL-2 driveway. The southern driveway shall be a CL-1 driveway.
  - e. The eastern driveway along Greenway-Hayden Loop shall be a modified ~~CL-1~~ CH-1 driveway as called out on the site plan, as approved by Transportation Director or designee.
13. Prior to permit issuance, the owner shall revise the deceleration lane on Greenway-Hayden Loop to meet the minimum requirements of the applicable Design Standards & Policies Manual section, or alternative design as approved by the Transportation Director or Designee.

## **EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:**

### **DRB Stipulations**

14. Before any building permit is issued for the site, the owner shall dedicate a sight distance easement over sight distance triangle(s) at the driveways and at fire lanes in conformance with DSPM Section 5-3 Figures 5.3-26 and 5.3-27.
15. Before any building permit is issued for the site, the owner shall dedicate a minimum one-foot-wide Vehicle Non-Access Easement along Greenway-Hayden Loop and Dial Boulevard/73<sup>rd</sup> Street, except at the driveways locations as shown on the approved site plan dated 10/31/16.
16. Before any building permit is issued for the site, the owner shall dedicate a minimum 20-foot-wide water and sewer facilities easement over all water and sewer lines located within a dedicated tract(s) or outside of public right-of-way.
17. At the time of final plans the owner shall ensure the water line and sanitary sewer line will run parallel to each other, with 9 feet of separation to the pipe's centerline in order to maintain 6 feet of clearance at manholes.

## **WATER AND WASTEWATER STIPULATIONS:**

### **DRB Stipulations**

18. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main pursuant to the Water Resources Department requirements.
19. Before the improvement plan submittal to the Plan Review and Permit Services Division, the owner shall obtain approval of the Final Basis of Design Reports (water and wastewater) from the Water Resources Department. The Final Basis of Design Reports shall be in conformance with the Design Standards and Policies Manual.

## **DRAINAGE AND FLOOD CONTROL:**

### **DRB Stipulations**

20. With the improvement plan submittal, the owner shall submit a final drainage report that demonstrates consistency with the Design Standards & Policies Manual and the case drainage report accepted in concept by the Stormwater Manager or designee. The report shall also comply with the following standards:
  - e. Provide 100-year, 2hr stormwater storage volume for the entire site. Detention basins shall drain by gravity to the city's storm drain system.
  - f. Underground stormwater storage shall comply with the City's underground stormwater storage policy, DSPM 4-1-403.
  - g. Drainage easements shall be dedicated to the City over all stormwater storage systems, not including the stormwater collection or outlet system.
  - h. Only runoff from rainwater is allowed in the stormwater storage system. Internal plumbing pipe networks for swimming pools, cooling and air conditioner systems, and sump pumps in elevator shafts shall be connected to the sanitary sewer system, not the stormwater drainage system.





# Greenway-Hayden Loop Apartments

**43-DR-2016**

43-DR-2016  
10/31/2016

ATTACHMENT #1





Q.S.  
35-45

Google Earth Pro Imagery

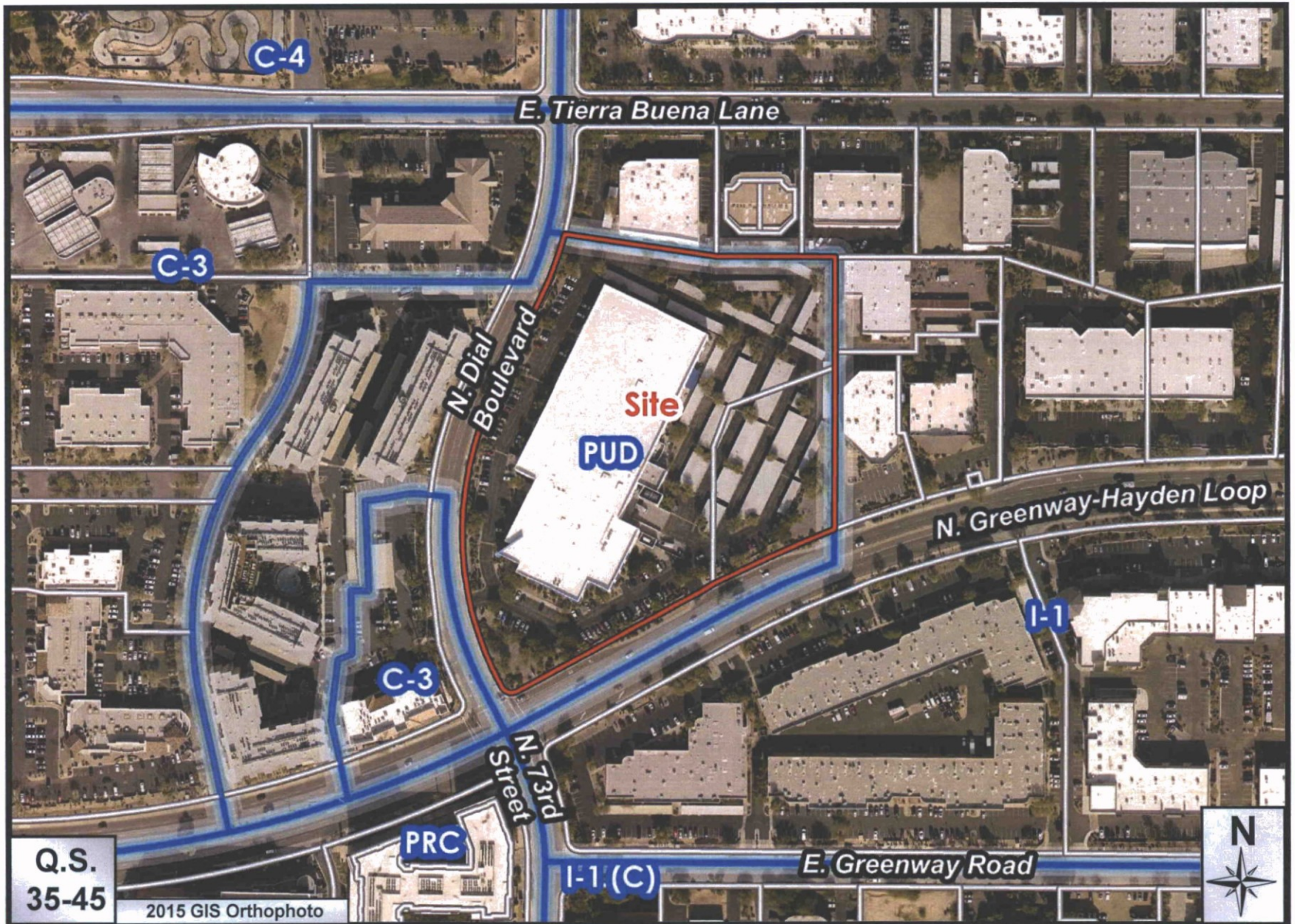
## Greenway-Hayden Loop Apartments

43-DR-2016

43-DR-2016  
10/31/2016

ATTACHMENT #1A





# Greenway-Hayden Loop Apartments

**43-DR-2016**

43-DR-2016  
10/31/2016

ATTACHMENT #2



# DISTRICT AT THE QUARTER

(Northeast corner of Greenway-Hayden Loop and 73<sup>rd</sup> Street)

## DEVELOPMENT REVIEW BOARD (DRB)

*- NARRATIVE -*



### SUBMITTED BY/APPLICANT:

Beus Gilbert PLLC – Paul E. Gilbert  
c/o Dennis Newcombe  
701 North 44<sup>th</sup> Street  
Phoenix, Arizona 85008

### SUBMITTED FOR:

Kaplan Management Company  
520 Post Oak Blvd., Suite 370  
Houston, Texas 77027

**CASE NUMBER: 43-DR-2016**

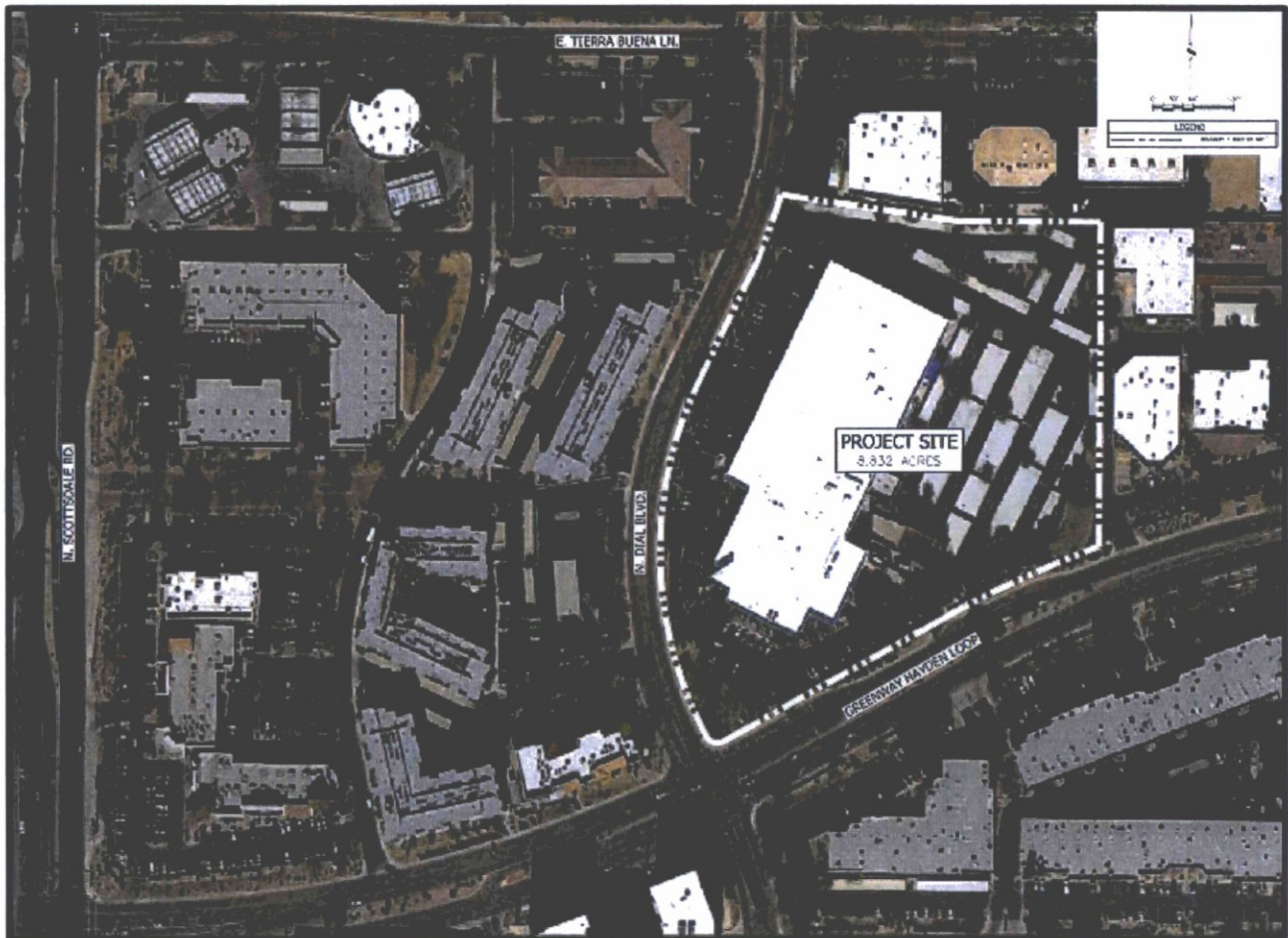
**SUBMITTED: SEPTEMBER 16, 2016**  
**2<sup>ND</sup> SUBMITTAL: OCTOBER 31, 2016**

**I. Purpose of Request:**

This request is for Development Review Board (“DRB”) approval on 10.29+/- gross acre and 8.83+/- net acre site located at 15501 North 73<sup>rd</sup> Street (a.k.a. Dial Boulevard) (the “Site”). (See the *Aerial Map* below.) It should be noted that a Non-Major General Plan Amendment (GPA) from Airpark Mixed Use (AMU) and a small portion of Employment (EMP) to Airpark Mixed Use-Residential (AMU-R) and a rezoning from Industrial Park (I-1) to Planned Unit Development (PUD) zoning district are concurrently being processed on this Site (Cases: 3-GP-2016 & 8-ZN-2016, respectively). These cases are currently scheduled for a final City Council hearing on November 14, 2016.

With that being said, the development proposal is to create a small mixed-use luxury residential multi-family community of approximately 622 units including ground level live/work units and retail/commercial (i.e. non-residential) components focused at the immediate corner and along Greenway-Hayden Loop and 73rd Street.

**AERIAL MAP**



## II. District at the Quarter - Overview (The Proposal)

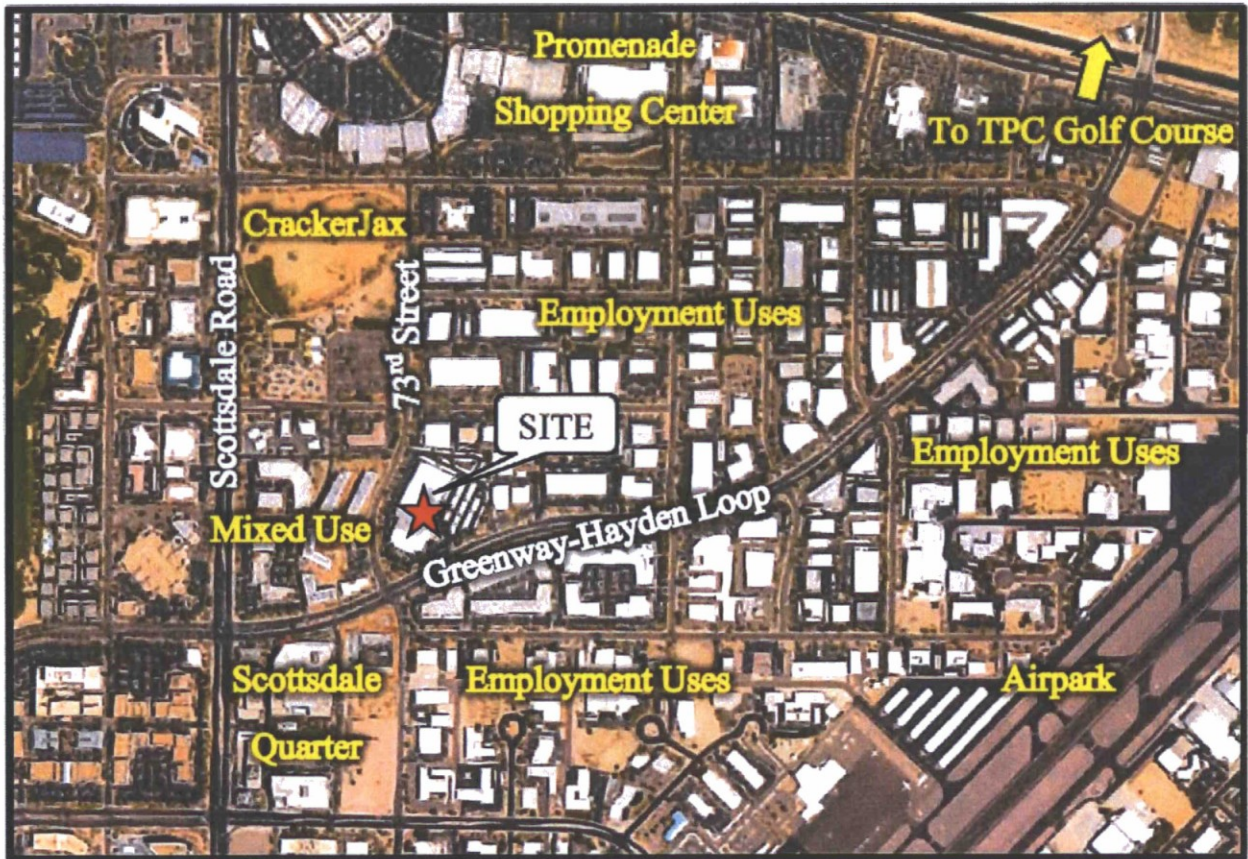
The District at the Quarter residential community will provide an exciting mixed-use project featuring upscale residences including ground level live/work units and retail/commercial (i.e. non-residential) components that blends and transitions with the retail/commercial businesses strategically located along with employment entities within the Scottsdale Airpark, which is the second largest employment center in the state of Arizona. The proposed development would further many of the goals set forth in the Greater Airpark Character Area Plan ("GACAP") by creating a dynamic walkable community based on live, work, and play principles.

The Site is a transitional piece that defines the boundary between employment and retail/commercial uses within Scottsdale Airpark. (See the *Context Aerial Map* on the following page.) This important and strategic location is bounded by two (2) Signature Corridors which also forms a Landmark Intersection as defined within the GACAP. As such, this Site will provide an appropriate level of mixed-use and residential live, work, and play community that will transition, activate and define the shopping/retail activities to the west/southwest, employment sector to the east, and formalize/enhance the Signature Corridors (i.e. Greenway-Hayden Loop and 73<sup>rd</sup> Street). The transition and addition of this mixed-use proposal at this location will help to continue enhancing the desirability of this location and the surrounding context. The retail/commercial (i.e. non-residential) and residential mix proposed will provide an ideal fit for this location and beyond. The natural progression of uses and development along Scottsdale Road, 73<sup>rd</sup> Street, and throughout the Airpark will continue draw people and activity to this location from surrounding areas, which in turn will build upon the placemaking and character that is envisioned at this Landmark Intersection.

The Airpark as a whole creates a unique opportunity to blend interrelated land uses and promote the live, work, and play concept, which is memorialized numerous times throughout the GACAP. Additionally, the nearby retail and surrounding employment core provides regional appeal for future owners of the District at the Quarter. The ease of accessibility, proximity to businesses, shopping, entertainment, recreation, and airport makes this development a compliment to its surroundings.



## CONTEXT AERIAL MAP



### a) Existing Conditions & Context

The Site constitutes 10.29 gross acres and bordered by Greenway-Hayden Loop on the west and 73rd Street (a.k.a. Dial Boulevard) to the south. Existing businesses (I-1) border the Site to the north, east, and south. The west side is bordered by existing commercial businesses (C-3) and a recently completed multi-family development (PUD). (See above *Context Aerial Map*.)

The redevelopment parcels contain an office building currently occupied by “International Cruise & Excursions” (“ICE”), a travel and vacation service company. The Site contains covered and uncovered parking surrounding the main building structure. The streets, sidewalks, and utilities surrounding the Site have all previously been built, as such this redevelopment project can be “plugged in” to this location with minimal disturbances to the area.

### b) Site Plan

The design for this Site features an enhanced Landmark Intersection including an enhanced public open space, pedestrian passageway, and rest area inviting public activity and interaction provided by shaded rest areas, enhanced paving, a variety of meandering pathways, and landscaping. The Landmark Intersection of the Site is activated with ground level uses

anchored by an approximately 7,855 sq. ft. clubhouse that provides services and amenities such as: porte-cochere/valet on-site drop-off dry cleaning service, business center, restaurant, office space, fitness center, barista station, etc. The Signature Corridor of Greenway-Hayden Loop will also feature an approximately 5,354 sq. ft. fitness center located on the ground level facing Greenway-Hayden Loop along with seven (7) live/work units located on both Greenway-Hayden Loop and 73<sup>rd</sup> Street.

A main vehicular access drive bisects the Site and allows for two (2) vehicular entry connections located at the mid-block of 73<sup>rd</sup> Street and Greenway-Hayden Loop. Additionally, this vehicular access drive will serve as access to the internal parking garages and provide for fire lane emergency access. The secondary fire lane/enhanced setback along the perimeter of the Site will be gated and serve dual purposes (i.e. building setback, vehicular pavers, landscaping, turfstone, dog walk/wash area, walking area/fitness trail/fitness station clusters, and fire safety access). The site design consists of two (2) (i.e. 2 phases) 4-story luxury residential buildings that enclose a total of five (5) interior courtyards, featuring various amenities, open space, and landscaping. These outdoor activity areas provide for both active and passive recreation, relaxation, and an abundance of open space for the future residents. The main building structures are navigated through a series of pedestrian passages that lead throughout the Site and ultimately to the outer pedestrian sidewalk network and the surrounding area. The north and east boundaries of the Site are nicely buffered by a 27'-40' building setback, vehicular pavers, landscaping, turfstone, walking area/fitness trail/fitness station clusters, and fire safety access road from the proposed units. (See *Site Plan* as a part of the DR submittal package.)

**c) Retail/Commercial (Non-Residential) Component**

The retail/commercial (i.e. non-residential) component of this mixed-use development is strategically located at the Landmark Intersection of the Site in the form of a highly amenitized clubhouse (7,855 sq. ft.), restaurant (7,035 sq. ft.), office space (1,781 sq. ft.), and fitness center (5,354 sq. ft.) that will continue along Greenway-Hayden Loop with seven (7) live/work units proposed as well along both Greenway-Hayden Loop and 73<sup>rd</sup> Street. This project provides design and uses that cater to the pedestrian at the ground level particularly at the Landmark Intersection, which supports pedestrian interest and walking as well as enhancing the streetscape. These uses will be also open to the public that will generate additional interest and vibrancy.

The amount of retail/commercial (i.e. non-residential) proposed is adequate and supported within the context of the existing overall retail/commercial in the surrounding area. There is already a sufficient amount of retail/commercial in this area, and proposed in the future, that an increase in residential density is important towards balancing and supporting these uses as well as live, work, and play lifestyle concept. It is worth noting that there is currently 116,000 sq. ft. of retail and 250,000 sq. ft. of office space within the Scottsdale Airpark North; which this development would be a part of. Within walking distance of the Site, there is: 437,000 sq. ft. at Kierland Commons, 400,000 sq. ft. at Scottsdale Quarter, 700,000 at Scottsdale Promenade, and 100,000 at Zocallo. Thus, if one considers a modest 5% vacancy rate, which is typical, then

that would equate to nearly 100,000 sq. ft. of vacant retail space, which at this time includes neighboring Crescent's ground floor space being vacant. To that end, the amount of retail/commercial proposed with this development (i.e. 22,025 sq. ft.), we believe, is more than adequate to properly serve the future residents of this development and to provide a proper balance with the existing and future population, employment, and retail base within this area.

#### **d) Building Architecture**

The building architecture features varied massing, varying roof parapets, architectural features, stoops, materials and façade detailing found in many contemporary luxury multi-family developments found in Scottsdale and the Southwest region. The building massing includes a series of towers and recessed facades and patios. The massing and detailing emphasize the promotion of pedestrian activity including a walkable street level building design lined with lighting, trees, and shade structures such as: porte-cochere, awnings, and roof overhangs. The color scheme is a blend of shades of brown, off-white, and tan with some complementary accent colors found within the Sonoran Desert color palette and consistent and appropriate with the surrounding building context. (See *Architectural Plan Set* as a part of the DR submittal package.)

Maximum building height proposed is 48' with all rooftop mechanical equipment and screening, stairwell bulkheads, as well as rooftop deck enclosure walls and fall protection railing that exceed that building height, limited to under 30% total of the roof area for each building. (See *Building Cross Sections, Height Diagrams, Height Exception Area, and Roof Plans* as a part of the DR submittal package.)

More specifically, the architectural character is a contemporary design which will utilize the most current building materials to provide for an energy efficient development. The building masses are broken up into two (2) main buildings. The south building which faces Greenway-Hayden Loop is varied in its setback providing visual interest; enhanced planting areas; stoops, etc. The architectural elevations are also broken up vertically by varying the roof lines, alternating between flat parapets and flat roof overhangs, awnings, porte-cochere, the fitness center area bumps out, and live/work units. These architectural treatments help vary the roof lines vertically. Moreover, within the flat parapet areas of the building, the walls of the building stepback horizontally creating wide recessed areas that provide space for awnings, patios, and visual massing reliefs. This horizontal relief occurs approximately every 100 lineal feet with massing changes, the bump out of the fitness center, live/work units, porte-cochere, and the natural curvature of the streets.

The proposed design also provides a strong base with a material change from stucco, Fry Reglet architectural metal, stone, glass, steel awnings, ground floor fitness center, live/work units and stoops located in strategic locations to "ground" the overall design. The midsection and top utilized the same materials with the top units accentuated by patio areas as well as bulkhead areas protruding towards the top of the buildings to provide access to the roof decks for some units, along with alternating flat parapets and roof overhangs. The overarching intent is to



create a compatible development design for the area while also being a unique, high quality, and visually appealing for one to want to live and play while being in close proximity to work, entertainment, restaurants, etc. thus reducing traffic and pollution while also maintaining long term economic success.

#### e) **Landscape Theme**

The project's landscape theme will reduce overall water intake include by utilizing native trees, shrubs, accent plants, groundcover, and minimal turf. The two (2) Signature Corridors (i.e. Greenway-Hayden Loop and 73<sup>rd</sup> Street) abutting the Site has sidewalks lined with trees and shrubs providing a pleasant/cool environment to walk. The main vehicular access drive and open space areas will also contain a variety of native shrubs and landscaping providing for a friendly, enjoyable, useable, and shaded environment for residents to traverse and use the property. As such, the plan includes a total of five (5) internal courtyards which all feature a variety of landscaping and amenities such as a swimming pool, fountains, fire pit, putting green, televisions, barbecues, and shaded seating and dining areas which are all connected by a system of winding walkways. (See *Landscape Plan Set* as a part of the DR submittal package.)

The five (5) usable common open space areas are strategically located throughout the Site to provide areas for the residents to recreate and contemplate. The open space at the Landmark Intersection includes approximately 4,000 sq. ft. of public usable common. The Site also has a total of 46,114 sq. ft. of total common open space area (excluding street frontage area or parking lot landscaping) or 10.3% and 96,402 sq. ft. total landscape space provided (including all open space, street frontage, and parking landscape areas) or 21.5% for the Site. It should be noted that both phases of development will exceed the required 10% open space. Again, these open space areas provide areas of contemplation, recreation (passive/active), cooling, and visual interest both on-site and off-site. The landscape palette is in keeping with a Sonoran Desert theme and water conservation measures by strategically locating low water use trees, shrubs, groundcovers, etc. to create a lush appearance that cools the environment both internally and externally (i.e. along the street frontages). Turf is strategically located on-site within a few of the areas designated for internal/activities in order to optimize comfort and use. Finally, the entire Site is interconnected by walkways which link up to public sidewalks and bike paths encouraging multimodal options.

### III. **Development Review Board Criteria**

**Criteria 1:** *Describe the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.*

**Response:** The building architecture features varied massing, varying roof parapets, architectural features, stoops, materials and façade detailing found in many contemporary luxury multi-family developments found in Scottsdale

and throughout the Southwest region. The building massing includes a series of towers and recessed facades and patios as well as shade elements such as: metal shade canopy, metal awnings, and 8" deep stucco finish window eyebrows strategically placed throughout. The massing and detailing emphasize the promotion of pedestrian activity, including a walkable street level building design lined with lighting, trees, and shade structures such as: porte-cochere, awnings, and roof overhangs. The color scheme is a blend of shades of brown, off-white, and tan with some complementary accent colors found within the Sonoran Desert color palette and consistent and appropriate with the surrounding building context.

➤ **The General Plan and the Greater Airpark Character Area Plan**

❖ **THE GENERAL PLAN**

Pursuant to the city's Long Range planning principles, as outlined in the General Plan, the proposed mixed-use project's uses and design elements closely align with and reinforce the city's goals, among them:

- "Promoting the livability of the community and enhancing and protecting neighborhoods and ensuring and sustaining the quality of life for all residents and visitors."
- "Enhancing and protecting neighborhoods"
- "Ensuring and sustain the quality of life for all residents and visitors."

This DRB request provides a mix of uses, passive and active open spaces, and public benefits that are desired to enhance, protect, and sustain quality of life for the immediate neighborhood. The development provides many of the elements reflective of the goals and policies of the Scottsdale Design Guidelines, GACAP, and General Plan that speak to the intent of creating livable communities and a high quality of life/design desired by the city's citizens.

In addition, the proposed development meets the six (6) guiding principles from the General Plan.

**General Plan – Six Guiding Principles:**

1. Value Scottsdale's Unique Lifestyle & Character.
2. Support Economic Vitality.
3. Enhance Neighborhoods.
4. Preserve meaningful Open Space.
5. Seek Sustainability.
6. Advance Transportation.



Responses:

1. Value Scottsdale's Unique Lifestyle & Character:

**Response:** Scottsdale is world renowned for a tourism and resort lifestyle. The live, work, and play theme extends the concept of the unique Scottsdale lifestyle by offering an opportunity to utilize the surrounding amenities, services, entertainment, recreation, relaxation, business, and travel within walking distance to a place of residence. With the close proximity to the TPC Golf Course, Scottsdale Airpark, and Scottsdale Quarter among many other businesses this proposed development offers a modern, active, and exciting lifestyle rooted in a location that provides access to some of the best amenities the Scottsdale lifestyle has to offer. From professionals to families, this location provides the location, lifestyle, and services that appeal to everyone.

2. Support Economic Vitality:

**Response:** This proposed development will generate sales tax revenue from new tenants, property taxes, and indirect revenues spent within the area at nearby businesses, which generates a substantial new economic benefit to the city and Airpark. The current employment base would not generate as great of economic benefit as a new community of residents who will generally spend a good portion of their income within the Airpark and Scottsdale. Moreover, increased residents within an area provide for greater opportunities for new employers to locate to the Airpark, with close proximity to housing, retail, entertainment/recreation.

3. Enhance Neighborhoods:

**Response:** The proposed project will best utilize the Site, which is located at a designated future Signature Corridor. This project will enhance pedestrian activity and connectivity of various areas, as well as bring to the area an active residential community and support services. The economic spin-off related to the new community provides revenue to surrounding property owners businesses through shopping, dining, airpark travel, and nearby recreation and entertainment.

4. Preserve Meaningful Open Space:

**Response:** This project will dedicate a total of approximately 10.5% of useable open space. The most meaningful being the public benefit of an enhanced Landmark Intersection pedestrian rest area and passageway.

This space provides areas for public rest, interaction, and connections. The Signature Corridors of this site include landscaped street frontage open space that creates a comfortable walking experience and enjoyable streetscape. In addition, five (5) internal interconnected courtyards throughout the development will contain substantial amenities. In addition, the Site will have beautiful natural landscaping that enhances open space and showcases the beauty of the surrounding lush Sonoran desert landscape palette.

5. Seek Sustainability:

**Response:** Many features of District at the Quarter will indicate the commitment to sustainability. The density and design of this dense and urban multi-family development uses less land area and encourages a more mobile lifestyle other than via an automobile (e.g. walking, biking, and transit). Other design considerations include native landscaping which will reduce water use.

6. Advance Transportation:

**Response:** A mix of uses and nearby services encourages alternative modes of transportation through walking and bicycling. Furthermore, the development of an exciting and active street scene in conjunction with improved landscaping will activate the intersection and both roadways connecting to nearby destinations while providing pedestrian amenities such as shade, seating, and bicycle parking.

Furthermore, the proposed development adheres to the mission values, noted below, from the General Plan's land use element that contribute to Scottsdale's identity and provide a balance of uses adequate for the live, work, and play theme.

- "Land uses should provide for an unsurpassed quality of life for both its citizens and visitors."
- "Land uses should contribute to the unique identity that is Scottsdale."
- "Land uses should work in concert with transportation systems in order to promote choice and reduce negative impacts upon the lifestyle of citizens and the quality of the environment."
- "Land uses should provide opportunities for the design of uses to fit and respect the character, scale and quality of uses that exist in the community."

The uses and public benefits of this proposed development furthers the mission values listed above by creating a live, work, and play development that enhances

the public realm surrounding this area by providing significant improvements/enhancements to the intersection and activating the corner/streetscapes with ground level uses and architecture.

The following Elements and Goals from the General Plan are met with this proposed DRB request.

**Land Use Element**

**Goal 3, Bullet Point 2:** Encourage the location of more intense mixed-use centers and regional employment cores along regional networks while incorporating appropriate transitions to adjoining land uses.

**Response:** The location of this mixed use project is appropriately located along a major regional network at the convergence of two (2) Signature Corridors that form a Landmark Intersection and along with adjacent mixed-uses form a "gateway" to the Scottsdale Airpark from surrounding areas. The Landmark Intersection is the appropriate designation for the proposed intensity which provides pedestrian scaled uses and services supported by a balance of supporting uses. In addition, the location will support and enhance both the existing and proposed residential and non-residential uses in this location and transition between the employment center and surrounding retail. Appropriate transitions have been incorporated by way of design solutions, building construction, setbacks, noise disclosures, and aviation easements. This development will replace the old sidewalks surrounding the site and create a more walkable and enjoyable streetscape that helps to complete the streetscapes by creating a street scene similar to the adjacent LIV development.

- Support jobs/housing balance by integrating housing, employment, and supporting infrastructure in mixed-use centers located at appropriate locations.

**Response:** This development will support the jobs and housing balance by providing an appropriate balance of commercial and non-residential uses and services along with the residential population base to support new and existing employment and services. The designated Landmark Intersection is the ideal location for live, work, and play based mixed-use development that activates the surrounding area with walkable streetscapes and connections while utilizing existing infrastructure. In addition the option for ground floor walk-up live/work units are proposed along both Signature Corridors further integrating the live/work concept and activating the streetscape, similar to LIV.

**Goal 7, Bullet Point 5:** Incorporate open space, mobility, and drainage networks while protecting the area's character and natural systems.

**Response:** Approximately, 10.5% of the Site has been reserved as useable open space. Private and public, passive and active forms of open space are found throughout the site plan. The Site also provides a total landscape space (including all open space, street frontage, and parking landscape areas) of 20% for the Site. It should be noted that both phases of development will exceed the required 10% open space. Again, these open space areas provide areas of contemplation, recreation (passive/active), cooling, and visual interest both on-site and off-site. Mobility and connections through the site and surrounding area are enhanced with meandering pathways, landscaping, enhanced streetscapes, and ground level uses. Native landscaping, open spaces, and drainage have been incorporated in an environmentally sensitive manner with consideration of the character in this area.

**Goal 8, Bullet Point 2:** Develop and reinforce links (i.e. trails, paths, open space, transit, and streets) within and between residential, retail, employment, recreational and other public land uses.

**Response:** Paths, connections, and open spaces have been carefully connected throughout and surrounding the site to provide for comfortable connections and alternative modes of transportation to surrounding land uses.

- Promote residential uses that support the scale and function of retail, commercial and employment uses within these neighborhoods, including the use of mixed-use structures (retail or office on lower level and residential uses on upper levels).

**Response:** The residential/commercial uses proposed will be supportive of the existing retail, commercial, and employment uses within these neighborhoods and complete the mixed-use nature of this Landmark Intersection as envisioned. In addition, non-residential floor area uses and ground level live/work units are proposed along the Signature Corridors.

- Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips, and support alternative modes of mobility.

**Response:** This project utilizes existing infrastructure already in place and takes advantage of this prime location for such a development because of the surrounding employment, retail, and services. With a broad variety of employment and uses within walking distance, this development encourages and

taps into non-residential uses on site and within walking distance of this location and enhances the streetscapes, which will encourage walkability and alternative modes of transportation which limits automobile trips.

### **Growth Areas Element**

**Goal 3, Bullet Point 2:** Provide open spaces in designated growth areas that encourage public gathering, enhance aesthetics, preserve viewsheds, and serve as buffers between uses of significantly differing function and intensity.

**Response:** Open spaces have been strategically laid out within the development. The Landmark intersection and pedestrian area of this development includes amenities and open spaces that encourage public gathering and activity. The open space areas along the street frontages and enhanced design aesthetics will help to preserve viewsheds that also serve as buffers from inside and outside the development and provide for a public benefit for the area. This development strengthens the design and character of the Greater Airpark and provides enhanced streetscapes that promote a safe, comfortable, and aesthetically pleasing pedestrian environment.

### **Housing Element**

**Goal 3, Bullet Point 1:** Encourage and establish appropriate incentives for development of aesthetically pleasing housing that will accommodate a variety of income levels and socioeconomic needs.

**Response:** The proposed development will be aesthetically and visually pleasing both from the ground and from a distance. The proposed development will also allow for another housing opportunity within this immediate area to support the existing uses.

**Goal 4, Bullet Point 1:** Encourage a variety of housing densities throughout Scottsdale, with mixed-uses in areas of major employment and transit hubs, to offer greater live/work choices to a broader economic range of households.

**Response:** This development provides a different level option in housing density while also providing a mix of uses located one of the state's largest employment centers and further enhancing the live/work philosophy.

## **Community Mobility Element**

**Goal 8** Emphasize live, work, and play land use relationships to optimize the use of citywide systems and reduce the strain on regional and local/neighborhood systems.

**Response:** This mixed-use development will contribute to the existing live, work, and play theme seen in adjacent developments in this location, and particularly at the GACAP designated Landmark Intersection. The mixed-use nature and design of the proposal provides for walkability and encourages alternative modes of transportation to reduce automobile trips and ultimately the strain on regional and local/neighborhood systems.

**Goal 8, Bullet Point 3:** Encourage, where appropriate, mixed use developments that physically incorporate residential, shopping and work environments within one area or project and place strong emphasis on connectivity with non-motorized access (pedestrian oriented development).

**Response:** This project provides an appropriate mixed-use development located at the GACAP designated Landmark Intersection and various commercial/retail services and business related opportunities. Furthermore, the development is designed with the intent to reduce automobile trips and encourage pedestrian oriented development by including ground level uses, live/work units, and services and enhancing the streetscapes to become walkable, comfortable, and aesthetically pleasing.

**Goal 11:** Provide opportunities for building “community” through neighborhood mobility.

- Encourage the sensitive integration of live, work and play land uses and their physical links within and between neighborhoods to emphasize sense of place.
- Provide a high level of service for pedestrians through facilities that are separated and protected from vehicle travel (e.g., placing landscaping between curbs and sidewalks).
- Emphasize strong pedestrian orientation (e.g. shaded safe paths, links to civic spaces) to foster a strong sense of community.

**Response:** The design for this development provides the opportunity to build community through neighborhood mobility (walkability) by placing and providing pedestrian amenities and an enhanced public open space at the intersection. In

addition, the proposed development will provide for ground floor uses (e.g. clubhouse, restaurant, live/work, etc.) that enhance the streetscapes and encourage activity and as a result neighborhood interaction. Additional design considerations includes: separated sidewalks, shade, seating, dog walk/wash area, bicycle parking, workout stations, and safe pathways that foster a strong sense of interaction and thus greater community connection.

#### ❖ **GREATER AIRPARK CHARACTER AREA PLAN (GACAP)**

The GACAP was adopted in October 2010 (last amended: December 2014) by Scottsdale's City Council. The purpose of the GACAP is to establish "the vision for the Greater Scottsdale Airpark and provide the basis for Greater Airpark decision-making over a twenty-year timeframe." To achieve this, the City established a series of goals and policies to provide a framework for future development. The GACAP is divided into eight chapters each with its own focus and vision: Land Use, Neighborhood & Housing, Aviation, Community Mobility, Economic Vitality, Environmental Planning, Character & Design, and Public Service Facilities. The following paragraphs (i.e. responses) will highlight how this application meets the goals and policies of the GACAP.

With that being said, to support our DRB request, the following are elements from the GACAP supporting the development proposal.

##### **a) Land Use**

**Policy LU 5.2** *Greater Airpark public amenities and benefits should be provided by the private sector when development bonuses, such as increased floor area, greater intensity, greater height, development standard flexibility, and/or street abandonment are considered. Potential public amenities and benefits may include, but are not limited to:*

- *New/expanded usable open space areas;*
- *Linkages to planned or existing trails and/or paths;*
- *Transit and/or other mobility enhancements, including bicycle and pedestrian amenities;*
- *Workforce housing (where appropriate);*
- *Infrastructure improvements;*
- *Regional tourism facilities or accommodations;*
- *Green building standards, such as LEED certification;*
- *Gateway and/or Landmark Intersection enhancements;*
- *Integrated daycare facilities;*
- *Public/shared/park-and-ride parking facilities;*

- *Net-zero/significant energy efficiency and/or on-site alternative energy generation for multiple properties; and/or*
- *Area stormwater infrastructure.*

**Response:** This development provides many public benefits most notably providing an enhanced Landmark Intersection for public use that serves as a “gateway” to the Airpark. This enhanced Landmark Intersection space features shade, seating, various meandering pathways, public open space, landscaping, and ground level uses and services which produce a public benefit in the form of placemaking for this intersection and area. In addition, the development provides various passive and active open space areas, and enhanced Signature Corridor streetscapes with various interesting connections through the site and to surrounding areas. This development provides public benefits and amenities that promote walkability and alternative modes of transportation through improved streetscapes, pedestrian scaled services and uses, bicycle parking, and ground level live/work units that help activate the streetscapes and intersection providing visually interesting and comfortable public spaces and an exceptional walkable community.

**Policy LU 6.4** *Enforce and modify development standards and building codes to enhance compatibility of residential uses with aviation and employment, and buffer existing industrial and aviation uses from new and existing residential development.*

**Response:** The proposed development buffers primarily lower intensity employment and boutique industrial which includes predominately closed buildings (i.e. Piano Gallery) to the north and east, making the transition of the proposed high density residential apartment development use more easily compatible with the proposed mixed-use project. In addition to design solutions such as building construction, and setbacks, and other measures (see below) are being taken to ensure the compatibility of uses. Examples of Policy LU 6.4 illustrate how the residential use is compatible in the area:

- Sound and attenuation measures will be included in the development.
- A maximum height of 48 feet and 58 feet for rooftop mechanical stairwell and patio enclosure elements, not exceeding 30% of the roof are, is included.
- Notification will be given of proximity to Airport.
- Tenants will be required to sign noise disclosures and aviation easements.



- The proposed development will be in compliance for lighting standards set forth by the Federal Aviation Administration and Scottsdale Design Standards and Policies Manual.

**Policy LU 6.5** *In accordance with the Airport's Part 150 Noise Compatibility Study, aviation easements and fair disclosure statements are required for all new and redevelopment projects in the Greater Airpark.*

**Response:** Aviation easements and fair disclosure statements will be required for new tenants. Moreover, the future developer/owner has agreed to a stipulation from the Airport Advisory Commission to provide an enhancement to the sound attenuation typically required. As such the stipulation provides that with the final plans submittal, the owner (developer) shall provide sound attenuation as set forth in Appendix F to the FAA Part 150 Noise Compatibility Study, Section 4.00. The provided sound attenuation shall provide a minimum reduction in exterior to interior noise levels of 25 decibels.

**Goal 7** *Develop an interconnected network of Signature Corridors to support the Greater Airpark as a place for meeting, creating, shopping, learning, as well as working.*

**Response:** This development creates and helps interconnect the network of two (2) Signature Corridors which will be enhanced by the mixed-use nature of pedestrian features and ground level uses located at the Landmark Intersection, surrounding spaces, and supporting commercial/retail and employment services.

**Policy LU 7.1** *Encourage growth along corridors with the greatest potential for activity, new development, revitalization, tourist attractions, and enhanced multi-modal connections.*

**Response:** The proposed mixed-use development encourages growth, activity, and revitalization at the intersection of two (2) Signature Corridors along 73<sup>rd</sup> Street and Greenway-Hayden Loop. This proposal provides a vibrant and active residential community at this integral location within the Airpark, which is positioned within walking distance of shopping and restaurants along Scottsdale Road and within walking proximity of employment land uses further promoting pedestrian oriented activity.

**Policy LU 7.2** *Promote a greater mix of uses along identified Signature Corridors, which complement and are compatible with each respective land use designation.*

**Response:** Expanding on the statement above, this project will integrate multi-family residential and mixed uses at the intersection of two (2) Signature Corridors, further broadening the mix of uses within the area. Walk up style live/work units are proposed along the Signature Corridor that support the mixed-use component as well as employment for this area.

**Goal LU 8** *Create an interconnected network of meaningful open spaces within the Greater Airpark.*

**Response:** This development as the “gateway” to the Airpark enhances and encourages the pedestrian based activity and connections including utilizing alternative modes of transportation that create a meaningful network of connections to open spaces within the development and surrounding area. The enhanced open space and pedestrian scale and amenities of the Landmark Intersection will serve as an inviting gateway.

**Policy LU 8.3** *Promote public/private partnerships in the design of development plans that provide functional urban open spaces, such as plazas and pocket parks, within and between projects.*

**Response:** A large number of functional open spaces, amenities, and open space has been included in this high quality design and development, most notably, the enhanced Landmark Intersection with public open space and pedestrian elements that will engage the public.

**b) Neighborhood & Housing**

**Goal NH 2** *Create complete neighborhoods within the Greater Airpark, through the development of urban dwelling types and mixed-use developments, while being respectful of the Greater Airpark as an aviation-based employment center.*

**Response:** This project offers various dwelling types not found in surrounding housing options and in a location ideal for a mixed use development. This mixed use project creates and compliments the surrounding developments to create a complete neighborhood and respect and compliment the employment area of the Airpark to the east. This project furthers the intent of a mixed-use development in this location while providing for neighborhood commercial/retail services and live/work units complimentary to the Airpark and the LIV development across 73<sup>rd</sup> Street.

**Policy NH 2.3** *Incorporate gathering spaces and recreational opportunities into the design of mixed-use development to support a high quality of life for Greater Airpark residents.*

**Policy NH 2.4** *Promote opportunities for parks, open space, and trail connections within new mixed-use development and as a part of the redevelopment of existing property.*

**Response:** This centrally located project with its enhanced pedestrian corner has the ability to draw visitors from across the Valley. Living in this area has the unique benefits of those who fly regularly from Scottsdale Airport, attend events at nearby Westworld, or hike the McDowell Mountains and nearby trails. The development provides a mix of uses and design elements that cater to the pedestrian and providing urban character and gathering spaces through the use of building design, connectivity, landscaping, open spaces, hardscape and lighting. The proposed site plan calls for an enhanced public pedestrian area and amenities, a total of five (5) courtyards, a clubhouse, and private areas providing high quality and active and passive open space and recreation for residents and the public to connect and converse on a daily basis. The development also provides a network of sidewalks that tie to outer perimeter sidewalks and into the greater pedestrian network. The walkable nature of this development along with the public Landmark Intersection and Signature Corridors provide connectivity and economic vitality that supports the continued growth within the area and the future connections.

**Policy NH 3.1** *Encourage thoughtful and creative residential development that enhances, supports, and is sensitive to Airport operations and the Greater Airport's identity as an employment center.*

**Response:** As previously discussed, the proposed uses will support the work, live, play philosophy emphasized throughout the GACAP. Special measures will be taken to create buildings that are sensitive and compatible to the nearby Airport operations.

**Policy NH 3.2** *Incorporate residential into Airpark Mixed Use- Residential Future Land Use Areas to reduce traffic congestion, improve air quality, and provide opportunities for workforce housing where:*

- *Dwellings units will not be directly adjacent to industrial uses that could be in conflict with residential uses;*
- *Dwellings will not lie within the 55 day-night average noise level (DNL) or higher areas established by the FAA; and*
- *Multi-modal transportation options will be incorporated into residential design.*

**Response:** The proposed mixed-use multi-family community will add residential to an area ideally suited for residential development. The proposed dwelling units have a buffer from existing industrial uses, by way of an internal roadway, setbacks, and landscaping. Residences will be well aware of Airpark and employment uses within the surrounding area. The proposed dwelling units are also located well outside the 55 DNL line and appropriate sound attenuation, building materials, and insulation will be utilized. Multi-modal transportation options will be available to residents including, but not limited to walking, bicycling, driving and public transit.

**c) Community Mobility**

**Policy CM 4.2** *Improve pedestrian and bicycle connections from adjacent neighborhoods to Greater Airpark destinations.*

**Response:** The Signature Corridors adjacent to the property include 73<sup>rd</sup> Street and Greenway-Hayden Loop. These streets provide a framework for pedestrian and bicycle connections within the immediate area. Furthermore, the development plan will create a walk-friendly environment for its residents with internal pedestrian connections between multi-family buildings, on site amenities, and adjoining land uses.

**Goal CM 6** Enhance pedestrian and bicyclist access and activity for Greater Airpark residents, visitors, and employees.

**Policy CM 6.5** *Design corridors that accommodate and attract pedestrians and bicyclists, particularly in Airpark Mixed Use Future Land Use Areas and along Signature Corridors.*

**Policy CM 6.6** *Design safe, comfortable, and aesthetically-pleasing Greater Airpark pedestrian and bicyclist facilities through the incorporation of universally accessible designs, coordinated street lighting, visually-interesting landscape treatments, shading, bicycle lanes, and public art integrated into facility design.*

**Goal CM 7** *Promote sustainable transportation options that meet the needs of the current and future Greater Airpark community.*

**Goal CM 7.1** *Incorporate site design features that promote more access to those walking, cycling, or taking public transit, such as ground-floor retail and parking located in the rear of buildings, particularly along Signature Corridors and within Airpark Mixed Use Future Land Use Areas.*

**Policy CM 7.2** *Promote more sustainable modes of passenger transportation, such as alternative fuel vehicles, walking, biking, and/or other future technologies.*

**Response:** The Greater Airpark designates this property as “Shopping/Housing” along a future transit connection route, two (2) Signature Corridors, and a Landmark Intersection. In response to these designations, the site plan has been designed in a manner that pays particular attention to pedestrians and bicyclists along the perimeter of the Site, by providing safe and aesthetically pleasing streetscapes while utilizing existing bike lanes.

The mixed use nature of the District at the Quarter promotes pedestrian mobility and activity with ground floor retail/commercial, active non-residential floor area uses, enhanced streetscapes with pedestrian amenities, shade and landscaping, and a distinctive public gathering space at the intersection of the two (2) Signature Corridors to form a Landmark Intersection. These elements together complete an enhanced streetscape that is pleasing, interesting, safe, and comfortable while providing for pedestrian access that easily transitions into the surrounding area.

Integration of housing within the greater area and a mixed use development at this Airpark location increases the efficiency of movement by people by locating them close to employment and retail services and minimizing vehicular trips creating a sustainable walkable community. The design and location of this development promotes walkability and alternative modes of transportation including biking infrastructure and easy access to nearby transit. Furthermore, parking is located towards the back and internal to the development, in order to activate the streets with pedestrian amenities, public space, and ground floor mixed-uses.

**d) Environmental Planning**

**Policy EP1.3** *Promote landscape design and irrigation methods that contribute to water and energy conservation.*

**Response:** The landscaping for the proposed development will be in accordance with the city approved landscape palette and blends with surrounding developments in a cohesive and coherent manner. With a judicious/strategic use of water as a design element, there has been an intentional preference to surround the project with native plants that show off the natural Sonoran beauty. The project will proudly showcase the combination of natural shapes, textures, and materials from this region and incorporate shade structures.

- Building design includes context appropriate massing, architecture and materials including pedestrian scale design at floor level.
- Special attention given to pedestrian linkages both internal to the Site and along the perimeter to emphasize connectivity.
- Compatibility with surrounding context.
- Site and building design focused on Sonoran Desert climate through the use of shading, recessed windows, articulation, material selection, textures, paint colors, scale and massing.
- Open space maximized; development provides abundant open space with approximately 10.3% (excluding street frontage area or parking lot landscaping) useable open space (i.e. 10% required) with approximately 20% (including all open space, street frontage, and parking landscape areas). This also includes dog walk/wash area too.

In summation, there will be many gathering areas where people can come together in an environmentally friendly passive and/or active setting.

**Policy CD 1.2** *Lighting should be designed to minimize glare, conserve energy, and accent the respective Future Land Use Area character.*

**Response:** The on-site lighting will be designed in a manner to minimize glare and conserve energy while respecting and remaining consistent with the surrounding land uses. One of the lighting goals will be to provide appropriate low-level/decorative pedestrian scale lighting (bollard and foot lighting) for pedestrians walking at night. The lighting will be integrated with the abundant desert landscaping proposed with this development.

**Goal CD 2** Create vibrant Signature Corridors in the Greater Airpark to provide a distinct identity and design theme in the area.

**Response:** The Signature Corridors bordering this site are designed to create a comfortable, safe, and aesthetically pleasing streetscape with passive open spaces along the street frontage and anchored by an enhanced Landmark Intersection pedestrian area with public pedestrian amenities and open space. Various design measures are included such as shade, seating, bicycle parking, landscaping, and ground level live/work units along both Signature Corridors.

**Policy CD 2.1.3 Greenway-Hayden Signature Corridor (emphasis added)**

*The Greenway-Hayden Signature Corridor should serve as the "Main Street" of the Greater Airport, north of the runway, and should reference multi-modal connections from other cities to major area destinations, such as the Tournament Players Club Golf Course and Scottsdale Sports Complex. The public realm should animate the street during all seasons. Design elements could include large window displays, banners, integrated signage, passive cooling elements, covered patios, shade, public art, bicycle/pedestrian connections, and gathering areas.*

**Response:** The proposed development will highlight Greenway-Hayden Loop as a Signature Corridor and provide design elements that cater to the pedestrian through the use of building character, design, signage, walkway connectivity, landscape separated sidewalks, hardscape and lighting. This corridor connection orients pedestrian towards the Landmark Intersection pedestrian areas and open space as well as the clubhouse and fitness center located at and designed for the ground level containing large glass windows and activity. This corridor streetscape is designed to cater to the pedestrian serving as an inviting connection to the surrounding areas and public spaces and amenities that provide shelter, shade, and a variety of building articulation to visually shorten longer building expanses. Furthermore, the Signature Corridor streetscape will contain walkways and stoop elements for optional ground level live/work units from the sidewalk that further build upon community interaction. (See *Corner Landmark Intersection Enlargement* within the *Landscape Plan Set* as a part of the DR submittal package.)

**Policy CD 2.1.7 73<sup>rd</sup> Signature Corridor (emphasis added)**

*The 73<sup>rd</sup> Signature Corridor is a major pedestrian corridor in the Greater Airport. Design elements along this street should include aviation themes and human-scale building orientation. Shade is an important element and may be incorporated through the built environment, as well as natural shading. Hardscape elements could include bollards, foot lighting, and sophisticated fencing that secure taxi lanes from pedestrian activity. Low-lying vegetation, such as vines and shrubs, are important landscape features that should soften the continuous building mass characteristics of land uses on the east side of the corridor.*

**Response:** The proposed development will emphasize 73<sup>rd</sup> Street as a Signature Corridor and provide design elements that are pedestrian oriented through the use of building and pedestrian scaled design, shaded rest areas, signage, landscape separated walkways, live/work stoops, hardscape, and lighting that enhance the streetscape. This Signature Corridor provides a safe, comfortable,



**DISTRICT AT THE QUARTER**  
 KAPLAN ACQUISITIONS, LLC



CONTEXT  
 SITE PLAN  
 GRAPHIC SCALE

A1.2

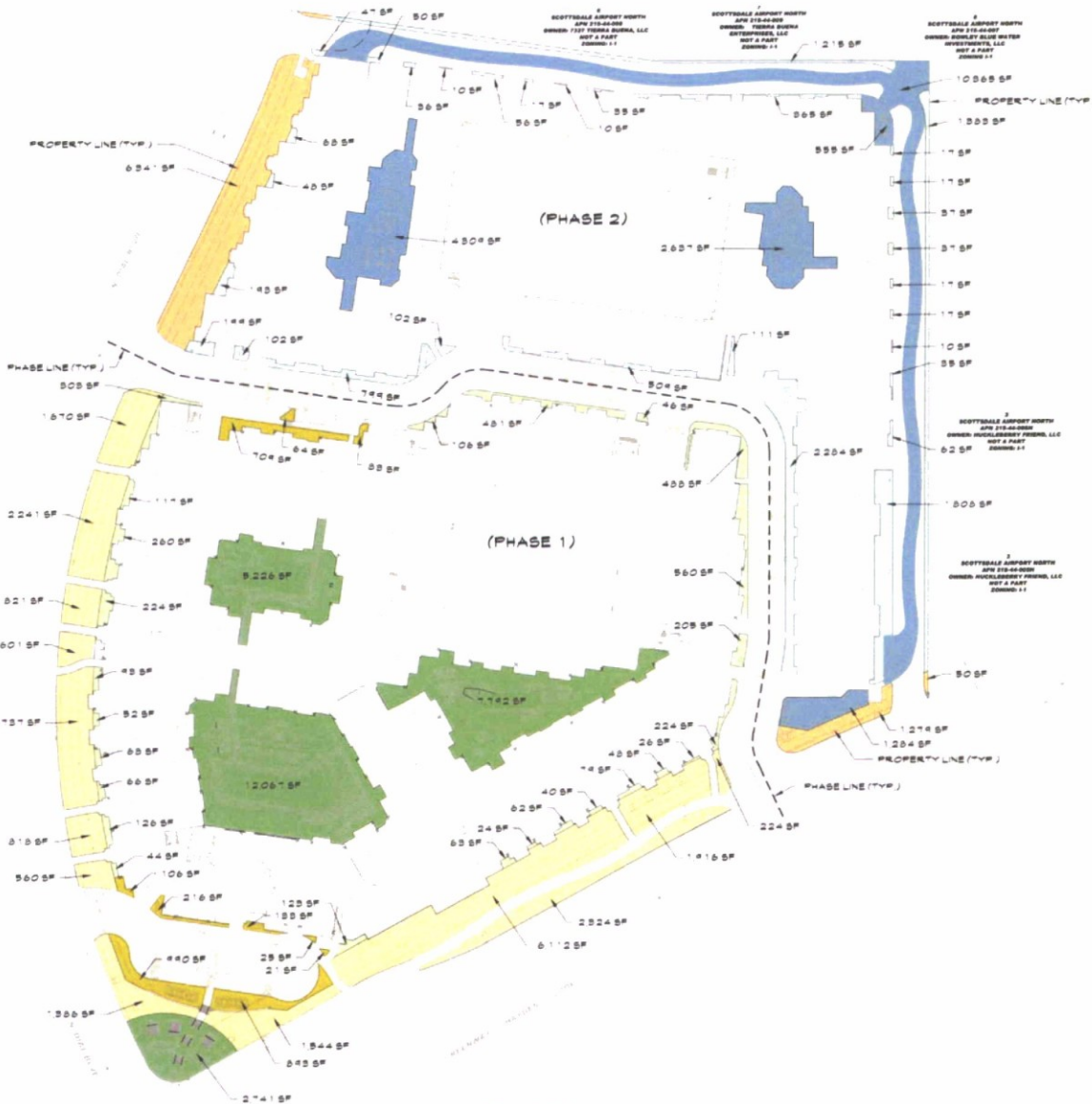
9-15-

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**SITE DATA**

GROSS SITE AREA: 448,249 SQ.FT
NET SITE AREA: 384,121 SQ.FT
ZONING: I-1
PROPOSED ZONING: PUD

**COMMON OPEN SPACE**

GROSS SITE AREA: 448,249 SQ.FT
PHASE I SITE AREA: 261,086.80 SQ.FT
OPEN SPACE FACTOR: 0.10
PHASE I REQUIRED OPEN SPACE: 26,108.7 SQ.FT
PHASE II SITE AREA: 187,219.44 SQ.FT
OPEN SPACE FACTOR: 0.10
PHASE II REQUIRED OPEN SPACE: 18,721.9 SQ.FT

**PHASE I - COMMON OPEN SPACE LEGEND**

	COMMON AREA OPEN SPACE - 27,827 SQ.FT
	OTHER OPEN SPACE AREA - 4,018 SQ.FT
	STREET FRONTAGE OPEN SPACE - 22,484 SQ.FT
	PARKING LOT LANDSCAPING - 5,240 SQ.FT

**PHASE II - COMMON OPEN SPACE LEGEND**

	COMMON AREA OPEN SPACE - 14,144 SQ.FT
	OTHER OPEN SPACE AREA - 9,692 SQ.FT
	STREET FRONTAGE OPEN SPACE - 7,870 SQ.FT
	NO PARKING LOT AREA IN PHASE II

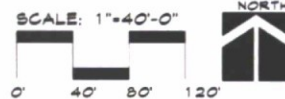
**OVERALL TOTAL OPEN SPACE FOR BOTH PHASES**

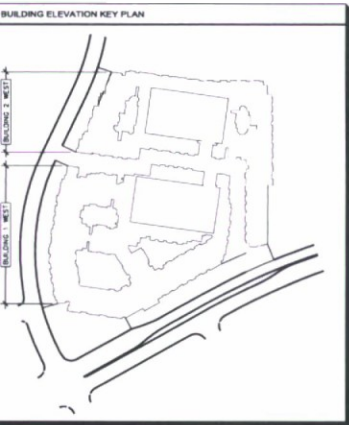
<b>COMMON OPEN SPACE PROVIDED:</b>
- 46,478 SQ.FT (10.45% OF GROSS SQ.FT)
(NOT INCLUDING OTHER OPEN SPACE AREA, STREET FRONTAGE AREA OR PARKING LOT LANDSCAPING AREA).
<b>TOTAL OPEN SPACE AREA PROVIDED:</b>
- 44,848 SQ.FT (21.10% OF GROSS SQ.FT)
(INCLUDES ALL OPEN SPACE AREAS, STREET FRONTAGE & PARKING LANDSCAPE AREAS).

**DISTRICT AT THE QUARTER  
COMMON OPEN SPACE PLAN**

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260  
OCTOBER 27, 2016

SHEET L1.1





KEY NOTES	
1.	STUCCO FINISH
2.	8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
3.	SOLARIUM UNIT AT THE 4TH FLOOR
4.	METAL SHADE CANOPY - SHADING DEVICE
5.	DECORATIVE METAL RAILING +42" A.F.F.
6.	PATIO WALL WITH STUCCO FINISH
7.	STUCCO CONTROL JOINT
8.	WINDOW UNIT, RECESSED 2" MINIMUM
9.	FRENCH DOOR
10.	FOLDING OR TELESCOPING DOOR SYSTEM
11.	STOREFRONT GLAZING
12.	METAL PARAPET CAP - 42" MINIMUM HEIGHT MEASURED FROM FINISHED ROOF DECK
13.	METAL DOOR - PAINTED ACCENT COLOR
14.	STAIR BULKHEAD
15.	SLIDING GLASS PATIO DOOR
16.	TOP OF ROOF DECK BEYOND @ +46'-0"
17.	6" WALL POP-OUT
18.	ROOF TOP DECK
19.	PROJECT SIGNAGE
20.	4" STUCCO POP-OUT WINDOW SURROUND
21.	EXTERIOR LIGHT
22.	LIVE / WORK ENTRY
23.	FRYREGLET - ARCHITECTURAL METAL
24.	ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
25.	STONE VENEER



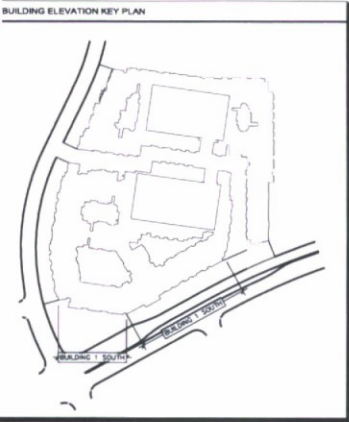
**DISTRICT AT THE QUARTER**  
**KAPLAN ACQUISITIONS, LLC**



**BUILDING ELEVATIONS**  
**BUILDING #1 ELEVATIONS**  
 1/16" = 1'-0"

**A7.**  
 10-31

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**KEY NOTES**

1. STUCCO FINISH
2. 8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
3. SOLARIUM UNIT AT THE 4TH FLOOR
4. METAL SHADE CANOPY - SHADING DEVICE
5. DECORATIVE METAL RAILING +42" A.F.F.
6. PATIO WALL WITH STUCCO FINISH
7. STUCCO CONTROL JOINT
8. WINDOW UNIT, RECESSED 2" MINIMUM
9. FRENCH DOOR
10. FOLDING OR TELESCOPING DOOR SYSTEM
11. STOREFRONT GLAZING
12. METAL PARAPET CAP - 42" MINIMUM HEIGHT MEASURED FROM FINISHED ROOF DECK
13. METAL DOOR - PAINTED ACCENT COLOR
14. STAIR BULKHEAD
15. SLIDING GLASS PATIO DOOR
16. TOP OF ROOF DECK BEYOND @ +46'-0"
17. 6" WALL POP-OUT
18. ROOF TOP DECK
19. PROJECT SIGNAGE
20. 4" STUCCO POP-OUT WINDOW SURROUND
21. EXTERIOR LIGHT
22. LIVE / WORK ENTRY
23. FRYREULET - ARCHITECTURAL METAL
24. ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
25. STONE VENER



BUILDING #1 - SOUTH ELEVATION - GREENWAY HAYDEN LOOP



BUILDING #1 - SOUTH ELEVATION - GREENWAY HAYDEN LOOP



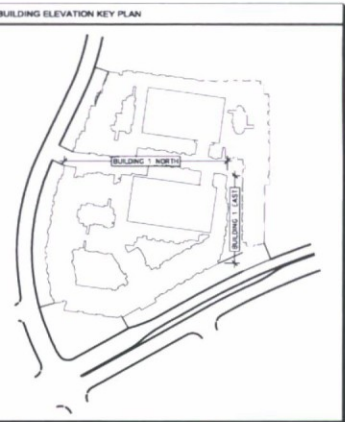
**DISTRICT AT THE QUARTER**  
**KAPLAN ACQUISITIONS, LLC**



**BUILDING ELEVATIONS**  
**BUILDING #1 ELEVATIONS**  
 1/16" = 1'-0"

**A7.**  
 10-31





KEY NOTES	
1	STUCCO FINISH
2	8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
3	SOLARIUM UNIT AT THE 4TH FLOOR
4	METAL SHADE CANDY - SHADING DEVICE
5	DECORATIVE METAL RAILING +42" A.F.F.
6	PATIO WALL WITH STUCCO FINISH
7	STUCCO CONTROL JOINT
8	WINDOW UNIT RECESSED 2" MINIMUM
9	FRENCH DOOR
10	FOLDING OR TELESCOPING DOOR SYSTEM
11	STOREFRONT GLAZING
12	METAL PARAPET CAP - 42" MINIMUM, HEIGHT MEASURED FINISHED ROOF DECK
13	METAL DOOR - PAINTED ACCENT COLOR
14	STAIR BULKHEAD
15	SLIDING GLASS PATIO DOOR
16	TOP OF ROOF DECK BEYOND @ +46'-0"
17	6" WALL POP-OUT
18	ROOF TOP DECK
19	PROJECT SIGNAGE
20	4" STUCCO POP-OUT WINDOW SURROUND
21	EXTERIOR LIGHT
22	LIVE / WORK ENTRY
23	FRYBROLET - ARCHITECTURAL METAL
24	ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
25	STONE VENEER



BUILDING #1 INTERIOR DRIVE - EAST ELEVATION



BUILDING #1 INTERIOR DRIVE - NORTH ELEVATION

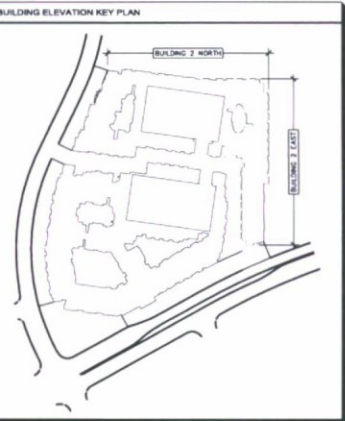
**bil**form  
architecture

**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC



**BUILDING ELEVATIONS**  
BUILDING #1 ELEVATIONS  
1/16" = 1'-0"

**A7.**  
10-31



**KEY NOTES**

1. STUCCO FINISH
2. 8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
3. SOLARIUM UNIT AT THE 4TH FLOOR.
4. METAL SHADE CANOPY - SHADING DEVICE
5. DECORATIVE METAL RAILING +42" AFF
6. PATIO WALL WITH STUCCO FINISH
7. STUCCO CONTROL JOINT
8. WINDOW UNIT RECESSED 2" MINIMUM
9. FRENCH DOOR
10. FOLDING OR TELESCOPING DOOR SYSTEM
11. STOREFRONT GLAZING
12. METAL PARAPET CAP - 42" MINIMUM HEIGHT MEASURED FROM FINISHED ROOF DECK
13. METAL DOOR - PAINTED ACCENT COLOR
14. STAIR BULKHEAD
15. SLIDING GLASS PATIO DOOR
16. TOP OF ROOF DECK BEYOND @ +46'-0"
17. 6" WALL POP-OUT
18. ROOF TOP DECK
19. PROJECT SIGNAGE
20. 4" STUCCO POP-OUT WINDOW SURROUND
21. EXTERIOR LIGHT
22. LIVE / WORK ENTRY
23. FRYREGLET - ARCHITECTURAL METAL
24. ROOF INSULATED EQUIPMENT SCREEN (BEYOND)
25. STONE VENTILATOR



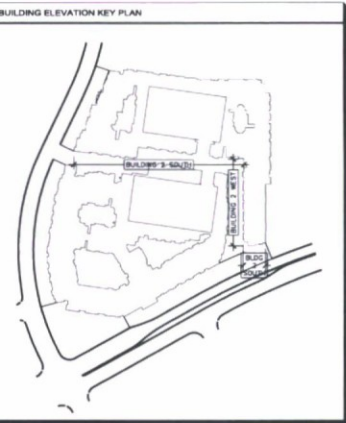
**biliform**  
architecture

**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC



**BUILDING ELEVATIONS**  
BUILDING #2 ELEVATIONS  
1/16" = 1'-0"

**A7.**  
10-31



**KEY NOTES**

- 1 STUCCO FINISH
- 2 8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
- 3 SKIRMISH UNIT AT THE 4TH FLOOR
- 4 METAL SHADE CANOPY - SHADING DEVICE
- 5 DECORATIVE METAL RAILING + 42" A.F.F.
- 6 PATIO WALL WITH STUCCO FINISH
- 7 STUCCO CONTROL JOINT
- 8 WINDOW UNIT, RECESSED 2" MINIMUM
- 9 FRENCH DOOR
- 10 FOLDING OR TELESCOPING DOOR SYSTEM
- 11 STOREFRONT GLAZING
- 12 METAL PARAPET CAP - 42" MINIMUM HEIGHT MEASURED FROM FINISHED ROOF DECK
- 13 METAL DOOR - PAINTED ACCENT COLOR
- 14 STAIR BULKHEAD
- 15 SLIDING GLASS PATIO DOOR
- 16 TOP OF ROOF DECK BEYOND @ +46'-0"
- 17 6" WALL POP-OUT
- 18 ROOF TOP DECK
- 19 PROJECT SIGNAGE
- 20 4" STUCCO POP-OUT WINDOW SURROUND
- 21 EXTERIOR LIGHT
- 22 LIVE / WORK ENTRY
- 23 FRYEGLLET - ARCHITECTURAL METAL
- 24 ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
- 25 STONE VENEER



**billform**  
architecture

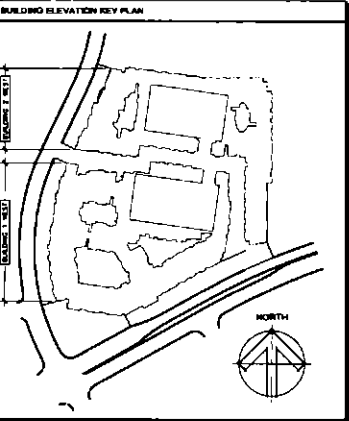
**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC



**BUILDING ELEVATIONS**  
BUILDING #2 ELEVATIONS  
1/16" = 1'-0"

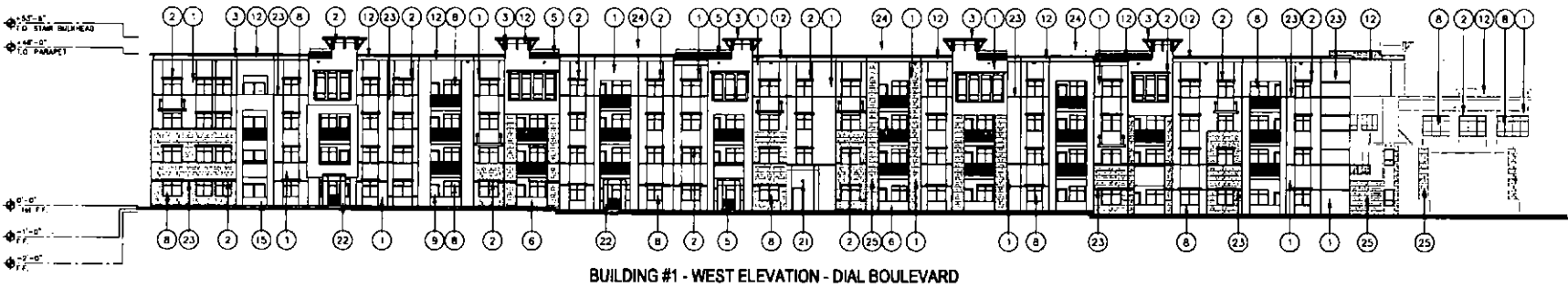
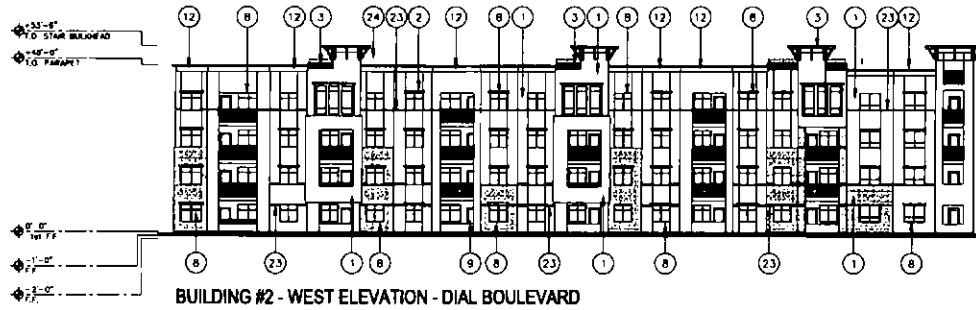
**A7.**  
10-3





**KEY NOTES**

1. STUCCO FINISH
2. 8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
3. SOLARIUM UNIT AT THE 4TH FLOOR
4. METAL SHADE CANOPY - SHADING DEVICE
5. DECORATIVE METAL RAILING - 42" A.F.F.
6. PATIO WALL WITH STUCCO FINISH
7. STUCCO CONTROL JOINT
8. WINDOW UNIT, RECESSED 2" MINIMUM
9. FRENCH DOOR
10. FOLDING OR TELESCOPING DOOR SYSTEM
11. STOREFRONT GLAZING
12. METAL PARAPET CAP - 42" MINIMUM, HEIGHT MEASURED FROM FINISHED ROOF DECK
13. METAL DOOR - PAINTED ACCENT COLOR
14. STAR BULKHEAD
15. SLIDING GLASS PATIO DOOR
16. TOP OF ROOF DECK BEYOND @ +45'-0"
17. 6" WALL POP-OUT
18. ROOF TOP DECK
19. PROJECT SIGNAGE
20. 4" STUCCO POP-OUT WINDOW SURROUND
21. EXTERIOR LIGHT
22. LIVE / WORK ENTRY
23. FRYREGLET - ARCHITECTURAL METAL
24. ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
25. STONE VENEER

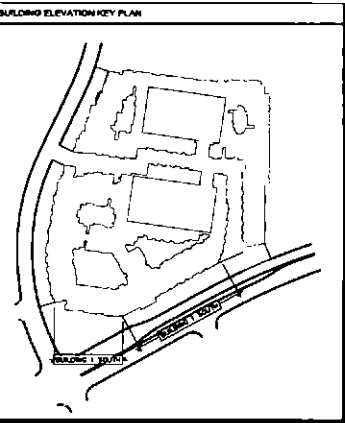


**DISTRICT AT THE QUARTER**  
 KAPLAN ACQUISITIONS, LLC

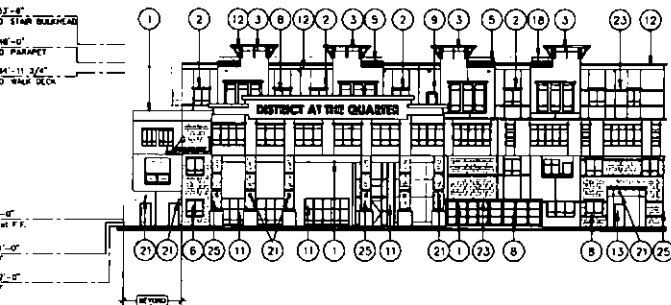
**BUILDING ELEVATIONS**  
**BUILDING #1 ELEVATIONS**  
 1/18" = 1'-0"

**A7.**  
 10-31

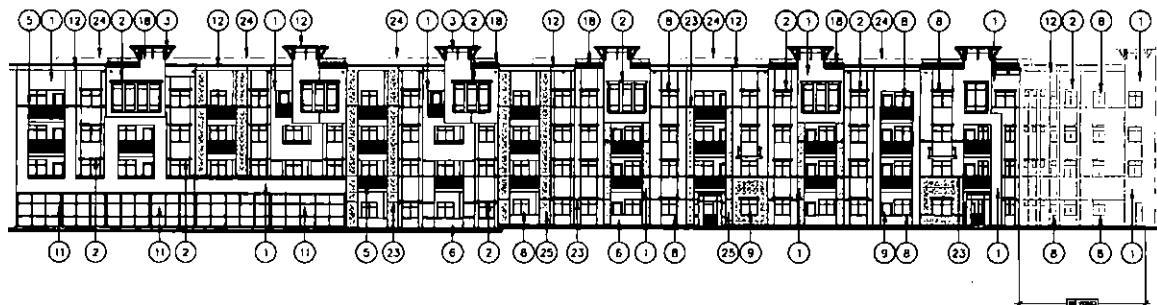




KEY NOTES	
1	STUCCO FINISH
2	8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
3	SOLARIUM UNIT AT THE 4TH FLOOR
4	METAL SHADE CANOPY - SHADING DEVICE
5	DECORATIVE METAL RAILING - 42" A.F.F
6	PATIO WALL WITH STUCCO FINISH
7	STUCCO CONTROL JOINT
8	WINDOW UNIT, RECESSED 2" MINIMUM
9	FRENCH DOOR
10	FOLDING OR TELESCOPING DOOR SYSTEM
11	STOREFRONT GLAZING
12	METAL PARAPET CAP - 42" MINIMUM HEIGHT MEASURED FROM FINISHED ROOF DECK
13	METAL DOOR - PAINTED ACCENT COLOR
14	STAIR BULKHEAD
15	SLIDING GLASS PATIO DOOR
16	TOP OF ROOF DECK BEYOND 0 - 44'-0"
17	6" WALL POP-OUT
18	ROOF TOP DECK
19	PROJECT SIGNAGE
20	4" STUCCO POP-OUT WINDOW SURROUND
21	EXTERIOR LIGHT
22	LIVE / WORK ENTRY
23	FRYRELET - ARCHITECTURAL METAL
24	ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
25	STONE VENEER



BUILDING #1 - SOUTH ELEVATION - GREENWAY HAYDEN LOOP



BUILDING #1 - SOUTH ELEVATION - GREENWAY HAYDEN LOOP



# DISTRICT AT THE QUARTER

KAPLAN ACQUISITIONS, LLC

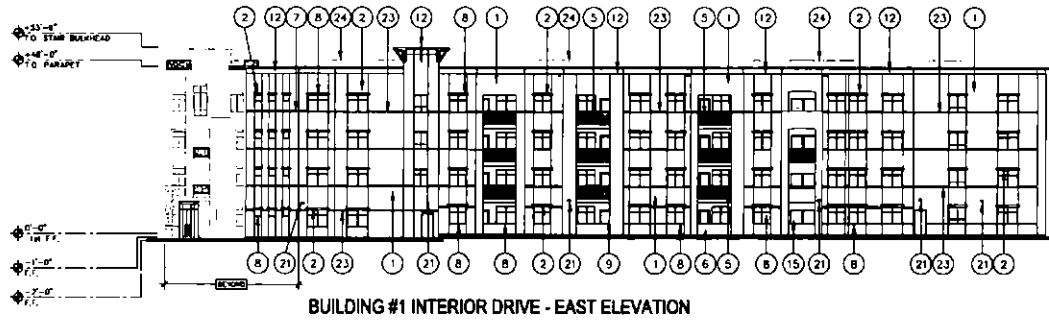
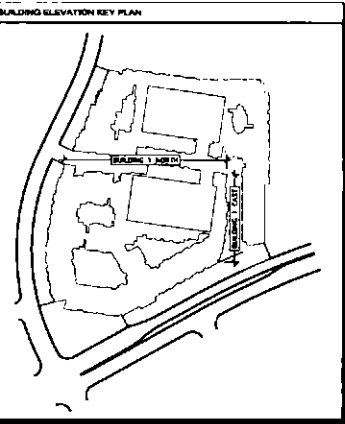


BUILDING ELEVATIONS  
BUILDING #1 ELEVATIONS

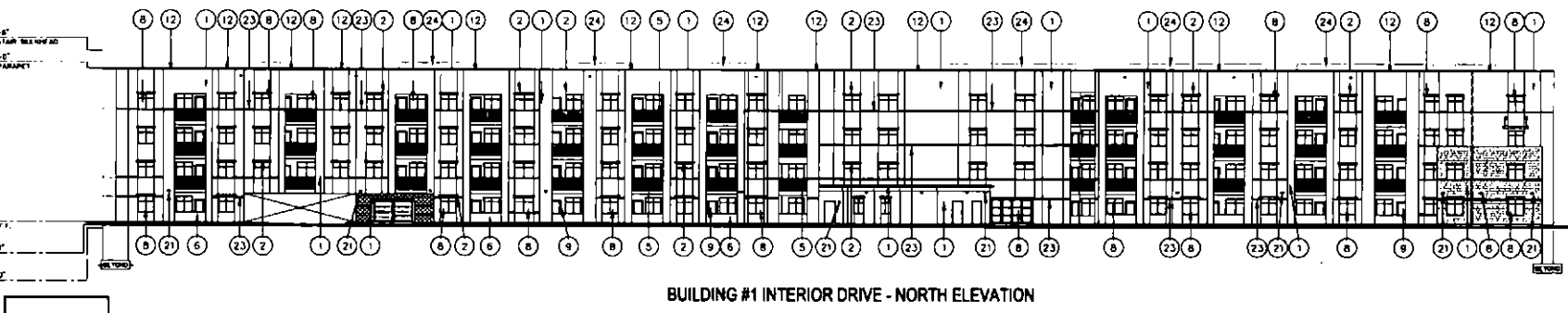
A7.

1/8" = 1'-0"

10-3



- KEY NOTES**
1. STUCCO FINISH
  2. 8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
  3. SOLARIUM UNIT AT THE 4TH FLOOR
  4. METAL SHADE CANOPY - SHADING DEVICE
  5. DECORATIVE METAL RAILING - 42" A.F.F.
  6. PATIO WALL WITH STUCCO FINISH
  7. STUCCO CONTROL JOINT
  8. WINDOW UNIT, RECESSED 2" MINIMUM
  9. FRENCH DOOR
  10. FOLDING OR TELESCOPING DOOR SYSTEM
  11. STOREFRONT GLAZING
  12. METAL PARAPET CAP - 42" MINIMUM, HEIGHT MEASURED FROM FINISHED ROOF DECK
  13. METAL DOOR - PAINTED ACCENT COLOR
  14. STAIR BULKHEAD
  15. SLIDING GLASS PATIO DOOR
  16. TOP OF ROOF DECK BEYOND B +46'-0"
  17. 6" WALL POP-OUT
  18. ROOF TOP DECK
  19. PROJECT SIGNAGE
  20. 4" STUCCO POP-OUT WINDOW SURROUND
  21. EXTERIOR LIGHT
  22. LINE / ADRY ENTRY
  23. FRYREGLET - ARCHITECTURAL METAL
  24. ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
  25. STONE VENEER



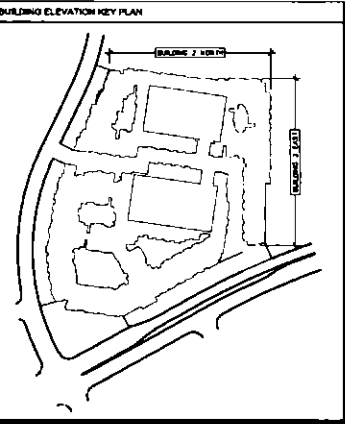
**biliform**  
architecture

**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC

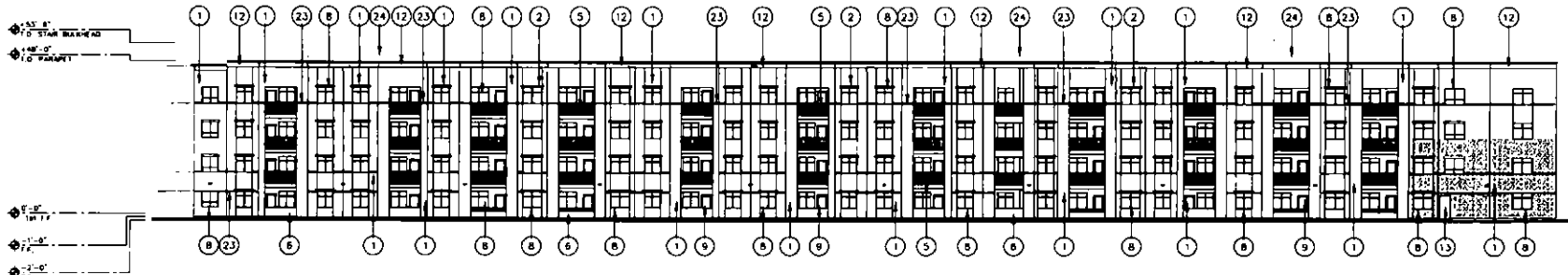


**BUILDING ELEVATIONS**  
BUILDING #1 ELEVATIONS  
1/18" = 1'-0"

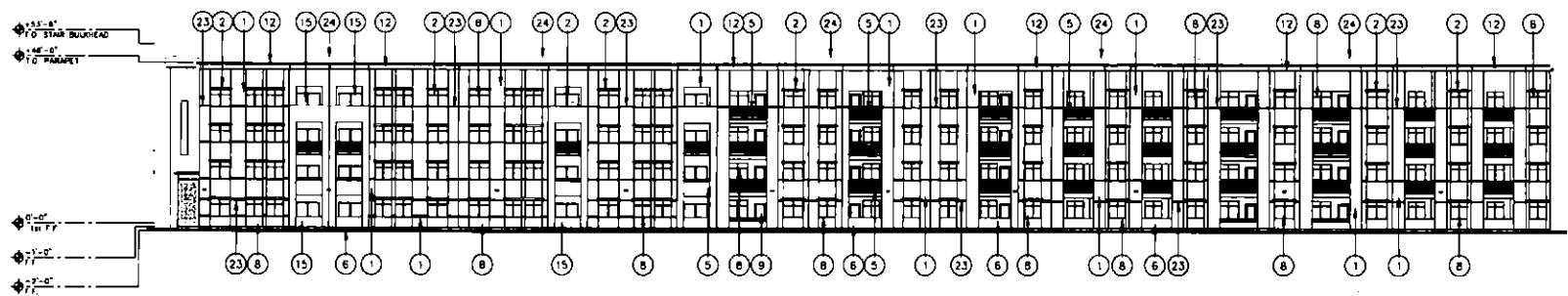
**A7.**  
10-3



- KEY NOTES**
1. STUCCO FINISH
  2. 8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
  3. SOLARIUM UNIT AT THE 4TH FLOOR
  4. METAL SHADE CANOPY - SHADING DEVICE
  5. DECORATIVE METAL RAILING - 42" A.F.F.
  6. PATIO WALL WITH STUCCO FINISH
  7. STUCCO CONTROL JOINT
  8. WINDOW UNIT, RECESSED 2" MINIMUM
  9. FRENCH DOOR
  10. FOLDING OR TELESCOPING DOOR SYSTEM
  11. STOREFRONT GLAZING
  12. METAL PARAPET CAP - 42" MINIMUM HEIGHT MEASURED FROM FINISHED ROOF DECK
  13. METAL DOOR - PAINTED ACCENT COLOR
  14. STAIR BULKHEAD
  15. SLIDING GLASS PATIO DOOR
  16. TOP OF ROOF DECK BEYOND @ +46'-0"
  17. 6" WALL POP-OUT
  18. ROOF TOP DECK
  19. PROJECT SIGNAGE
  20. 4" STUCCO POP-OUT WINDOW SURROUND
  21. EXTERIOR LIGHT
  22. LIVE / WORK ENTRY
  23. FRYRIEDEL - ARCHITECTURAL METAL
  24. ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
  25. STONE VENEER



**BUILDING #2 - NORTH ELEVATION**



**BUILDING #2 - EAST ELEVATION**

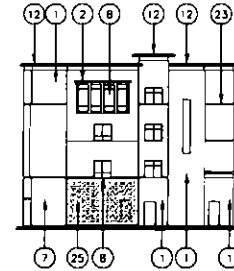
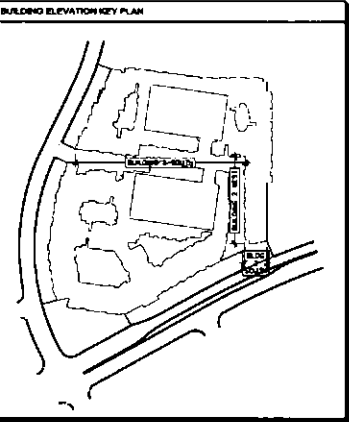


**DISTRICT AT THE QUARTER**  
**KAPLAN ACQUISITIONS, LLC**



**BUILDING ELEVATIONS**  
**BUILDING #2 ELEVATIONS**  
1/18" = 1'-0"

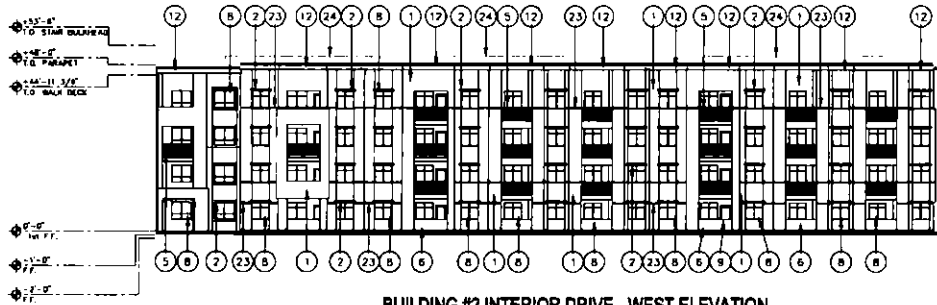
**A7.**  
10-3



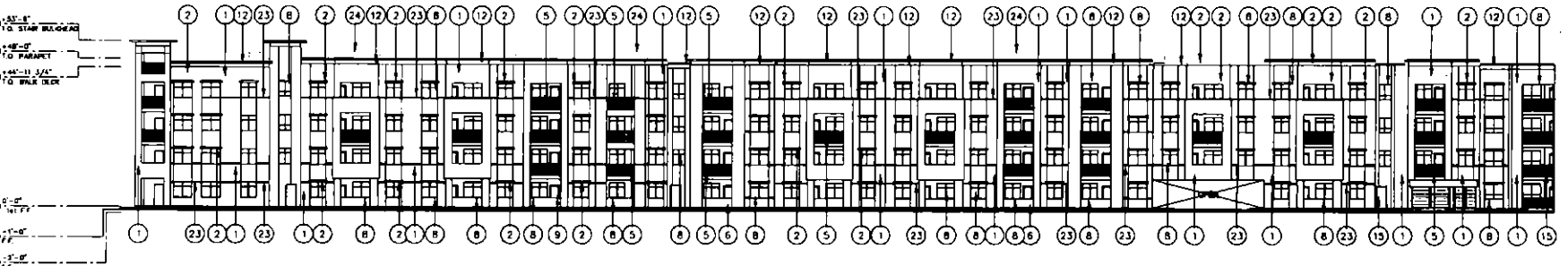
BUILDING #2 - SOUTH ELEVATION

**KEY NOTES**

1. STUCCO FINISH
2. 8" DEEP STUCCO FINISH EYEBROW - SHADING DEVICE
3. SOLARIUM UNIT AT THE 4TH FLOOR
4. METAL SHADE CANOPY - SHADING DEVICE
5. DECORATIVE METAL RAILING + 42" A.F.F.
6. PATIO WALL WITH STUCCO FINISH
7. STUCCO CONTROL JOINT
8. WINDOW UNIT, RECESSED 2" MINIMUM
9. FRENCH DOOR
10. FOLDING OR TELESCOPING DOOR SYSTEM
11. STOREFRONT GLAZING
12. METAL PARAPET CAP - 42" MINIMUM HEIGHT MEASURED FROM FINISHED ROOF DECK
13. METAL DOOR - PAINTED ACCENT COLOR
14. STAIR BULKHEAD
15. SLIDING GLASS PATIO DOOR
16. TOP OF ROOF DECK BEYOND @ +46'-0"
17. 6" WALL POP-OUT
18. ROOF TOP DECK
19. PROJECT SIGNAGE
20. 4" STUCCO POP-OUT WINDOW SURROUND
21. EXTERIOR LIGHT
22. LIVE / WORK ENTRY
23. FRYFIDLET - ARCHITECTURAL METAL
24. ROOF MOUNTED EQUIPMENT SCREEN (BEYOND)
25. STONE VENEER



BUILDING #2 INTERIOR DRIVE - WEST ELEVATION



BUILDING #2 INTERIOR DRIVE - SOUTH ELEVATION



**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC



BUILDING ELEVATIONS  
BUILDING #2 ELEVATIONS

**A7.1**  
11/8 - 11/8



LOCATION OF ENLARGED AREAS OF SOUTH ELEVATION

**NOTES**  
 ALL FRAME-OUTS WALL PROJECTIONS ARE TAKEN FROM  
 CORRESPONDING ELEVATION PLANE MARKED AS +0.  
 SEE A2.7 FOR WINDOW, DOOR, AND SHADE SCREEN DETAILS

TYPICAL ELEVATION WORK SHEET  
 DIAL BOULEVARD  
 NOT TO SCALE

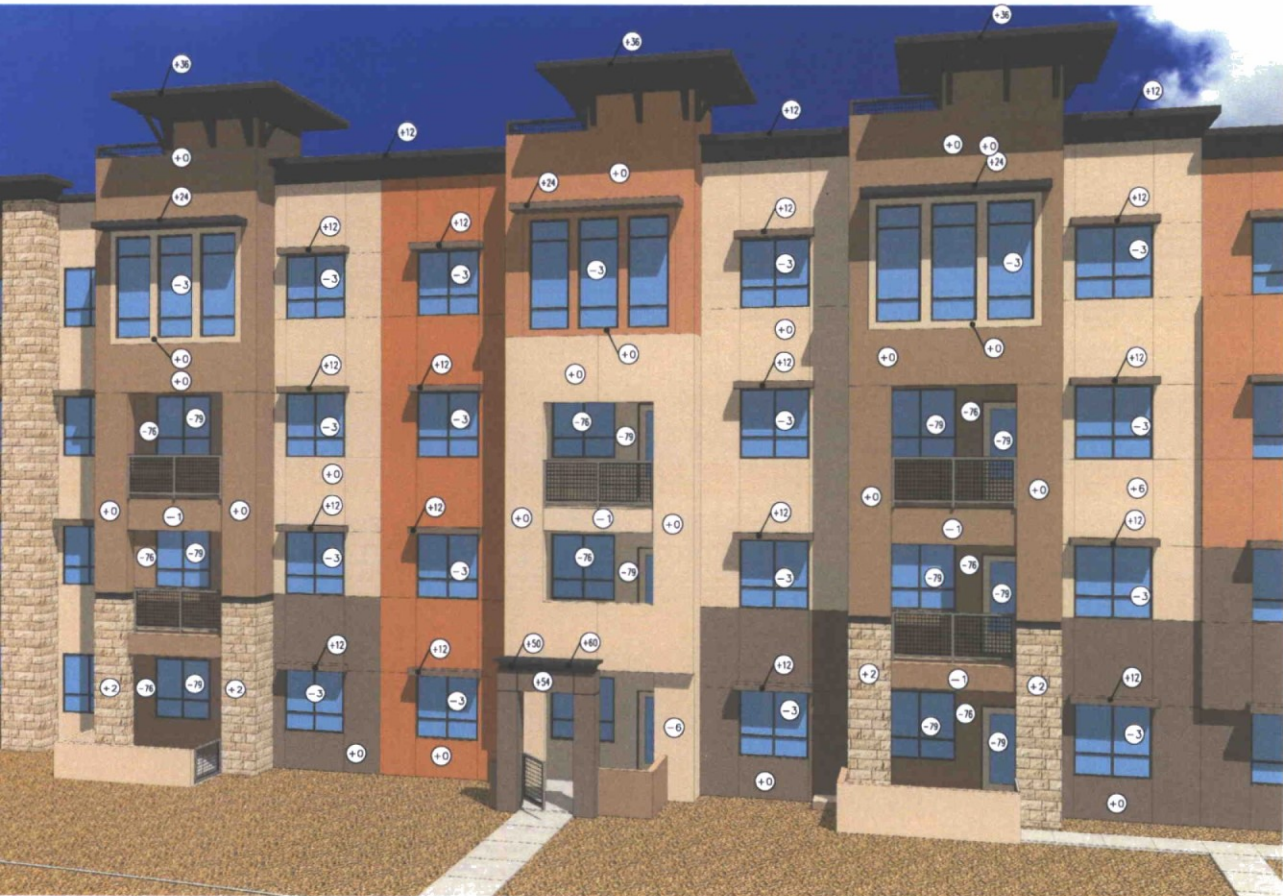
A2.3

10-3

**DISTRICT AT THE QUARTER**  
 KAPLAN ACQUISITIONS, LLC







TYPICAL UNITS ON SOUTH SIDE  
SOLAR SHADING - JUNE - 21ST (SOLAR NOON)

**NOTES**

ALL FRAME-OUTS WALL PROJECTIONS ARE TAKEN FROM  
CORRESPONDING ELEVATION PLANE MARKED AS +0.  
SEE A2.7 FOR WINDOW, DOOR, AND SHADE SCREEN DETAILS

TYPICAL ELEVATION WORK SHEET  
DIAL BOULEVARD  
NOT TO SCALE

**A2.4**

10-3



LOCATION OF ENLARGED AREAS OF SOUTH ELEVATION

**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC

**biliform**  
architecture







**billform**  
architecture

# DISTRICT AT THE QUARTER

KAPLAN ACQUISITIONS, LLC

PERSPECTIVE  
CORNER OF DIAL BLVD AND GREENWAY HAYDEN LOOP  
NOT TO SCALE

**A2.1**  
10-31-

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**ATTACHMENT #8**

**43-DR-201**  
10/31/201





# DISTRICT AT THE QUARTER

KAPLAN ACQUISITIONS, LLC



**biliform**  
architecture

# DISTRICT AT THE QUARTER

KAPLAN ACQUISITIONS, LLC

PERSPECTIVE

A2.9

N.T.S.

12-12-





WEST ELEVATION ALONG DIAL BLVD.



MATCHLINE A - SEE MIDDLE LEFT

MATCHLINE A - SEE ABOVE LEFT



WEST ELEVATION ALONG DIAL BLVD.



SOUTH ELEVATION ALONG HAYDEN-GREENWAY LOOP

MATCHLINE B - SEE LOWER LEFT

MATCHLINE B - SEE MIDDLE LEFT



SOUTH ELEVATION ALONG HAYDEN-GREENWAY LOOP



**DISTRICT AT THE QUARTER**  
STREET FRONTAGE ELEVATIONS

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260  
SEPTEMBER 15, 2016

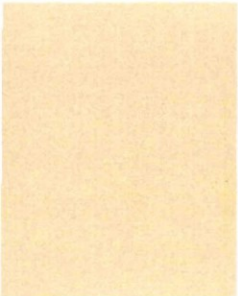
SHEET LB.1

SCALE: 1"=16'-0"

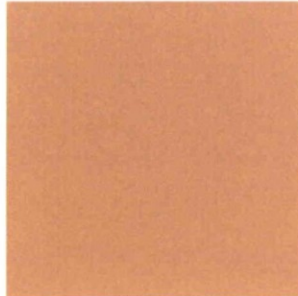


McGough Group

GRAIN  
DUNN EDWARDS - DE6213  
BODY COLOR 1



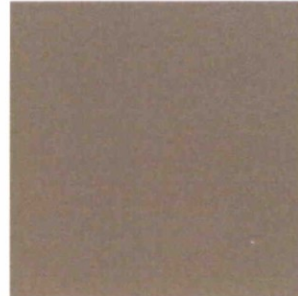
CAMELIZED  
DUNN EDWARDS - DET687  
BODY COLOR 2



HAPPY TRAILS  
DUNN EDWARDS - DET444  
BODY COLOR 3



PALOMINO PONY  
DUNN EDWARDS - DET621  
ACCENT COLOR



CELLULOID  
DUNN EDWARDS - DET619  
CORNICHE/FRY REGLET/  
RAILING/DOOR/CANOPY



BRONZE  
WINDOW/STOREFRONT FRAMES



CELLULOID  
CAMELIZED  
HAPPY TRAILS  
BRONZE  
FINE GRAIN  
SAHARA BEIGE  
PALOMINO PONY



HAPPY TRAILS  
CAMELIZED  
FINE GRAIN  
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FINE GRAIN  
FINE GRAIN  
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SAHARA BEIGE  
BRONZE

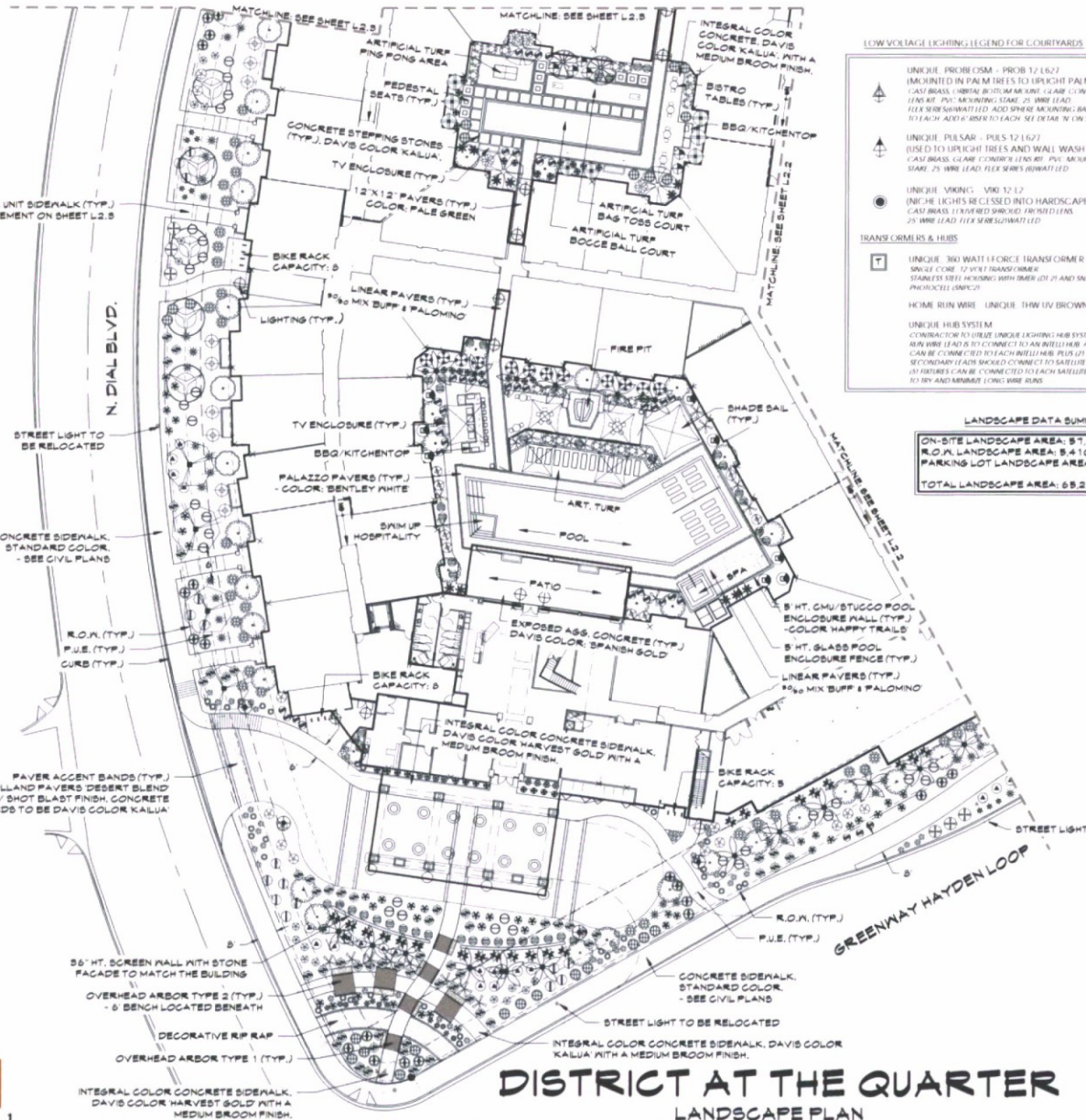
bilform  
architecture

**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC

BUILDING COLOR AND MATERIALS

© BILFORM ARCHITECTURE





**LOW VOLTAGE LIGHTING LEGEND FOR COURTYARDS**

	<b>UNIQUE PROFORM - PROB 12 L677</b> (MOUNTED IN PALM TREES TO UPRIGHT PALM FRONDS) CAST BRASS - HORIZONTAL BUSHING - CLEAR COUPLER LENS: CLEAR POLY CARBONATE LENS 4" DIA. 1/2" W/ 1/4" W/ LEAD FLEX WIRE SHOWN W/ LEAD. ADD SPHERE MOUNTING. BASH TO EACH ADD 6" W/ LEAD. SEE DETAIL 'N' ON SHEET L.2
	<b>UNIQUE PULSAR - PULS 12 L677</b> USED TO UPRIGHT TREES AND WALL WASH HOSCAPES CAST BRASS - CLEAR COUPLER LENS 4" DIA. 1/2" W/ 1/4" W/ LEAD FLEX WIRE SHOWN W/ LEAD. ADD SPHERE MOUNTING. BASH TO EACH ADD 6" W/ LEAD. SEE DETAIL 'N' ON SHEET L.2
	<b>UNIQUE SPRINK - SPRK 12 L2</b> (IN THE LIGHTS RECESSED INTO HOSCAPES WALLS) CAST BRASS - 1/2" CLEAR COUPLER LENS 25' WIRE LEAD. FLEX WIRE SHOWN W/ LEAD
	<b>TRANS CORMER &amp; HUBS</b> <b>UNIQUE 300 WATT FORCE TRANSFORMER (300WSS)</b> SINGLE CORE 12 VOLT TRANSFORMER STAINLESS STEEL MOUNTING WITH DIMMER (0.75 AND SNAP IN PHOTOCELL SWITCH) HOME RUN WIRE - UNIQUE 1/4" W/ BROWN WIRE <b>UNIQUE HUB SYSTEM</b> CONTRACTOR TO USE UNIQUE LIGHTING HUB SYSTEM. EACH HOME RUN WIRE LEAD IS TO CONNECT TO AN INTELLI HUB. A MAX. OF 300 FEET CAN BE CONNECTED TO EACH INTELLI HUB. PLUS (2) SECONDARY LEADS SECONDARY LEADS SHOULD CONNECT TO SATELLITE HUBS. A MAX. OF 100 FEET CAN BE CONNECTED TO EACH SATELLITE HUB. CONTRACTOR TO BUY AND MINIMIZE CONDUIT WIRE RUNS.

**LANDSCAPE DATA SUMMARY**

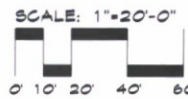
ON-SITE LANDSCAPE AREA:	57,625 SQ.FT
FIELD LANDSCAPE AREA:	5,410 SQ.FT
PARKING LOT LANDSCAPE AREA:	2,244 SQ.FT
TOTAL LANDSCAPE AREA:	65,279 SQ.FT

SYMBOL BOTANICAL NAME - COMMON NAME	
<b>TREES</b>	
	ACACIA AMERICANA - MULGA TREE
	CITRUS SF. - N. NAVEL - L. - LIME LE - LEMON
	PARKINONIA FRAXON HYBRID - 'A17' THORNLESS PALO BREIA
	PISTACIA LENTISCUS - MASTIC TREE
	PHOENIX DACTYLIFERA - DATE PALM
	PROCOPIUS HYBRID - 'RIO SALADO'
	QUERCUS VIRGINIANA CATHEDRAL - CATHEDRAL OAK TREE
	VITIS AEGNIS CASTUS - CHASTE TREE
<b>SHRUBS</b>	
	BOUGAINVILLEA FLAME - FLAME BUSH BOUG.
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE
	CORDIA BOISSIERI - TEXAS OLIVE
	EREMOPHILA GLABRA WINTER BLAZE
	EREMOPHILA HYDROPHANA - BLUE BELLS
	LEUCOPHYLLUM X HEAVENLY CLOUD - BASS
	MYRTUS COMMUNIS COMPACTA - MYRTLE
	RUELLIA PENNSULARIS - SAJA RUELLIA
	RUBELLIA EQUSETIFORMIS - CORAL FOUNTAIN
	TECOMA STANS HYBRID LYDIA
	TECOMA STANS HYBRID BELLS OF FIRE
<b>ACCENTS</b>	
	AGAVE AMERICANA - AMERICAN AGAVE
	AGAVE CORNELIUS QUASIMOTO
	AGAVE PARRYI TRUNCATA - ARTICHOKE AGAVE
	AGAVE NEUBERI - NEBER'S AGAVE
	ALOE VERA - MEDICINAL ALOE
	ALOE X HYBRID TOPAZ - TOPAZ ALOE
	BOULEOUA GRACILIS - BLONDE AMBITION
	CHAMAEROPS HUMILIS - MED. FAN PALM
	CYCAS REVOLUTA - SAGO PALM
	DASYLIURON LONGISSIMA - SMOOTH SPOON
	EUPHORBIA ANTISYPHILITICA - CANDELLA
	HESPERALOE FUNIFERA - GIANT HESPERALOE
	PEDILANTHUS MACROCARPUS - LADY SLIPPER
	YUCCA FILAMENTOSA - ADAMS NEEDLE
	YUCCA PALLIDA - PALE LEAF YUCCA
	YUCCA RIGIDA - BLUE YUCCA
<b>GROUND COVERS</b>	
	EREMOPHILA GLABRA OUTBACK SUNRISE
	LANTANA HYBRID BANDANA RED
	LANTANA HYBRID NEW GOLD
	LANTANA MONTEVIDENSIS - TRAILING WHITE
	LANTANA MONTEVIDENSIS - TRAILING PURPLE
<b>DECOMPOSED GRANITE</b>	
	D.S. TYPE 1 - 1/2" SCREENED EXPRESS CARVEL (2" DEPTH MINIMUM)

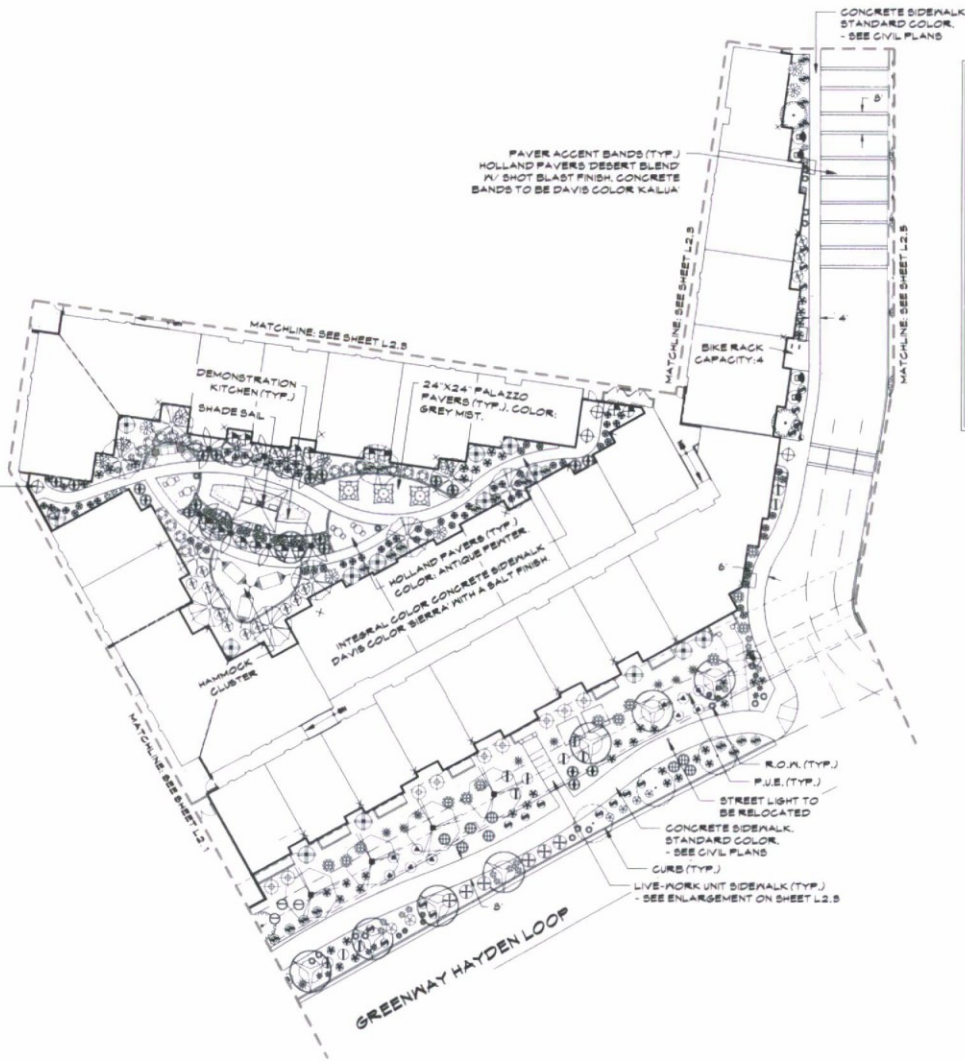
**DISTRICT AT THE QUARTER**  
LANDSCAPE PLAN

SHEET L2.1

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260  
OCTOBER 27, 2016







LOW VOLTAGE LIGHTING LEGEND FOR COURTYARDS

**UNIQUE - PROBOISM - PROB 12 16 27**  
 (MOUNTED IN PALM TREES TO UPRIGHT PALM FRONDS)  
 CAST BRASS, CLEAR LENS WITH MOUNTING CLEAR CONDUIT  
 LEADS RT. PVC MOUNTING STAKE 25 WIRE LEAD  
 11.5 STAR SWIRL W/ LED. ADD SPHERE MOUNTING BASE  
 25 WIRE LEAD ADD SPHERE TO EACH. SEE DETAIL W-10W SHEET L1.3

**UNIQUE - PULSAR - PULS 12 15 27**  
 (USE TO UPRIGHT TREES AND WALL WASH HARDSCAPES)  
 CAST BRASS, CLEAR CONDUIT, LENS RT. PVC MOUNTING  
 STAKE 25 WIRE LEAD 11.5 STAR SWIRL W/ LED

**UNIQUE - VIKING - VIKI 12 12**  
 (NICHE LIGHTS RECESSED INTO HARDSCAPE WALLS)  
 CAST BRASS, CLEAR CONDUIT, PROTECTED LENS  
 25 WIRE LEAD 11.5 STAR SWIRL W/ LED

**TRANSFORMERS & HUBS**

**UNIQUE - 300 WATT FORCE TRANSFORMER (300W SS)**  
 SINGLE CYCLE 12 VOLT TRANSFORMER  
 SHARPER STEEL HOUSING WITH TIMER (01 2) AND SNAP IN  
 PHOTOCELL SAMPLE

**HOME RUN WIRE - UNIQUE - THW UV BROWN WIRE**

**UNIQUE - HUB SYSTEM**  
 CONTRACTOR TO CREATE UNIQUE LIGHTING HUB SYSTEM. EACH HOME  
 RUN WIRE LEAD IS TO CONNECT TO AN INTEL HUB. A MAX. OF 15 FEEDERS  
 CAN BE CONNECTED TO EACH INTEL HUB. PLUS 17 SECONDARY LEADS  
 SECONDARY LEADS SHOULD CONNECT TO SATELLITE HUBS. A MAX. OF  
 15 FEEDERS CAN BE CONNECTED TO EACH SATELLITE HUB. CONTRACTOR  
 TO BUY AND MOUNT LONG WIRE BUNDLES

**LANDSCAPE DATA SUMMARY**

ON-SITE LANDSCAPE AREA:	87,825 SQ.FT
R.O.M. LANDSCAPE AREA:	8,410 SQ.FT
PARKING LOT LANDSCAPE AREA:	2,244 SQ.FT
TOTAL LANDSCAPE AREA:	98,479 SQ.FT

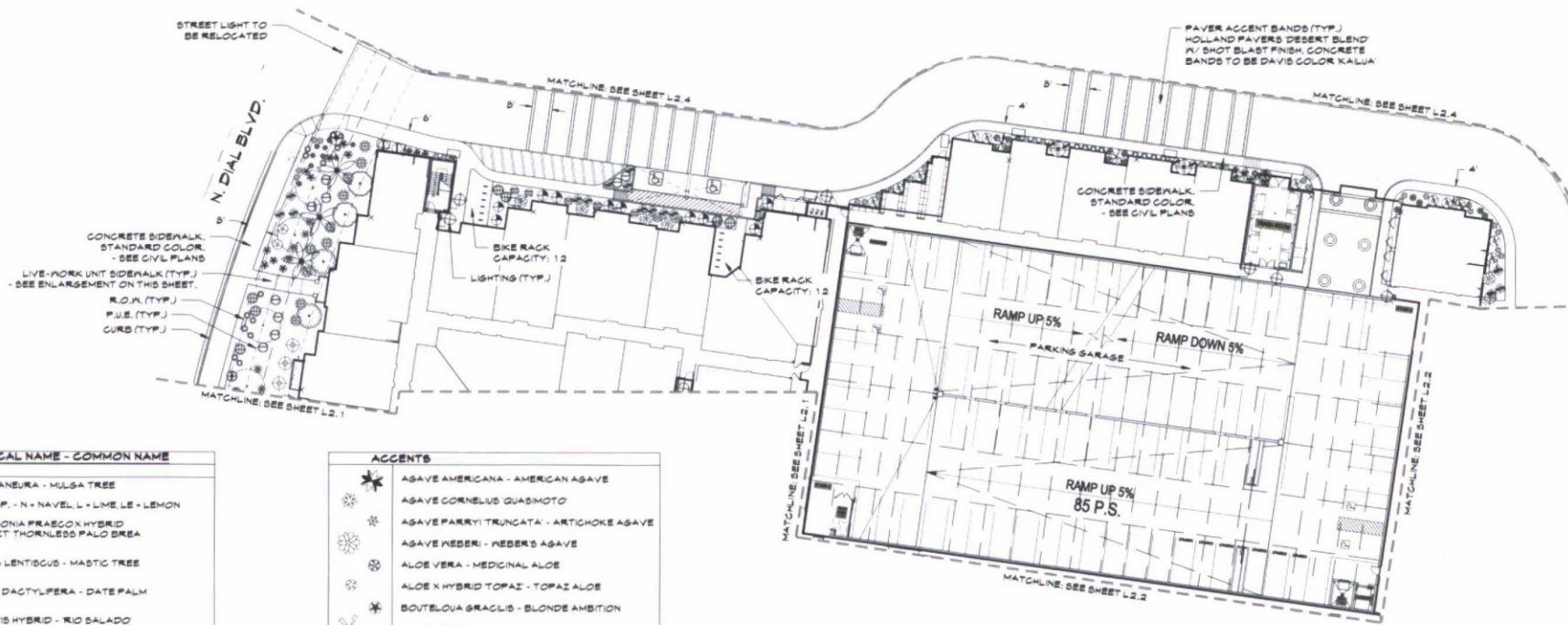
SYMBOL	BOTANICAL NAME - COMMON NAME
<b>TREES</b>	
	ACACIA ANEURA - MULGA TREE
	CITRUS SP. - N. NAVEL L - LIME L - LEMON
	PARKINSONIA FRAXON HYBRID - AZT THORNLESS PALO BREA
	FISTACIA LENTIBUS - MASTIC TREE
	PHOENIX DACTYLIFERA - DATE PALM
	PROBOIS HYBRID - RIO BALADO
	QUERCUS VIRGINIANA CATHEDRAL - CATHEDRAL OAK TREE
	VITEN AGNUS CASTUS - CHASTE TREE
<b>SHRUBS</b>	
	BOUGAINVILLEA FLAME - FLAME BUSH BOUS.
	CAEALPINIA PULCHERRIMA - RED BIRD OF PARADISE
	CORDIA BOISSIERI - TEXAS OLIVE
	EREMOPHILA GLABRA WINTER BLAZE
	EREMOPHILA HYDROPHANA - BLUE BELLS
	LEUCOPHYLLUM X HEAVENLY CLOUD BASS
	MYRTUS COMMUNIS COMPACTA - MYRTLE
	RUELLIA PENNSULARIS - BAJA RUELLIA
	RUELLIA EQUSETIFORMIS - CORAL FOUNTAIN
	TECOMA STANS HYBRID LYDIA
	TECOMA STANS HYBRID BELLS OF FIRE
<b>ACCENTS</b>	
	AGAVE AMERICANA - AMERICAN AGAVE
	AGAVE CORNELIUS QUASIMOTO
	AGAVE PARRYI TRUNCATA - ARTICHOKE AGAVE
	AGAVE NEBERI - NEBER'S AGAVE
	ALOE VERA - MEDICINAL ALOE
	ALOE X HYBRID TOPAZ - TOPAZ ALOE
	BOUPELOUA GRACILIS - BLONDE AMBITION
	CHAMAEROPS HUMILIS - MED. FAN PALM
	CYCAS REVOLUTA - SAGO PALM
	DASYLIUM LONGISSIMUM - SMOOTH SPOON
	EUPHORBIA ANTISYPHILITICA - CANDELLA
	HESPERALOE PARVIFLORA - GIANT HESPERALOE
	PEDILANTHUS MACROCARPUS - LADY SLIPPER
	YUCCA FILAMENTOSA - ADAM'S NEEDLE
	YUCCA PALLIDA - PALE LEAF YUCCA
	YUCCA RIGIDA - BLUE YUCCA
<b>GROUND COVERS</b>	
	EREMOPHILA GLABRA OUTBACK SUNRISE
	LANTANA HYBRID BANDANA RED
	LANTANA HYBRID NEW GOLD
	LANTANA MONTEVIDENSIS - TRAILING WHITE
	LANTANA MONTEVIDENSIS - TRAILING PURPLE
<b>DECOMPOSED GRANITE</b>	
	D. & TYPE I - 3/4" SCREENED EXPRESS CARMEL (2" DEPTH MINIMUM)

**DISTRICT AT THE QUARTER**  
 LANDSCAPE PLAN

SHEET L2.2

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260  
 OCTOBER 27, 2016

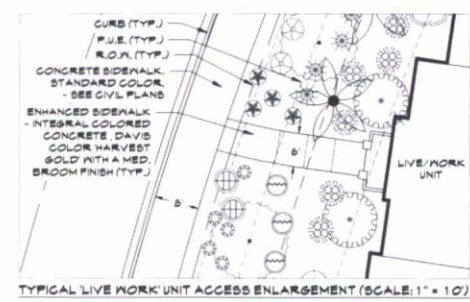




FAVER ACCENT BANDS (TYP.)  
HOLLAND FAVERS DESERT BLEND  
A/ SHOT BLAST FINISH CONCRETE  
BANDS TO BE DAVID COLOR KALUA

SYMBOL	BOTANICAL NAME - COMMON NAME
<b>TREES</b>	
	ACACIA ANEURA - MULGA TREE
	CITRUS SP. - N - NAVEL L - LIME LE - LEMON
	PARKINSONIA PRAECO HYBRID - AZT THORNLESS PALM BREA
	PISTACIA LENTISCUS - MASTIC TREE
	PHOENIX DACTYLIFERA - DATE PALM
	PROSOPIS HYBRID - RIO SALADO
	QUERCUS VIRGINIANA CATHEDRAL - CATHEDRAL OAK TREE
	VITEX AGNUS CASTUS - CHASTE TREE
<b>SHRUBS</b>	
	BOUGAINVILLEA FLAME - FLAME BUSH BOUS.
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE
	CORDIA BOBBIERI - TEXAS OLIVE
	EREMOPHILA GLABRA WINTER BLAZE
	EREMOPHILA HYDROPHANA - BLUE BELLS
	LEUCOPHYLLUM X HEAVENLY CLOUD BASE
	MYRTUS COMMUNIS COMPACTA - MYRTLE
	RUELLIA PENINSULARIS - BAJA RUELLIA
	RUSSELIA EQUSETIFORMIS - CORAL FOUNTAIN
	TECOMA STANS HYBRID LYDIA
	TECOMA STANS HYBRID BELLS OF FIRE

ACCENTS	
	AGAVE AMERICANA - AMERICAN AGAVE
	AGAVE CORNELIUS QUADMOTO
	AGAVE PARRYI TRUNCATA - ARTICHOKE AGAVE
	AGAVE NEBERI - NEBER'S AGAVE
	ALOE VERA - MEDICINAL ALOE
	ALOE X HYBRID TOPAZ - TOPAZ ALOE
	BOULEOUVA GRACILIS - BLONDE AMBITION
	CHAMAEROPS HUMILIS - MED. FAN PALM
	CYCAS REVOLUTA - SASO PALM
	DABYLLION LONGISSIMA - SMOOTH SPOON
	EUPHORBIA ANTISYPHILITICA - CANDELLA
	HESPERALOE FUNIFERA - GIANT HESPERALOE
	PEDLANTHUS MACROCARPUS - LADY SLIPPER
	YUCCA FLAMENTOSA - ADAMS NEEDLE
	YUCCA PALLIDA - PALE LEAF YUCCA
	YUCCA RIGIDA - BLUE YUCCA
GROUND COVERS	
	EREMOPHILA GLABRA OUTBACK SUNRISE
	LANTANA HYBRID BANDANA RED
	LANTANA HYBRID NEA GOLD
	LANTANA MONTEVIDENSIS - TRAILING WHITE
	LANTANA MONTEVIDENSIS - TRAILING PURPLE
DECOMPOSED GRANITE	
	D.G. TYPE 1 - 3/4" SCREENED EXPRESSO CARMEL (2" DEPTH MINIMUM)



TYPICAL LIVE WORK UNIT ACCESS ENLARGEMENT (SCALE: 1" = 10')

LANDSCAPE DATA SUMMARY	
ON-SITE LANDSCAPE AREA:	57,628 SQ.FT
R.O.A. LANDSCAPE AREA:	5,410 SQ.FT
PARKING LOT LANDSCAPE AREA:	2,244 SQ.FT
TOTAL LANDSCAPE AREA:	65,271 SQ.FT

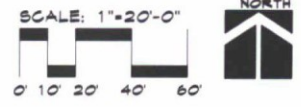


# DISTRICT AT THE QUARTER

## LANDSCAPE PLAN

SHEET L2.3

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260  
OCTOBER 27, 2016



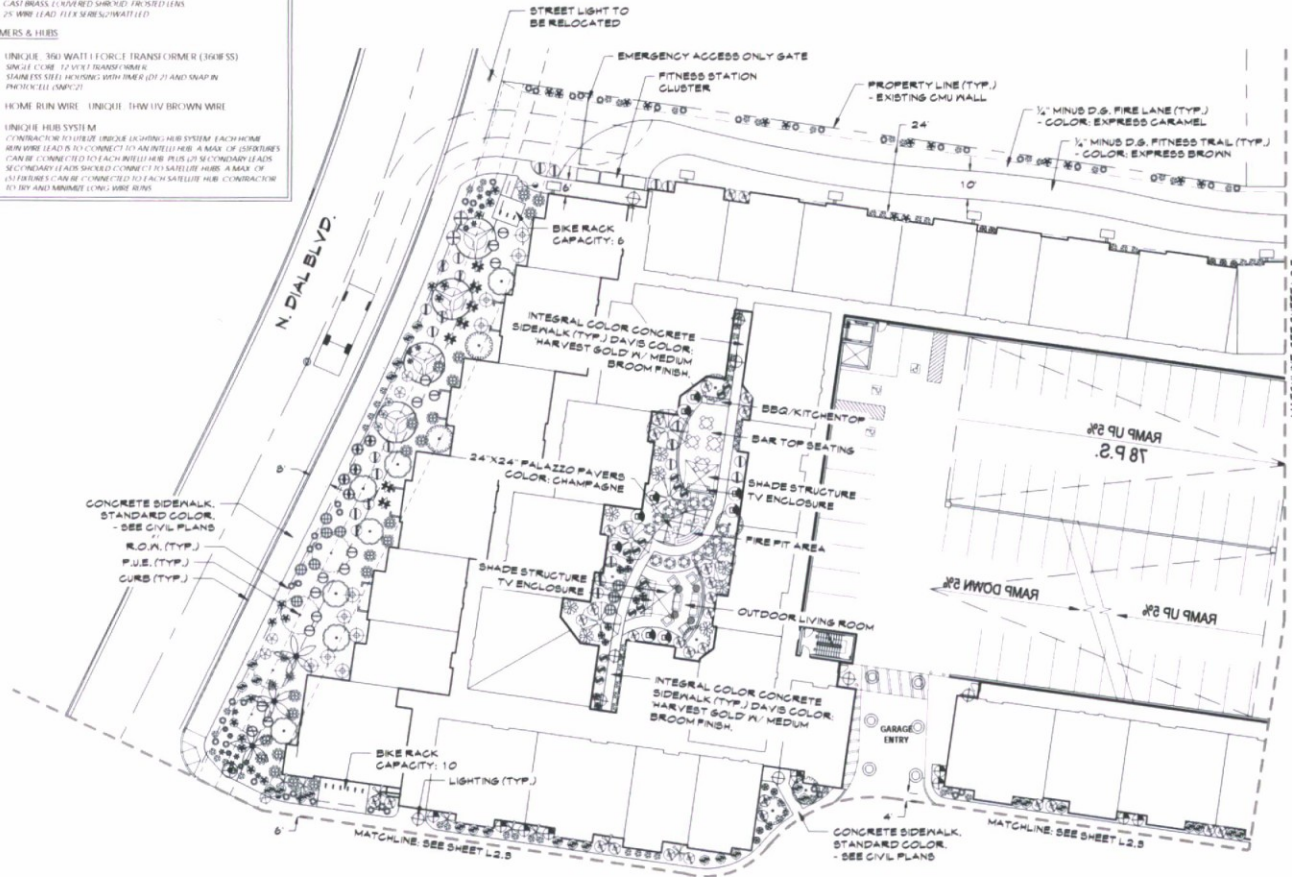


LOW VOLTAGE LIGHTING LEGEND FOR COURTYARDS

- UNIQUE PROBOSIS - PROB 121627  
 (MOUNTED IN PALM TREES TO UPRIGHT PALM FRONDS)  
 CAST BRASS (MOUNTED BY THE MAIN LINE) 1/4" DIA. 1/2" HUB  
 LENGTH: 1/2" HUB (MOUNTING) - 25" WIRE LEAD  
 FLEX WIRE SHOWN (1/2") - ADD SPHERE AIR SWITCHING BASE  
 TO EACH ADD'L HUB (SEE EACH SEE DETAIL IN CIVIL SHEET L2.3)
- UNIQUE PUSAR - PUS 121627  
 (USED TO UPRIGHT TREES AND WALL WASH HARDSCAPES)  
 CAST BRASS (GARBAGE ENCLOSURE) 1/2" DIA. 1/2" HUB  
 25" WIRE LEAD (FLEX WIRE) (SHOWN)
- UNIQUE VIKING - VIK 121712  
 (NICHE LIGHTS RECESSED INTO HARDSCAPE WALLS)  
 CAST BRASS (COVERED SHROUDED) 1/2" DIA. 1/2" HUB  
 25" WIRE LEAD (FLEX WIRE) (SHOWN)
- TRANSFORMERS & HUBS
- UNIQUE 360 WATT FORCE TRANSFORMER (360WSS)  
 SINGLE CORE 12 VOLT TRANSFORMER  
 STAINLESS STEEL (MOUNTED WITH THERM 107) AND SNAP IN  
 PROTECTIVE COVER (2)
- HOME RUN WIRE - UNIQUE 1/2" W/UV BROWN WIRE
- UNIQUE HUB SYSTEM  
 CONDUCTOR TO TREE UNDER LIGHTING HUB SYSTEM (EACH HOME  
 RUN WIRE LEAD IS TO CONNECT TO AN UNDER HUB - A MAX. OF 48 FEET OF  
 CABLE IS COMBINED TO EACH HUB (EACH HUB IS IN ITS OWN SECONDARY LEADS  
 SECONDARY LEADS BACKED TO BATTERY HUB - A MAX. OF  
 150 FEET IS COMBINED TO EACH SATELLITE HUB - CONDUCTOR  
 IS 1/2" W/UV BROWN (100) WIRE RUNS

LANDSCAPE DATA SUMMARY

ON-SITE LANDSCAPE AREA: 91,628 SQ.FT.  
 R.O.M. LANDSCAPE AREA: 9,410 SQ.FT.  
 PARKING LOT LANDSCAPE AREA: 2,244 SQ.FT.  
 TOTAL LANDSCAPE AREA: 68,211 SQ.FT.



SYMBOL	BOTANICAL NAME - COMMON NAME
<b>TREES</b>	
	ACACIA ANEURA - MULGA TREE
	CITRUS SP. - N. NAVEL, L. LIME, L. LEMON
	PARKINONIA FRAXINEA HYBRID - AZT THORNLESS PALM BREA
	PISTACIA LENTIBOSA - MASTIC TREE
	PHOENIX DACTYLIFERA - DATE PALM
	PROBOPIS HYBRID - RIO SALADO
	QUERCUS VIRGINIANA CATHEDRAL - CATHEDRAL OAK TREE
	VITEX AGNUS CASTUS - CHASTE TREE
<b>SHRUBS</b>	
	BOUGAINVILLEA FLAME - FLAME BUSH BOUG.
	CASSIA PULCHERRIMA - RED BIRD OF PARADISE
	CORDIA BOBBIERI - TEXAS OLIVE
	EREMOPHILA GLABRA WINTER BLAZE
	EREMOPHILA HYGROPHANA - BLUE BELLS
	LEUCOPHYLLUM X HEAVENLY CLOUD SAGE
	MYRTUS COMMUNIS COMPACTA - MYRTLE
	RUPELLIA PENNELLIANA - BAJA RUPELLIA
	RUPELLIA EQUSETIFORMIS - CORAL POUNTAIN
	TECOMA STANS HYBRID LYDIA
	TECOMA STANS HYBRID BELLS OF FIRE
<b>ACCENTS</b>	
	AGAVE AMERICANA - AMERICAN AGAVE
	AGAVE CORNELIUS QUABIMOTO
	AGAVE PARRYI TRUNCATA - ARTICHOKE AGAVE
	AGAVE NEBERI - NEBER'S AGAVE
	ALOE VERA - MEDICINAL ALOE
	ALOE X HYBRID TOPAZ - TOPAZ ALOE
	BOULEOUA GRACILIS - BLONDE AMBITION
	CHAMAEROPS HUMILIS - MED. FAN PALM
	CYCAS REVOLUTA - SASO PALM
	DABYLLION LONGISSIMA - SMOOTH SPOON
	EUPHORBIA ANTISYPHILITICA - CANDELLA
	HEPERALOE FUNIFERA - GIANT HESPERALOE
	PEDILANTHUS MACROCARPUS - LADY SLIPPER
	YUCCA FILAMENTOSA - ADAMS NEEDLE
	YUCCA PALLIDA - PALE LEAF YUCCA
	YUCCA RIGIDA - BLUE YUCCA
<b>GROUND COVERS</b>	
	EREMOPHILA GLABRA OUTBACK SUNRISE
	LANTANA HYBRID BANDANA RED
	LANTANA HYBRID NEW GOLD
	LANTANA MONTEVIDENSIS - TRAILING WHITE
	LANTANA MONTEVIDENSIS - TRAILING PURPLE
<b>DECOMPOSED GRANITE</b>	
	D.G. TYPE 1 - 1/2" SCREENED EXPRESS CARAMEL (2" DEPTH MINIMUM)

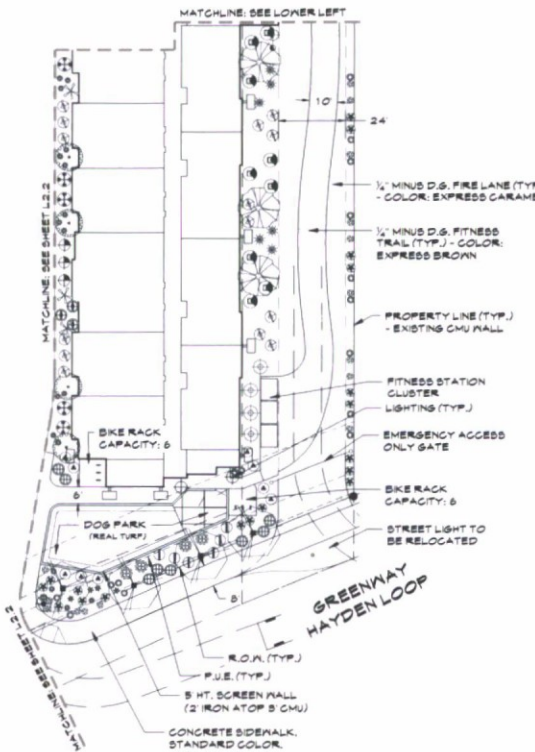
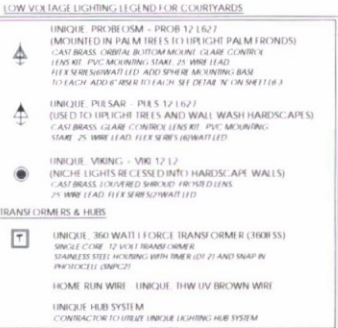
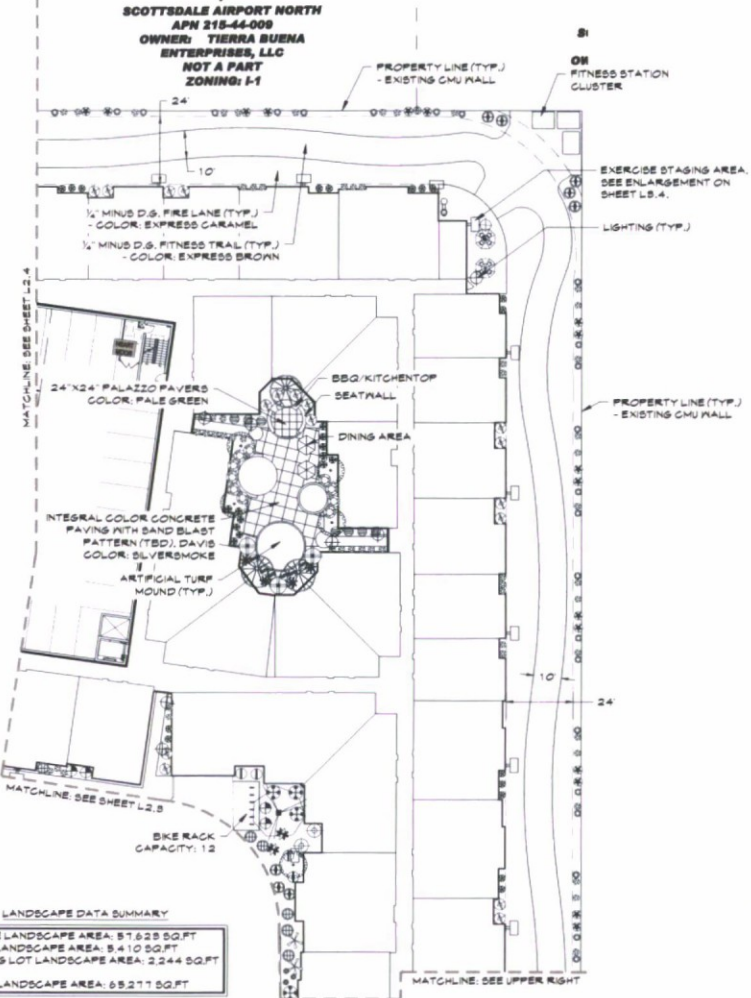
DISTRICT AT THE QUARTER  
 LANDSCAPE PLAN

SHEET L2.4

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260  
 OCTOBER 27, 2016



**SCOTTSDALE AIRPORT NORTH**  
**APN 215-44-009**  
**OWNER: TIERRA BUENA**  
**ENTERPRISES, LLC**  
**NOT A PART**  
**ZONING: I-1**



SYMBOL	BOTANICAL NAME - COMMON NAME
<b>TREES</b>	
	ACACIA ANEURA - MULGA TREE
	CITRUS SP. - N + NAVEL, L + LIME, LE + LEMON
	PARKINSONIA PRAECON HYBRID - AZT THORNLESS PALO BREA
	PISTACIA LENTISCUS - MASTIC TREE
	PHOENIX DACTYLIFERA - DATE PALM
	PROSOPIS HYBRID - RIO SALADO
	QUERCUS VIRGINIANA CATHEDRAL - CATHEDRAL OAK TREE
	VITEX AGNUS CASTUS - CHASTE TREE
<b>SHRUBS</b>	
	BOUGAINVILLEA FLAME - FLAME BUSH BOUQ.
	CASSIA PALLIDA - RED BIRD OF PARADISE
	CORDIA BOISSIERI - TEXAS OLIVE
	EREMOPHILA GLABRA WINTER BLAZE
	EREMOPHILA HYGROPHANA - BLUE BELLS
	LEUCOPHYLLUM X HEAVENLY CLOUD BASE
	MYRTUS COMMUNIS COMPACTA - MYRTLE
	RUELLIA PENINSULARIS - BAJA RUELLIA
	RUELLIA EQUESTIFORMIS - CORAL FOUNTAIN
	TECOMA STANS HYBRID LYDIA
	TECOMA STANS HYBRID BELLS OF FIRE
<b>AGENTS</b>	
	AGAVE AMERICANA - AMERICAN AGAVE
	AGAVE CORNELIUS GUASIMOTO
	AGAVE PARRYI TRUNCATA - ARTICHOKE AGAVE
	AGAVE VESPERI - NESBER'S AGAVE
	ALOE VERA - MEDICINAL ALOE
	ALOE X HYBRID TOPAZ - TOPAZ ALOE
	BOUTELOUA GRACILIS - BLONDE AMBITION
	CHAMAEROPS HUMILIS - MED. FAN PALM
	CYCAS REVOLUTA - BAGO PALM
	DASYLIIRION LONGISSIMA - SMOOTH SPOON
	EUPHORBIA ANTIPHYLLITICA - CANDELLA
	HESPERALOE FUNIFERA - GIANT HESPERALOE
	FEDILANTHUS MACROCARPUS - LADY SLIPPER
	YUCCA FILAMENTOSA - ADAMS NEEDLE
	YUCCA FALLIDA - PALE LEAF YUCCA
	YUCCA RIGIDA - BLUE YUCCA
<b>GROUND COVERS</b>	
	EREMOPHILA GLABRA OUTBACK SUNRISE
	LANTANA HYBRID BANDANA RED
	LANTANA HYBRID NEA GOLD
	LANTANA MONTEVIDENSIS - TRAILING WHITE
	LANTANA MONTEVIDENSIS - TRAILING PURPLE
<b>DECOMPOSED GRANITE</b>	
	D.G. TYPE 1 - 1/2\"/>

**LANDSCAPE DATA SUMMARY**

ON-SITE LANDSCAPE AREA: 81,628 SQ.FT.  
 R.O.A. LANDSCAPE AREA: 8,410 SQ.FT.  
 PARKING LOT LANDSCAPE AREA: 2,244 SQ.FT.  
 TOTAL LANDSCAPE AREA: 69,277 SQ.FT.

**DISTRICT AT THE QUARTER**  
 LANDSCAPE PLAN

SHEET L2.5

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260  
 OCTOBER 27, 2016







# DISTRICT AT THE QUARTER

CORNER ENLARGEMENT

15501 N. DIAL BLVD. SCOTTSDALE, AZ 85260

NOVEMBER 10, 2016

SCALE: 1"=10'



ATTACHMENT #12

43-DR-201  
10/31/2016





Symbol	Letter	Quantity	Manufacturer	Catalog Number	Description	Area	Number Lamps	Power	Lumens Per Lamp	Light Loss Factor
⊕	A	4	LIGMAR	LSM-21031-W40	Large smooth light column LED	8x36 LED 4000K	8	LSM-21031-W40 EC	943 8555	0.9
⊗	B	14	Lithonia Lighting	BBPM HL LED	8" 3000K CCT 950 Lumens 2700 Matte White LED Module ROUGH	3000K LED	1	BBPM HL LED ws	943 8555	0.9
⊕	BB	14	Lithonia Lighting	KAW LED P2 30W 41 WOOD KAW LED P2 30W 41 WOOD	KAW LED PERFORMANCE PACKAGE LED 3000K TYPE 4 120-277V	LED	1	KAW LED P2_30W_41 ws	5732	0.9
⊗	C	4	Lithonia Lighting	DLLWU	8x16W LED WALL UPGRADE AND DOWNLIGHT CYLINDER WITH 4000K LED AND POLYCARBONATE LENS	LED	1	DLLWU ws	490 8857	0.9
⊕	D	41	Lithonia Lighting	SLW1 LED 13W 40K DDB	13W 4000K LED WALL PACK	LED	1	SLW1 LED_13W_40K ws	1266 102	0.9

TYPE	SYMBOL	DESCR AND N
A	⊕	EXTERIOR LED TOP/COLUMN W/ LOCATION LISTED
B	⊗	OPEN LED DOWN LIGHT W/ LOCATION LISTED
BB	⊕	EXTERIOR LED W/ FIXTURE
C	⊗	EXTERIOR LED DOWNLIGHT W/ UP LIGHT W/ LOCATION LISTED
D	⊕	EXTERIOR LED W/ FIXTURE



ELECTRICAL  
SITE PLAN  
1"=40'-0"

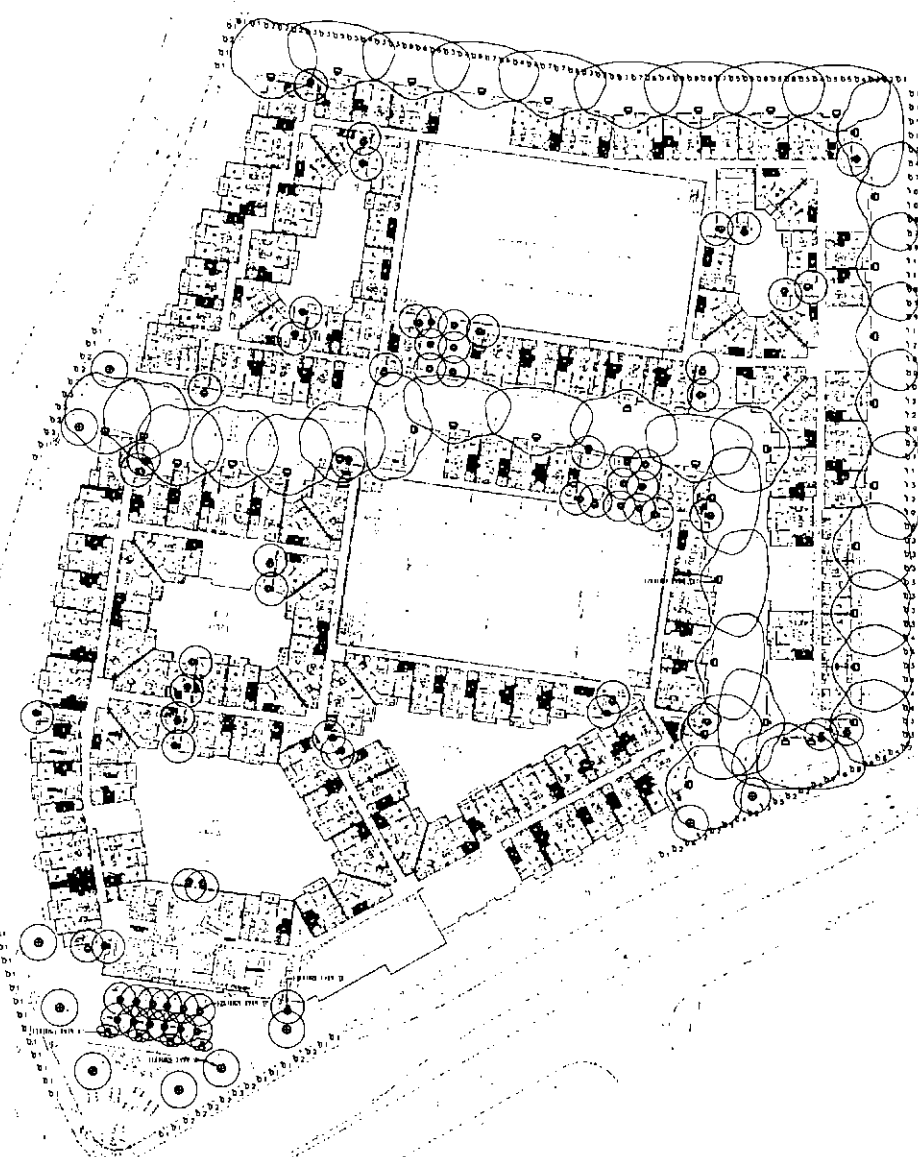
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10-27-

billform  
architecture

# DISTRICT AT THE QUARTER

## KAPLAN ACQUISITIONS, LLC



Symbol	Letter	Quantity	Description	Model Number	Description	Price	Notes	Manufacturer	Manufacturer Part #
⊙	A	1	Exterior	FSM-21021-480	Large square high column LED	24.56 LED 4000K	1	FSM-21021-480-01	5081188
⊙	B	14	Interior Lighting	MSH94 HL LED	6" 3000K CCT 850 Lumens 24W Surface Mount LED Module, 80CRI	5000W LED	1	MSH94_HL_LED-04	9438333
⊙	C	14	Interior Lighting	24W LED P2 80 81 4000K LED P2 80 81 4000K	6" x 6" LED PERFORMANCE TRACK LED 24W LED P2 80 81 4000K		1	24W_LED_P2_80_81_4000K	5732
⊙	D	1	Interior Lighting	24W LED P2 80 81 4000K	6" x 6" LED PERFORMANCE TRACK LED 24W LED P2 80 81 4000K		1	24W_LED_P2_80_81_4000K	5499 117
⊙	E	1	Interior Lighting	24W LED	6" x 6" LED PERFORMANCE TRACK LED 24W LED P2 80 81 4000K		1	24W_LED	490 4857
⊙	F	14	Interior Lighting	24W LED 15W 400 1000	6" x 6" LED PERFORMANCE TRACK LED 24W LED P2 80 81 4000K		1	24W_LED_15W_400_1000	1264 103

DESCRIPTION	AVG	MAX	MIN	MAX/AVG
PROPERTY LINE @ 6'-0" VERTICAL	0.3 FC	1.3 FC	0.0 FC	N/A

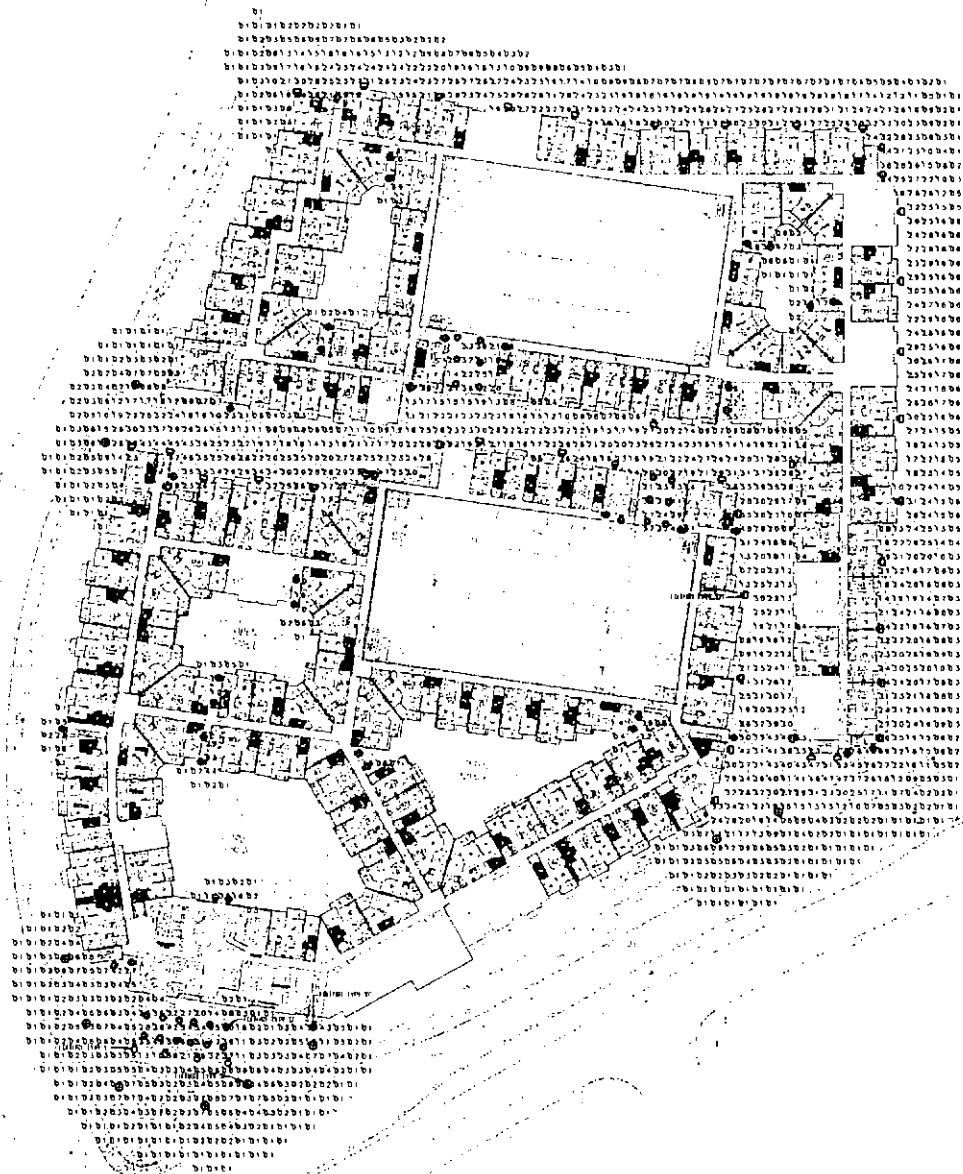
TYPE	SYMBOL	DESCRIPTION
⊙	⊙	EXISTING LIGHT FIXTURE LOCATIONS
⊙	⊙	NEW LED DOWN LIGHT LOCATIONS (NOTED)
⊙	⊙	EXISTING LED FIXTURE
⊙	⊙	EXISTING LED FIXTURE - NEW UP/ADJUSTMENT
⊙	⊙	EXISTING LED FIXTURE



**ELECTRICAL**  
PHOTOMETRIC PLAN - VERTICAL FC  
6' ABOVE GRADE AT PROPERTY LINE  
1"=40'-0"

**E2**

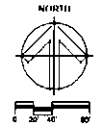
**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC



Symbol	Letter	Number	Description	Quantity	Manufacturer	Notes	Notes	Notes	Notes	Notes		
(A)	(1)	A	Recessed	1	OSRAM	OSRAM 21031-042	Large width light return LED	OSRAM LED 4000K	1	OSRAM 21031-040 EC	300 1400	D 8
(B)	(2)	B	Recessed Lighting	1	OSRAM	OSRAM RL LED	OSRAM CCL 850 Lumens 2700K, 100% CRI LED Module	3000K LED	1	OSRAM RL LED	8418355	D 8
(C)	(3)	C	Recessed Lighting	1	OSRAM	OSRAM RL LED	OSRAM CCL 850 Lumens 2700K, 100% CRI LED Module	3000K LED	1	OSRAM RL LED	8418355	D 8
(D)	(4)	D	Recessed Lighting	1	OSRAM	OSRAM RL LED	OSRAM CCL 850 Lumens 2700K, 100% CRI LED Module	3000K LED	1	OSRAM RL LED	8418355	D 8
(E)	(1)	E	Recessed Lighting	1	OSRAM	OSRAM RL LED	OSRAM CCL 850 Lumens 2700K, 100% CRI LED Module	3000K LED	1	OSRAM RL LED	8418355	D 8
(E)	(2)	E	Recessed Lighting	1	OSRAM	OSRAM RL LED	OSRAM CCL 850 Lumens 2700K, 100% CRI LED Module	3000K LED	1	OSRAM RL LED	8418355	D 8

DESCRIPTION	AVG	MAX	MIN	MAX/AVG
DRIVEWAY	2.4 FC	4.2 FC	0.7 FC	6.0:1

TYPE	SYMBOL	DESCR	AMOUNT
(A)	(1)	EXTERNAL LED W/ TOP/PLUMB	1
(B)	(2)	EXTERNAL LED W/ TOP/PLUMB	1
(C)	(3)	EXTERNAL LED W/ TOP/PLUMB	1
(D)	(4)	EXTERNAL LED W/ TOP/PLUMB	1
(E)	(1)	EXTERNAL LED W/ TOP/PLUMB	1
(E)	(2)	EXTERNAL LED W/ TOP/PLUMB	1



**ELECTRICAL  
PHOTOMETRIC PLAN - HORIZONTAL  
FC MEASURED AT GRADE  
1"=40'-0"**

**E1**

**DISTRICT AT THE QUARTER**  
KAPLAN ACQUISITIONS, LLC

IP65 : Suitable for Wet Locations  
 IK08 : Impact Resistant (Vandal Resistant)

## UVA-20001 Vancouver Square light column LED

A stylish square light column with downward light distribution using LED lamps. This light column offers optimal visual comfort through glare control by utilizing a controlled optics designed by Ligman. These columns have a square design providing a unique wide light distribution, offering an architecturally appealing clover leaf pattern on the paving. The internal sides of the supporting pillars are accented by light from the LED.

The minimalistic shape provides distinctive lighting effects by night and decorative urban effect during the day. Suitable for pedestrian areas, precincts, building surrounds, shopping centers, squares and parks.

Extruded aluminum column and low copper content die cast housing with high corrosion resistance. Stainless steel screws. Durable high temperature silicone rubber gasket and clear tempered glass with anodized high purity aluminum reflector. Housing is treated with twin nickel and zinc phosphate protection before powder coating (4.7 mil thickness), ensuring high corrosion resistance. Provided with integral drivers and anchor bolts (the root mount kit is an option and is an adder) Designed to complement the Vancouver bollard.

### Physical Data

Length: 9.4"  
 Height: Specify  
 Weight: 121 lb

### Lamp

41w - 2775lm - White - LED

### LED Color (Please Specify)

W27 - 2700K  
 W30 - 3000K  
 W40 - 4000K

### Voltage (Please Specify)

120-277v  
 Other \_\_\_\_\_

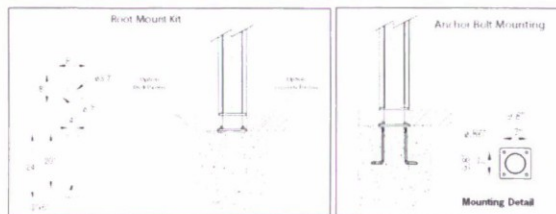
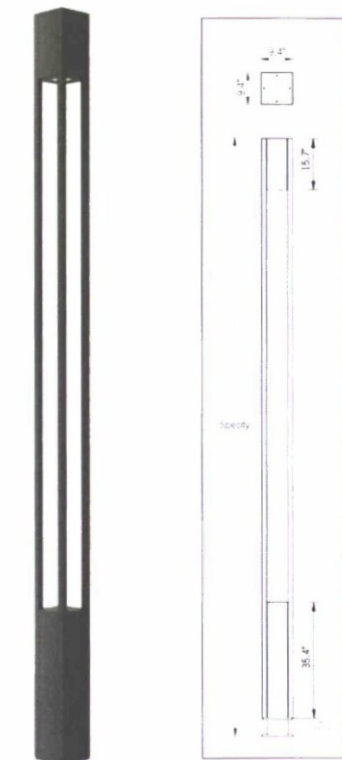
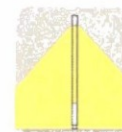
### Options (Please Specify)

#### Color (Please Specify)

01-Black - RAL 9011       02- Dark Grey - RAL 7043  
 03-White - RAL 9003       04 - Metallic Silver - RAL 9006  
 05-Matt Silver - RAL 9006       07- Custom - RAL \_\_\_\_\_  
 06-Bronze - RAL 6014



- Pre-ship anchor bolts and template
- F- Frosted Lens
- C- Clear Lens
- HGT - Specify Custom Height \_\_\_\_\_
- GFCI - GFCI Receptacle - Specify Position \_\_\_\_\_
- RMK - Galvanized Root Mount Kit Adder (A20491)



Ordering Example : UVA - 20001 - 41w - W30 - 120-277v - Options



Rev: 11/13

PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_

TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_ NOTE: \_\_\_\_\_

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information.  
 Due to the continual improvements in LED technology data and components may change without notice.





## FEATURES & SPECIFICATIONS

**INTENDED USE** — Our recessed LED module is the most economical means to create a well lit environment with exceptional energy efficiency and near zero maintenance. Great for retrofit into existing downlight cans or new construction and remodel applications. Unique torsion spring and friction clip retention allows fitment into nearly 100% of installed cans. The LED module maintains at least 70% light output for 50,000 hours.

**CONSTRUCTION** — Aluminum die cast reflector with deep baffle configuration for reduced glare. Combined LED and driver printed circuit board attached. Inner reflector cone funnels light through the pressed-in diffused lens.

Baffle and open trim inserts are available in multiple finishes.

**OPTICS** — Diffused lens at end of mixing chamber to provide even light distribution for general illumination, equivalent to 65W BR30 or 100W BR30 lamp.

Wide flood beam angle at >45°.

**ELECTRICAL** — Center 2 Edge™ (patent pending) technology created for a single point source. Primary power disconnect provided for simple connection to a dedicated LED connector in the housing.

Dimming down to 10%. For compatible dimmers, refer to [Compatible Dimmers Chart](#).

725-lumen P series has an input wattage of 12.7 watts, 57 lumens per watt, equivalent to 65-watt incandescent.

P Series' patent pending driver has zero inrush, which allows power loads to be calculated with actual rated wattages.

Example: 47 units of 6BPMW LED fixtures can be installed in line with a 600-watt dimmer. 600W/12.7W = 47 fixtures.

950-lumen P series has an input wattage of 15.2 watts, 63 lumens per watt, equivalent to 100-watt incandescent.

**INSTALLATION** — Suitable for installation in standard and shallow-height rough-in sections.

E26 socket adaptor and splice kit ships standard. This enables easy installation or permanent conversion to an LED source for Title 24 compliance.

Twin torsion springs ensure easy installation.

Friction clips included to allow fitment into cans without torsion brackets from an inside diameter of 6.0" to 7.0".

**LISTINGS** — CSA certified to US and Canadian safety standards. California T24 compliant. Wet location listed for indoor use only. WSEC ASTM E283 for Air-Tight (with IC housings).

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at

[www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

**PATENTS PENDING.**

Catalog Number
Notes
Type

### LED Recessed Downlighting

# 6BP/60P

#### 6" LED Module

IC/Non-IC  
Retrofit



Torsion mount shown



Friction clip shown

(included)

#### Specifications

Aperture: 5-7/8 (14.9)

Ceiling opening: Determined by rough-in

Overlap trim: 7-5/8 (19.4)

Height: 3-7/8 (9.8)

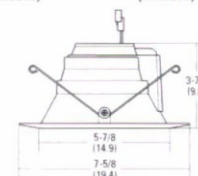
All dimensions are inches (centimeters) unless otherwise indicated.



E26 adaptor (included)



Splice kit (included)



### ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: 6BP TRMW LED 27K 90CRI

Series/Finish	Lamp	CCT / CRI / W / Lumens <sup>1</sup>	Voltage	Options
6BPMW 6" Baffle LED module, matte white	LED	(blank) 3000 K / 83 CRI / 12.7W / 725L	(blank) 120V	L7XLED T24 New construction rough-in LED base
6BP TRMW 6" Baffle LED module, black baffle, matte white flange	LED	27K 90CRI 2700 K / 93 CRI / 10.25W / 600L		L7XRLED T24 Remodel rough-in LED base
6BPBN 6" Baffle LED module, brushed nickel	LED	30K 90CRI 3000 K / 93 CRI / 10.25W / 600L		LC6LED T24 New construction rough-in LED base
6BPORB 6" Baffle LED module, oil-rubbed bronze	LED	40K 90CRI 4000K / 92CRI / 9.9W / 650L		L7X New construction rough-in <sup>2</sup>
	HL LED	(blank) 3000 K / 83 CRI / 15.2W / 950L		L7XR Remodel rough-in <sup>2</sup>
	LED	27K 90CRI 2700 K / 93 CRI / 16.7W / 860L		L7XP New construction shallow rough-in <sup>2</sup>
	LED	30K 90CRI 3000 K / 93 CRI / 16.7W / 860L		L7XPR Remodel shallow rough-in <sup>2</sup>
	LED	40K 90CRI 4000K / 92CRI / 16.4W / 950L		LC6 New construction rough-in <sup>2</sup>
	HL LED	(blank) 3000 K / 83 CRI / 15.2W / 950L		LCP New construction shallow rough-in <sup>2</sup>
60PA 6" Open LED module, clear diffuse	LED	(blank) 3000 K / 83 CRI / 12.7W / 725L	(blank) 120V	L7XLED T24 New construction rough-in LED base
60PAZ 6" Open LED module, clear specular	LED	27K 90CRI 2700 K / 93 CRI / 10.25W / 600L		L7XRLED T24 Remodel rough-in LED base
60PA TRMW 6" Open LED module, clear diffuse, matte white flange	LED	30K 90CRI 3000 K / 93 CRI / 10.25W / 600L		LC6LED T24 New construction rough-in LED base
60PAZ TRMW 6" Open LED module, clear specular, matte white flange	LED	40K 90CRI 4000K / 92CRI / 9.9W / 650L		L7X New construction rough-in <sup>2</sup>
	HL LED	(blank) 3000 K / 83 CRI / 15.2W / 950L		L7XR Remodel rough-in <sup>2</sup>
	LED	27K 90CRI 2700 K / 93 CRI / 16.7W / 860L		L7XP New construction shallow rough-in <sup>2</sup>
	LED	30K 90CRI 3000 K / 93 CRI / 16.7W / 860L		L7XPR Remodel shallow rough-in <sup>2</sup>
	LED	40K 90CRI 4000K / 92CRI / 16.4W / 950L		LC6 New construction rough-in <sup>2</sup>
	HL LED	(blank) 3000 K / 83 CRI / 15.2W / 950L		LCP New construction shallow rough-in <sup>2</sup>

**Accessories:** Order as separate catalog number.

TSA6	Makes non-bracket housing compatible with the LED module; ships as units, J6 or J25
FL2LED	Makes L7XF housings compatible with the LED module

#### Notes

- Total system delivered lumens.
- Must be ordered on a separate line.

See page 2 for Trim Inserts.

# 6" LED Module

## TRIM INSERTS

TRIM INSERTS (for field configuration; ordered separately)

Example: 6BP TRMW R12

Series/Finish				Packaging
6BP TRMW	6" Baffle black, matte white flange insert	60PAZ	6" Open clear specular insert	R12 Retail pack of 12 units
6BPBN	6" Baffle brush nickel insert	60PA TRMW	6" Open clear diffuse, matte white flange insert	U Unit
6BPORB	6" Baffle oil-rubbed bronze insert	60PAZ TRMW	6" Open clear specular, matte white flange insert	
60PA	6" Open clear diffuse insert			



Black Baffle with Matte White Trim Ring (TRMW)



Brushed Nickel Baffle (BN)



Oil-rubbed Bronze Baffle (ORB)



Clear Diffuse with Matte White Trim Ring (A TRMW)



Clear Diffuse (A)



Clear Specular with Matte White Trim Ring (AZ TRMW)



Clear Specular (AZ)

## ADDITIONAL DATA

ENERGY DATA* - 3000K Standard Lumens		
	CRI - 83	CRI - 93
Lumens	725	600
Min. starting temp	-18°C (0°F)	-18°C (0°F)
Max. temp	46°C (115°F)	46°C (115°F)
EMC/RFI	FCC Title 47 CFR, Part 15, Class B	FCC Title 47 CFR, Part 15, Class B
Sound rating	A standards	A standards
Input voltage	120V	120V
Min. power factor	0.97	0.97
Input frequency	50/60 Hz	50/60 Hz
Rated wattage	12.7W	10.5W
Input power	12.7W	10.5W
Input current	.11A	.09A

\*Values at non-dimming line voltage.

ENERGY DATA* - 3000K HI Lumens		
	CRI - 83	CRI - 93
Lumens	950	860
Min. starting temp	-18°C (0°F)	-18°C (0°F)
Max. temp	46°C (115°F)	46°C (115°F)
EMC/RFI	FCC Title 47 CFR, Part 15, Class B	FCC Title 47 CFR, Part 15, Class B
Sound rating	A standards	A standards
Input voltage	120V	120V
Min. power factor	0.97	0.97
Input frequency	50/60 Hz	50/60 Hz
Rated wattage	15.2W	16.7W
Input power	15.2W	16.7W
Input current	.13A	.14A

\*Values at non-dimming line voltage.

Trim finish	Lumen multiplier
Matte White	1.00 (Baseline)
Clear Diffuse	0.99
Clear Specular	0.99
Brushed Nickel	0.83
Black Baffle	0.76
Oil Rubbed Bronze	0.78

Color temperature	Lumen multiplier
2700K	0.97
3000K	1.00 (Baseline)
4000K	1.08



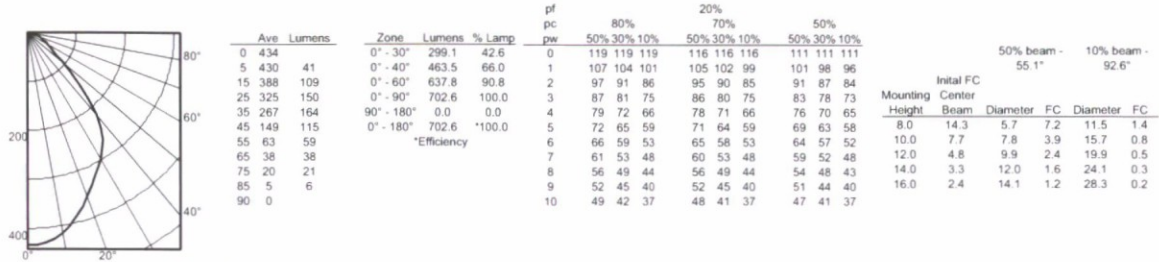
6BP-60P-LED

# 6" LED Module

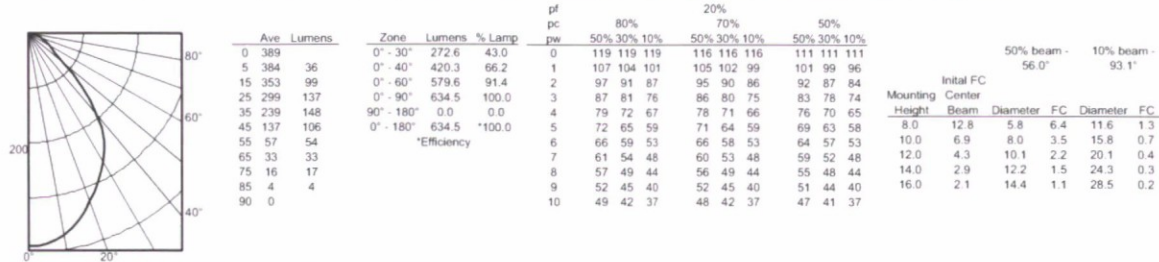
## PHOTOMETRICS

**Distribution Curve      Distribution Data      Output Data      Coefficient of Utilization      Illuminance Data at 30" Above Floor for a Single Luminaire**

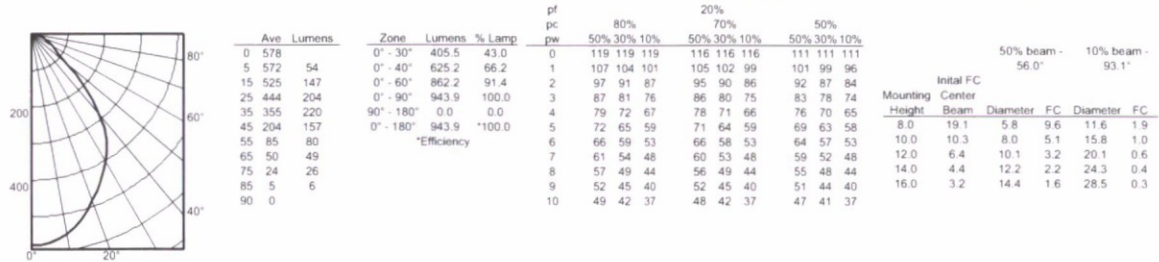
**6BPMW LED, 3000 K LEDs, input watts: 12.7, delivered lumens: 703, LM/W=55.4, test no. LTL25711P, tested in accordance with IESNA LM 79-08**



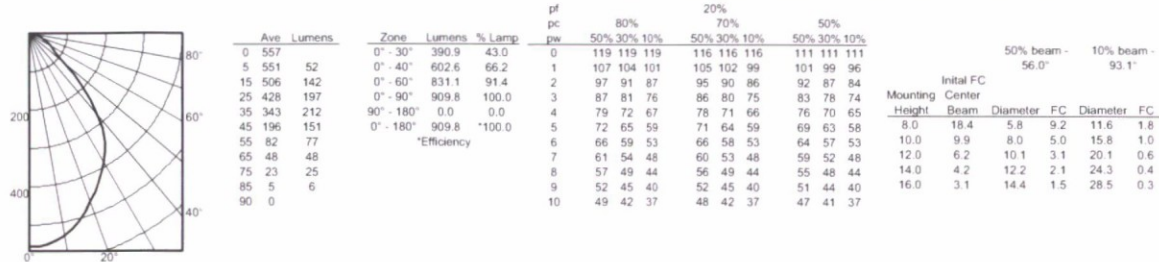
**6BPMW LED 90CRI, 3000 K LEDs, input watts: 10.3, delivered lumens: 634, LM/W=62, test no. LTL 23864P, tested in accordance with IESNA LM 79-08**



**6BPMW HL LED 80CRI, 3000 K LEDs, input watts: 15.2, delivered lumens: 950, LM/W=63, test no. LTL23864, tested in accordance with IESNA LM 79-08**



**6BPMW HL LED 90CRI, 3000 K LEDs, input watts: 16.6, delivered lumens: 910, LM/W=55, test no. LTL 23864P1, tested in accordance with IESNA LM 79-08**

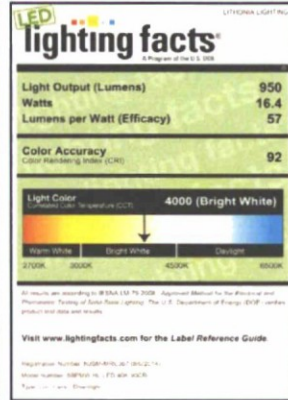
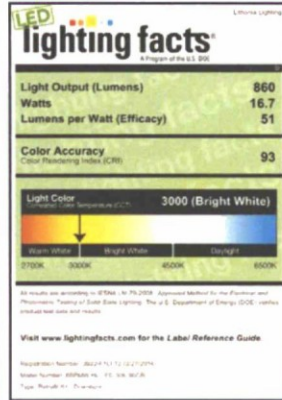
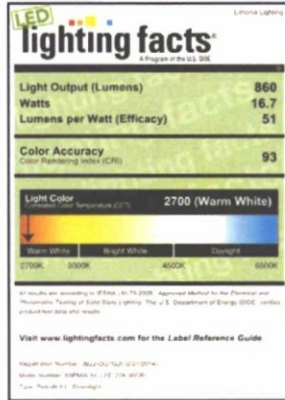
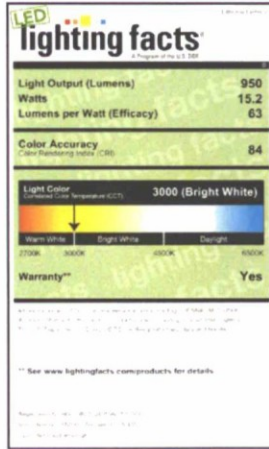
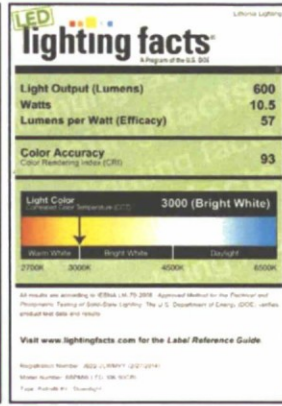
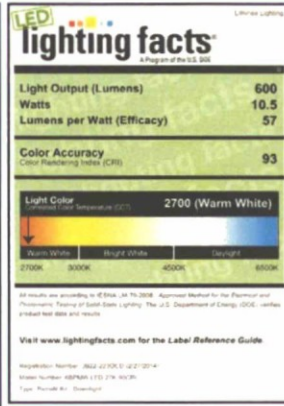


6BPMW LED



# 6" LED Module

## LIGHTING FACTS



667600LED





# KAXW LED Wall Luminaire



Catalog  
Number

Notes

Type

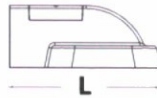
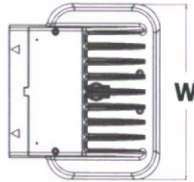
## Specifications

**Length:** 14"  
356 mm

**Width:** 12"  
305 mm

**Height:** 5"  
127 mm

**Weight (max):** 19.7 lbs  
8.9 kg



## Introduction

This feature-rich luminaire embodies the highest level of functionality, making it the perfect choice for most building mount applications. The optics are specifically designed to maximize the light in the desired area making it the smart choice for building-mounted doorway and pathway illumination on nearly any type of facility. By providing the maximum amount of light at minimal cost, the KAXW is the perfect choice for new installations or retrofit installations replacing up to 400W MH.

## Ordering Information

**EXAMPLE: KAXW LED P3 40K R3 MVOLT DDBXD**

### KAXW LED

Series	Performance package	Color temperature	Distribution	Voltage	Mounting	Control options	Other options	Finish <i>(required)</i>
KAXW LED	P1	30K 3000 K	R3 Type 3	MVOLT <sup>1</sup>	<b>Shipped included</b> (blank) Surface mounting bracket	<b>Shipped installed</b> PER NEMA twist-lock receptacle only (no controls) <sup>4</sup> PER5 Five-wire receptacle only (no controls) <sup>5</sup> PER7 Seven-wire receptacle only (no controls) <sup>5</sup> PIR 180° motion/ambient light sensor, <15' mtg ht. <sup>6</sup> FAO Field adjustable output <sup>7</sup>	<b>Shipped installed</b> SF Single fuse (120, 277 or 347V) <sup>8</sup> DF Double fuse (208, 240 or 480V) <sup>8</sup> HS House-side shield <sup>9</sup> LCE Left Conduit Entry <sup>10</sup> RCE Right Conduit Entry <sup>10</sup> <b>Shipped separately</b> BSW Bird-deterrent spikes <sup>11</sup> EGS External glare shield <sup>12</sup>	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBL BXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
	P2	40K 4000 K	R4 Type 4	120 <sup>1</sup>				
	P3	50K 5000 K		208 <sup>1</sup> 240 <sup>1</sup> 277 <sup>1</sup> 347 <sup>1</sup> 480 <sup>2</sup>				

### NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- Not available in the P1 performance package.
- Not available with ROAM®. See PER5 or PER7 option.
- PhotoCell ordered and shipped as a separate line item from Acuity Brands Controls. See Accessories information.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls.
- Specifies the Sensor Switch MSOD-7-ODP control, see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Must specify 120V or 277V.
- Dimming driver standard. Not available with PER5 or PER7 options.
- Must specify 120, 277, or 347V option.
- Must specify 208, 240, or 480V option.
- Also available as a separate accessory, see Accessories information.
- Requires a contractor supplied ½" EMT raintight fitting.
- Requires luminaire to be specified with PER, PER5 or PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

### Accessories

*Ordered and shipped separately*

DLL12ZF 1.5 JU	PhotoCell - SSL twist-lock (120-277V) <sup>12</sup>
DLL347F 1.5 CUL JU	PhotoCell - SSL twist-lock (347V) <sup>12</sup>
DLL480F 1.5 CUL JU	PhotoCell - SSL twist-lock (480V) <sup>12</sup>
DSHORT SBK U	Shorting cap
KAXWHS U	House-side shield
KAXWBSW U	Bird-deterrent spikes
KAXWEGS U	External glare shield



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	29	R3	3,322	1	0	1	115	3,545	1	0	1	122	3,607	1	0	1	124
		R4	3,415	1	0	1	118	3,643	1	0	1	126	3,707	1	0	1	128
P2	49	R3	5,731	1	0	1	117	6,115	1	0	1	125	6,222	1	0	1	127
		R4	5,891	1	0	1	120	6,285	1	0	1	128	6,396	1	0	1	131
P3	79	R3	8,852	1	0	1	112	9,445	2	0	2	120	9,611	2	0	2	122
		R4	9,099	2	0	2	115	9,708	2	0	2	123	9,879	2	0	2	125

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

\* Shaded cells include active dynamic temperature sensing.

Ambient	Lumen Multiplier		
	P1	P2	P3
0°C	1.05	1.05	1.05
10°C	1.03	1.03	1.03
20°C	1.01	1.01	1.01
25°C	1	1	1
30°C	0.99	0.99	0.99
40°C	0.97	0.97	0.93
45°C	0.96	0.96	0.84
50°C	0.95	0.95	0.74

### Electrical Load

Package		120V	208V	240V	277V	347V	480V
P1	Current (A)	0.24A	0.14A	0.13A	0.11A		
	System Watts	29W	29W	29W	29W		
P2	Current (A)	0.41A	0.24A	0.21A	0.18A	0.14A	0.11A
	System Watts	49W	48W	48W	48W	47W	47W
P3	Current (A)	0.66A	0.38A	0.33A	0.29A	0.23A	0.17A
	System Watts	79W	78W	78W	78W	77W	76W

### Projected LED Lumen Maintenance

Operating Hours	25,000	50,000	100,000
Lumen Maintenance Factor	>0.94	>0.89	>0.80

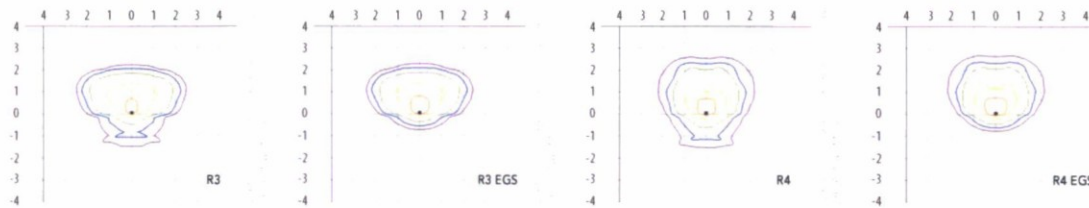
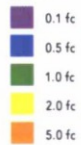
Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KAXW.himapa.jp](http://KAXW.himapa.jp).

Isofootcandle plots for the KAXW LED P3 40K. Distances are in units of mounting height (20').

#### LEGEND



## FEATURES & SPECIFICATIONS

#### INTENDED USE

This feature-rich luminaire embodies the highest level of functionality with extraordinary efficacy which maximizes your application efficiency providing high levels of light for minimal cost specifically for building-mounted doorway and pathway illumination on nearly any type of facility.

#### CONSTRUCTION

The die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. This modular design allows for ease of maintenance and future light engine upgrades. The LED driver is installed in a separate compartment to thermally isolate it from the light engines for low operating temperature and long life. The housing is completely sealed against moisture and environmental contaminants (IP65).

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K (minimum 70 CRI) configurations. The KAXW has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to >180/100,000 hours). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours.

#### INSTALLATION

Included wall mount plate facilitates a quick and easy installation. Mounting bolts feature a 1000-hour salt fog finish. Optional bi-level motion sensor and NEMA 3, 5 or 7 pin twist lock photocontrol receptacle are also available.

#### LISTINGS

CSA Listed for wet locations. Light engines and electrical compartment are IP66-rated. Rated for temperatures as low as -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlightsconsortium.com](http://www.designlightsconsortium.com) to confirm which versions are qualified.

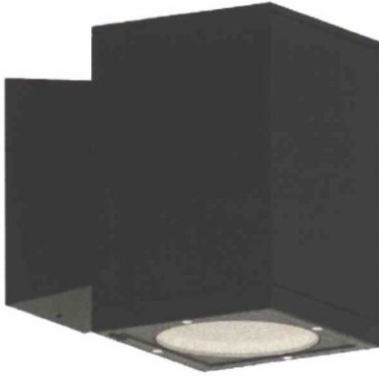
#### WARRANTY

5-year limited warranty. Complete warranty terms located at [www.lithonia.com](http://www.lithonia.com).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



IP65 : Suitable for Wet Locations  
IK08 : Impact Resistant (Vandal Resistant)



## UTA-31891

### Tango 32 square wall up/down LED Type II, III, IV

Wall luminaires with a variety of lenses and lamps with up and downward light distributions. The Tango is unique as it is available with Type II, III, IV & V light distribution options that facilitates wider spacing and even light distribution between the light fixtures. Providing higher energy saving and reduced installation costs. The up-down versions can be manufactured with different distributions. Designed to illuminate the wall surface and for light accents on vertical surfaces.

Low copper content die-cast aluminum housing and aluminum frame with integral anti-glare baffles. Stainless steel screws. Durable silicone rubber gasket and clear toughened glass. Single cable entry. Housing is treated with a nickel and chrome phosphate protection before applying a 4.7 mil powder coating, this ensures high corrosion resistance. Integral electronic control gear.

Mounting plate for 3" and 4" junction box is provided with the fixture.

Surface mount conduit boxes are available as an option.

A round pole adapter can be manufactured to suit specific pole diameters. Please contact the factory for more information.

#### Physical Data

Length: 10.3"

Height: 10.8"

Weight: 14.3 lbs

#### Lamp

- 2x38w - White - LED ☉
- 2x20w - White - LED ☉
- 2x28w - White - LED ☉

#### Distribution Type (Please Specify)

- T2 - Type II
- T3 - Type III
- T4 - Type IV

#### LED Color (Please Specify)

- W27 - 2700K
- W30 - 3000K
- W40 - 4000K

#### Voltage (Please Specify)

- 120v/277v
- Other \_\_\_\_\_

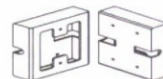
#### Color (Please Specify)

- 01-Black - RAL 9011
- 02- Dark Grey - RAL 7043
- 03-White - RAL 9003
- 04 - Metallic Silver - RAL 9006
- 05-Matt Silver - RAL 9006
- 07- Custom - RAL \_\_\_\_\_
- 06-Bronze - RAL 6014



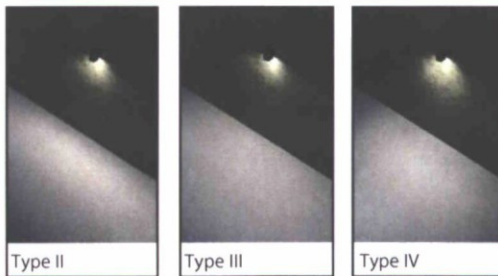
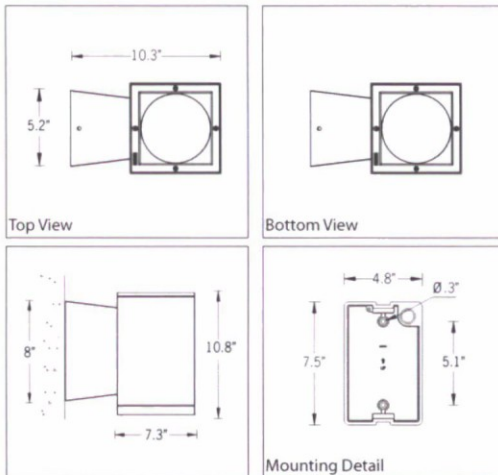
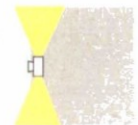
#### Options (Please Specify)

- F - Frosted Lens
- C - Clear Lens



- SCE - Surface Conduit Entry Box -  1/2" Conduit  3/4" Conduit

- HGT- Specify Custom Height \_\_\_\_\_



Up, Down and Up/Down styles available upon request. Custom distribution types for the various styles are also available.

Ordering Example : UTA - 31891 - 2x38w - W30 - T2 - 120v - Options



Rev: 10/15

PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_

TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_ NOTE: \_\_\_\_\_

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.







# OLWX1 LED LED Wall Luminaire



Catalog Number
Notes
Type

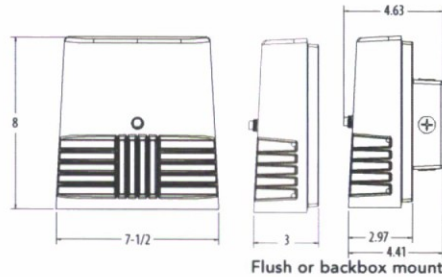
## Specifications

Width: 7-1/2"  
*(19.0 cm)*

Height: 8"  
*(20.3 cm)*

Depth: 3"  
*(7.62 cm)*

Weight: 5 lbs  
*(2.27 kg)*



## Introduction

As versatile as it is efficient, the OLWX1 is designed to replace up to 250W metal halide while saving over 87% in energy costs. It combines multiple mounting options with the latest generation of LEDs for a wall pack luminaire that converts to a whole lot more. Whether you are mounting it to a recessed junction box, conduit/through wiring, as an up light, as a down light, or as a flood light – the OLWX1 has you covered.

## Ordering Information

EXAMPLE: OLWX1 LED 20W 50K

### OLWX1 LED

Series	Performance Package	Color Temperature	Voltage	Controls	Finish
OLWX1 LED	13W 13 watts	40K 4000 K <sup>1</sup>	(blank) MVOLT <sup>2</sup>	(blank) None	(blank) Dark bronze
	20W 20 watts	50K 5000 K	120 120V	PE 120V button photocell	
	40W 40 watts		347 347V		

## Accessories

*Ordered and shipped separately*

OLWX1TS	Slipfitter – size 1
OLWX1YK	Yoke – size 1
OLWX1THK	Knuckle – size 1

### NOTES

- 1 Not available with 347V option.
- 2 MVOLT driver operates on any line voltage from 120-277V (50/60Hz).
- 3 Specify 120V when ordering with photocell (PE option).

## FEATURES & SPECIFICATIONS

### INTENDED USE

The versatility of the OLWX1 LED combines a sleek, low-profile wall pack design and high-output LEDs to provide an energy efficient, low maintenance LED wall pack suitable for replacing up to 250W metal halide fixtures. Available flood light mounting accessories convert the OLWX1 LED into a highly efficient flood light.

OLWX1 LED is ideal for outdoor applications such as building perimeters, loading areas, driveways and sign and building flood lighting.

### CONSTRUCTION

Rugged cast-aluminum housing with textured dark bronze polyester powder paint for lasting durability. Integral heat sinks optimize thermal management through conductive and convective cooling. LEDs are protected behind a glass lens. Housing is sealed against moisture and environmental contaminants (IP65).

### OPTICS

High-performance LEDs behind clear glass for maximum light output. Light engines are available in 4000K and 5000K CCTs. See Lighting Facts label and photometry reports for specific fixture performance.

### ELECTRICAL

Light engine consists of 1 high-efficiency Chip On Board (COB) LED with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life (L73/100,000 hours at 25°C). Electronic drivers have a power factor >90% and THD <20% and a minimum 2.5kV surge rating. Flood light mounting accessories include an additional 6kV surge protection device.

### INSTALLATION

Easily mounts to recessed junction boxes with the included wall mount bracket, or for surface mounting and conduit entry - with the included junction box with five 1/2" threaded conduit entry hubs. Flood light mounting accessories (sold separately) include knuckle, integral slipfitter and yoke mounting options. Each flood mount accessory comes with a top visor and vandal guard. Luminaire may be wall or ground mounted in downward or upward orientation.

### LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations. Rated for -40° C minimum ambient. Tested in accordance with IESNA LM-79 and LM-80 standards. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.dlc.com](http://www.dlc.com) to confirm which versions are qualified.

### WARRANTY

Five-year limited warranty. Full warranty terms located at [www.lithonia.com](http://www.lithonia.com).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.





## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Fixture Model Number	CCT	System Watts	Lumens	LPW	B	U	G	CRI
OLWX1 LED 13W 40K	4000 K	14 W	1,271	91	1	0	0	>70
OLWX1 LED 13W 50K	5000 K	14 W	1,289	92	1	0	0	>80
OLWX1 LED 20W 40K	4000 K	22 W	1,854	84	1	0	0	>70
OLWX1 LED 20W 50K	5000 K	22 W	1,860	84	1	0	0	>80
OLWX1 LED 40W 40K	4000 K	39 W	4,027	101	2	0	0	>70
OLWX1 LED 40W 50K	5000 K	37 W	4,079	110	2	0	0	>70

### Electrical Load

Fixture Model Number	Rated Power (watts)	Input current at given input voltage (amps)				
		120V	208V	240V	277V	347V
OLWX1 LED 13W 40K	14 W	0.12	0.07	0.06	0.06	0.04
OLWX1 LED 13W 50K	14 W	0.12	0.07	0.06	0.06	0.04
OLWX1 LED 20W 40K	22 W	0.20	0.12	0.10	0.09	0.06
OLWX1 LED 20W 50K	22 W	0.20	0.12	0.10	0.09	0.06
OLWX1 LED 40W 40K	39 W	0.37	0.21	0.19	0.16	0.11
OLWX1 LED 40W 50K	37 W	0.37	0.21	0.19	0.16	0.11

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

	0°C	10°C	20°C	25°C	30°C	40°C
13W	1.06	1.03	1.01	1.00	0.99	0.96
20W	1.06	1.04	1.01	1.00	0.99	0.96
40W	1.07	1.04	1.01	1.00	0.99	0.96

### Projected LED Lumen Maintenance

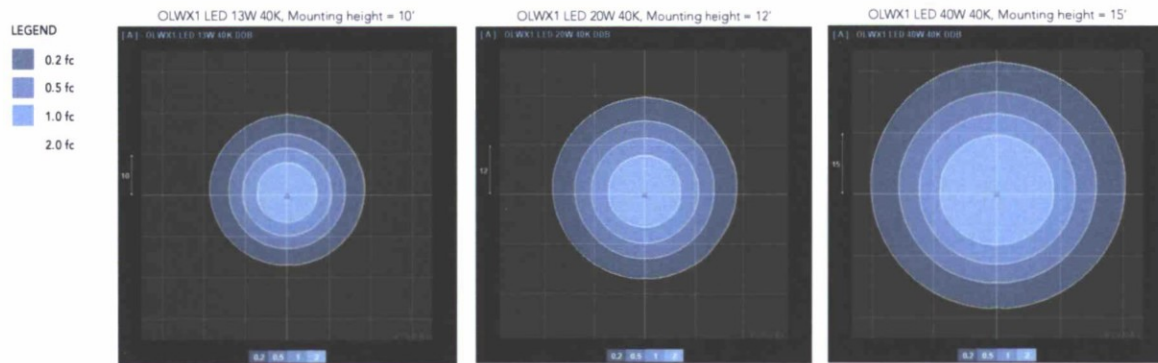
Data references the extrapolated performance projections in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
OLWX1 LED 13W	1.00	0.92	0.85	0.73
OLWX1 LED 20W	1.00	0.92	0.85	0.73
OLWX1 LED 40W	1.00	0.94	0.88	0.79

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting OLWX1 LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards



## Accessories



OLWX1TS  
Slipfitter - size 1



OLWX1YK  
Yoke - size 1



OLWX1THK  
Knuckle - size 1

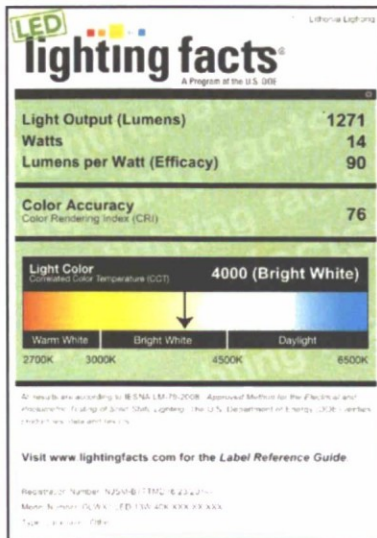


Top Visor and Vandal Guard  
included with accessories

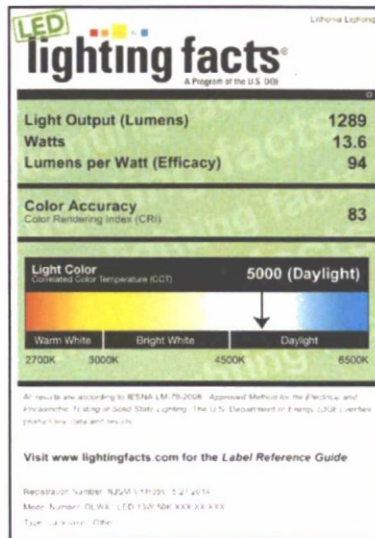


## Lighting Facts Labels

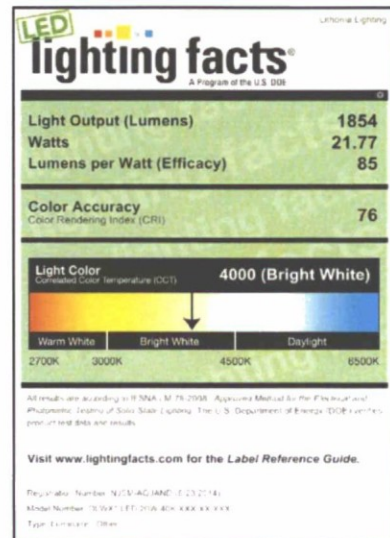
OLWX1 LED 13W 40K XXX XX XXX



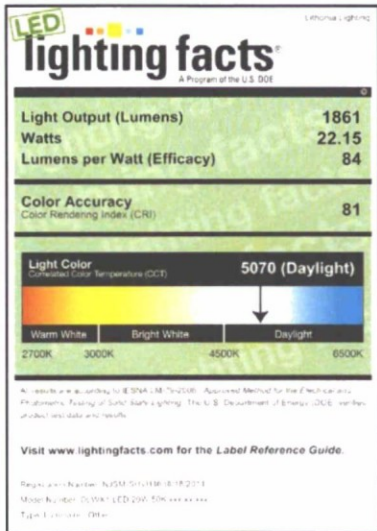
OLWX1 LED 13W 50K XXX XX XXX



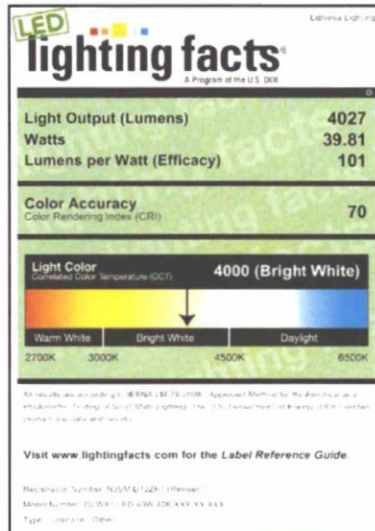
OLWX1 LED 20W 40K XXX XX XXX



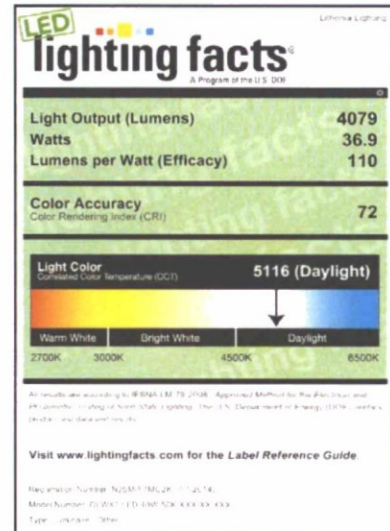
OLWX1 LED 20W 50K XXX XX XXX



OLWX1 LED 40W 40K XXX XX XXX

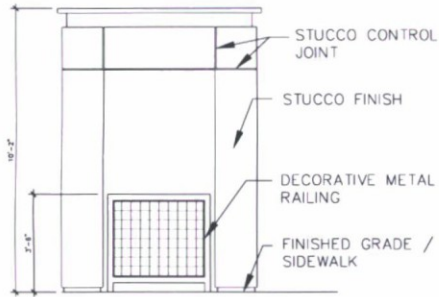


OLWX1 LED 40W 50K XXX XX XXX



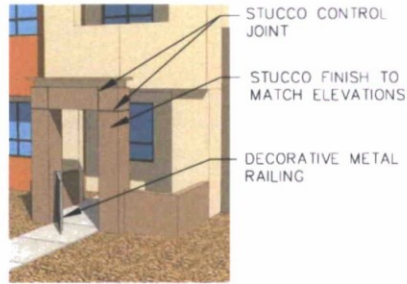






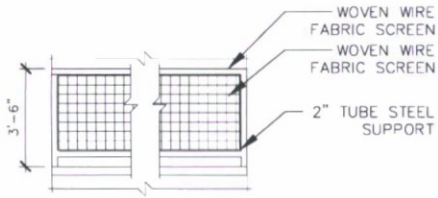
LIVE WORK ENTRY PORTAL ELEVATION

1/2" = 1'-0"



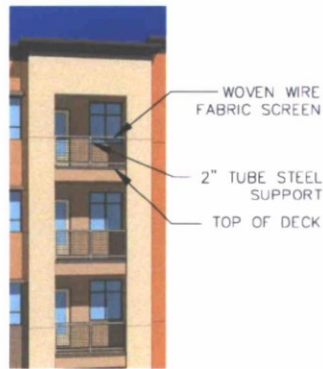
LIVE WORK ENTRY PORTAL ELEVATION

1/2" = 1'-0"



BALCONY FALL PROTECTION

1/2" = 1'-0"



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