

**Full Size or Largest Size
(site plan, landscape, elevations)**

-X-

- AND PATENTED BY U.S.

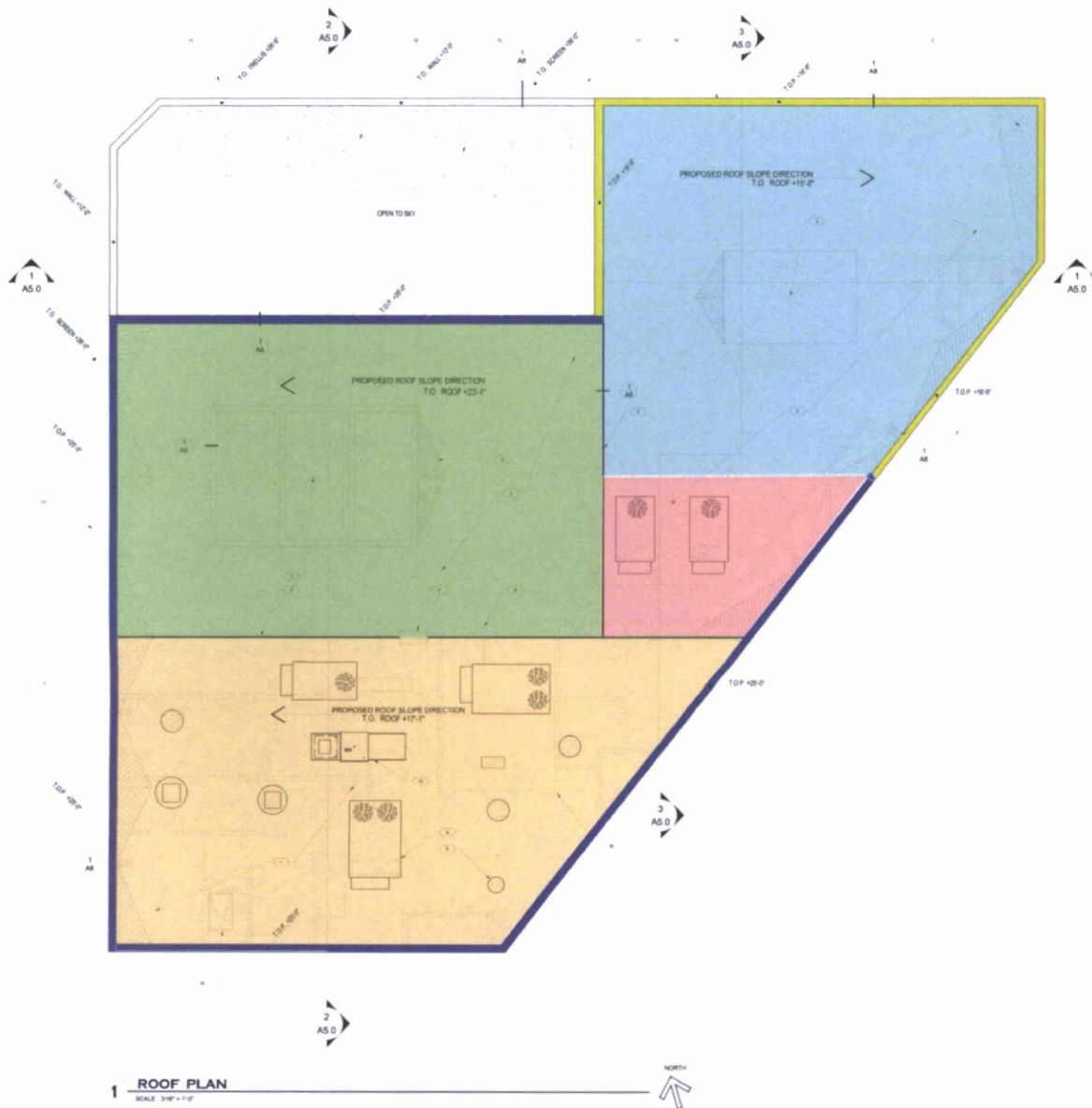
SCOTTSDALE FASHION SQUARE

FOOTNOTES

RE
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+ 5.12
2
3
DATE

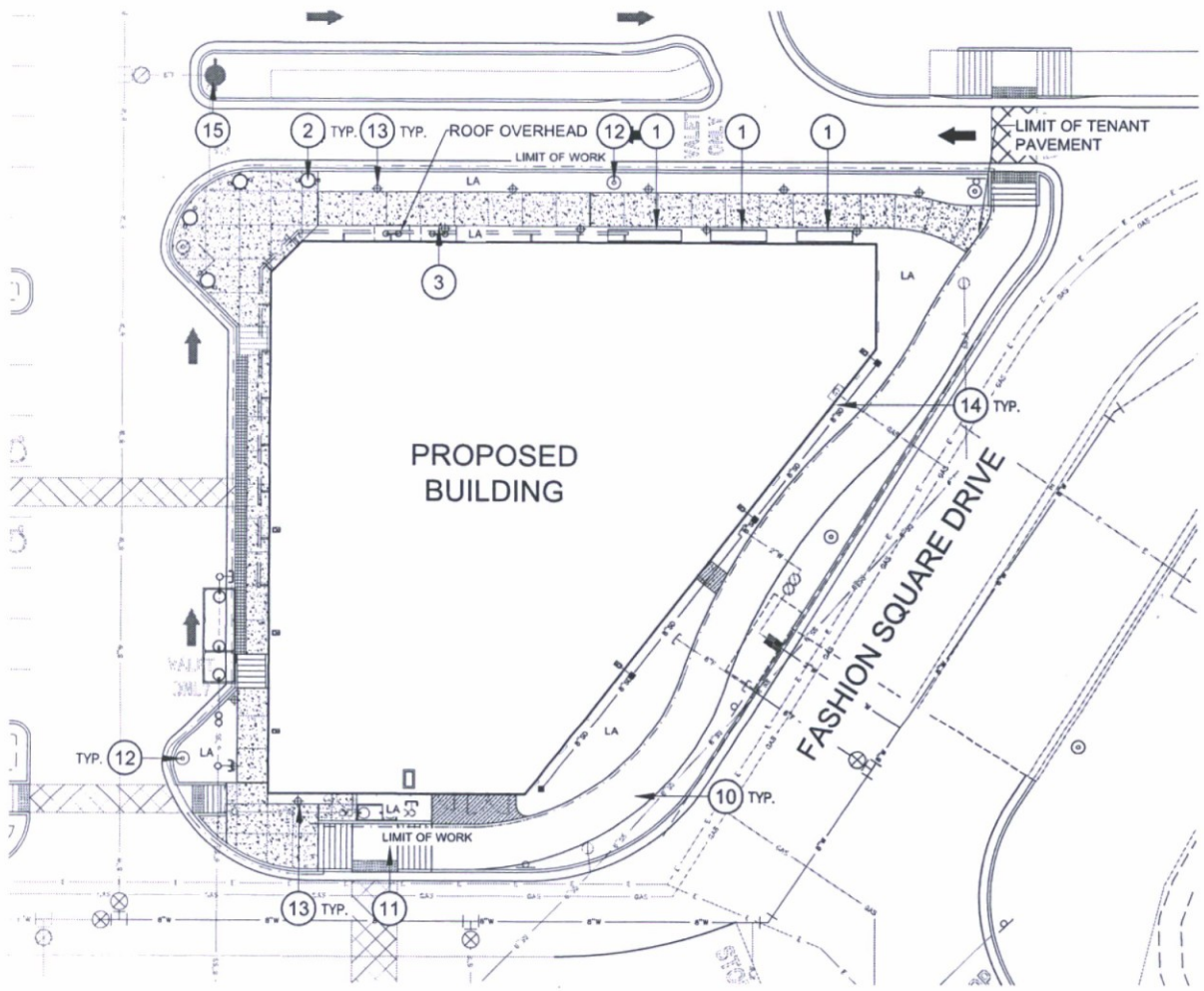
REV
NO
PT

A



1 ROOF PLAN

SCALE 3/16" = 1'-0"



HARDSCAPE LEGEND

PAVING	
[Pattern]	CONCRETE PAVING, TYPE 1
[Pattern]	CONCRETE PAVING, TYPE 2
[Pattern]	TRUNCATED DOME PAVERS

[Symbol]	EXPANSION JOINT
[Symbol]	SAW CUT CONTROL JOINT

HARDSCAPE ELEMENTS	
1	STEEL PLANTER
2	PRECAST PLANTER
3	BIKE RACK

OTHER	
10	SIDEWALK
11	ADA RAMP
12	LIGHT POST
13	LANDSCAPE ACCENT LIGHTING
14	CIVIL UTILITIES
15	FIRE HYDRANT
LA	LANDSCAPE AREA
---	LIMIT OF WORK
---	RIGHT-OF-WAY

LIGHTING LEGEND

SYM.	BRAND	TYPE	MODEL	QTY.
LANDSCAPE				
○	FX LUMINAIRE	LED UPLIGHT 3.0 WATT FC-ILED-RD-FB	FC	8
⊕	LANDSCAPE FORMS	PATH LIGHT TYPE 4 MATTE BLACK	ASHBURY	12
—	FX LUMINAIRE	WALL WASH 20 WATT LC-ILED-FB	LC	12
□	FX LUMINAIRE	TRANSFORMER SIZE PER PLAN	FX	1

NOTE:
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
2. CONTRACTOR TO SUBMIT PRODUCT CUT SHEETS AND SHOP DRAWINGS FOR REVIEW PRIOR TO PURCHASING FIXTURES.

FLOO
ASSOCIAT

1435 N. First Street
Second Floor
Phoenix, AZ 85004

602.442.8022
602.462.8022

OWNER
THE MADERA GROUP
8720 SUNSET BLVD.
WEST HOLLYWOOD, CA 90069

CONSULTANTS
ARCHITECT
NEPTUNE DESIGN GROUP
43001 E GREENWAY PARKWAY
#100-107
SCOTTSDALE, AZ 85254

CERTIFICATION

23363

EXPIRES: 3/31/20

TOCA MADERA
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

PROJECT NO.	12-DR-2018
DRAWN BY	TC
CHECKED BY	CL

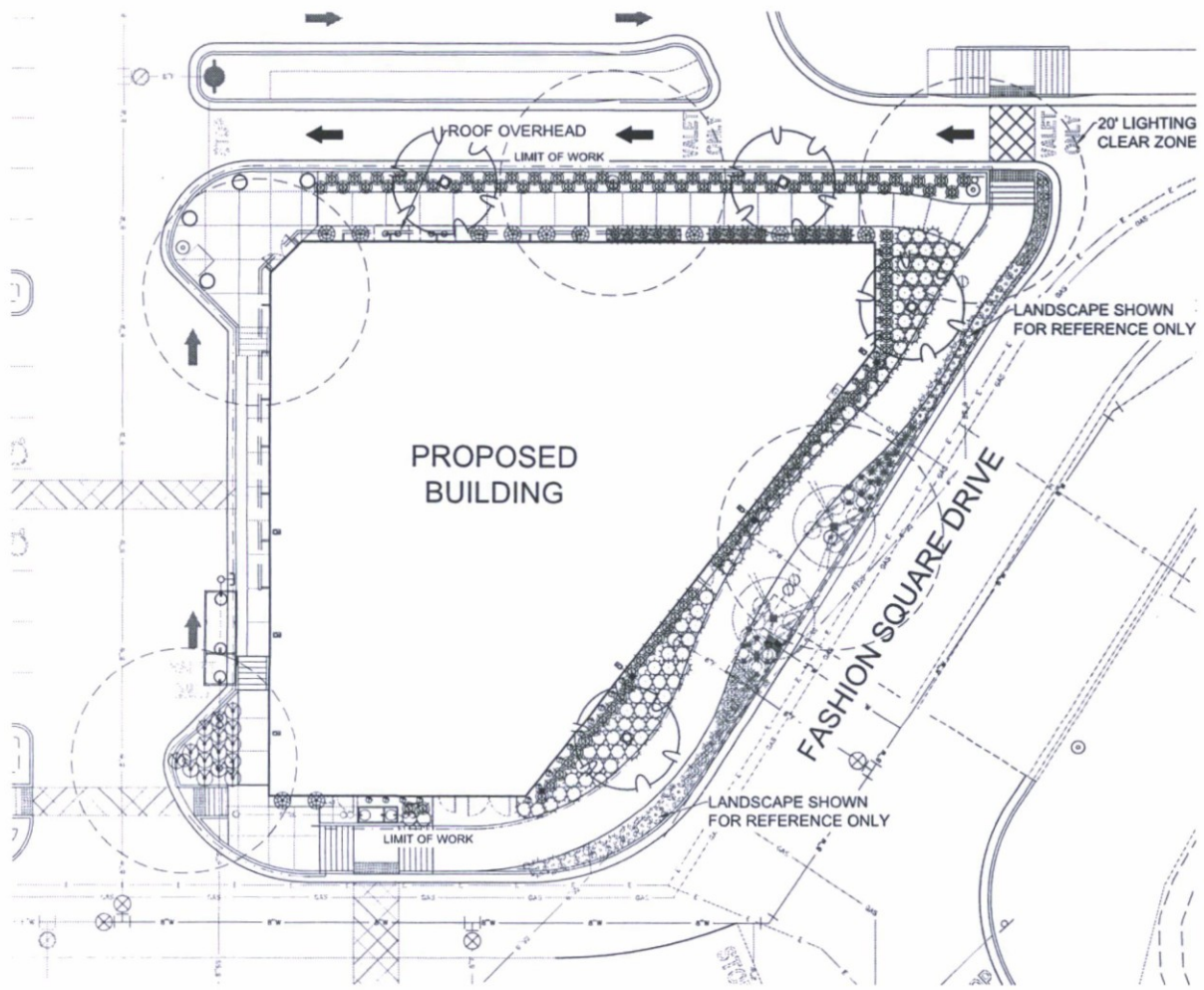
SUBMITTAL	NO. DATE ISSUED FOR
	05.08.18 - REVIEW

ISSUED FOR
CITY REVIEW

HARDSCAPE PLAN
H-10

SCALE: 1" = 20'

12-DR-2018
5/11/2018



PLANT LEGEND

BOTANICAL NAME SYM. PLANT NAME	SIZE	MIN. CAL HT X W	QTY.
TREES			
PARKINSONIA X DESERT MUSEUM	48" BOX	3.5" CAL 12H X 8W	4
ACCENTS			
ALOE BARBADENSIS	5 GAL		13
MEDICINAL ALOE	5 GAL		11
DASYLIRION QUADRANGULATUM	5 GAL		105
TOOTHLESS SOTOL	5 GAL		
YUCCA RUPESCOLA	5 GAL		
TWISTED LEAF YUCCA	5 GAL		
VINES			
PARTHENOCEISSUS X HACIENDA CREEPER	5 GAL		24
GRASSES			
MUHLENBERGIA CAPILLARIS	5 GAL		16
REGAL MIST	5 GAL		
GROUNDCOVER			
WIDELIA TEXANA	5 GAL		87
DEVILS RIVER	5 GAL		
LANDSCAPE POT			
DASYLIRION QUADRANGULATUM	5 GAL		1 (PER POT)
LANTANA X NEW GOLD	1 GAL		3 (PER POT)
TOPDRESS / DUST CONTROL			
MATCH PROPOSED SITE AGGREGATE			1,888 S.F.
TOTAL LANDSCAPE AREAS			
ON-SITE LANDSCAPE			1,888 S.F.
RIGHT-OF-WAY LANDSCAPE			0 S.F.
PARKING LOT LANDSCAPE			0 S.F.

FLOO
ASSOCIATES

1425 N. First Street
Second Floor
Phoenix, AZ 85004

OWNER
THE MADERA GROUP
8730 SUNSET BLVD.
WEST HOLLYWOOD, CA 90069

CONSULTANTS
ARCHITECT
NEPTUNE DESIGN GROUP
4000 E GREENWAY PARKWAY
#150707
SCOTTSDALE, AZ 85254

CERTIFICATION



EXPIRES: 3/31/20

TOCA MADERA
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

PROJECT NO.
DRAWN BY
CHECKED BY

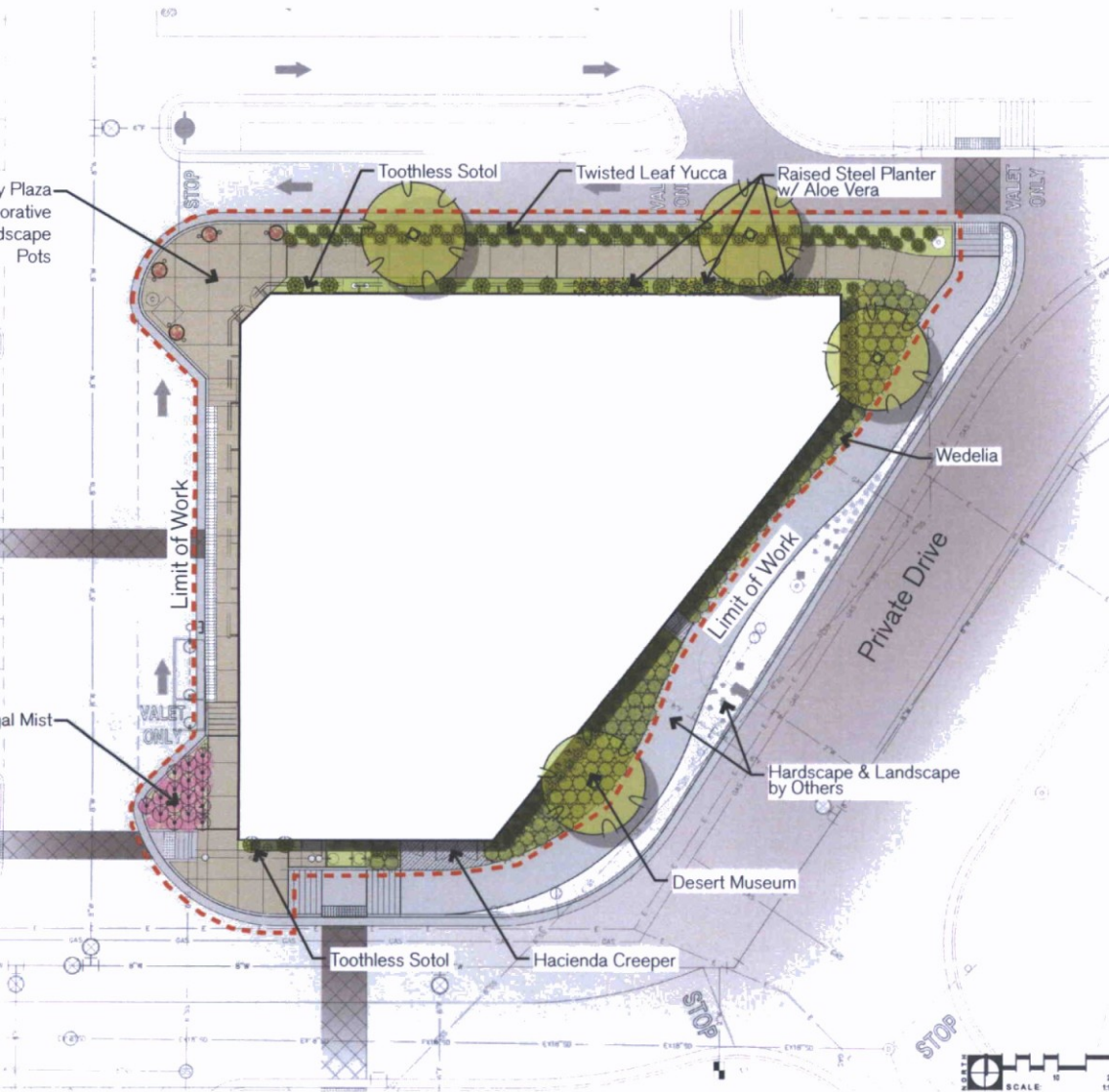
SUBMITTAL
NO. DATE ISSUED FOR
05.08.18 REVIEW

ISSUED FOR
CITY REVIEW

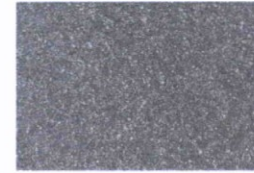
LANDSCAPE PLAN
L-10



12-DR-2018
5/11/2018



Hardscape Materials



Acid Etched Concrete



Raised Steel Planter



Precast Concrete Pot

Landscape Materials



Twisted Leaf Yucca
Yucca rupicola



Aloe Vera
Aloe barbadensis



Desert Museum
Parkinsonia x 'Desert Museum'



Regal Mist
Muhlenbergia capillaris



Toothless Sotol
Dasylirion quadrangulatum



Parthenocissus x
Hacienda Creeper



Wedelia
Wedelia texana Devil's River

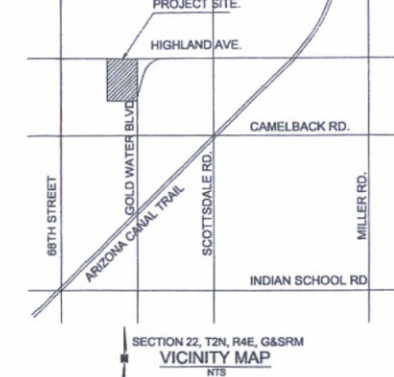
STIPULATION SET
RETAIN FOR RECORDS

APPROVED

8/2/18
DATE

INITIALS

SCOTTSDALE FASHION SQUARE LUXURY WING ENTRY-PAD B SCOTTSDALE, ARIZONA 85251



OLSSON ASSOCIATES
7250 North 16th Street, Suite 210
Phoenix, AZ 85020-3282
TEL: (602) 748-1000
FAX: (602) 748-1001
www.olssonassociates.com

PAD A LOT
39-DR-2017
(NOT INCLUDED)

TRAFFIC CONTROL ESMT PER
"GOLDWATER BOULEVARD MOD"
BK 347, PG 1

ROADWAY ESMT PER
"GOLDWATER BOULEVARD
MOD" BK 347, PG 1

PUBLIC
NON-MOTORIZED
ACCESS ESMT
PER DOCKET
18-0023113

SITE DISTANCE
ESMT PER DOCKET
18-0023103

N. GOLDWATER BLVD.
(PUBLIC STREET)
POSTED SPEED=35 MPH

CITY OF SCOTTSDALE
ACCESS ESMT
PER "GOLDWATER
BOULEVARD MOD"
BK 347, PG 1

PUBLIC NON-MOTORIZED
ACCESS ESMT PER
DOCKET 18-0023113

SITE DISTANCE
ESMT PER DOCKET
18-0023103

SIDEWALK ESMT
PER "GOLDWATER
BOULEVARD MOD"
BK 347, PG 1

SITE DISTANCE
ESMT PER DOCKET
18-0023103

30'
LS/BLDG
SETBACK

0' 10' 20' 40'
SCALE IN FEET

OWNER
MACERICH
1411 NORTH TATUM BLVD
PHOENIX, AZ 85028
PHONE: (602) 953-6539
FAX: (602) 953-1964
ATTN: ANDY GREENWOOD

DEVELOPER
NEPTUNE DESIGN GROUP, LLC
6501 EAST GREENWAY PARKWAY,
#103-707
SCOTTSDALE, AZ 85254
PHONE: (480) 297-5577
FAX: (480) 607-8193
ATTN: CHRIS NEAL

ENGINEER:
OLSSON ASSOCIATES
7250 NORTH 16TH STREET, SUITE 210
PHOENIX, ARIZONA 85020
PHONE: (602) 748-1000
FAX: (602) 748-1001
ATTN: CARDELL ANDREWS

SITE DATA TABLE (THIS PROJECT)

GROSS LOT AREA (PARCELS 173-36-004G and 173-36-004H)	352,570SF OR 8.09 ACRES
CONSTRUCTION LIMITS	15,038 SF OR 0.35 ACRES
PARCEL ZONING	D/RCO-2 PBD DO (DOWNTOWN DISTRICT REGIONAL COMMERCIAL OFFICE SUBDISTRICT WITHIN THE PLANNED BLOCK DEVELOPMENT AND DOWNTOWN OVERLAY)
LAND USE	RESTAURANT
GROSS FLOOR LEASE AREA (GFLA)	8,000
GROSS FLOOR AREA RATIO (GFAR)	ALLOWED= 1.3 (WITHOUT BONUSES) PROVIDED= 0.51 (12,352 GBA)
MAXIMUM BUILDING HEIGHT (DRU-2)	ALLOWED= 84' MAX PROVIDED= 30'-6"
BUILDING SETBACK (ADJACENT TO PUBLIC STREET)	REQUIRED= 30' MIN (NORTH GOLDWATER BLVD.) PROVIDED= 141' (NORTH GOLDWATER BLVD.)
PREVAILING SETBACK (FAÇADE LENGTH OF 200' +)	REQUIRED= BETWEEN 35' TO 45' (NORTH GOLDWATER BLVD.) PROVIDED= 141' (NORTH GOLDWATER BLVD.)
LANDSCAPE BUFFER	REQUIRED= 30' (NORTH GOLDWATER BLVD.) PROVIDED= N/A (PROVIDED WITH 26-DR-2017)
OPEN SPACE	REQUIRED= 10% MIN PROVIDED= N/A (PROVIDED WITH 26-DR-2017)
OFF-STREET PARKING (ENTIRE MALL)	REQUIRED= #7,703 PROVIDED= #7,933
ACCESSIBLE PARKING	REQUIRED= N/A (PROVIDED WITH LUX IMPROVEMENTS) PROVIDED= N/A (PROVIDED WITH 26-DR-2017)
BICYCLE PARKING	REQUIRED= N/A (PROVIDED WITH LUX IMPROVEMENTS) PROVIDED= 2 SPACES (ALSO PROVIDED WITH 26-DR- 2017)

* A TOTAL OF 133 PARKING SPACES ARE BEING ADDED WITH THE RE-DEVELOPMENT, THEREFORE THIS CALCULATION IS BASED ON 133 PARKING SPACES.
CROSS PARKING IS PROVIDED WITHIN THE REGIONAL SHOPPING CENTER TO SATISFY OFF STREET PARKING. PLEASE SEE PARKING PLAN EXHIBIT FOR BREAKDOWN OF REQUIRED SPACES.

SITE PLAN NOTES:

1. SITE PLAN IS INTENDED TO BE USED FOR PLANNING PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES
2. SEE LANDSCAPE PLANS FOR REMOVAL/SALVAGE SPECIFICATIONS OF TREES AND VEGETATION.
3. SEE CONSTRUCTION PLANS FOR CIVIL SPECIFICATIONS. ALL CURB DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. FOR TRASH ENCLOSURE AND OIL CONTAINMENT SYSTEM SEE SHEET C100.

PRELIMINARY
PLAN SET FOR
REVIEW
06/14/18

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2018

PRELIMINARY SITE PLAN

SCOTTSDALE FASHION SQUARE
LUXURY WING ENTRY-PAD B

SCOTTSDALE, ARIZONA 85251

drawn by: THW
designed by: SLV
checked by: AP
QA/QC by: CAIL
project no.: 017-3680
date: 06.14.18

APN: 173-36-004G
ZONED
D/RCO-2

EXISTING PURPLE
PARKING GARAGE
STRUCTURE

LUX WING
ENTRY
(CITY OF SCOTTSDALE
26-DR-2017
NOT A PART)

LIMITS OF
CONSTRUCTION

16" WATER & SEWER
FACILITIES ESMT PER
DOCKET 18-0023106

LUX WING
ENTRY
(CITY OF SCOTTSDALE
26-DR-2017
NOT A PART)

PAD C
26-DR-2017 #3
(NOT A PART)

PAD B
GFA 8,000 SF
FFE= 1291.50
PAD= 1291.2 (4" PAD)

OPEN ROOF
LOUNGE AREA

LIMITS OF
CONSTRUCTION

SITE PLAN KEYNOTES

1. BIKE RACK. SEE DETAIL D, SHEET C102.
2. FIRE DEPARTMENT CONNECTION (FDC).
3. 4" CONCRETE SIDEWALK, WIDTH PER PLAN SEE DETAIL A, SHEET C102.
4. LANDSCAPE AREA (SEE LANDSCAPE PLAN).
5. 2' MINIMUM SAWCUT.
6. 6" THICK CONCRETE (REINFORCED). SEE DETAIL B, SHEET C102.
7. 12" VALET LANE.

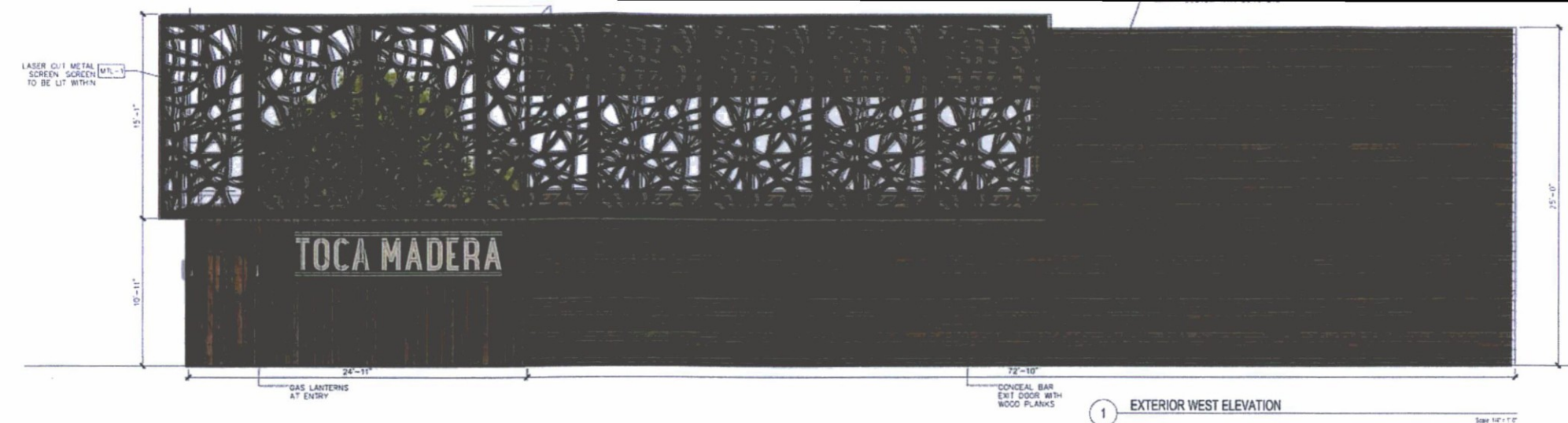
10. 6" CURB AND GUTTER, PER MAG STD DTL 220-1, TYPE 'A'.
11. ACCESSIBLE ACCESS RAMP, SEE DETAIL F, SHEET PC102.
12. CONCRETE VALET PAD (4' X4').
13. FIRE RISER ROOM PER MECHANICAL PLANS.
14. 2,000 GALLON GREASE INTERCEPTOR. SEE UTILITY PLAN, SHEET C301 FOR INFORMATION.
15. 750 GALLON SAND OIL SEPARATOR. SEE UTILITY PLAN, SHEET C301 FOR INFORMATION.
16. 6" PVC SDR35 SERVICE LINE. SEE UTILITY PLAN, SHEET C301 FOR INFORMATION.
17. 6" CLASS 350 DUCTILE IRON PIPE SERVICE LINE. SEE UTILITY PLAN, SHEET C301 FOR INFORMATION.

EXISTING KEYNOTES

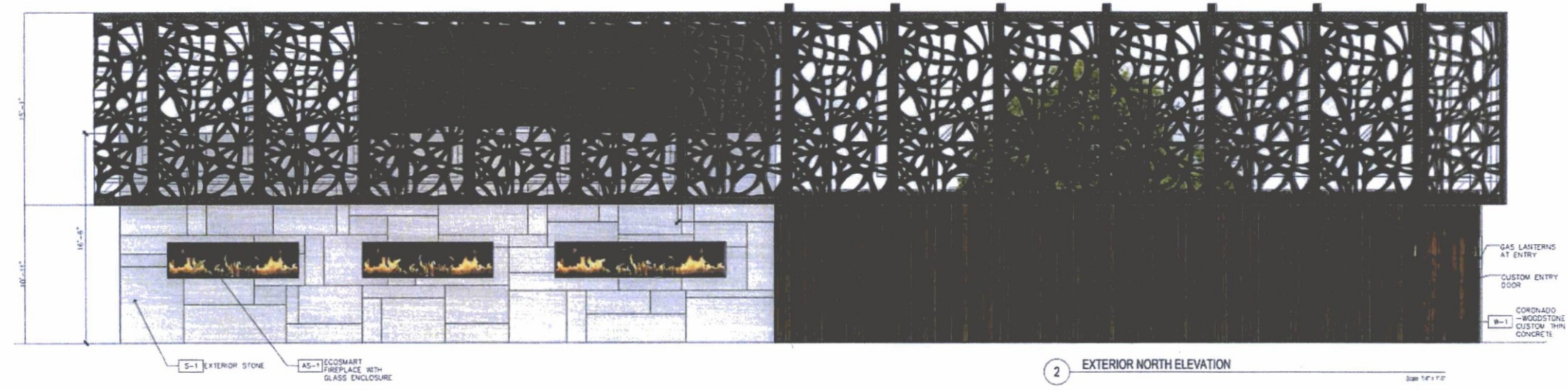
- A. EXISTING 8" SIDEWALK (PER 26-DR-2017)
- B. EXISTING LIGHTING TO REMAIN (PER 26-DR-2017)
- C. EXISTING SIGN TO REMAIN
- D. EXISTING FIRE HYDRANT (PER 26-DR-2017)
- E. EXISTING TRANSFORMER PAD (PER 26-DR-2017)
- F. EXISTING ACCESSIBLE RAMP (PER 26-DR-2017)
- G. EXISTING ACCESSIBLE PARKING (PER 26-DR-2017). SEE DETAIL E, SHEET C102
- H. EXISTING GAS METER STUB (PER 26-DR-2017)

- J. EXISTING MONUMENT SIGN
- K. EXISTING 6" PVC SDR35 SEWER SERVICE LINE
- L. EXISTING 8" CLASS 350 DUCTILE IRON WATER MAIN
- M. EXISTING 6" CLASS 350 DUCTILE IRON PIPE SERVICE LINE
- N. EXISTING 2" TYPE L, HARD COPPER WATER SERVICE LINE

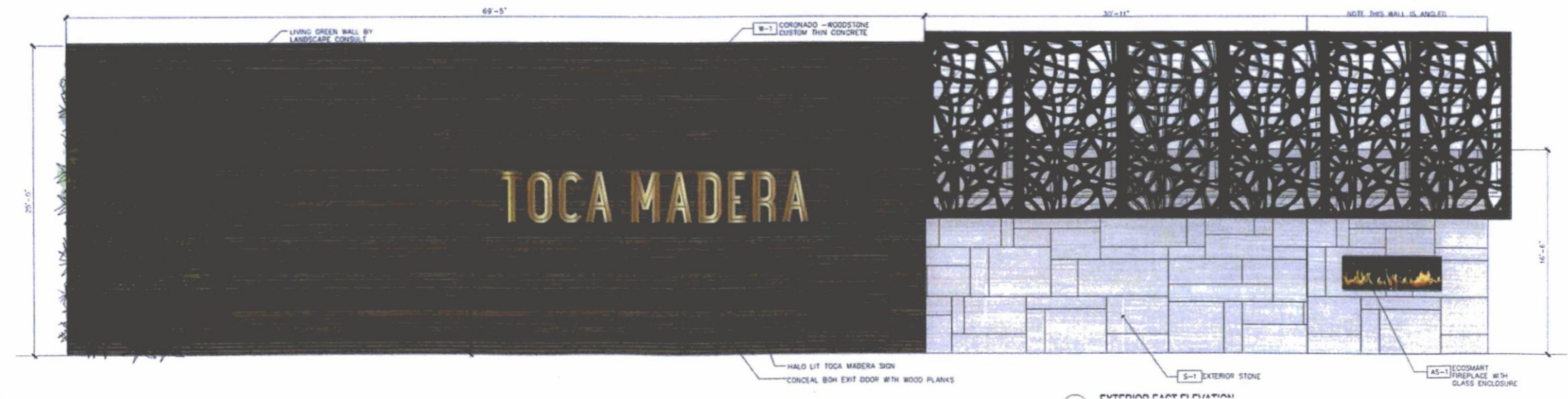
12-22-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE 5/2/18 INITIALS [Signature]



1 EXTERIOR WEST ELEVATION



2 EXTERIOR NORTH ELEVATION



EXTERIOR EAST ELEVATION

ND ENTERPRISES, LLO
6501 E. GREENWAY PKWY #103/107 SCOTTSDALE, AZ 85254
P 480-297-5577 www.ndlandscapinggroup.com

SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

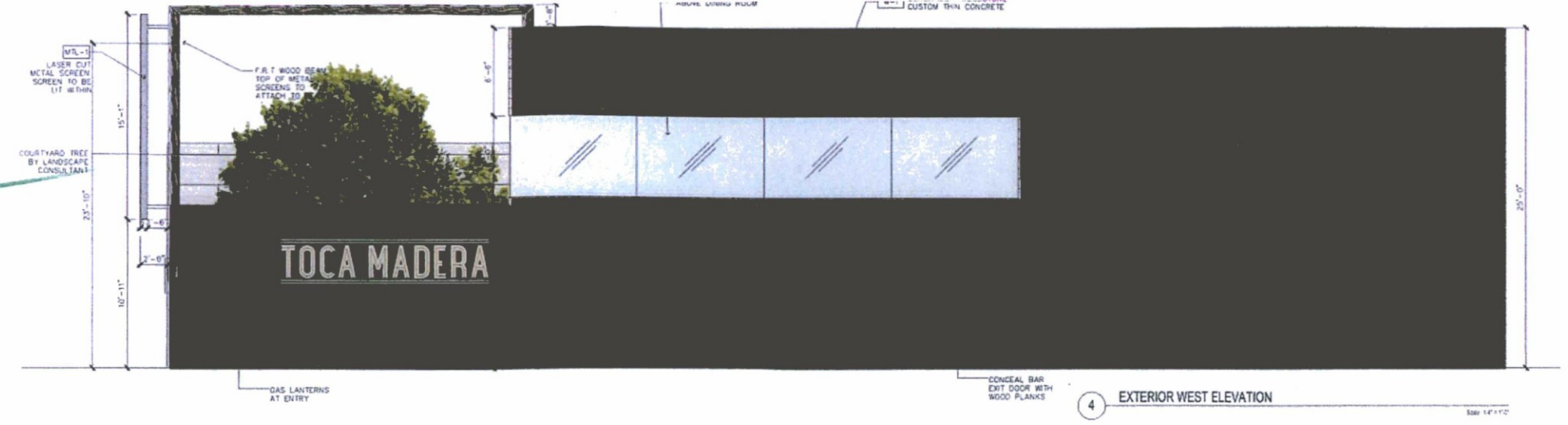
TOCA MADERA

REVISION	
DRG RE-SUBMIT	6/1/2018
LA REVIEW SET	7/10/2018
OWNER	7/25/2018
DATE: 7/18/2018	

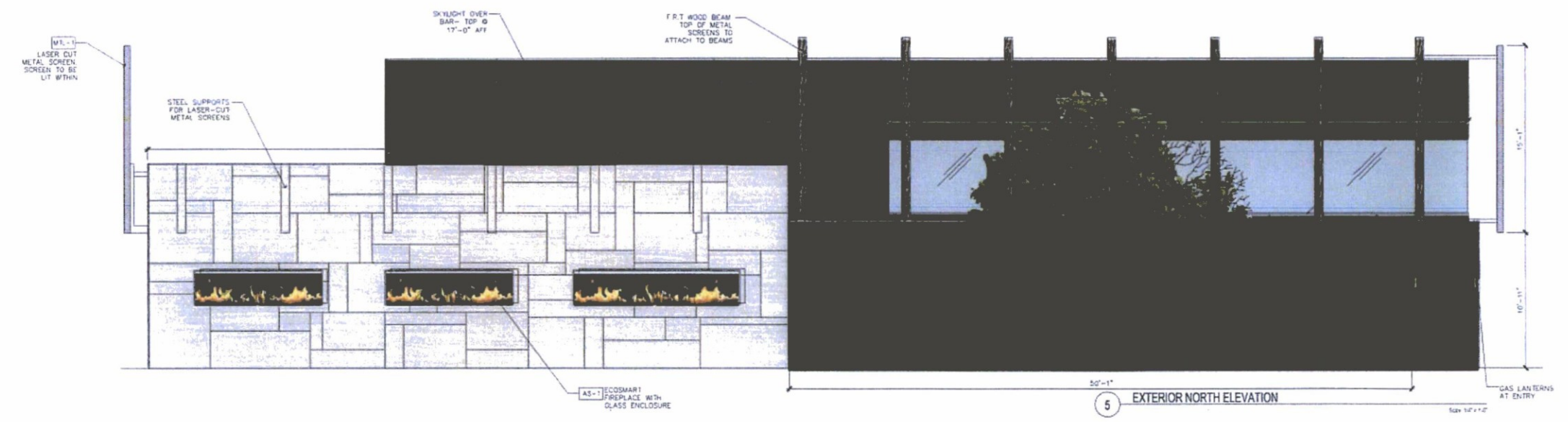
REVIEW SET
NOT FOR
PERMIT

EXTERIOR
ELEVATIONS

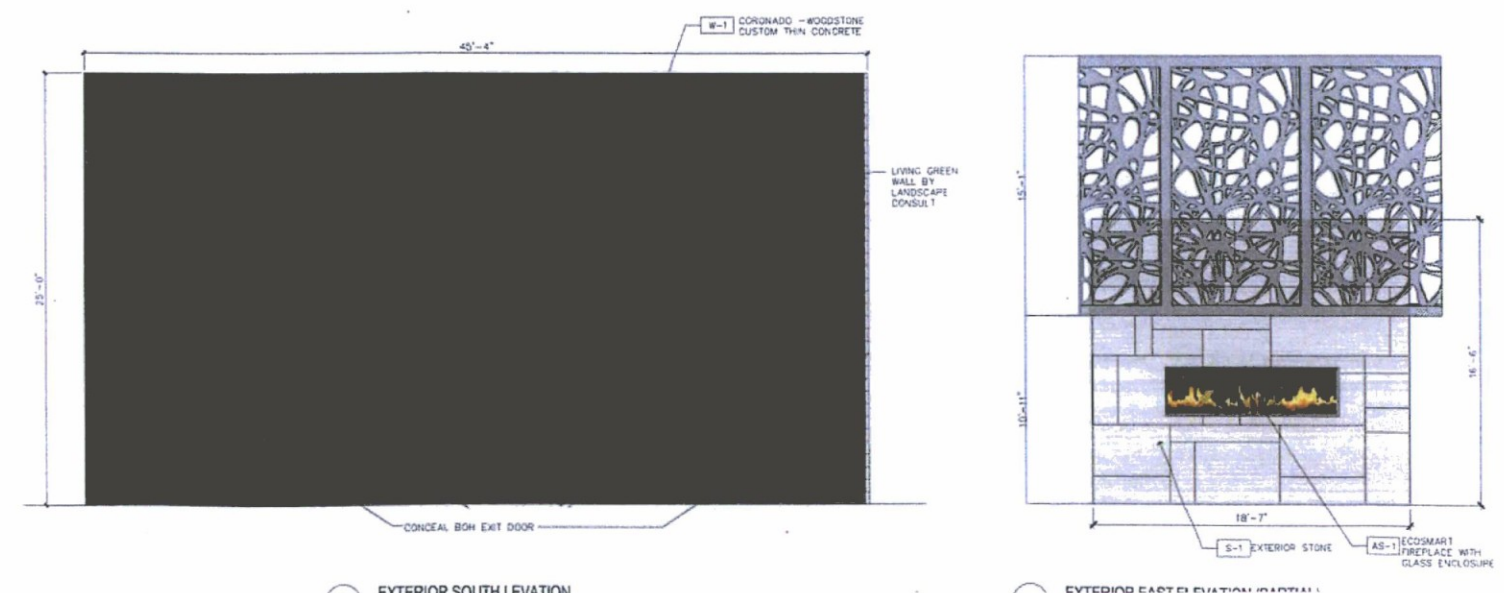
12-DR-2018
 STIPULATION SET
 RETAIN FOR RECORDS
 APPROVED
 8/2/18
 DATE INITIALS



4 EXTERIOR WEST ELEVATION



5 EXTERIOR NORTH ELEVATION



EXTERIOR SOUTH ELEVATION

EXTERIOR EAST ELEVATION (PARTIAL)

ND ENTERPRISES, LLC
 6501 E GREENWAY PKWY #103-307 SCOTTSDALE, AZ 85264
 P 480-297-5517 www.ndenterprisesgroup.com

SCOTTSDALE FASHION SQUARE
 4736 N. GOLDWATER BLVD.
 SCOTTSDALE, AZ 85251

TOCA MADERA

REVISION	
DRB RE-SUBMIT	5.1.2018
LL REVIEW SET	7.18.2018
OWNER	7.25.2018
DATE: 7.18.2018	

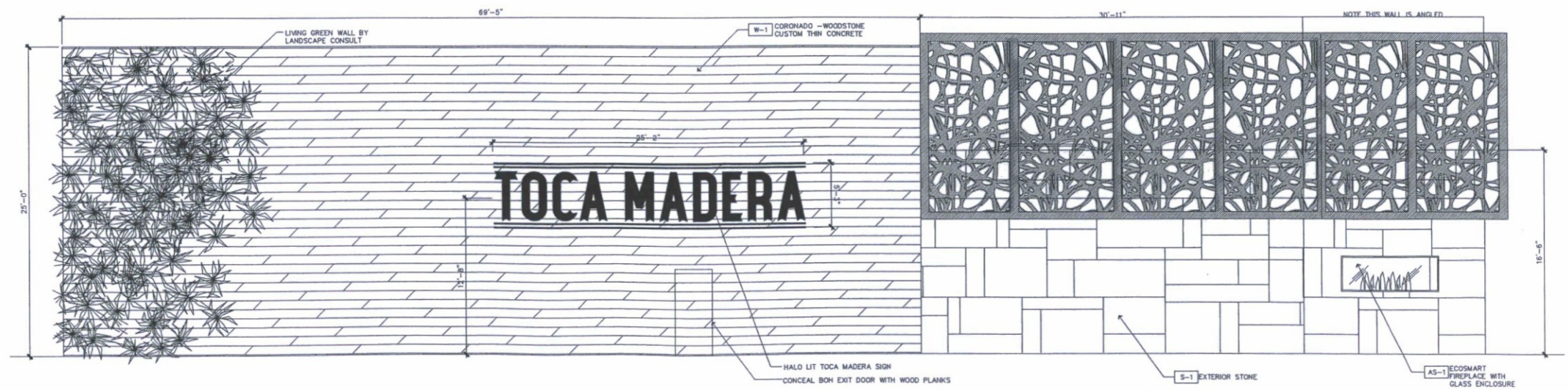
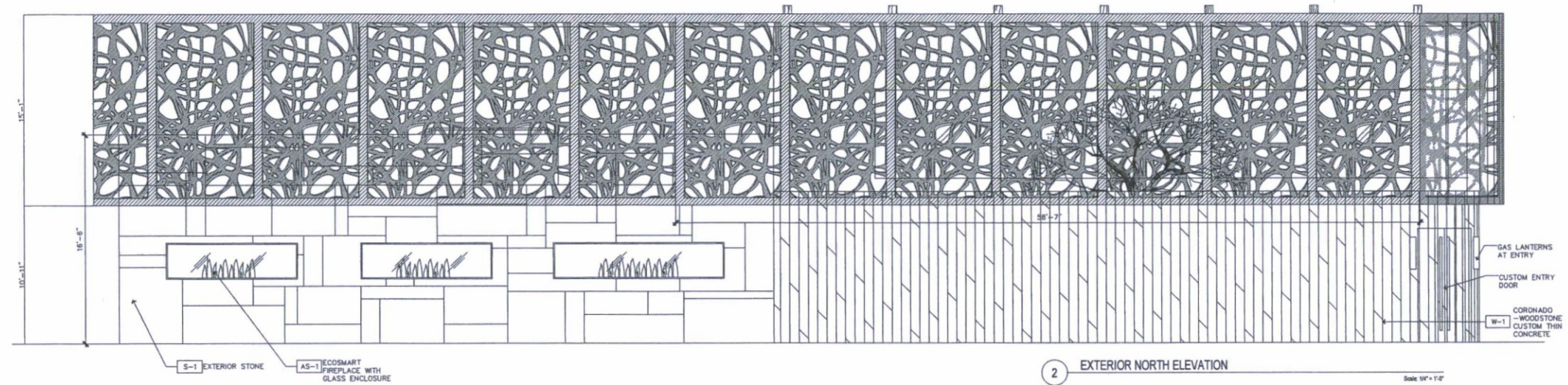
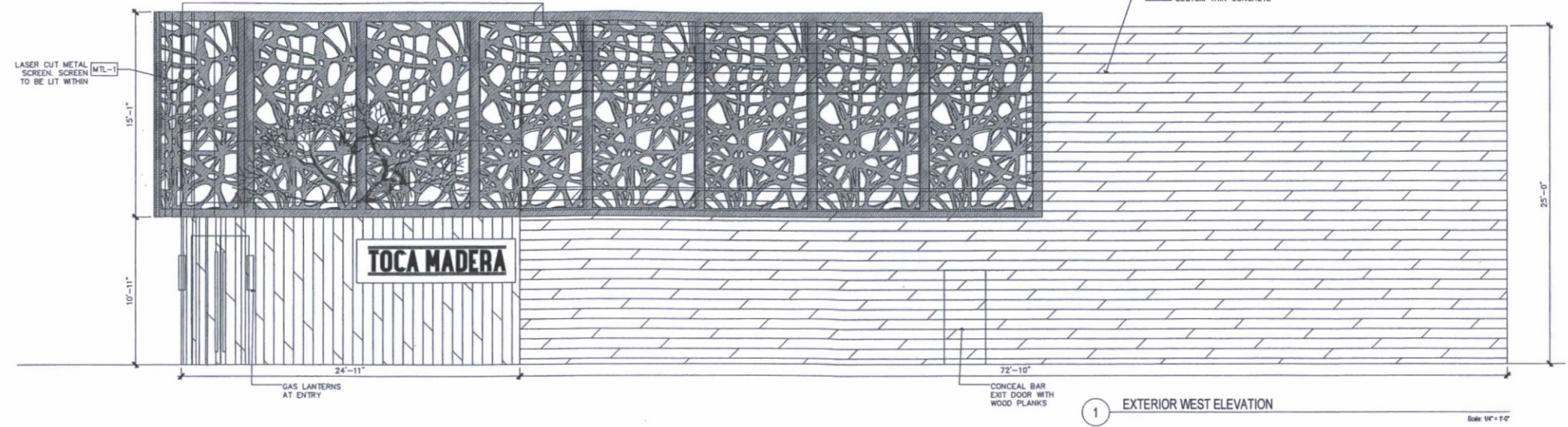
REVIEW SET
 NOT FOR
 PERMIT

EXTERIOR
 ELEVATIONS

AA 4

COLOR ELEVATIONS
 7.25.2018

12-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
8/2/18 DATE INITIALS



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SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

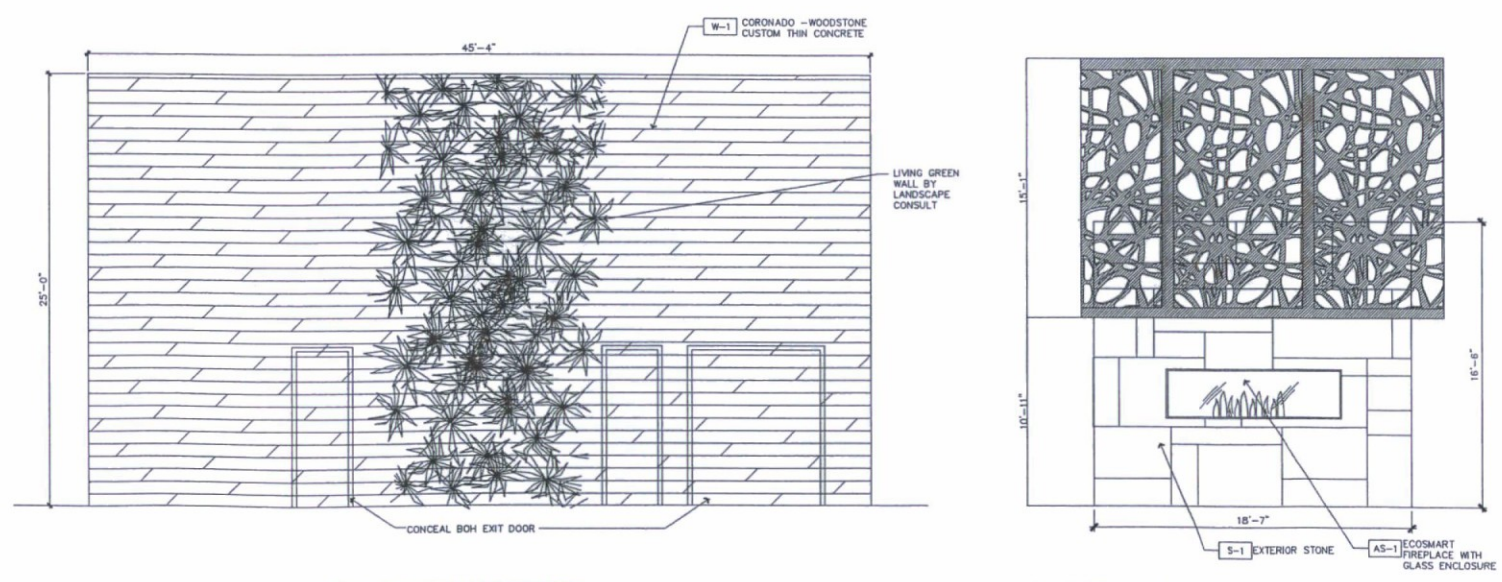
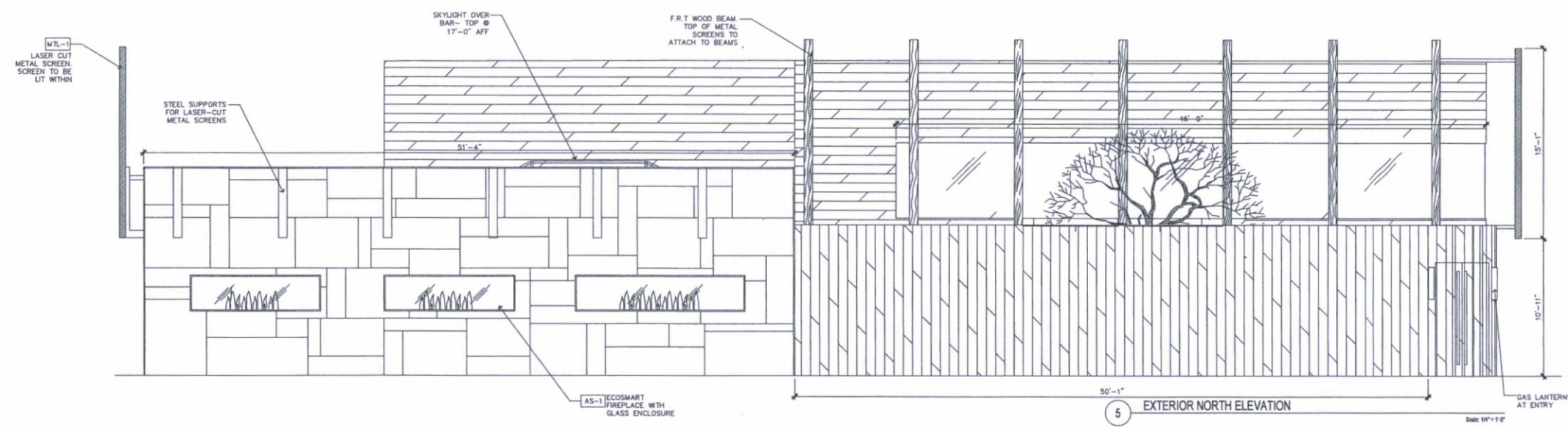
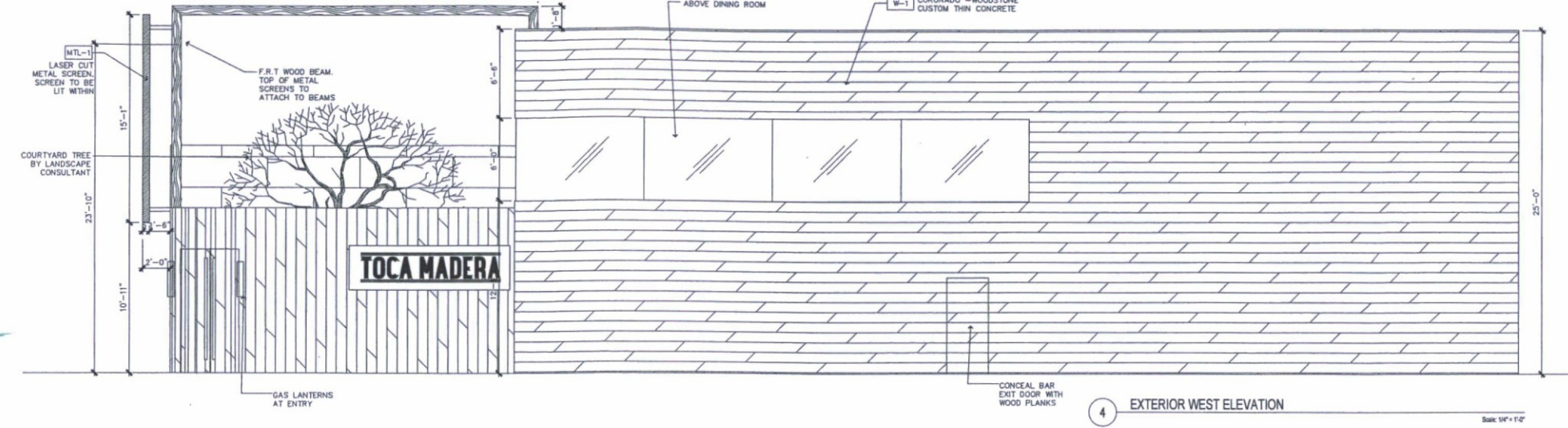
TOCA MADERA

REVISION
DRB RE-SUBMIT
5.1.2018
LL REVIEW SET
7.18.2018
OWNER
7.25.2018
DATE: 7.18.2018

REVIEW SET
NOT FOR
PERMIT

EXTERIOR
ELEVATIONS

12-12-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
8/2/18
DATE INITIALS



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4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

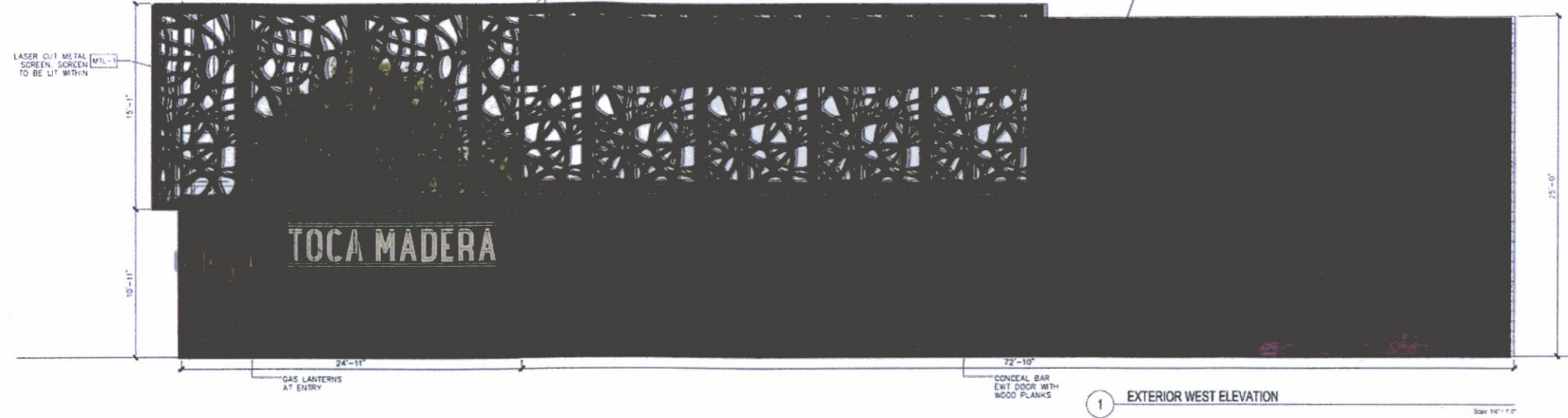
TOCA MADERA

REVISION	
DRB RE-SUBMIT	5.1.2018
LL REVIEW SET	7.18.2018
OWNER	7.25.2018
DATE: 7.18.2018	

REVIEW SET
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EXTERIOR
ELEVATIONS

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 8/2/18
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 6501 E. GREENWAY PKWY #103-707 SCOTTSDALE, AZ 85264
 P 480-207-5577 www.ndplannedgroup.com

SCOTTSDALE FASHION SQUARE
 4736 N. GOLDWATER BLVD.
 SCOTTSDALE, AZ 85251

TOCA MADERA

REVISION
DRB RE-SUBMIT 5.1.2018
LL REVIEW SET 7.16.2018
OWNER 7.25.2018
DATE: 7.16.2018

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 PERMIT

EXTERIOR
 ELEVATIONS

AAA

STREETSCAPE ELEVATIONS

STIPULATION SET
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APPROVED
DATE 8/2/18 INITIALS [Signature]

Entry Plaza
with Decorative
Landscape
Pots

Toothless Sotol

Twisted Leaf Yucca

Raised Steel Planter
w/ Aloe Vera

Wedelia

Private Drive

Hardscape & Landscape
by Others

Desert Museum

Toothless Sotol

Hacienda Creeper

Regal Mist

Limit of Work

Limit of Work



Acid Etched Concrete

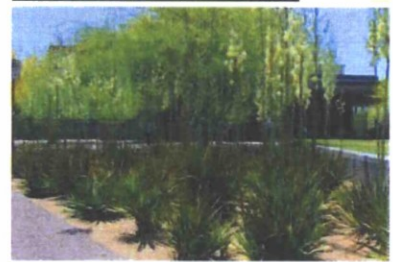


Raised Steel Planter



Precast Concrete Pot

Landscape Materials



Twisted Leaf Yucca
Yucca rupicola



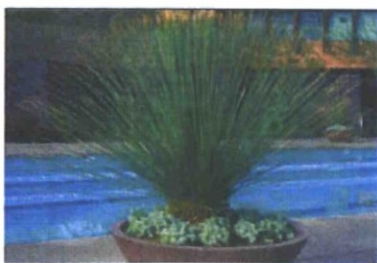
Aloe Vera
Aloe barbadensis



Desert Museum
Parkinsonia x 'Desert Museum'



Regal Mist
Muhlenbergia capillaris



Toothless Sotol
Dasyllirion quadrangulatum



Parthenocissus x
Hacienda Creeper



Wedelia
Wedelia texana Devil's River



PROPOSED BUILDING

FASHION SQUARE DRIVE

ROOF OVERHEAD

VALET ONLY

20' LIGHTING CLEAR ZONE

LANDSCAPE SHOWN FOR REFERENCE ONLY

LANDSCAPE SHOWN FOR REFERENCE ONLY

LIMIT OF WORK

LIMIT OF WORK

STOP

VALET ONLY

FLOOR
a s s o c i a t e s

1425 N. First Street Second Floor Phoenix, AZ 85004	602.462.1425 602.462.1427
---	------------------------------

OWNER

THE MADERA GROUP
8720 SUNSET BLVD.
WEST HOLLYWOOD, CA 90069

CONSULTANTS

ARCHITECT
NEPTUNE DESIGN GROUP
65001 E GREENWAY PARKWAY
#103-707
SCOTTSDALE, AZ 85254

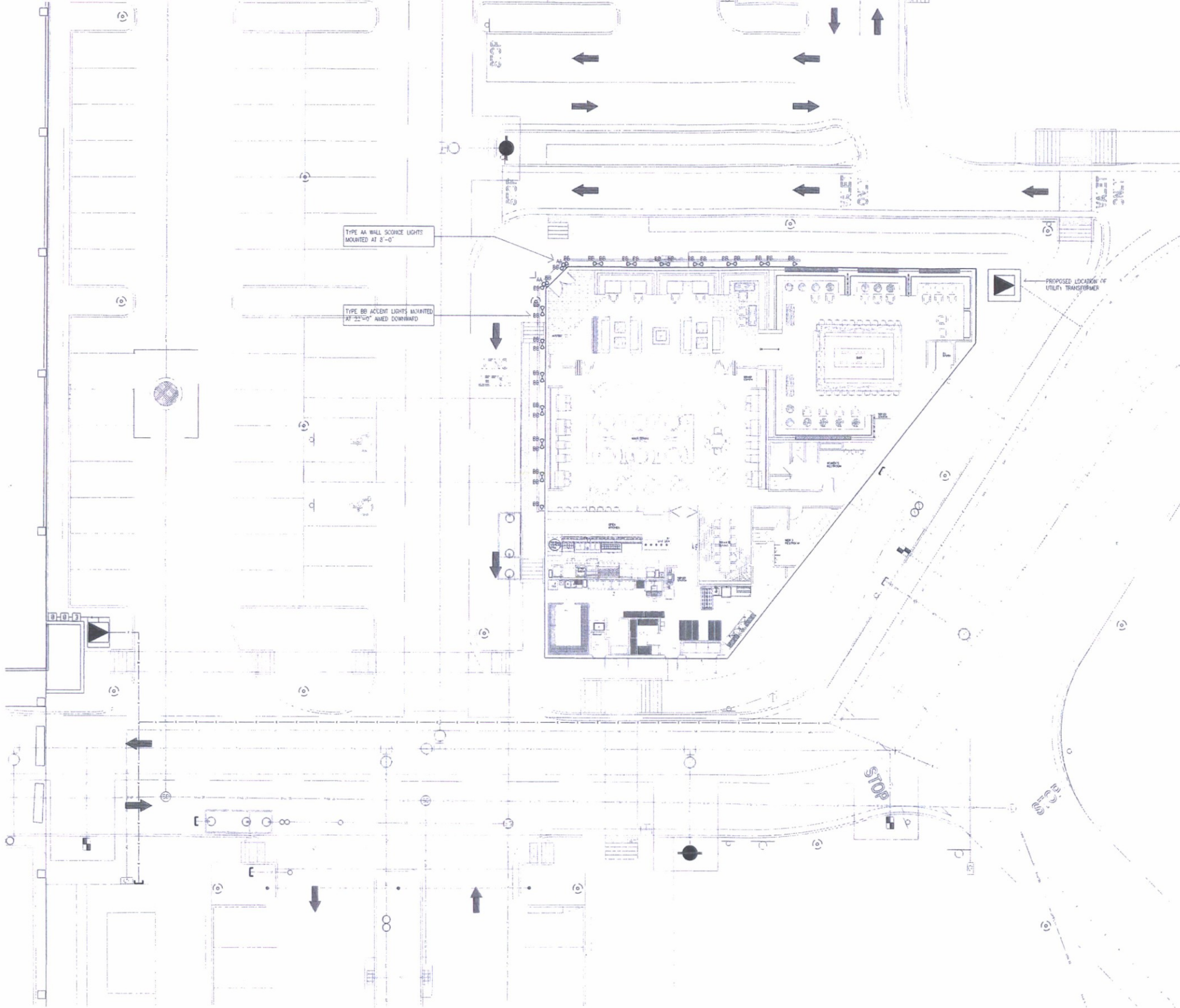
CERTIFICATION



EXPIRES: 3/31/20

TOCA MADERA
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

ISSUED FOR
CITY REVIEW



1 SITE PLAN - ELECTRICAL
SCALE 1" = 10'-0"

12-DR-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED

8/2/18 DATE
[Signature] INITIALS

NOT FOR CONSTRUCTION

JB Electrical Design, P.C.
Electrical Consulting Engineers
Minneapolis, MN
763.486.0965
jef@jb-electricaldesign.com

ND ENTERPRISES, LLC
6501 E. GREENWAY PKWY #103-707 SCOTTSDALE, AZ 85254
P 480-237-5577 www.ndenterprisesgroup.com

SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

TOCA MADERA

REVISION	
DRB RE-SUBMIT	5.1.2018
DATE	2.1.2018

SITE PLAN
ELECTRICAL

This document is prepared based on data and/or service information provided by others. The document is for informational purposes only and is not to be used for construction. The electrical engineer and electrical contractor shall be solely responsible for interpreting, verifying, and correcting any errors or omissions in the system conditions and design. The electrical engineer shall not be responsible for any errors or omissions in the system conditions and design.



Type AA- Gas lantern



Type BB- landscape lighting at building

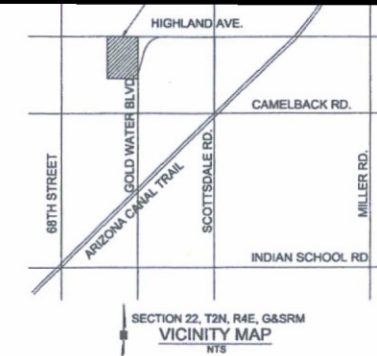
LIGHT FIXTURE CUTSHEETS

9146 Deering Avenue, Second Floor • Chatham, CA 91311
Phone: 800.533.9901 • www.betel.com

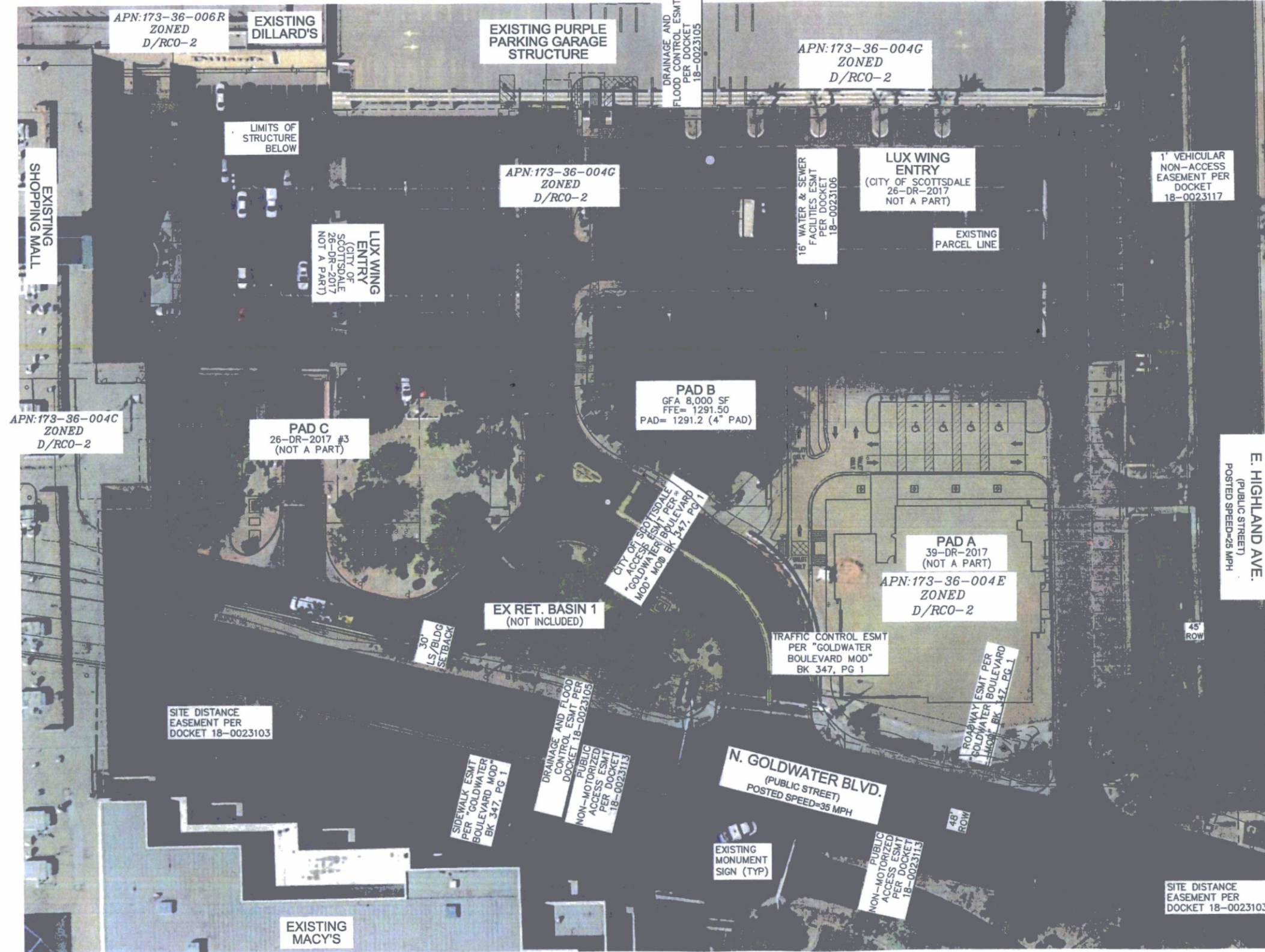
©2002 2047 Acuity Brands Lighting, Inc.
Rev. 03/14/1
and/or LED, W&ET

APPROVED
8/2/18
DATE INITIALS

SCOTTSDALE FASHION SQUARE LUXURY WING ENTRY- PAD B SCOTTSDALE, ARIZONA 85251



OLSSON ASSOCIATES
7250 North 16th Street, Suite 210
Phoenix, AZ 85005-5282
TEL: (602) 748-1000
FAX: (602) 748-1001
www.olssonassoc.com



OWNER
MACERICH
1411 NORTH TATUM BLVD
PHOENIX, AZ 85028
PHONE: (602) 953-6539
FAX: (602) 953-1964
ATTN: ANDY GREENWOOD

DEVELOPER
NEPTUNE DESIGN GROUP, LLC
6501 EAST GREENWAY
PARKWAY, #103-707
SCOTTSDALE, AZ 85254
PHONE: (480) 297-5577
FAX: (480) 607-8193
ATTN: CHRIS NEAL

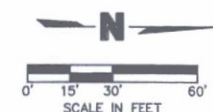
ENGINEER:
OLSSON ASSOCIATES
7250 NORTH 16TH STREET, SUITE 210
PHOENIX, ARIZONA 85020
PHONE: (602) 748-1000
FAX: (602) 748-1001
ATTN: CARDELL ANDREWS

PROJECT DATA:
PROJECT ADDRESS:
7014 EAST CAMELBACK ROAD
SCOTTSDALE, ARIZONA 85251

BENCH MARK: A CITY OF SCOTTSDALE BRASS
CAP IN HAND HOLE AT THE INTERSECTION OF
INDIAN SCHOOL RD. & 68TH ST. , CITY OF
SCOTTSDALE BENCHMARK #4271.

ELEVATION= 1274.52' (PER C.O.S. NAVD '88
DATUM)

SITE AREA: 352,570 SF OR 8.09 ACRES
CONSTRUCTION LIMITS: 15,038 OR 0.35 ACRES
APN: 173-36-004G AND 173-36-004E
ZONING: D/RCO-2 PBD DO



PRELIMINARY
PLAN SET FOR
REVIEW
06/14/18

REVISIONS DESCRIPTION	
REV. NO.	DATE

CONTEXT AERIAL WITH SUPERIMPOSED SITE	
SCOTTSDALE FASHION SQUARE LUXURY WING ENTRY-PAD B	
SCOTTSDALE, ARIZONA 85251	

drawn by: THW
designed by: SJV
checked by: AP
QA/QC by: CMB
project no.: 017-3680
date: 06.14.18

\\2017\3501-4000\017-3680\40-Design\AutoCAD\Preliminary Plans\Sheets\GNCV\18-P0002_CTX AERIAL_73680.dwg
USER: thutahawes
C:\PRE PBASE_PAD B_73680
C:\EXISTING PBASE_63809
XREFS: C:\PRE PTBLK_PAD B_73680
Jun 14, 2018 11:44am

->

- | | |
|---|--|
|  | ROOF AT 11'-0" AFF
TOP OF RTU @ 15'-6" |
|  | ROOF AT 15'-8" AFF
NO ROOFTOP EQUIPMENT |
|  | ROOF AT 17'-1" AFF
TOP OF RTU @ 23'-1" |
|  | ROOF AT 23'-1 AFF
NO ROOFTOP EQUIPMENT |
|  | TOP OF PARAPET @ 25'-0" AFF |
|  | TOP OF PARAPET @ 16'-6" AFF |

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SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

TOCA MADERA

REVISION
DRS RE-SUMBIT
1 5.1.2018
2
3
DATE: 2.1.2018

REVIEW SET
NOT FOR
PERMIT

1 ROOF PLAN
SCALE: 3/16" = 1'-0"





ND ENTERPRISES, LLC
6501 E. GREENWAY PKWY #103-107 SCOTTSDALE, AZ 85260
P 480-297-5577 www.nplinedesigngroup.com

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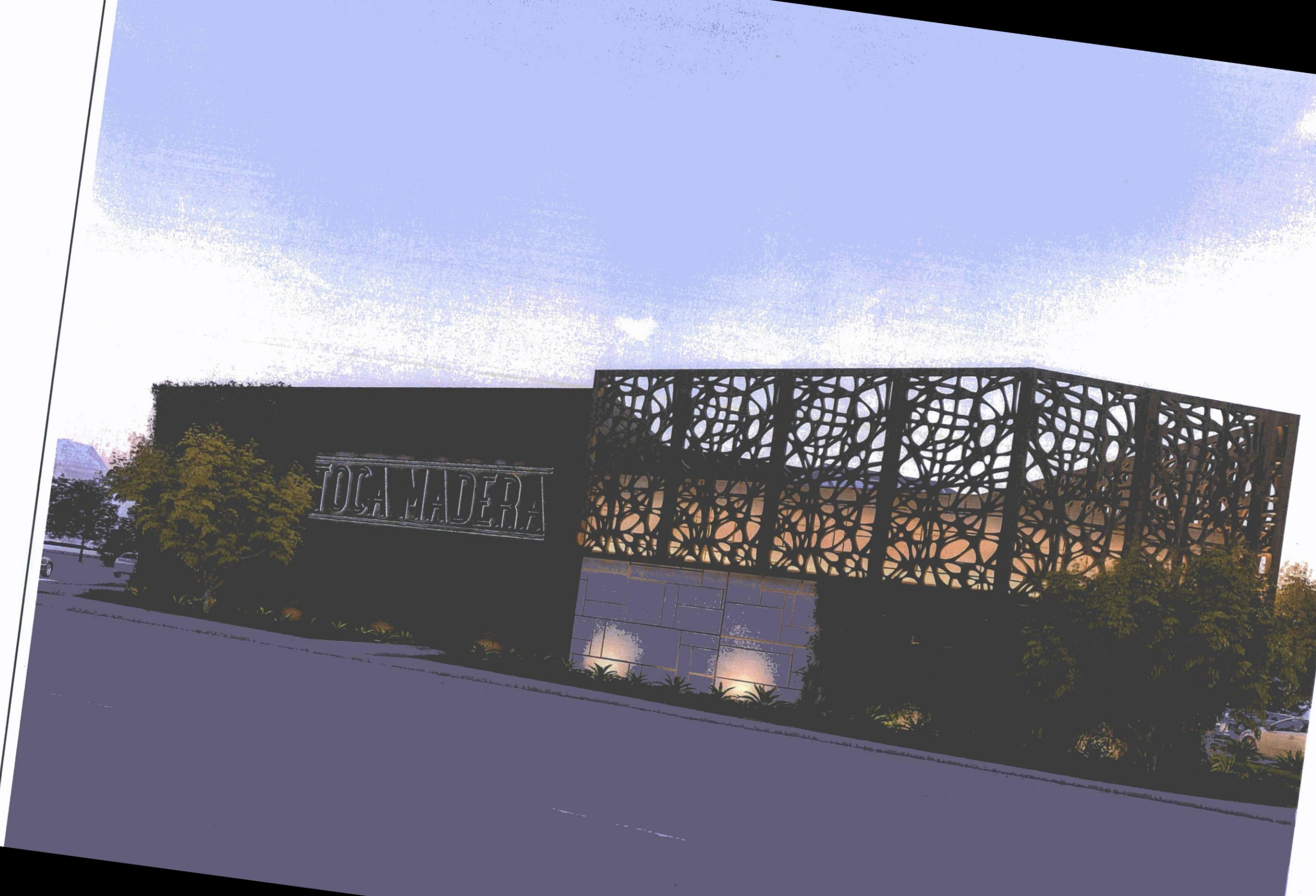
SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

TOCA MADERA

REVISION
DRB RE-SUBMIT
5.1.2018
LL REVIEW SET
7.18.2018
OWNER
7.25.2018
DATE: 7.18.2018

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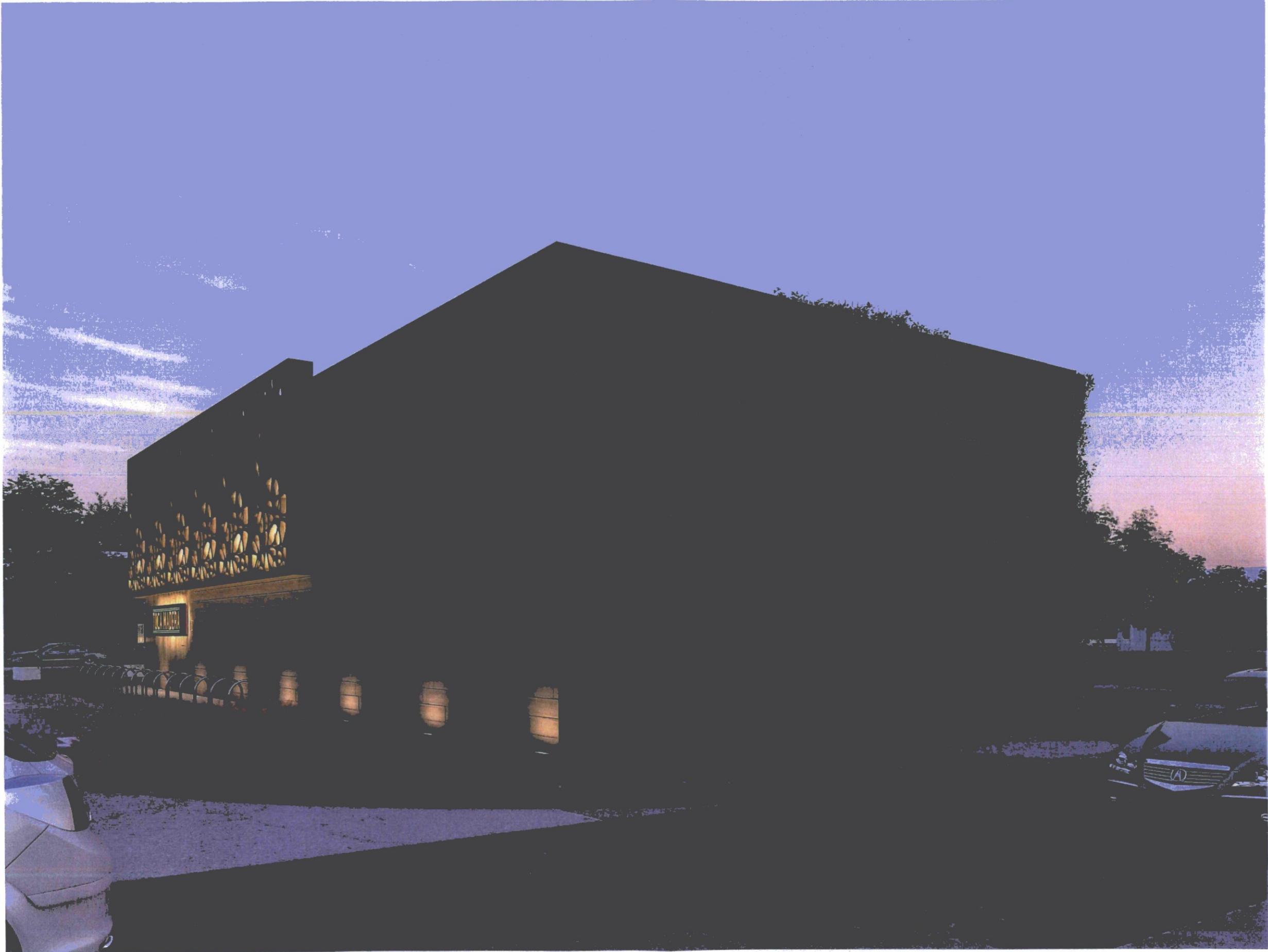
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P 480-287-5577 www.reginedesigngroup.com

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OWNER	7.25.2018
DATE: 7.18.2018	



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4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

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REVISION	
DRB RE-SUBMIT	5.1.2018
LL REVIEW SET	7.18.2018
OWNER	7.25.2018
DATE: 7.18.2018	

REVIEW SET
NOT FOR
PERMIT

EXTERIOR
RENDERING



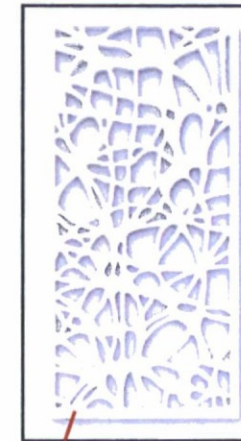
TOCA MADERA

SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251

12-DR-2018

5.8.2018

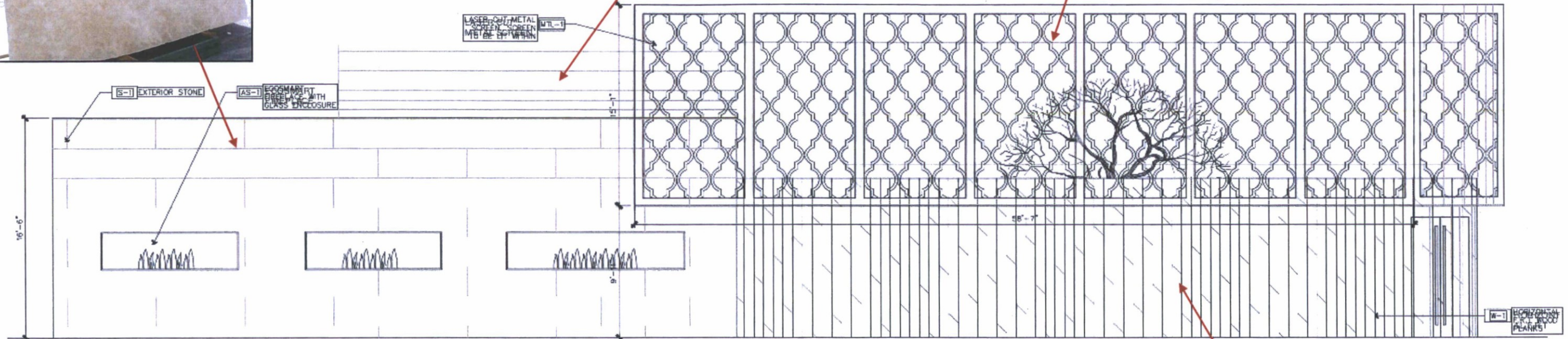
Coronado
custom design
WoodStone series
Thin concrete veneer



Metal Screen- custom
by local metal
fabricator



Limestone
(largest scale
that we can do/
find)



Coronado
custom design
WoodStone series
Thin concrete veneer



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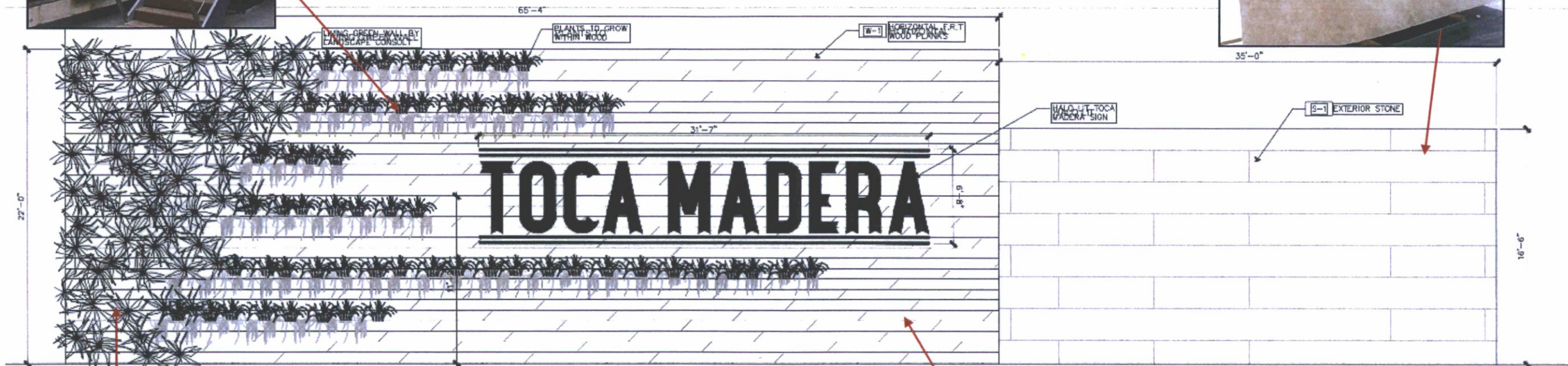
SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251



Concept photo for hanging plants



Limestone
(largest scale
that we can do/
find)



Continuation of
plants from adjacent
wall



Coronado
custom design
WoodStone series
Thin concrete veneer

TOCA MADERA

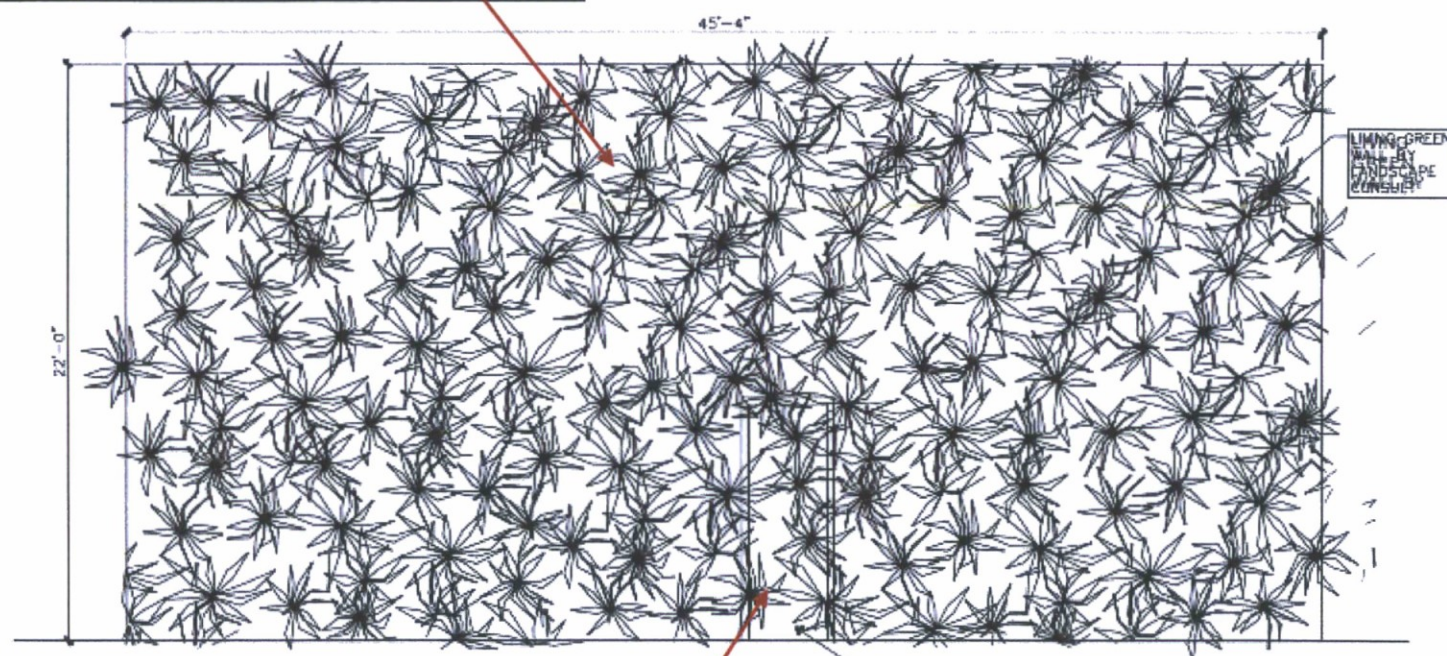
SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251



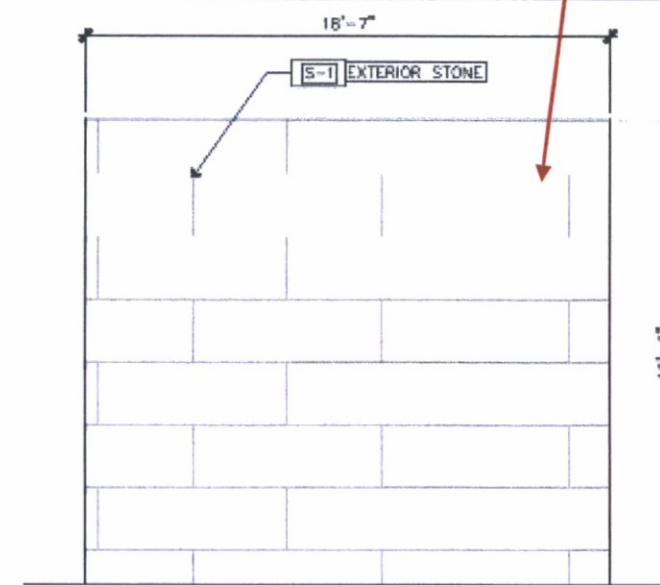
Living green wall



Limestone
(largest scale
that we can do/
find)



Door to be
covered



TOCA MADERA

SCOTTSDALE FASHION SQUARE
4736 N. GOLDWATER BLVD.
SCOTTSDALE, AZ 85251