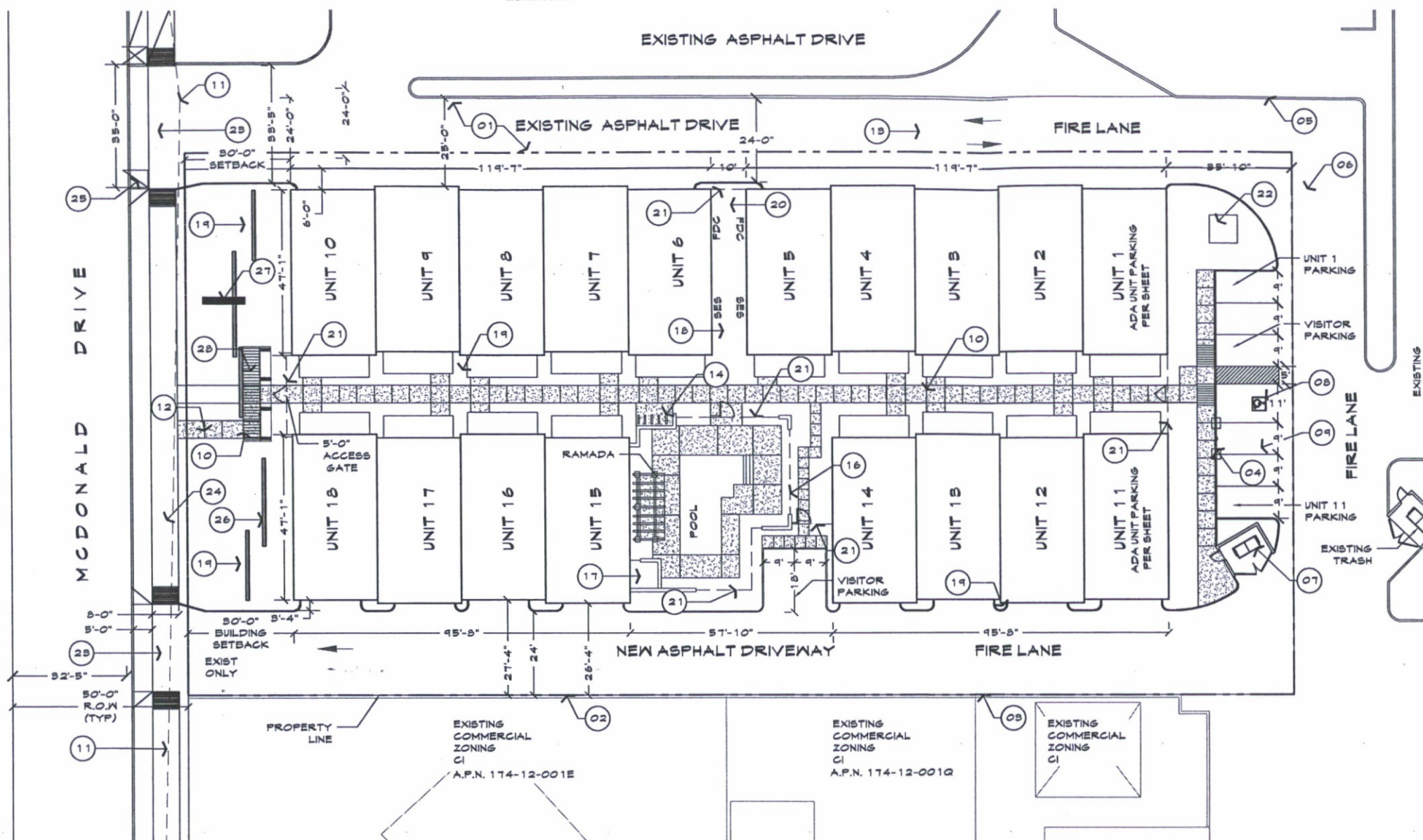


**Full Size or Largest Size
(site plan, landscape, elevations)**



KEYNOTES

1. EXISTING DRIVEWAY
2. EXISTING 3'-0" HIGH SCREEN CMU WALL
3. EXISTING 6'-0" HIGH CMU FENCE
4. NEW PARKING LOT LIGHT, FIXTURE
5. EXISTING CONCRETE CURB & GUTTER
6. FIRE LANE & TURNING RADII PER C.O.S. STANDARDS
7. NEW TRASH ENCLOSURE IN ACCORDANCE WITH C.O.S. DETAIL 2146-1
8. NEW ACCESSIBLE PARKING
9. NEW PARKING
10. DECORATIVE CONCRETE OR PAVERS
11. SIGHT VISIBILITY TRIANGLE
12. PEDESTRIAN ACCESSIBLE ROUTE
13. VEHICULAR CIRCULATION

14. BICYCLE PARKING
15. NOT USED
16. POOL ENCLOSURE AND GATE PER CODE STANDARDS
17. POOL EQUIPMENT ENCLOSURE
18. SES LOCATION
19. LANDSCAPE AREA
20. PRELIMINARY LOCATION OF FDC.
21. PROPERTY ENCLOSURE GATE & FENCE
22. POSSIBLE TRANSFORMER LOCATION
23. DRIVEWAY PER C.O.S.
24. NEW 8' CONCRETE SIDEWALK
25. EXISTING CURB DEMOLITION
26. ACCENT WALL
27. SIGN WALL
28. ENTRY LATTICE STRUCTURE

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS

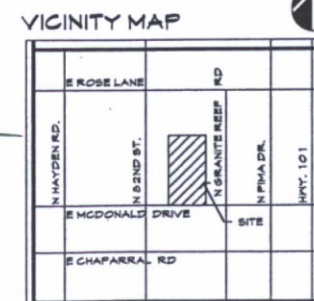
6/7/18

INITIALS

HUDSON EAST

SITE PLAN

8340 E. McDONALD RD.
MAY 29, 2018



PROJECT ADDRESS:	8340 EAST McDONALD DRIVE
PROJECT DESCRIPTION:	18 UNIT CONDOMINIUM DEVELOPMENT, (4), BUILDING OF CONDOMINIUMS EACH WITH THEIR ADAPTING ORDINANCES: 2012 IRC* 2012 IECC* 2012 IMC* 2012 NEC/NFPA-70+ 2012 IFC* 2012 UPC*
NET SITE AREA:	1.085 ACRES
GROSS SITE AREA:	1.257 ACRES
EXISTING ZONING:	R-5
OCCUPANCY:	RESIDENTIAL R-5 CONDOMINIUM
SITE AREA:	47,250 S.F. (NET) 1.085 AC 57,750 S.F. (GROSS) 1.257 AC
CONSTRUCTION TYPE:	TYPE V-5 BUILDING 1 & 2 W/ SPRINKLERS PER NFPA 13A
BUILDING HEIGHT:	32'-0" FROM FINISHED FLOOR
UNITS:	18 UNITS TOTAL OR 16.59 UNITS PER ACRE UNITS SIZE: 2,242 S.F. INCLUDING GARAGE EACH UNIT HAS APPROXIMATELY 1,805 S.F. LIVABLE +437 S.F. GARAGE +463 S.F. UPPER DECK 18 UNITS X 3 BEDROOMS X = 54 BEDROOMS TOTAL

SEPARATION FROM P.L. <3' (IRC TABLE R302.1 (2))	0 HOURS
ALLOWABLE WALL OPENINGS (IRC TABLE R302.1 (2))	UNLIMITED PER IRC R302.1 (2)

SETBACKS:

SETBACKS:
174-12-001S & 174-12-001T

MCDONALD DRIVE:	30'-0" SETBACK
SIDEYARD (EAST)	26'-4" SETBACK
SIDEYARD (WEST)	6'-0" SETBACK
REAR YARD:	35'-0" SETBACK

ACCESSIBLE PARKING:

ONSITE PARKING	9 STALLS X 0.04 ADA	=1 SPACE REQ'D 1 SPACE PROVIDED
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**PARKING SPACE PER DWELLING UNIT AT THE RATE OF:
THREE(3) OR MORE BEDROOMS 1.9 PER TABLE 9.103 .A.C.O.S.**

$$18 \text{ UNITS} \times 1.9 \text{ SPACES} = 34.2 \text{ SPACES}$$

PARKING PROVIDED: 2 PARKING SPACES PER UNITS

18 UNITS X 2 = 36 SPACES + P VISITORS
45 TOTAL SPACES PROVIDED

BICYCLE PARKING

@ 1/10 PARKING SPACES

45 SPACES

TOTAL

■

5 SPACES REQ'D
5 SPACES PROVIDED

OPEN SPACE CALCULATIONS PER DENSITY BASE USES

1.MINIMUM OPEN SPACE PER SECTION 5. 1004.D (SCOTTSDALE CODE OF ORDINANCES) = 22% (47,250 X 0.22 = 10,395 S.F.) WHICH IS DISTRIBUTED AS FOLLOWS:

2. MINIMUM 20 S.F. PER 1 LF OF FRONTAGE: $150 \times 20 = 3000$ S.F.
FRONTAGE OPEN SPACE PROVIDED: 3.875 S.F.

COMMON AREA OPEN SPACE PROVIDED; 10,595 S.F. (NOT INCLUDING DRIVEWAYS & PARKING SPACES)

PRIVATE OUTDOOR LIVING SPACE.

- I. FIRST STORY DWELLING UNITS, MINIMUM: 0.10 MULTIPLIED BY THE GROSS AREA OF THE UNIT. (608 S.F. X 0.1 = 60.8 S.F.)
- II. DWELLING UNITS ABOVE THE FIRST STORY MINIMUM: 0.05 MULTIPLIED BY THE GROSS FLOOR AREA OF THE UNIT. (1,197 S.F. X 0.05 = 59.8 S.F.)
- 60.8 S.F. + 59.8 S.F. = 120.6 S.F.

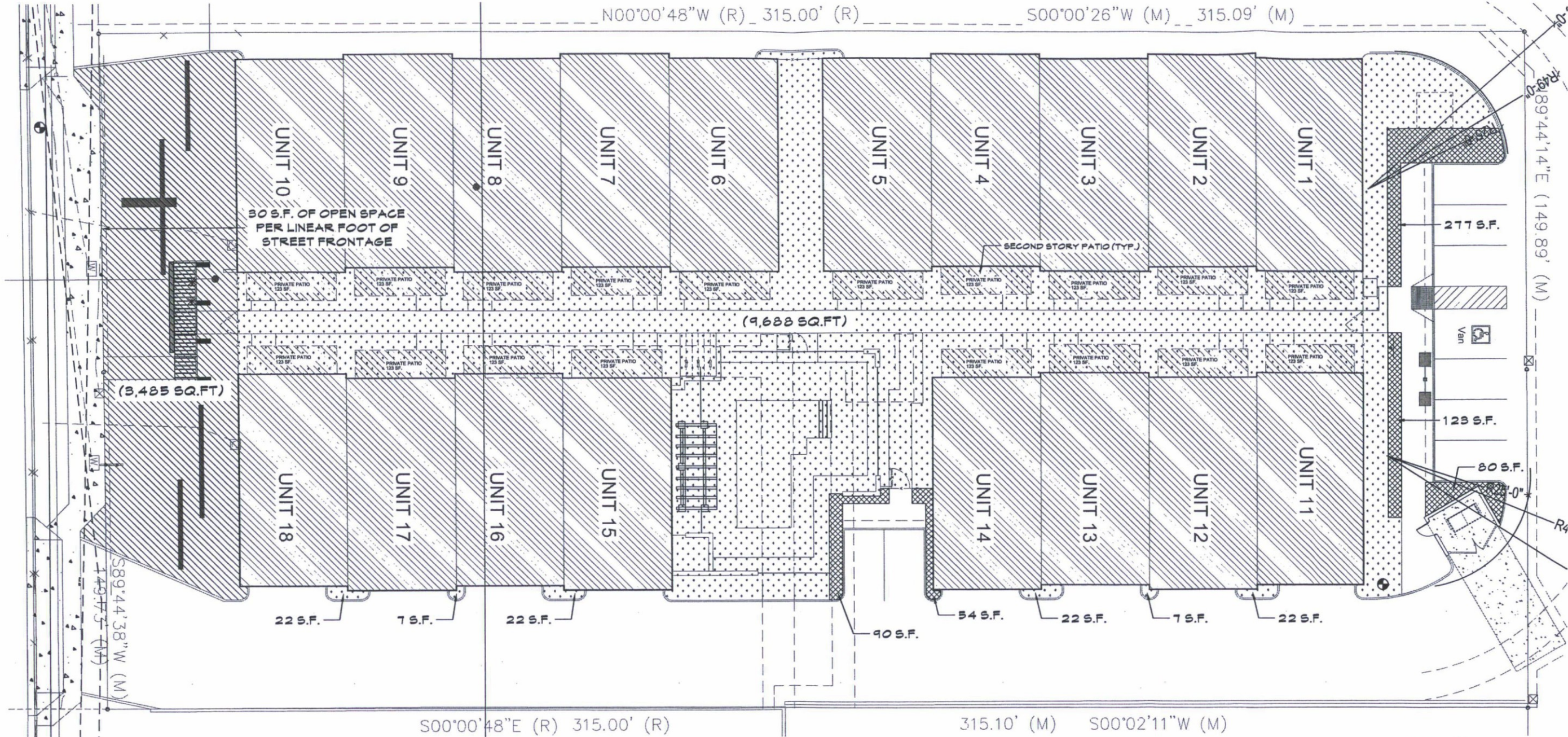
- III. THE PRIVATE OUTDOOR LIVING SPACE SHALL BE LOCATED BESIDE THE DWELLING UNIT WHICH IT SERVES AND SHALL BE FOR THE EXCLUSIVE USE OF THE UNIT OCCUPANT(S), BUT IS NOT PART OF THE UNIT'S GROSS FLOOR AREA.

PRIVATE OPEN SPACE REQUIRED : 121 S.F. PER UNIT
PRIVATE OPEN SPACE PROVIDED: 124 S.F. PER UNIT

SCALE: 1"=16'-0"

NORTH





COMMON OPEN SPACE LEGEND

	COMMON AREA OPEN SPACE - 9,790 SQ.FT.
	STREET FRONTAGE OPEN SPACE - 3,485 SQ.FT.
	PARKING LOT LANDSCAPING - 624 SQ.FT.

COMMON OPEN SPACE

NET SITE AREA: 47,250 SQ.FT.
OPEN SPACE FACTOR: 0.22
REQUIRED OPEN SPACE: 10,395 SQ.FT.

PARKING LANDSCAPE AREA

PARKING AREA: 1,728 SQ.FT X .15 = 260 SQ.FT
PARKING LOT LANDSCAPE REQ: 15%
PARKING LOT L.S. REQUIRED: 260 SQ.FT

SITE DATA

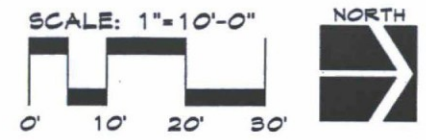
GROSS SITE AREA: 57,750 SQ.FT
NET SITE AREA: 47,250 SQ.FT
ZONING: C1
PROPOSED ZONING: R5

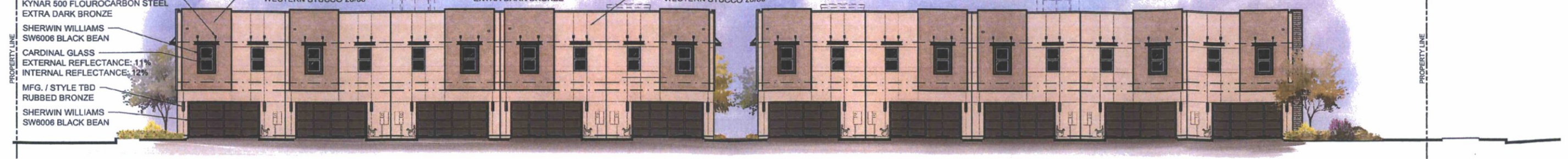
8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED

6/7/18
DATE INITIALS

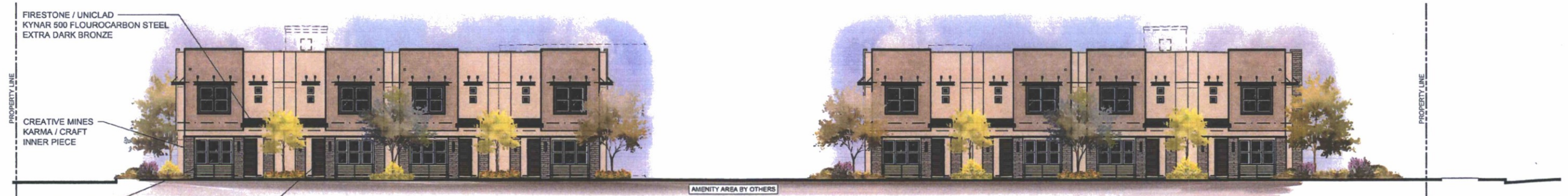


HUDSON EAST
OPEN SPACE PLAN
8340 E. McDONALD RD.
MAY 29, 2018





West Elevation
3/32" = 1'-0"



Paseo - Facing East Elevation
3/32" = 1'-0"



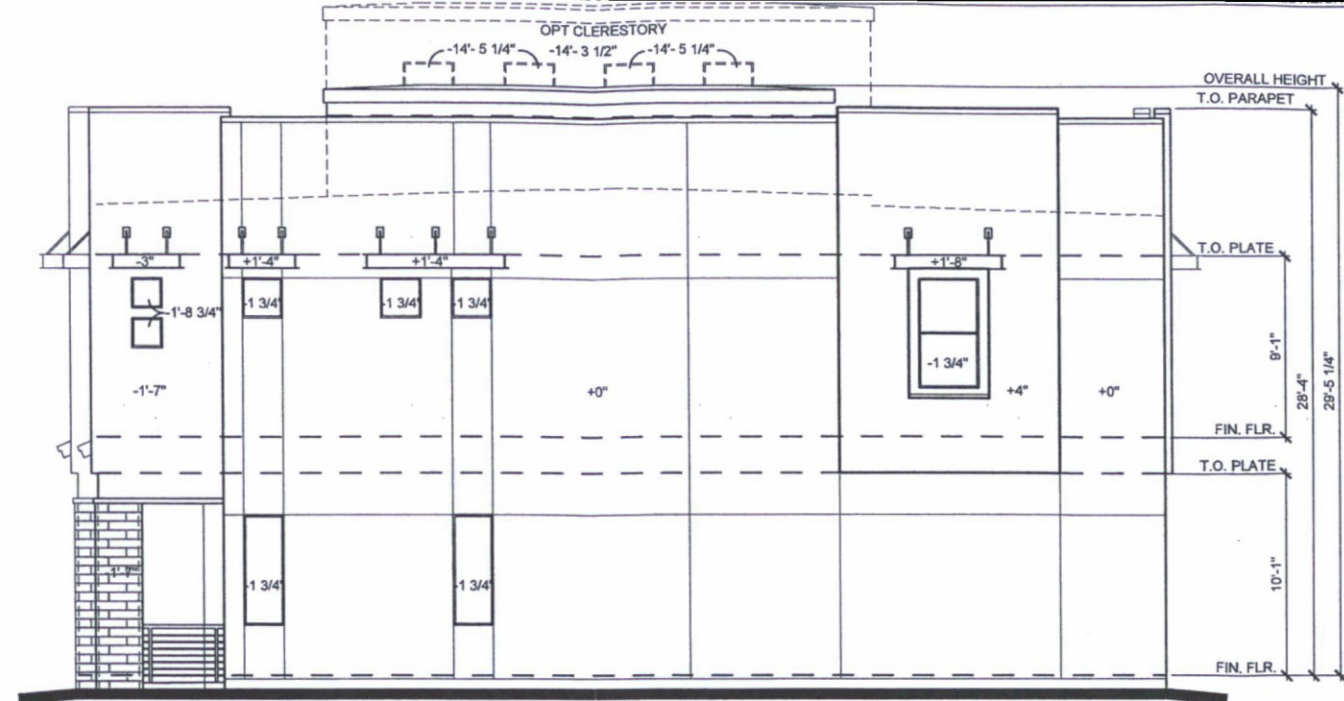
East Elevation
3/32" = 1'-0"



Left | South | McDonald Dr Elevation
3/32" = 1'-0"

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
6/7/18
DATE INITIALS

Hudson East-Townhomes | Scottsdale, Arizona



Right Elevation

1/4" = 1'-0"



Front Elevation

1/4" = 1'-0"

4 Plex Building

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED

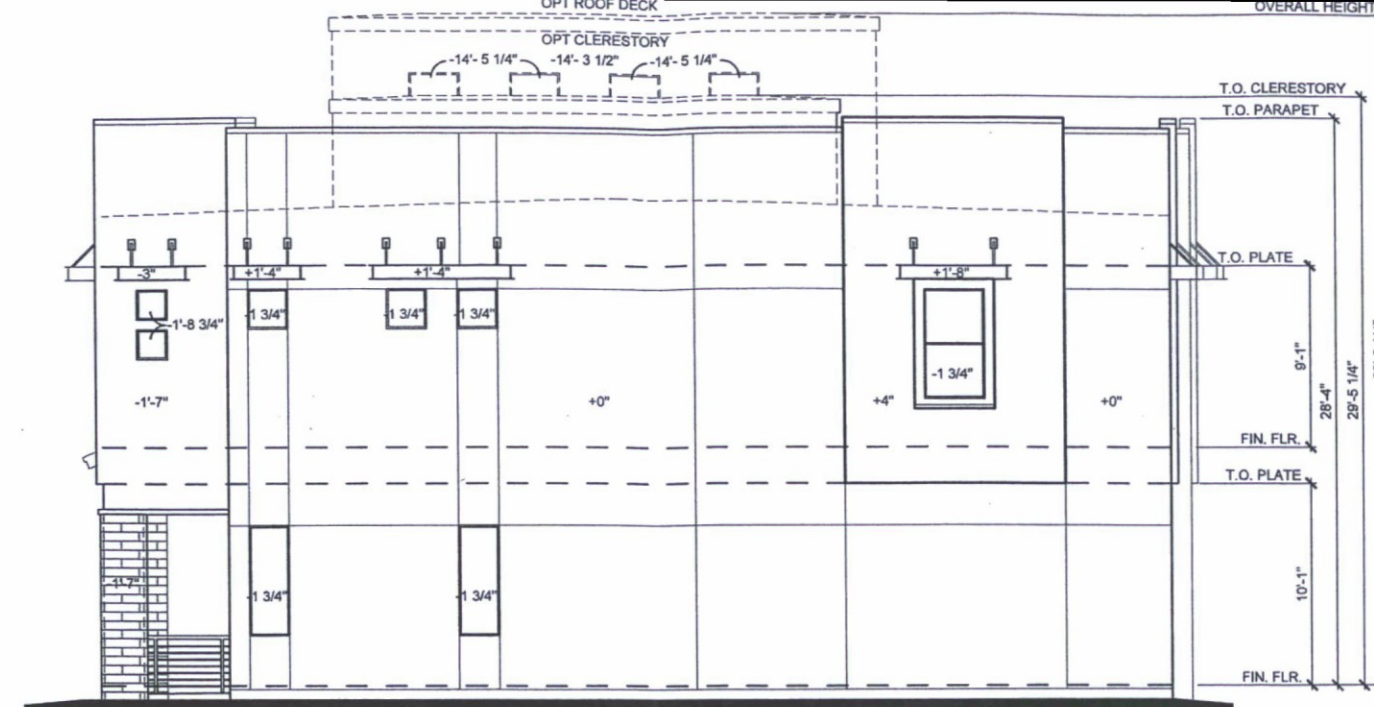
6/7/18
DATE INITIALS

Hudson East-Townhomes | Scottsdale, Arizona

Porchlight Homes

5-25-2018

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Right Elevation

1/4" = 1'-0"

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
6/7/18
DATE



Front Elevation

1/4" = 1'-0"

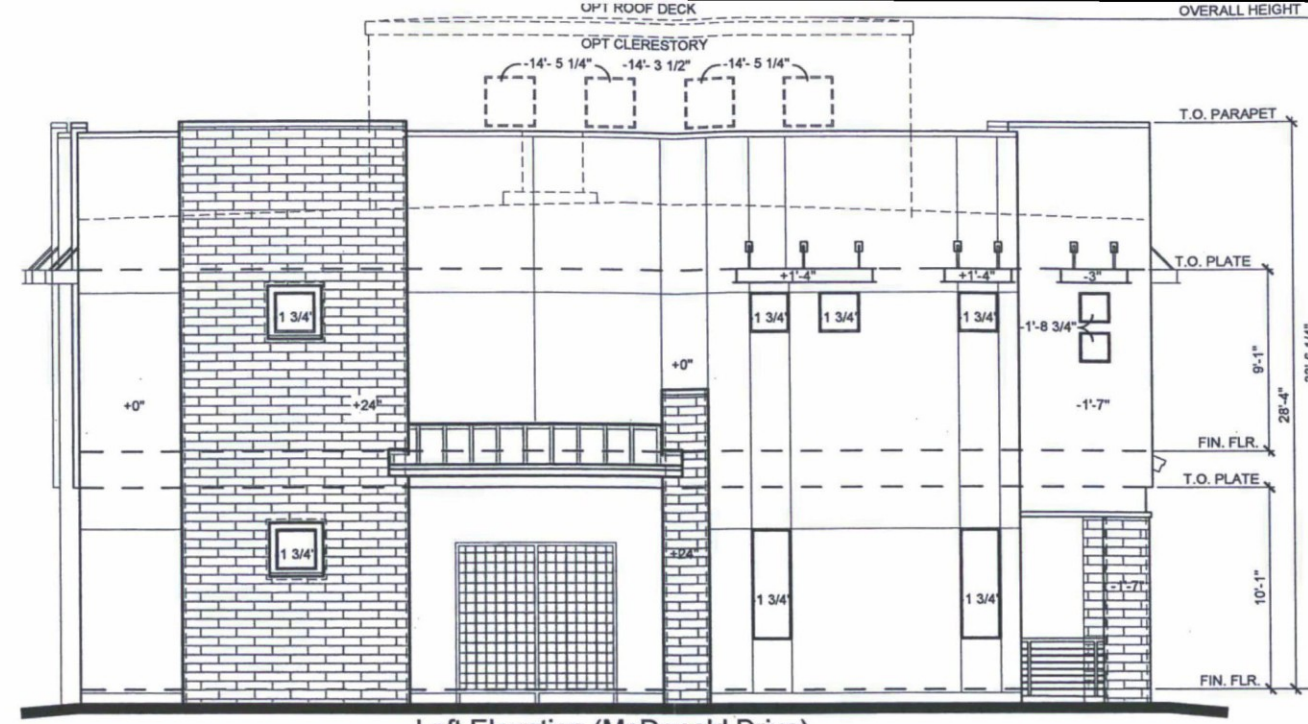
5 Plex Building

Hudson East-Townhomes | Scottsdale, Arizona

5-25-2018

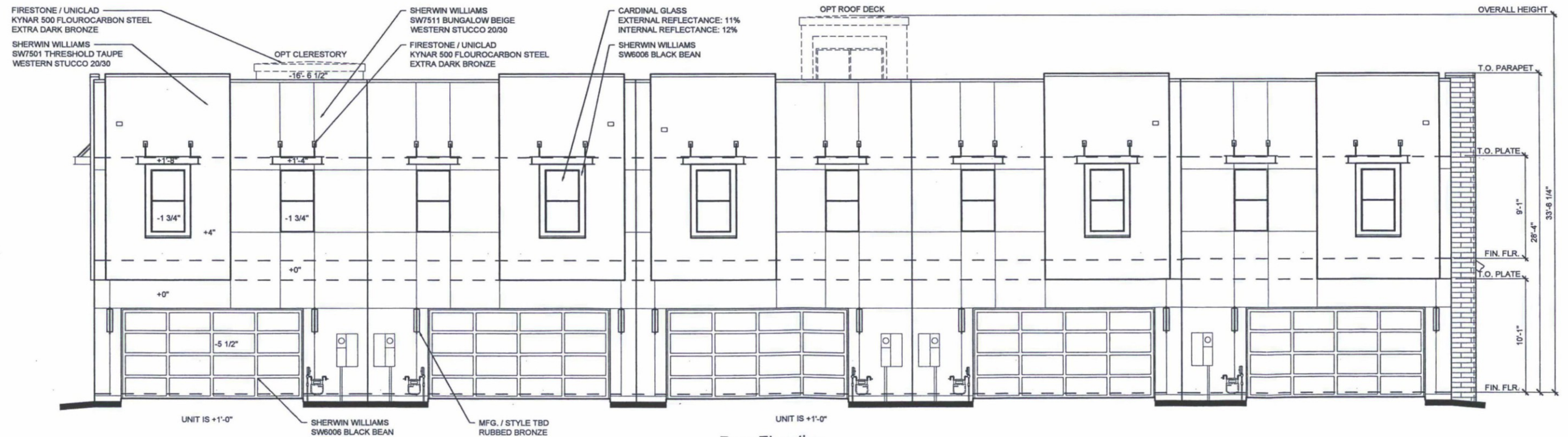
Porchlight Homes

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Left Elevation (McDonald Drive)
1/4" = 1'-0"

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
6/2/18
DATE INITIALS



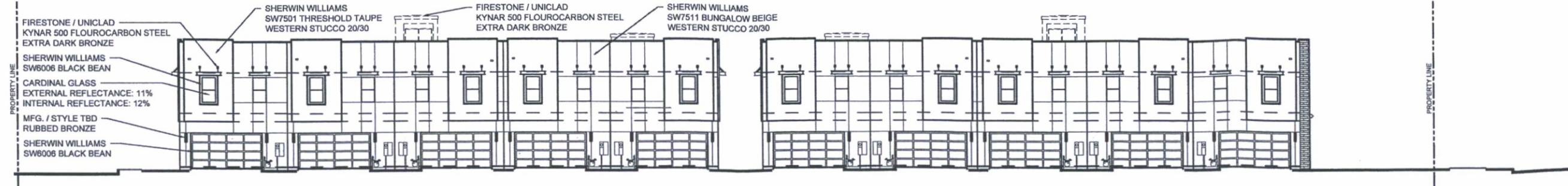
Rear Elevation
1/4" = 1'-0"

5 Plex Building

Hudson East-Townhomes | Scottsdale, Arizona

Porchlight Homes

5-29-2018



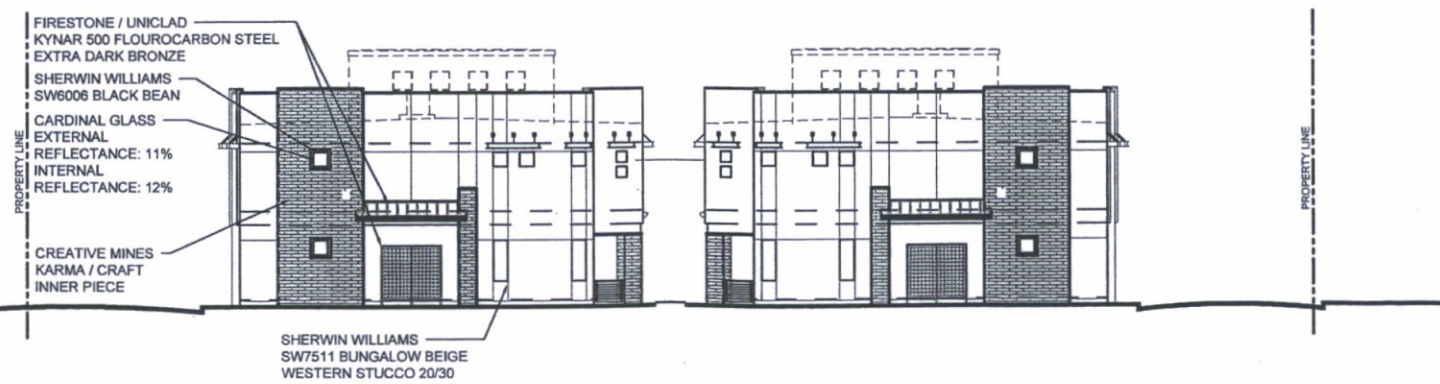
West Elevation
3/32" = 1'-0"



Paseo - Facing East Elevation
3/32" = 1'-0"



East Elevation
3/32" = 1'-0"



Left | South | McDonald Dr Elevation
3/32" = 1'-0"

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
6/7/18
DATE INITIALS

Hudson East-Townhomes | Scottsdale, Arizona

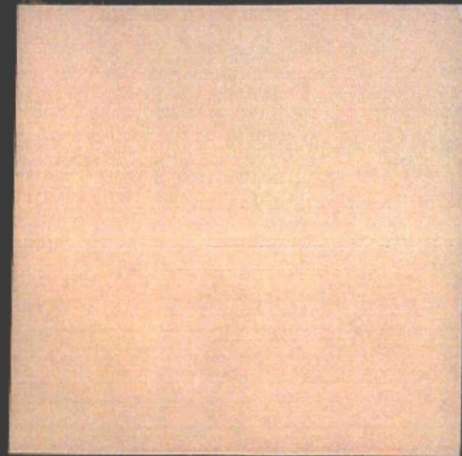
Porchlight Homes



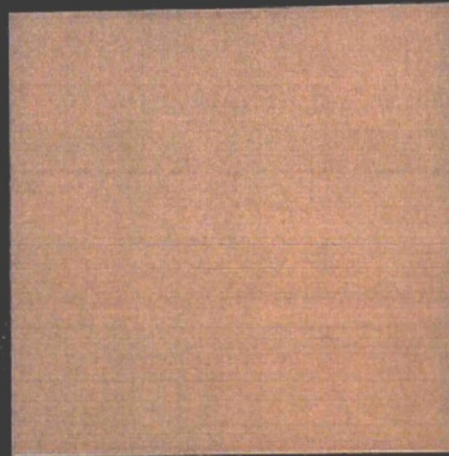
PORCHLIGHT
HOMES

HUDSON EAST
Exterior Color Scheme

8-DR-2018
03/13/18



(A) Sherwin Williams
SW7511 Bungalow Beige
LRV 53%



(B) Sherwin Williams
SW7501 Threshold Taupe
LRV 34%

(C) Sherwin Williams
SW7020 Black Fox
LRV 8%

(D) Sherwin Williams
SW6006 Black Bean
LRV 3%

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED

Rev. 3.12.18

6/7/18
DATE

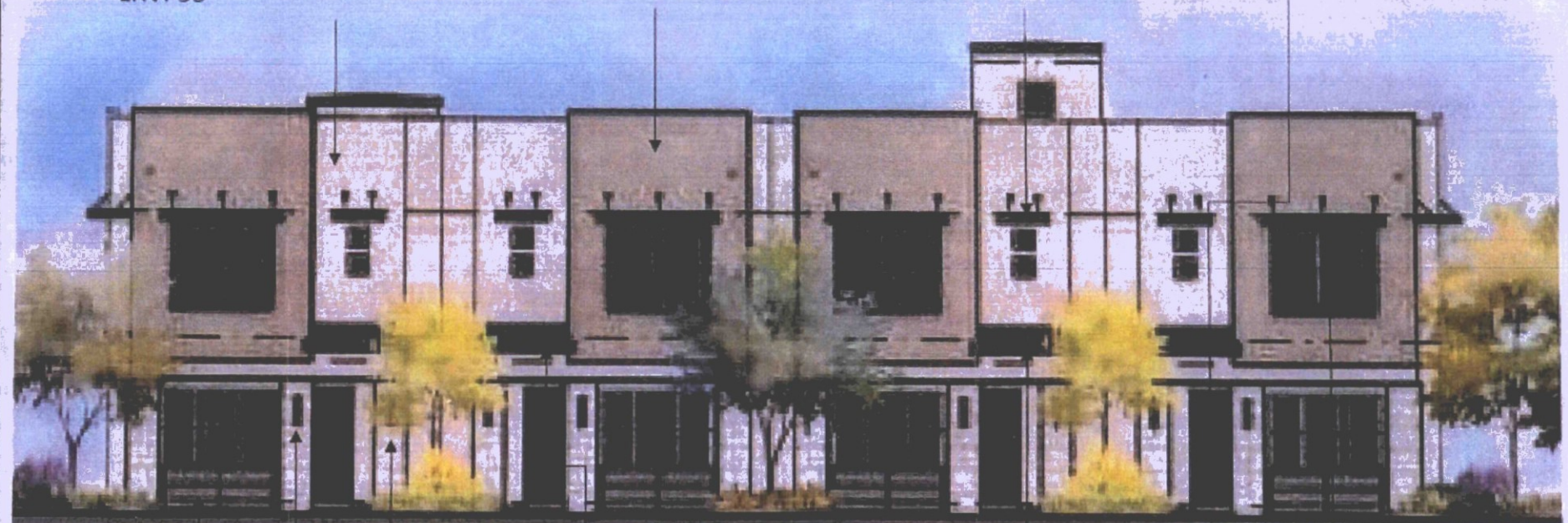
INITIALS

(A) Primary Body Color
Sherwin Williams
SW7511 Bungalow Beige
LRV: 53

(B) Secondary Body Color
Sherwin Williams
SW7501 Threshold Taupe
LRV: 34%

(C) Third Color Accent
Sherwin Williams
SW7020 Black Fox
LRV: 8%

(D) Fourth Accent Color
Sherwin Williams
SW6006 Black Bean
LRV: 3%



(D) Railing and
Coach Light
Sherwin Williams
SW6006 Black Bean
LRV: 3%

(E) Stone:
Creative Mines
Enlighten
Inner Piece

(F) Roof / Awning:
Firestone / Uniclad
Kynar 500 /Flouorocarbon
Steel
Extra Dark Bronze

(G) Stucco:
Western Stucco
20/30 Sand finish

(H) Glass:
Cardinal Glass
LoE366
External Reflectance 11%
Internal Reflectance 12%

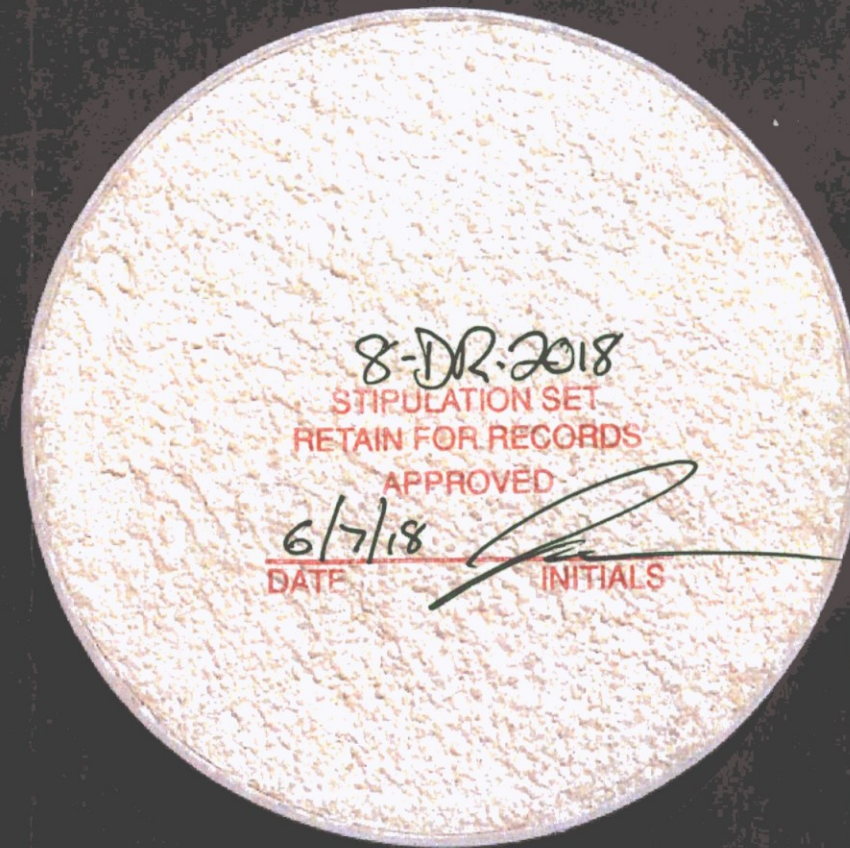


PORCHLIGHT
HOMES

HUDSON EAST
Exterior Color Scheme

8-DR-2018
03/13/18

Rev. 05.30.18



8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
6/7/18
DATE INITIALS

(E)
Creative Mines
Karma
Craft Inner Piece

(F) Firestone / Uniclاد
Kynar 500 Fluorocarbon Steel
Extra Dark Bronze

(G) Western Stucco
20/30

(H) Cardinal Glass
External Reflectance: 11%
Internal Reflectance: 12%



8-DR-2018
STIPULATION TO
RETAIN FOR RECORD
APPROVED
6/7/18
DATE INITIALS



SCALE: 1"=20'-0"

0' 10' 20' 40' 60'

This profile view shows the proposed road grade. The vertical axis represents elevation in feet, with labels at 0, 10, 20, 40, and 60. The horizontal axis represents stationing in feet, with labels at 0, 10, 20, 40, and 60. The profile consists of several segments: a 10-foot segment at 0 feet elevation, a 10-foot segment at 10 feet elevation, a 20-foot segment at 20 feet elevation, a 40-foot segment at 40 feet elevation, and a 60-foot segment at 60 feet elevation. The profile is shown as a series of connected line segments.



HUDSON EAST

LANDSCAPE PLAN

8340 E. McDONALD RD.
MARCH 12, 2018

ALL DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF WRIGHT ENGINEERING CORPORATION AND MAY NOT BE REPRODUCED OR MODIFIED FOR ANY USE WITHOUT THE EXPRESS WRITTEN PERMISSION OF WRIGHT ENGINEERING CORPORATION.

1. ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE (2014), FEDERAL, STATE AND LOCAL JURISDICTION CODES.
2. ALL WORK SHALL BE DONE IN A NEAT, WORKMANLIKE, FINISHED AND SAFE MANNER, ACCORDING TO THE LATEST PUBLISHED NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION STANDARDS OF INSTALLATION, UNDER COMPETENT SUPERVISION.
3. VISIT THE SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND ALL OTHER FACTORS WHICH MAY AFFECT THE EXECUTION OF THIS WORK. INCLUDE ALL RELATED COSTS IN THE INITIAL BID PROPOSAL.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES CAUSED AS A RESULT OF HIS WORK. CALL (800) 243-1100 FOR BLUE STAKES. IRIGATION LINES LESS THAN 2" WILL NOT BE MARKED AND SHALL BE REPAIRED IN KIND BY THE CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC. DAMAGES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
6. PROPER PROTECTION OF THE CONSTRUCTION AREA FOR SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COVER ALL TRENCHES AT THE END OF EACH WORK DAY. BARRICADES SHALL BE INSTALLED AS DIRECTED BY THE OWNER OR THE PROJECT INSPECTOR. THE SITE AND ALL WORK SHALL CONFORM TO OSHA REQUIREMENTS.
7. ALL EXISTING LANDSCAPE, HARDSCAPE AND SPRINKLER SYSTEMS DAMAGED OR DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT BY THE CONTRACTOR SHALL BE REPLACED IN KIND.
8. PROTECT ALL MATERIAL AND EQUIPMENT INSTALLED AGAINST DAMAGE BY OTHER TRADES, WEATHER CONDITIONS OR ANY OTHER CAUSES. EQUIPMENT FOUND DAMAGED OR IN OTHER THAN NEW CONDITION WILL BE REJECTED AS DEFECTIVE. ALL COMPONENTS SHALL BE FREE OF DUST, GRIT AND FOREIGN MATERIALS, AND LEFT AS NEW BEFORE FINAL ACCEPTANCE OF WORK.
9. LEAVE THE SITE CLEAN, REMOVE ALL DEBRIS, EMPTY CARTONS, TOOLS, CONDUIT, WIRE SCRAPS AND ALL MISCELLANEOUS SPARE EQUIPMENT AND MATERIALS USED IN THE WORK DURING CONSTRUCTION.
10. IT IS THE OBLIGATION OF THE CONTRACTOR TO ORGANIZE HIS WORK SO THAT A COMPLETE ELECTRICAL INSTRUMENTATION, AND/OR CONTROL SYSTEM FOR THE FACILITY WILL BE PROVIDED AND SUPPORTED BY ACCURATE SHOP AND RECORD DRAWINGS, AND ALL O & M MANUALS.
11. ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC, BURIED 24" MINIMUM BELOW FINISHED GRADE, UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS.
12. PROVIDE EMT INDOOR AND GRS OUTDOOR FOR ABOVE GROUND CONDUIT, WHERE METALLIC CONDUITS COME IN CONTACT WITH DIRT, THEY SHALL BE HALF LAP WRAPPED WITH SCOTCH 50 TAPE TO 12" AFG. FITTINGS SHALL BE STEEL, THREADED TYPE WITH INSULATED THROATS, SECURELY ATTACH ALL SURFACE MOUNTED CONDUIT EVERY 10 FEET AND WITHIN 3 FEET OF EACH JUNCTION BOX, PER NEC ARTICLE 344.30.
13. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS.
14. ALL FEEDERS AND BRANCH CIRCUIT WIRES SHALL BE COPPER TYPE XHHW (75 DEGREE C) FOR BELOW GRADE INSTALLATIONS (AND CONDUIT RISERS) AND THHN/THWN (75 DEGREE C) FOR ABOVE GRADE INSTALLATIONS. MINIMUM SIZE SHALL BE #12 AWG, UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS. ALL WIRING SHALL BE IN CONDUIT.
15. A SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR (BOND) SHALL BE INSTALLED WITHIN EACH RACEWAY PER NEC CODE.
16. WHEN A PANEL IS SUPPLIED BY A FEEDER OR BRANCH CIRCUIT, ANY INSTALLED GROUNDED CONDUCTOR SHALL NOT BE CONNECTED TO THE EQUIPMENT GROUNDING CONDUCTOR (GEC) OR TO THE GROUNDING ELECTRODE(S) PER NEC ARTICLE 250.32(B).
17. BOND ALL ENCLOSURES PER NEC ARTICLE 250.96.
18. CONTRACTOR SHALL PLAN AND INSTALL WORK IN SUCH A MANNER AS TO CONFORM TO THE STRUCTURE, AVOID OBSTRUCTIONS, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.
19. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, ETC. NECESSARY FOR A COMPLETE AND WORKABLE ELECTRICAL SYSTEM WHETHER OR NOT THESE ITEMS ARE SPECIFICALLY NOTED ON THESE DRAWINGS. INCIDENTAL ITEMS NOT INDICATED ON THE DRAWINGS, NOR MENTIONED IN SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRRED TO BELONG TO THE WORK DESCRIBED OR BE NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS THOUGH ITEMIZED HERE IN EVERY DETAIL.
20. CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE ALL LABOR, MATERIAL, TRENCHING, CONDUIT, TRANSFORMER PAD AND OTHER REQUIRED EQUIPMENT PER UTILITY COMPANY PLANS AND SPECIFICATIONS. NECESSARY FOR A COMPLETE UNDERGROUND CONDUIT SYSTEM FROM THE UTILITY MAIN SERVICE TO THE UTILITY CO. TRANSFORMER AND FROM THE UTILITY CO. TRANSFORMER TO THE ELECTRICAL SERVICE ENTRANCE SECTION.
21. ALL TRENCHING, CONDUITS, ETC. SHALL BE ROUTED AND INSTALLED IN SUCH A MANNER THAT WILL NOT DAMAGE EXISTING FACILITIES. SHOULD DAMAGE OCCUR, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR DAMAGE TO THE SATISFACTION OF THE OWNER OR INSPECTOR.
22. ALL CONDUIT RUNS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE. THE CONTRACTOR SHALL MAKE SURE THAT ALL CONDUIT, ETC. FALLS WITHIN THE CONSTRUCTION AREA/RIGHT OF WAY. (THIS INCLUDES MAINTAINING ALL REQUIRED CLEARANCES.)
23. WHEN CROSSING PATHWAYS OR SIDEWALKS, CONTRACTOR SHALL BORE UNDER EXISTING CONCRETE WALKS AND SAWCUT ASPHALT WALKS. ASPHALT WALKS SHALL BE REPLACED IN KIND.
24. CONTRACTOR SHALL GUARANTEE WORK INSTALLED UNDER THE CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS, USUAL WEAR EXPECTED, AND SHOULD ANY SUCH DEFECTS DEVELOPED WITHIN A PERIOD OF ONE YEAR ACCEPTANCE OF THE PROJECT BY THE OWNER, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DEFECTIVE ITEMS AND DAMAGE RESULTING FROM FAILURE OF THESE ITEMS, AT NO EXPENSE WHATSOEVER TO THE OWNER.
25. CONTRACTOR SHALL IDENTIFY SERVICE ENTRANCE SECTION MAIN SERVICE DISCONNECT(S) WITH 3/32-INCH THICK ENGRAVED PLATING. THE ENGRAVED PLATING SHALL MEET MINIMUM HEIGHT REQUIREMENTS. THE LABELING SHALL INCLUDE PANEL, CIRCUIT NUMBER, "TO" AND "FROM" IDENTIFICATION, AND MARKED "SPARE" WHERE APPLICABLE. WHITE FINISH SURFACE WITH WHITE LETTER ENGRAVING. ATTACH NAMEPLATE TO THE OUTSIDE PANEL FACE WITH TWO STAINLESS STEEL SELF-TAPPING SCREWS. NAMEPLATE SHALL READ "SERVICE DISCONNECT" PER NEC ARTICLE 230.70(B).
26. ALL CIRCUITS SHALL BE LEGIBLY IDENTIFIED AT THE PANEL. JUNCTION BOXES AND AT ALL EQUIPMENT IN A PERMANENT MANNER (I.E. ETCHED PLATES, CONDUIT TAG, PERMANENT MARKER, ETC.). THE LABELING SHALL INCLUDE PANEL, CIRCUIT NUMBER, "TO" AND "FROM" IDENTIFICATION, AND MARKED "SPARE" WHERE APPLICABLE.

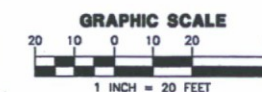
19. CONTRACTOR SHALL TEST ELECTRICAL SYSTEM FOR SHORT CIRCUITS AND MEGGER TEST FEEDERS AND BRANCH CIRCUIT WIRING. CONTRACTOR SHALL INSURE LOW IMPEDANCE GROUND PATH SYSTEM. PROVIDE CERTIFIED TEST RESULTS FOR MEGGER TEST TO OWNER UPON COMPLETION OF PROJECT.
20. CONTRACTOR SHALL PERFORM HIGH POTENTIAL (HIPOT) TESTING.
21. CONTRACTOR SHALL PROVIDE A GROUND-FAULT COORDINATION STUDY AND PERFORM RECOMMENDED SETTINGS ON NEW (AND EXISTING) OVERCURRENT PROTECTION DEVICES. PROVIDE LABELS ON EQUIPMENT INDICATING SETTINGS.
22. CONTRACTOR SHALL PROVIDE AN ARC-FLASH STUDY WHEN REQUIRED BY LOCAL JURISDICTION OR OWNER, PROVIDE ALL APPLICABLE LABELS ON NEW (AND EXISTING) EQUIPMENT AFTER STUDY IS COMPLETED.
23. ALL CONDUIT AND J-BOXES SHOWN SHALL BE CONCEALED WHEN POSSIBLE. WHEN NOT POSSIBLE, CONDUIT AND J-BOXES MAY BE SURFACE MOUNTED WITH PERMISSION OF THE OWNER OR OWNER'S REPRESENTATIVE.
24. CONTRACTOR SHALL COORDINATE ALL EQUIPMENT CONNECTIONS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN. PROVIDE ADDITIONAL FUSED DISCONNECT SWITCHES AND CONTROLS IF OVERCURRENT PROTECTION OR CONTROLS IS NOT INTEGRAL WITH UNITS.
25. ALL EQUIPMENT SHALL BE FUSE SIZED PER MANUFACTURER'S RECOMMENDATIONS AND U.L. APPROVAL.
26. ELECTRICAL DEVICES, DISCONNECT SWITCHES, ETC., SHALL BE SUPPORTED INDEPENDENT OF AND ISOLATED FROM EQUIPMENT VIBRATIONS.
27. FULL LOAD AMPS (FLA) SIZES, AS NOTED IN THESE DRAWINGS, ARE BASED ON SPECIFIED EQUIPMENT DATA. CONTRACTOR SHALL VERIFY NAMEPLATE FLA OF EQUIPMENT SUPPLIED AND COORDINATE ACCORDINGLY PER EQUIPMENT SUPPLIERS RECOMMENDATIONS.
28. ALL OUTDOOR ELECTRICAL EQUIPMENT SHALL BE NEMA-3R OR NEMA-4 ENCLOSURES.
29. CONDUITS OR RACEWAYS ROUTED FROM INDOORS TO OUTDOORS OR AS DESCRIBED IN NEC 300.7(A), SHALL BE SEALED WITH A PLUMBABLE SEALING COMPOUND AT A CONDUIT BODY OR AT A JUNCTION BOX BEFORE THE CONDUIT ENTERS THE COLDER ENVIRONMENT.
30. CONDUITS OR RACEWAYS INSTALLED IN AREAS WHERE ELEVATION CHANGES MAY CAUSE WATER OR MOISTURE TO ENTER THE ELECTRICAL EQUIPMENT THROUGH THE CONDUIT SHALL BE SEALED WITH A HERMETIC CONDUIT SEAL AT BOTH ENDS OF THE CONDUIT OR RACEWAY.
31. INSTALL FIRE SEALS IN ALL CONDUITS PENETRATING THE FIRE WALL TO MAINTAIN THE FIRE RESISTANCE RATING OF THE WALL, AS REQUIRED BY NEC 300.21.
32. ALL POLE LIGHTS SHALL BE PROVIDED WITH A TWO POLE FUSE HOLDER BUSSMANN #16X OR A SINGLE POLE FUSE HOLDER BUSSMANN #16X OR EQUAL FOR INLINE FUSING, PROVIDE SA FUSING ON FUSEHOLDER.
33. PRIOR TO POURING THE POLE BASES OR COVERING ANY ELECTRICAL CONDUITS, CONTACT THE INSPECTION DEPARTMENT 24 HOURS IN ADVANCE FOR APPROVAL.
34. MATERIALS SHALL BE NEW AND OF THE BEST QUALITY WITH MANUFACTURER'S NAME PRINTED THEREON. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH NEMA, ANSI, UNDERWRITER'S LABORATORY OR OTHER APPLICABLE STANDARDS AND RATED FOR HEAVY DUTY SERVICE.
35. ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE. ALL 15 AND 20 AMP, 125 AND 250 VOLT, NONLOCKING RECEPTABLES INSTALLED OUTDOORS SHALL BE LISTED WEATHER-RESISTANT TYPE. ALL WEATHER-PROOF WHILE IN-USE RECEPTABLE COVERS SHALL BE METAL.
36. SELECTION OF MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE DRAWINGS AND/OR SPECIFICATIONS. THE USE OF MANUFACTURER'S NAME, MODEL, AND NUMBER IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, USEFULNESS AND BID PRICE. CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL (PRIOR TO ORDERING MATERIALS) COPIES OF EQUIPMENT SHOP DRAWINGS AS FOLLOWS: 1) LIGHT FIXTURES, 2) POLES, 3) POLE BASES, 4) SERVICE ENTRANCE SECTION, 5) ELECTRICAL EQUIPMENT, 6) DISCONNECT SWITCHES, 7) TIME CLOCKS AND OTHER CONTROLS, 8) LIGHTING CONTACTORS AND 9) PULL BOXES. AT THE TIME OF EACH SUBMITTAL, THE CONTRACTOR SHALL DEFINE AND DELINEATE IN WRITING ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS. THE REVIEW WILL BE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE WORK AND FOR COMPLIANCE WITH THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS. THE REVIEW OF A SPECIFIED ITEM, AS SUCH, WILL NOT INDICATE REVIEW OF THE ASSEMBLY IN WHICH THE ITEM FUNCTIONS. REVIEW BY THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE SUBMITTALS NOR FROM HIS RESPONSIBILITY FOR COMPLYING WITH THE CONTRACT DOCUMENTS.
37. THE SUBMITTALS SHALL BE NEATLY GROUPED AND ORGANIZED. PERTINENT INFORMATION SHALL BE HIGHLIGHTED. AND THE SPECIFIED PRODUCT SHALL BE LISTED. ALL SUBMITTALS SHALL BE COMPLETE AND PRESENTED IN ONE PACKAGE. THE SUBMITTAL SHALL INCLUDE A COMPLETE LIST OF THE EQUIPMENT AND MATERIALS, INCLUDING THE MANUFACTURER'S NAME, PRODUCT SPECIFICATION, DESCRIPTIVE DATA, TECHNICAL LITERATURE, PERFORMANCE CHARTS, CATALOG CODES, INSTALLATION INSTRUCTIONS, AND SPARE PART RECOMMENDATIONS FOR EACH DIFFERENT ITEM OF THE EQUIPMENT SPECIFIED.
38. ALL SPORTS LIGHTING FIXTURES SHALL BE EQUIPPED WITH AN EXTERNAL GLARE SHIELD.
39. ALL FIXTURES AND CROSS ARMS SHALL BE MANUFACTURED AND FACTORY AWIRED BY A SINGLE MANUFACTURER.

This architectural floor plan shows a rectangular building with a central vertical corridor. The building is divided into several rooms, each labeled with a letter. The central corridor is labeled 'C' at the top and 'B' at the bottom. The rooms on the left side are labeled 'C' and the rooms on the right side are labeled 'C'. The plan includes various architectural details such as doors, windows, and furniture. There are also labels 'A' and 'B' at the top and bottom of the plan, indicating specific areas or entrances. The plan is drawn with solid lines for walls and dashed lines for doors and windows. The rooms are arranged in a symmetrical pattern around the central corridor.

LIGHT FIXTURE SCHEDULE

LIGHT FIXTURE SCHEDULE									
TYPE	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP/ WATTAGE	COLOR TEMPERATURE (CCT)	MOUNTING HEIGHT	FINISH COLOR	DETAIL
A		U.S. ARCHITECTURAL LIGHTING	R2RM/PLED-V-SQ-W/24LED-700MA/WW/120/ RAL-8019-T/HS-PLED	120	53W LED	3000K	20 FEET	DARK BRONZE	INSTALL FACING PAT DETAIL 1 SHEET PH3.1
B		KIM LIGHTING	PA7R-FT-LV-5-12L-020-3K7	120	22W LED	3000K	3.5 FEET	DARK BRONZE	BOLLARD DETAIL 2 SHEET SE3.1
C		PROGRESS LIGHTING	P5641-2030K	120	29W LED	3000K	7 FEET	DARK BRONZE	COACH LIGHT DETAIL 3 SHEET SE3.1

8-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
6/7/18
DATE INITIAL



WRIGHT ENGINEERING
PROJECT NO:
17428

DESIGN BY: BHT

DRAWN BY: KES

CHECKED BY:

WRIGHT
engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA, 85225
PHONE 480.497.5829 • FAX 480.497.5907

PROJECT: TITLE:

SCOTTSDALE, ARIZONA
HUDSON EAST
MCDONALD RD

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NOT FOR
CONSTRUCTION

DRAWING NO.
SE1.1
OF --

LIGHT FIXTURE SCHEDULE										
TYPE	SYMBOL	MANUFACTURER	CATALOG #	VOLTS	LAMP/ WATTAGE	COLOR TEMPERATURE (CCT)	MOUNTING HEIGHT	FINISH COLOR	DETAIL	
A		U.S. ARCHITECTURAL LIGHTING	R2RM/PLED-V-SQ-W/24LED-700MA/WW/120/ RAL-8019-T/HS-PLED	120	53W LED	3000K	20 FEET	DARK BRONZE	INSTALL FACING PA DETAIL 1 SHEET PH.3.1	
B		KIM LIGHTING	PA7R-FT-LV-5-12L-020-3K7	120	22W LED	3000K	3.5 FEET	DARK BRONZE	BOLLARD DETAIL 2 SHEET SE.3.1	
C		PROGRESS LIGHTING	P5641-2030K	120	29W LED	3000K	7 FEET	DARK BRONZE	COACH LIGHT DETAIL 3 SHEET SE.3.1	

PERIMETER SPILL LIGHT
84 points
FOOTCANDLES with meter facing (x,y,z)= -25.4 243.3 6.0
Average 0.1
Maximum 0.6
Minimum 0.0
Avg:Min N/A
Max:Min N/A
Coef Var 1.54

SITE	
365 points at z=0, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES	
Average	1.0
Maximum	11.5
Minimum	0.0
Avg:Min	N/A
Max:Min	N/A
Coef Var	2.03
UnifGrad	N/A

8-DR-2018
STIPULATION SET
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6/7/18
DATE:

INITIALS

WRIGHT ENGINEERING
PROJECT NO:
17428
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DRAWN BY: KES
CHECKED BY:

WRIGHT
engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5829 • FAX 480.497.5807

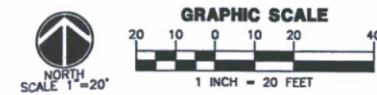
PROJECT: TITLE:

**SCOTTSDALE, ARIZONA
HUDSON EAST
MCDONALD RD
PHOTOMETRIC ANALYSIS**

[illegible]

PRELIMINARY
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CONSTRUCTION

DRAWING NO:
SE2.1
OF --



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LED DRIVER(S)
Consists of a bundle electronic with a power factor of >0.9 and a minimum operating temperature of -40°F . Driver(s) is/are UL and cUL recognized and mounted directly against the Bioelectro Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal, in-line terminal blocks facilitate wiring between the driver and applied array. The standard is an input of 120-277V, 50/60Hz, 347V-480V, 50/60Hz. (0 - 10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaires supplied with 20KV surge protector for field accessible installation.)

LED EMITTERS
High output LED's are utilized with drive currents ranging from 350mA to 1050mA, 70CRI Minimum. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

FINISH
Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

MAST ARM FITTER/ELECTRICAL HOUSING
Replaces standard Electrical Housing. Fits standard 2 3/8" O.D. horizontal tenon. Two (2) straps with two (2) bolts each encircle the lower half of the tenon. Upper half of the tenon rests on self-centering steps that position the angle of the luminaire at 0°, +1.5°, +1.5° or +3° up from the horizontal. All hardware is stainless steel.

U.S. Architectural Lighting



RAZAR
(MODELS: R28A, E21, R29-G & R29-MAF)

PATENT PENDING

[illegible]

FIXTURE	A	B	C	D
RZR-0	16" 406mm	38.5" 978mm	27" 686mm	7" 178mm
RZR	16.75" 425mm	39.25" 997mm	2.5" 64mm	6.5" 165mm
RZR00	11.5" 293mm	22" 559mm	2.5" 64mm	8.25" 210mm
RZR-MAP	12" 305mm	39.38" 999mm	2.5" 64mm	8.25" 210mm

U.S. Limited Inc. MARCH 20 1980

U.S. ARCHITECTURAL

FEATURES • Traditional or Performance Optics • Bluetooth enabled RGBW accent • Integral NEMA 3R Enclosure	• Dual receptacle power panel • FA System capability • IP66 optical system	CERTIFICATIONS
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© 2017 KIM LIGHTING | 17760 Rowland Street | City of Industry | CA 91748
P 626.968.5666 | F 626.380.2405 | www.kimlighting.com | Rev. Dec. 15, 2017

Specifications: P564T-20/30K

Descriptions: **Images:**

eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Construction:

Aluminum Extrusion (3003) (non-magnetic)
Die cast and extruded aluminum construction
metal flange
Fluor-free dimming to 10% brightness with most ELV type dimmers
(See Dimming Notes)
Each photo center a standard 4" integrated recessed outlet box
Mounting strap for outlets has included
8" of wire supplied
New location listed after used with PEX705 lens cover (sold separately)

Dimensions:

Width: 6"
Height: 12"
Depth: 8-7/8"
H/CTR: 4-1/2"

Performance:	
Number of Modules	1
Input Power	25W
Input Voltage	120V
Input Frequency	60Hz
Current (A/PW)	135(46.6A-78) per module
CCT	3000K
CR	90
Life	60,000 (L70/TM-21)
TM/93	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 year warranty
Labels	CE, RoHS, FCC, UL, ENEC, CB, IEC, CSA and WEEE Recycle listed

Catalog number:			
Base	Finish	Color Temp	CRI

P5641	20 - Antique Bronze	30K - 3000K	Blank- 90 CRI
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COTTSDALE, ARIZONA
HUDSON EAST
MCDONALD RD
LIGHTING DETAILS

8

11

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(DESCRIP

REVISIONS

SUBMITTALS/

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PRELIMINARY
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CONSTRUCTION

SE3.1
OF --

