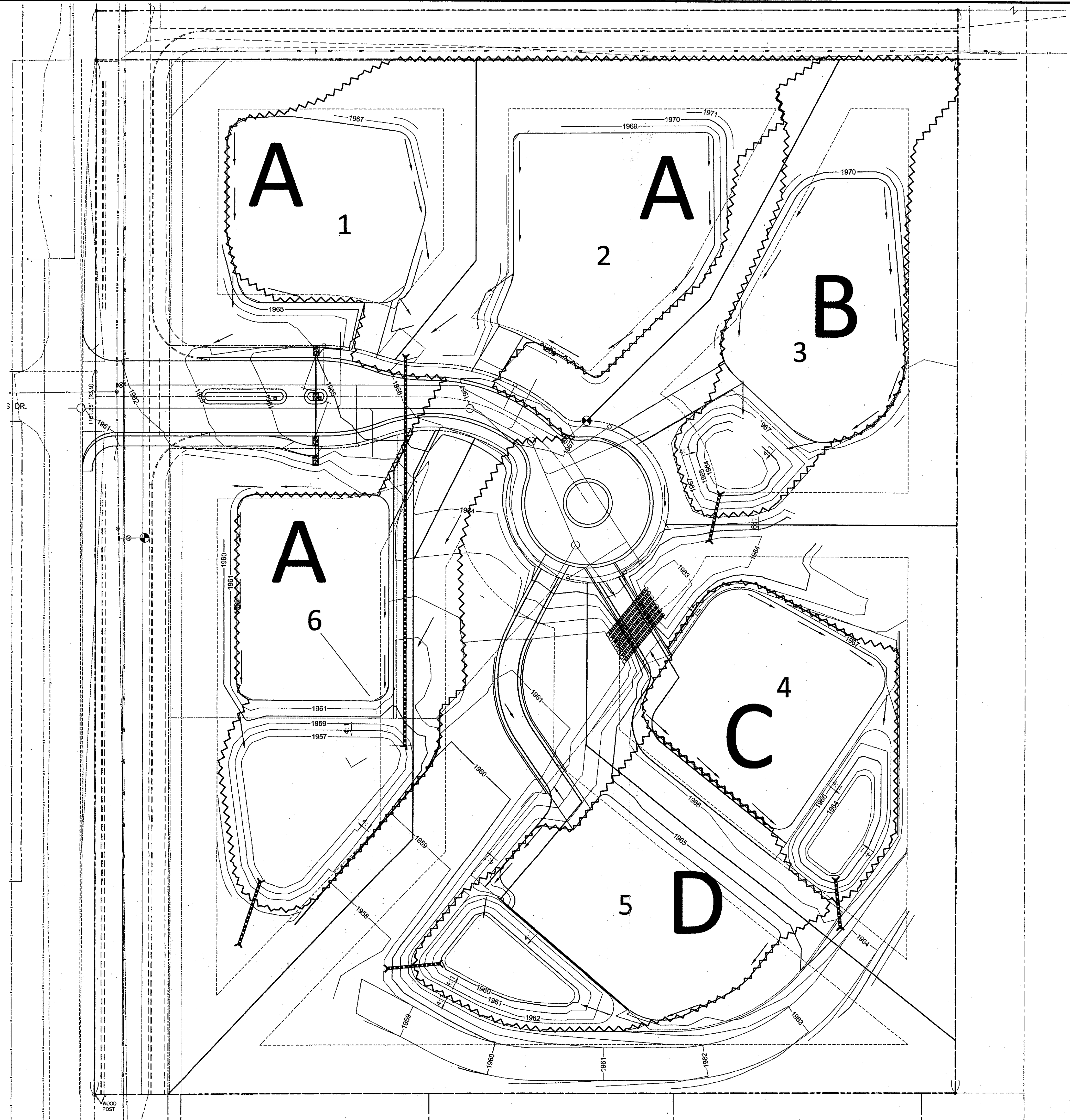




LEGEND

--- DRAINAGE AREA LIMITS

A DRAINAGE AREA DESIGNATION

DESIGN BY: JMG	SHEET TITLE	REV.	DATE	DESCRIPTION	CK BY
DRAWN BY: JAR	PROJECT TITLE	△			
CHK'D BY: JMG		△			
DATE: OCTOBER 2017		△			
SCALE:		△			
EEC NO 16534		△			
DRAWING NO		△			
OF		△			

civil engineering • land development
surveying • environmental services
water resources • flood control and drainage
transportation

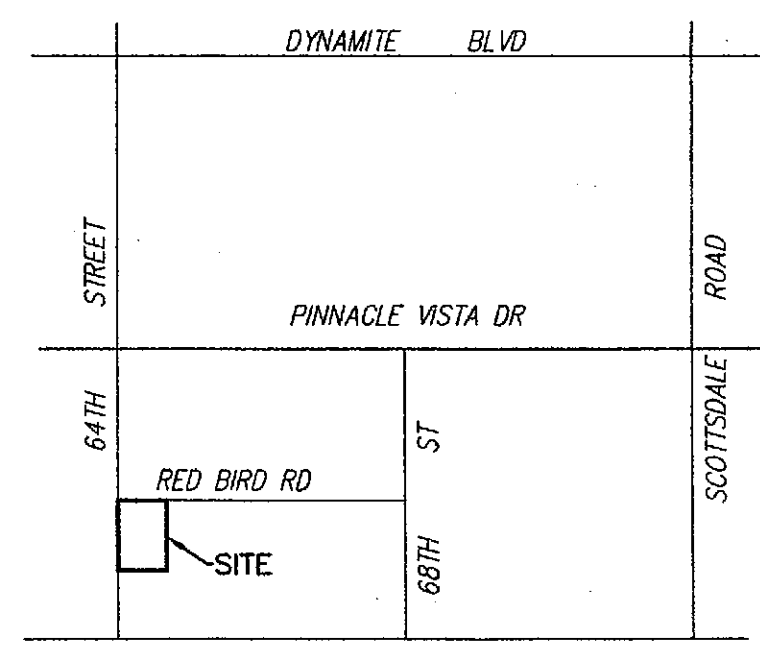
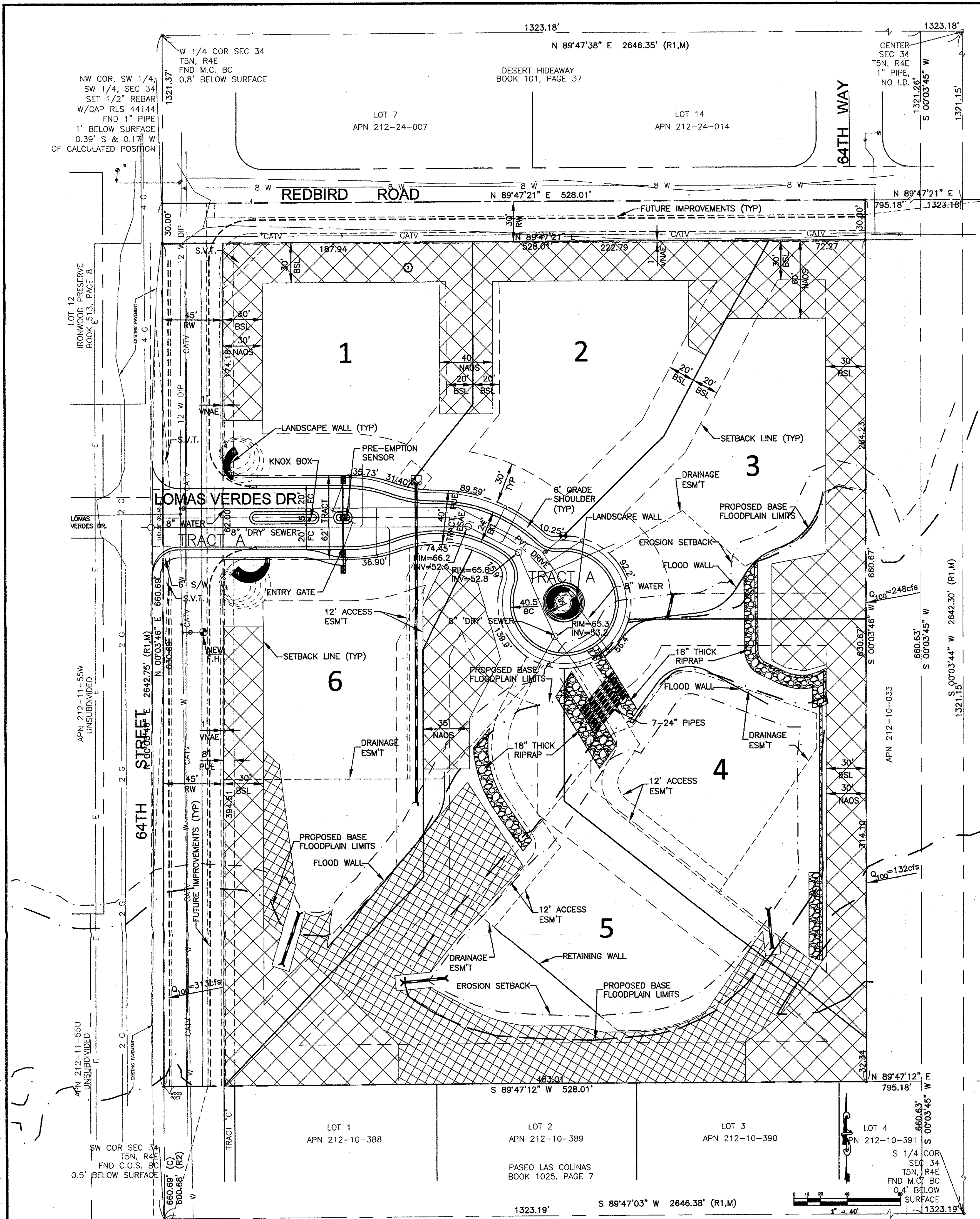
EEC

Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.246.7702 | Fax 602.248.7851

LOMAS VERDES ESTATES
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

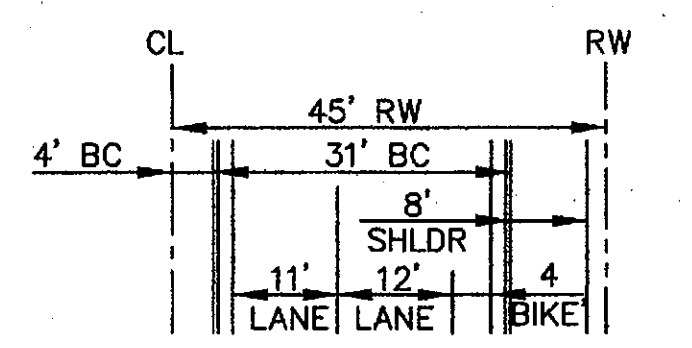
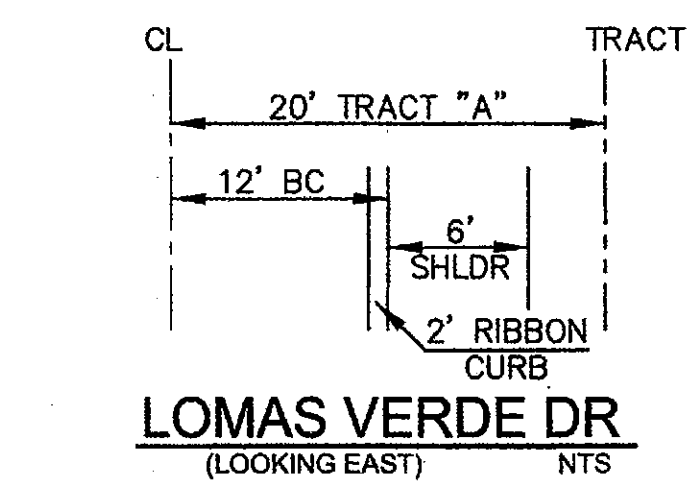
LOCATED IN SECTION 34,
T 5 N, R 4 E, Q&SRM, MARICOPA COUNTY, ARIZONA

5-PP-16 903-PA-2016 OS: 49-43

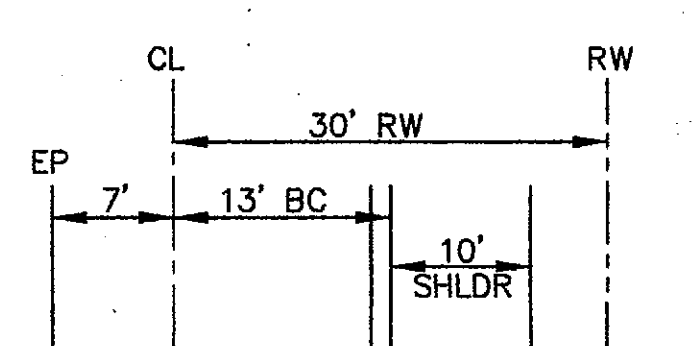


VICINITY MAP

LOMAS VERDES ESTATES - new				
LOT				
#	Area	Estimated Pad	Acres	% Pad
1	31,875	12,459	0.7317	39.09%
2	35,209	15,361	0.8083	43.63%
3	42,086	13,282	0.9662	31.56%
4	49,570	12,923	1.1380	26.07%
5	76,666	13,404	1.7600	17.48%
6	49,166	11,595	1.1287	23.58%
Net	304,617		6.9930	
Gross	348,838		8.0082	
Int R/W	20,045		0.4602	
Lot Total	284,572		6.5329	
64th R/W	29,731		0.6825	
RB R/W	14,490		0.3326	
	348,838			
NAOS 1 (prov)	17,923		0.4115	
NAOS 2 (prov)	50,055		1.1491	
NAOS 3 (prov)	6,410		0.1472	
REVEG NAOS 4 (prov)	28,593		0.6564	
REVEG NAOS 5 (prov)	2,261		0.0519	
Provided NAOS	74,388		1.7077	24.42%
Provided Reveg NAOS	15,427	0.2076	0.3542	5.06%
Total Prov NAOS	89,815		2.0619	29.48%
Required NAOS	74,317		1.7061	24.40%
NAOS 1 (req)	66,970		1.5374	
NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	



64TH STREET SECTION (LOOKING NORTH) NTS



REDBIRD ROAD SECTION (LOOKING EAST) NTS

NOTE:

PAVING SHALL BE 83,000 LBS PER DSPM, 2-1.802(3)

PRELIMINARY PLAT FOR LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

ENGINEER

ENGINEERING AND ENVIRONMENTAL CONSULTANTS
7760 N 16TH STREET, SUITE 135
PHOENIX, AZ 85020
CONTACT: JAKE GRIFFIN
PHONE: (602) 248-7702
EMAIL: JGRIFFIN@EECCORP.COM

OWNER

LOMAS VERDES ESTATES, LLC
7001 E MAIN STREET, SUITE 101
SCOTTSDALE, AZ 85251
PHONE: 480-221-9311
CONTACT: JASON KUSH
EMAIL: JASON.KUSH@JPKUSHANDASSOCIATES.COM

BENCHMARK

CITY OF SCOTTSDALE BENCHMARK 1347, AT THE SOUTHWEST CORNER OF SECTION 34, T5N, R4E. DESCRIBED AS A PK NAIL IN A GLO PIPE, NO CAP, 0.9' ABOVE GROUND.

ELEVATION = 1945.33 (NAVD-88 DATUM)

(NOTE: THE SECTION CORNER IS CURRENTLY A CITY OF SCOTTSDALE BRASS CAP WHICH IS DESCRIBED IN THE GDAC SURVEY RECORDED IN BOOK 640, PAGE 6, WITH AN ELEVATION OF 1945.36 (0.03' DIFFERENCE)

THE ELEVATION OF 1945.33 WAS USED FOR THIS SURVEY.

PARCEL INFORMATION:

GROSS (AS DESCRIBED IN LEGAL DESCRIPTION)
348,834 SQ. FT., 8.0082 ACRES
NET (OF 30' RIGHT-OF-WAY EASEMENT)
332,998 SQ. FT., 7.6446 ACRES
CURRENT ZONING - R1-43 (CITY OF SCOTTSDALE)

APN

212-10-003F

LEGAL DESCRIPTION

THE WEST 528 FEET OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

FLOOD ZONE

THE SITE IS LOCATED WITHIN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S (F.E.M.A.) FLOOD INSURANCE RATE MAP #04013C1305 L, DATED OCTOBER 16, 2013.

FLOOD ZONE "X" DEFINED BY F.E.M.A. AS:

"AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

DEDICATION

TRACT "A" IS TO BE DEDICATED AS A "EMERGENCY SERVICES ACCESS EASEMENT", "PUBLIC UTILITIES EASEMENT" AND A "REFUSE COLLECTION EASEMENT" FOR THE CITY OF SCOTTSDALE.

LEGEND

- PROPOSED NAOS
- PROPOSED REVEGETATED NAOS
- PROPOSED RIPRAP PROTECTION
- BSL BUILDING SETBACK
- DE DRAINAGE EASEMENT



DESIGN BY: JMG

DRAWN BY: JAR

CHK'D BY: JMG

DATE: OCTOBER 2017

SCALE:

EEC NO: 16534

DRAWING NO:

31682 JAMES M. GRIFFIN
Professional Engineer
Arizona, USA (EIT)
Expires: 9/30/18

DESIGN BY: JMG
DRAWN BY: JAR
CHK'D BY: JMG
DATE: OCTOBER 2017
SCALE:
EEC NO: 16534
DRAWING NO:

5-PP-16 903-PA-2016 QS: 49-43

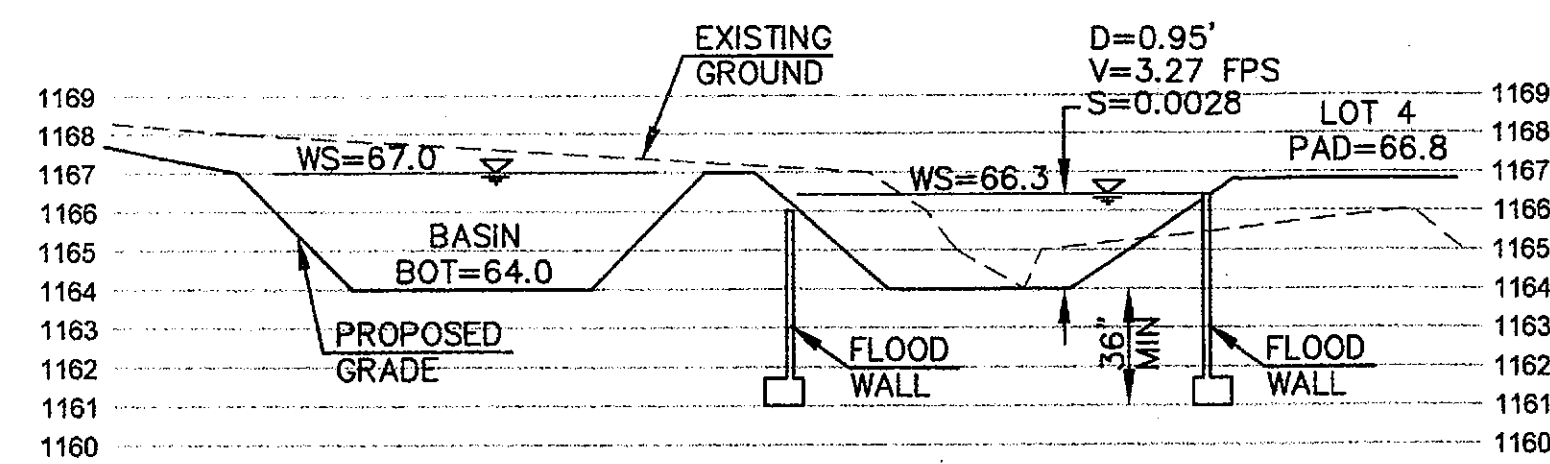
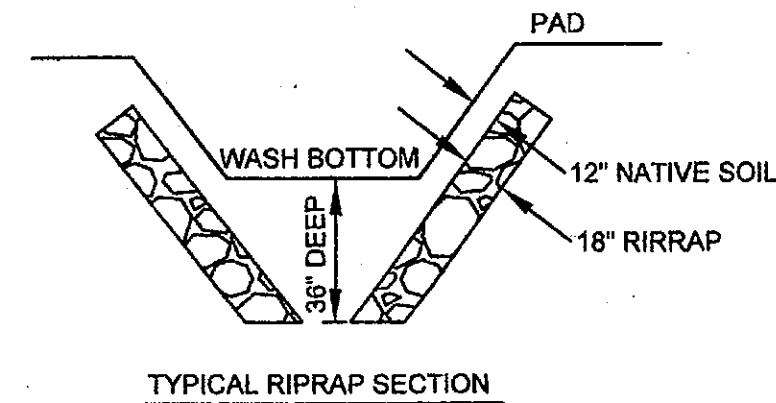
oil engineering • land development
surveying • environmental services
staking • flood control and drainage
transportation

Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851

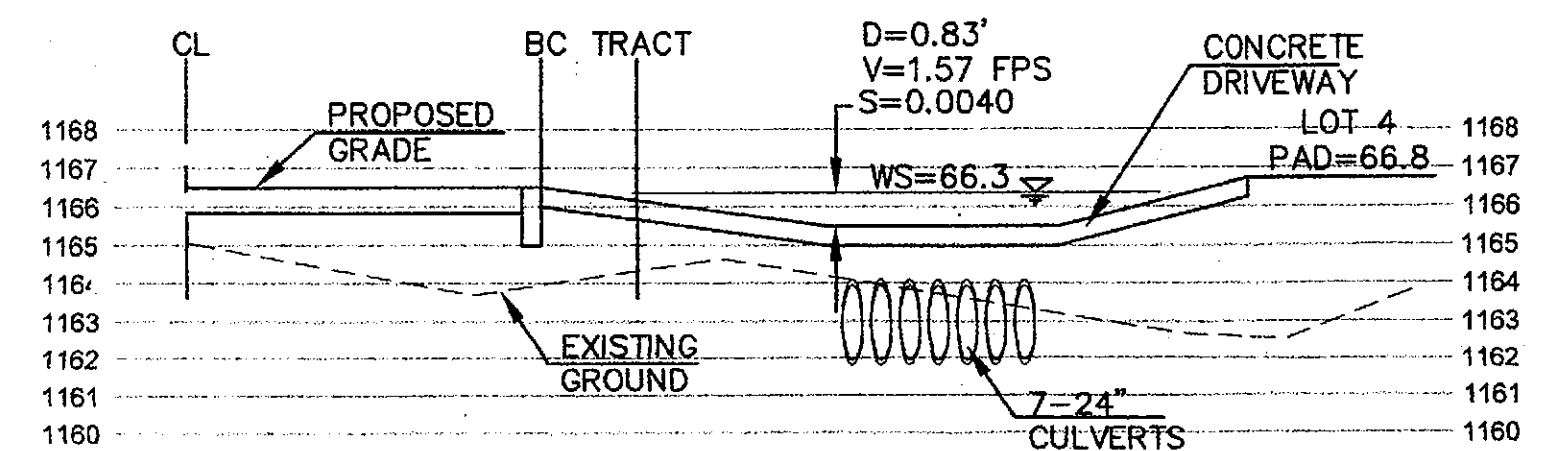
PRELIMINARY GRADING PLAN

FOR LOMAS VERDES ESTATES

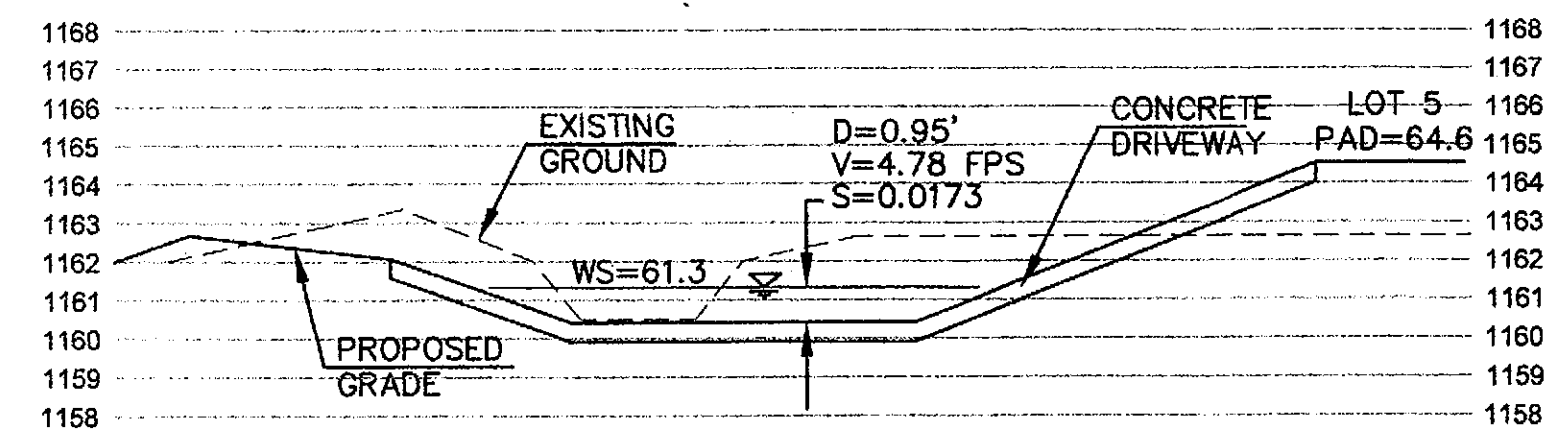
A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



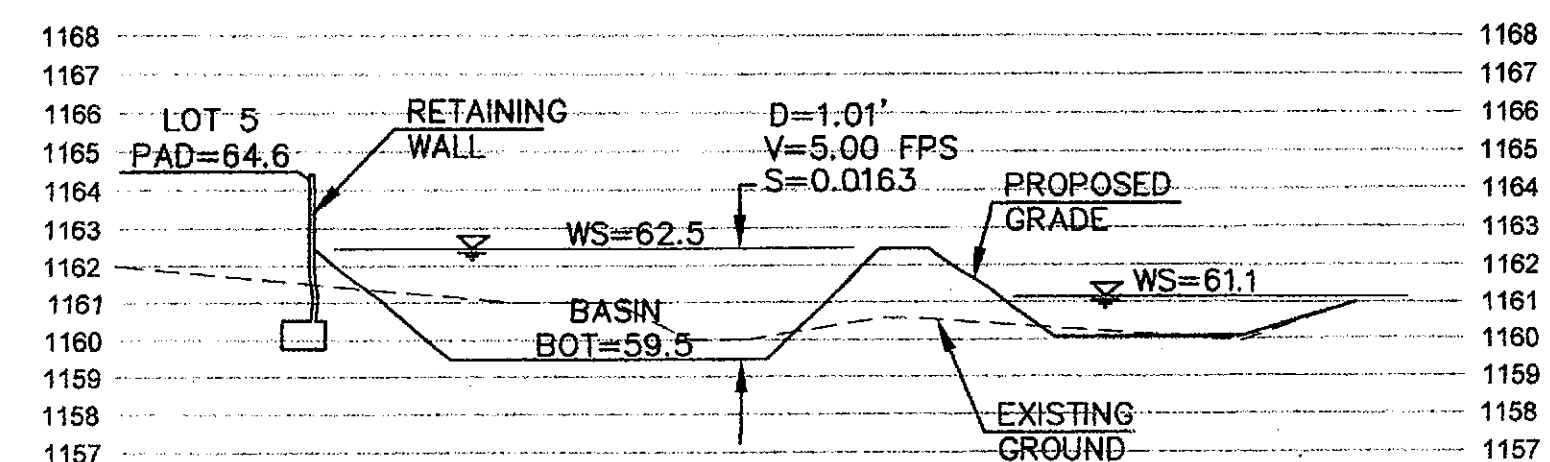
SECTION A-A
SCALE: H-1"=20' / V-1"=5'



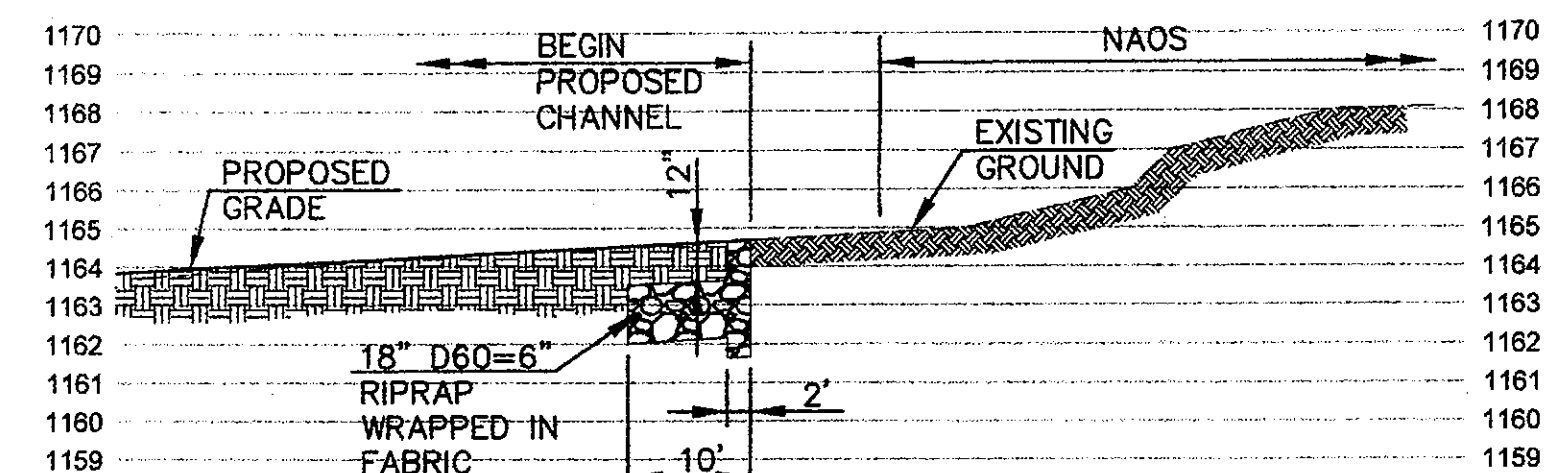
SECTION B-B
SCALE: H-1"=20' / V-1"=5'



SECTION C-C
SCALE: H-1"=20' / V-1"=5'

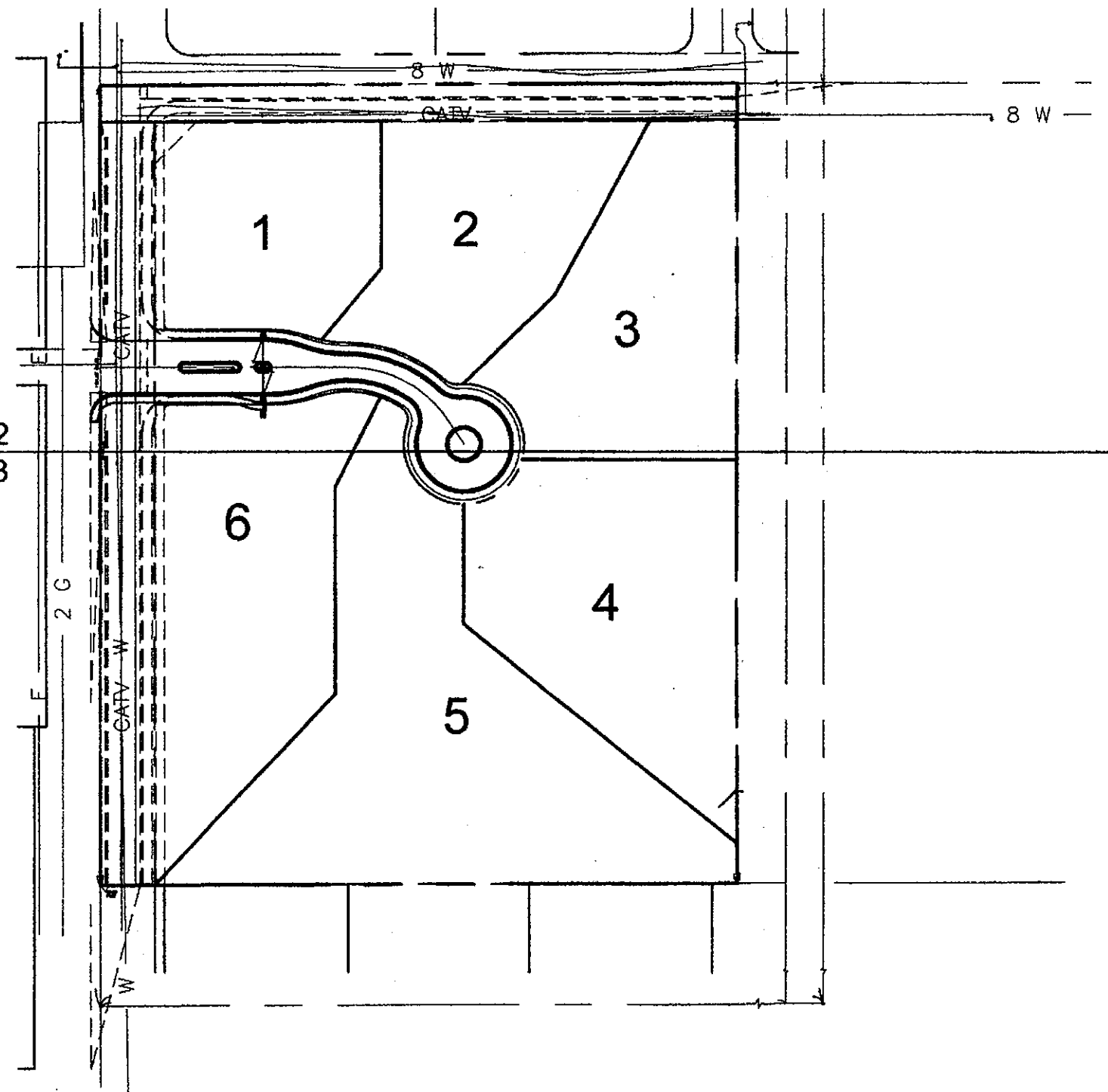


SECTION D-D
SCALE: H-1"=20' / V-1"=5'

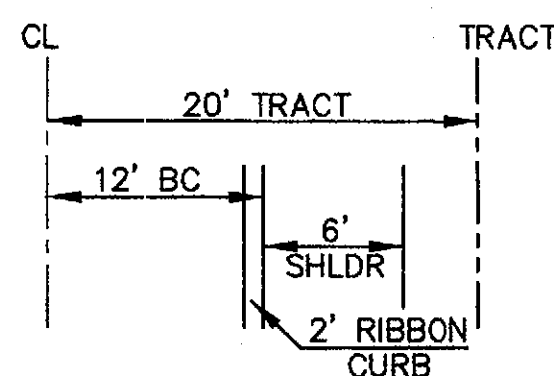


SECTION E-E
SCALE: H-1"=20' / V-1"=5'

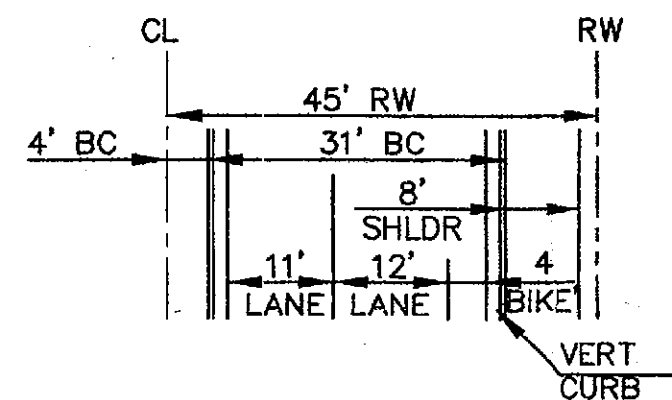
SHEET 2
SHEET 3



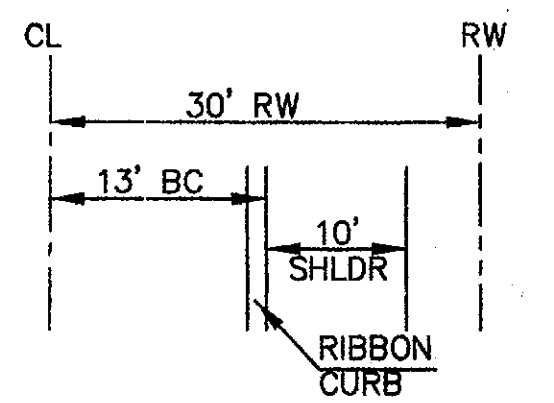
KEY MAP
NTS



LOMAS VERDE DR
(LOOKING EAST)
NTS



64TH STREET SECTION
(LOOKING NORTH)
NTS



REDBIRD ROAD SECTION
(LOOKING EAST)
NTS

LOMAS VERDES ESTATES - new				
LOT				
#	Area	Estimated Pad	Acres	% Pad
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NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	

NOTE:

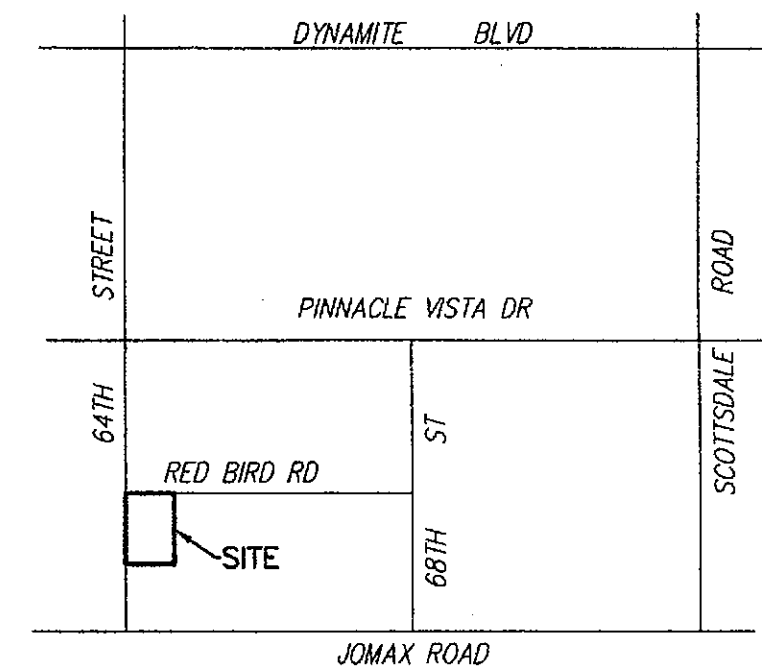
PAVING SHALL BE 83,000 LBS PER DSPM,
2-1.802(3)

LEGEND

- PROPOSED NAOS
- PROPOSED REVEGETATED NAOS
- PROPOSED RIPRAP PROTECTION
- BSL BUILDING SETBACK LINE
- DE DRAINAGE EASEMENT

BASED ON DS&PM
SECTION: 5-3.104
MAJOR COLLECTORS/RURAL

BASED ON DS&PM
SECTION: 5-3.107
LOCAL RESIDENTIAL/RURAL



VICINITY MAP

ENGINEER

ENGINEERING AND ENVIRONMENTAL CONSULTANTS
7760 N 16TH STREET, SUITE 135
PHOENIX, AZ 85020
CONTACT: JAKE GRIFFIN
PHONE: (602) 248-7702
EMAIL: JGRIFFIN@EECCORP.COM

OWNER

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BENCHMARK

CITY OF SCOTTSDALE BENCHMARK 1347, AT THE SOUTHWEST CORNER OF SECTION 34, T5N, R4E. DESCRIBED AS A PK NAIL IN A GLO PIPE, NO CAP, 0.9' ABOVE GROUND.

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NET (OF 30' RIGHT-OF-WAY EASEMENT)
332,998 SQ. FT., 7.6446 ACRES
CURRENT ZONING - R1-43 (CITY OF SCOTTSDALE)

APN

212-10-003F

LEGAL DESCRIPTION

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FLOOD ZONE

THE SITE IS LOCATED WITHIN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S (F.E.M.A.) FLOOD INSURANCE RATE MAP #04013C1305 L, DATED OCTOBER 16, 2013.

FLOOD ZONE "X" DEFINED BY F.E.M.A. AS:

*AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LOMAS VERDES ESTATES
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

LOCATED IN SECTION 34,
T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA

PRELIMINARY GRADING PLAN

old engineering • land development
surveying • road control and drainage
transportation

Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851



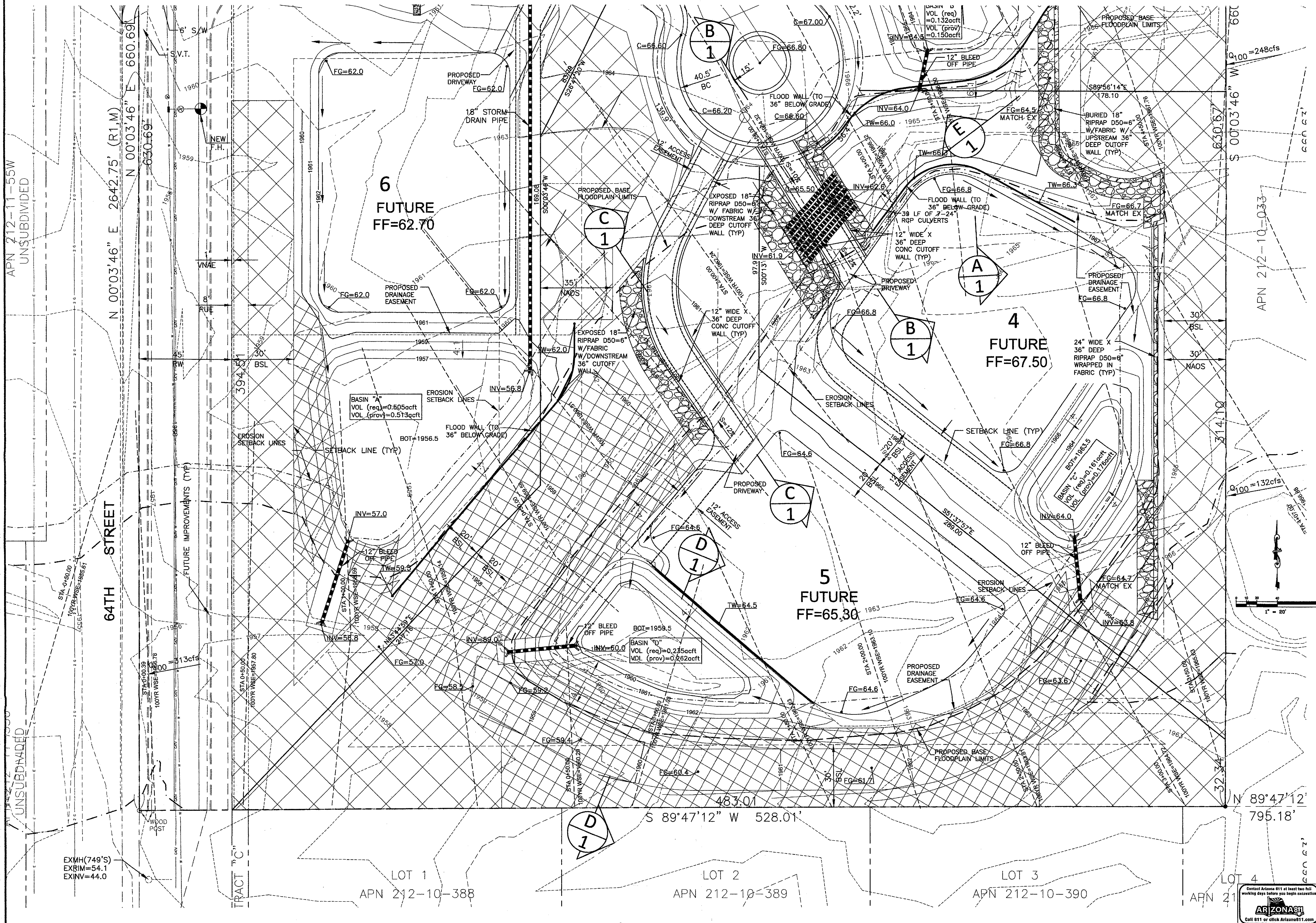
DESIGN BY: JMG
DRAWN BY: JAR
CHK'D BY: JMG
DATE: OCTOBER 2017
SCALE:
EEC NO 16534
DRAWING NO



APN 212-11-55W
UNSUBDIVIDED

UNSUBDIVIDED

SEE SHEET 2 FOR CONTINUATION



CK. BY	
DESCRIPTION	
REV. DATE	
1	00/03/46" E 660.69'
2	00/03/46" E 660.69'
3	00/03/46" E 660.69'
4	00/03/46" E 660.69'
5	00/03/46" E 660.69'
6	00/03/46" E 660.69'
7	00/03/46" E 660.69'
8	00/03/46" E 660.69'
9	00/03/46" E 660.69'
10	00/03/46" E 660.69'
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13	00/03/46" E 660.69'
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18	00/03/46" E 660.69'
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88	00/03/46" E 660.69'
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90	00/03/46" E 660.69'
91	00/03/46" E 660.69'
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93	00/03/46" E 660.69'
94	00/03/46" E 660.69'
95	00/03/46" E 660.69'
96	00/03/46" E 660.69'
97	00/03/46" E 660.69'
98	00/03/46" E 660.69'
99	00/03/46" E 660.69'
100	00/03/46" E 660.69'

LOMAS VERDES ESTATES
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

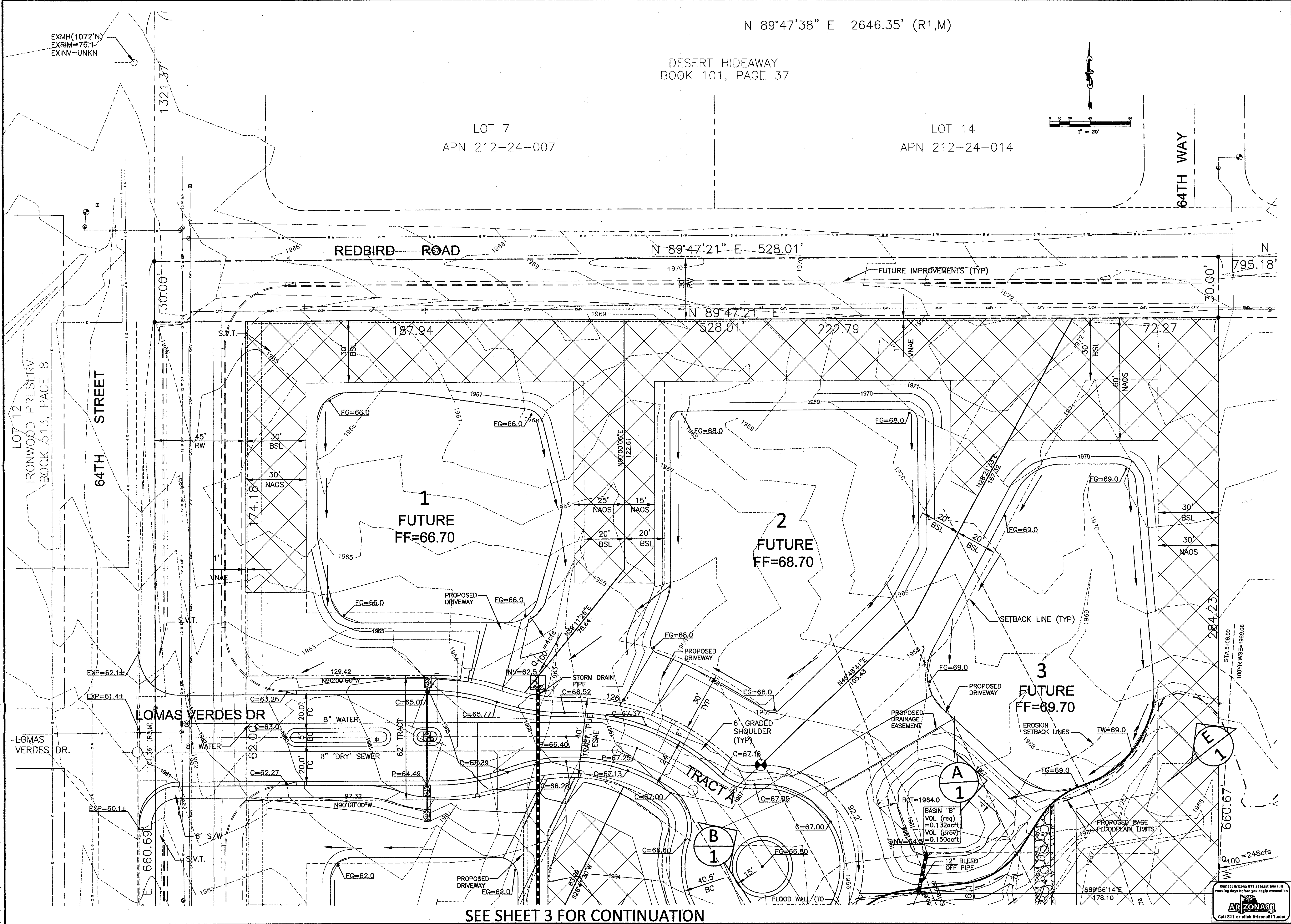
LOCATED IN SECTION 34,
T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA

PRELIMINARY GRADING PLAN

31682
JAMES M. GRIFFIN
Professional Engineer
Arizona, U.S.A.
(No. 0000000000)
Expires: 9/30/18

DESIGN BY: JMG
DRAWN BY: JAR
CHK'D BY: JMG
DATE: OCTOBER 2017
SCALE:
ECC NO: 16534
DRAWING NO:
3 of 3

5-PP-16 903-PA-2016 QS: 49-43



SEE SHEET 3 FOR CONTINUATION

N 89°47'38" E 2646.35' (R1,M)

DESERT HIDEAWAY
BOOK 101, PAGE 37

LOT 7
APN 212-24-007

LOT 14
APN 212-24-014

64TH WAY

REDBIRD ROAD

N 89°47'21" E 528.01'

795.18'

1
FUTURE
FF=66.70

2
FUTURE
FF=68.70

3
FUTURE
FF=69.70

LOMAS VERDES DR

LOMAS VERDES DR.

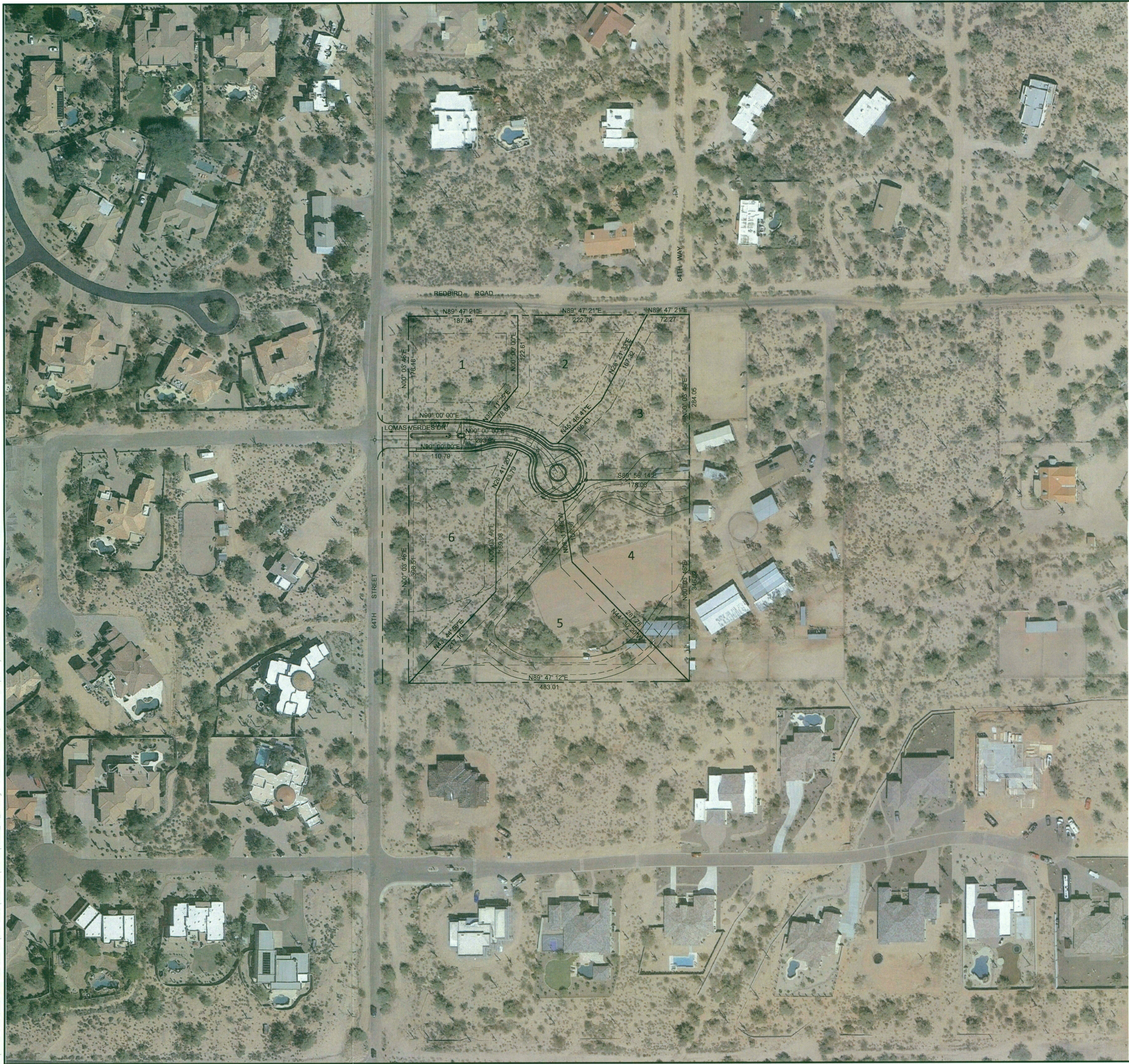
TRACT A

TRACT B

CK BY	
REV	DATE
DESCRIPTION	
LOMAS VERDES ESTATES 6501 E. REDBIRD ROAD, SCOTTSDALE, AZ	
PRELIMINARY GRADING PLAN	
Engineering and Environmental Consultants, Inc. 31682 JAMES M. GRIFFIN 7740 N. 14th Street, Suite 135 Phoenix, Arizona 85020 Tel 602.248.7702 Fax 602.248.7851	
DESIGN BY: JMG	
DRAWN BY: JAR	
CHK'D BY: JMG	
DATE: OCTOBER 2017	
SCALE:	
EEC NO 16534	
DRAWING NO	
2 OF 3	

5-PP-16 903-PA-2016 QS: 49-43

N:\16534 64th Street and Red Bird Rd\900 CAD\DWG\16534 01 CA.dwg Plotter: Jan 26, 2017 - 2:11pm Fabricator

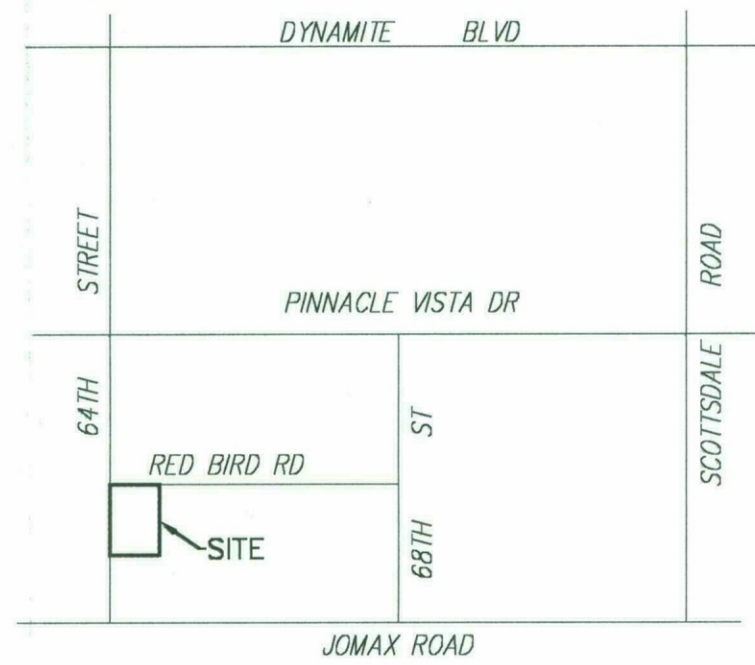


CONTEXT AERIAL/SITE

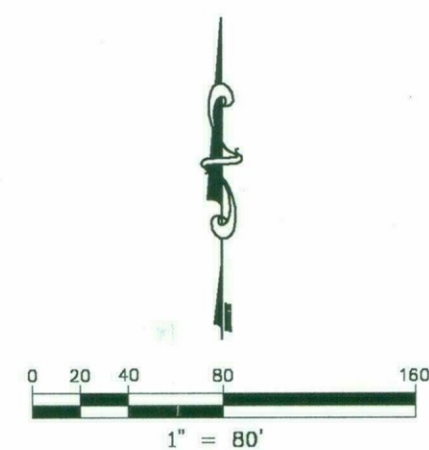
FOR

LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP



5-PP-2017
02/03/2017



DESIGN BY:	JMG
DRAWN BY:	JAR
CHK'D BY:	JMG
DATE:	OCTOBER 2016
SCALE:	
EEC NO	16534
DRAWING NO	

1 OF 1

civil engineering • land development
surveying • environmental services
staking • flood control and drainage
transportation

EEC
Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851



PROJECT TITLE	CONTEXT AERIAL/SITE
SHEET TITLE	

LOMAS VERDES ESTATES
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ
LOCATED IN SECTION 34,
T 5 N, R 4 E, Q&SRM, MARICOPA COUNTY, ARIZONA

REV.	DATE	DESCRIPTION
5	02/03/2017	
4		
3		
2		
1		

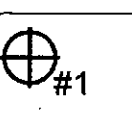


NATIVE PLANT INVENTORY

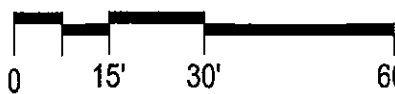
#	BOTANICAL NAME	STATUS	CALIPER	HEIGHT / WIDTH / COMMENTS
1	CARNEGIEA GIGANTEA	RIP		15' / BUTTONS
2	CARNEGIEA GIGANTEA	RIP		15' / ARMS
3	CERCIDIUM MICROPHYLLA	RIP	14"	16' H / 20' W
4	CARNEGIEA GIGANTEA	RIP		18' / ARMS
5	CARNEGIEA GIGANTEA	RIP		14' / ARMS
6	CARNEGIEA GIGANTEA	RIP		18' / ARMS
7	CARNEGIEA GIGANTEA	RIP		16' / ARMS
8	CARNEGIEA GIGANTEA	RIP		12' / SPEAR
9	CARNEGIEA GIGANTEA	RIP		4' / SPEAR
10	OLNEYA TESOTA	RIP	16"	18' H / 22' W
11	CERCIDIUM MICROPHYLLA	RIP	14"	15' H / 20' W
12	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
13	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
14	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
15	CARNEGIEA GIGANTEA	RIP		9' / SPEAR
16	CERCIDIUM MICROPHYLLA	RIP	10"	12' H / 18' W
17	CARNEGIEA GIGANTEA	RIP		16' / ARMS
18	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
19	CERCIDIUM MICROPHYLLA	RIP	4"	8' H / 8' W
20	OLNEYA TESOTA	RIP	36"	18' H / 20' W
21	CARNEGIEA GIGANTEA	RIP		14' / ARMS
22	CARNEGIEA GIGANTEA	RIP		7' / SPEAR
23	CARNEGIEA GIGANTEA	RIP		15' / ARMS
24	FEROCACTUS SPP.	RIP		4'
25	CERCIDIUM MICROPHYLLA	RIP	12"	10' H / 12' W
26	CARNEGIEA GIGANTEA	RIP		12' / SPEAR
27	CERCIDIUM MICROPHYLLA	RIP	14"	18' H / 20' W
28	CARNEGIEA GIGANTEA	RIP		16' / ARMS
29	CERCIDIUM MICROPHYLLA	RIP	10'	12' H / 20' W
30	CARNEGIEA GIGANTEA	RIP		14' / ARMS
31	CARNEGIEA GIGANTEA	RIP		10' / SPEAR
32	CARNEGIEA GIGANTEA	RIP		6' / SPEAR
33	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
34	CARNEGIEA GIGANTEA	RIP		9' / SPEAR
35	PROSOPIS SPP.	S	7"	10' H / 12' W
36	CARNEGIEA GIGANTEA	S		7' / SPEAR
37	CARNEGIEA GIGANTEA	RIP		7' / SPEAR
38	PROSOPIS SPP.	RIP	10"	15' H / 18' W
39	CARNEGIEA GIGANTEA	RIP		12' / SPEAR
40	CERCIDIUM MICROPHYLLA	RIP	5"	15' H / 15' W
41	CERCIDIUM MICROPHYLLA	RIP	4"	10' H / 6' W
42	CERCIDIUM MICROPHYLLA	RIP	8"	13' H / 18' W
43	OLNEYA TESOTA	RIP	36"	25' H / 25' W
44	CARNEGIEA GIGANTEA	RIP		22' / ARMS
45	CERCIDIUM MICROPHYLLA	RIP	12"	13' H / 15' W
46	OLNEYA TESOTA	RIP	36"	22' H / 25' W
47	CARNEGIEA GIGANTEA	S		10' / SPEAR
48	CARNEGIEA GIGANTEA	S		10' / SPEAR
49	CARNEGIEA GIGANTEA	S		10' / SPEAR
50	CERCIDIUM MICROPHYLLA	S	10"	15' H / 18' W
51	CERCIDIUM MICROPHYLLA	NS / D	8"	18' H / 15' W / DIEBACK
52	CERCIDIUM MICROPHYLLA	S	10"	16' H / 18' W
53	FEROCACTUS SPP.	RIP		3'
54	CARNEGIEA GIGANTEA	RIP		9' / SPEAR
55	CARNEGIEA GIGANTEA	RIP		18' / ARMS
56	CERCIDIUM MICROPHYLLA	RIP	6"	10' H / 10' W
57	CERCIDIUM MICROPHYLLA	RIP	4"	9' H / 6' W
58	CARNEGIEA GIGANTEA	S		5' / SPEAR
59	CARNEGIEA GIGANTEA	S		5' / SPEAR
60	CARNEGIEA GIGANTEA	S		6' / SPEAR
61	CARNEGIEA GIGANTEA	RIP		6' / SPEAR
62	CARNEGIEA GIGANTEA	RIP		6' / SPEAR
63	CERCIDIUM MICROPHYLLA	RIP	14"	22' H / 25' W
64	CARNEGIEA GIGANTEA	RIP		8' / SPEAR
65	CARNEGIEA GIGANTEA	RIP		19' / SPEAR
66	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
67	CERCIDIUM MICROPHYLLA	RIP	14"	18' H / 20' W
68	CARNEGIEA GIGANTEA	RIP		9' / SPEAR
69	CERCIDIUM MICROPHYLLA	RIP	10"	14' H / 14' W
70	CARNEGIEA GIGANTEA	RIP		8' / SPEAR
71	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
72	CARNEGIEA GIGANTEA	RIP		5' / SPEAR
73	CERCIDIUM MICROPHYLLA	RIP	4"	9' H / 10' W
74	CERCIDIUM MICROPHYLLA	RIP	4"	9' H / 10' W
75	CERCIDIUM MICROPHYLLA	RIP	12"	20' H / 20' W
76	CERCIDIUM MICROPHYLLA	RIP	12"	20' H / 20' W
77	OLNEYA TESOTA	RIP	24"	22' H / 25' W
78	CELTIS PALIDA	RIP	4"	10' H / 12' W
79	OLNEYA TESOTA	RIP	7"	15' H / 15' W
80	OLNEYA TESOTA	RIP	14"	20' H / 20' W
81	CERCIDIUM MICROPHYLLA	RIP	8"	13' H / 13' W
82	CELTIS PALIDA	RIP	8"	10' H / 20' W
83	OLNEYA TESOTA	RIP	7"	20' H / 15' W
84	CERCIDIUM MICROPHYLLA	RIP	7"	15' H / 16' W

RIP - REMAIN IN PLACE, S - SALVAGE, NS/D - NON-SALVAGEABLE/ DESTROY

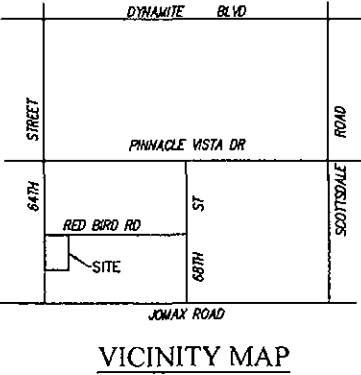
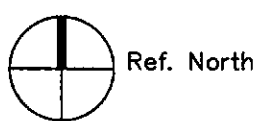
PLANT LEGEND

TREES	QTY	CACTI	QTY
 #1 EXISTING TREE (TO REMAIN) (PROTECT IN PLACE)	33 QTY	 #1 EXISTING CACTI (TO REMAIN) (PROTECT IN PLACE)	40 QTY
 #1 EXISTING TREE (TO BE RELOCATED) (SALVAGE)	3 QTY	 #1 EXISTING CACTI (TO BE RELOCATED) (SALVAGE)	7 QTY
 #1 EXISTING TREE (TO BE REMOVED)	1 QTY	 #1 EXISTING CACTI (TO BE REMOVED)	0 QTY
TOTAL TREES	37 QTY	EXISTING CACTI	47 QTY

NATIVE PLANT INVENTORY PLAN



SCALE: 1"=30'-0"



ENGINEER

EEC
7780 N 16TH STREET, SUITE 135
PHOENIX, AZ 85020
CONTACT: JAKE GRIFFIN
PHONE: (602) 248-7702
EMAIL: JGRIFFIN@EECCORP.COM

OWNER

LOMAS VERDES ESTATES, LLC
7001 E MAIN STREET, SUITE 101
SCOTTSDALE, AZ 85251
PHONE: 480-221-9311
CONTACT: JASON KUSH

PROPOSED SALVAGE CONTRACTOR
NATIVE RESOURCES INTERNATIONAL
623-869-6757



64TH STREET AND RED BIRD ROAD

SCOTTSDALE, ARIZONA

G.K. FLANAGAN
ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
PLANNING

4828 N. 44TH STREET PHOENIX, AZ 85018
802 : 912 : 8891
802 : 912 : 9693



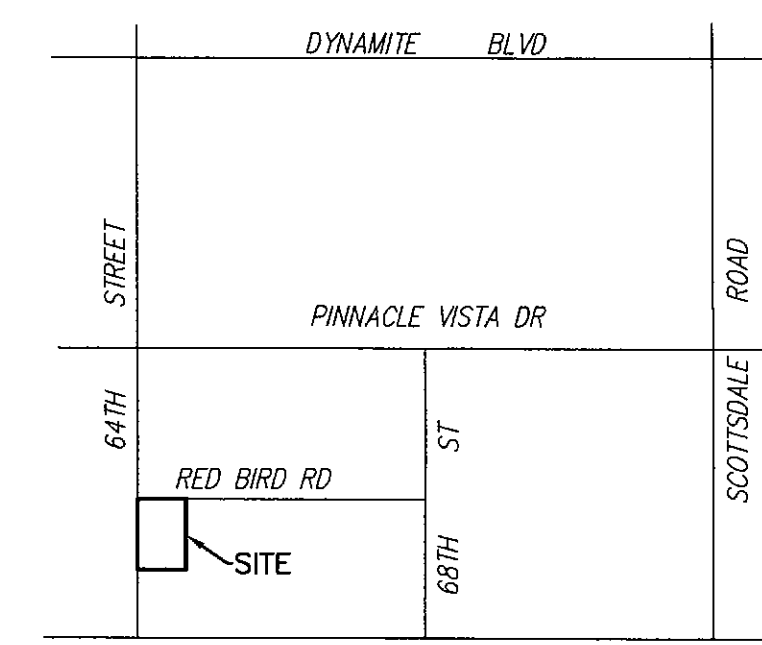
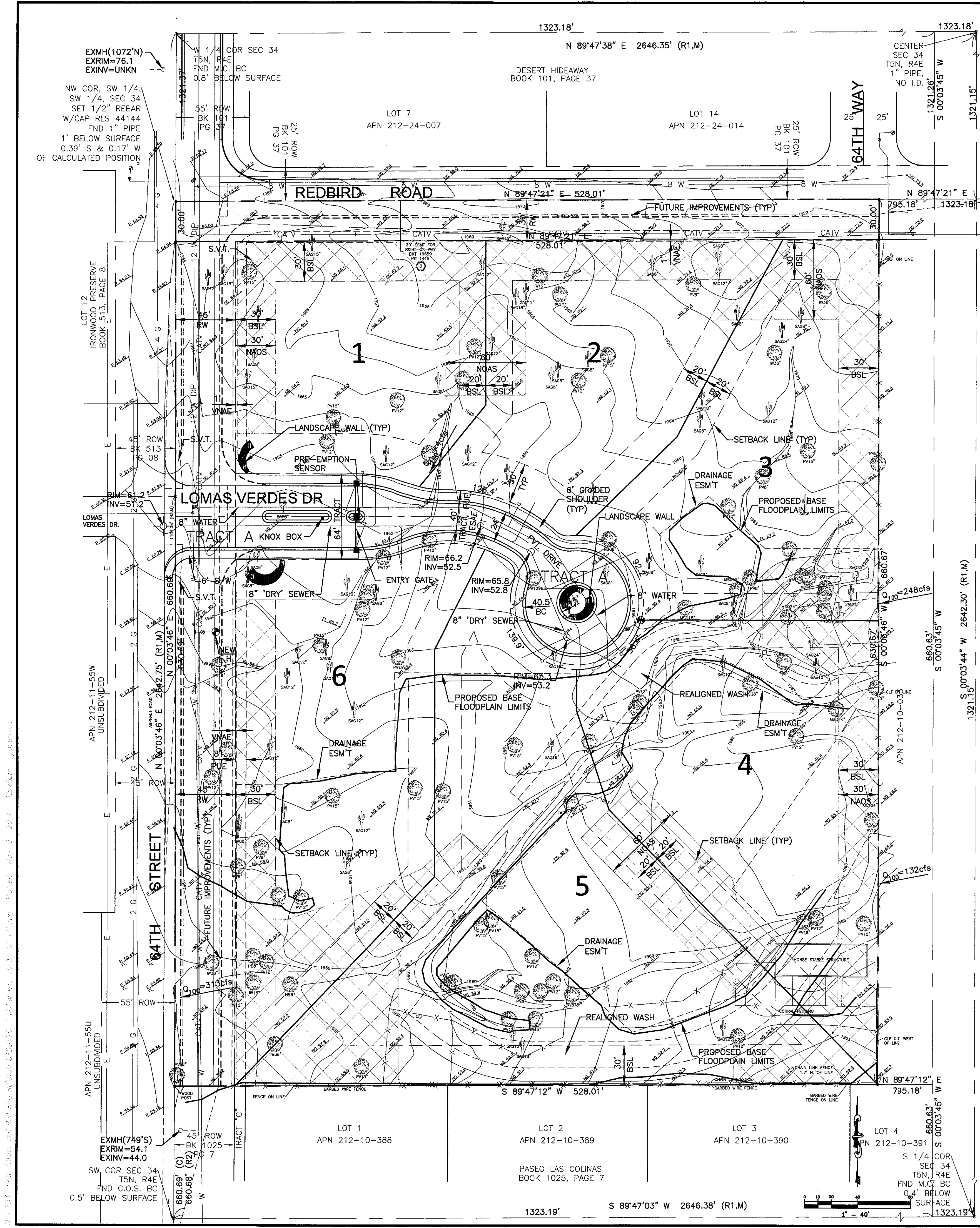
revisions:

date: 01.30.17

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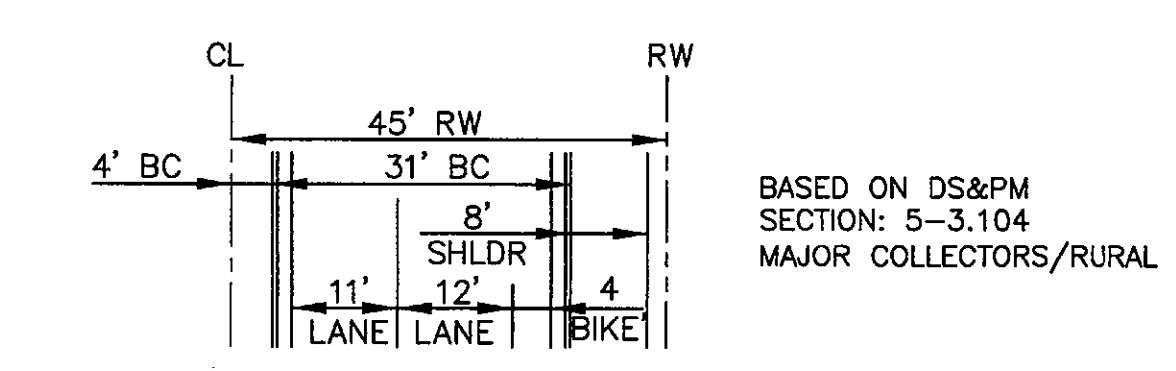
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NPI-1

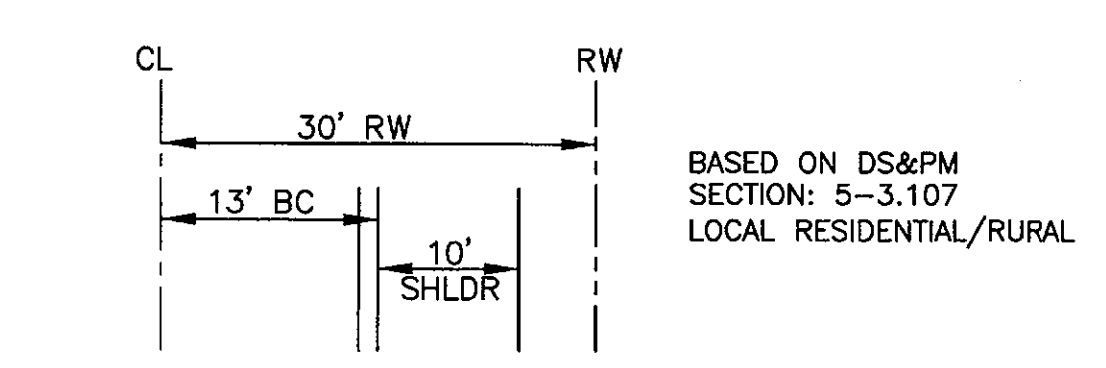


VICINITY MAP

LOMAS VERDES ESTATES				
LOT				
#	Area	Est Build Pad	Acres	%
1	31,764	9,853	0.7292	
2	35,209	10,495	0.8083	
3	42,086	9,253	0.9662	
4	50,500	11,284	1.1593	
5	75,736	9,755	1.7387	
6	49,051	9,944	1.1261	
Net	304,617		6.9930	
Gross	348,838		8.0082	
Int R/W	20,271		0.4654	
Lot Total	284,346		6.5277	
64th R/W	29,731		0.6825	
RB R/W	14,490		0.3326	
	348,838			
NAOS 1 (prov)	52,395		1.2028	
NAOS 2 (prov)	26,123		0.5997	
NAOS 3 (prov)	9,206		0.2113	
Provided NAOS	87,724		2.0139	25.15%
Required NAOS	74,317		1.7061	21.30%
NAOS 1 (req)	66,970		1.5374	
NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	



64TH STREET SECTION (LOOKING NORTH) NTS



REDBIRD ROAD SECTION (LOOKING EAST) NTS

NOTE:
PAVING SHALL BE 83,000 LBS PER DSPM,
2-1.802(3)

PRELIMINARY PLAT FOR LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

ENGINEER
ENGINEERING AND ENVIRONMENTAL CONSULTANTS
7760 N 16TH STREET, SUITE 135
PHOENIX, AZ 85020
CONTACT: JAKE GRIFFIN
PHONE: (602) 248-7702
EMAIL: JGRIFFIN@EECCORP.COM

OWNER
LOMAS VERDES ESTATES, LLC
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SCOTTSDALE, AZ 85251
PHONE: 480-221-8311
CONTACT: JASON KUSH
EMAIL: JASON.KUSH@JPKUSHANDASSOCIATES.COM

LOT #	AREA (SF)
1	32,338
2	35,209
3	42,085
4	50,500
5	75,736
6	49,644

BENCHMARK
CITY OF SCOTTSDALE BENCHMARK 1347, AT THE SOUTHWEST CORNER OF SECTION 34, T5N, R4E. DESCRIBED AS A PK NAIL IN A GLO PIPE, NO CAP, 0.9' ABOVE GROUND.

ELEVATION = 1945.33 (NAVD-88 DATUM)

(NOTE: THE SECTION CORNER IS CURRENTLY A CITY OF SCOTTSDALE BRASS CAP WHICH IS DESCRIBED IN THE GDAC SURVEY RECORDED IN BOOK 640, PAGE 6, WITH AN ELEVATION OF 1945.36 (0.03' DIFFERENCE)

THE ELEVATION OF 1945.33 WAS USED FOR THIS SURVEY.

PARCEL INFORMATION:
GROSS (AS DESCRIBED IN LEGAL DESCRIPTION)
348,834 SQ. FT., 8.0082 ACRES
NET (OF 30' RIGHT-OF-WAY EASEMENT)
332,998 SQ. FT., 7.6446 ACRES
CURRENT ZONING - R1-43 (CITY OF SCOTTSDALE)

APN
212-10-003F

LEGAL DESCRIPTION
THE WEST 528 FEET OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

FLOOD ZONE
THE SITE IS LOCATED WITHIN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S (F.E.M.A.) FLOOD INSURANCE RATE MAP #04013C1305 L, DATED OCTOBER 16, 2013.

FLOOD ZONE "X" DEFINED BY F.E.M.A. AS:
"AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

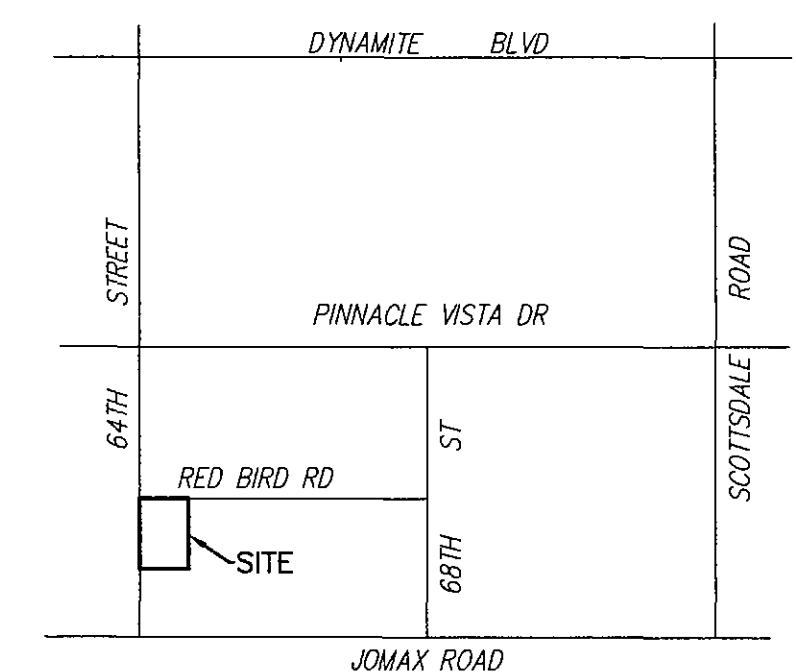
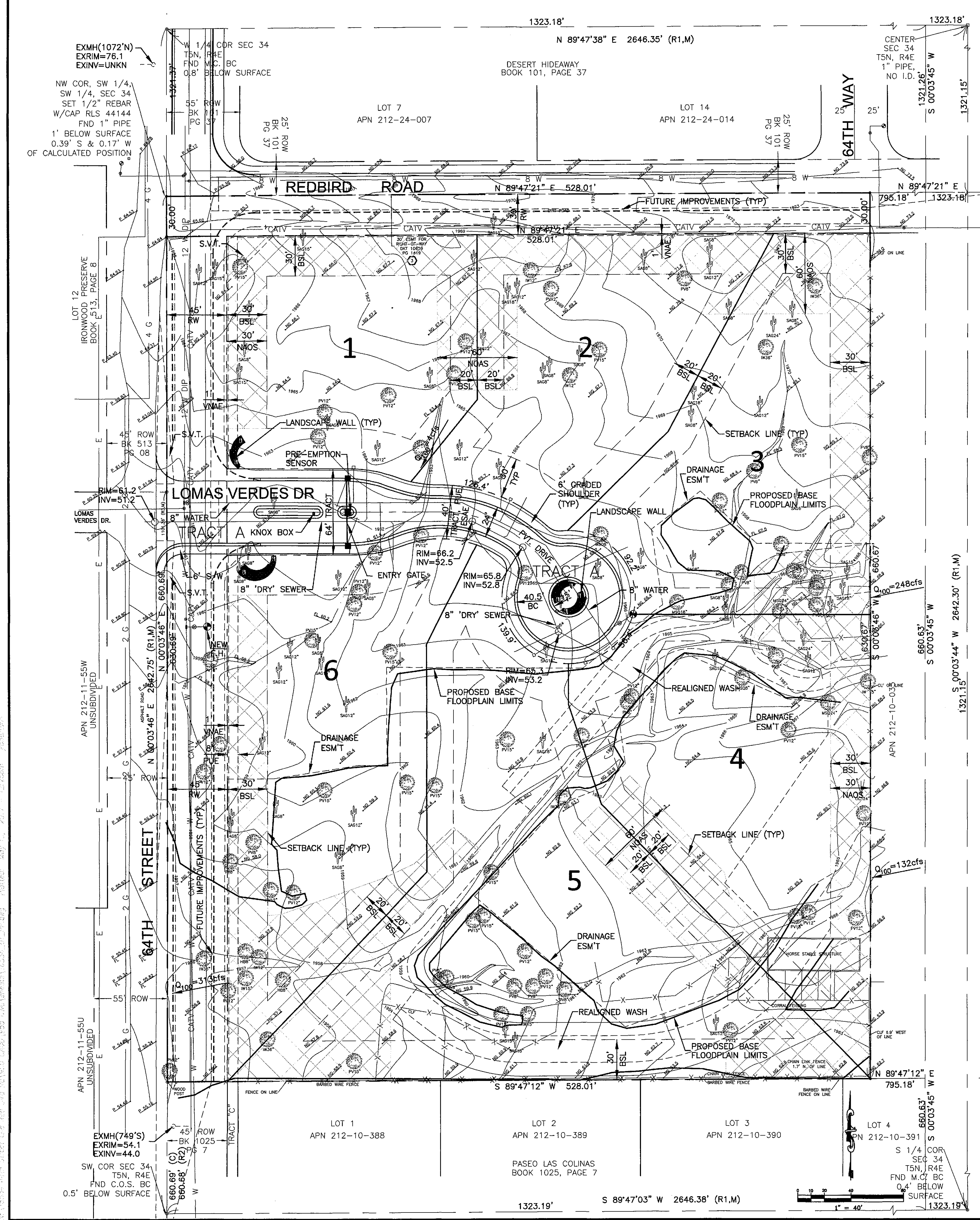
LEGEND
PROPOSED NAOS
BSL BUILDING SETBACK
DE DRAINAGE EASEMENT

5-PP-2017
05/15/17

Arizona
Call 811 or click Arizona811.com

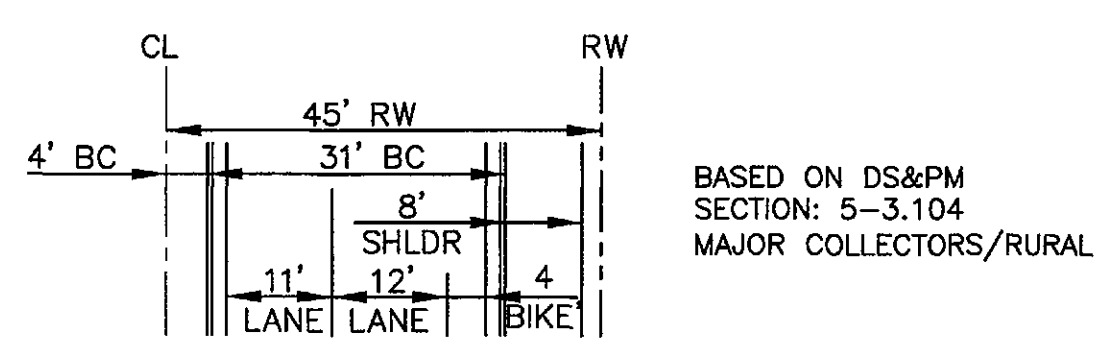
OK BY	
DESCRIPTION	
REV. DATE	
LOMAS VERDES ESTATES 6501 E. REDBIRD ROAD, SCOTTSDALE, AZ	LOCATED IN SECTION 34, T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA
SHEET TITLE	PRELIMINARY PLAT
PROJECT TITLE	PRELIMINARY PLAT
old engineering • land development surveying • environmental services staking • flood control and drainage transportation	Engineering and Environmental Consultants, Inc. 7740 N. 16th Street, Suite 135 Phoenix, Arizona 85020 Tel 602.248.7702 Fax 602.248.7851
	31682 JAMES M. GRIFFIN (Professional Engineer) ARIZONA, U.S.A. (1990) Expires: 9/30/18
DESIGN BY: JMG	
DRAWN BY: JAR	
CHK'D BY: JMG	
DATE: OCTOBER 2016	
SCALE:	
EEC NO: 16534	
DRAWING NO:	
1 OF 1	

903-PA-2016 OS: 49-43

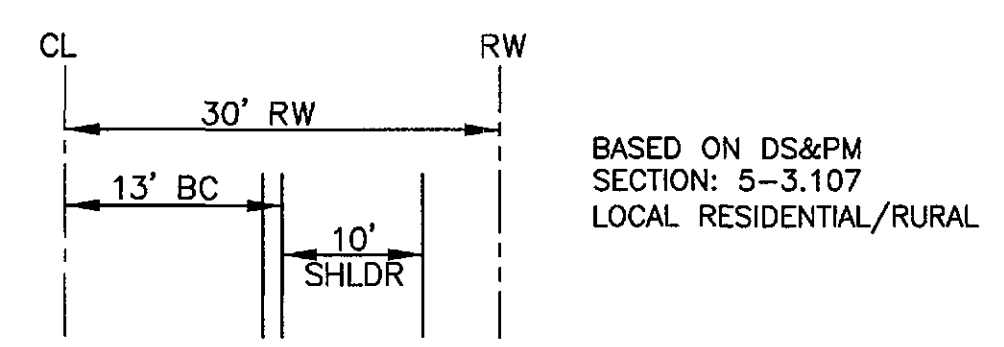


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NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	



64TH STREET SECTION
(LOOKING NORTH) NTS



REDBIRD ROAD SECTION
(LOOKING EAST) NTS

NOTE:
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2-1.802(3)

PRELIMINARY PLAT

LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

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LEGEND
PROPOSED NAOS
BSL BUILDING SETBACK
DE DRAINAGE EASEMENT

5-PP-2017
05/15/17

DESIGN BY: JMG
DRAWN BY: JAR
CHK'D BY: JMG
DATE: OCTOBER 2016
SCALE:
ECC NO: 16534
DRAWING NO:



CK BY

DESCRIPTION

REV DATE

LOMAS VERDES ESTATES

6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

LOCATED IN SECTION 34,
T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA

SHEET TITLE

PROJECT TITLE

PRELIMINARY PLAT

civil engineering • land development
surveying • environmental services
engineering • planning • control and drainage
transportation

Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851

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5-PP-2017
05/15/17

Call 811 or click Arizona811.com

903-PA-2016

OS: 49-43

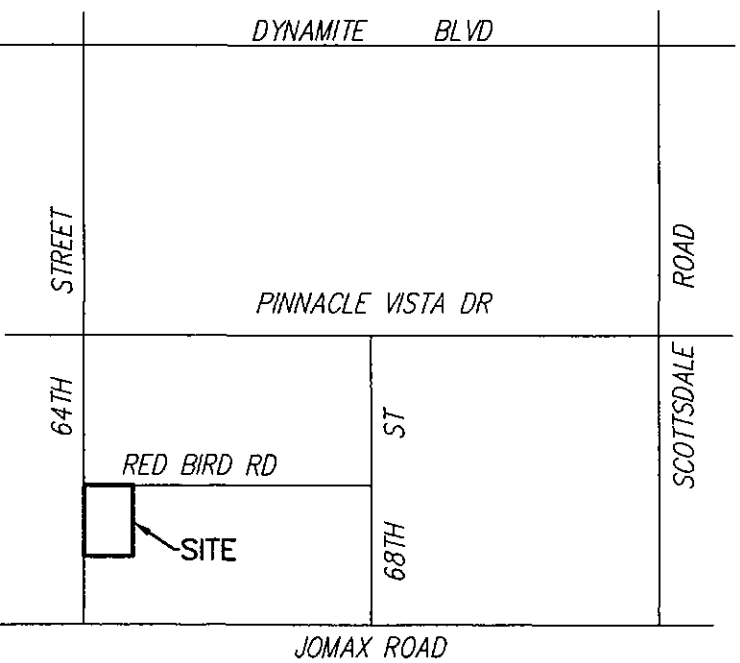
1 OF 1

NATURAL AREA OPEN SPACE PLAN

FOR

LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

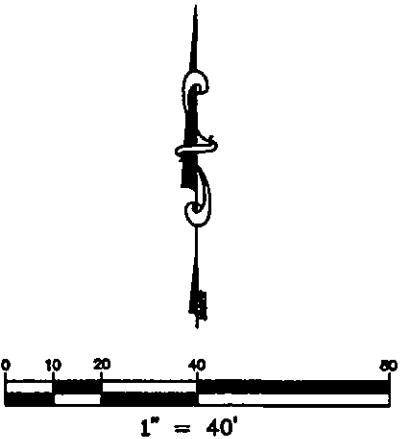


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LEGEND

PROPOSED NAOS

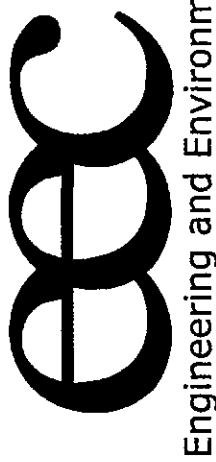


LOMAS VERDES ESTATES
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

LOCATED IN SECTION 34,
T 5 N, R 4 E, G 4 SRM, MARICOPA COUNTY, ARIZONA

NAOS PLAN

civil engineering • land development
surveying • environmental services
slaving • flood control and drainage
transportation



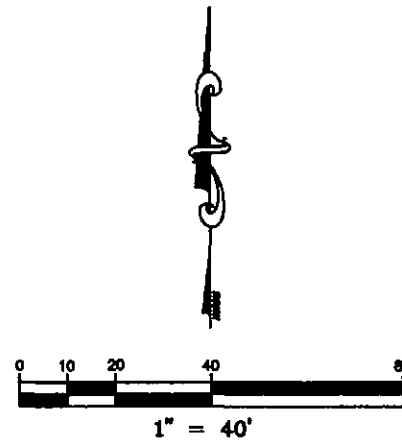
Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851



DESIGN BY: JMG
DRAWN BY: JAR
CHK'D BY: JMG
DATE: OCTOBER 2016
SCALE:
ECC NO 16534
DRAWING NO

5-PP-2017
05/15/17





FOR

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST
QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

ENGINEERING AND ENVIRONMENTAL CONSULTANTS
7760 N 16TH STREET, SUITE 135
PHOENIX, AZ 85020
CONTACT: JAKE GRIFFIN
PHONE: (602) 248-7702
EMAIL: JGRIFFIN@EECCORP.COM

LOMAS VERDES ESTATES, LLC
7001 E MAIN STREET, SUITE 101
SCOTTSDALE, AZ 85251
PHONE: 480-221-9311
CONTACT: JASON KUSH
EMAIL: JASON.KUSH@JPKUSHANDASSOCIATES.COM

BENCHMARK

CITY OF SCOTTSDALE BENCHMARK 1347, AT THE
SOUTHWEST CORNER OF SECTION 34, T5N, R4E.
DESCRIBED AS A PK NAIL IN A GLO PIPE, NO
CAP, 0.9' ABOVE GROUND.

ELEVATION = 1945.33 (NAVD-88 DATUM)

(NOTE: THE SECTION CORNER IS CURRENTLY A CITY OF SCOTTSDALE BRASS CAP WHICH IS DESCRIBED IN THE GDAC SURVEY RECORDED IN BOOK 640, PAGE 6, WITH AN ELEVATION OF 1945.36 (0.03' DIFFERENCE)

THE ELEVATION OF 1945.33 WAS USED FOR
THIS SURVEY.

GROSS (AS DESCRIBED IN LEGAL DESCRIPTION)
348,834 SQ. FT., 8.0082 ACRES

NET (OF 30' RIGHT-OF-WAY EASEMENT)
332,998 SQ. FT., 7.6446 ACRES

CURRENT ZONING - R1-43 (CITY OF SCOTTSDALE)

212-10-003F

THE WEST 528 FEET OF THE NORTH HALF OF
THE SOUTH HALF OF THE SOUTHWEST QUARTER
OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4
EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA.

THE SITE IS LOCATED WITHIN FLOOD ZONE "X"
AS DESIGNATED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY'S (F.E.M.A.) FLOOD
INSURANCE RATE MAP #04013C1305 L, DATED
OCTOBER 16, 2013,

FLOOD ZONE "X" DEFINED BY F.E.M.A. AS:

"AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA
LOCATED IN SECTION 34,

CT TITLE CONSTRUCTION ENVELOPE

civil engineering • land development
surveying • environmental services
staking • flood control and drainage
transportation

tal Consultants, Inc.
Phoenix, Arizona 85020



DESIGN BY:	JMG
DRAWN BY:	JAR
CHECK'D BY:	JMG
DATE:	OCTOBER 2016
SCALE:	
EC NO	16534
DRAWING NO	

903-PA-2016 OS: 49-43

J. Appl. Polym. Sci., **6**, 1079-1086 (1962)

ADDRESS
6868 NORTH 7TH AVENUE
SUITE 203
PHOENIX, AZ 85013

CONTACT INFORMATION
Crystal Blanton, SE
cblanton@pangolinstr.com
602.888.0336
WWW.PANGOLINSTR.COM

lomas verdes estates - entry
Scottsdale, Arizona

SEALS AND SIGNATURES



REVISION NO. DESCRIPTION DATE

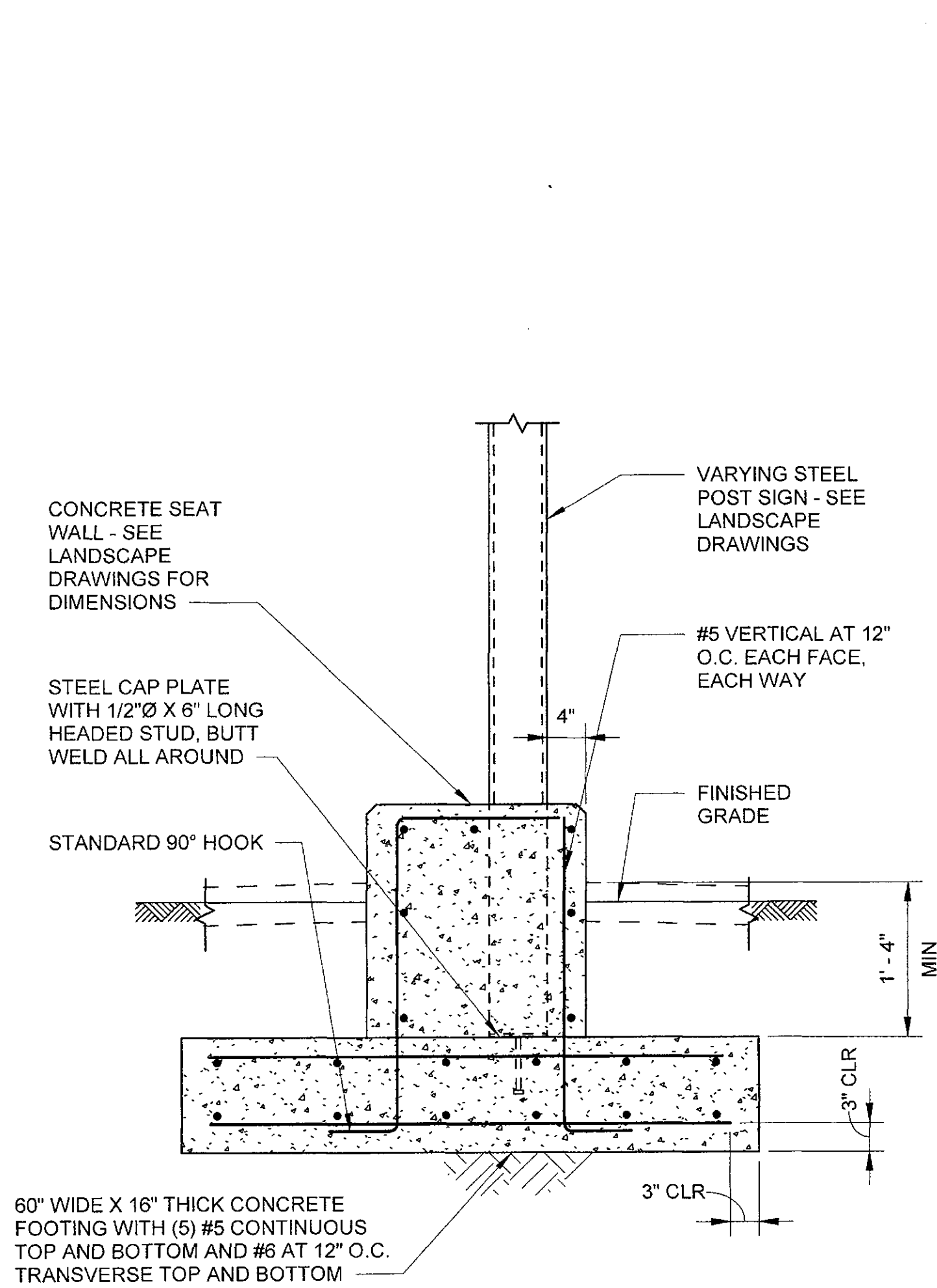
PROJECT NO.
17-050
DATE
05/12/17
ISSUE

CONSTRUCTION
DOCUMENTS

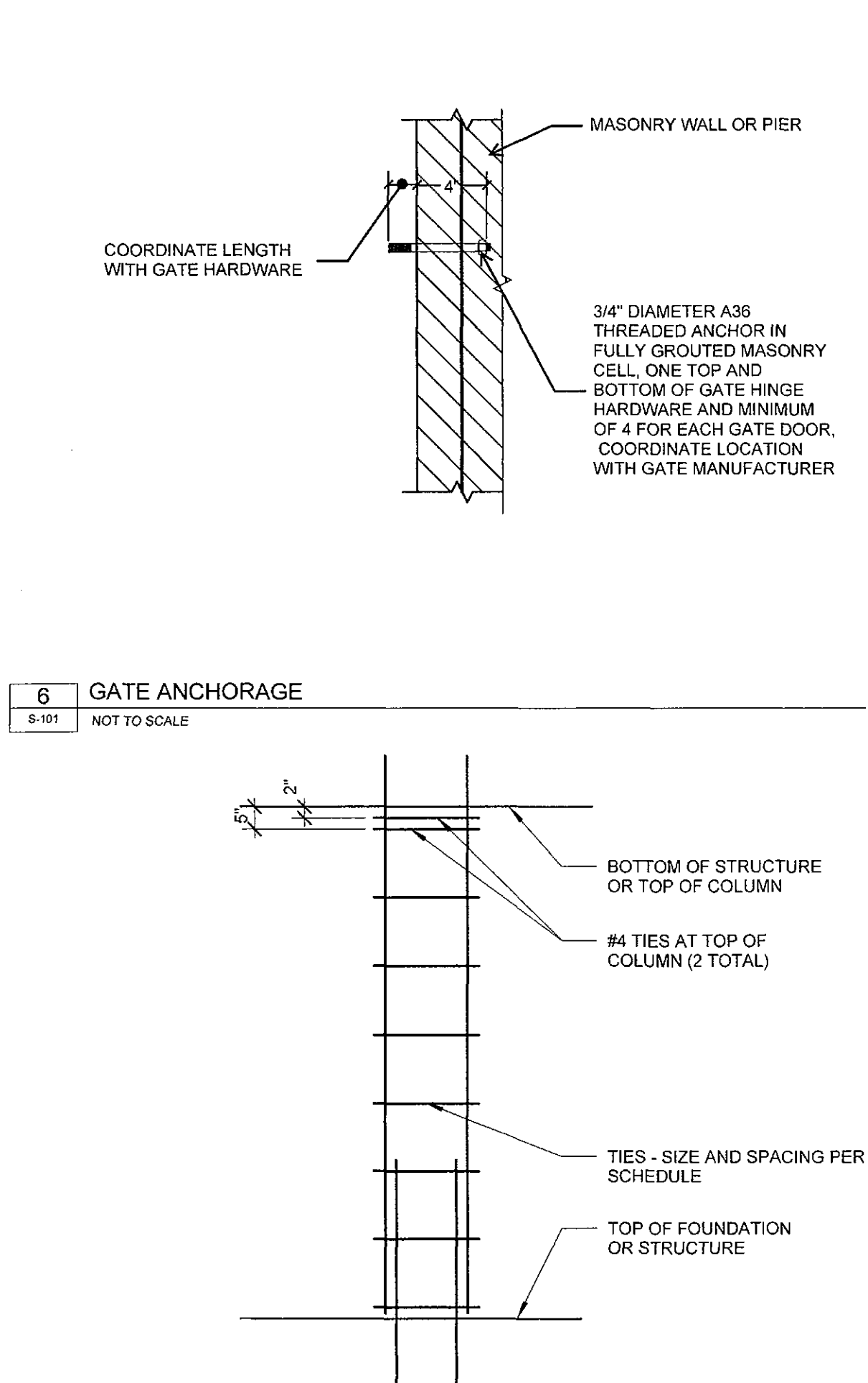
SHEET TITLE
Masonry and Concrete Site
Wall Details

SHEET NO. 5-PP-2017
05/15/17

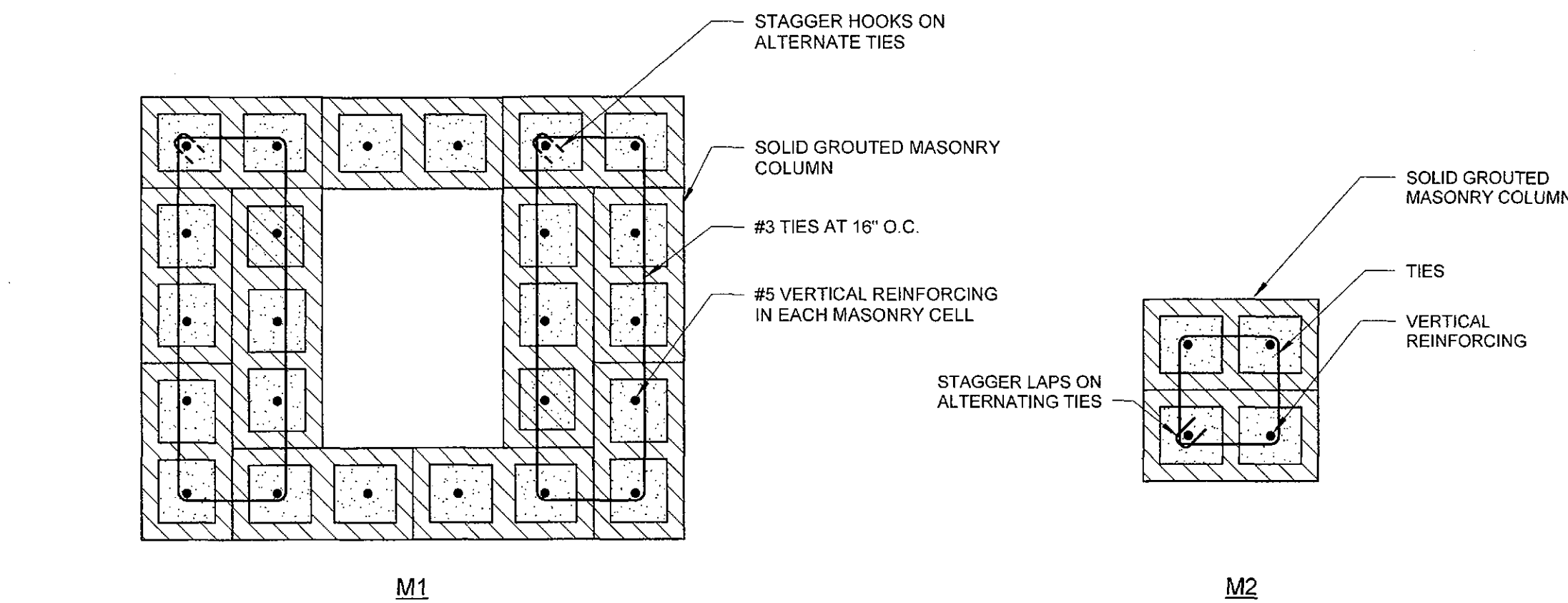
S102



11 STEEL POST SIGNAGE AND CONCRETE SEAT
S-101 NOT TO SCALE



6 GATE ANCHORAGE
S-101 NOT TO SCALE

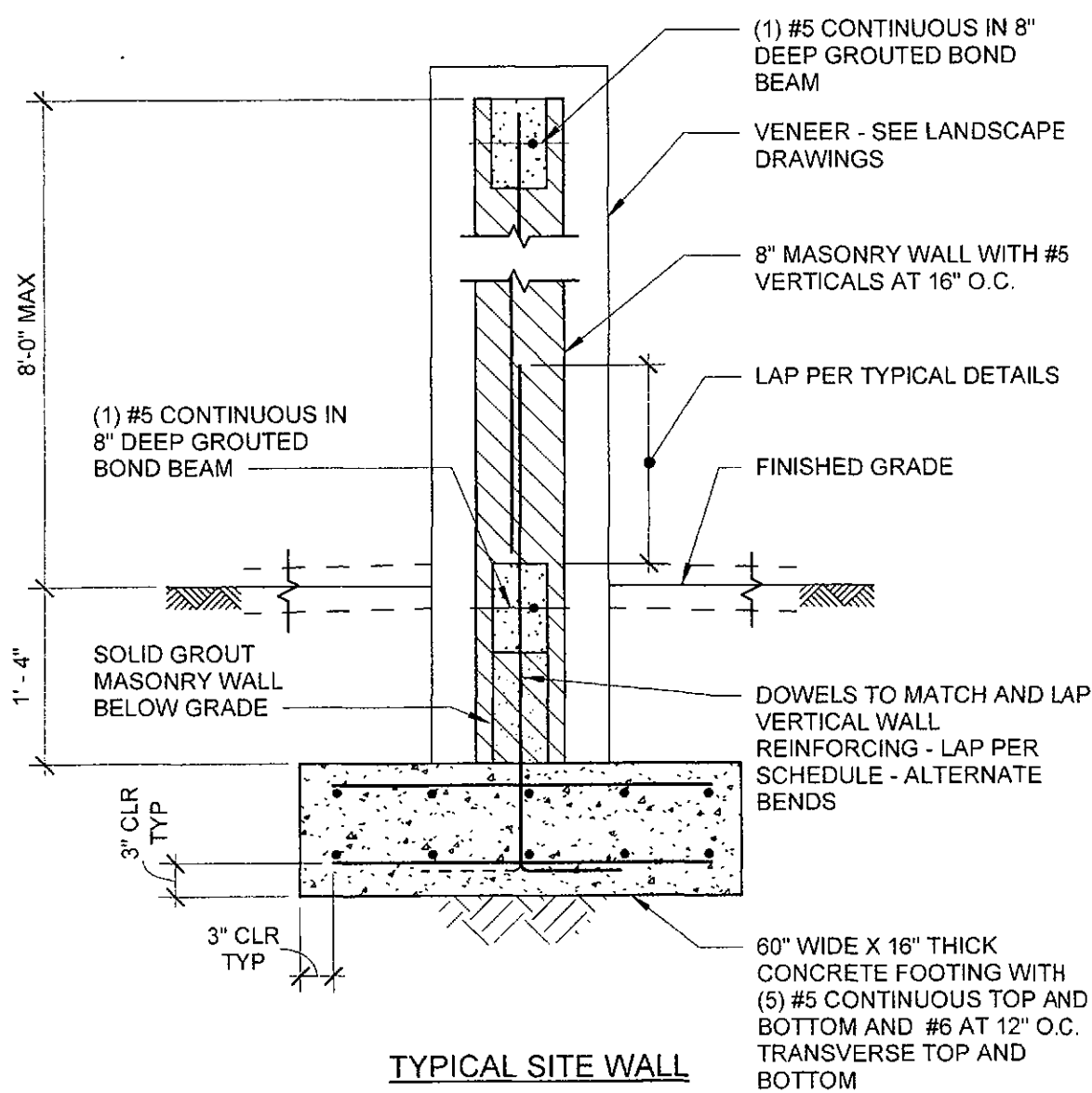


3 MASONRY PIERS
S-102 NOT TO SCALE

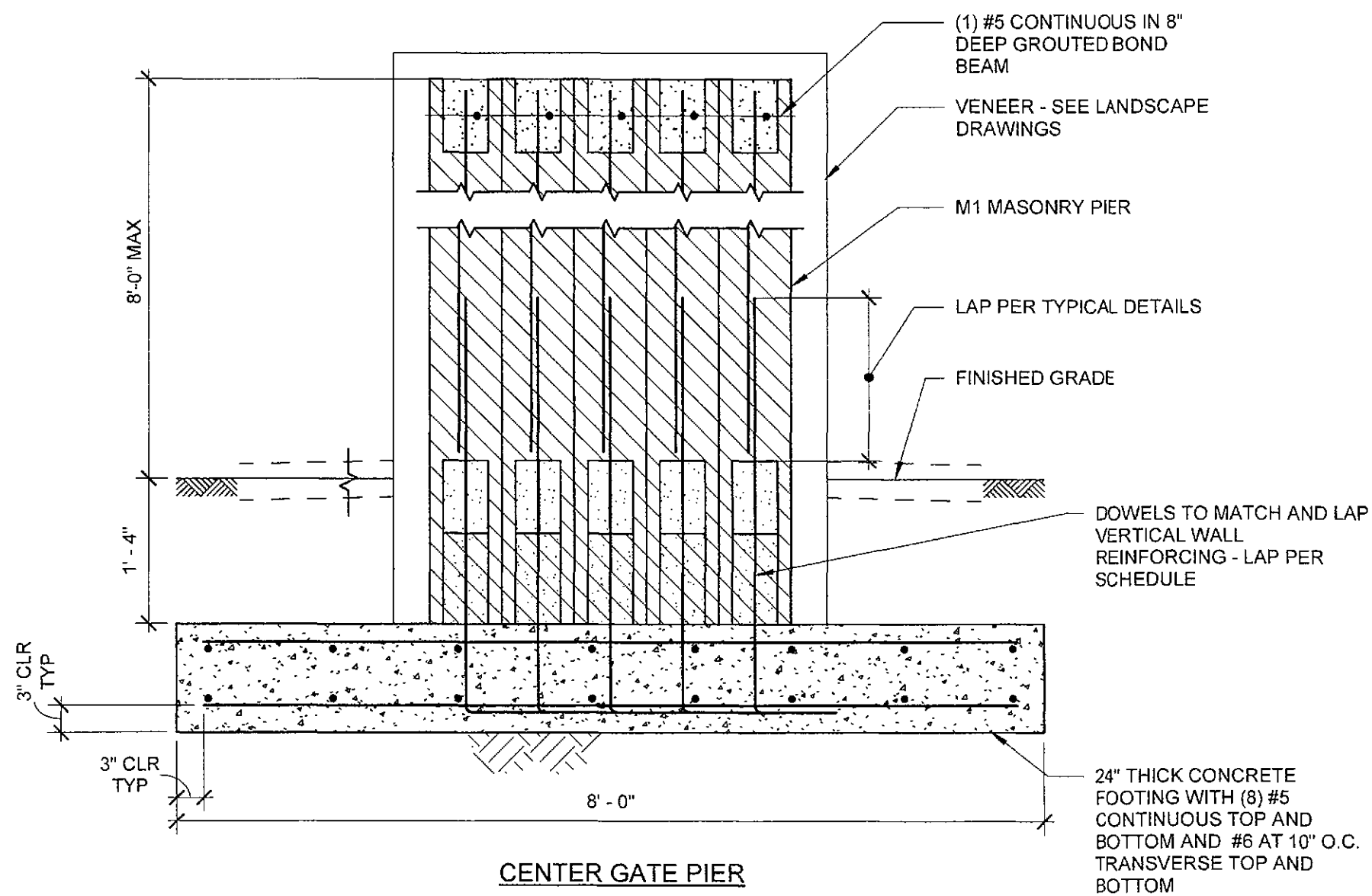
BAR SIZE (IN/LB)	VERTICAL REINFORCING CENTERED IN WALL	VERTICAL REINFORCING EACH SIDE OF WALL	HORIZONTAL REINFORCING
#3	-	-	-
#4	2'-0"	2'-0"	2'-0"
#5	2'-6"	3'-0"	2'-6"
#6	3'-6"	5'-6"	3'-6"
#7	4'-6"	7'-6"	4'-6"
#8	7'-0"	11'-6"	7'-0"

7 TYPICAL DETAIL -
TIE SPACING FOR MASONRY COLUMN
S-102 NOT TO SCALE

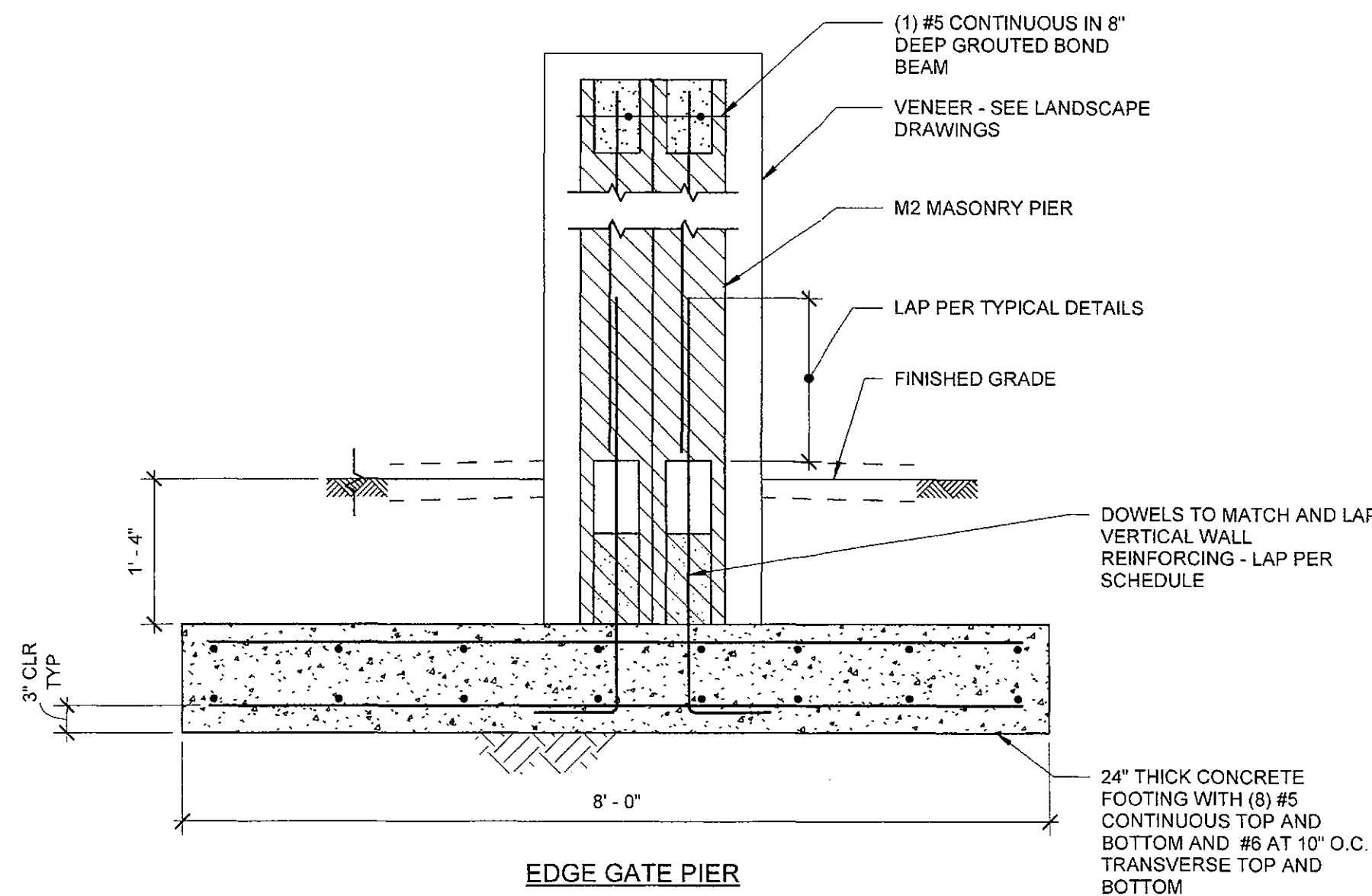
4 TYPICAL DETAIL -
DEVELOPMENT LENGTHS AND SPLICES FOR UNCOATED REINFORCED STEEL IN MASONRY
S-102 NOT TO SCALE



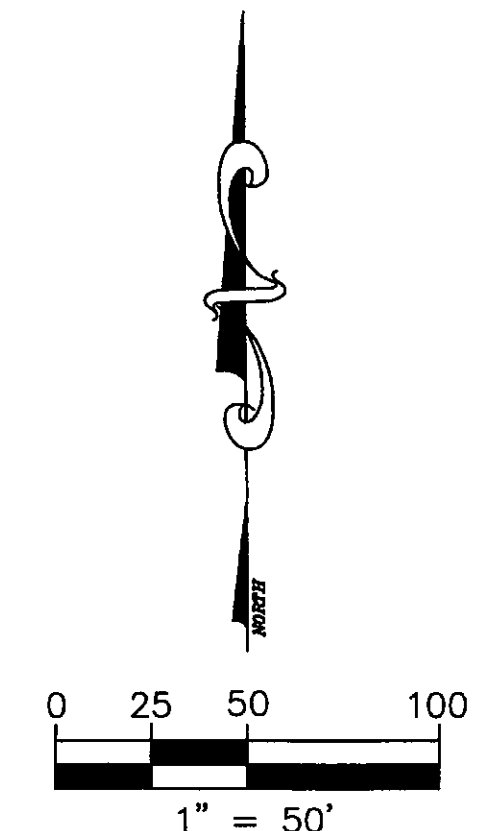
12 MASONRY WALL AND PIERS
S-102 NOT TO SCALE



CENTER GATE PIER



EDGE GATE PIER



LINE TABLE		
LINE	BEARINGS	LENGTH
L1	N 33°18'58" W	22.70'

 Engineering and Environmental Consultants, Inc. 7740 N. 16th Street, Suite 135 Phoenix, Arizona 85020 Tel 602.248.7702 Fax 602.248.7851	SHEET TITLE		FINAL PLAT		LOMAS VERDES ESTATES 6501 E. REDBIRD ROAD, SCOTTSDALE, AZ LOCATED IN SECTION 34, T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA	REV.	DATE	DESCRIPTION	OK BY
	PROJECT TITLE								
civil engineering • land development surveying • environmental services staking • flood control and drainage transportation									
	DESIGN BY: JMG								
	DRAWN BY: JAR								
	CHK'D BY: JMG								
	DATE: OCTOBER 2016								
	SCALE:								
	EEC NO: 16534								
	DRAWING NO								
2 OF 3									

NW COR, SW 1/4,
SW 1/4, SEC 34
SET 1/2" REBAR
W/CAP RLS 44144
FND 1" PIPE
1' BELOW SURFACE
0.39' S & 0.17' W
OF CALCULATED POSITION

DESERT HIDEAWAY
BOOK 101, PAGE 37

CENTER
SEC 34
T5N, R4E
1" PIPE,
NO I.D.

REDBIRD ROAD

64TH WAY

CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
C1	170.00	86.12	29°01'36"
C2	110.00	5.80	03°01'18"
C3	30.00	26.82	51°12'47"
C4	38.00	27.86	42°00'09"

LOMAS VERDES ESTATES
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

LOCATED IN SECTION 34,
T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA

SHEET TITLE

PROJECT TITLE

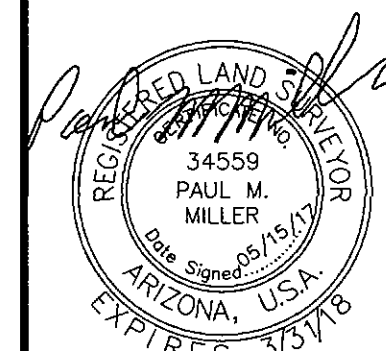
NOAS DEDICATION

civil engineering • land development
surveying • environmental services
estimating • flood control and drainage
transportation



B. Engineering and Environmental Consultants, Inc.

77740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851



DESIGN BY:	JMG
DRAWN BY:	JAR
CHK'D BY:	JMG
DATE:	OCTOBER 2016
SCALE:	
EEC NO	16534
DRAWING NO	

3 OF **3**

5-PP-2017
05/15/17

3 OF **3**

1. GENERAL

THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE AND LOCAL CONDITIONS.

CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL BUILDING CODES, CODES OF APPLICABLE REGULATORY AGENCIES, AND WITH PROJECT SPECIFICATIONS AND DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND FOR CHECKING ALL DIMENSIONS. REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.

THE CONTRACTOR SHALL COMPLY WITH LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING UPON THE PERFORMANCE OF THE WORK.

2. DESIGN CRITERIA

ALL CONSTRUCTION SHALL CONFORM TO THE MORE RESTRICTIVE OF THE FOLLOWING CODES, THE MOST RECENT EDITIONS OF THE STANDARDS ADOPTED BY THE AUTHORITY HAVING JURISDICTION AS REFERENCED THROUGHOUT THE STRUCTURAL GENERAL NOTES, AND THE FOLLOWING DESIGN CRITERIA:

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS

BUILDING RISK CATEGORY (IBC TABLE 1604.5): I

DESIGN DEAD LOADS: SELF-WEIGHT OF MATERIALS AND SYSTEMS

DESIGN WIND LOADS:
LATERAL LOAD RESISTANCE SYSTEM (BUILDING CODE):
BASIC WIND SPEED: 110 MILES PER HOUR
WIND EXPOSURE: C
INTERNAL PRESSURE COEFFICIENT: +0.18, -0.18

3. SHALLOW FOUNDATIONS

ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A MINIMUM ALLOWABLE BEARING CAPACITY OF 1500 PSF PER CITY OF SCOTTSDALE MAXIMUM CAPACITY WITHOUT A GEOTECHNICAL REPORT.

4. CONCRETE

ALL CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".

CONCRETE DETAILING SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL SP-66 AND ACI 315 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT". SUBMIT SHOP DRAWINGS FOR REVIEW.

CONCRETE PLACEMENT AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".

PROVIDE NORMAL-WEIGHT CONCRETE WITH 28-DAY COMPRESSIVE STRENGTH 2500 PSI.

NO CHLORIDES AND/OR ADMIXTURES CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE.

UNLESS A GREATER CONCRETE COVER IS REQUIRED FOR FIRE RESISTANCE, THE MINIMUM CONCRETE COVER FOR CAST-IN-PLACE CONCRETE REINFORCING STEEL SHALL CONFORM TO THE COVERS AS INDICATED:

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
CONCRETE EXPOSED TO EARTH OR WEATHER:
NO. 6 BAR AND LARGER: 2 INCHES
NO. 5 BAR AND SMALLER: 1-1/2 INCHES
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
SLABS, WALLS, JOISTS:
NO. 14 AND NO. 18 BARS: 1-1/2 INCHES
NO. 11 BAR AND SMALLER: 3/4 INCHES
BEAMS, COLUMNS:
PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS: 1-1/2 INCHES

UNLESS NOTED OTHERWISE, REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. REINFORCING STEEL THAT IS TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 60.

5. MASONRY

ALL MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 530 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" AND ACI 530.1 "SPECIFICATION FOR MASONRY STRUCTURES".

DESIGN MASONRY ASSEMBLAGE STRENGTH $F_m = 1500$ PSI. NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS SHALL BE A MINIMUM OF 1900 PSI.

CONCRETE MASONRY UNITS SHALL BE MEDIUM-WEIGHT UNITS CONFORMING TO ASTM C 90. UNITS SHALL BE LAID IN RUNNING BOND, TYPICAL UNLESS NOTED OTHERWISE. VERTICAL ALIGNMENT OF CELLS SHALL MAINTAIN A CONTINUOUS CLEAR, UNOBSTRUCTED CELL NOT LESS THAN 3 INCHES SQUARE. MINIMUM DEPTH OF HORIZONTAL BOND BEAM CHANNEL BELOW TOP OF UNIT SHALL BE 1-1/2 INCHES, AND CHANNEL SHALL BE 3 INCHES WIDE MINIMUM. ALL UNITS SHALL BE FREE OF DUST AND DIRT AT THE TIME OF LAYING.

GROUT SHALL CONFORM TO ASTM C476 AND SHALL NOT CONTAIN ADMIXTURES. GROUT SHALL ATTAIN A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2000 PSI. MORTAR SHALL BE TYPE S CONFORMING TO ASTM C 270 AND WITH PROPORTIONS PER TABLE SC 1 OF ACI 530-11.

ALL GROUT SHALL BE MECHANICALLY VIBRATED. GROUT POURS SHALL BE STOPPED 1-1/2 INCHES BELOW THE TOP OF A COURSE TO FORM A KEY AT POURED JOINTS.

PROVIDE CLEANOUTS IF GROUT POUR EXCEEDS 5'-0" IN HEIGHT. IF CLEANOUTS ARE PROVIDED, GROUT POUR MAXIMUM HEIGHT EQUALS 10'-0", IN LIFTS NOT TO EXCEED 6'-0".

REINFORCEMENT SHALL BE DEFORMED BARS CONFORMING TO ASTM A615/A615M, GRADE 60 AND SHALL HAVE FABRICATION TOLERANCES IN ACCORDANCE WITH ACI 315. SHOP FABRICATE REINFORCING BARS WHICH ARE INDICATED TO BE BENT OR HOOKED.

6. SPECIAL INSPECTIONS

THE OWNER SHALL EMPLOY SPECIAL INSPECTORS, QUALIFIED TO THE SATISFACTION OF THE BUILDING OFFICIAL, WHO SHALL PROVIDE SPECIAL INSPECTIONS DURING CONSTRUCTION FOR THE WORK INDICATED BELOW.

SPECIAL INSPECTIONS AND ASSOCIATED TESTING SHALL BE PERFORMED BY AN APPROVED ACCREDITED INDEPENDENT AGENCY. INSPECTORS FOR EACH SYSTEM AND MATERIAL SHALL BE INTERNATIONAL CODE COUNCIL (ICC) CERTIFIED OR OTHERWISE APPROVED BY THE BUILDING OFFICIAL.

THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS.

THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, CONTRACTOR, OWNER, AND ENGINEER OF RECORD. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.

SEE PROJECT SPECIFICATIONS AND REFERENCED STANDARDS FOR FREQUENCY OF TESTING.

AT THE CONCLUSION OF CONSTRUCTION, A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF PREVIOUSLY NOTED DISCREPANCIES SHALL BE SUBMITTED.

THE FOLLOWING TYPES OF WORK SHALL BE INSPECTED BY A SPECIAL INSPECTOR IN ACCORDANCE WITH CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE:

REQUIRED VERIFICATION AND INSPECTION OF MASONRY CONSTRUCTION				
-VERIFICATION F_m AND $f_{a,c}$ IN ACCORDANCE WITH ARTICLE 1.4B PRIOR TO CONSTRUCTION AND FOR EVERY 5,000 SQ. FT DURING CONSTRUCTION				
-VERIFICATION OF PROPORTIONS AND MATERIALS IN PREMIXED OR PREBLENDED MORTAR, AND GROUT OTHER THAN SELF-CONSOLIDATING GROUT, AS DELIVERED TO THE PROJECT SITE.				
-VERIFICATION OF SLUMP FLOW AND VISUAL STABILITY INDEX (VSI) AS DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH ARTICLE 1.5 B1.b.3 FOR SELF CONSOLIDATING GROUT				
VERIFICATION AND INSPECTION	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	REFERENCE CRITERIA	
			TMS 402/ACI 530/ASCE 5	TMS 602/ACI ASCE 6 530
VERIFY COMPLIANCE WITH APPROVED SUBMITTALS		X		ART. 1.5
VERIFY THE FOLLOWING FOR COMPLIANCE:				
- PROPORTIONS OF SITE-MIXED MORTAR AND GROUT		X		ART. 2.1, 2.6 A, 2.6 B, 2.6 C, 2.4 G.1.b
- GRADE, TYPE, AND SIZE OF REINFORCEMENT AND ANCHOR BOLTS		X		ART. 2.4, 3.4
- PLACEMENT OF MASONRY UNITS AND CONSTRUCTION OF MORTAR JOINTS		X	SECT. 1.16	ART. 3.3 B
- PLACEMENT OF REINFORCEMENT AND CONNECTORS	X		SECT. 1.16	ART. 3.2 E, 3.4, 3.6 A
- GROUT SPACE PRIOR TO GROUTING	X			ART. 3.2 D, 3.2 F
- PLACEMENT OF GROUT	X			ART. 3.5, 3.6 C
- SIZE AND LOCATION OF STRUCTURAL ELEMENTS		X		ART. 3.3 F
- TYPE, SIZE AND LOCATION OF ANCHORS INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES OR OTHER CONSTRUCTION	X		SECT. 1.16.4.3, 1.17.1	
- WELDING OF REINFORCEMENT	X		SECT. 2.1.7.7.2, 3.3.3.4 (c), 8.3.3.4 (b)	
- PREPARATION, CONSTRUCTION, AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40 DEGREES F (4.4 DEGREES C) OR HOT WEATHER (TEMPERATURE ABOVE 90 DEGREES F (32.2 DEGREES C))		X		ART. 1.8 C, 1.8 D
- OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS	X			ART. 1.4 B.2 a.3, 1.4 B.2 b.3, 1.4 B.2 c.3, 1.4 B.3, 1.4 B.4

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WWW.PANGOLINSTR.COM

lomas verdes estates - entry
Scottsdale, Arizona

SEALS AND SIGNATURES



REVISION NO. DESCRIPTION DATE

PROJECT NO.

17-050

DATE

05/12/17

ISSUE

CONSTRUCTION
DOCUMENTS

SHEET TITLE

General Structural Notes

SHEET NO.

5-PP-2017
05/15/17

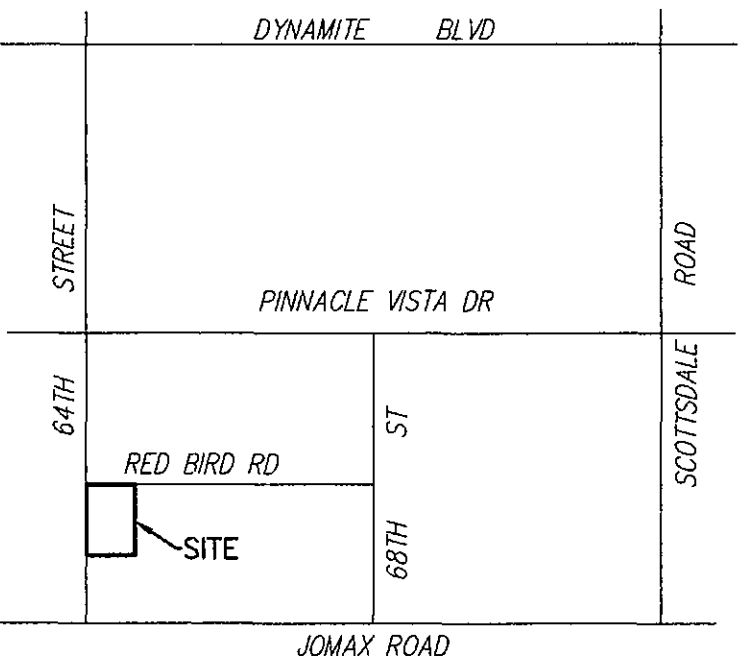
S101

NATURAL AREA OPEN SPACE PLAN

FOR

LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP

LOMAS VERDES ESTATES				
LOT				
#	Area	Est Build Pad	Acres	%
1	31,764	9,853	0.7292	31.02%
2	35,209	10,272	0.8083	29.17%
3	42,086	10,159	0.9662	24.14%
4	50,500	11,242	1.1593	22.26%
5	75,736	9,656	1.7387	12.75%
6	49,051	9,820	1.1261	20.02%
Net	304,617		6.9930	
Gross	348,838		8.0082	
Int R/W	20,271		0.4654	
Lot Total	284,346		6.5277	
64th R/W	29,731		0.6825	
RB R/W	14,490		0.3326	
	348,838			
NAOS 1 (prov)	52,761		1.2112	
NAOS 2 (prov)	20,722		0.4757	
NAOS 3 (prov)	7,914		0.1817	
NAOS 4 (prov)	4,672		0.1073	
REVEG NAOS 5 (prov)	1,825		0.0419	
REVEG NAOS 6 (prov)	900		0.0207	
REVEG NAOS 7 (prov)	900		0.0207	
Provided NAOS	86,069		1.9759	24.67%
Provided Reveg NAOS	1,813		0.0416	0.52%
Required NAOS	74,317		1.7061	21.30%
NAOS 1 (req)	66,970		1.5374	
NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	

LEGEND

PROPOSED NAOS

LOMAS VERDES ESTATES

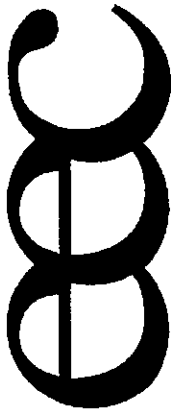
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

LOCATED IN SECTION 34,

T 5 N, R 4 E, G4SRM, MARICOPA COUNTY, ARIZONA

NAOS PLAN

civil engineering • land development
surveying • environmental services
siting • flood control and drainage
transportation



Engineering and Environmental Consultants, Inc.

7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
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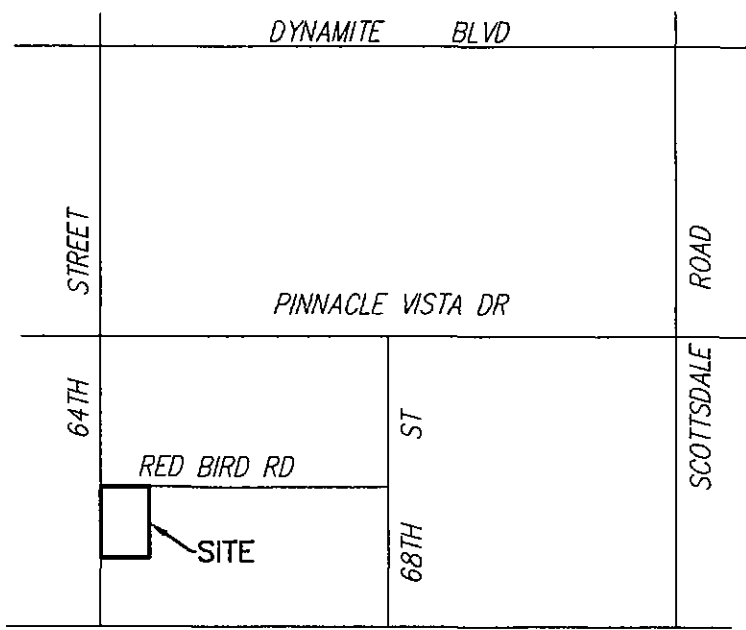
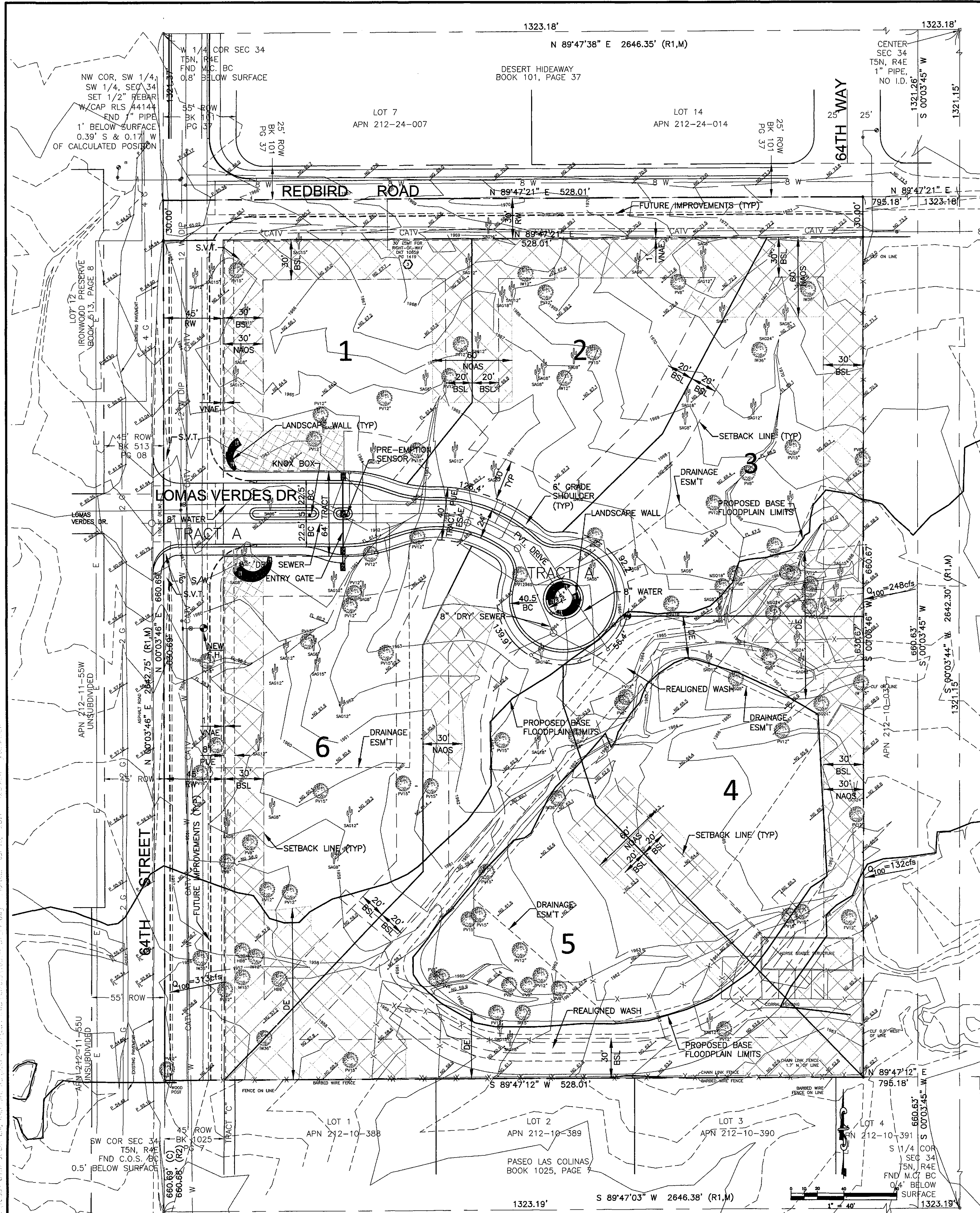
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1 OF 1

5-PP-2017
7/13/2017

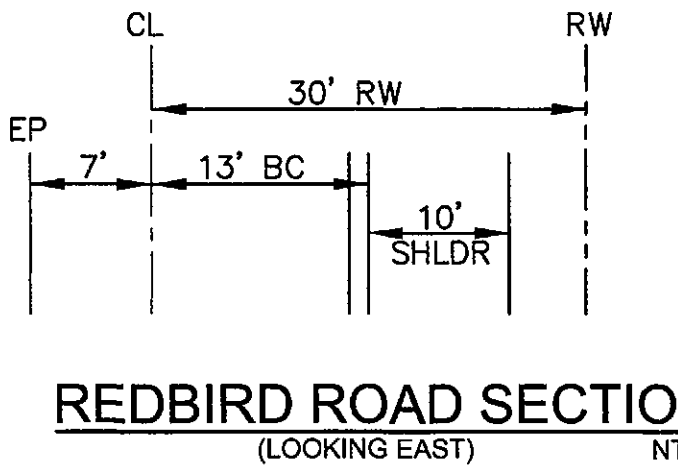
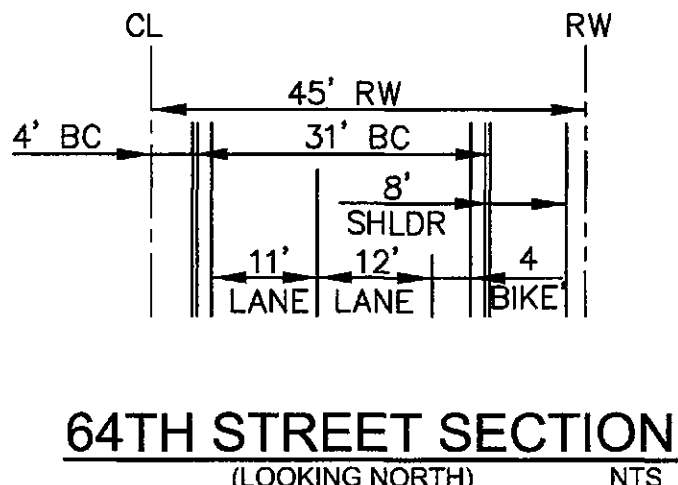
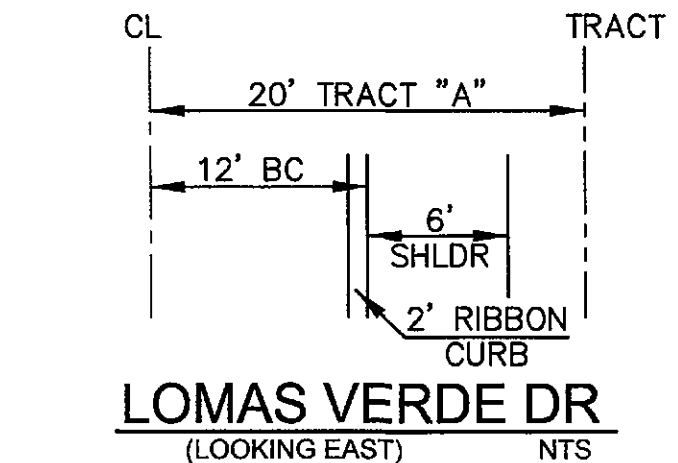
903-PA-2016 QS: 49-43





VICINITY MAP

LOMAS VERDES ESTATES				
LOT				
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NAOS 3 (prov)	7,914		0.1817	
NAOS 4 (prov)	4,672		0.1073	
REVEG NAOS 5 (prov)	1,825		0.0419	
REVEG NAOS 6 (prov)	900		0.0207	
REVEG NAOS 7 (prov)	900		0.0207	
Provided NAOS	86,069		1.9759	24.67%
Provided Reveg NAOS	1,813		0.0416	0.52%
Required NAOS	74,317		1.7061	21.30%
NAOS 1 (req)	66,970		1.5374	
NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	



NOTE:
PAVING SHALL BE 83,000 LBS PER DSPM,
2-1.802(3)

PRELIMINARY PLAT
FOR
LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST
QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

ENGINEER
ENGINEERING AND ENVIRONMENTAL CONSULTANTS
7760 N 16TH STREET, SUITE 135
PHOENIX, AZ 85020
CONTACT: JAKE GRIFFIN
PHONE: (602) 248-7702
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OWNER
LOMAS VERDES ESTATES, LLC
7001 E MAIN STREET, SUITE 101
SCOTTSDALE, AZ 85251
PHONE: 480-221-9311
CONTACT: JASON KUSH
EMAIL: JASON.KUSH@JKKUSHANDASSOCIATES.COM

LOT #	AREA (SF)
1	31,764
2	35,209
3	42,086
4	50,500
5	75,736
6	49,051

BENCHMARK
CITY OF SCOTTSDALE BENCHMARK 1347, AT THE
SOUTHWEST CORNER OF SECTION 34, T5N, R4E.
DESCRIBED AS A PK NAIL IN A GLO PIPE, NO
CAP, 0.9' ABOVE GROUND.

ELEVATION = 1945.33 (NAVD-88 DATUM)

(NOTE: THE SECTION CORNER IS CURRENTLY A
CITY OF SCOTTSDALE BRASS CAP WHICH IS
DESCRIBED IN THE GDAC SURVEY RECORDED IN
BOOK 640, PAGE 6, WITH AN ELEVATION OF
1945.36 (0.03' DIFFERENCE)

THE ELEVATION OF 1945.33 WAS USED FOR
THIS SURVEY.

PARCEL INFORMATION:
GROSS (AS DESCRIBED IN LEGAL DESCRIPTION)
348,834 SQ. FT., 8.0082 ACRES
NET (OF 30' RIGHT-OF-WAY EASEMENT)
332,998 SQ. FT., 7.6446 ACRES
CURRENT ZONING - R1-43 (CITY OF
SCOTTSDALE)

APN
212-10-003F

LEGAL DESCRIPTION
THE WEST 528 FEET OF THE NORTH HALF OF
THE SOUTH HALF OF THE SOUTHWEST QUARTER
OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4
EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA.

FLOOD ZONE
THE SITE IS LOCATED WITHIN FLOOD ZONE "X"
AS DESIGNATED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY'S (F.E.M.A.) FLOOD
INSURANCE RATE MAP #04013C1305 L, DATED
OCTOBER 16, 2013,

FLOOD ZONE "X" DEFINED BY F.E.M.A. AS:
"AREAS DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN.

DEDICATION
TRACT "A" IS TO BE DEDICATED AS A
"EMERGENCY SERVICES ACCESS EASEMENT",
"PUBLIC UTILITIES EASEMENT" AND A "REFUSE
COLLECTION EASEMENT" FOR THE CITY OF
SCOTTSDALE.

LEGEND
PROPOSED NAOS
BSL BUILDING SETBACK
DE DRAINAGE EASEMENT



CK BY

DESCRIPTION

DATE

REV

LOMAS VERDES ESTATES

6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

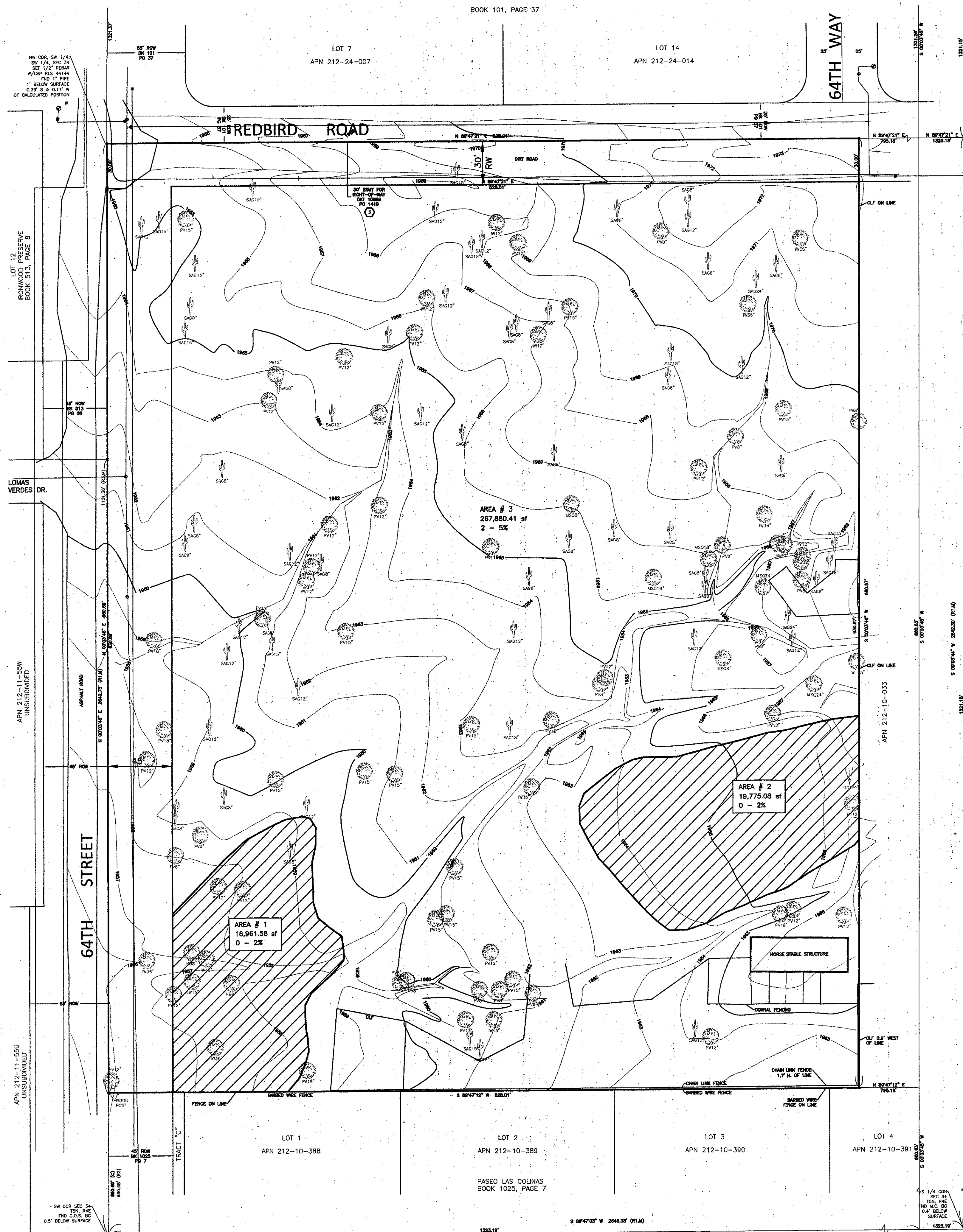
LOCATED IN SECTION 34,
T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA

PRELIMINARY PLAT

Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851

DESIGN BY: JMG
DRAWN BY: JAR
CHK'D BY: JMG
DATE: OCTOBER 2016
SCALE:
EEC NO 16534
DRAWING NO

5-PP-16 903-PA-2016 QS: 49-43



SLOPE ANALYSIS

FOR

LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

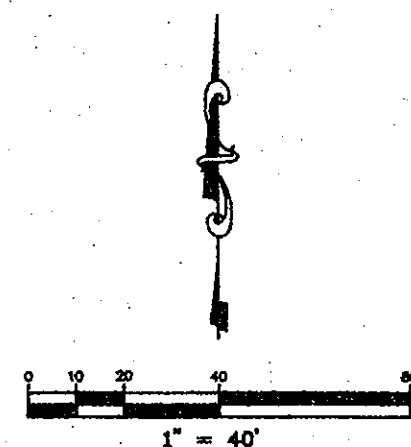
NAOS REQUIREMENTS:
0-2% SLOPE = 20% NAOS
2-5% SLOPE = 25% NAOS

AREA # 1 (0-2% SLOPE) = 16,961.58 SF
AREA # 2 (0-2% SLOPE) = 19,775.08 SF
AREA # 3 (2-5% SLOPE) = 267,880.41 SF

NAOS =
16,961.58(.20)+19,775.08(.20)+267,880.41(.25)
NAOS = 74,317 SF

NOTE:
SEE PRELIMINARY PLAT FOR NAOS PROVIDED

LOMAS VERDES ESTATES				
LOT				
#	Area	Est Build Pad	Acres	%
1	31,764	9,853	0.7292	31.02%
2	35,209	10,272	0.8083	29.17%
3	42,086	10,159	0.9662	24.14%
4	50,500	11,242	1.1593	22.26%
5	75,736	9,656	1.7387	12.75%
6	49,051	9,820	1.1261	20.02%
Net	304,617		6.9930	
Gross	348,838		8.0082	
Int R/W	20,271		0.4654	
Lot Total	284,346		6.5277	
64th R/W	29,731		0.6825	
RB R/W	14,490		0.3326	
	348,838			
NAOS 1 (prov)	52,761		1.2112	
NAOS 2 (prov)	20,722		0.4757	
NAOS 3 (prov)	7,914		0.1817	
NAOS 4 (prov)	4,672		0.1073	
REVEG NAOS 5 (prov)	1,825		0.0419	
REVEG NAOS 6 (prov)	900		0.0207	
REVEG NAOS 7 (prov)	900		0.0207	
Provided NAOS	86,069		1.9759	24.67%
Provided Reveg NAOS	1,813		0.0416	0.52%
Required NAOS	74,317		1.7061	21.30%
NAOS 1 (req)	66,970		1.5374	
NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	



CK BY	
DESCRIPTION	
REV. DATE	
LOMAS VERDES ESTATES	
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ	
LOCATED IN SECTION 34, T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA	
SHEET TITLE	PROJECT TITLE
	SLOPE ANALYSIS
old engineering • land development surveying • environmental services staking • flood control and drainage transportation	Engineering and Environmental Consultants, Inc. 7740 N. 16th Street, Suite 135 Phoenix, Arizona 85020 Tel 602.248.7702 Fax 602.248.7851
DESIGN BY:	JMG
DRAWN BY:	JAR
CHK'D BY:	JMG
DATE:	OCTOBER 2017
SCALE:	
EEC NO	16534
DRAWING NO	
1 OF 1	

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

THE WEST 528 FEET OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST 1/4
OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK

CITY OF SCOTTSDALE BENCHMARK 1347, AT THE SOUTHWEST CORNER OF SECTION 34, T5N, R4E. DESCRIBED AS A PK NAIL IN A GLO PIPE, NO CAP, 0.9' ABOVE GROUND.

ELEVATION = 1945.33 (NAVD-88 DATUM)

(NOTE: THE SECTION CORNER IS CURRENTLY A CITY OF SCOTTSDALE BRASS CAP WHICH IS DESCRIBED IN THE GDAC SURVEY RECORDED IN BOOK 640, PAGE 6, WITH AN ELEVATION OF 1945.36 (0.03' DIFFERENCE)

THE ELEVATION OF 1945.33 WAS USED FOR THIS SURVEY.

SURVEY REFERENCE MATERIAL

GDAC SURVEY, BK 640 PG 6

PLAT FOR PASEO LAS COLINAS, BK 1025, PG 7

PLAT FOR IRONWOOD PRESERVE, BK 513, PG 8

PLAT FOR DESERT HIDEAWAY, BK 101, PG 37

BOUNDARY SURVEY, BK 863 PG 11

ASSESSOR MAP 212-10

UTILITY PROVIDER MAPS

CITY OF SCOTTSDALE WATER & SEWER MAPS

FIELD SURVEY BY:

RS TEAM LAND SURVEYORS
P.O. BOX 73487
PHOENIX AZ 85050

TITLE REPORT & SCHEDULE "B" DOCS

THIS ALTA SURVEY UPDATE WAS BASED ON THE TITLE REPORT PREPARED BY AMERICAN TITLE SERVICE AGENCY, LLC, ISSUING AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 00085871-052-SH3, DATED JANUARY 20, 2017, AND CONTAINS THE FOLLOWING SCHEDULE "B" ITEMS:

1. Taxes NOT A SURVEY MATTER)
2. An easement for highway and rights incidental thereto, recorded in Docket 10659, page 1419. (AS SHOWN)
3. Terms and provisions as set forth in an unrecorded Operating Agreement as disclosed by memorandum recorded in Document No. 2016-0607134. (NOTHING PLOTTABLE)

ZONING

CURRENT ZONING - R1-43 (CITY OF SCOTTSDALE)

(NO ZONING REPORT WAS PROVIDED FOR THIS SURVEY)

LEGAL DESCRIPTION

THE WEST 528 FEET OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

BASIS OF BEARINGS

A BEARING OF N 00° 03' 46" E ALONG THE WEST LINE OF THE S.W. 1/4 OF SECTION 34, AS MONUMENTED HEREON AND SHOWN ON THE RESULTS OF BOUNDARY SURVEY RECORDED IN BOOK 863, PAGE 11.

NOTE

1. (TABLE "A" ITEM 16) THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
2. (TABLE "A" ITEM 17) NO CHANGES IN STREET R.O.W. OR OBSERVABLE EVIDENCE OF RECENT SIDEWALK CONSTRUCTION OR REPAIRS.
3. (TABLE "A" ITEM 18) NO EVIDENCE OF ANY WETLANDS AREAS ONSITE.
4. THIS SURVEY WAS UPDATED ON 2-1-17 TO REFLECT THE AMENDED TITLE COMMITMENT REFERENCED HEREON. NO ATTEMPT WAS MADE TO FIELD INSPECT THE PROPERTY FOR THIS UPDATE.

FLOOD_ZONE

THE SITE IS LOCATED WITHIN FLOOD_ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S (F.E.M.A.) FLOOD INSURANCE RATE MAP #04013C1305 L, DATED OCTOBER 16, 2013.

FLOOD_ZONE "X" DEFINED BY F.E.M.A. AS:

"AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PARCEL AREA:

GROSS (AS DESCRIBED IN LEGAL DESCRIPTION)

348,834 SQ. FT.
8.0082 ACRES

NET (OF 30' RIGHT-OF-WAY EASEMENT)

332,998 SQ. FT.
7.6446 ACRES

APN

212-10-003F

PROPERTY ADDRESS

6501 E. RED BIRD
SCOTTSDALE AZ. 85266

LEGEND

SECTION & CENTER LINE
PROPERTY LINE
EASEMENT LINE
ADJACENT PROPERTY LINE

XX OR XX EXISTING MANHOLES, VAULTS AND BOXES

FIRE HYDRANT
WATER METER
SIGN
WATER VALVE



TREE



SAGUARO



OCOTILLO

ABBREVIATIONS

APN ASSESSOR PARCEL NUMBER
BWF BARBED WIRE FENCE
BC BRASS CAP
C CONCRETE
CLF CHAIN LINK FENCE
COS CITY OF SCOTTSDALE
E ELECTRIC
ESMT EASEMENT
-G- GAS LINE
MC MARICOPA COUNTY
NG NATURAL GROUND
P PAVEMENT
SS SANITARY SEWER
T TELEPHONE
W WATER

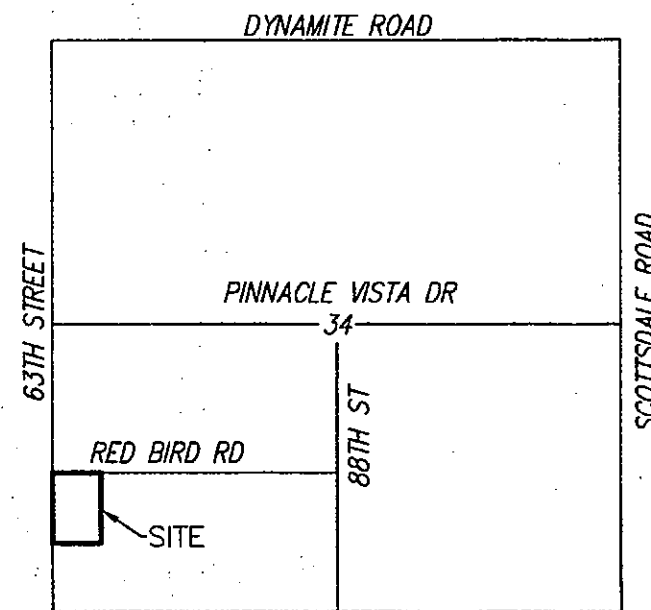
(M) FIELD MEASURED DATA
(R1) RECORD DATA FROM PLAT 863-11
(R2) RECORD DATA FROM PLAT 1025-7
(R3) RECORD DATA FROM PLAT 513-8
(C) CALCULATED FROM FIELD MEASURED & RECORD

VEGETATION

PV PALO VERDE
SAG SAGUARO
HB KACKBERRY
MSQ MESQUITE
IW IRONWOOD
OCT OCOTILLO

SURVEY MONUMENT LEGEND

- FOUND BRASS CAP AS NOTED
- FOUND 1" PIPE, NO I.D.
- SET 1/2" REBAR W/CAP RLS 44144
- FOUND 1" PIPE ATTACHED NAIL W/TAG RLS 44144



VICINITY MAP
SCALE: NONE

ENCROACHMENTS

NO ENCROACHMENTS WERE OBSERVED AS THE RESULT OF THIS SURVEY

CERTIFICATION

TO: BALABUS INVESTMENTS, LLC, AN ARIZONA LIMITED LIABILITY COMPANY; CITY OF SCOTTSDALE; AND AMERICAN TITLE INSURANCE AGENCY LLC, ISSUING AGENT FOR FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-6, 7, 8, 11, 14 AND 16-18, INCLUSIVE, OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON 8-2-16.

DATE OF MAP: 2-1-17

JEFFREY K. BAUER
RLS #44144

SEAL & SIGNATURE PERTAINS TO SHEETS 1, 2 & 3

ALTA/NSPS LAND TITLE SURVEY			
6501 E. RED BIRD ROAD SCOTTSDALE ARIZONA			
DES:	DRN: JB	CKD: RT	DATE: OCT. 2016
BAUER LAND SURVEYING, LLC 1721 W. Rose Garden Ln. Suite 4 Mailing: P.O. Box 73487 Phoenix Arizona 85050 PH: (602) 499-4104 FAX: (623) 445-2004		All information contained in this document is the property of the business shown in this title block and may not be used or reproduced for any other purpose without the expressed written consent of this business. Do not scale this drawing. SCALE: 1" = 20' JOB NO.: 1344 SHEET 1 OF 3	

MATCH LINE SHEET 2

APN 212-11-55W
UNSUBDIVIDED

APN 212-11-55W
UNSUBDIVIDED

APN 212-10-033

S 00°03'44" W 2642.30' (R1,M)
1321.15'

S 00°03'45" W
660.63'

S 1/4 COR
SEC 34
T5N, R4E
FND M.C. BC
0.4' BELOW
SURFACE

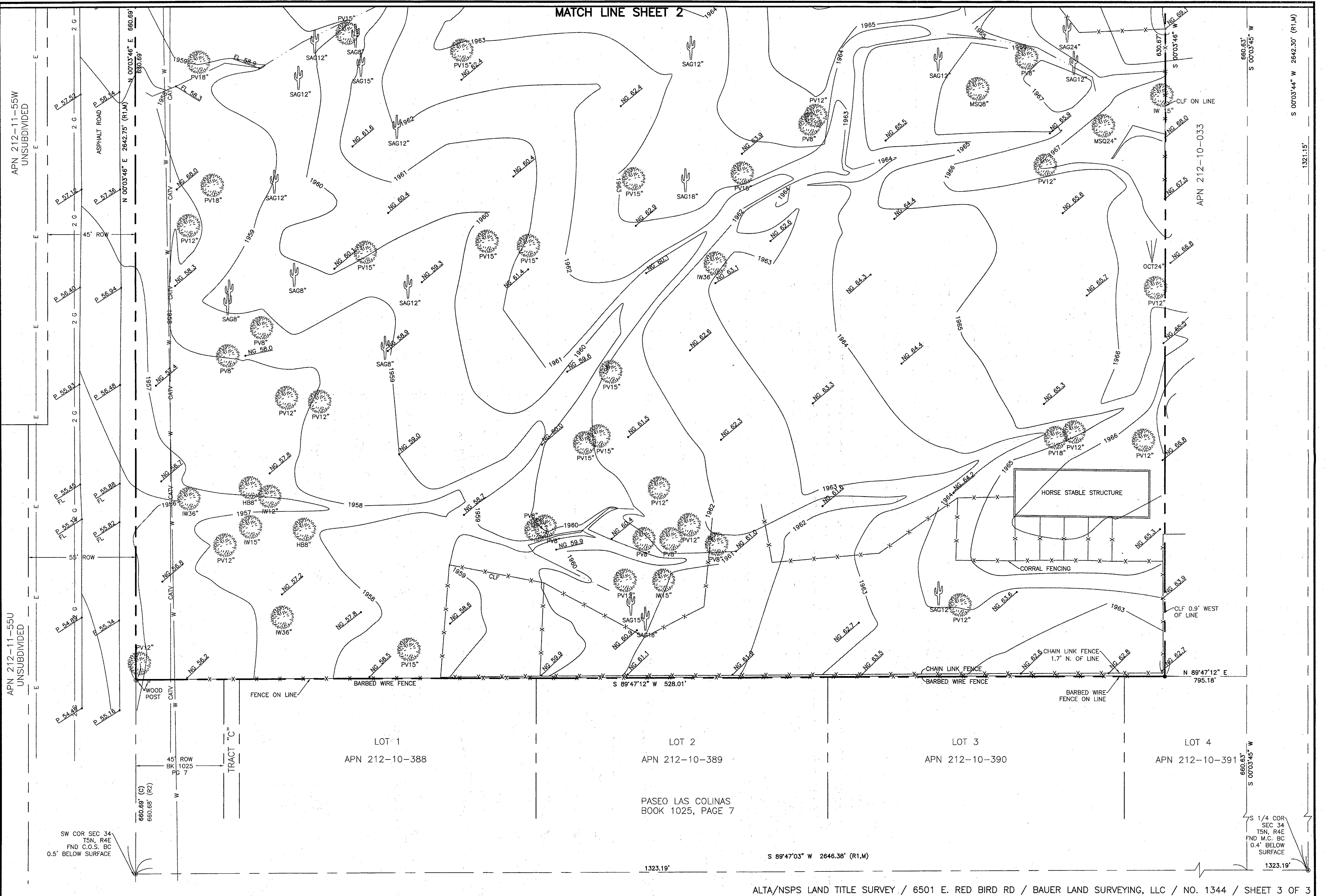
1323.19'

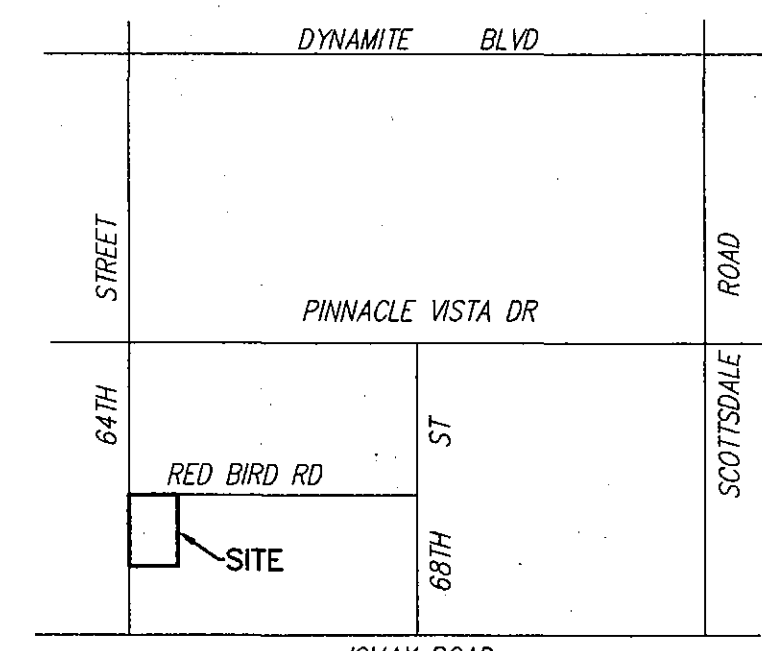
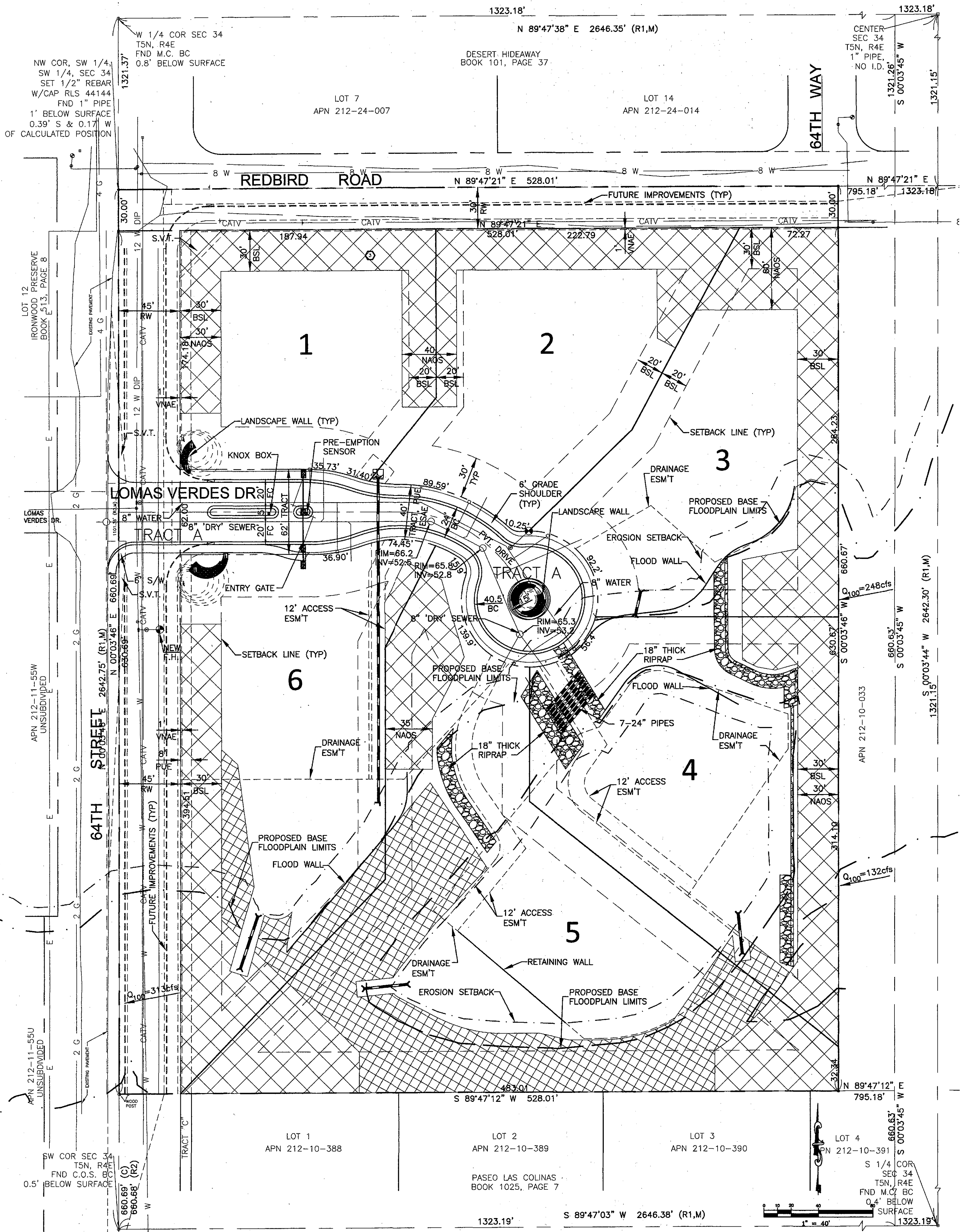
S 89°47'03" W 2646.38' (R1,M)

1323.19'

ALTA/NSPS LAND TITLE SURVEY / 6501 E. RED BIRD RD / BAUER LAND SURVEYING, LLC / NO. 1344 / SHEET 3 OF 3

5-PP-2017
10/26/2017





VICINITY MAP

LOMAS VERDES ESTATES - new				
LOT				
#	Area	Estimated Pad	Acres	% Pad
1	31,875	12,459	0.7317	39.09%
2	35,209	15,361	0.8083	43.63%
3	42,086	13,282	0.9662	31.56%
4	49,570	12,923	1.1380	26.07%
5	76,666	13,404	1.7600	17.48%
6	49,166	11,595	1.1287	23.58%
Net	304,617		6.9930	
Gross	348,838		8.0082	
Int R/W	20,045		0.4602	
Lot Total	284,572		6.5329	
64th R/W	29,731		0.6825	
RB R/W	14,490		0.3326	
	348,838			
NAOS 1 (prov)	17,923		0.4115	
NAOS 2 (prov)	50,055		1.1491	
NAOS 3 (prov)	6,410		0.1472	
REVEG NAOS 4 (prov)	28,593		0.6564	
REVEG NAOS 5 (prov)	2,261		0.0519	
Provided NAOS	74,388		1.7077	24.42%
Provided Reveg NAOS	15,427	0.2076	0.3542	5.06%
Total Prov NAOS	89,815		2.0619	29.48%
Required NAOS	74,317		1.7061	24.40%
NAOS 1 (req)	66,970		1.5374	
NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	

ENGINEER
ENGINEERING AND ENVIRONMENTAL CONSULTANTS
7760 N 16TH STREET, SUITE 135
PHOENIX, AZ 85020
CONTACT: JAKE GRIFFIN
PHONE: (602) 248-7702
EMAIL: JGRIFFIN@EECCORP.COM

OWNER
LOMAS VERDES ESTATES, LLC
7001 E MAIN STREET, SUITE 101
SCOTTSDALE, AZ 85251
PHONE: 480-221-8311
CONTACT: JASON KUSH
EMAIL: JASON.KUSH@JKKUSHANDASSOCIATES.COM

BENCHMARK
CITY OF SCOTTSDALE BENCHMARK 1347, AT THE
SOUTHWEST CORNER OF SECTION 34, T5N, R4E.
DESCRIBED AS A PK NAIL IN A GLO PIPE, NO
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APN
212-10-003F

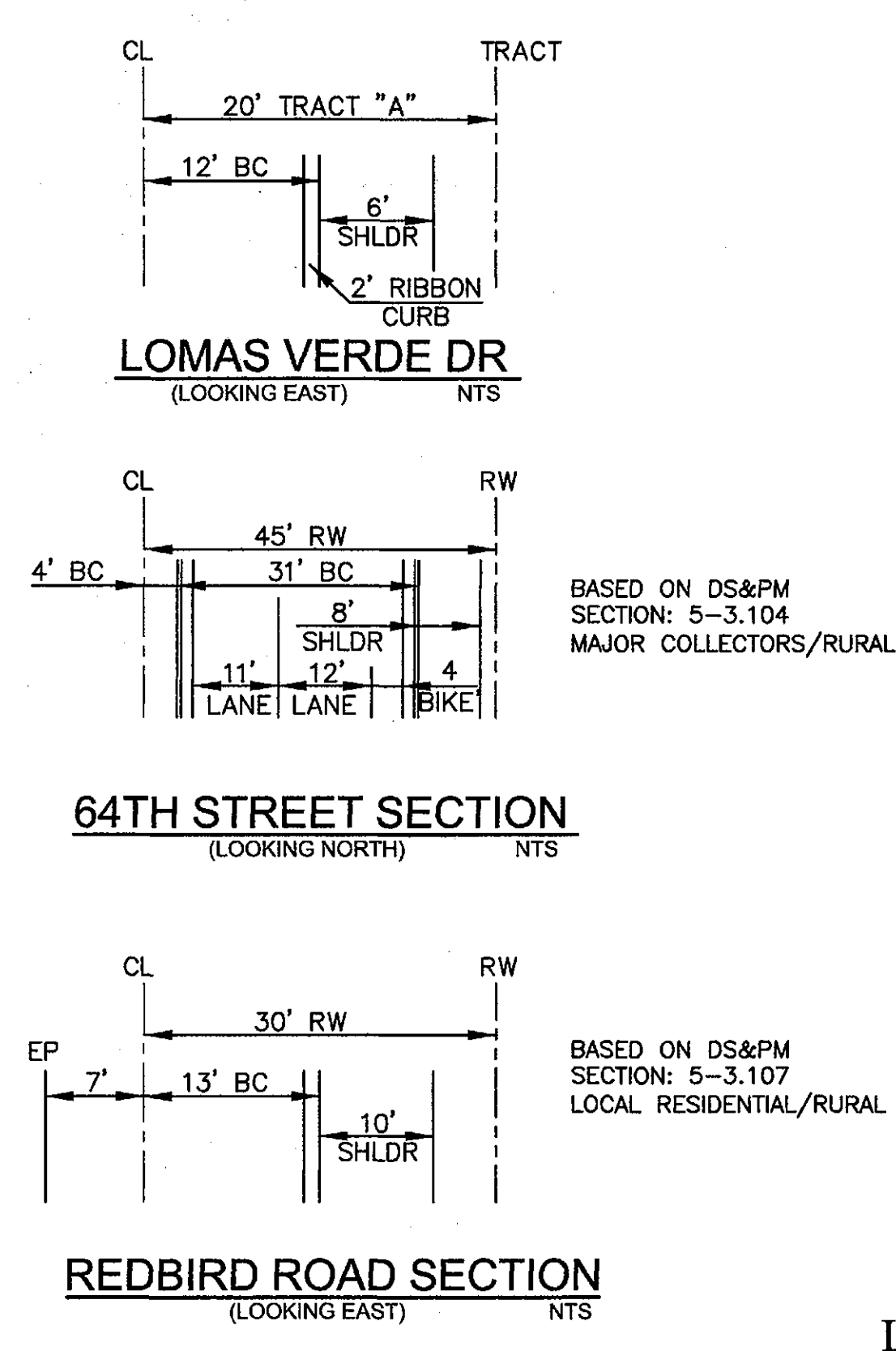
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"PUBLIC UTILITIES EASEMENT" AND A "REFUSE
COLLECTION EASEMENT" FOR THE CITY OF
SCOTTSDALE.



NOTE:
PAVING SHALL BE 83,000 LBS PER DSPM,
2-1.802(3)

- LEGEND**
- PROPOSED NAOS
 - PROPOSED REVEGETATED NAOS
 - PROPOSED RIPRAP PROTECTION
 - BSL BUILDING SETBACK
 - DE DRAINAGE EASEMENT



CK BY

DESCRIPTION

REV DATE

LOMAS VERDES ESTATES

6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

LOCATED IN SECTION 34,
T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA

SHEET TITLE

PROJECT TITLE

PRELIMINARY PLAT

civil engineering • land development
surveying • flood control and drainage
transportation

Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
Tel 602.248.7702 | Fax 602.248.7851

DESIGN BY: JMG

DRAWN BY: JAR

CHK'D BY: JMG

DATE: OCTOBER 2017

SCALE:

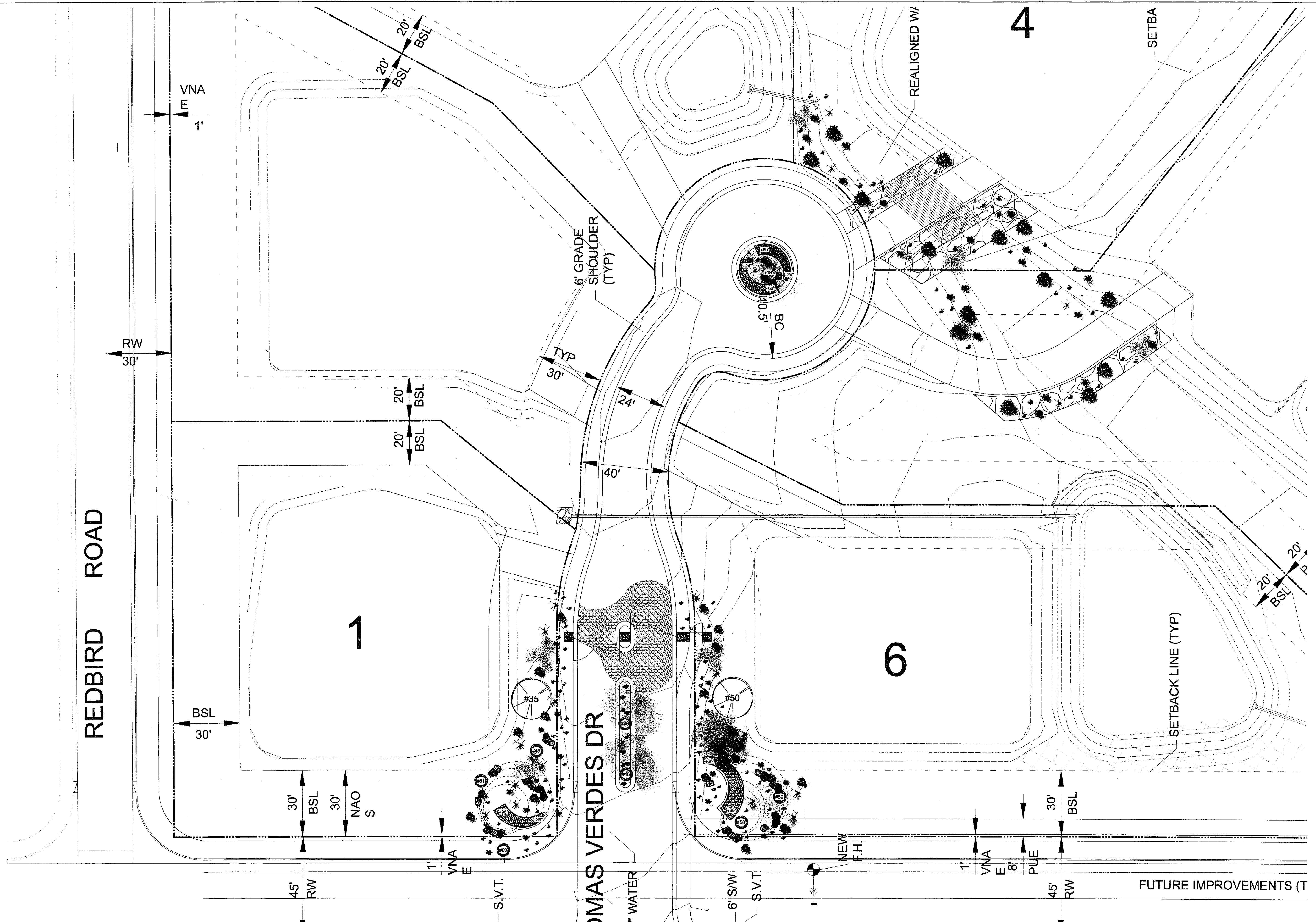
EEC NO 16534

DRAWING NO

31682
JAMES M. GRIFFIN
Professional Engineer
Arizona, USA
Expires: 9/30/18

1 OF 1

5-PP-16 903-PA-2016 QS: 49-43

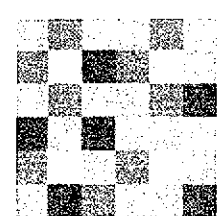


lomas verdes estates - entry

Sheet: **LP-1**

SCALE: 1" = 20'-0"

scottsdale, arizona

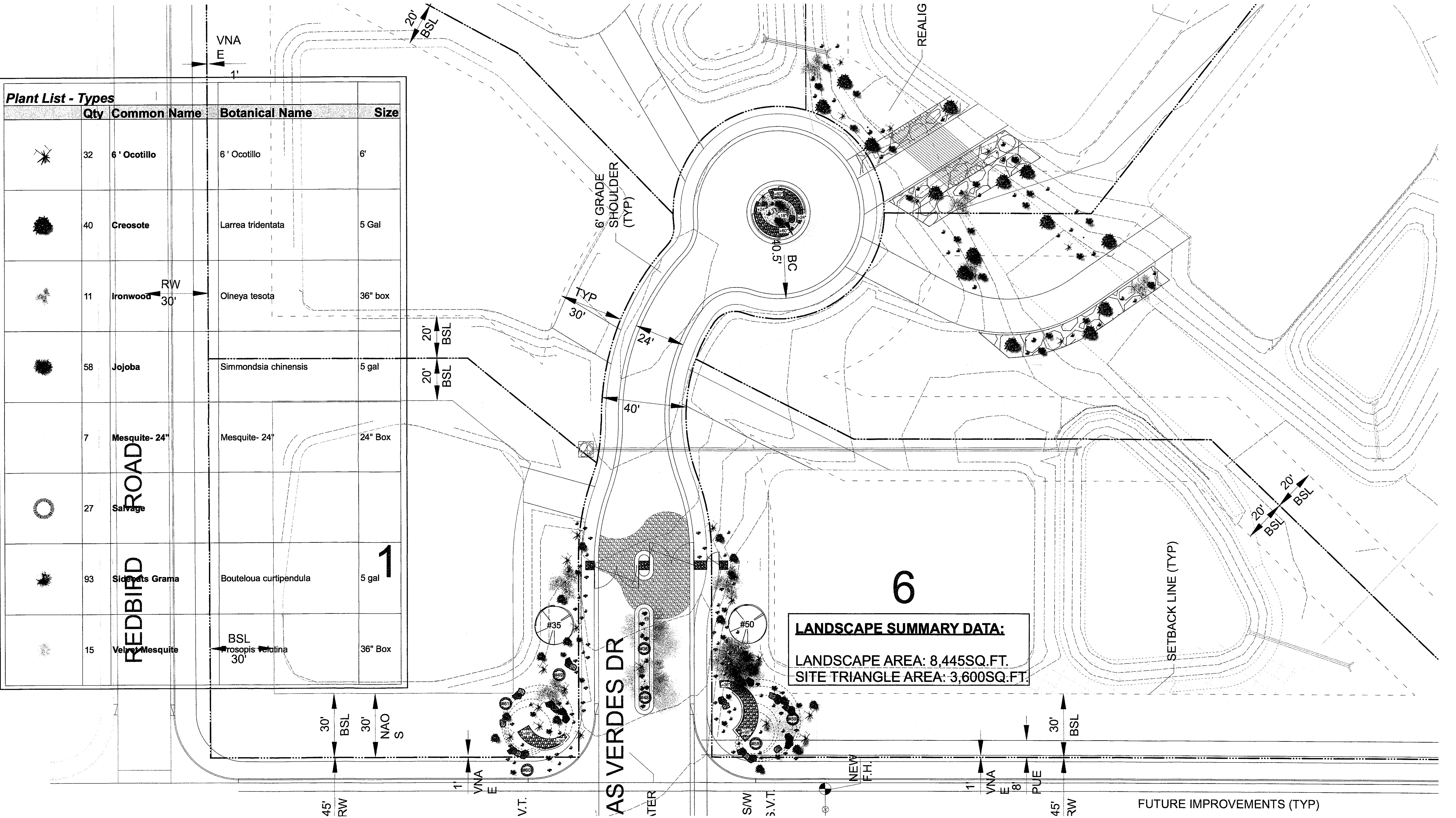


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Arizona License KA# 294678 Arizona License CR21# 286352

5-PP-2017
10/26/2017

Plant List - Types				
Qty	Common Name	Botanical Name	Size	
32	6' Ocotillo	6' Ocotillo	6'	
40	Creosote	Larrea tridentata	5 Gal	
11	Ironwood	Olneya tesota	36" box	
58	Jojoba	Simmondsia chinensis	5 gal	
7	Mesquite- 24"	Mesquite- 24"	24" Box	
27	Salvage			
93	Sidewalks Grama	Bouteloua curtipendula	5 gal	
15	Velvet Mesquite	Prosopis juliflora	36" Box	

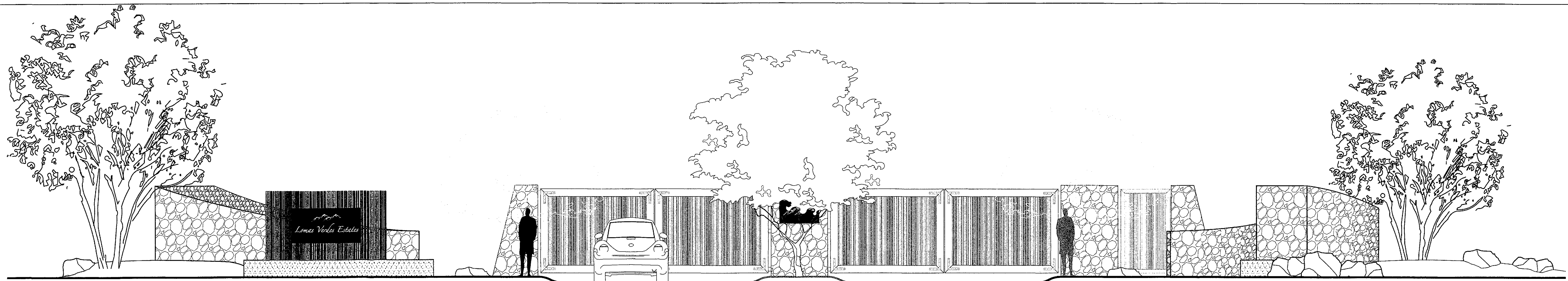


LANDSCAPE SUMMARY DATA:
 LANDSCAPE AREA: 8,445SQ.FT.
 SITE TRIANGLE AREA: 3,600SQ.FT.

lomas verdes estates - entry

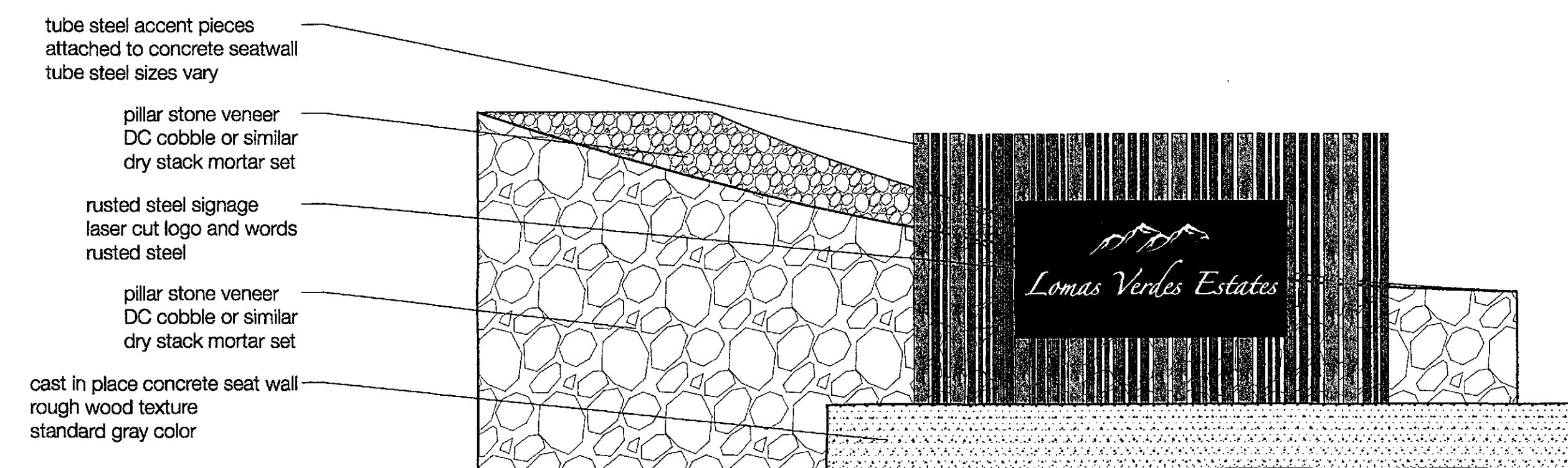
Sheet: **LP-2**

SCALE: 1" = 20'-0" scottsdale, arizona



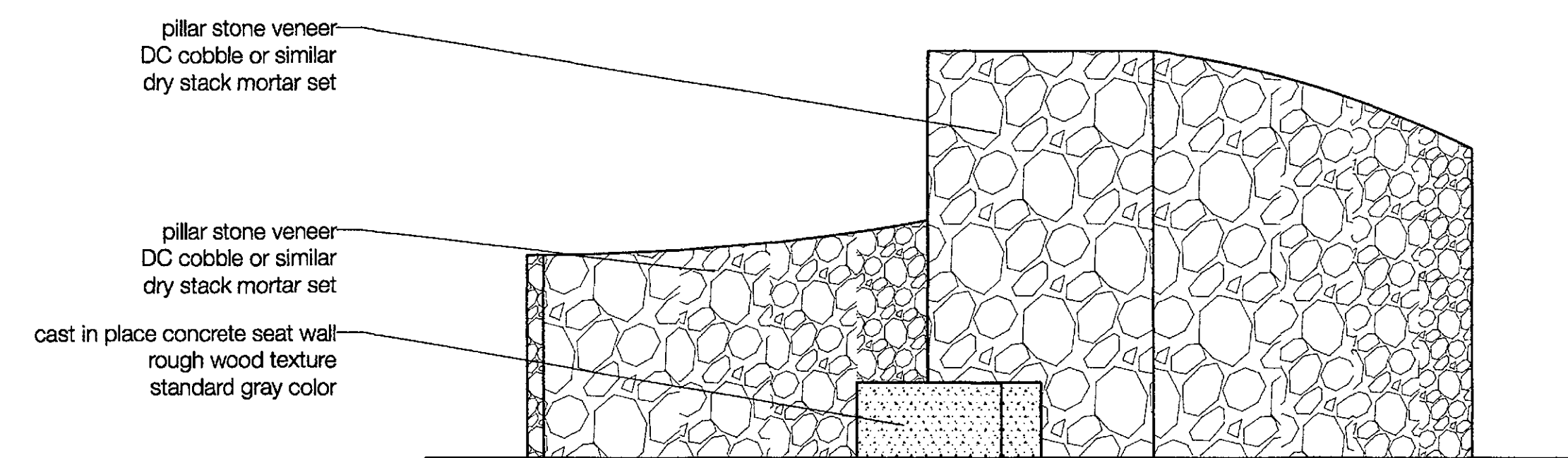
A LOMAS VERDE ESTATES - CONCEPTUAL ENTRY SECTION ELEVATION

SCALE: 1/4" = 1'-0"



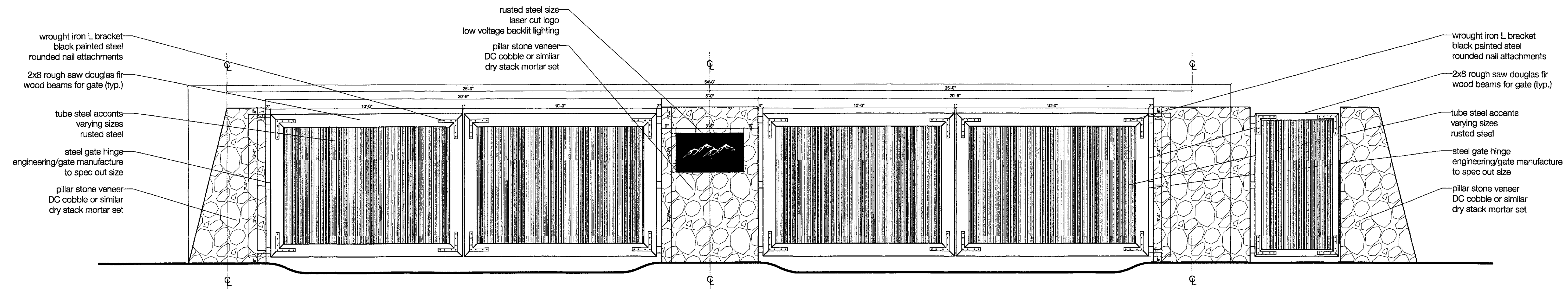
A LOMAS VERDE ESTATES - CONCEPTUAL ENTRY SECTION ELEVATION

SCALE: 3/8" = 1'-0"



A LOMAS VERDE ESTATES - CONCEPTUAL ENTRY SECTION ELEVATION

SCALE: 3/8" = 1'-0"



A LOMAS VERDE ESTATES - CONCEPTUAL ENTRY SECTION ELEVATION

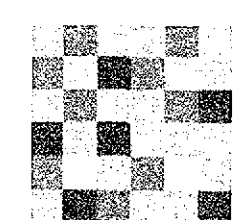
SCALE: 3/8" = 1'-0"

lomas verdes estates - entry

Sheet: LP-3

SCALE: SEE DETAILS

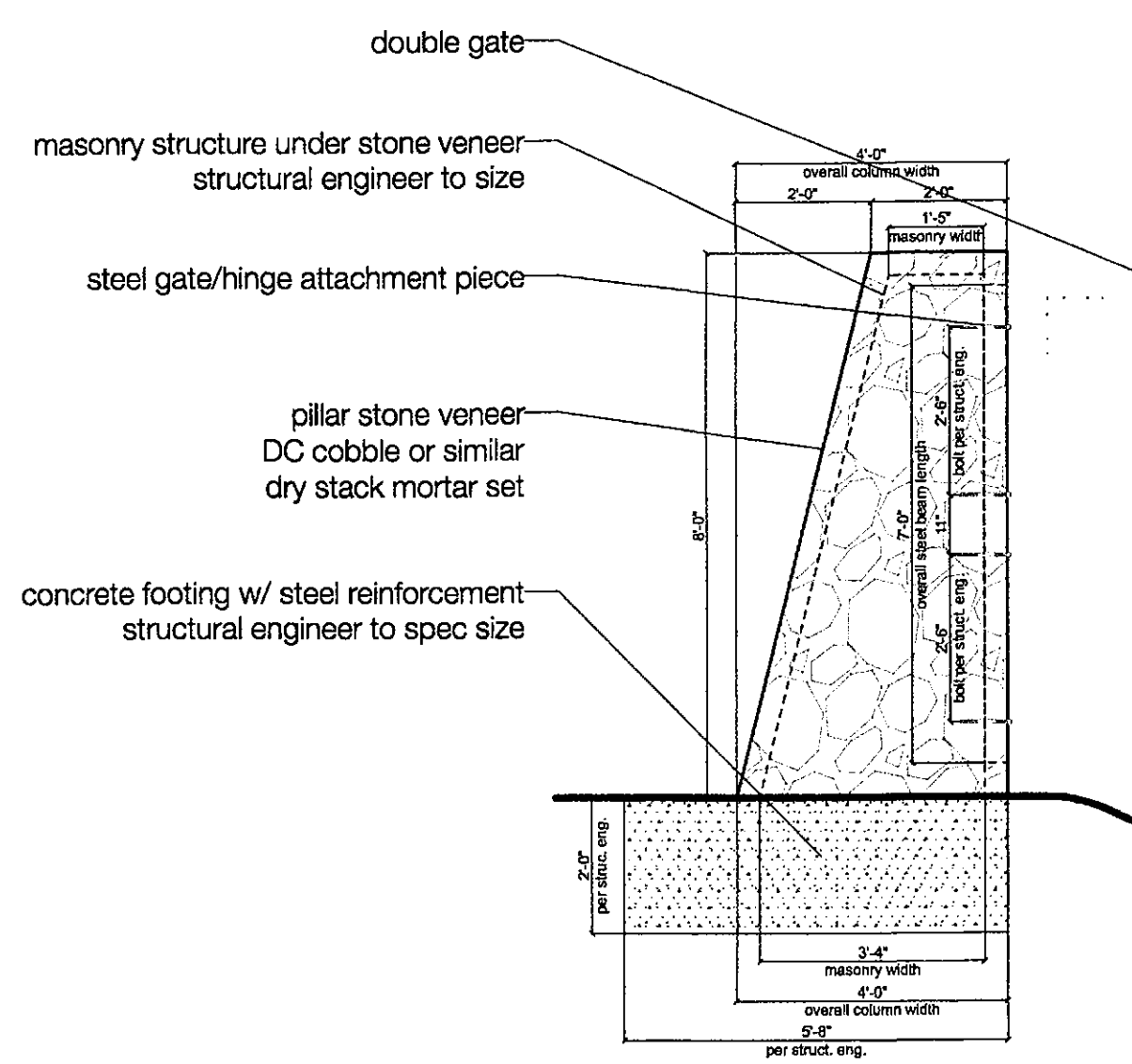
scottsdale, arizona



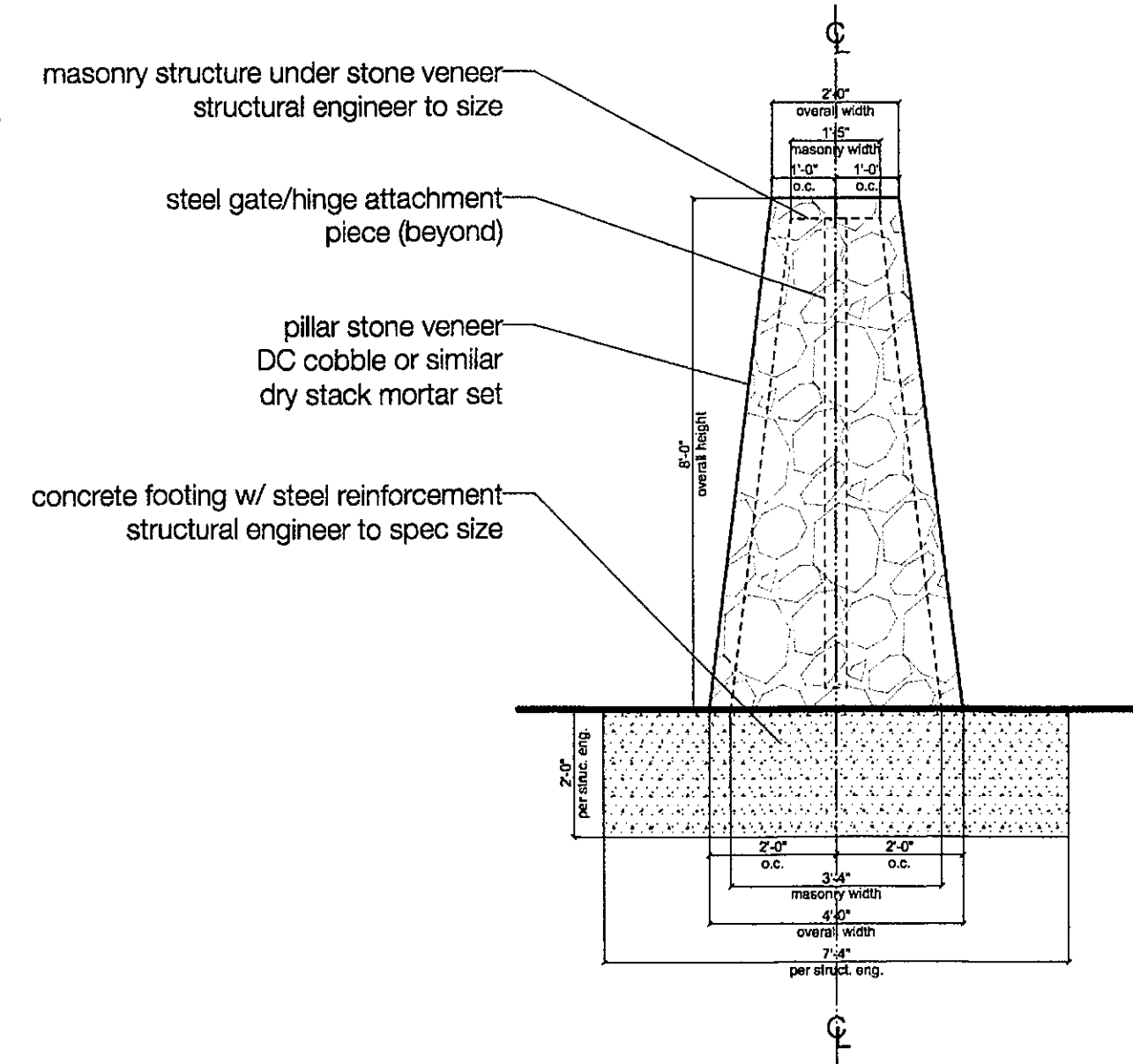
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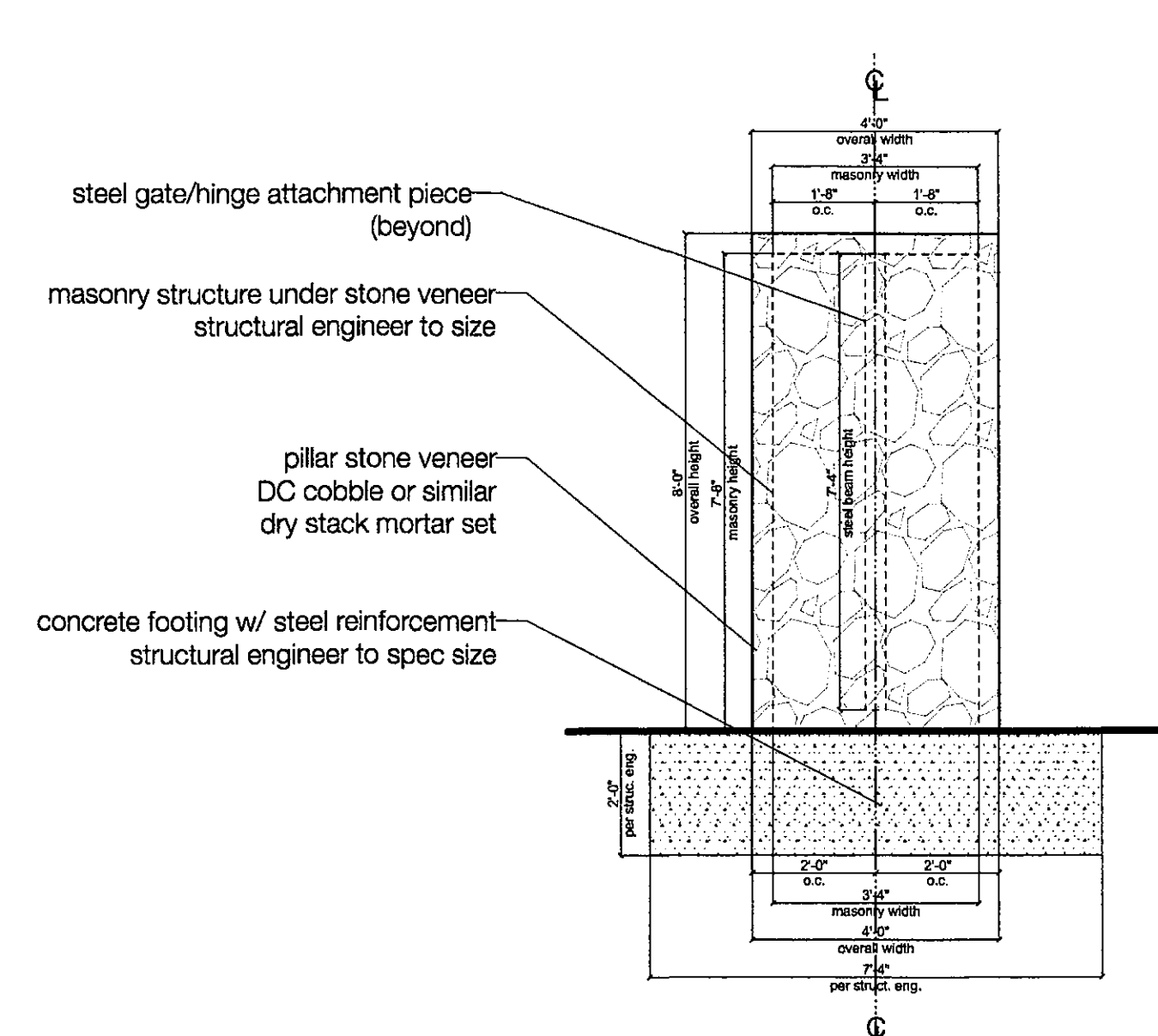
5-PP-2017
10/26/2017



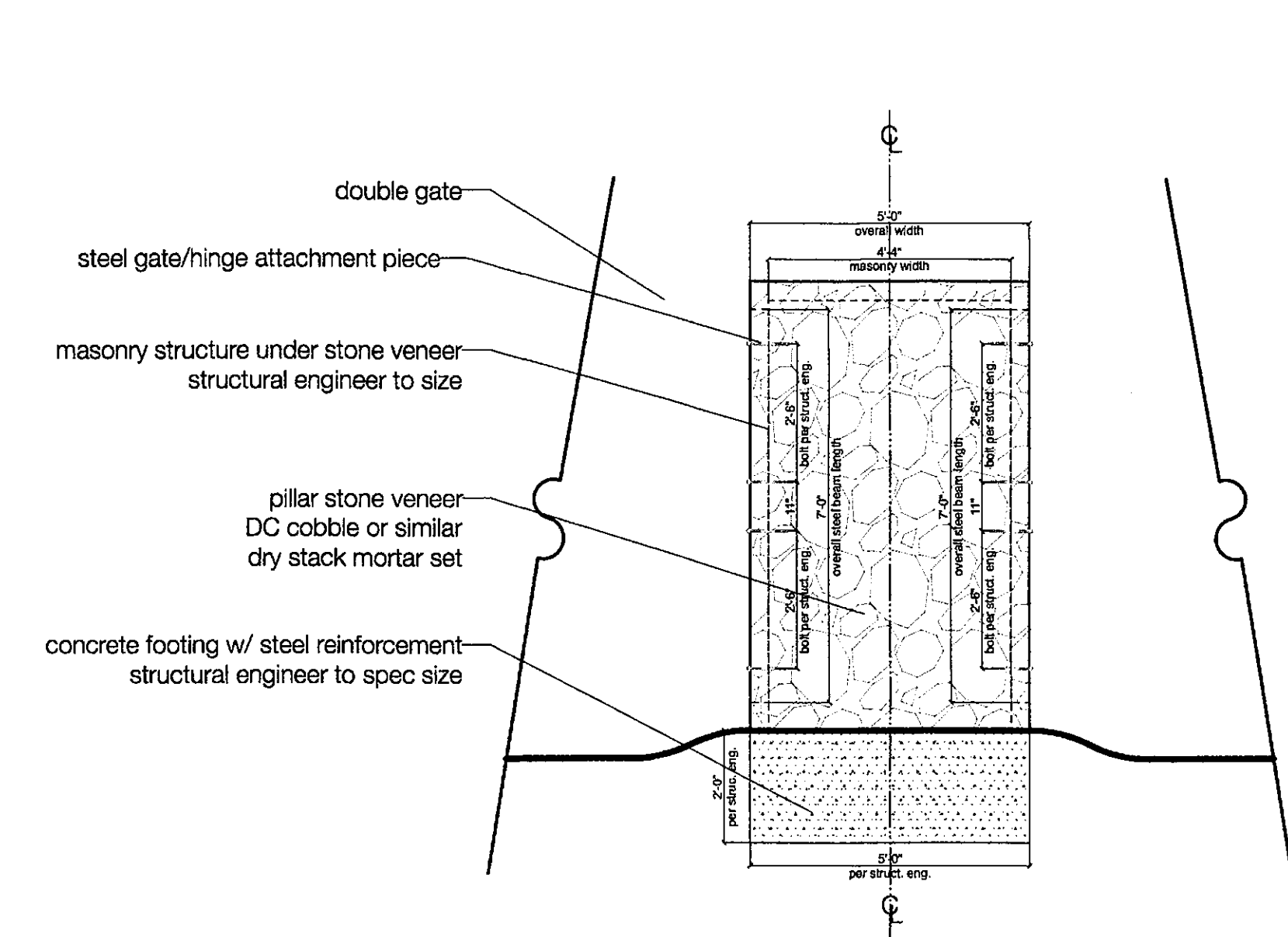
A PILLAR SECTION SCALE: 3/8" = 1'0"



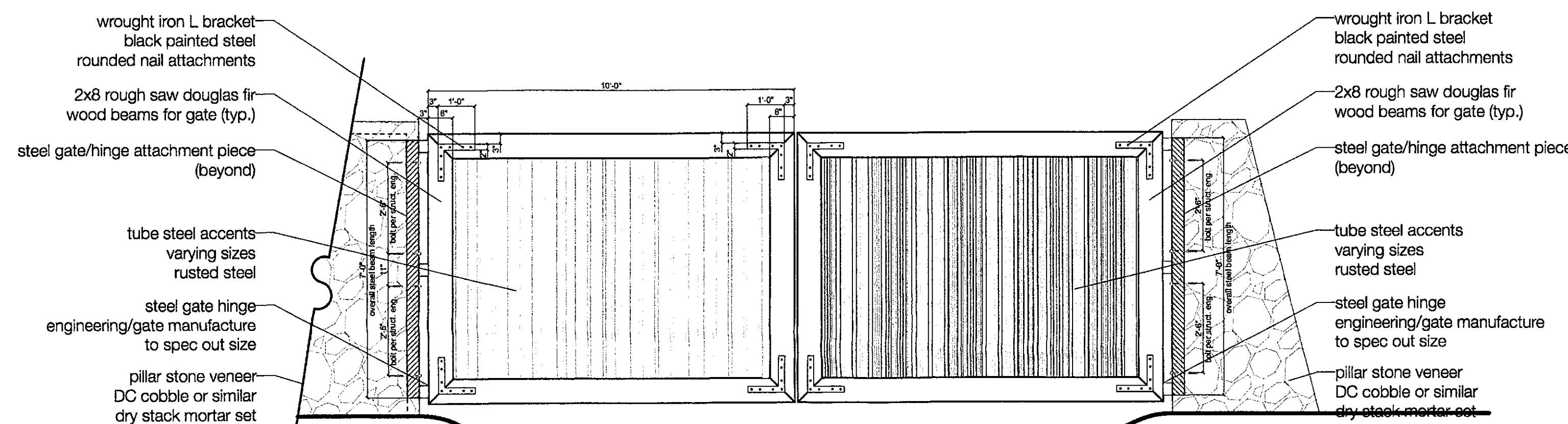
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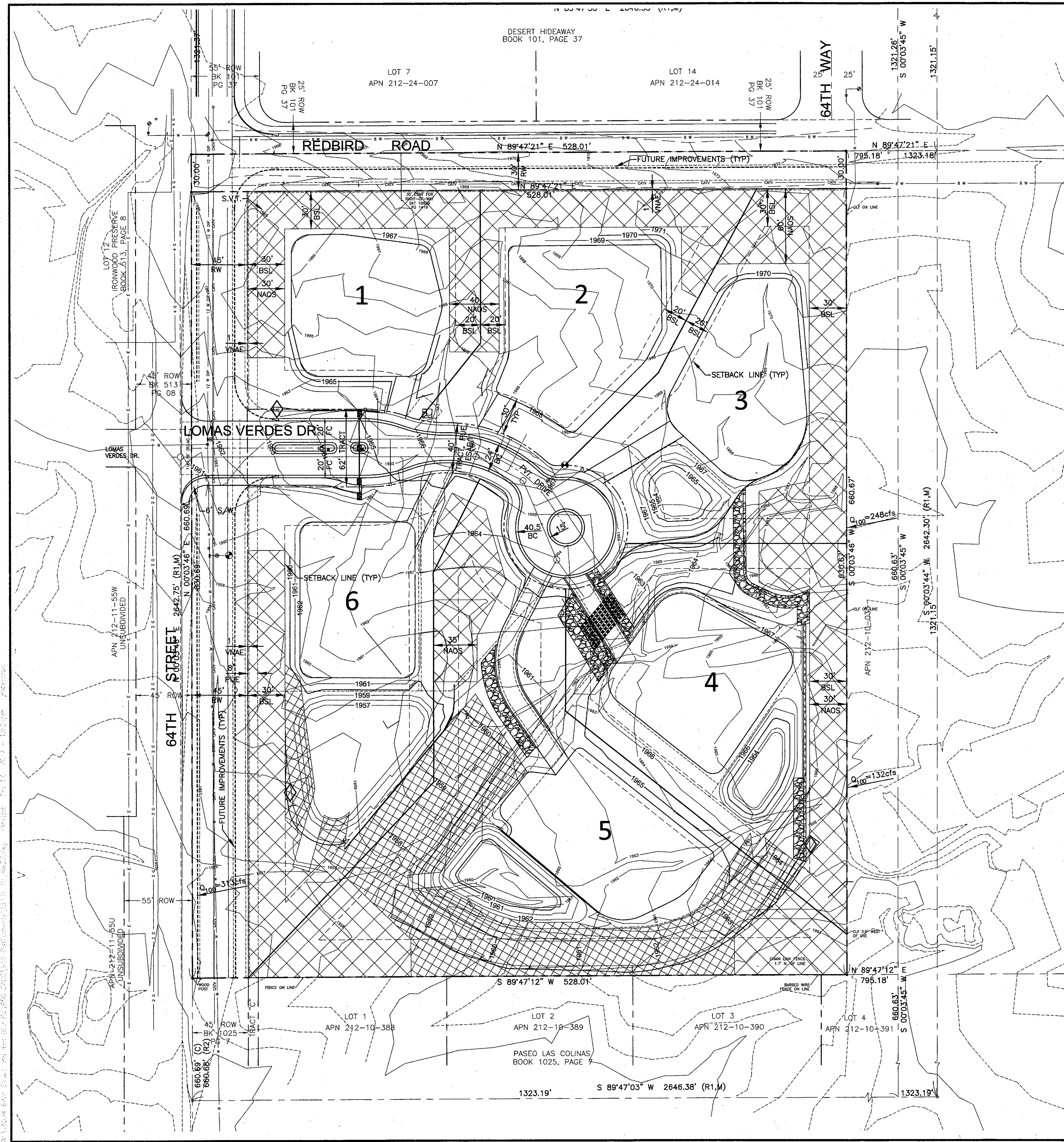
A PILLAR SECTION SCALE: 3/8" = 1'0"

lomas verdes estates - entry

Sheet: LP-4

SCALE: SEE DETAILS

scottsdale, arizona

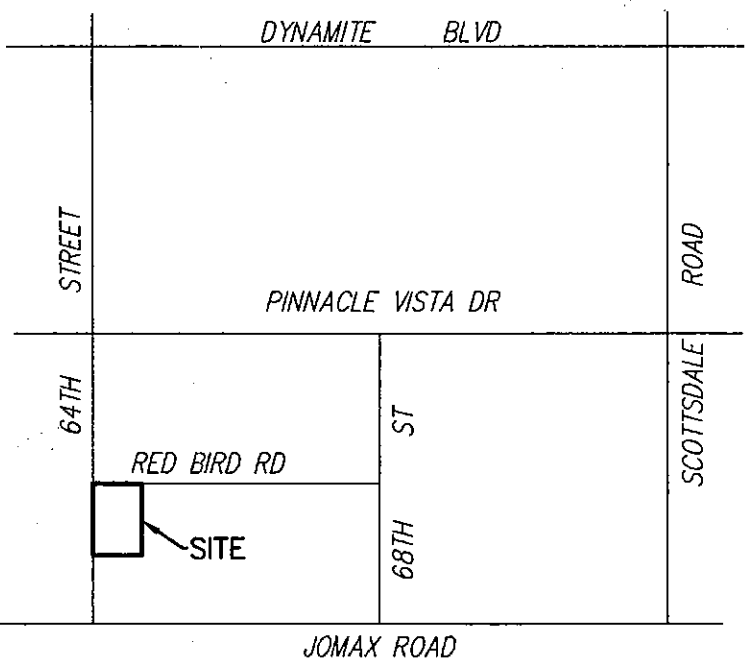


NATURAL AREA OPEN SPACE PLAN

FOR

LOMAS VERDES ESTATES

A PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP

LOMAS VERDES ESTATES - new				
LOT				
#	Area	Estimated Pad	Acres	% Pad
1	31,875	12,459	0.7317	39.09%
2	35,209	15,361	0.8083	43.63%
3	42,086	13,282	0.9662	31.56%
4	49,570	12,923	1.1380	26.07%
5	76,566	13,404	1.7600	17.48%
6	49,166	11,595	1.1287	23.58%
Net	304,617		6.9930	
Gross	348,838		8.0082	
Int R/W	20,045		0.4602	
Lot Total	284,572		6.5329	
64th R/W	29,731		0.6825	
RB R/W	14,490		0.3326	
	348,838			
NAOS 1 (prov)	17,923		0.4115	
NAOS 2 (prov)	50,055		1.1491	
NAOS 3 (prov)	6,410		0.1472	
REVEG NAOS 4 (prov)	28,593		0.6564	
REVEG NAOS 5 (prov)	2,261		0.0519	
Provided NAOS	74,388		1.7077	24.42%
Provided Reveg NAOS	15,427	0.2076	0.3542	5.06%
Total Prov NAOS	89,815		2.0619	29.48%
Required NAOS	74,317		1.7061	24.40%
NAOS 1 (req)	66,970		1.5374	
NAOS 2 (req)	3,392		0.0779	
NAOS 3 (req)	3,955		0.0908	

LEGEND

- PROPOSED NAOS
- PROPOSED REVEGETATED NAOS
- PROPOSED RIPRAP PROTECTION

LOMAS VERDES ESTATES
6501 E. REDBIRD ROAD, SCOTTSDALE, AZ

LOCATED IN SECTION 34,
T 5 N, R 4 E, G&SRM, MARICOPA COUNTY, ARIZONA

Engineering and Environmental Consultants, Inc.
7740 N. 16th Street, Suite 135 | Phoenix, Arizona 85020
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DESIGN BY: JMG
DRAWN BY: JAR
CHK'D BY: JMG
DATE: OCTOBER 2017
SCALE:
EEC NO: 16534
DRAWING NO:

