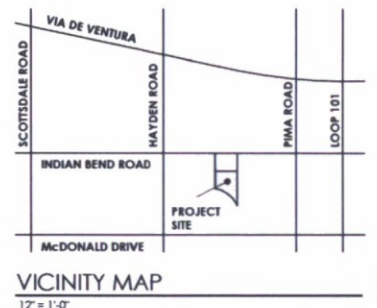
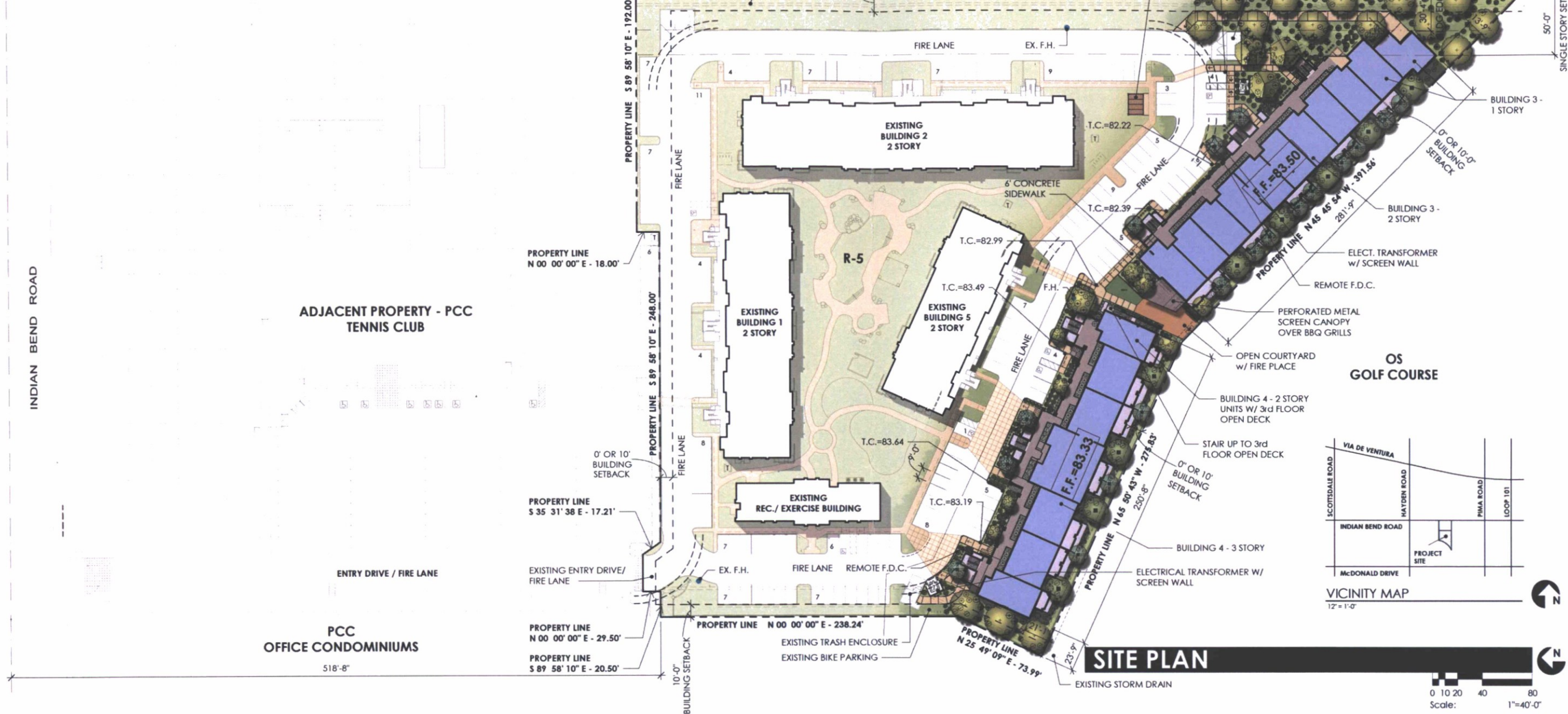


Simulations
Photos
All Graphics (no plans)



SITE PLAN

PROJECT NAME & ADDRESS:
WORLD MARK BY WYNDHAM
8235 EAST INDIAN BEND ROAD
SCOTTSDALE, ARIZONA 85250

PROJECT DESCRIPTION:
PROPOSED BUILDING ADDITIONS TO EXISTING TIMESHARE DEVELOPMENT LOCATED ON INDIAN BEND ROAD, EAST OF HAYDEN ROAD ON APPROXIMATELY 5.40 GROSS ACRES. ORIGINAL DEVELOPMENT WAS APPROVED FOR 94 UNITS, OF WHICH ONLY 48 WERE BUILT. EXISTING PROJECT CONSISTS OF 3 BUILDINGS (1, 2 AND 5) TOTALING 48 D.U. WITH A COMMUNITY CENTER BUILDING. TWO NEW BUILDINGS (3 AND 4) WILL INCLUDE 40 TOTAL D.U. WITH A 3RD FLOOR OPEN DECK (BUILDING 4) AND A MAINTENANCE FACILITY (BUILDING 3).

ZONING:
EXISTING.....R-5
PROVIDED.....R-5

SITE AREA:
NET ACRES.....+/- 5.40 ACRES (235,224 S.F.)
GROSS ACRES.....+/- 5.40 ACRES (235,224 S.F.)

DENSITY:
PROVIDED (OVERALL).....16.29 D.U./ACRE (48+40 D.U./5.40 ACRE)

BUILDING HEIGHT:
ALLOWABLE.....36'-0"
PROVIDED.....36'-0" AFF
NOTE: BUILDING HEIGHT IS DETERMINED AT 1'-0" ABOVE HIGHEST ADJACENT TOP OF CURB ELEVATION PER ORDINANCE

PARKING STANDARDS:
EXISTING PARKING STALL 9'-0" x 16'-0" WITH 2'-0" OVERHANG
PARKING AISLE (FIRELANE) 24'-0"

PARKING REQUIRED:
EXISTING BUILDING 1 20 P.S.
EXISTING BUILDING 2 25 P.S.
EXISTING BUILDING 5 15 P.S.
PROPOSED BUILDING 3 3 P.S.
PROPOSED BUILDING 4 22 P.S.
PROPOSED BUILDING 5 9 P.S.
PROPOSED BUILDING 6 15 P.S.
PROPOSED BUILDING 7 3 P.S.
TOTAL REQUIRED 112 P.S.

ACCESSIBLE PARKING REQUIRED 5 P.S.
(4% OF THE REQUIRED PARKING SPACES)
(112 PARKING SPACES X .04 (4%) = 4.48)

PROVIDED:
STANDARD PARKING SPACES (UNCOVERED) 158 P.S.
TOTAL PROVIDED 158 P.S.

ACCESSIBLE PARKING 5 P.S.
ACCESSIBLE PARKING SPACES (UNCOVERED)
[ONE ACCESSIBLE PARKING SPACES WILL BE DESIGNATED VAN ACCESSIBLE.]

BICYCLE PARKING:
REQUIRED 16 B.S.
(1 BICYCLE PARKING SPACE PER 10 VEHICLE PARKING SPACES)
PROVIDED 34 B.S.
BUILDING 2 - NORTH 8 B.S.
BUILDING 2 - SOUTH 8 B.S.
BUILDING 4 - NORTH 8 B.S.
BUILDING 3 - NORTH 10 B.S.

UNIT MIX:	GROSS	# OF	% OF PROPOSED
UNIT P1 (1 BED)	+/-1057 S.F.	7	18%
UNIT P2 (2 BED)	+/-1218 S.F.	12	30%
UNIT P4 (4 BED)	+/-2215 S.F.	2	5%
UNIT S2 (2 BED)	+/-1074 S.F.	17	42%
UNIT S3 (3 BED)	+/-1231 S.F.	2	5%
PROPOSED SUB-TOTAL:		40 D.U.	
EXISTING (2 BED)		48 D.U.	
TOTAL:		88 D.U.	

ACCESSIBLE UNITS:
OCCUPANCY REQUIRED PROVIDED
R 88 UNITS x 0.05 = 5 5

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SCOTTSDALE, AZ 85250

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Rev. Date: Description:
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DEVELOPMENT REVIEW
SUBMITTAL PHASE

OVERALL SITE
PLAN



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BUILDING 3
EXTERIOR
ELEVATIONS



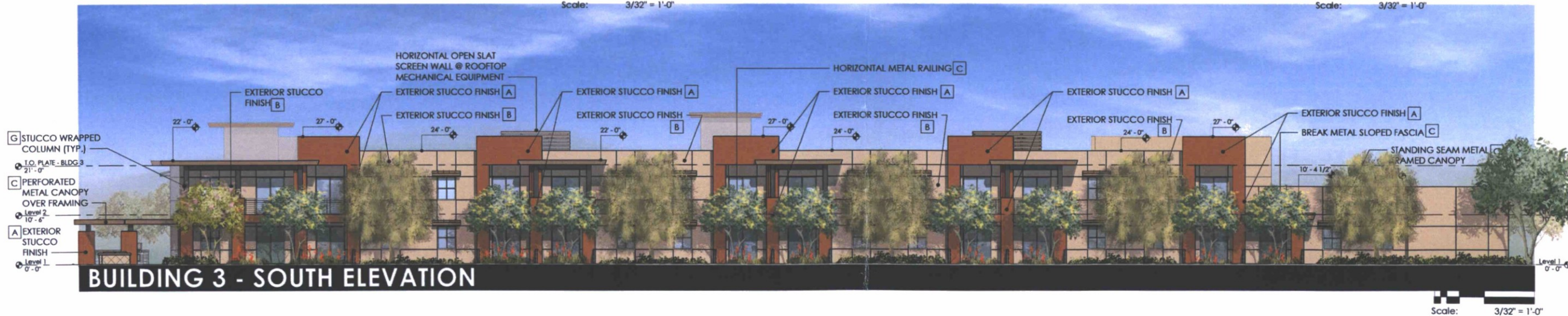
BUILDING 3 - NORTH ELEVATION



BUILDING 3 - EAST ELEVATION



BUILDING 3 - WEST ELEVATION



BUILDING 3 - SOUTH ELEVATION

KEYNOTES

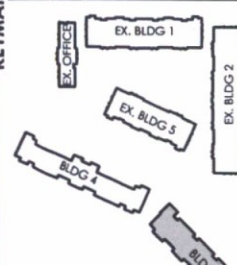
GENERAL NOTES

- PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJACENT BUILDING COLOR U.N.O.
- VERIFY ALL FINISHES WITH OWNER PRIOR TO APPLICATION.
- VERIFY ALL COLOR SELECTIONS WITH COLORED ELEVATIONS & OWNER PRIOR TO APPLICATION.
- ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
- ROOFING SHALL BE INSTALLED IN ACCORDANCE W/MANUFACTURER'S SPECIFICATIONS.
- PROVIDE SEALANT AT ALL FINISH PENETRATIONS.
- ALL CONTROL JOINTS AND REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
- COORDINATE WITH MECHANICAL FOR ALL VENTING LOCATIONS AND SIZES.
- EXTERIOR DOOR AND FRAME COLORS TO MATCH, U.N.O.

MATERIAL FINISH

EXTERIOR COLOR SCHEDULE			
CODE	LOCATION	MANUFACTURER	COLOR
A	WALLS/PARAPETS	SHERWIN-WILLIAMS	COPPER MOUNTAIN SW6356
B	WALLS/PARAPETS	SHERWIN-WILLIAMS	SANDS OF TIME SW6101
C	METAL SEAM ROOF/FASCIA & METAL RAILINGS/BREAK METAL	SHERWIN-WILLIAMS	PORTABELLO SW6102
D	EXTERIOR DOOR FRAME & PANEL	SHERWIN-WILLIAMS	PEPPERCORN SW7674
F	VINYL FRAMED WINDOWS	MATCH EXISTING	MFGR. WHITE
G	EXPOSED COLUMNS, BEAMS & MASONRY BLOCK WALL	SHERWIN-WILLIAMS	PEPPERCORN SW7674

KEYMAP





KEYNOTES

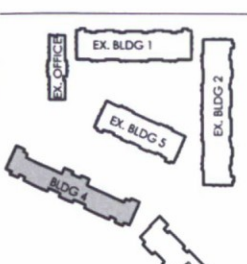
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BUILDING 4
EXTERIOR
ELEVATIONS