

Simulations
Photos
All Graphics (no plans)

MODEL 600

ROLLING GRILLE



DESIGNED TO MAXIMIZE SECURITY, VISIBILITY AND VENTILATION

Wayne Dalton Rolling Grilles offer security, visibility, and ventilation in a number of patterns and finishes for commercial, industrial, retail and institutional applications.

These grilles are available in steel, aluminum, or stainless steel to meet your project requirements.

» SIZES UP TO 42' WIDE
AND 20' HIGH

» VARIETY OF PATTERNS
AND MATERIALS

» DURABLE
CONSTRUCTION

» EMERGENCY EGRESS
OPTION

STANDARD FEATURES OVERVIEW

CONSTRUCTION

MOUNTING	Interior face-of-wall above lintel. Exterior between jamb, under lintel conditions
OPERATION	Lift-up standard. Chain hoist included on sizes that require it
CURTAIN	Aluminum mill finish vertical links and tubes over 5/16" diameter hollow galvanized steel horizontal rods on vertical 2" centers. G-6 straight pattern with 9" spacing
BOTTOM BAR	Tubular aluminum extrusion, mill finished aluminum with nylon end caps
LOCKING	Slide bolt locking on lift-up or crank. Padlockable chain at chain keeper with hoist. Padlocks not included
GUIDES	Extruded aluminum with polypropylene wool pile inserts. Steel wall mounting angles are provided, when mounting conditions require. Includes flared bellmouths with bolt-on stop bars
BRACKETS	3/16" steel, painted factory black. Operating bracket fitted with ball bearings
BARREL	Steel pipe, painted factory black, of adequate size to restrict a maximum deflection of .033" per foot of door width
ASSEMBLY	Helical torsion springs, 20,000 cycle performance. Inner shaft is constructed of cold-rolled steel

OPTIONS

- Operation: Awning crank, wall crank, chain hoist, motor, motor with chain hoist
- EES Emergency egress: Available on motor operated doors
- Curtain patterns: Straight patterns: (G-6) 9", (G-6 modified) 6", (G-8) 4", (G-3) 3", (G-7) 2"; brick patterns: (G-1) 4.5", (G-1 modified) 3.125". Center lock security pattern is also available
- Curtain finish: Clear or bronze anodized aluminum, galvanized steel, stainless steel #4, powdercoat (RAL and custom)
- Curtain: Stainless steel, galvanized steel
- Acrylic lite: Available on G-6 9" straight pattern, aluminum curtain
- Bottom bar: Double angle, sloping, or curb cutout
- Bottom bar finish: Clear or bronze anodized aluminum, galvanized steel, stainless steel #4, powder coat (RAL and custom)
- Bottom edge: Astragal, pneumatic or electric sensing edge
- Locks: Cylinder lock, best lock, slide bolts, thumb turns, E-Z LOK (EES only)
- Hood: Square hood and brackets. Hood options include 24-gauge galvanized steel, stainless steel, or 20-gauge B&S aluminum
- Hood finish: Clear or bronze anodized aluminum, mill aluminum, bare galvanized, galvanized and painted steel (Beige, White or Gray), stainless steel #4, powder coat (RAL and custom)
- Springs: High-cycle option available; requires solid rod construction for 100k+
- Guides finish: Clear or bronze anodized aluminum, mill aluminum, black primed, powdercoat (RAL and custom)
- Guides: UHMW wear strips available
- Brackets finish: Galvanized black primed, (hot dipped), stainless steel #4, powder coat (RAL and custom)
- Other options: Steel mounting tubes, drop stop device, super-imposed

Security, visibility and ventilation

Model 600 provides security against entry or theft. Slide bolts or padlockable chains come standard based on operation selection. Additional locking options are available, including cylinder locks and thumb turns.

The design allows visual access through the door opening space and is ideal for retail and parking garage applications. Model 600 also provides ventilation to aid in preventing any excess build-up of fumes or gases.

This product offers an emergency egress option as an additional security feature which provides fail-safe automatic opening to prevent entrapment in the event of an emergency.

DURABLE CONSTRUCTION

Model 600 is constructed of vertical links and horizontal rods with spacer tubes. The links are spaced according to the pattern selected.

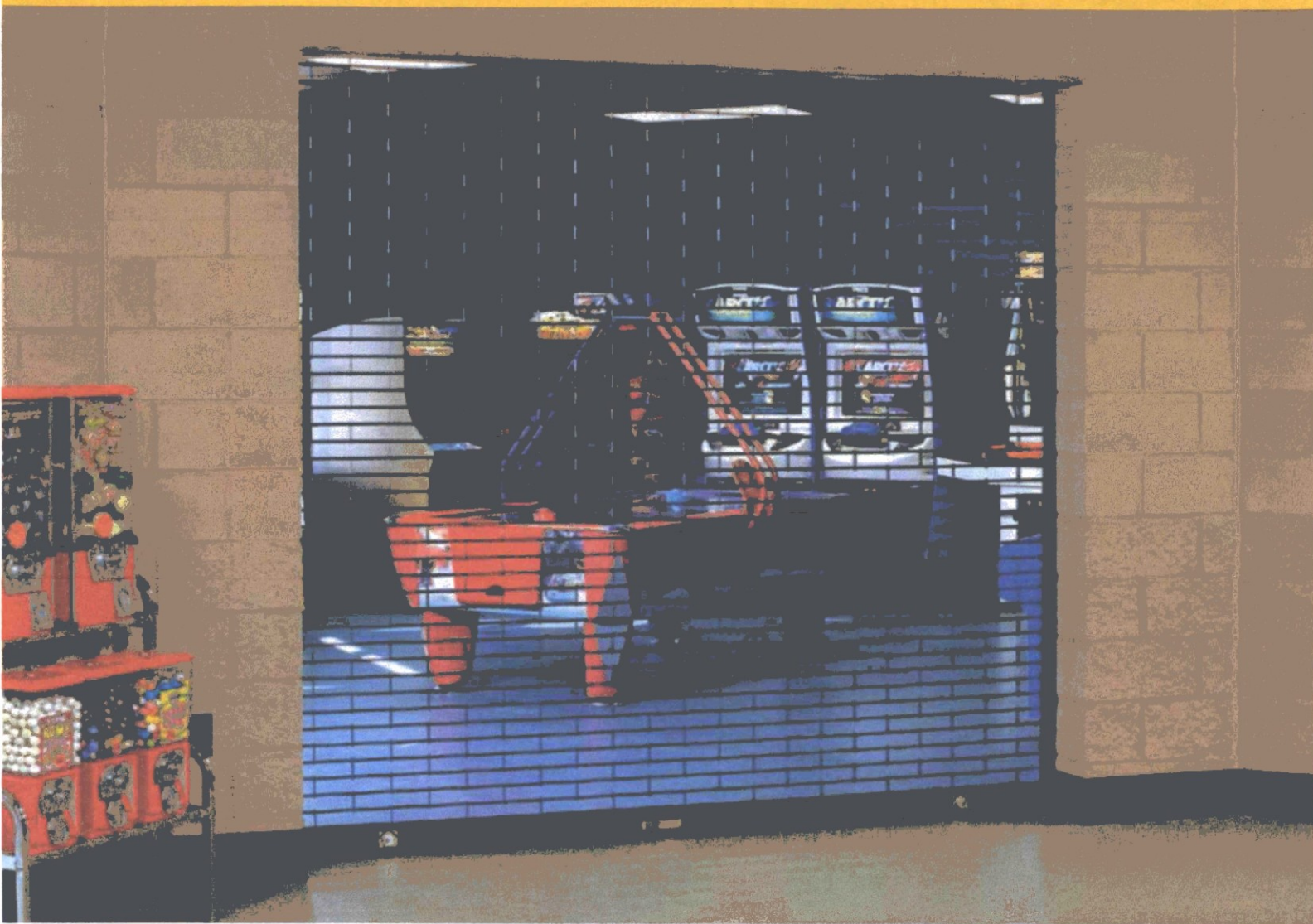
The bottom bar, located at the base of the grille curtain, along with the horizontal rods throughout the curtain provide stability and strength to the grille design.

The rod construction comes standard as hollow steel; however solid galvanized steel, aluminum or stainless steel rods are also available providing more strength to the curtain construction. Additionally the extruded aluminum guides provide vertical alignment and strength; while the wool pile inserts provide smooth and quiet operation.

CUSTOMIZE TO YOUR PROJECT REQUIREMENTS

Wayne Dalton offers options to accommodate special applications including sloped bottom bars, curb cut out bottom bars, and combination door mounts. An example of a combination door mount is a rolling steel door on the

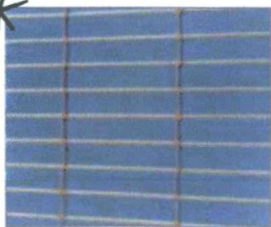
COMMERCIAL ROLLING GRILLES



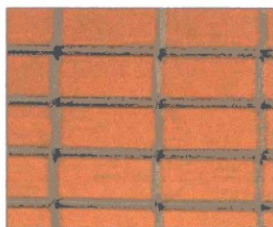
AVAILABLE PATTERNS

Choose from a selection of patterns, finishes and rod construction to customize the look and composition of the grille to match your project requirements and aesthetics.

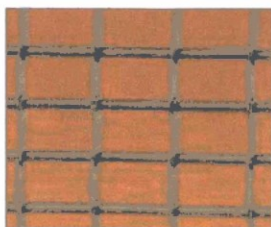
Model 600 offers numerous grille patterns to choose from. The curtain construction is available in aluminum, galvanized steel, and stainless steel. Finishes include clear or bronze anodized aluminum, galvanized steel, stainless steel #4, and powder coat finishes (Approximately 200 RAL colors or custom colored to match architect specification).



G-6 Pattern 9"
(standard)
Modified G-6 Pattern 6"
available



G-8 Pattern 4"
(optional)



G-3 Pattern 3"
(optional)



G-7 Pattern 2"
(optional)



G-1 Pattern 4"
(optional)
G-1 Pattern modified
3.125"

For technical information, specifications, drawings, visit wayne-dalton.com.



EES EMERGENCY EGRESS OPTION — SECURITY WITH FAIL-SAFE AUTOMATIC OPENING

The Wayne Dalton emergency egress grille and operator system provides secured access to public areas, yet will automatically open fully upon detection of an alarm or power failure. This prevents entrapment in the event of an emergency and allows immediate access to emergency personnel.

The emergency egress grille is ideal for schools, hospitals, and office buildings, or other applications that require different levels of access at various times.



Architect Resource Center

Visit wayne-dalton.com/architect-resource-center to find our Architect Resource Center. In this tool, you will quickly find all of the specifications, drawings and documents you need to complete your project.

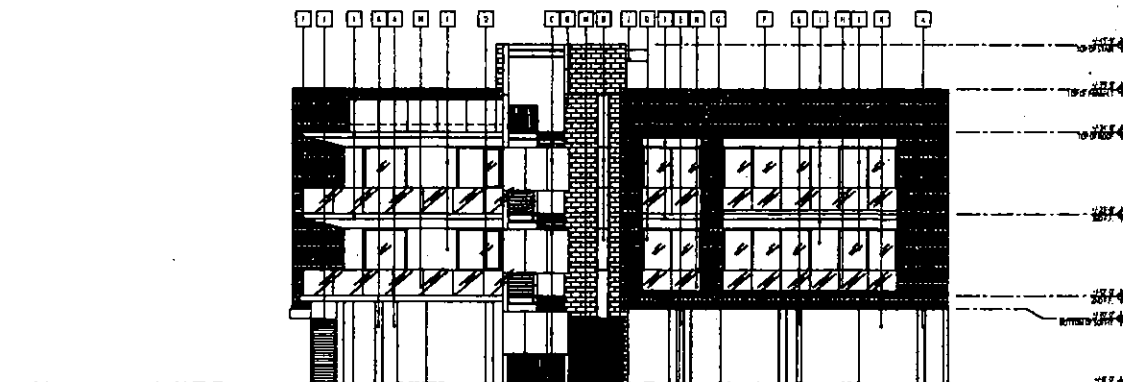
Wayne Dalton
COMMERCIAL DOORS

DISTRIBUTED BY:

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Lewisville, TX 75067

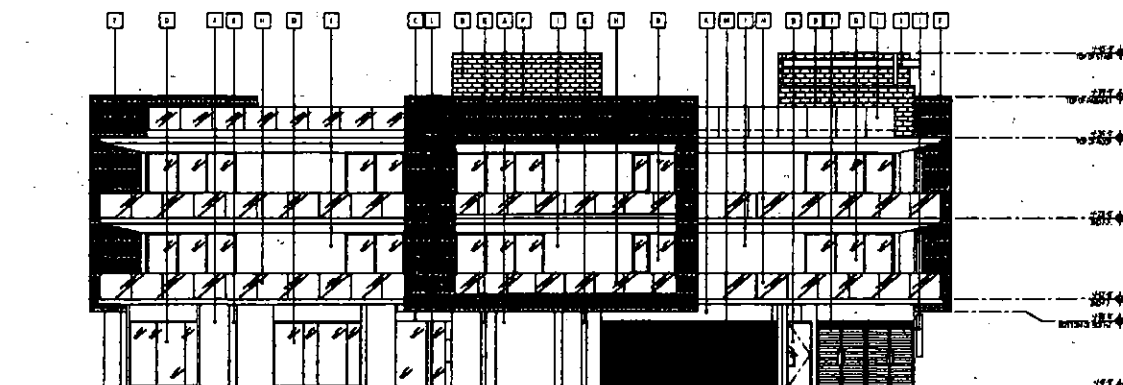
wayne-dalton.com





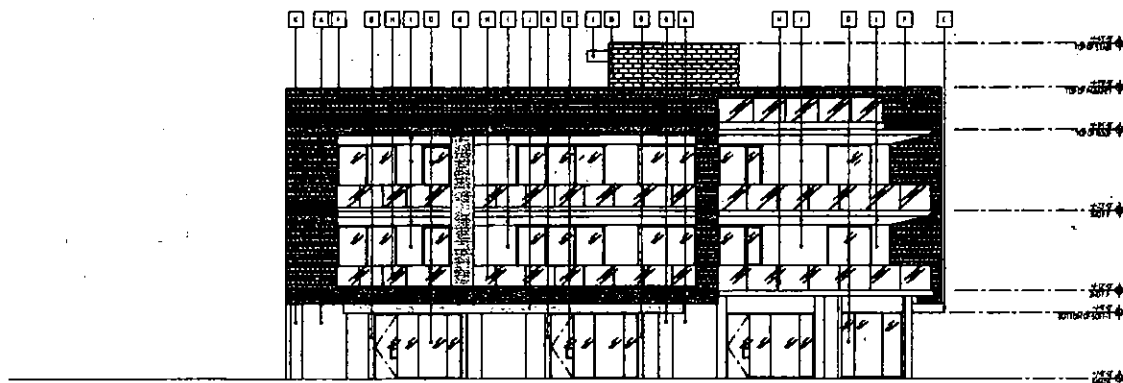
1 EAST ELEVATION

SCALE VP-1-P



2 SOUTH ELEVATION

SCALE VP-1-P



3 WEST ELEVATION

SCALE VP-1-P

GENERAL NOTES:

- A. ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- B. SIGNAGE BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- C. BUILDING ADDRESS IS TO BE PROVIDED PER THE DEPARTMENT REGULATIONS, AND SUBJECT TO ANY PERMITS APPROVAL.
- D. ALL ROOF MOUNTED EQUIPMENT SHALL BE TYPICALLY SHOWN BY A SCREEN WALL.

MATERIAL SCHEDULE

MATERIAL	
1	PAINTED STUCCO - BROWN RAISED FASH
2	PAINTED STUCCO - BROWN RAISED FASH
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99	PAINTED STUCCO - BROWN RAISED FASH
100	PAINTED STUCCO - BROWN RAISED FASH

TOME
DESIGN

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PROJECT
THE CADRE
200 NORTH GAVITT
SCOTTSDALE, ARIZONA

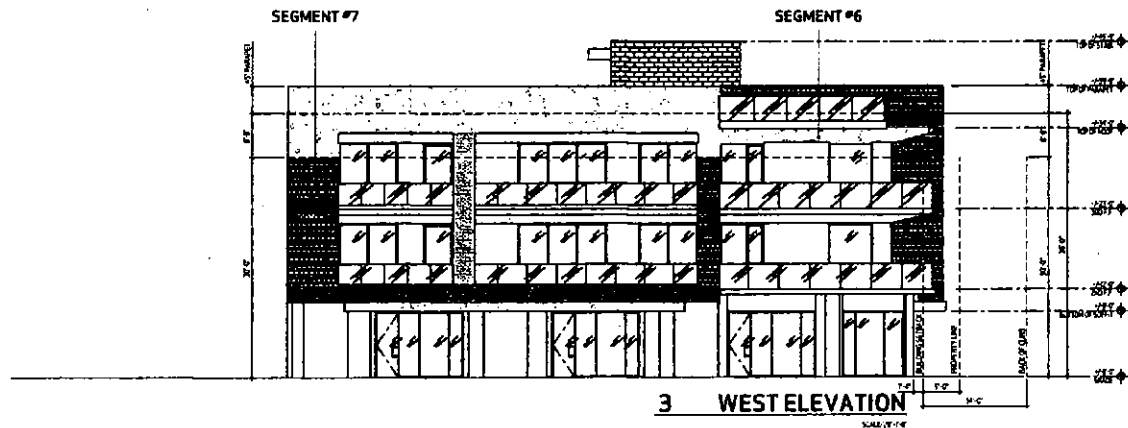
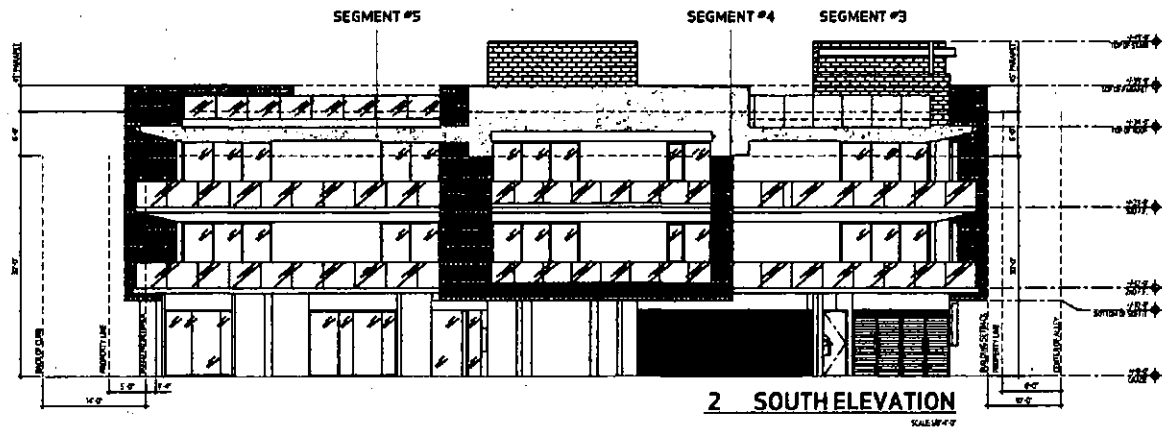
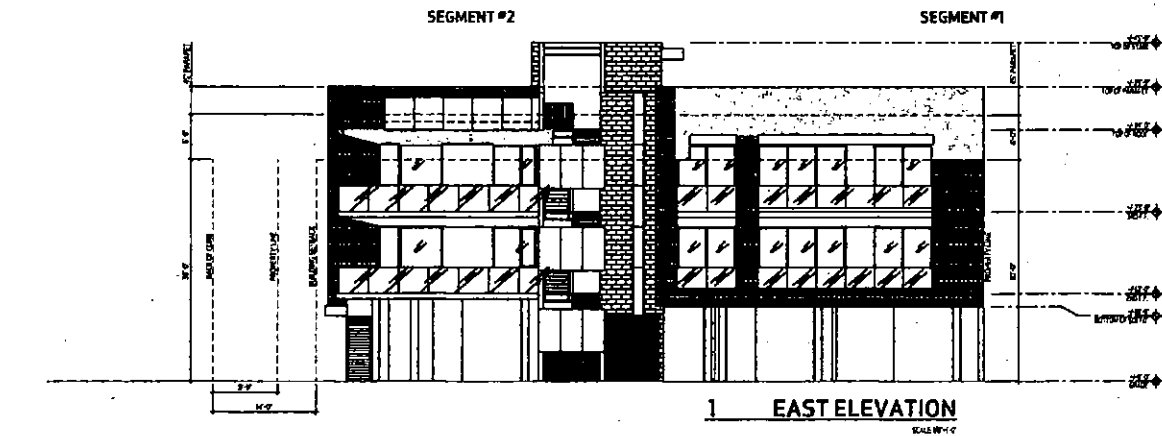
ARCHITECT

DATE

SCALE

COMMENTS: BUILDING

REVISION



SEGMENT #1	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STORSPACE:	1270 S.F.
AREA PROJECTING INTO STORSPACE:	303 S.F.
PERCENT OF AREA:	24%
TOTAL HEIGHT OF SEGMENT:	29'-0"
HEIGHT PROJECTING INTO STORSPACE:	9'-0"

SEGMENT #2	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STORSPACE:	54 S.F.
AREA PROJECTING INTO STORSPACE:	54 S.F.
PERCENT OF AREA:	50%
TOTAL HEIGHT OF SEGMENT:	7'-0"
HEIGHT PROJECTING INTO STORSPACE:	7'-0"

SEGMENT #3	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STORSPACE:	57 S.F.
AREA PROJECTING INTO STORSPACE:	57 S.F.
PERCENT OF AREA:	50%
TOTAL HEIGHT OF SEGMENT:	7'-0"
HEIGHT PROJECTING INTO STORSPACE:	7'-0"

SEGMENT #4	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STORSPACE:	310 S.F.
AREA PROJECTING INTO STORSPACE:	214 S.F.
PERCENT OF AREA:	52%
TOTAL HEIGHT OF SEGMENT:	39'-0"
HEIGHT PROJECTING INTO STORSPACE:	9'-0"

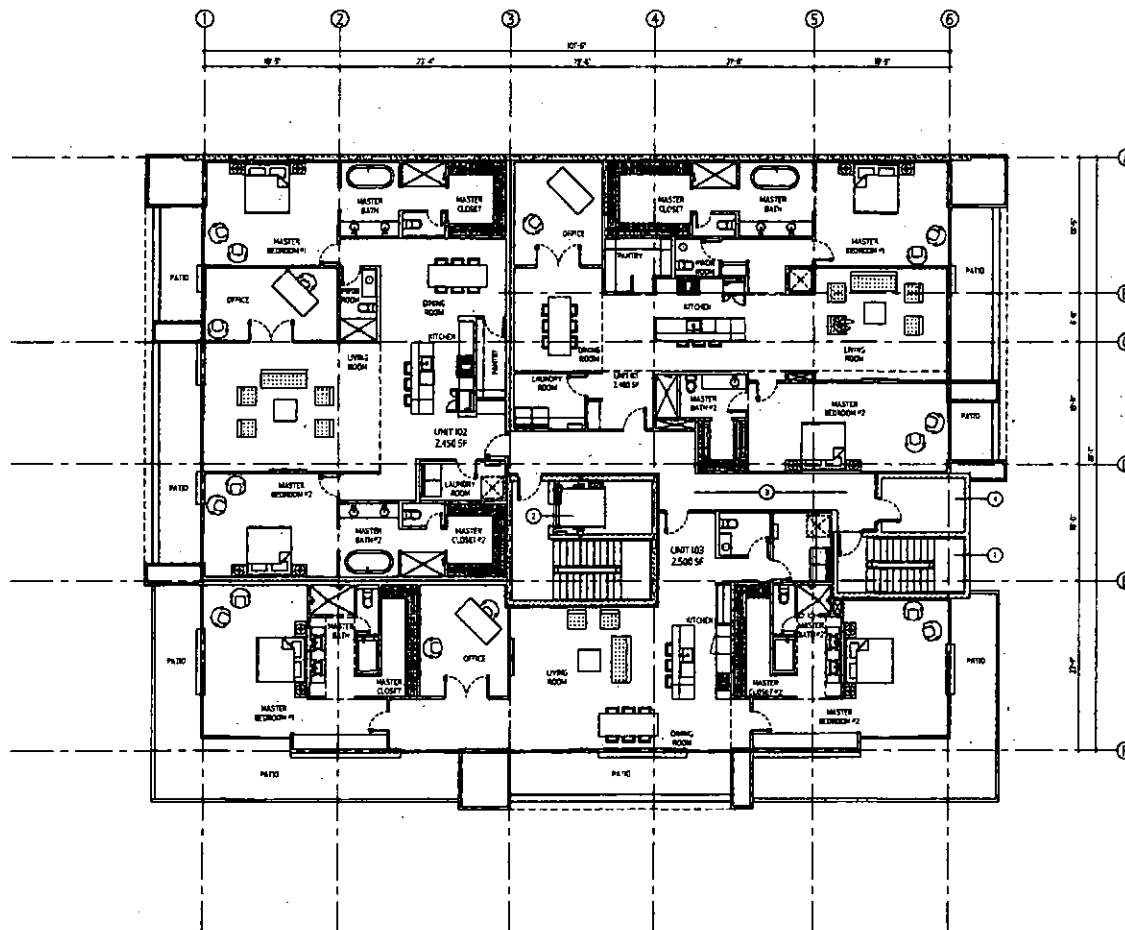
SEGMENT #5	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STORSPACE:	88 S.F.
AREA PROJECTING INTO STORSPACE:	88 S.F.
PERCENT OF AREA:	50%
TOTAL HEIGHT OF SEGMENT:	7'-0"
HEIGHT PROJECTING INTO STORSPACE:	7'-0"

SEGMENT #6	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STORSPACE:	52 S.F.
AREA PROJECTING INTO STORSPACE:	52 S.F.
PERCENT OF AREA:	50%
TOTAL HEIGHT OF SEGMENT:	7'-0"
HEIGHT PROJECTING INTO STORSPACE:	7'-0"

SEGMENT #7	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STORSPACE:	735 S.F.
AREA PROJECTING INTO STORSPACE:	420 S.F.
PERCENT OF AREA:	56%
TOTAL HEIGHT OF SEGMENT:	39'-0"
HEIGHT PROJECTING INTO STORSPACE:	9'-0"

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THE CADRE
 570 NORTH CAPTAIN
 FORT WORTH, TEXAS



GENERAL NOTES:

- A. STAIR AND ELEVATOR SHIFTS TO BE HIGHLIGHTED IN ALL OTHER TO BE WOODY BARRIERS.
- B. UNITS SHALL HAVE 1 HOUR VERTICAL AND HORIZONTAL SEPARATION.

KEY NOTES:

1. EAST STAIRCASE
2. ELEVATOR
3. COMMONITY CORRIDOR
4. FRONT CHUTE

FLOOR PLAN - LEVELS 2 & 3
 SCALE: 1/8" = 1'-0"



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PROJECT:
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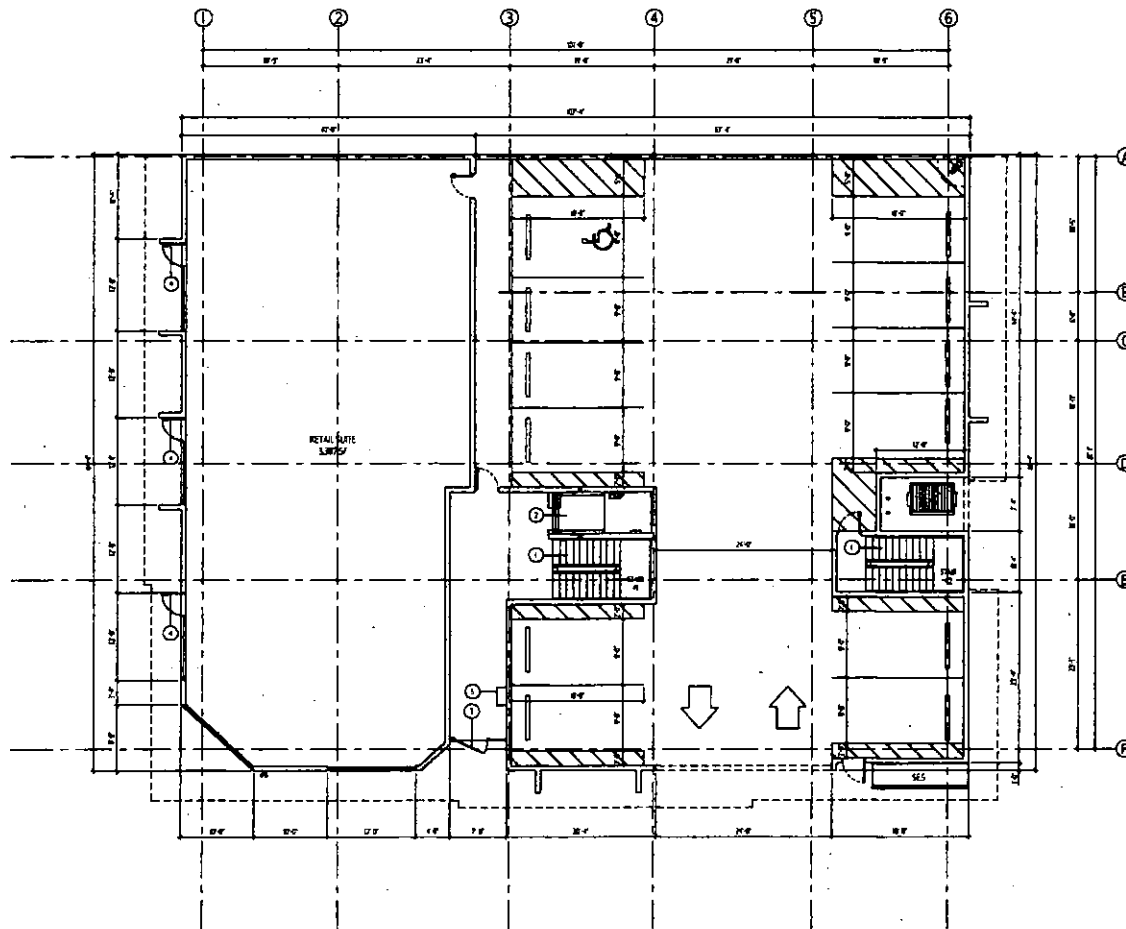
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CONTRIBUTOR:

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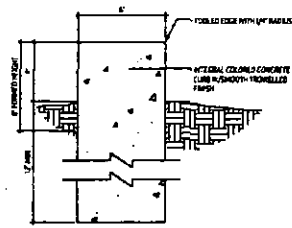
GENERAL NOTES:

1. ALL WALL AND CEILING FINISHES TO BE MASONRY WALLS ALL OTHER WALLS TO BE WOOD FRAMING
2. DOORS SHALL HAVE 1 HOUR VERTICAL AND HORIZONTAL SEPARATION

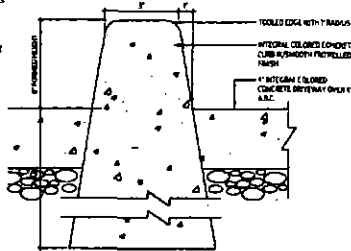
KEY NOTES:

1. ELEVATION
2. ELEVATION
3. HANDICAPPED PHYSICAL UNITS
4. OTHER TO RETAIL SPACE
5. MAIL ROOMS

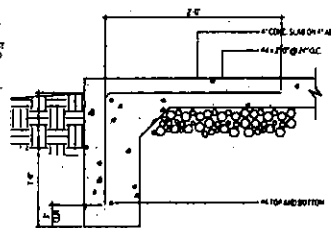

FLOOR PLAN - LEVEL 1
 SCALE: 1/4" = 1'-0"



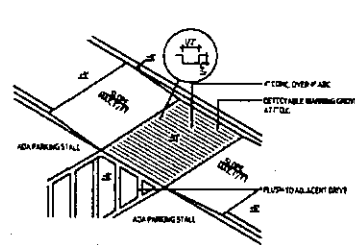
LANDSCAPING CURB
SCALE 1/2"=1'-0"



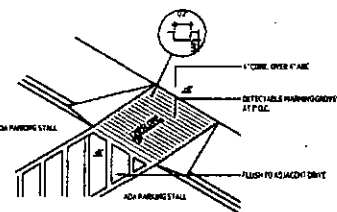
PARKING CURB
SCALE 1/2"=1'-0"



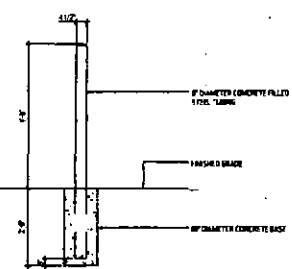
TURNDOWN AT SLAB EDGE
SCALE 1/2"=1'-0"



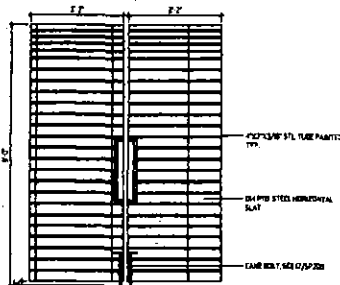
ACCESSIBLE PATH
SCALE 1/2"=1'-0"



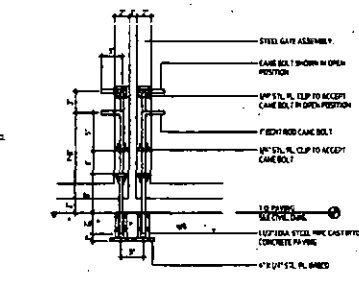
ACCESSIBLE PATH
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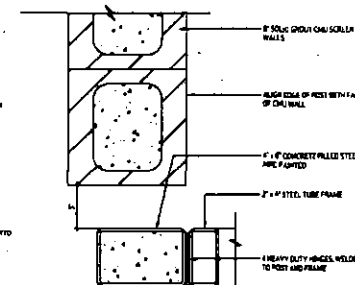
BOLLARD DETAIL
SCALE 1/2"=1'-0"



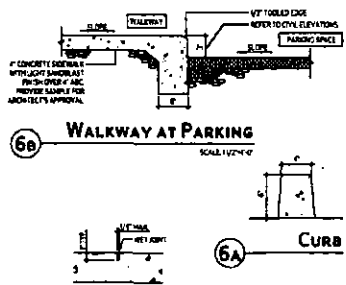
STEEL GATE ELEVATION
SCALE 1/2"=1'-0"



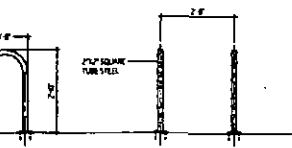
CANE BOLT DETAIL
SCALE 1/2"=1'-0"



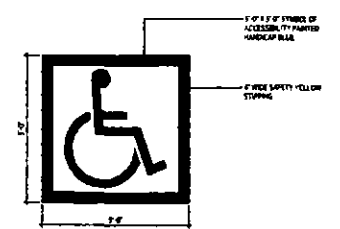
GATE POST
SCALE 1/2"=1'-0"



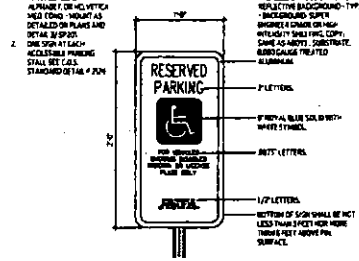
CONCRETE CONTROL JOINTS
SCALE 1/2"=1'-0"



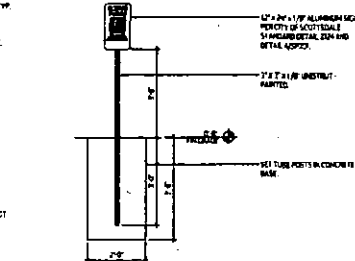
BICYCLE RACK
SCALE 1/2"=1'-0"



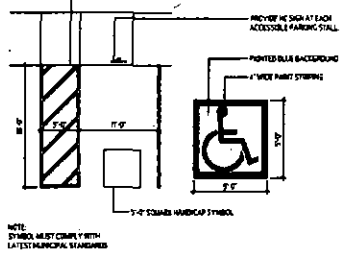
ACCESSIBLE PARKING SIGN
SCALE 1/2"=1'-0"



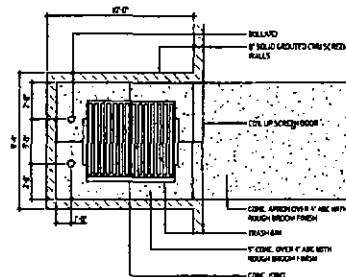
ACCESSIBLE SIGNAGE (SCOTTSDALE)
SCALE 1/2"=1'-0"



ACCESSIBLE SIGN (SCOTTSDALE)
SCALE 1/2"=1'-0"



ACCESSIBLE PARKING
SCALE 1/2"=1'-0"



TRASH ENCLOSURE
SCALE 1/2"=1'-0"

AGE STATEMENT
NO RESTORATION REQUIRED FOR THIS SITE.
FINISHED FLOOR ELEVATION IS SET 1' LOWER
EXISTING BUILDING BEING DEMOLISHED.
LLO MINIMIZE THE IMPACT ON THE
DRAINAGE PATTERNS OF THE SITE. THE
BUILDING WILL HAVE ROOF DRAINS
TO THE SOUTH TO ASSIST WITH MINIMIZING
CT OF THE NEW BUILDING. THE EXISTING
AND SITE IMPROVEMENTS WILL BE
THE PROPOSED FINISHED FLOOR
IS SET AT THE EXISTING BACK OF
ELEVATION AT THE HIGH CORNER OF
THIS PUTS THE FINISHED FLOOR
1.5' ABOVE LOW CLBS.

ZONE (FIRM)
FALLS WITHIN ZONE SHADED X PER D40.32233.
ON 10/18/2013. DEFINED AS AREAS OF 0.2K
CHANCE FLOOD. AREAS OF 18 ANNUAL CHANCE
TH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR
AREAS LESS THAN 1 SQUARE MILE. AND AREAS
BY LEVELS FROM 18 ANNUAL CHANCE FLOOD.

SITE AREA

LOT 22
SITE AREA 7,036.52 SQUARE FEET OR 0.16
ACRES
MORE OR LESS.

LOT 23
SITE AREA 3,533.99 SQUARE FEET OR 0.08
ACRES
MORE OR LESS.

BASIS OF BEARING

THE MOMENT LINE OF CRAFTSMAN COURT
BETWEEN 3RD AVENUE AND 5TH AVENUE.

BEARING = N 00°37'00" E AS RECORDED IN
BOOK 42, PAGE 23 M.C.R.

BENCH MARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION
OF SCOTTSDALE RD. AND INDIAN SCHOOL RD.

ELEVATION= 1260.366 (HANDS)

PROJECT DESCRIPTION

RENOVATING EXISTING BUILDING AND SITE
IMPROVEMENTS AND CONSTRUCT PROPOSED
MULTI-STORY MIXED USE DEVELOPMENT WITH
ASSOCIATED SITE IMPROVEMENTS.

APN

173-50-021A

173-50-022

ZONING

CONSTRUCTION TYPE

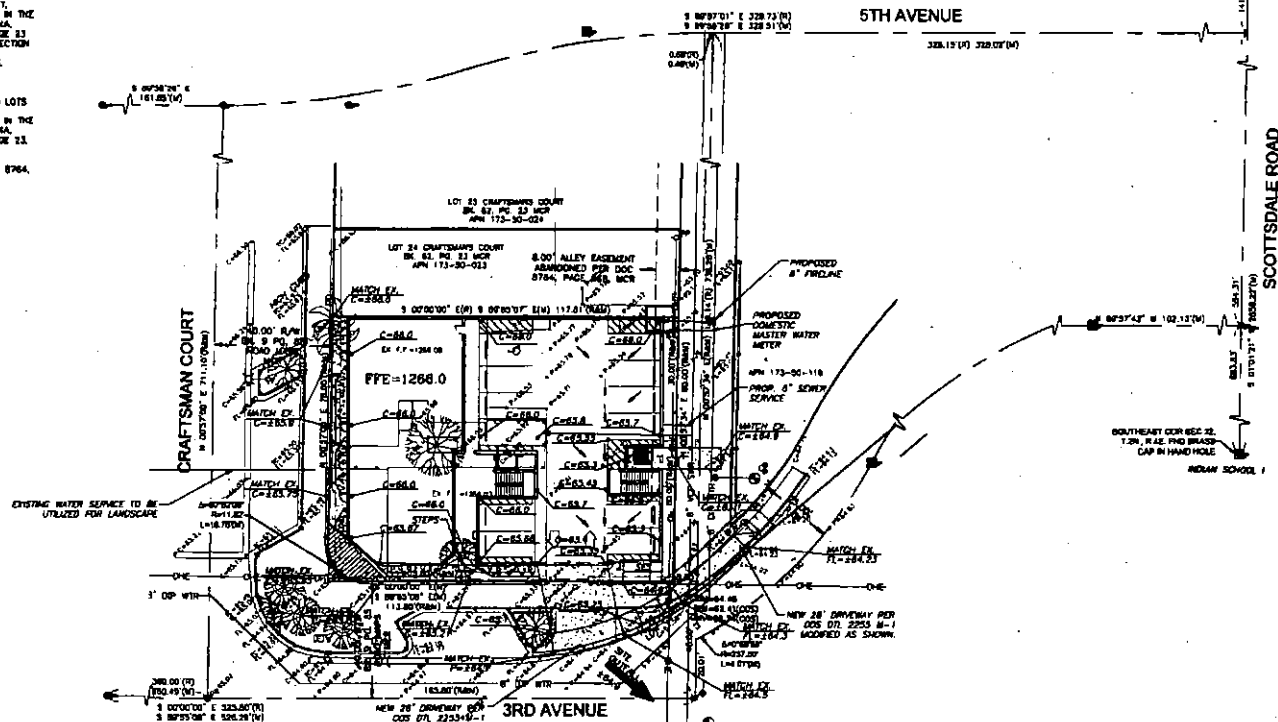
M

LEGAL DESCRIPTION

PANEL NO. 1:
LOTS 22 AND 23, CRAFTSMAN COURT,
ACCORDING TO THE PLAT OF RECORD IN THE
OFFICE OF MARICOPA COUNTY, ARIZONA,
RECORDED IN BOOK 42 OF MAPS, PAGE 23
AND THEREAFTER AFFIDAVIT OF CORRECTION
RECORDED AS DOCUMENT NO.
2007-1193863, OF OFFICIAL RECORDS.

PANEL NO. 2:
THAT PORTION OF THE ALLEY LYING
IMMEDIATELY EAST AND ADJACENT TO LOTS
22 AND 23, CRAFTSMAN COURT,
ACCORDING TO THE PLAT OF RECORD IN THE
OFFICE OF MARICOPA COUNTY, ARIZONA,
RECORDED IN BOOK 42 OF MAPS, PAGE 23
AS ABANDONED BY THE CITY OF
SCOTTSDALE RESOLUTION NO. 696,
RECORDED JUNE 17, 1971 AS DOCKET 8764,
PAGE 168, OF OFFICIAL RECORDS.

3 CAP IN HANDHOLE
4 CLEAN OUT
5 HANDHOLE
6 VALVE
7 HYDRANT
8 DEPT. CONNECTION
9 METER
10 FLOW PREVENTER
11 METER
12 T LIGHT
13 POLE
14 NO LIGHT
15 T. BOX
16 POWER RISER
17 RISER
18 TREE
19 TREE
20 DESCRIBE TREE
21 CACTUS
22 C.M.J. WALL (4 OR 8 INCH BLOCKS)
23 BOUNDARY



ENGINEER
JACOBS WALLACE, LLC
2233 N. BETHANY HOME RD
PHOENIX, AZ 85015
CHUCK JACOBS
802.757.5664

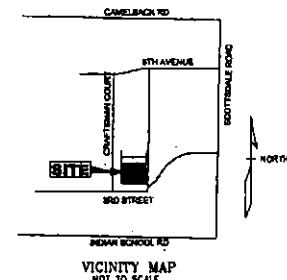
ARCHITECT
TOMECAR DESIGN, P.C.
4300 NORTH CTR CENTER PLAZA
SUITE 301
SCOTTSDALE, ARIZONA 85251
PHONE: 802.819.7751
CONTACT: MARK TOMECAR

OWNER
4151 CRAFTSMAN LLC
1830 E. ELLIOT RD
STE 104
TEMPE AZ 85284-1799

CRAFTSMAN COURT MIXED USE DEVELOPMENT CONCEPTUAL G&D AND UTILITY PLAN

4151 N CRAFTSMAN CT.
SCOTTSDALE, AZ 85251

A PORTION OF SOUTHEAST QUARTER OF SECTION 22,
TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE DILA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.



CRAFTSMAN COURT
MIXED USE DEVELOPMENT

JACOBS WALLACE, LLC



APR

DRAW

C

JO

GENERAL NOTES:

- KNOX BOX WILL BE REQUIRED FOR FIRE DEPARTMENT EMERGENCY ACCESS KEYS. LOCATION OF BOX TO BE DETERMINED WITH FIRE INSPECTOR APPROVAL.
- SLOPE ALL SIDEWALKS AWAY FROM BUILDING MINIMUM 1% AND NOT TO EXCEED 2% MAXIMUM.
- PROVIDE FIRE LANE SIGNAGE AT LOCATIONS REQUIRED BY THE FIRE MARSHALL AND FILED IN PROJECT.

KEY NOTES:

- EXISTING PUBLIC STREET PARKING TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- SEE VISIBILITY TRIANGLE.
- LANDSCAPE PLANTERS TO REMAIN.
- NEW DRIVEWAY: SEE CIVIL FOR MORE INFORMATION.
- REMOVE AND UNDERGROUND ALL ABOVE GROUND ELECTRICAL LINES.
- LOCATION OF F.D.C.
- TRANSFER ENCLOSURE WITH CONCRETE PAD.
- PROPERTY LINE.
- BICYCLE RACK PER CITY OF SCOTTSDALE STANDARD DETAIL.
- EXISTING STREET LIGHT TO REMAIN.
- NEW CONCRETE SIDEWALK TO MATCH EXISTING.
- CONCRETE APRON FOR TRANS ENCLOSURE.
- ROLL UP GATE.
- S.E.A. LOCATION.
- ASPHALT PAVING.
- ROOF AND OVERFLOW DRAIN TO DISCHARGE ONTO PAVING.
- ADA PARKING AND ACCESSIBLE ASILE.
- PAVED PARKING LOT AND DRIVEWAYS WITH CONCRETE.
- PARKING STOP: TYPICAL.
- ELECTRICAL TRANSFORMER.
- FIRE RISER LOCATION.
- LANDSCAPE FLOOR PLANTER.
- EXISTING FIRE HYDRANT TO REMAIN.
- NOT USED.
- MULTICASTE STREET LIGHT TO ACCOMMODATE NEW ADA SIDEWALK.
- SEWER MAIN.
- WATER MAIN.
- BACK FLOW PREVENTER.
- DEPARTURE SIGHT DISTANCE TRIANGLE.

PROJECT DIRECTORY

OWNER:	ARC CONSTRUCTION LLC 322 NORTH CENTRAL AVENUE PHOENIX, ARIZONA 85027 CONTACT: BILL BORDERS PHONE: 480.353.7008
ARCHITECT:	TOMECAL DESIGN, P.C. 4308 NORTH CENTRAL AVENUE SUITE 200 SCOTTSDALE, ARIZONA 85251 CONTACT: MARK TOMECAL PHONE: 602.619.7751
CIVIL ENGINEER:	JACQUES WALLACE LLC 2231 WEST BETHANY HOME ROAD PHOENIX, ARIZONA 85025 CONTACT: CHUCK JACOBS PHONE: 602.757.5364
LANDSCAPE ARCHITECT:	T.J. MCCOBBEN 8405 EAST CHAGALL STREET SCOTTSDALE, ARIZONA 85250 CONTACT: TIM MCCOBBEN PHONE: 602.366.6519
ELECTRICAL ENGINEER:	RUNBERGEN LLC 330 SOUTH BROADWAY DRIVE CHANDLER, ARIZONA 85226 CONTACT: ROBERT HANNA PHONE: 602.741.0467

CODE REVIEW

AUTHORITY:	CITY OF SCOTTSDALE, ARIZONA
CODE:	2012 INTERNATIONAL BUILDING CODE REQUIREMENTS 2012 INTERNATIONAL FIRE CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL PLUMBING CODE 201 NATIONAL ELECTRICAL CODE 2008 INTERNATIONAL CONSERVATION CODE
OCCUPANCY:	A-2(US)-2
OCCUPANCY USE:	SEPARATED
CONSTRUCTION TYPE:	V-B

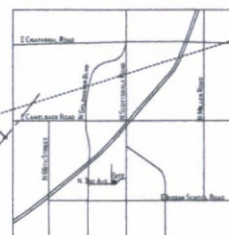
PROJECT DATA

PROJECT NAME:	THE CADRE								
ADDRESS:	4308 NORTH CRAFTSMAN COURT SCOTTSDALE, ARIZONA 85251								
GROSS SITE AREA:	21,563 SF (0.49 ACRES)								
NET SITE AREA:	18,570 SF (0.42 ACRES)								
APN:	079-019-0214								
PROPOSED USE:	CONDOMINIUM PROJECT								
BUILDING AREA:									
	<table> <tr> <td>TOTAL GROSS RETAIL</td><td>8,900 SF</td></tr> <tr> <td>2ND FLOOR RESIDENTIAL</td><td>8,200 SF</td></tr> <tr> <td>3RD FLOOR RESIDENTIAL</td><td>8,200 SF</td></tr> <tr> <td>TOTAL</td><td>18,770 SF</td></tr> </table>	TOTAL GROSS RETAIL	8,900 SF	2ND FLOOR RESIDENTIAL	8,200 SF	3RD FLOOR RESIDENTIAL	8,200 SF	TOTAL	18,770 SF
TOTAL GROSS RETAIL	8,900 SF								
2ND FLOOR RESIDENTIAL	8,200 SF								
3RD FLOOR RESIDENTIAL	8,200 SF								
TOTAL	18,770 SF								
UNIT SIZE:									
	<table> <tr> <td>01/201</td><td>2,400 SF</td></tr> <tr> <td>02/202</td><td>2,400 SF</td></tr> <tr> <td>03/203</td><td>2,500 SF</td></tr> </table>	01/201	2,400 SF	02/202	2,400 SF	03/203	2,500 SF		
01/201	2,400 SF								
02/202	2,400 SF								
03/203	2,500 SF								
ZONING:	C-2-00								
PROPERTY DENSITY:									
	<table> <tr> <td>ALLOWABLE:</td><td>12 DWELLING UNITS PER ACRE</td></tr> <tr> <td>PROPOSED:</td><td>12 DWELLING UNITS PER ACRE</td></tr> </table>	ALLOWABLE:	12 DWELLING UNITS PER ACRE	PROPOSED:	12 DWELLING UNITS PER ACRE				
ALLOWABLE:	12 DWELLING UNITS PER ACRE								
PROPOSED:	12 DWELLING UNITS PER ACRE								
NUMBER OF UNITS:	(8) SIX								
FAR:									
	<table> <tr> <td>ALLOWABLE:</td><td>1.97(2,563) = 248.52 SF</td></tr> <tr> <td>PROPOSED:</td><td>8,760 SF / 2,563 = 3.41</td></tr> </table>	ALLOWABLE:	1.97(2,563) = 248.52 SF	PROPOSED:	8,760 SF / 2,563 = 3.41				
ALLOWABLE:	1.97(2,563) = 248.52 SF								
PROPOSED:	8,760 SF / 2,563 = 3.41								
STORIES:	(3) THREE STORY								
FIRE SPRINKLERS:	YES								
FIRE ALARM:	YES								
BUILDING SETBACKS:									
	<table> <tr> <td>STREET SIDE:</td><td>10'-0" FROM CURB</td></tr> <tr> <td>ALLEY SIDE:</td><td>0'-0"</td></tr> <tr> <td>BACK YARD:</td><td>0'-0"</td></tr> </table>	STREET SIDE:	10'-0" FROM CURB	ALLEY SIDE:	0'-0"	BACK YARD:	0'-0"		
STREET SIDE:	10'-0" FROM CURB								
ALLEY SIDE:	0'-0"								
BACK YARD:	0'-0"								
BUILDING HEIGHT:									
	<table> <tr> <td>ALLOWABLE BUILDING HEIGHT:</td><td>30'-0"</td></tr> <tr> <td>ACTUAL BUILDING HEIGHT:</td><td>30'-0" (1'-0" FOR PARAPET)</td></tr> </table>	ALLOWABLE BUILDING HEIGHT:	30'-0"	ACTUAL BUILDING HEIGHT:	30'-0" (1'-0" FOR PARAPET)				
ALLOWABLE BUILDING HEIGHT:	30'-0"								
ACTUAL BUILDING HEIGHT:	30'-0" (1'-0" FOR PARAPET)								
ALLOWABLE AREA:	8,500 SF PER FLOOR 100% INCREASE FOR SPRINKLERS (PER STORY)								
TOTAL AREA ALLOWED:	28,500 SF								

PARKING CALCULATIONS

MINIMUM USE DOWNTOWN OVERLAY		
PARKING REQUIRED:		
RETAIL	8,905 SF/500	7 SPACES
RESIDENTIAL (10) FOUR UNITS PER D.U.		0 SPACES
RESIDENTIAL (2) TWO UNITS PER D.U.		4 SPACES
TOTAL UNITS REQUIRED:		11 SPACES
TOTAL PARKING PROVIDED:		12 SPACES
BICYCLE PARKING REQUIRED:		8 SPACES
BICYCLE PARKING PROVIDED:		8 SPACES
ADA PARKING REQUIRED: (1%)		1 SPACE
ADA PARKING PROVIDED:		1 SPACE

VICINITY MAP



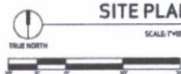
EXISTING BUILDING

ADJACENT ZONING
C-2-00

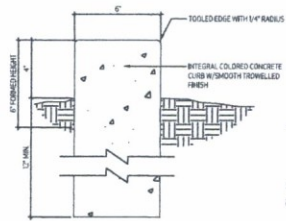
RETAIL

SITE PLAN

SCALE: 1/8"=1'-0"

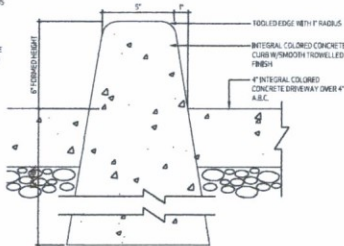


16-DR-2018
7/24/2018



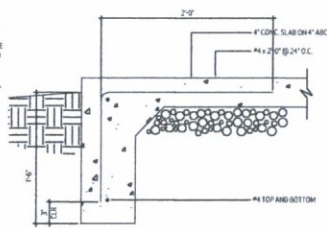
LANDSCAPING CURB

SCALE: 3/4"=1'-0"



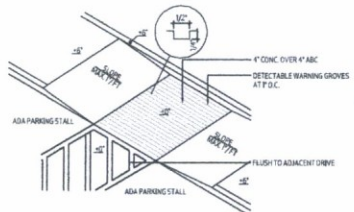
PARKING CURB

SCALE: 3/4"=1'-0"



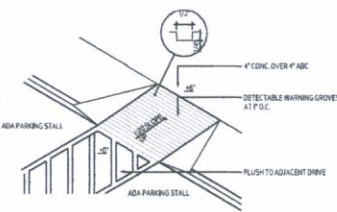
TURNDOWN AT SLAB EDGE

SCALE: 1/2"=1'-0"



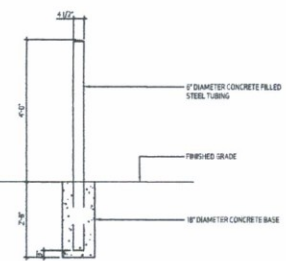
ACCESSIBLE PATH

SCALE: 1/4"=1'-0"



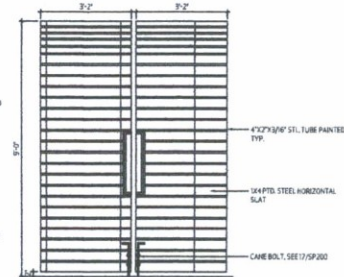
ACCESSIBLE PATH

SCALE: 1/4"=1'-0"



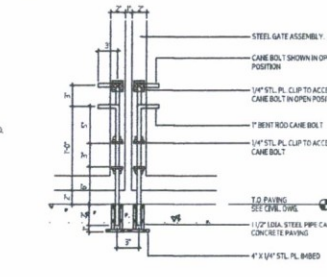
BOLLARD DETAIL

SCALE: 1/2"=1'-0"



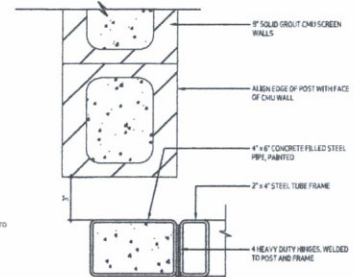
STEEL GATE ELEVATION

SCALE: 1/2"=1'-0"



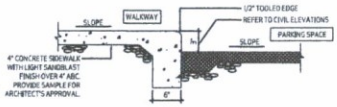
CANE BOLT DETAIL

SCALE: 1/2"=1'-0"



GATE POST

SCALE: 3/4"=1'-0"



WALKWAY AT PARKING

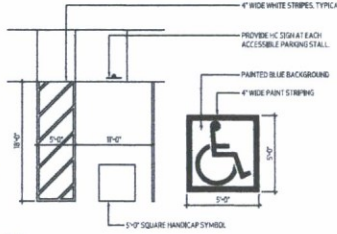
SCALE: 1/2"=1'-0"



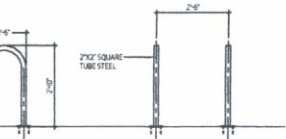
CURB

CONCRETE CONTROL JOINTS

SCALE: 1/2"=1'-0"

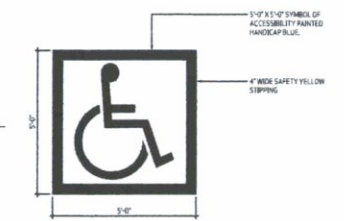


NOTE: SYMBOL MUST COMPLY WITH LATEST MUNICIPAL STANDARDS



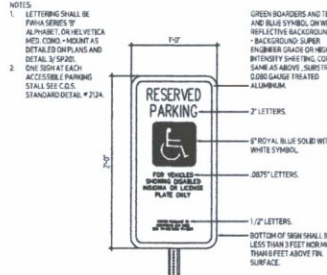
BICYCLE RACK

SCALE: 1/2"=1'-0"



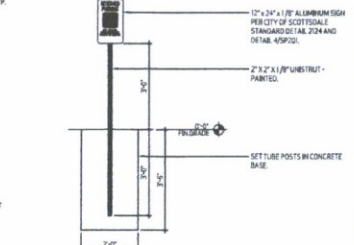
ACCESSIBLE PARKING SIGN

SCALE: 1/2"=1'-0"



ACCESSIBLE SIGNAGE (SCOTTSDALE)

SCALE: 1/2"=1'-0"

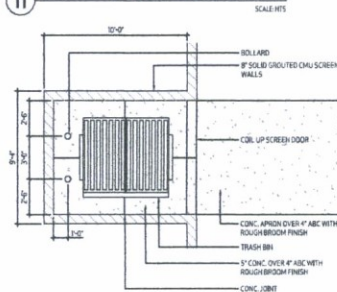


ACCESSIBLE SIGN (SCOTTSDALE)

SCALE: 1/2"=1'-0"

ACCESSIBLE PARKING

SCALE: 1/2"=1'-0"



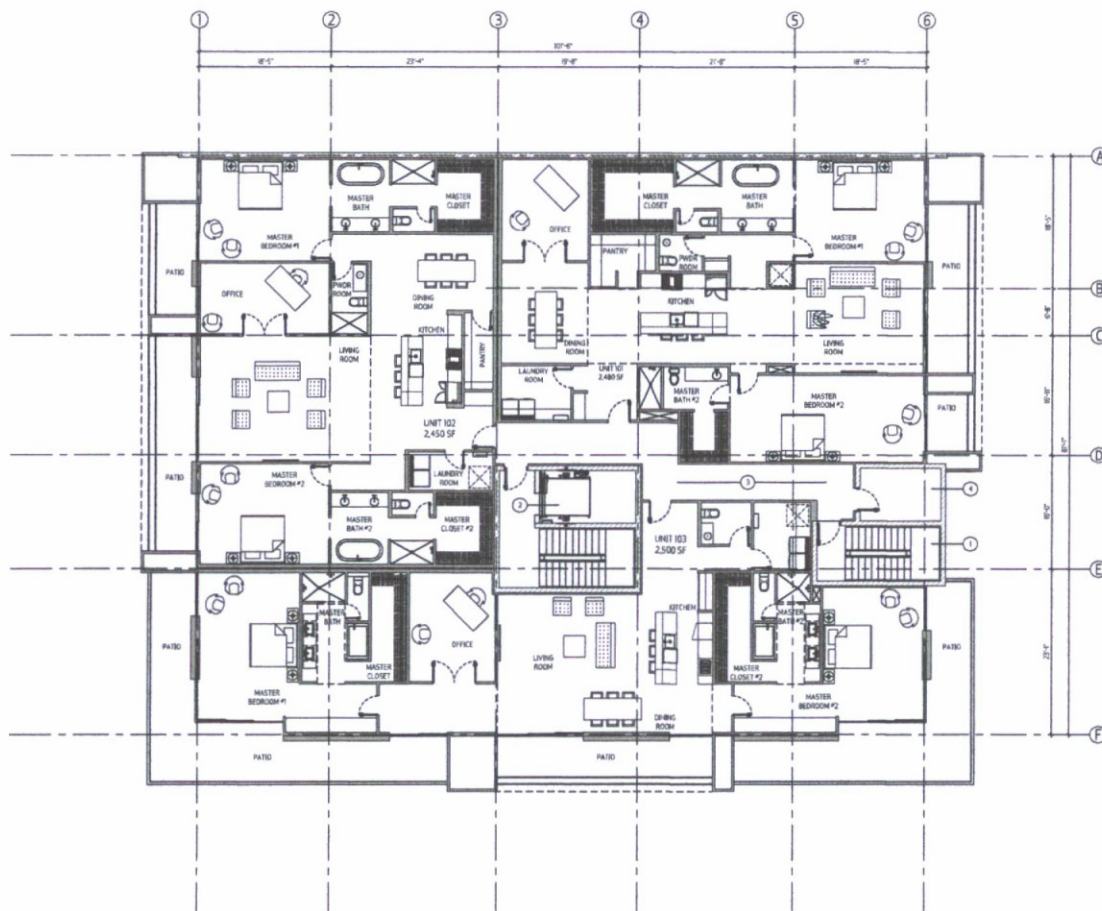
TRASH ENCLOSURE

SCALE: 1/4"=1'-0"

16-DR-2018
7/24/2018



16-DR-2018
7/24/2018



GENERAL NOTES:

- STAIR AND ELEVATOR SHAFTS TO BE MASSIVE WALLS. ALL OTHER TO BE WOOD FRAMING.
- UNIT'S SHALL HAVE 1 HOUR VERTICAL AND HORIZONTAL SEPARATION.

KEY NOTES:

- EXIT STAIRCASE
- ELEVATOR
- COMMUNITY CORRIDOR
- TRASH CHUTE

FLOOR PLAN - LEVELS 2 & 3
SCALE: 1/4" = 1'-0"

TRUE NORTH

TOMECA DESIGN
4550 North Civic Center Pk
Suite 201
Scottsdale, Arizona 85258
T 602.618.7731
F 480.716.8387
E tom@tomecadesign.com

PROJECT:
THE CADRE
4001 NORTH DRAUGHTSMAN C
SCOTTSDALE, ARIZONA 85258

REVISED:

JOB #:

DATE:

COMMENTS:

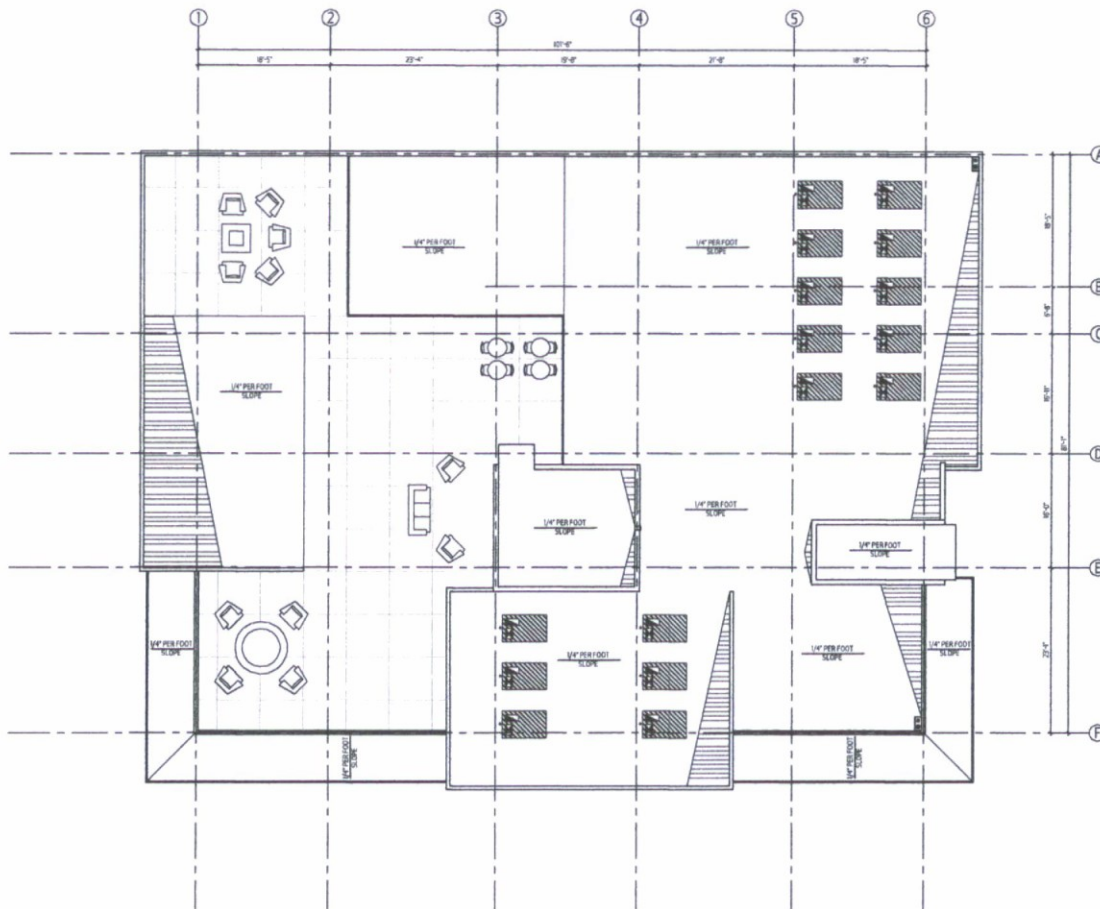
SHEET NO.:

FLOOR

LEVELS

A

16-DR-2018
7/24/2018



ROOF PLAN
SCALE: 1/8"=1'-0"



RENDERING FROM THIRD STREET
SCALE: 1/8" = 1'-0"



RENDERING FROM ALLEY
SCALE: 1/8" = 1'-0"



RENDERING FROM CRAFTSMAN
SCALE: 1/8" = 1'-0"



RENDERING FROM CORNER
SCALE: 1/8" = 1'-0"

**TOME
DESIGN**
400 North Core Center
Suite 201
Scottsdale, Arizona
T: 602.888.7750
F: 480.718.8587
E: info@tomedesign.com

PROJECT:
THE CADRE
400 NORTH CRAFTS
SCOTTSDALE, ARIZONA

REVISION:

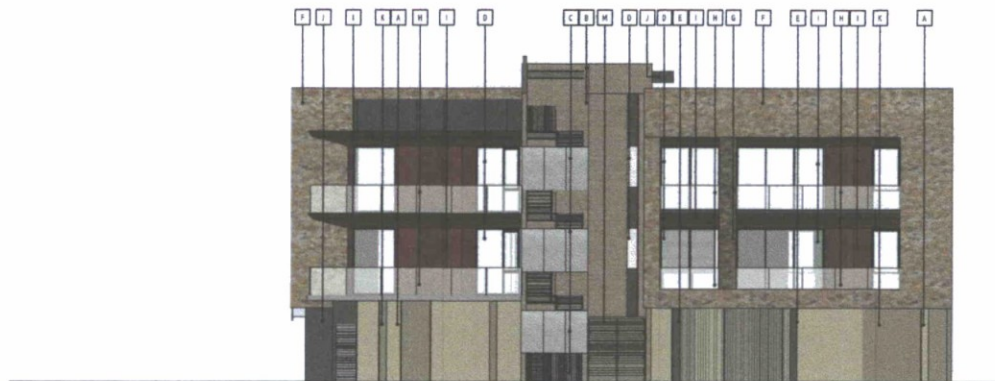
DATE:

DATE:

DATE:

DATE:

16-DR-2018
7/24/2018



1 EAST ELEVATION

SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



3 WEST ELEVATION

SCALE: 1/8"=1'-0"

GENERAL NOTES:

- ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- FINISHES BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- BUILDING ADDRESS IS TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS, AND IS SUBJECT TO ARCHITECT'S APPROVAL.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.

MATERIAL SCHEDULE

MATERIAL	
A	PAINTED STUCCO - BROOK NAKED FINISH DARK GRAY DRESSY FINE GRAB JULY 18
B	CLAY BLOCK SANDWICH BONE COLOR - NAKED JOINTS
C	STAINLESS STEEL
D	LOW E WINDOW/DOOR GRAY COATED GLASS DARK BROWN ALUM FRAME
E	ACCENT PANEL DARK GRAY DRESSY FINE GRAB JULY 18
F	BRICK VENEER BRICK AZTEC YELLOW
G	BRICK VENEER BRICK VENETIAN SHALE
H	GLASS BALUSTRADE CLEAR TEMPLER GLASS
I	METAL CLADDING DRY DESIGN
J	STEEL MILL FINISHED CLEAR SEAL COAT FINISH
K	PAINTED STUCCO - BROOK NAKED FINISH DARK GRAY DRESSY FINE GRAB JULY 18
L	STEEL DOOR W/LOW E GLASS MILL FINISHED CLEAR SEAL COAT FINISH

**TOME
DESIGN**

4385 North Creek Circle
Suite 200
Scottsdale, Arizona
T 480.688.7791
F 480.718.8387
E tom@tomedesign.com

PROJECT:
THE CADRE
4300 NORTH CRAFT
SCOTTSDALE, ARIZONA

REVISION:

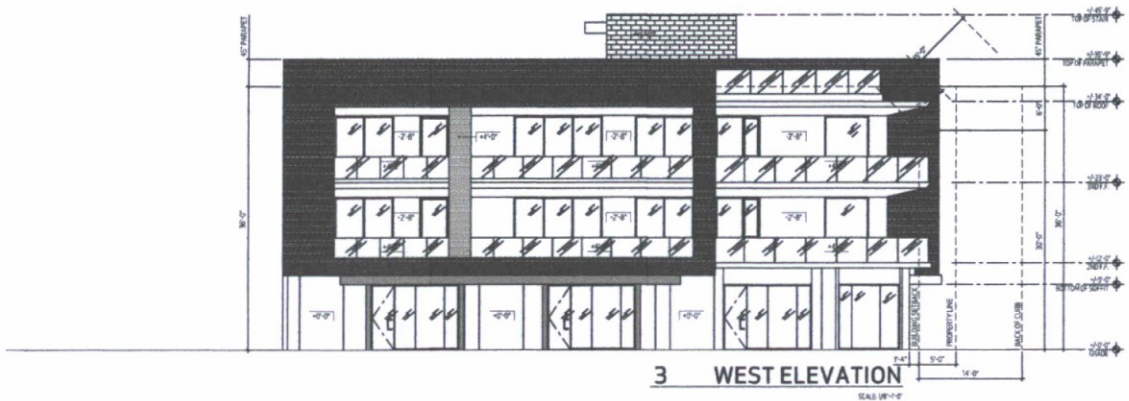
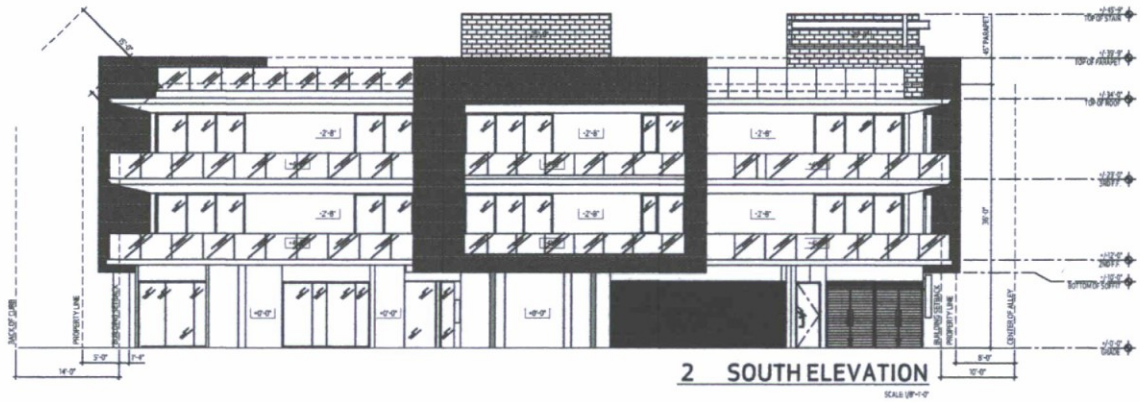
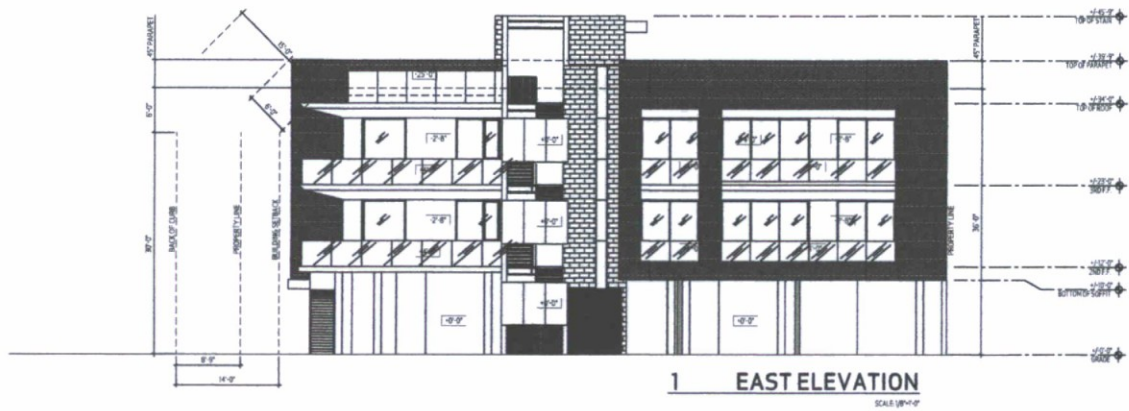
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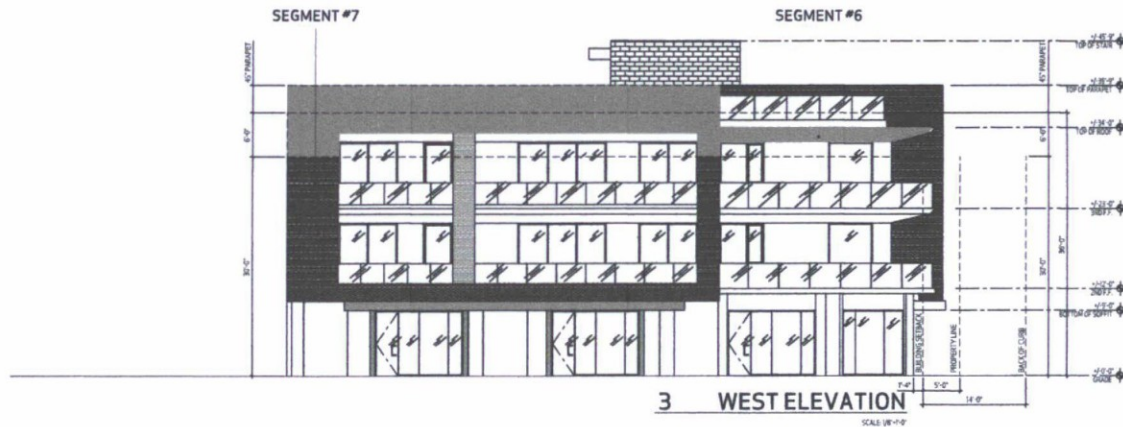
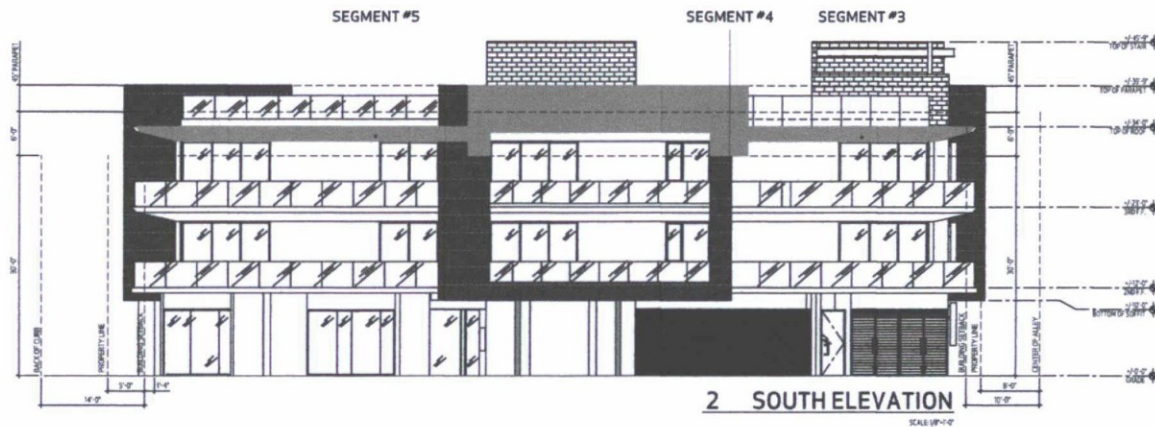
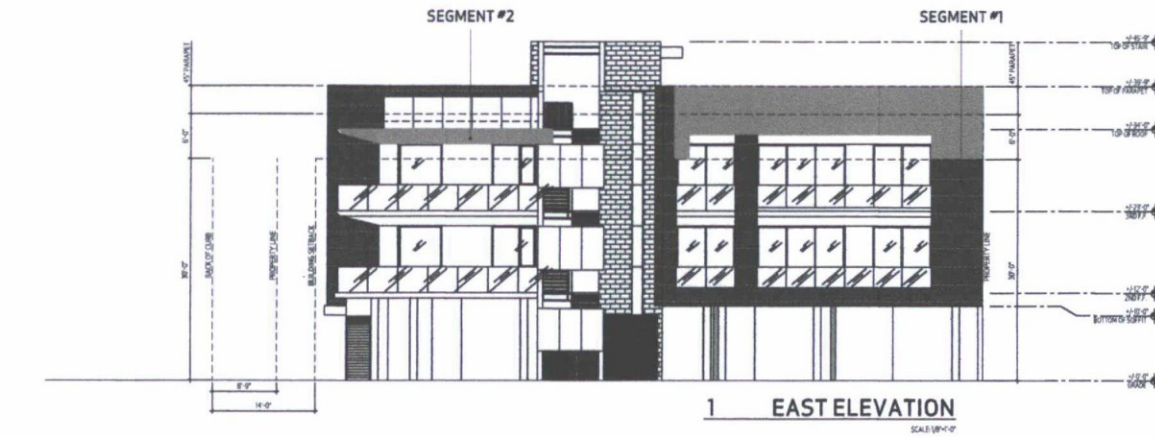
DATE:

COUNTRY: COLORADO

SHEET NO:

16-DR-2018
7/24/2018





SEGMENT #1
TOTAL SURFACE AREA:
AREA NOT PROJECTING INTO STEPPACK: 1,239 S.F.
AREA PROJECTING INTO STEPPACK: 352 S.F.
PERCENT OF AREA: 24%
TOTAL HEIGHT OF SEGMENT: 29'-0"
HEIGHT PROJECTING INTO STEPPACK: 9'-0"

SEGMENT #2
TOTAL SURFACE AREA:
AREA NOT PROJECTING INTO STEPPACK: 343 S.F.
AREA PROJECTING INTO STEPPACK: 343 S.F.
PERCENT OF AREA: 100%
TOTAL HEIGHT OF SEGMENT: 2'-0"
HEIGHT PROJECTING INTO STEPPACK: 2'-0"

SEGMENT #3
TOTAL SURFACE AREA:
AREA NOT PROJECTING INTO STEPPACK: 57 S.F.
AREA PROJECTING INTO STEPPACK: 57 S.F.
PERCENT OF AREA: 100%
TOTAL HEIGHT OF SEGMENT: 2'-0"
HEIGHT PROJECTING INTO STEPPACK: 2'-0"

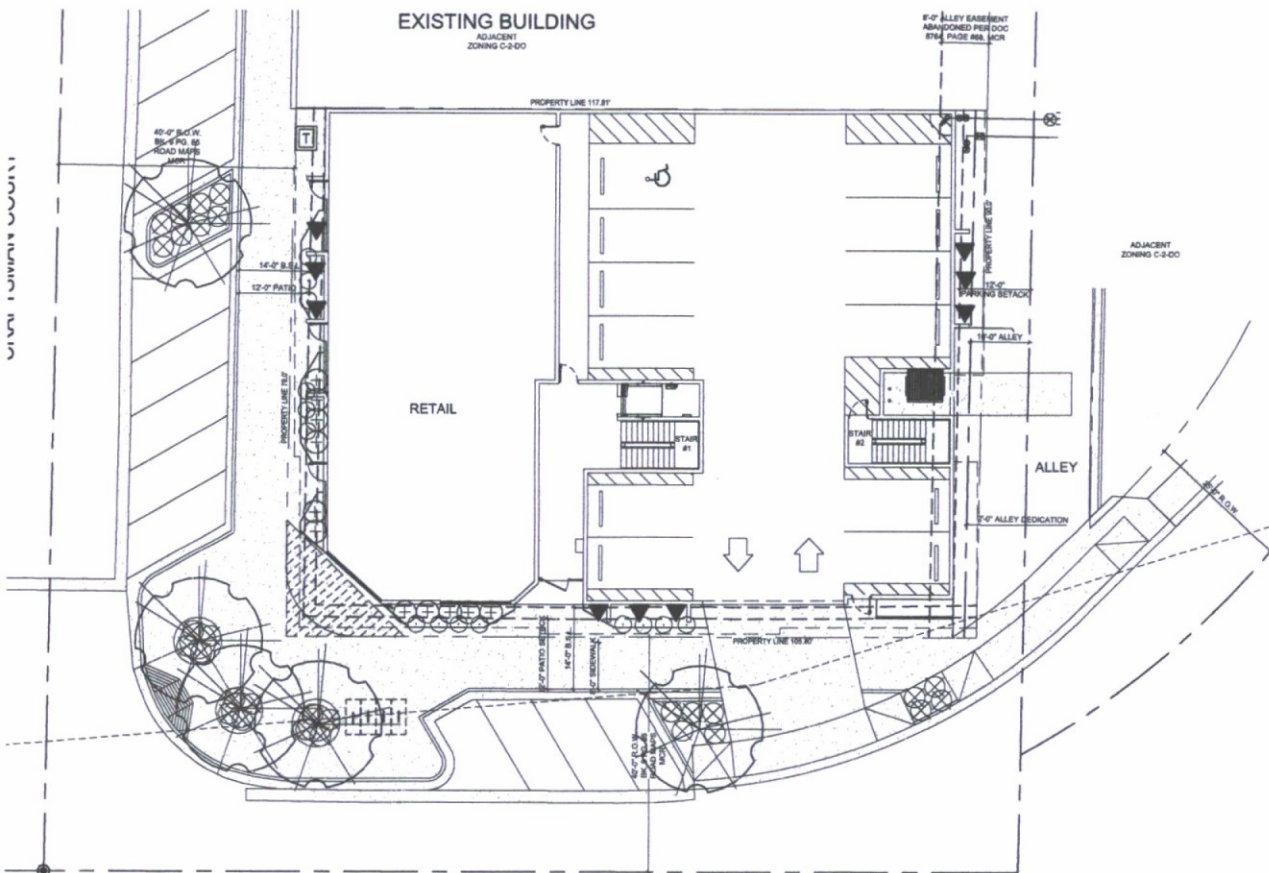
SEGMENT #4
TOTAL SURFACE AREA:
AREA NOT PROJECTING INTO STEPPACK: 150 S.F.
AREA PROJECTING INTO STEPPACK: 274 S.F.
PERCENT OF AREA: 53%
TOTAL HEIGHT OF SEGMENT: 20'-0"
HEIGHT PROJECTING INTO STEPPACK: 9'-0"

SEGMENT #5
TOTAL SURFACE AREA:
AREA NOT PROJECTING INTO STEPPACK: 88 S.F.
AREA PROJECTING INTO STEPPACK: 88 S.F.
PERCENT OF AREA: 100%
TOTAL HEIGHT OF SEGMENT: 2'-0"
HEIGHT PROJECTING INTO STEPPACK: 2'-0"

SEGMENT #6
TOTAL SURFACE AREA:
AREA NOT PROJECTING INTO STEPPACK: 52 S.F.
AREA PROJECTING INTO STEPPACK: 52 S.F.
PERCENT OF AREA: 100%
TOTAL HEIGHT OF SEGMENT: 2'-0"
HEIGHT PROJECTING INTO STEPPACK: 2'-0"

SEGMENT #7
TOTAL SURFACE AREA:
AREA NOT PROJECTING INTO STEPPACK: 730 S.F.
AREA PROJECTING INTO STEPPACK: 415 S.F.
PERCENT OF AREA: 56%
TOTAL HEIGHT OF SEGMENT: 29'-0"
HEIGHT PROJECTING INTO STEPPACK: 9'-0"

16-DR-2018
7/24/2018



3RD AVENUE



LANDSCAPE LEGEND



CERCIDIUM 'HYBRID'
DESERT MUSEUM PALO VERDE
2" CALIP., 6.5T, 4.5W (5)

BIGNONIA CAPREOLATA
CROSSVINE
5 GALLON (9)

HESPERALOE PERPA
BRAKE LIGHT RED YUCCA
5 GALLON (29)

MUHLENBERGIA RIGENS
DEER GRASS
5 GALLON (11)

LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (14)

1/4" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE SUMMARY DATA:

OFF-SITE LANDSCAPE: 627 SQ.FT.
ON-SITE LANDSCAPE: 391 SQ.FT.
PARKING LOT LANDSCAPE: 0 SQ.FT.

CITY OF SCOTTSDALE LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT-OF-WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED, TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX.

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS.

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL.

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER APPROVED DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

Case No: 00 - DR - 2018

ALL LANDSCAPED AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN THE PUBLIC RIGHT-OF-WAY, INCLUDING MEDIAN, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, LITTER AND NEED-FREE CONDITION. IN ADDITION TO THE STANDARDS IN THE SCOTTSDALE DESIGN STANDARD AND POLICES MANUAL, AND ANY STANDARD PRACTICES FOR PLANTING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
(Property Owner, Developer or Homeowner's Association)



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10480 N. 74th Street, Suite 120
Scottsdale, Arizona 85254
P. (602) 285-0320

EMAIL: tmmcqueen@tmjla.net



project: THE CADR
4360 North Oak
Scottsdale, AR

reviewed:

job #:

date:

submitted: CONCEPT LANDSCAPE

sheet No:

16-DR-2018
7/24/2018

RAINAGE STATEMENT
 THERE IS NO RETENTION REQUIRED FOR THIS SITE.
 THE FINISHED FLOOR ELEVATION IS SET 1" LOWER
 THAN THE EXISTING BUILDING BEING DEMOLISHED.
 THIS SHOULD MINIMIZE THE IMPACT ON THE
 EXISTING DRAINAGE PATTERNS OF THE SITE. THE
 PROPOSED BUILDING WILL HAVE ROOF DRAINAGE
 TILES TO THE SOUTH TO ASSIST WITH MINIMIZING
 THE IMPACT OF THE NEW BUILDING. THE EXISTING
 BUILDINGS AND SITE IMPROVEMENTS WILL BE
 RAPED. THE PROPOSED FINISHED FLOOR
 ELEVATION IS SET AT THE EXISTING BACK OF
 CEMENT ELEVATION AT THE HIGH CORNER OF
 THE SITE. THIS PUTS THE FINISHED FLOOR
 ELEVATION 1.3' ABOVE LOW CURB.

LOAD ZONE (FIRM)
 THIS SITE FALLS WITHIN ZONE SHADED X PER 0401322330L.
 EFFECTIVE ON 10/16/2013. DEFINED AS AREAS OF 0.2%
 ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE
 FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR
 1% DRAINAGE AREAS LESS THAN 1 SQUARE MILE. AND AREAS
 PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

SITE AREA
 LOT 22
 SITE AREA 7,036.52 SQUARE FEET OR 0.16
 ACRES
 MORE OR LESS.

LOT 23
 SITE AREA 3,533.99 SQUARE FEET OR 0.08
 ACRES
 MORE OR LESS.

BASIS OF BEARING
 THE MONUMENT LINE OF CRAFTSMAN COURT
 BETWEEN 3RD AVENUE AND 5TH AVENUE.

BEARING = N 00°57'00" E AS RECORDED IN
 BOOK 62, PAGE 23 M.C.R.

BENCH MARK
 BRASS CAP IN HAND HOLE AT THE INTERSECTION
 OF SCOTTSDALE RD. AND INDIAN SCHOOL RD.

ELEVATION = 1260.368 (NAVD88)

PROJECT DESCRIPTION
 DEMO EXISTING BUILDINGS AND SITE
 IMPROVEMENTS AND CONSTRUCT PROPOSED
 MULTI-STORY MIXED USE DEVELOPMENT WITH
 ASSOCIATED SITE IMPROVEMENTS.

APN
 173-50-021A
 173-50-022

ZONING
 C-2

CONSTRUCTION TYPE
 VB

LEGAL DESCRIPTION
 PARCEL NO. 1:
 LOTS 22 AND 23, CRAFTSMAN COURT,
 ACCORDING TO THE PLAT OF RECORD IN THE
 OFFICE OF MARICOPA COUNTY, ARIZONA,
 RECORDED IN BOOK 62 OF MAPS, PAGE 23
 AND THEREAFTER AFFIDAVIT OF CORRECTION
 RECORDED AS DOCUMENT NO.
 2007-1193965, OF OFFICIAL RECORDS.

PARCEL NO. 2:
 THAT PORTION OF THE ALLEY LYING
 IMMEDIATELY EAST AND ADJACENT TO LOTS
 22 AND 23, CRAFTSMAN COURT,
 ACCORDING TO THE PLAT OF RECORD IN THE
 OFFICE OF MARICOPA COUNTY, ARIZONA,
 RECORDED IN BOOK 62 OF MAPS, PAGE 23,
 AS ABANDONED BY THE CITY OF
 SCOTTSDALE RESOLUTION NO. 896,
 RECORDED JUNE 17, 1971 AS DOCKET 8764,
 PAGE 896, OF OFFICIAL RECORDS.

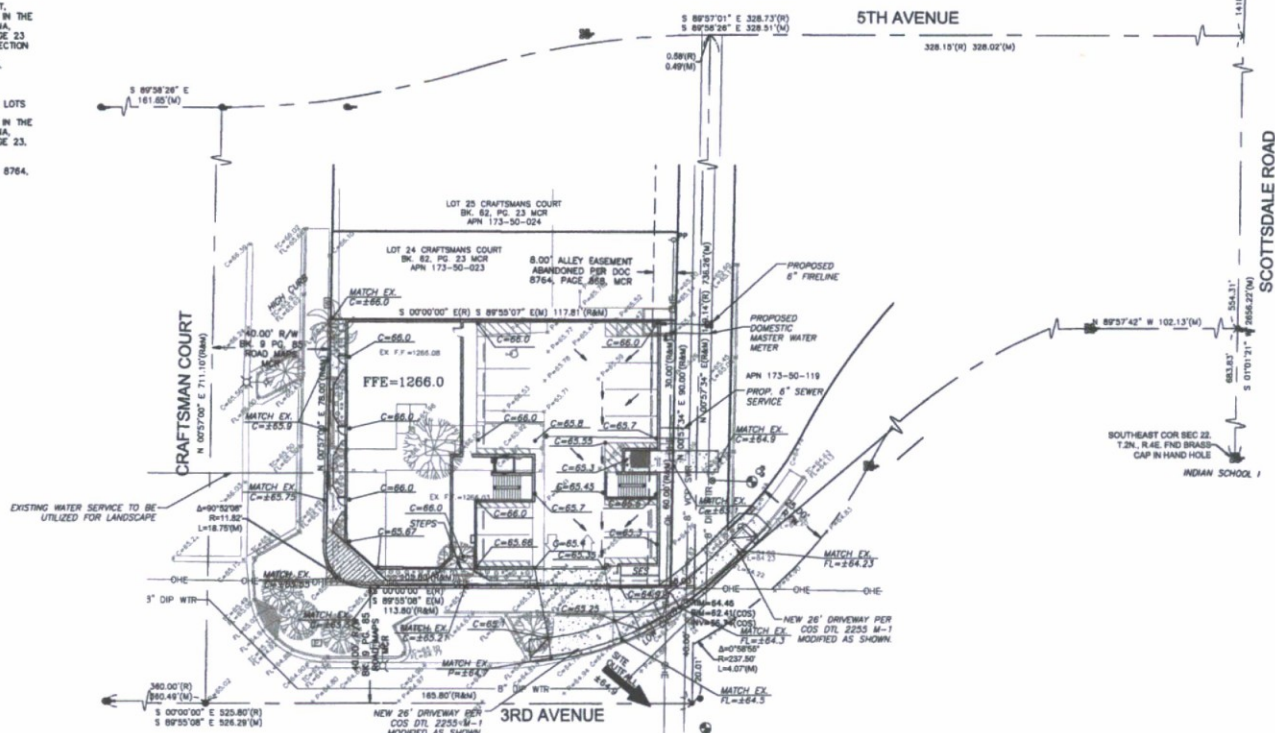
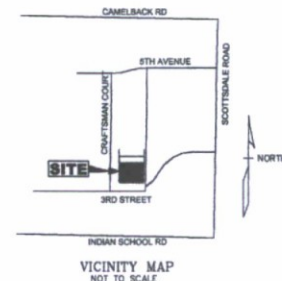
ENGINEER
 JACOBS WALLACE, LLC
 2233 W BETHANY HOME RD
 PHOENIX, AZ 85015
 CHUCK JACOBS
 602.757.5964

ARCHITECT
 TOMCEK DESIGN, P.C.
 4368 NORTH CIVIC CENTER PLAZA
 SUITE 201
 SCOTTSDALE, ARIZONA 85251
 PHONE: 602.619.7751
 CONTACT: MARK TOMCEK

OWNER
 4181 CRAFTSMAN LLC
 1830 E ELLIOT RD
 SUITE 104
 TEMPE AZ 85284-1799

CRAFTSMAN COURT MIXED USE DEVELOPMENT CONCEPTUAL G&D AND UTILITY PLAN 4151 N CRAFTSMAN CT. SCOTTSDALE, AZ 85251

OF
 A PORTION OF SOUTHEAST QUARTER OF SECTION 22,
 TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND
 SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.



BRASS CAP IN HANDHOLE
SEWER CLEAN OUT
SEWER MANHOLE
WATER VALVE
FIRE HYDRANT
FIRE DEPT. CONNECTION
WATER METER
BACKFLOW PREVENTER
GAS METER
STREET LIGHT
LIGHT POLE
GROUND LIGHT
ELECTRIC BOX
TELEPHONE RISER
CABLE RISER
SKIN
PALM TREE
OLIVE TREE
NON-DESCRIBE TREE
SAGUARO CACTUS
--- C.M.U. WALL (4 OR 8 INCH BLOCKS)
--- BOUNDARY



**TOMECAK
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GENERAL NOTES:

- KNOX BOX WILL BE REQUIRED FOR FIRE DEPARTMENT EMERGENCY ACCESS KEYS. LOCATION OF BOX TO BE DETERMINED WITH FIRE INSPECTOR APPROVAL.
- SLOPE ALL SIDEWALKS AWAY FROM BUILDING MINIMUM 1% AND NOT TO EXCEED 2% MAXIMUM.
- PROVIDE FIRE LANE SIGNAGE AT LOCATIONS REQUIRED BY THE FIRE MARSHALL AND FILED INSPECTOR.

KEY NOTES:

- EXISTING PUBLIC STREET PARKING TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- SITE VISIBILITY TRIANGLE.
- LANDSCAPE PLANTERS TO REMAIN.
- NEW DRIVEWAY. SEE CIVIL FOR MORE INFORMATION.
- REMOVE AND UNDERGROUND ALL ABOVE GROUND ELECTRICAL LINES.
- LOCATION OF F.D.C.
- TRASH ENCLOSURE WITH CONCRETE PAD.
- PROPERTY LINE.
- BICYCLE RACK PER CITY OF SCOTTSDALE STANDARD DETAIL.
- EXISTING STREET LIGHT TO REMAIN.
- NEW CONCRETE SIDEWALK TO MATCH EXISTING.
- CONCRETE APRON FOR TRASH ENCLOSURE.
- ROLL UP GATE.
- S.E.S. LOCATION.
- ASPHALT PAVING.
- ROOF AND OVERFLOW DRAIN TO DISCHARGE ONTO PAVING.
- ADA PARKING AND ACCESSIBLE AISLE.
- PAVED PARKING LOT AND DRIVES WITH CONCRETE.
- PARKING STOP. TYPICAL.
- ELECTRICAL TRANSFORMER.
- FIRE RISER LOCATION.
- GROUND FLOOR PLANTER.
- EXISTING FIRE HYDRANT TO REMAIN.
- NOT USED.
- RELOCATE STREET LIGHT TO ACCOMMODATE NEW ADA SIDEWALK.
- SEWER MAIN.
- WATER MAIN.
- BACK FLOW PREVENTER.
- DEPARTURE SIGHT DISTANCE TRIANGLE.

PROJECT DIRECTORY

OWNER:
ARC CONSTRUCTION LLC
3225 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85012
CONTACT: BILL BORDERS
PHONE: 480.315.1108

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PHONE: 602.619.7751

CIVIL ENGINEER:
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PHOENIX, ARIZONA 85015
CONTACT: CHUCK JACOBS
PHONE: 602.757.5964

LANDSCAPE ARCHITECT:
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8433 EAST CHOLLA STREET
SCOTTSDALE, ARIZONA 85260
CONTACT: TIM MCQUEEN
PHONE: 602.266.6619

ELECTRICAL ENGINEER:
RLM DESIGN, LLC
820 SOUTH BRIDGER DRIVE
CHANDLER, ARIZONA 85225
CONTACT: BOBBY MARIN
PHONE: 602.741.1047

CODE REVIEW

AUTHORITY: CITY OF SCOTTSDALE, ARIZONA
CODE: 2012 INTERNATIONAL BUILDING CODE W/AMENDMENTS
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2011 NATIONAL ELECTRICAL CODE
2006 INTERNATIONAL CONSERVATION CODE

OCCUPANCY: A-2/R/S-2
OCCUPANCY USE: SEPARATED
CONSTRUCTION TYPE: V-B

PROJECT DATA

PROJECT NAME: THE CADRE
ADDRESS: 4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251
GROSS SITE AREA: 21,563 SF (0.495 ACRES)
NET SITE AREA: 10,570 SF (0.242 ACRES)
APN: 173-50-021A
PROPOSED USE: CONDOMINIUM PROJECT

BUILDING AREA:
1ST FLOOR RETAIL: 3,190 SF
2ND FLOOR RESIDENTIAL: 8,290 SF
3RD FLOOR RESIDENTIAL: 8,290 SF
TOTAL: 19,770 SF

UNIT SIZE:
101/201: 2,400 SF
102/202: 2,450 SF
103/203: 2,550 SF

ZONING: C-2-00
PROPERTY DENSITY:
ALLOWABLE: 23 DWELLING UNITS PER ACRE
PROPOSED: 12 DWELLING UNITS PER ACRE
NUMBER OF UNITS: (6) 5K
FAR:
ALLOWABLE: 1.3*21,563 = 28,032 SF
PROPOSED: 3,190 SF / 21,563 = 0.15
STORIES: (3) THREE STORY
FIRE SPRINKLERS: YES
FIRE ALARM: YES

BUILDING SETBACKS:
STREET SIDE: 14'-0" FROM CURB
ALLEY: 0'-0"
SIDE YARD: 0'-0"

BUILDING HEIGHT:
ALLOWABLE BLDG. HEIGHT: 36'-0"
ACTUAL BUILDING HEIGHT: 36'-0" (+45" FOR PARAPET)

ALLOWABLE AREA:
9,500 SF PER FLOOR
300% INCREASE FOR SPRINKLERS (PER STORY)

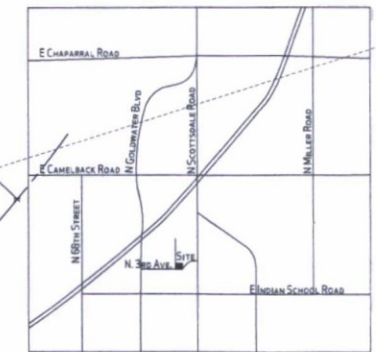
TOTAL AREA ALLOWED: 28,500 SF

LEGAL DESCRIPTION

PARCEL NO. 1:
LOTS 22 AND 23, CRAFTSMAN COURT, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 62 OF MAPS, PAGE 23 AND THEREAFTER AFFIDAVIT OF CORRECTION RECORDED AS DOCUMENT NO. 2007-1193965, OF OFFICIAL RECORDS.

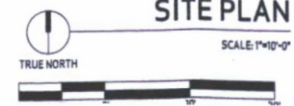
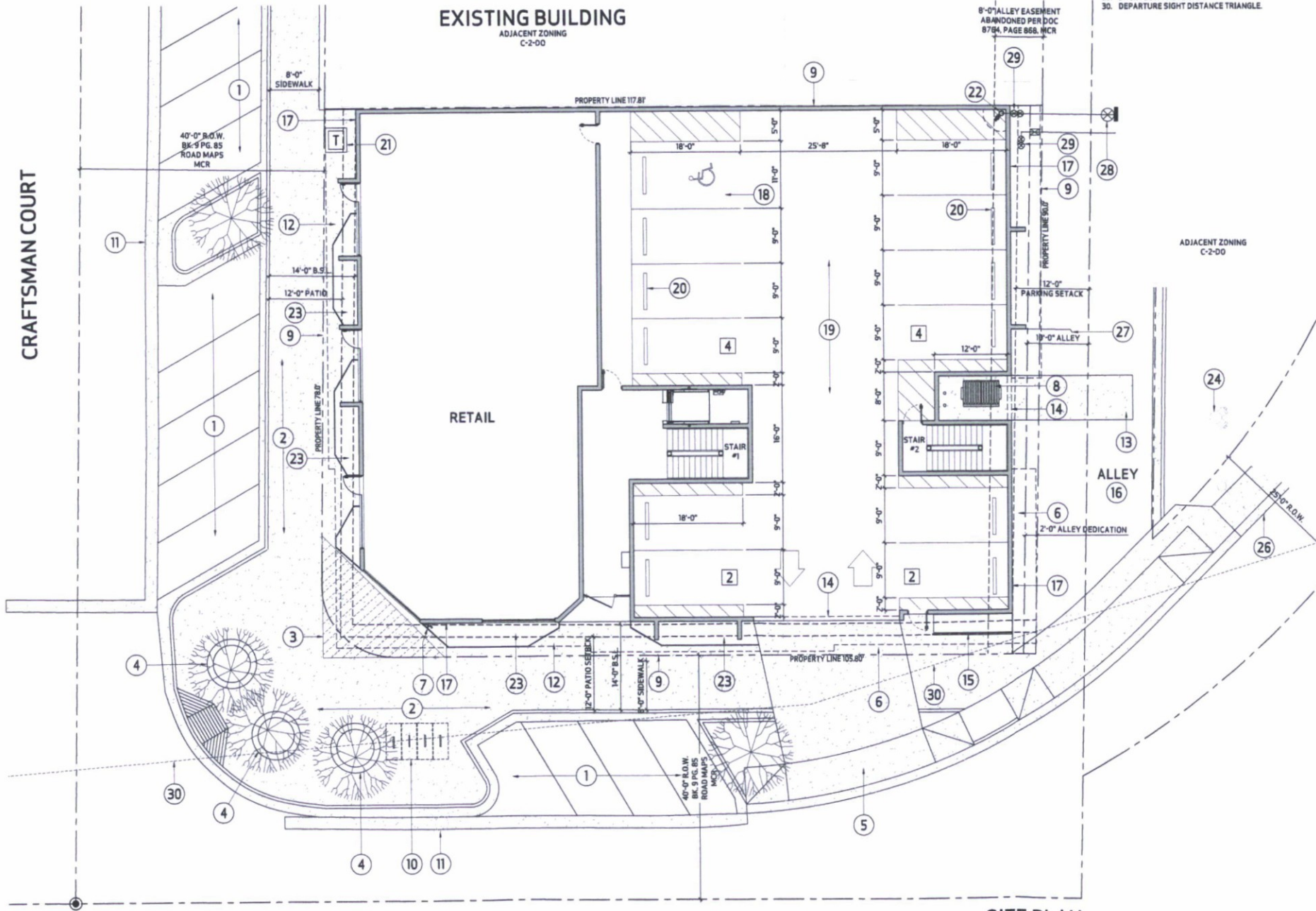
PARCEL NO. 2:
THAT PORTION OF THE ALLEY LYING IMMEDIATELY EAST AND ADJACENT TO LOTS 22 AND 23, CRAFTSMAN COURT, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 62 OF MAPS, PAGE 23, AS ABANDONED BY THE CITY OF SCOTTSDALE RESOLUTION NO. 896, RECORDED JUNE 17, 1971 AS DOCKET 8764, PAGE 868, OF OFFICIAL RECORDS.

VICINITY MAP



PARKING CALCULATIONS

MIXED USE (DOWNTOWN OVERLAY)
PARKING REQUIRED:
RETAIL: 3,365 SF/500 7 SPACES
RESIDENTIAL (4) FOUR UNITS PER D.O.: 0 SPACES
RESIDENTIAL (2) TWO UNITS: 4 SPACES
TOTAL UNITS REQUIRED: 11 SPACES
TOTAL PARKING PROVIDED: 12 SPACES
BICYCLE PARKING REQUIRED: 8 SPACES
BICYCLE PARKING PROVIDED: 8 SPACES
ADA PARKING REQUIRED: (4%) 1 SPACE
ADA PARKING PROVIDED: 1 SPACE



PROJECT:
THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

REVISED:

JOB #:

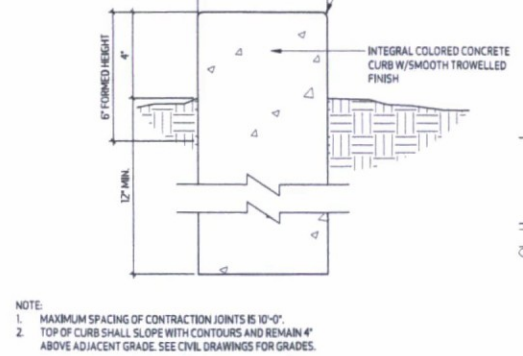
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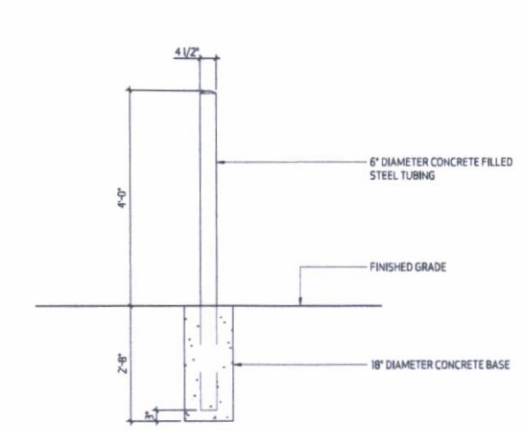
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16-DR-2018
7/24/2018

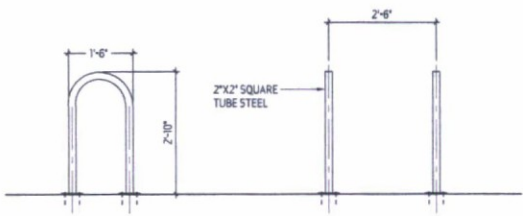
CS0.1



5 LANDSCAPING CURB
 SCALE: 3/4"=1'-0"

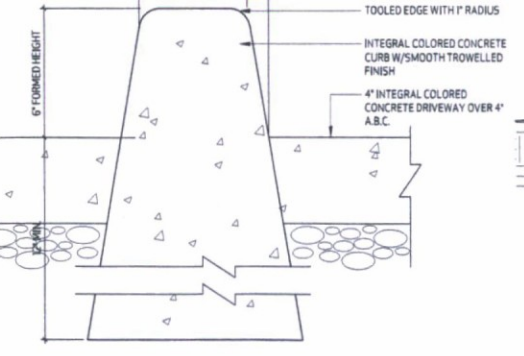


10 BOLLARD DETAIL
 SCALE: 1/2"=1'-0"

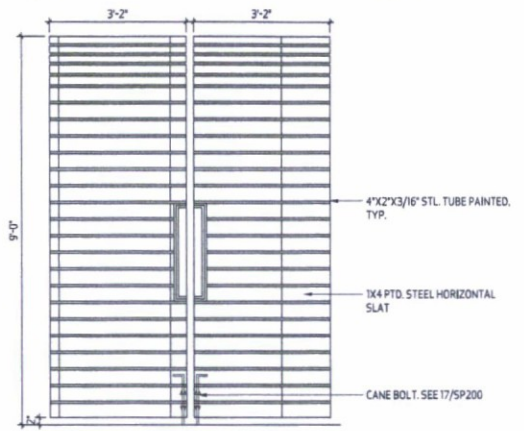


ALL CONNECTIONS ARE WELDED EXCEPT BASE ATTACHMENT. ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH. ANY GAPS TO BE FILLED.

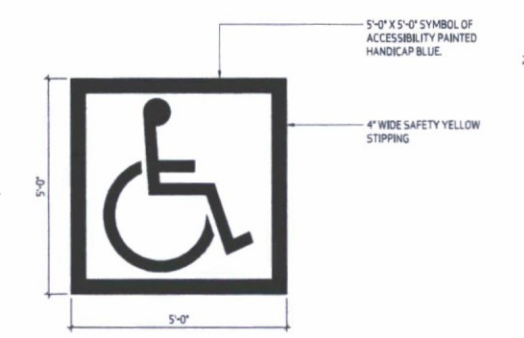
15 BICYCLE RACK
 SCALE: 1/2"=1'-0"



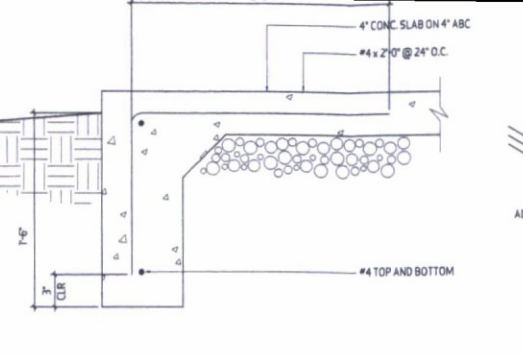
4 PARKING CURB
 SCALE: 3/4"=1'-0"



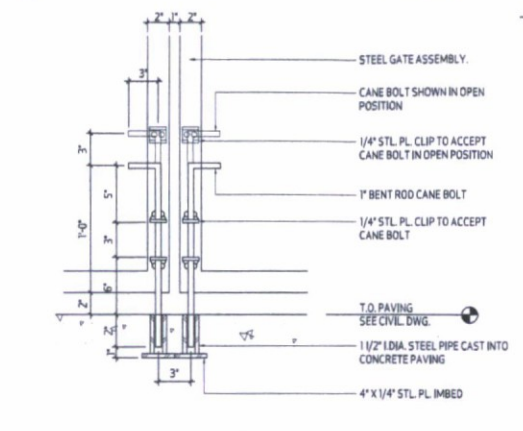
9 STEEL GATE ELEVATION
 SCALE: 1/2"=1'-0"



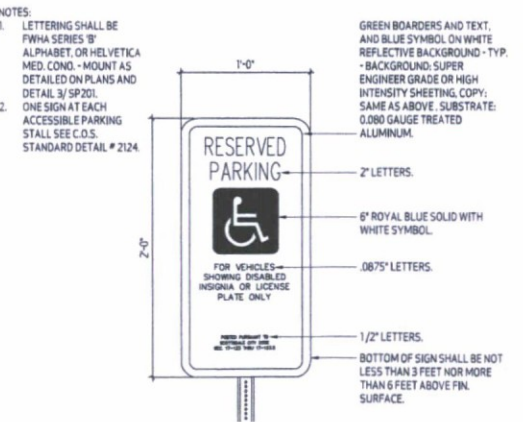
14 ACCESSIBLE PARKING SIGN
 SCALE: 1/2"=1'-0"



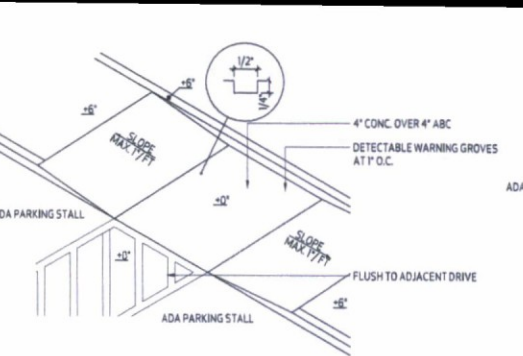
3 TURNDOWN AT SLAB EDGE
 SCALE: 1 1/2"=1'-0"



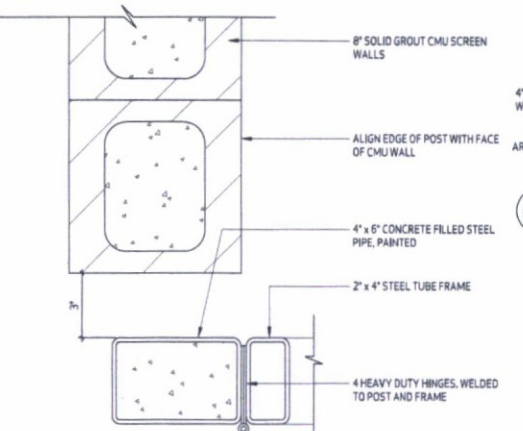
8 CANE BOLT DETAIL
 SCALE: 1 1/2"=1'-0"



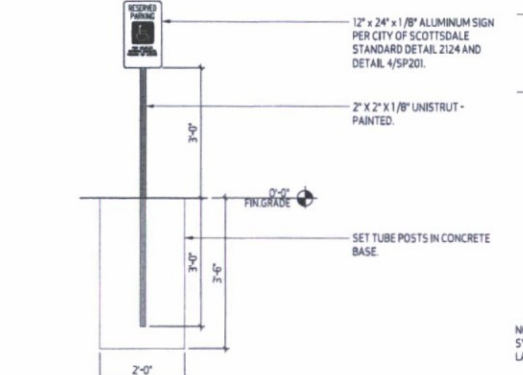
13 ACCESSIBLE SIGNAGE (SCOTTSDALE)
 SCALE: 1 1/2"=1'-0"



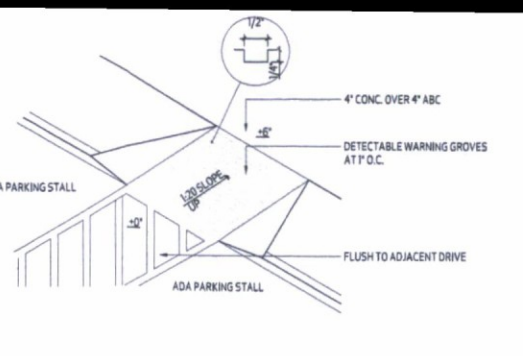
2 ACCESSIBLE PATH
 SCALE: 1/4"=1'-0"



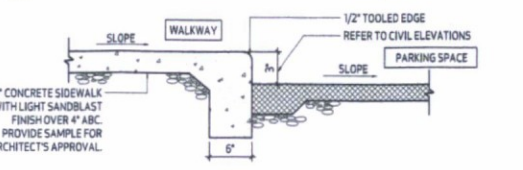
7 GATE POST
 SCALE: 3/4"=1'-0"



12 ACCESSIBLE SIGN (SCOTTSDALE)
 SCALE: 1/2"=1'-0"



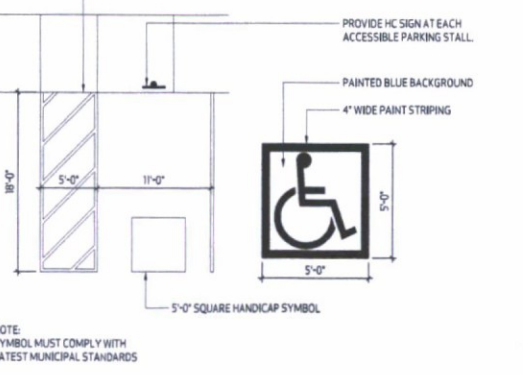
1 ACCESSIBLE PATH
 SCALE: 1/4"=1'-0"



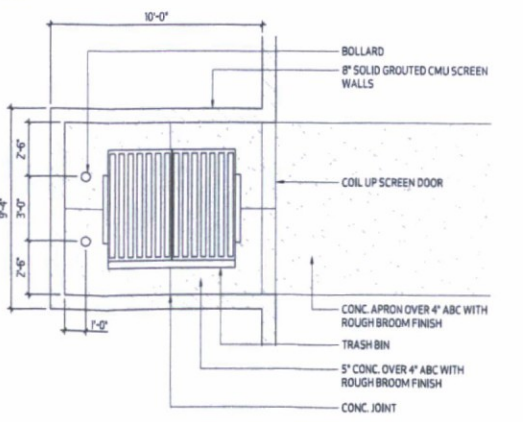
6B WALKWAY AT PARKING
 SCALE: 1 1/2"=1'-0"



6A CURB
 SCALE: 1 1/2"=1'-0"



6 CONCRETE CONTROL JOINTS
 SCALE: 1 1/2"=1'-0"



11 ACCESSIBLE PARKING
 SCALE: 1/2"=1'-0"

16-DR-2018
7/24/2018

PROJECT:
THE CADRE
 4151 NORTH CRAFTSMAN COURT
 SCOTTSDALE, ARIZONA 85251

REVISION:

JOB #:

DATE: 7.20.2018

CONTENTS: SITE PLAN
 DETAILS

SHEET NO: CS0.2

THIS DRAWING SHALL BE REPRODUCED TO THE ORIGINAL SIZE FOR BEST USE. ANY REPRODUCTION OF THIS DRAWING IN ANY MANNER OR FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF TOMCAK DESIGN, P.C. SHALL BE PROHIBITED.



**TOMECAK
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E INFO@TOMECAKDESIGN.COM



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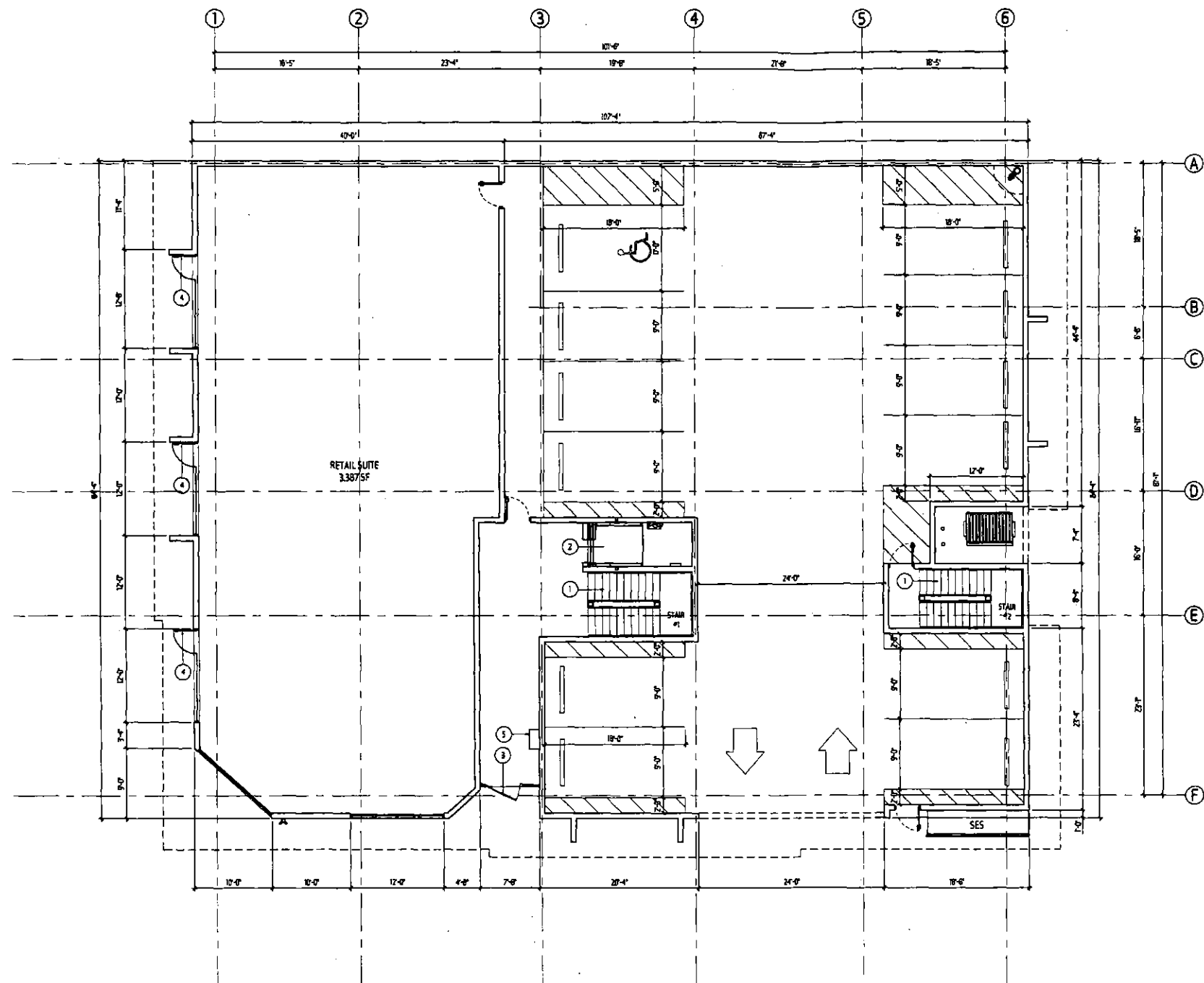
REVISION:

JOB #: 1803

DATE: 7.20.2018

CONTENT: CONTEXT AERIAL

CS03



GENERAL NOTES:

- A. STAIR AND ELEVATOR SHAFTS TO BE MASONRY WALLS, ALL OTHER WALLS TO BE WOOD FRAMING.
- B. UNITS SHALL HAVE 1 HOUR VERTICAL AND HORIZONTAL SEPARATION.

KEY NOTES:

1. EXIT STAIRCASE
2. ELEVATOR
3. MAIN ENTRY TO RESIDENTIAL UNITS
4. ENTRY TO RETAIL SPACE
5. MAIL BOXES



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4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

REVISED:

JOB #: 1803

DATE: 7.20.2018

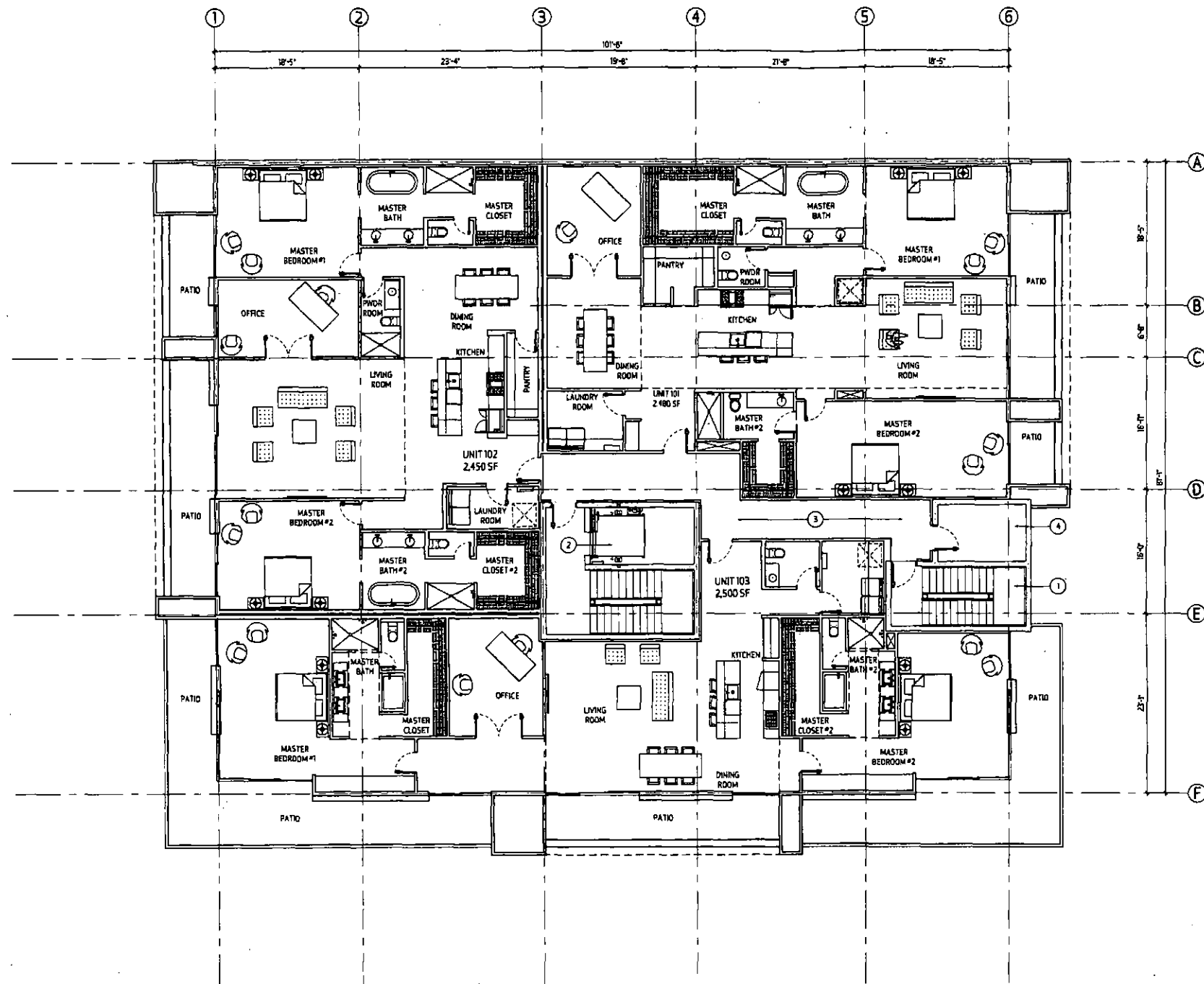
CONTENTS: FLOOR PLAN
LEVEL 1



FLOOR PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"

16-DR-2018

A100



GENERAL NOTES:

- STAIR AND ELEVATOR SHAFTS TO BE MASONRY WALLS, ALL OTHER TO BE WOOD FRAMING.
- UNITS SHALL HAVE 1 HOUR VERTICAL AND HORIZONTAL SEPARATION.

KEY NOTES:

- EXIT STAIRCASE.
- ELEVATOR.
- COMMUNITY CORRIDOR.
- TRASH CHUTE.



**TOMECAK
DESIGN**

4368 NORTH CIVIC CENTER PLAZA
SUITE 201
SCOTTSDALE, ARIZONA 85251

T 602.619.7751
P 480.718.8307
E INFO@TOMECAKDESIGN.COM

PROJECT:
THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

REVISION:

JOB # 1803

DATE: 7.20.2018

CONTENTS: FLOOR PLAN
LEVELS 2 AND 3

ISSUED BY:

A101

FLOOR PLAN - LEVELS 2 & 3
SCALE: 1/8"=1'-0"

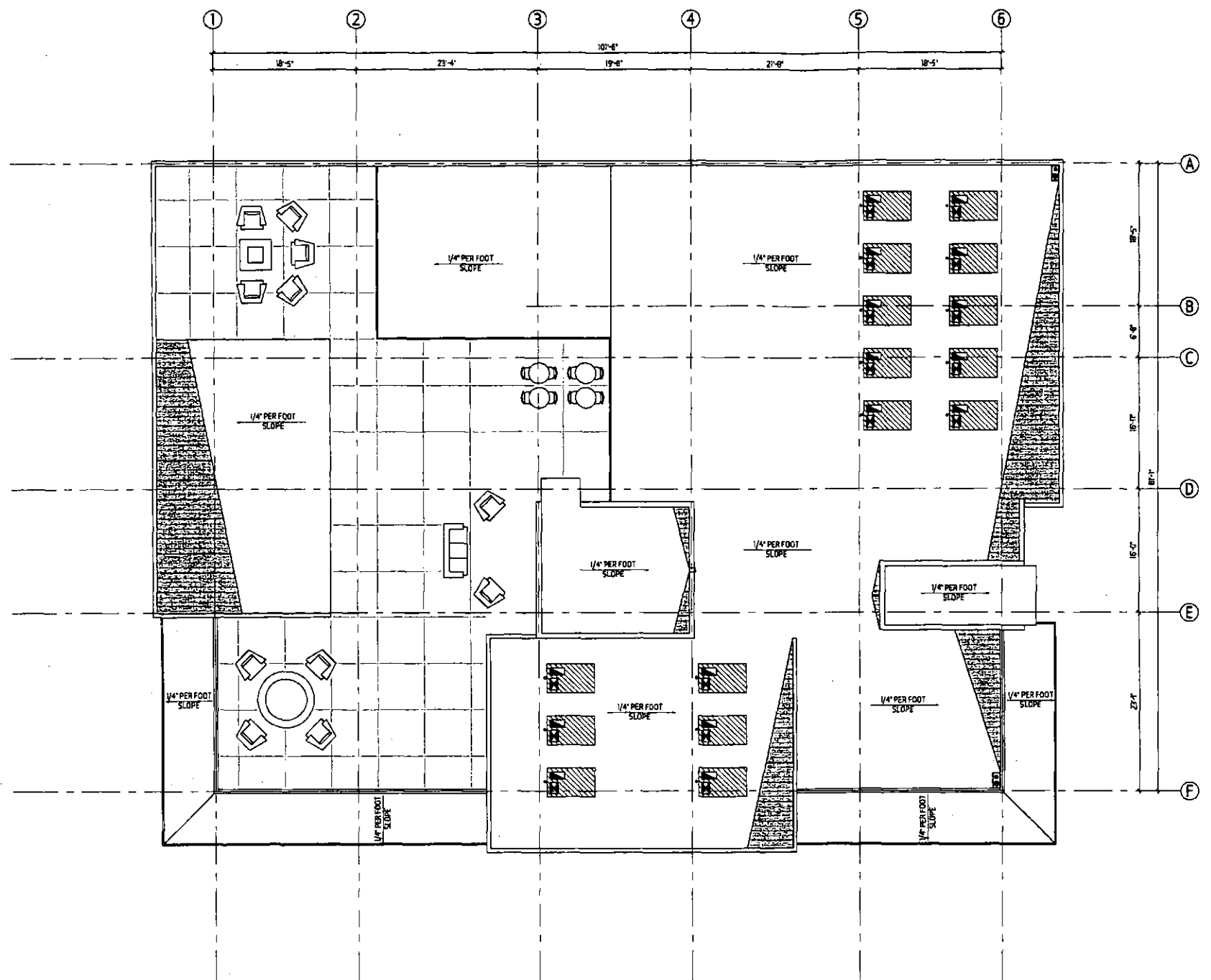
16-DR-2018



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ROOF PLAN
SCALE: 1/8"=1'-0"

PROJECT:
THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

REVISION:

JOB # 1803

DATE 7.20.2016

CONTENTS ROOF PLAN

SHEET No.

A102



RENDERING FROM THIRD STREET
SCALE: N.T.S.



RENDERING FROM ALLEY
SCALE: N.T.S.



RENDERING FROM CRAFTSMAN
SCALE: N.T.S.



RENDERING FROM CORNER
SCALE: N.T.S.

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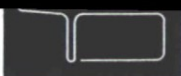
DATE: 7.20.2018

CONTENTS: ELEVATIONS

16-DR-2018
7/24/2018

A200

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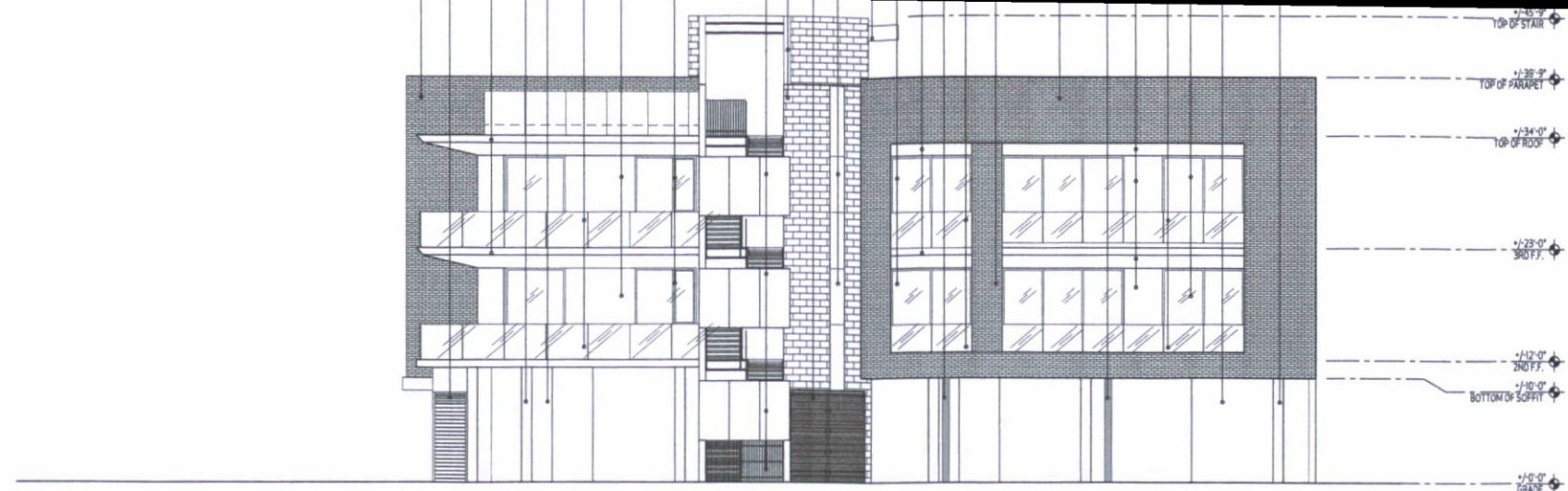
T 602.619.7751
F 480.718.8387
E INFO@TOMECAKDESIGN.COM

GENERAL NOTES:

- A. ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- B. SIGNAGE BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- C. BUILDING ADDRESS IS TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS, AND SUBJECT TO ARCHITECT'S APPROVAL.
- D. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.

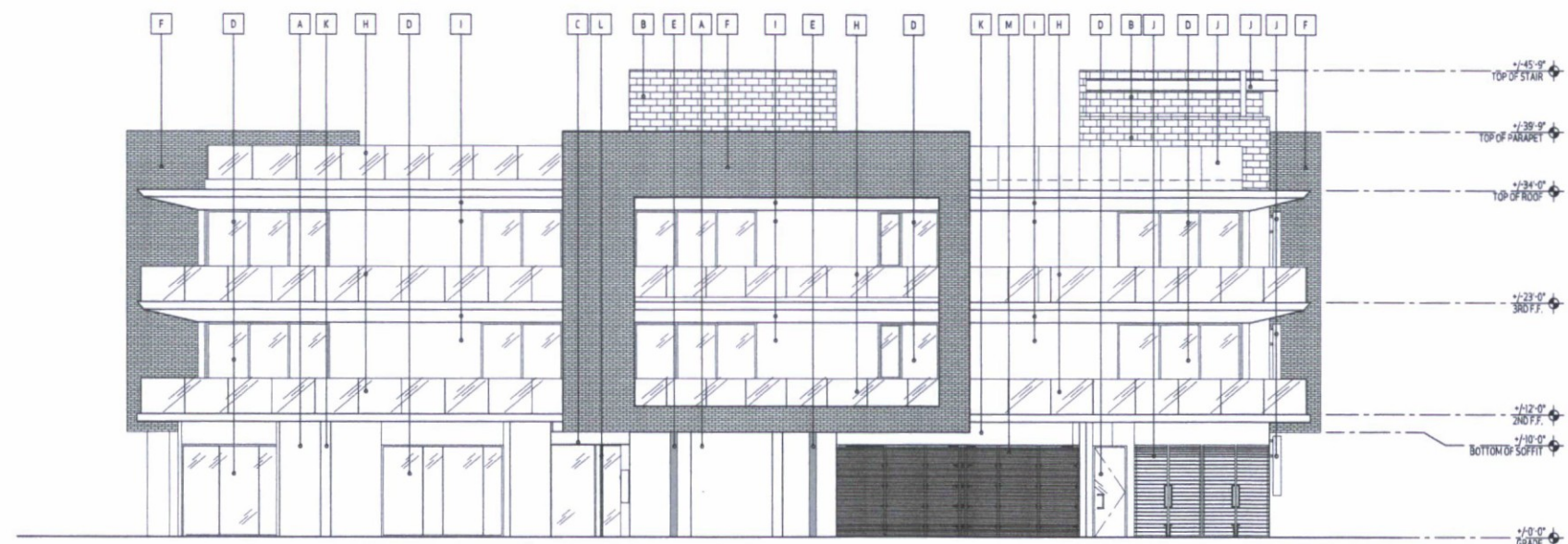
MATERIAL SCHEDULE

MATERIAL	
[A]	PAINTED STUCCO - BROOM RAKED FINISH DUNN EDWARDS DES213 FINE GRAIN LRY59
[B]	CMU BLOCK SUPERLITE BONE COLOR - RAKED JOINTS
[C]	STAINLESS STEEL
[D]	LOW-E WINDOW/DOOR GREY COATED GLASS DARK BRONZE ALUM. FRAME
[E]	ACCENT PAINT DUNN EDWARDS DES213 DARK ENGINE LRY5
[F]	BRICK VENEER BRICK IT AZTEC YELLOW
[G]	BRICK VENEER BRICK IT GENERAL SHALE
[H]	GLASS BALUSTRADE CLEAR TEMPERED GLASS
[I]	METAL CLADDING DRY DESIGN
[J]	STEEL MILL FINISHED CLEAR SEAL COAT FINISH
[K]	PAINTED STUCCO - BROOM RAKED FINISH DUNN EDWARDS DES214 PIGEON GRAY LRY43
[L]	STEEL DOOR W/ LOW-E GLASS MILL FINISHED CLEAR SEAL COAT FINISH
[M]	STEEL GRILL ROLL UP DOOR WAYNE DALTON MODEL 600



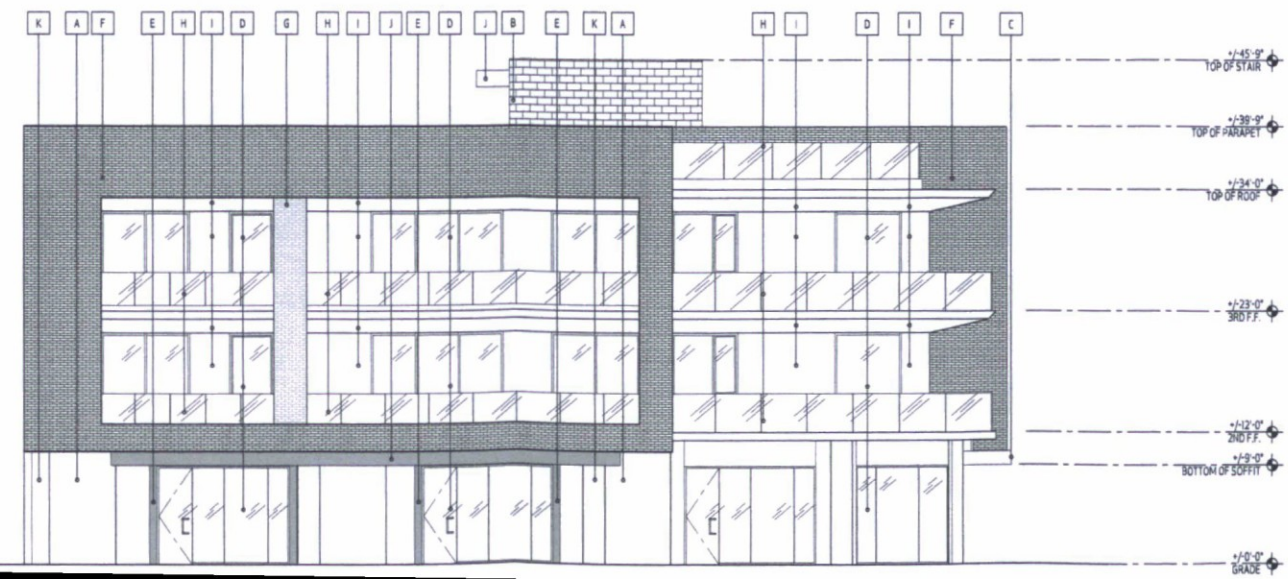
1 EAST ELEVATION

SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



PROJECT:
THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

REVISED:

JOB #: 1803

DATE: 7.20.2018

CONTENTS: BUILDING ELEVATIONS

16-DB-2018

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D. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.

MATERIAL SCHEDULE

MATERIAL	
[A] PAINTED STUCCO - BROOM RAKED FINISH DUNN EDWARDS DES213 FINE GRAIN LRV 59	
[B] CMU BLOCK SUPERLITE BONE COLOR - RAKED JOINTS	
[C] STAINLESS STEEL	
[D] LOW-E WINDOW/DOOR GREY COATED GLASS DARK BRONZE ALUM. FRAME	
[E] ACCENT PAINT DUNN EDWARDS DES213 DARK ENGINE LRV 5	
[F] BRICK VENEER BRICK IT AZTEC YELLOW	
[G] BRICK VENEER BRICK IT GENERAL SHALE	
[H] GLASS BALUSTRADE CLEAR TEMPERED GLASS	
[I] METAL CLADDING DRY DESIGN	
[J] STEEL MILL FINISHED CLEAR SEAL COAT FINISH	
[K] PAINTED STUCCO - BROOM RAKED FINISH DUNN EDWARDS DES214 PIGEON GRAY LRV 43	
[L] STEEL DOOR W/ LOW-E GLASS MILL FINISHED CLEAR SEAL COAT FINISH	



1 EAST ELEVATION

SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION

SCALE: 1/8"=1'-0"



3 WEST ELEVATION

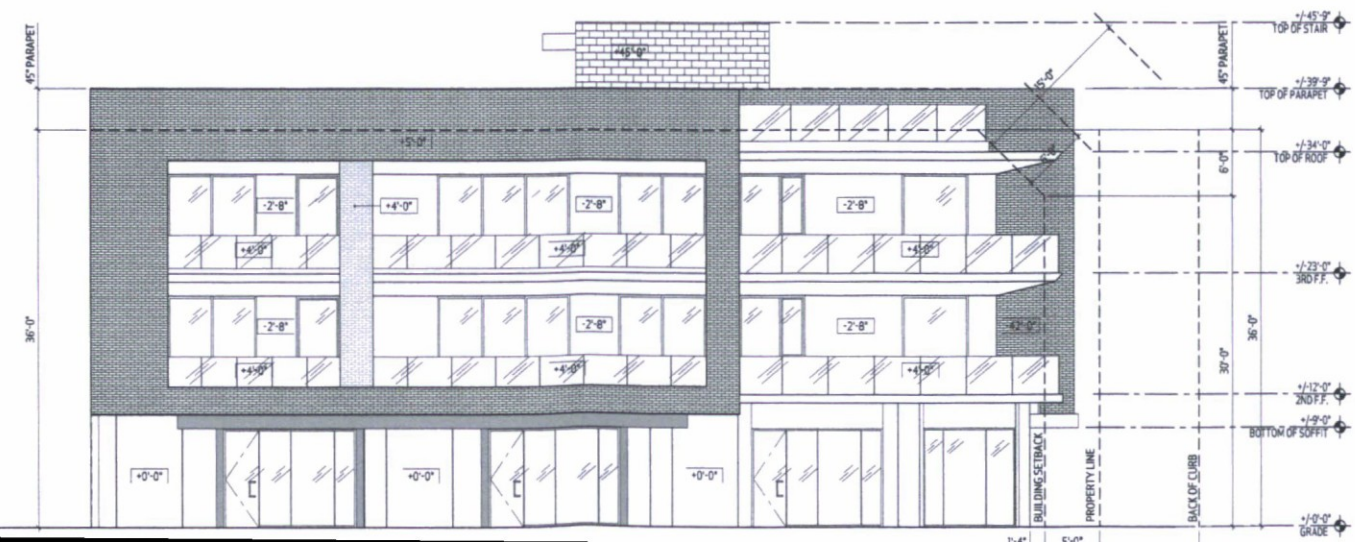
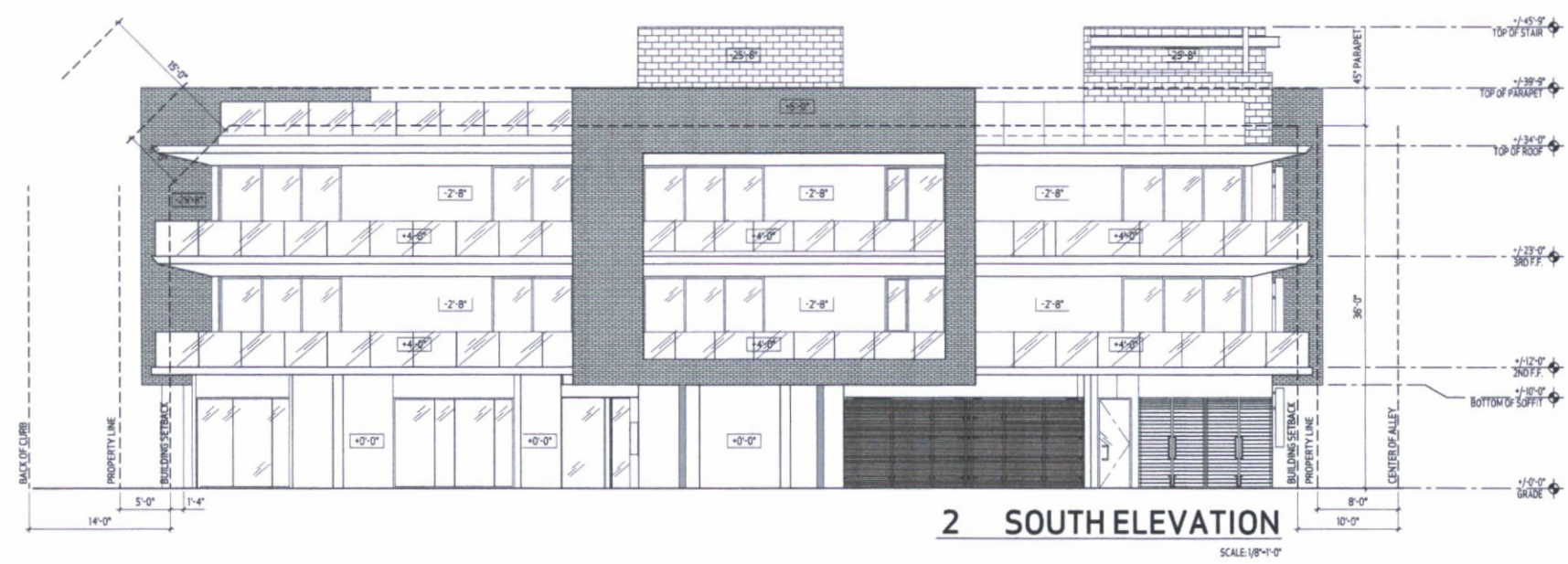
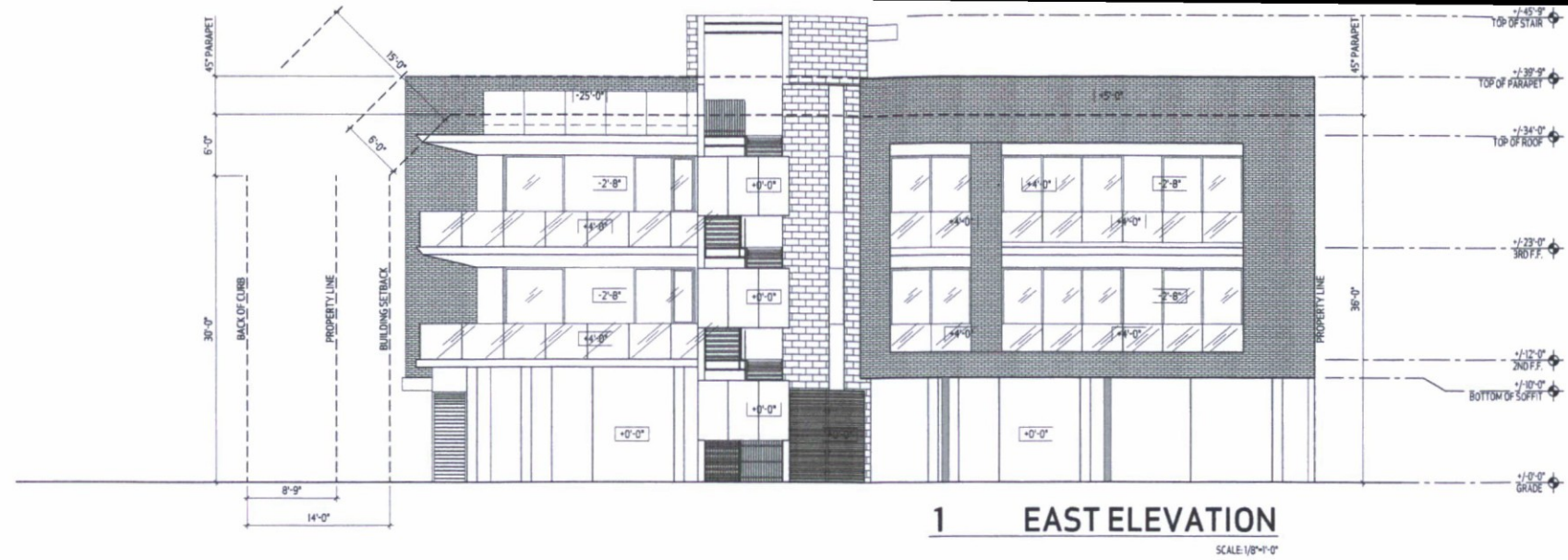
PROJECT:
THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

REVISED:

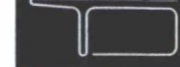
JOB #: 1803

DATE: 7.20.2018

CONTENTS: COLORED ELEVATIONS



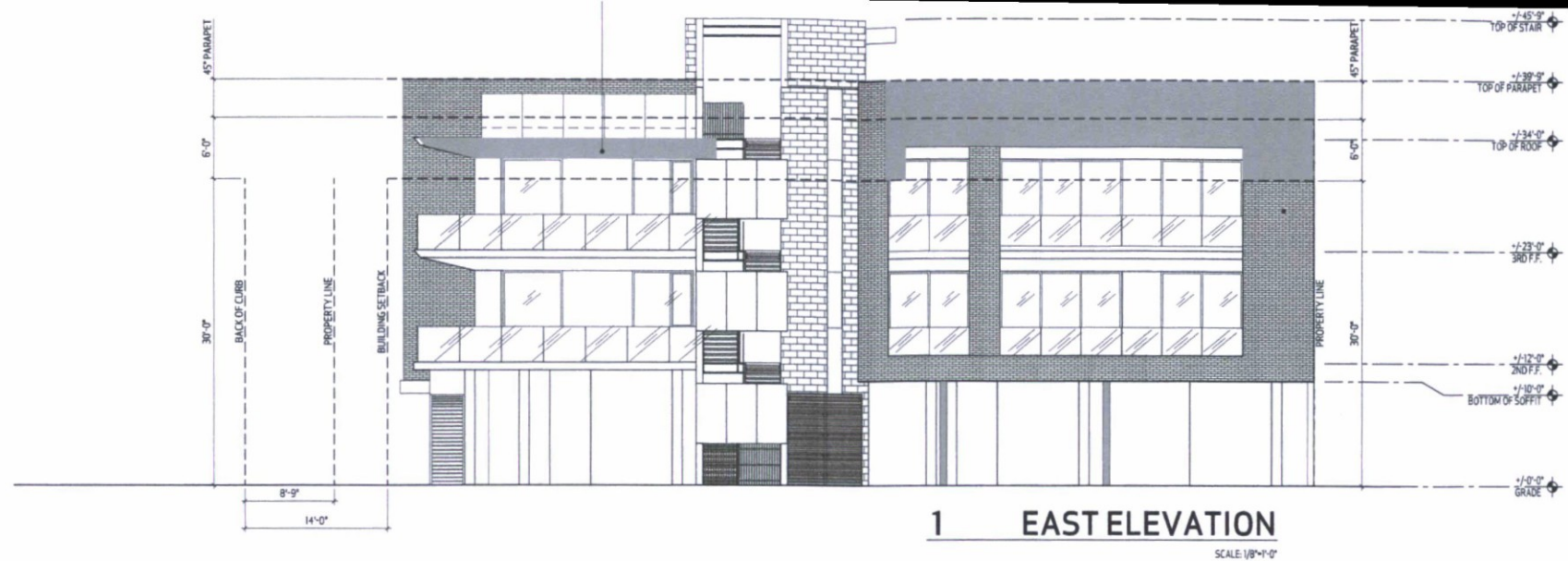
16-DR-2018
7/24/2018



TOMECAK DESIGN

4368 NORTH CIVIC CENTER PLAZA
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SEGMENT #1	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STEPBACK:	1,239 S.F.
AREA PROJECTING INTO STEPBACK:	302 S.F.
PERCENT OF AREA:	24%
TOTAL HEIGHT OF SEGMENT:	29'-6"
HEIGHT PROJECTING INTO STEPBACK:	9'-9"

SEGMENT #2	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STEPBACK:	54 S.F.
AREA PROJECTING INTO STEPBACK:	54 S.F.
PERCENT OF AREA:	100%
TOTAL HEIGHT OF SEGMENT:	2'-0"
HEIGHT PROJECTING INTO STEPBACK:	2'-0"

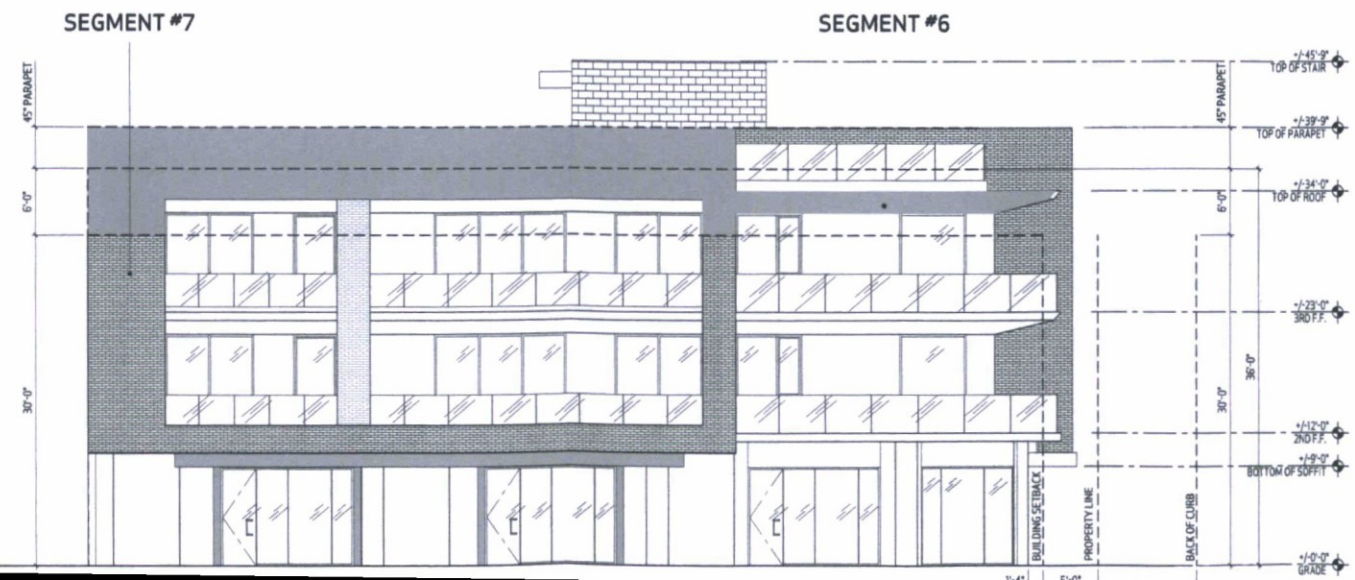
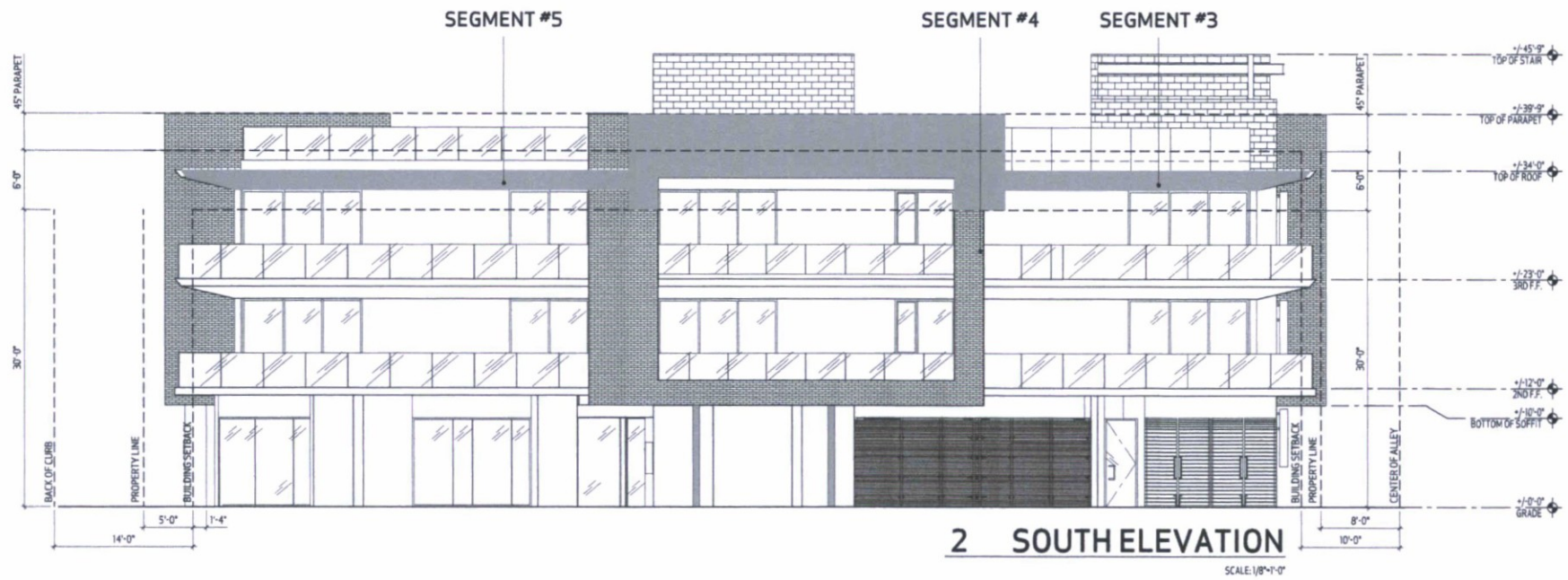
SEGMENT #3	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STEPBACK:	57 S.F.
AREA PROJECTING INTO STEPBACK:	57 S.F.
PERCENT OF AREA:	100%
TOTAL HEIGHT OF SEGMENT:	2'-0"
HEIGHT PROJECTING INTO STEPBACK:	2'-0"

SEGMENT #4	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STEPBACK:	510 S.F.
AREA PROJECTING INTO STEPBACK:	274 S.F.
PERCENT OF AREA:	53%
TOTAL HEIGHT OF SEGMENT:	29'-6"
HEIGHT PROJECTING INTO STEPBACK:	9'-9"

SEGMENT #5	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STEPBACK:	86 S.F.
AREA PROJECTING INTO STEPBACK:	86 S.F.
PERCENT OF AREA:	100%
TOTAL HEIGHT OF SEGMENT:	2'-0"
HEIGHT PROJECTING INTO STEPBACK:	2'-0"

SEGMENT #6	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STEPBACK:	52 S.F.
AREA PROJECTING INTO STEPBACK:	52 S.F.
PERCENT OF AREA:	100%
TOTAL HEIGHT OF SEGMENT:	2'-0"
HEIGHT PROJECTING INTO STEPBACK:	2'-0"

SEGMENT #7	
TOTAL SURFACE AREA:	
AREA NOT PROJECTING INTO STEPBACK:	735 S.F.
AREA PROJECTING INTO STEPBACK:	415 S.F.
PERCENT OF AREA:	56%
TOTAL HEIGHT OF SEGMENT:	29'-6"
HEIGHT PROJECTING INTO STEPBACK:	9'-9"



PROJECT:
THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

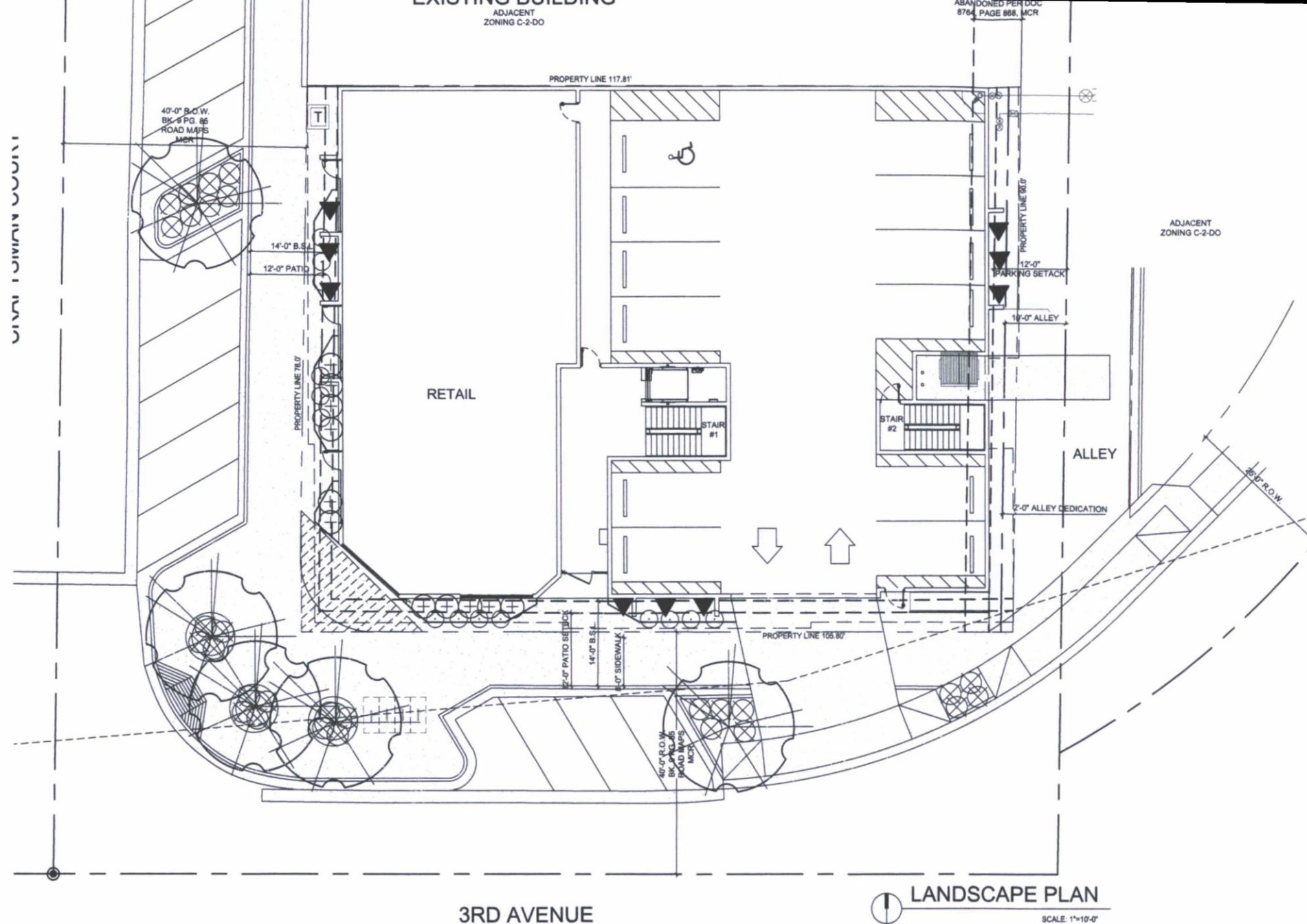
REVISED:

JOB # 1803

DATE: 7.20.2018

CONTENTS: BUILDING ELEVATIONS
- WORKSHEET

16-DR-2018
7/24/2018



LANDSCAPE LEGEND



CERCIDIUM 'HYBRID'
DESERT MUSEUM PALO VERDE
2" CALIP., 6.5'T, 4.5'W (5)



BIGNONIA CAPREOLATA
CROSSVINE
5 GALLON (9)



HESPERALOE PERPA
BRAKE LIGHT RED YUCCA
5 GALLON (29)



MUHLENBERGIA RIGENS
DEER GRASS
5 GALLON (11)



LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (14)

1/4" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE SUMMARY DATA:

OFF-SITE LANDSCAPE: 627 SQ.FT.

LANDSCAPE PLAN



SCALE: 1"=10'-0"

LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER

APPROVED

DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

Case No: 00 - DR - 2018

ALL LANDSCAPED AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN THE PUBLIC RIGHT-OF-WAY (INCLUDING MEDIANS), SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, LITTER AND WEED-FREE CONDITION IN ADDITION TO THE STANDARDS IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL, ANSI A300 STANDARD.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED, TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 8-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL.

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street, Suite 120
SCOTTSDALE, ARIZONA 85251

**TOMCAK
DESIGN**

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**16-DR-2018
7/24/2018**

project:
THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

revised:

job #: 1803

date: 07.16.18

contents:
CONCEPTUAL

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflector is retained by tension springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3/4" total adjustment. Two combinations 1/2"-5/4" and 1/2" and 1/2" (down) for straight through conduit runs. Capacity 5.0 kVA, 4 watt, No. 12 AWG conductors, rated for 90°C.

ACCUMULATED 12" 24" just spacing.

Positive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

MAX CEILING HATCHES 1-1/2".

OPTICS — LED are housed in a 3-step 50/30/40 80 CRI minimum. LED light source concealed with diffusing optical lens.

General illumination lighting with 1.2 S/A and 1.5" cutoff to vision and vision image.

Self-flanged anodized reflector in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 90% or 95% minimum dimming level available.

0-10V dimming drivers require two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 50,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Drop location standard (best location, covered ceiling optional). ENERGY STAR® certified product.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.tomecadesign.com/customer-service/faq_faq_warranty.asp

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



LDN4
4" OPEN
New Construction Downlight



Capacitor options indicated by this color background. Lead times will vary depending on options selected. Consult with your sales representative.

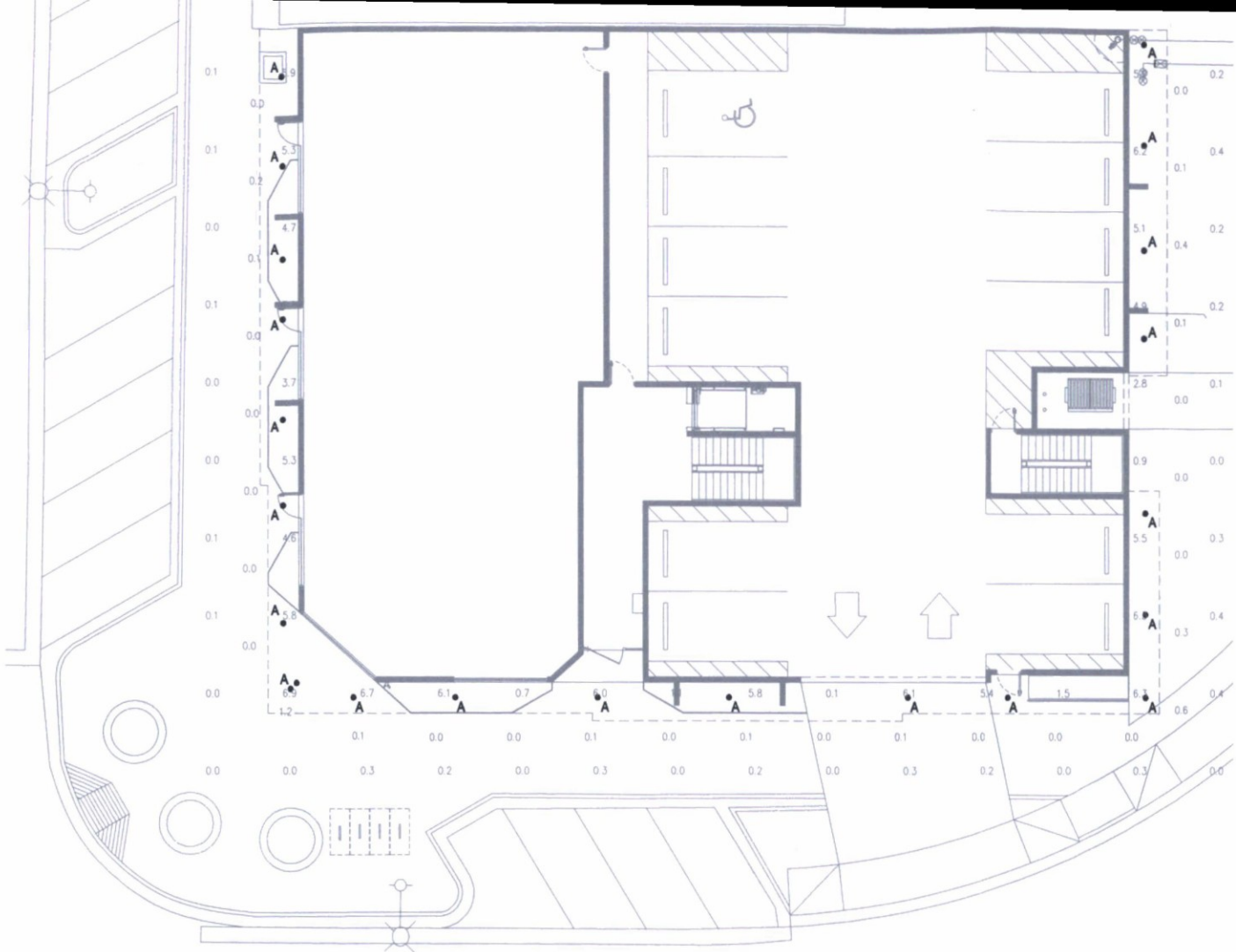
Example: LDN4 35/75 L04AR LSS MVOLT E21

Series	Color Temperature	Lumens*	Aperture/Trim Color	Finish	Voltage
LDN4 4" round	27° 2700K	85 500 lumens	L04 Downlight	AR Clear	MVOLT Multi-volt
	30° 3000K	10 1000 lumens	L04 Wallwash	90° White	120 120V
	35° 3500K	15 1500 lumens		80° Black	277 277V
	40° 4000K	20 2000 lumens			347 347V
	50° 5000K	25 2500 lumens			
		30 3000 lumens			

Driver	Options
6/2W 0-10V driver rated to 10%	SP Single flux
6/21 0-10V driver rated to 1%	280V White painted flange
E210 0-10V dimmable driver with smooth and flicker free dimming performance down to 1%	TRIM Black painted flange
E21 0-10V dimmable driver with smooth and flicker free dimming performance down to 1%	EL Emergency battery pack with integral test switch
	ELP Emergency battery pack with remote test switch
	ELDP Emergency battery pack with self-diagnostics, integral test switch
	ELDPD Emergency battery pack with self-diagnostics, remote test switch
	ELDPD Emergency battery pack, 10W Constant Power, CA Title 20 compliant
	NPT/LED 4-light network power/data pack with 0-10V dimming for non-dimmable drivers (6/21, 6/21)
	NPT/LED 4-light network power/data pack with 0-10V dimming for non-dimmable drivers (6/21, 6/21, EL controls features on emergency circuit.

- Notes:
- Overall height values based on luminaire package; refer to dimensional chart on page 1.
 - Not available with hood.
 - Not available with emergency options.
 - Mount specify voltage 120V or 277V.
 - Available with clear 300-reflective only.
 - Specify voltage 120V for use with generation supply 60 power. Will require an emergency not feed and neutral hot feed.
 - Mount height at 80" high track. Mount for specified with NPT/LED or NPT/LED EL. Only available with E21 and E21 drivers.
 - Mount height 1.5" 12" for all luminaire packages with NAG.
 - Mount specify voltage for 100V.

LUMINAIRE TYPE 'A'



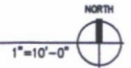
LUMINAIRE SCHEDULE

Symbol	Label	Catalog Number	Description	Lamp	Lumens	LLF	Watts
o	A	LDN4 40/05 L04AR LSS	4IN LDN, 4000K, 500LM, 80 CRI, CLEAR, SEMI-SPECULAR REFLECTOR	LED	Absolute	0.95	8.52

STATISTICS

Description	Avg	Max	Min	Max/Min	Avg/Min
SITE	2.3 ft	7.9 ft	0.0 ft	N / A	N / A
PROPERTY LINE (+6'-0")	0.1 ft	1.2 ft	0.0 ft	N / A	N / A

SITE LIGHTING



TOMECAD DESIGN

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THE CADRE
4151 NORTH CRAFTSMAN COURT
SCOTTSDALE, ARIZONA 85251

REVISED:

JOB #:

1803

DATE:

07.23.2018

CONTENTS:

SITE LIGHTING

RLM electrical engineering consulting
DESIGNS, LLC
Bobby Marin • Principal / Designer project #: 18027

16-DR-2018
7/24/2018

EXISTING DRAINAGE PATTERNS OF THE SITE. THE PROPOSED BUILDING WILL HAVE ROOF DRAINS OUTLET TO THE SOUTH TO ASSIST WITH MINIMIZING THE IMPACT OF THE NEW BUILDING. THE EXISTING BUILDINGS AND SITE IMPROVEMENTS WILL BE SCRAPPED. THE PROPOSED FINISHED FLOOR ELEVATION IS SET AT THE EXISTING BACK OF SIDEWALK ELEVATION AT THE HIGH CORNER OF THE SITE. THIS PUTS THE FINISHED FLOOR ELEVATION 1.3' ABOVE LOW CURB.

FLOOD ZONE (FIRM)

THIS SITE FALLS WITHIN ZONE SHADED X PER 04013C2235L, EFFECTIVE ON 10/16/2013. DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

LOT 23
SITE AREA 3,533.99 SQUARE FEET OR 0.08 ACRES
MORE OR LESS.

BASIS OF BEARING

THE MONUMENT LINE OF CRAFTSMAN COURT BETWEEN 3RD AVENUE AND 5TH AVENUE.

BEARING = N 00°57'00" E AS RECORDED IN BOOK 62, PAGE 23 M.C.R.

BENCH MARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF SCOTTSDALE RD. AND INDIAN SCHOOL RD.

ELEVATION = 1260.366 (NAVD88)

PROJECT DESCRIPTION

DEMO EXISTING BUILDINGS AND SITE IMPROVEMENTS AND CONSTRUCT PROPOSED MULTI-STORY MIXED USE DEVELOPMENT WITH ASSOCIATED SITE IMPROVEMENTS.

APN

173-50-021A
173-50-022

ZONING

C-2

CONSTRUCTION TYPE

VB

LEGAL DESCRIPTION

PARCEL NO. 1:
LOTS 22 AND 23, CRAFTSMAN COURT, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 62 OF MAPS, PAGE 23 AND THEREAFTER AFFIDAVIT OF CORRECTION RECORDED AS DOCUMENT NO. 2007-1193965, OF OFFICIAL RECORDS.

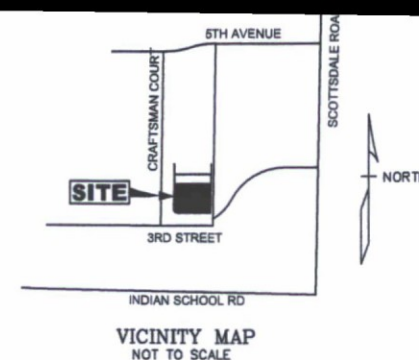
PARCEL NO. 2:
THAT PORTION OF THE ALLEY LYING IMMEDIATELY EAST AND ADJACENT TO LOTS 22 AND 23, CRAFTSMAN COURT, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 62 OF MAPS, PAGE 23, AS ABANDONED BY THE CITY OF SCOTTSDALE RESOLUTION NO. 896, RECORDED JUNE 17, 1971 AS DOCKET 8764, PAGE 868, OF OFFICIAL RECORDS.

ARCHITECT
TOMECAK DESIGN, P.C.
4368 NORTH CIVIC CENTER PLAZA
SUITE 201
SCOTTSDALE, ARIZONA 85251
PHONE: 602.619.7751
CONTACT: MARK TOMECAK
OWNER
4161 CRAFTSMAN LLC
1830 E ELLIOT RD
STE 104
TEMPE AZ 85284-1799

CONCEPTUAL G&D AND UTILITY PLAN

4151 N CRAFTSMAN CT.
SCOTTSDALE, AZ 85251

OF
A PORTION OF SOUTHEAST QUARTER OF SECTION 22,
TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND
SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

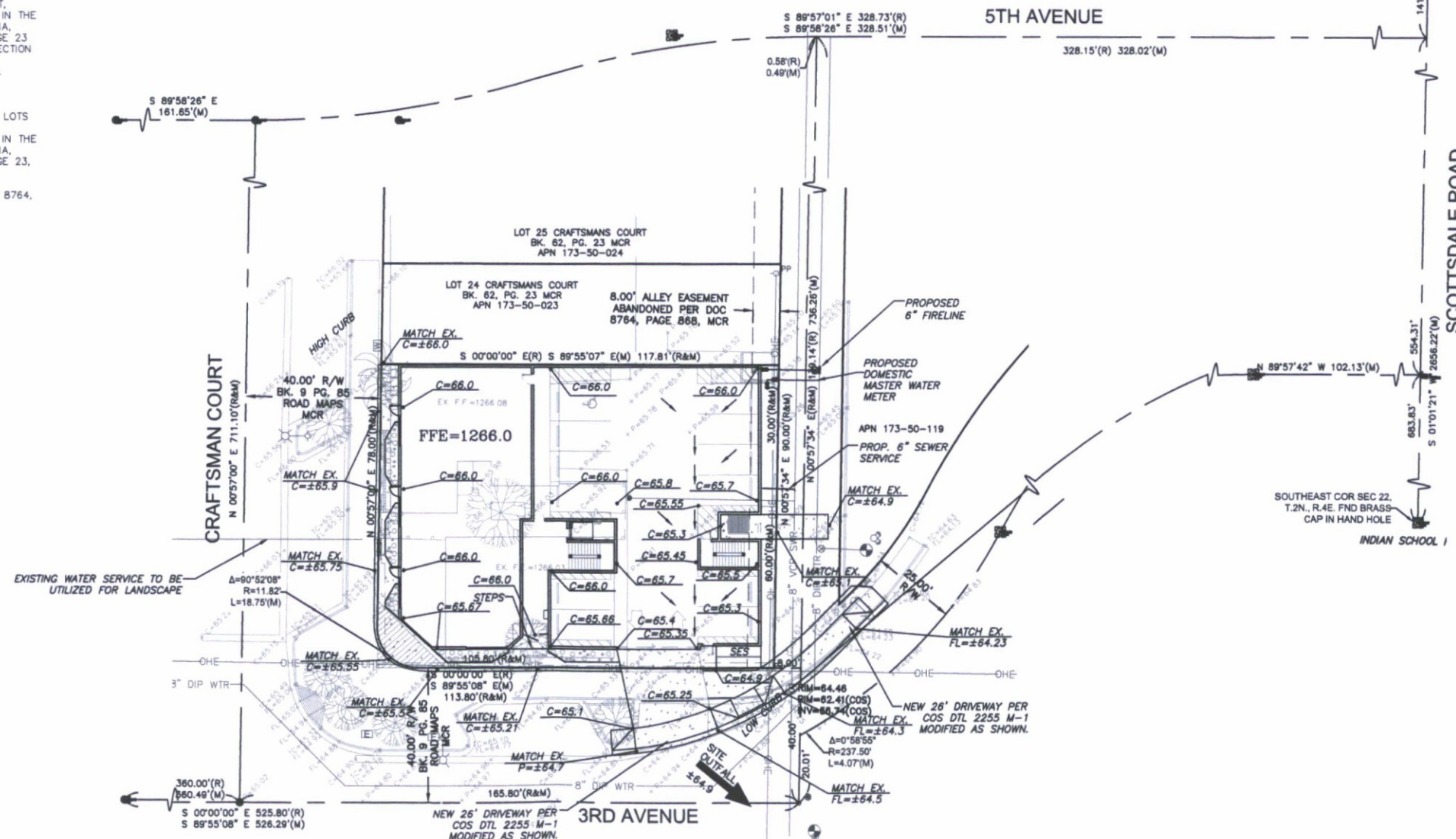


VICINITY MAP
NOT TO SCALE

LEGEND

- BRASS CAP IN HANDHOLE
- SEWER CLEAN OUT
- SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- FIRE DEPT. CONNECTION
- WATER METER
- BACKFLOW PREVENTER
- GAS METER
- STREET LIGHT
- LIGHT POLE
- GROUND LIGHT
- ELECTRIC BOX
- TELEPHONE RISER
- CABLE RISER
- SIGN
- PALM TREE
- OLIVE TREE
- NON-DESCRIPT TREE
- SAGUARO CACTUS

C.M.U. WALL (4 OR 8 INCH BLOCKS)
BOUNDARY

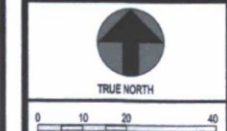
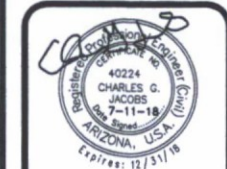


16-DR-2018
7/24/2018

RELEASE	DATE	BY	APP.	DESCRIPTION
B	7-11-18	CSJ	CSJ	DR RESUBMITAL
A	5-3-18	CSJ	CSJ	DR SUBMITAL

CRAFTSMAN COURT MIXED USE DEVELOPMENT SCOTTSDALE, AZ	CONCEPTUAL G & D AND UTILITY PLAN
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JACOBS WALLACE, LLC
ENGINEERING - PLANNING - MANAGEMENT
2233 W. BETHANY HOME ROAD
PHOENIX, AZ 85015
602.757.5964



APRIL 2018

DRAWING NO.

C1.0