

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: December 6, 2018 Item No. 6
General Plan Element: *Character and Design*
General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Tract V, Troon North
10-PP-2015#2

Request to consider the following:

Request approval of a stipulation modification to remove the Natural Area Open Space (NAOS) requirement, on a 0.70-acre site.

Goal/Purpose of Request

The request is to amend the previously approved stipulations to remove the NAOS requirement for preliminary plat Case 10-PP-2015.

Key Items for Consideration

- Preliminary Plat approval for site occurred on August 1, 2013, Case 9-PP-2013
- Preliminary Plat expiration for site occurred on August 2, 2016, Case 9-PP-2013
- Preliminary Plat re-approval for site occurred on August 18, 2016, Case 10-PP-2015
- Staff has received opposition to the proposed request

LOCATION

10299 East White Feather Lane

OWNER

Troon Eagles, LLC.
602-486-5336

APPLICANT CONTACT

Dick Rossmiller
Troon Eagles, LLC.
602-468-5336



BACKGROUND

General Plan

The General Plan Land Use Element designates the property as Resort/Tourism, which provides the flexibility of Resort/Tourism Land Uses to be located within this area of the community. The General Plan amendment and zoning district map amendment cases (Cases 2-GP-1994 and 3-ZN-1994) approved specifically for this site were tailored to complete the site as a support use for the existing golf course.

Character Area Plan

This site is located within the Reatta Pass/Troon Character Area which serves as a destination for visitors to Scottsdale, provides a diverse mix of upscale housing for both full and part-time residents, and offers a western desert character which is a significant component of Scottsdale's image.

Zoning

This site is zoned Resort/Townhouse Residential District, Environmentally Sensitive Lands (R-4R/ESL), which allows single-family residential, multi-family residential, and resort/hotel type uses. Annexed into the City of Scottsdale in January of 1982, through Case 32-ZN-1982, the site is part of a larger planned community development.

The annexed parcel was rezoned from the County designation to the Single-family Residential, Hillside District (R1-190/HD) through Case 81-Z-1983. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was added as an amendment to the Hillside District overlay. In 1994, the site was rezoned from the Single-family Residential, Hillside District (R1-190/HD) to the current R-4R/ESL zoning designation; through the General Plan amendment and zoning district map amendment Cases 2-GP-1994 and 3-ZN-1994.

Context

The property is located within the "On the Green at Troon North" subdivision, parcel number 216-72-584, which is located on the north side of East Dynamite Boulevard, at approximately North 103rd Street.

Please refer to context graphics attached.

Adjacent Uses and Zoning

- North: Resort/Townhouse Residential District, Environmentally Sensitive Lands, zoned R-4R/ESL; Open Space.
- South: Single-family Residential District, Environmentally Sensitive Lands, zoned R1-7/ESL; Pinnacle Canyon at Troon North subdivision and Golf Course.
- East: Open Space, Environmentally Sensitive Lands O-S/ESL, Resort/Townhouse Residential District, Environmentally Sensitive Lands, R-4R/ESL, and Hillside Conservation District HD/HC; Troon North Golf Club House.
- West: Resort/Townhouse Residential District, Environmentally Sensitive Lands, zoned R-4R/ESL; On the Green at Troon North subdivision and Golf Course.

Other Related Policies, References:

Cases 32-ZN-1982, 81-ZN-1983, 43-ZN-1994, 2-GP-1994, 3-ZN-1994, 87-DR-1994#2, 51-PP-1994, 9-PP-2013, and 10-PP-2015

APPLICANT'S PROPOSAL

Development Information

The development proposal includes the removal of the NAOS requirement for this property. The previous approval proposes to subdivide a tract located within the "On the Green at Troon North" subdivision plat. The applicant will continue to move forward for the approval of a four-lot final plat and landscape plan (Reference Attachment #7).

- Existing Use: Vacant (golf cart path)
- Proposed Use: 4-Lot Subdivision
- Parcel Size: 0.70 acres
- Open Space Required: None (Fulfilled by the Troon North Master Planned Community)
- NAOS Required: 5,412 square feet (per Case 10-PP-2015)
- NAOS Provided: None
- Density Allowed: 7 du/ac
- Density Proposed: 6.0 du/ac

IMPACT ANALYSIS

Plat

The existing Tract "V" was dedicated, as per the "On the Green at Troon North" subdivision plat, for future development. The approved preliminary plat identified the continued use of the existing amended development standards, as approved through the Troon North subdivision zoning case.

Transportation/Trails

All the necessary access for the proposed four lots has been dedicated through the existing plat.

Water/Sewer

The proposed plat will not affect the existing improvement requirements for the area. The existing improvements were constructed with the anticipation of the site being developed to the R-4R standards set forth by the Cases 2-GP-1994 and 3-ZN-1994.

Public Safety

The Public Safety Department has reviewed the application and finds that there is adequate ability to provide fire and police services for the proposed use. Overall, emergency and non-emergency activities in Scottsdale are continually monitored and tracked to evaluate the effectiveness of our service delivery and to identify any potential for future public safety resource needs for the community.

Open Space/NAOS

The Natural Area Open Space (NAOS) requirements were met and dedicated with the previously approved cases and associated plats: 43-ZN-1994, 2-GP-1994, 3-ZN-1994, and 51-PP-1994. The

NAOS requirement was based on the slope category of the entire site and will not change based on the proposal for this tract. The overall required NAOS for the *On the Green at Troon North* subdivision community (Parcels 1A, 1B, and 2) was 243,370 square feet (Reference Attachment #8). The *on The Green at Troon North* final plat dedicated 249,243 square feet of NAOS through final plat MCR No. 1995-0317352 (Reference Attachment #8).

With the previously approved preliminary plat, Case 10-PP-2015, the owner proposed to dedicate 5,412 square feet of NAOS, and 8,713 square feet of open space. The applicant is now proposing to not dedicate any NAOS with the future final plat. The applicant requests the amendment of two (2) of the previously approved stipulations to no longer be required to dedicate NAOS (Reference Attachment #6).

Community Involvement

The applicant distributed a mailing to all property owners within 750 feet of the proposed subdivision site. City staff received some inquiries on the proposed project and received opposition to the request (Reference Attachment #9).

Community Impact

Cave Creek Unified School District supported the approval of the Troon North Master Planned Community, with the entire proposed density. The proposed four-lot subdivision is within the density that was approved for this parcel.

Policy Implications

The previously approved preliminary plat is generally consistent in density and street alignment as per Zoning Ordinance, Zoning Interpretations, and the Design Standards and Policies Manual. The previously approved preliminary plat is also consistent in density, street alignment, and NAOS as per the previously approved Troon North final plat.

OTHER BOARDS & COMMISSIONS

Development Review Board

The Development Review Board heard the associated preliminary plat Case, 10-PP-2015, on August 16, 2016. The Development Review Board voted to approve the preliminary plat with a vote of 7-0.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve the proposed stipulation amendment, per the attached stipulations, finding that the provisions of the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Jesus Murillo
Senior Planner
480-312-7849
E-mail: jmurillo@scottsdaleAZ.gov

APPROVED BY



Jesus Murillo, Report Author

11-26-18

Date



Steve Venker, Development Review Board Coordinator

11/27/18

Date

480-312-2831, jvenker@scottsdaleaz.gov



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

11/27/18

Date

ATTACHMENTS

1. Context Aerial
- 1A. Aerial Close-Up
2. Applicant's Narrative
3. Zoning Map
4. Approved 10-PP-2015 Case Stipulations
5. Approved 10-PP-2015 Preliminary Plat
6. Proposed 10-PP-2015#2 Case Stipulations
7. Proposed 10-PP-2015#2 Final Plat
8. Recorded *On The Green at Troon North* Preliminary Plat
9. Citizen Correspondence



Tract V at On the Green at Troon North

ATTACHMENT #1

10-PP-2015#2



Tract V at On the Green at Troon North

ATTACHMENT #1A

10-PP-2015#2

TROON EAGLES, LLC
SCOTTSDALE, ARIZONA

TO: City of Scottsdale
Jesus Murillo

FROM: Troon Eagles, LLC
Dick Rossmiller

RE: Pre-Application Request
Case No. 10-PP-2015
Lot V, On the Green
APN: 216-72-584

DATE: 5 July, 2018

Dear Mr. Murillo,

The Preliminary Plat for the above captioned Case was approved by the DRB on 18 August, 2016. The applicant's proposal and site plan provided for the dedication of 5,412 square feet of NAOS.

There is no requirement for a NAOS dedication because the NAOS requirement has previously been fulfilled by the Troon North Master Planned Community. This application is a request for the for Stipulation 2 of the Design Review Board approval to be removed, thereby deleting a NAOS requirement, so that this property can be used as a recreational amenity for the proposed Villas at Troon North townhomes.

Thank you very much for your consideration.

Troon Eagles, LLC



Richard Rossmiller
Project Manager.

10-PP-2015#2
07/06/18

**Stipulations for Case:
Lot V On The Green
Case: 10-PP-2015**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the improvement plans and plat shall substantially conform to the following documents:
 - a. The preliminary plat submitted by Gilbert Land Surveying, PLC., with a city staff date of 12-15-2015.
 - b. The Amended Development Standards submitted by Alair Homes, with a city staff date of 12-15-2015.
 - c. The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by Ironwood Planning, with a city staff date of 12-15-2015.
 - d. The conceptual landscape plan submitted by Ironwood Planning, with a city staff date of 12-15-2015.
 - e. Master Drainage Plan for Lot V on the Green; submitted by Everest Consulting Services, PC., accepted on 7-18-2016.
 - f. Case Drainage Report for Lot V on the Green; submitted by Everest Consulting Services, PC., accepted on 7-18-2016.
 - g. Case Grading and Drainage Plan for Lot V on the Green; submitted by Everest Consulting Services, PC., accepted on 7-18-2016.
 - h. Architectural elevations will be consistent with architecture approved through case 87-DR-1994#2.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning and DRB cases for the site were: 32-ZN-1982, 81-ZN-1983, 43-ZN-1994, 2-GP-1994, 3-ZN-1994, 87-DR-1994#2, and 9-PP-2013.

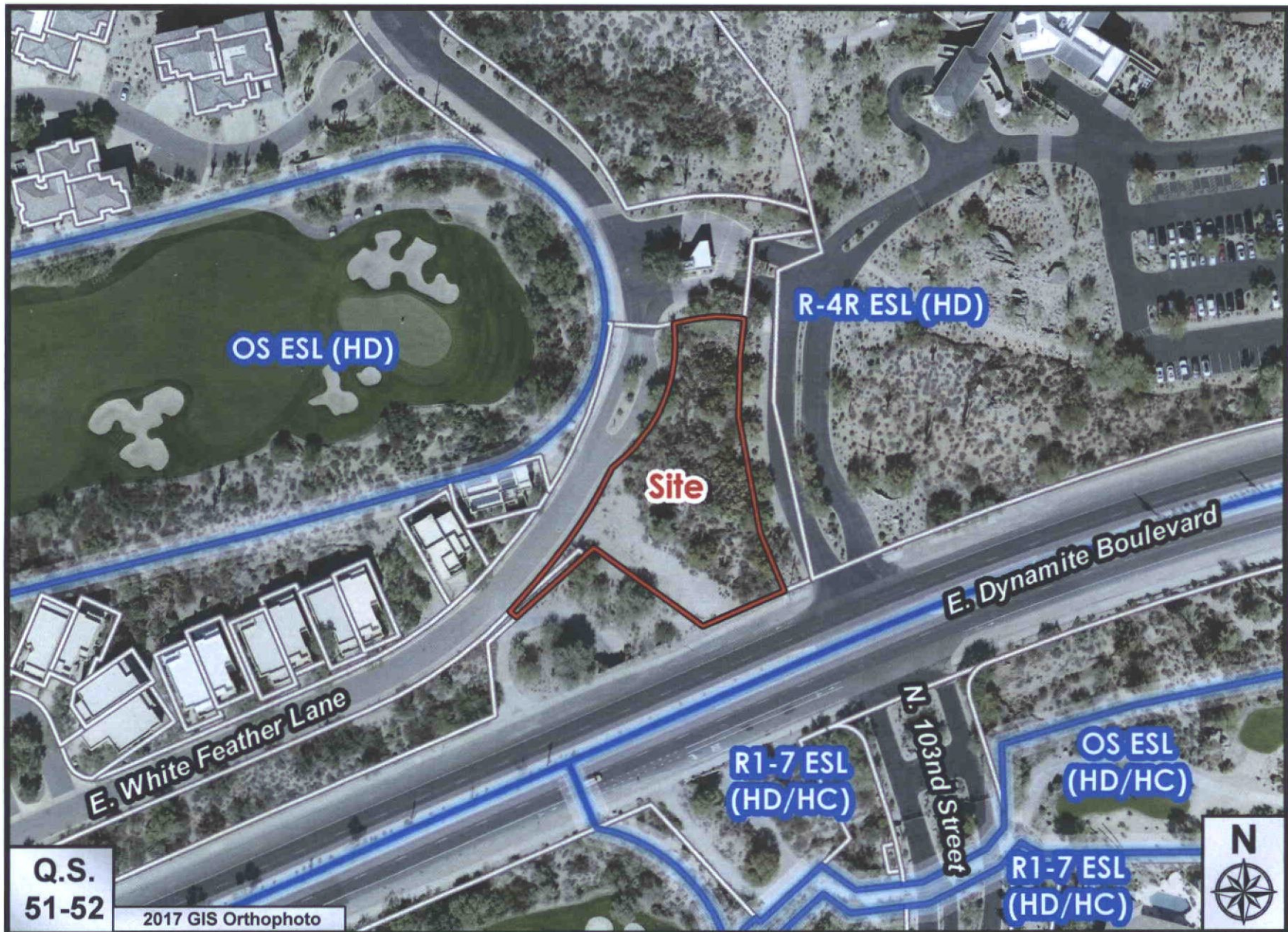
SUBDIVISION PLAT REQUIREMENTS

SUBDIVISION DESIGN

DRB Stipulations

2. With the final plat, the owner shall dedicate minimum 5,412 square feet Natural Area Open Space (NAOS) area for this project.

Approved 8-18-16 (SP)



Tract V at On the Green at Troon North

ATTACHMENT #3

10-PP-2015#2

**Stipulations for Case:
Lot V On The Green
Case: 10-PP-2015**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the improvement plans and plat shall substantially conform to the following documents:
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RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning and DRB cases for the site were: 32-ZN-1982, 81-ZN-1983, 43-ZN-1994, 2-GP-1994, 3-ZN-1994, 87-DR-1994#2, and 9-PP-2013.

SUBDIVISION PLAT REQUIREMENTS

SUBDIVISION DESIGN

DRB Stipulations

2. With the final plat, the owner shall dedicate minimum 5,412 square feet Natural Area Open Space (NAOS) area for this project.

DRB Stipulations

3. The owner shall dedicate to the city on the final plat the following right-of-way:

Street Name	Street Type	Dedications	Notes
E. White Feather Lane	Local Collector	Modify Street Median	Submit Street Median Modification for Transportation Approval
E. White Feather Lane	Local Collector	Extend existing stabilized shoulder to the west along the site frontage	None

EASEMENTS DEDICATIONS:

Ordinance

- B. The owner shall dedicate to the City on the final plat a sight distance easement over the sight distance triangle(s) in conformance Section 5.3 of the DSPM.

IMPROVEMENT PLANS REQUIREMENTS

WALLS AND FENCES:

DRB Stipulations

4. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform to Section 5.3 of the DSPM.

NATURAL AREA OPEN SPACE (NAOS):

DRB Stipulations

5. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

LANDSCAPE DESIGN:

DRB Stipulations

6. Prior to the issuance of an encroachment permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
7. Prior to the issuance of an encroachment permit, the owner shall submit landscape improvement plans that require the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median.

EXTERIOR LIGHTING:

Ordinance

- A. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting)
- C. All exterior luminaires mounted eight (8) feet or higher shall be directed downward and have an integral lighting shield.
- D. Any exterior luminaire with a total initial lumen output of greater than 1600 shall have an integral lighting shield.

DRB Stipulations

- 8. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line.
- 9. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 1.5-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 6.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.3-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

DRB Stipulations

- 10. Prior to the issuance of an encroachment permit, the owner shall submit plans to construct the following street improvements:

Street Name	Street Type	Improvements	Notes
E. White Feather Lane	Local Collector	Modify Street Median	Submit Street Median Modification for Transportation Approval
E. White Feather Lane	Local Collector	Extend existing stabilized shoulder to the west along the site frontage	None

PRELIMINARY PLAT TROON NORTH TRACT "V"

A MINOR SUBDIVISION OF TRACT "V", ON THE GREEN AT TROON NORTH
BOOK 398 OF MAPS, PAGE 5, OFFICIAL RECORDS OF MARICOPA COUNTY
A PORTION OF THE SOUTH HALF OF SECTION 29,
TOWNSHIP 5 NORTH, RANGE 5 EAST, OF THE GILA & SALT RIVER MERIDIAN
MARICOPA COUNTY, ARIZONA

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:
That BOB GARLAND, as owner, has subdivided under the name "Troon North Tract V" a portion of the South Half Section 29, Township 5 North, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, as shown and plotted herein, hereby publishes this Final Plat for "Troon North Tract V". Said plat sets forth the location and gives the dimensions of the lots, tracts, streets and easements constituting the same. Each lot, tract, and street shall be known by the number, letter, or name given each respectively on said plat. The easements are dedicated for the purposes stated herein.

Bob Garland, as owner, does hereby grant to the Mirage On the Green at Troon North Homeowners Association:

1) Tracts A & B shall be owned and maintained by the Mirage On the Green at Troon North Homeowners Association.

Bob Garland, as owner, does hereby dedicate to the City of Scottsdale, an Arizona municipal corporation:

1. A perpetual, non-exclusive Scenic Corridor Easement (S.C.E.) upon, over, and across the parcel of land shown herein. The purpose is to preserve the property as a scenic corridor free of any obstructions to the view of persons looking across the Property. Without limitation, Grantor shall not allow or suffer to exist upon the Property any buildings, walls, trees, obstructions, screens, or other structures or things exceeding a height determined by the Grantee above original grade.

2. A perpetual, non-exclusive Public Utility Easement (P.U.E.) upon, over, and across the parcel of land shown herein. The purpose of the easement is for electricity, water, wastewater, telecommunications, and all other manner of utilities, and for construction, operation, use, maintenance, repair, modification, and replacement from time to time of improvements related thereto.

3. A perpetual, non-exclusive Vehicle Non Access Easement (V.N.A.E.) upon, over, and across the parcel of land shown herein. The purpose of the easement is to prohibit vehicular access.

4. Natural Area Open Space (N.A.O.S.) easements are hereby dedicated to the City of Scottsdale upon, over, and across the areas for the purpose of the preservation of said land in its natural state and no grading, grubbing, excavating, or construction of any structure or development of any kind shall be permitted on or within said easement except as allowed under City of Scottsdale ordinances.

Owner warrants to the City of Scottsdale that it is the sole owner of the property on this plat, and that every lender, easement holder or other person having any interest in the property adverse to or inconsistent with the dedications, conveyances or other property interests created or transferred by this plat has consented to or joined in this plat, as evidenced by the instruments which are recorded in the Maricopa County Recorder's Office or which the owner will record not later than the date on which this plat is recorded.

The person executing this document on behalf of a corporation, trust or other organization warrants him or her authority to do so and that all persons necessary to bind Grantor have joined in this document. This document runs in favor of the Grantee's successors and assigns.

DATED this ____ day of _____, 20____.

Grantor: _____

For: _____

DEDICATION ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA } S.S.
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20____,
BY _____ FOR AND ON BEHALF OF _____.

Notary Public
My commission expires: _____

APPROVAL

Approved by the General Manager of the City of Scottsdale, Arizona this the ____ day of _____, 2013.

By: _____ Date: _____
General Manager

This plat has been reviewed for compliance with the City of Scottsdale's Design Standards and Policy Manual specifications.

By: _____ Date: _____
Chief Development Officer

This subdivision has been reviewed for compliance with the development standards of the City of Scottsdale's Development Review Board (DRB) Case No. _____ and Zoning Code(s) No. _____ and all case related stipulations.

By: _____ Date: _____
Project Coordinator

PROPERTY USE TABLE

Name/Number	Area	Use	Responsible Party
Lot 1	3,337 SF, 0.076 AC	Single family residence	Lot owner
Lot 2	3,658 SF, 0.083 AC	Single family residence	Lot owner
Lot 3	3,581 SF, 0.082 AC	Single family residence	Lot owner
Lot 4	3,779 SF, 0.086 AC	Single family residence	Lot owner
Tract A	1,539 SF, 0.035 AC	Open space	HOA
Tract B	14,123 SF, 0.324 AC	Open space/NAOS	HOA

SITE DATA

Assessor's Parcel Number (APN): 216-72-584

Existing Zoning: R-4R ES, (H)

Proposed Zoning: N/A

Site area:

Gross = 30,019 SF

Net (building envelopes) = 14,358 SF

Lot Number: 4

Minimum lot size: 3,337 SF

Average lot size: 3,558 SF

Density: 8.0 DU/Acre

NAOS Required = 0.0 SF

Provided = 5,412 SF

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

THIS IS TO CERTIFY THAT THE ABOVE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" AS DESIGNATED ON THE FIRM FLOOD INSURANCE RATE MAP, MAP NUMBER 6403JC1330, DATED OCTOBER 16, 2013. SHADED ZONE "X" IS DESIGNATED AS BEING AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY DUNKER 1% ANNUAL CHANCE FLOOD AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY UNDER THAT CIRCUMSTANCE.

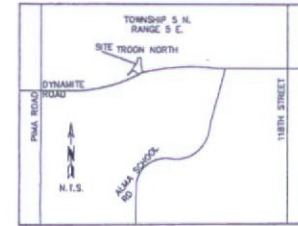
REFERENCE DOCUMENTS

- TITLE COMMITMENT ISSUED BY SECURITY TITLE AGENCY INSURANCE COMPANY, NO. 301592385-035-00 DATED EFFECTIVE SEPTEMBER 20, 2015.
- MAP OF DEDICATION RECORDED IN BOOK 312, PAGE 43, MARICOPA COUNTY RECORDS.
- PLAT OF ON THE GREEN AT TROON NORTH RECORDED IN BOOK 398, PAGE 48, MARICOPA COUNTY RECORDS.
- PLAT OF ON THE GREEN AT TROON NORTH REPLAT, RECORDED ON BOOK 398, PAGE 5, MARICOPA COUNTY RECORDS.

BENCHMARK

GPS POINT: 1362
BRASS CAP FLUSH LOCATED IN THE CENTER INTERSECTION OF DYNAMITE BOULEVARD & PIMA ROAD.

EL=2276.320 (NAVD 88 DATUM)



VICINITY MAP

CIVIL ENGINEER

CANO & ASSOCIATES, INC.
501 WEST CORONADO ROAD
PHOENIX, AZ 85003
602-243-8977
CONTACT: MICHAEL A. CANO, PE

SURVEYOR

GILBERT LAND SURVEYING, PLC
4381 S. SQUIRES LANE
GILBERT, AZ 85297
480-276-8020
CONTACT: RYAN G. GILBERT, RLS

OWNER

BOB GARLAND
8180 E. DEL CAVENNA DRIVE
SCOTTSDALE, AZ 85258

LEGAL DESCRIPTION

TRACT V, ON THE GREEN AT TROON NORTH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 398 OF MAPS, PAGE 48 AND CERTIFICATE OF CORRECTION RECORDED AS 88-088783 OF OFFICIAL RECORDS AND REPLATED IN BOOK 398 OF MAPS, PAGE 5 AND AFFIDAVIT OF CORRECTION RECORDED AS 98-234748 OF OFFICIAL RECORDS.

BASIS OF BEARING

THE BASIS OF BEARING USED FOR THIS SURVEY IS THE MONUMENT LINE OF WHITE DYNAMITE BOULEVARD, AS SHOWN ON THE REPLAT OF "ON THE GREEN AT TROON NORTH", AS RECORDED IN 398/05 MOI, IS THE BASIS OF BEARINGS FOR THIS SURVEY.

SAID BEARING = SOUTH 67° 00' 00" EAST

CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY AND SUBDIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WERE MADE UNDER MY DIRECTION DURING THE MONTH OF DECEMBER, 2013, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

NAME: RYAN G. GILBERT

REGISTERED LAND SURVEYOR #54333



STIPULATION SET
RETURN FOR RECORD
APPROVED

BY: _____
DATE: _____
INITIALS



PRELIMINARY PLAT
TROON NORTH TRACT V
SCOTTSDALE, ARIZONA
MARICOPA COUNTY, ARIZONA

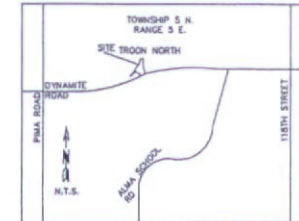
GILBERT LAND SURVEYING, PLC
4381 S. Squires Lane, Gilbert, Arizona 85297
Phone: (480) 334-8020

DATE: 12/10/13 FIELD: KD DRAWN: RG, JB JOB NO.: 13072 SHEET: 12/10/13

10-PP-2018
12/15/13

PRELIMINARY PLAT TROON NORTH TRACT "V"

A MINOR SUBDIVISION OF TRACT "V", ON THE GREEN AT TROON NORTH
BOOK 398 OF MAPS, PAGE 5, OFFICIAL RECORDS OF MARICOPA COUNTY
A PORTION OF THE SOUTH HALF OF SECTION 29,
TOWNSHIP 5 NORTH, RANGE 5 EAST, OF THE GILA & SALT RIVER MERIDIAN
MARICOPA COUNTY, ARIZONA



VICINITY MAP

LEGEND

- BRASS CAP FLUSH
- SEWER MANHOLE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- BOLLARD
- SIGN
- FD REBAR 37495
- FD REBAR 31019
- FD REBAR 17591
- PROPOSED FINISH GRADE ELEV.
- PROPOSED FINISHED FLOOR ELEV.
- PROPOSED CONCRETE ELEV.
- CONCRETE
- G.L. PATH
- DECORATIVE PAVEMENT
- S SEWER LINE
- G GAS LINE
- E WATER LINE
- E ELECTRIC LINE
- BREAK

CONSTRUCTION NOTE

- 1 PORTION OF RAISED MEDIAN TO BE REMOVED FOR ACCESS TO LOTS 3 & 4.
- 2 SCREEN WALL
- 3 SEWER CONNECTION
- 4 WATER CONNECTION

EASEMENT LIST

- 1 PROPOSED 50' SCENIC CORRIDOR EASEMENT.
- 2 30' GOLF COURSE ACCESS EASEMENT, DOC. NO. 2009-043117, TO BE RELEASED.
- 3 8' PUE PER BOOK 390, PAGE 48, & BOOK 398, PAGE 5, MARICOPA COUNTY RECORDS.
- 4 PROPOSED 1' VEHICULAR NON ACCESS EASEMENT
- 5 HADS EASEMENT

STIPULATION SET
FOR RECORDS
APPROVED
DATE

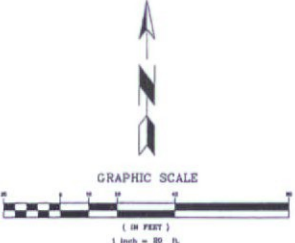


PRELIMINARY PLAT
TROON NORTH TRACT V
SCOTTSDALE, ARIZONA
MARICOPA COUNTY, ARIZONA

GILBERT LAND SURVEYING, P.L.C.
4301 S. RAYMOND LANE, GILBERT, ARIZONA 85234
PHONE (480) 334-0000

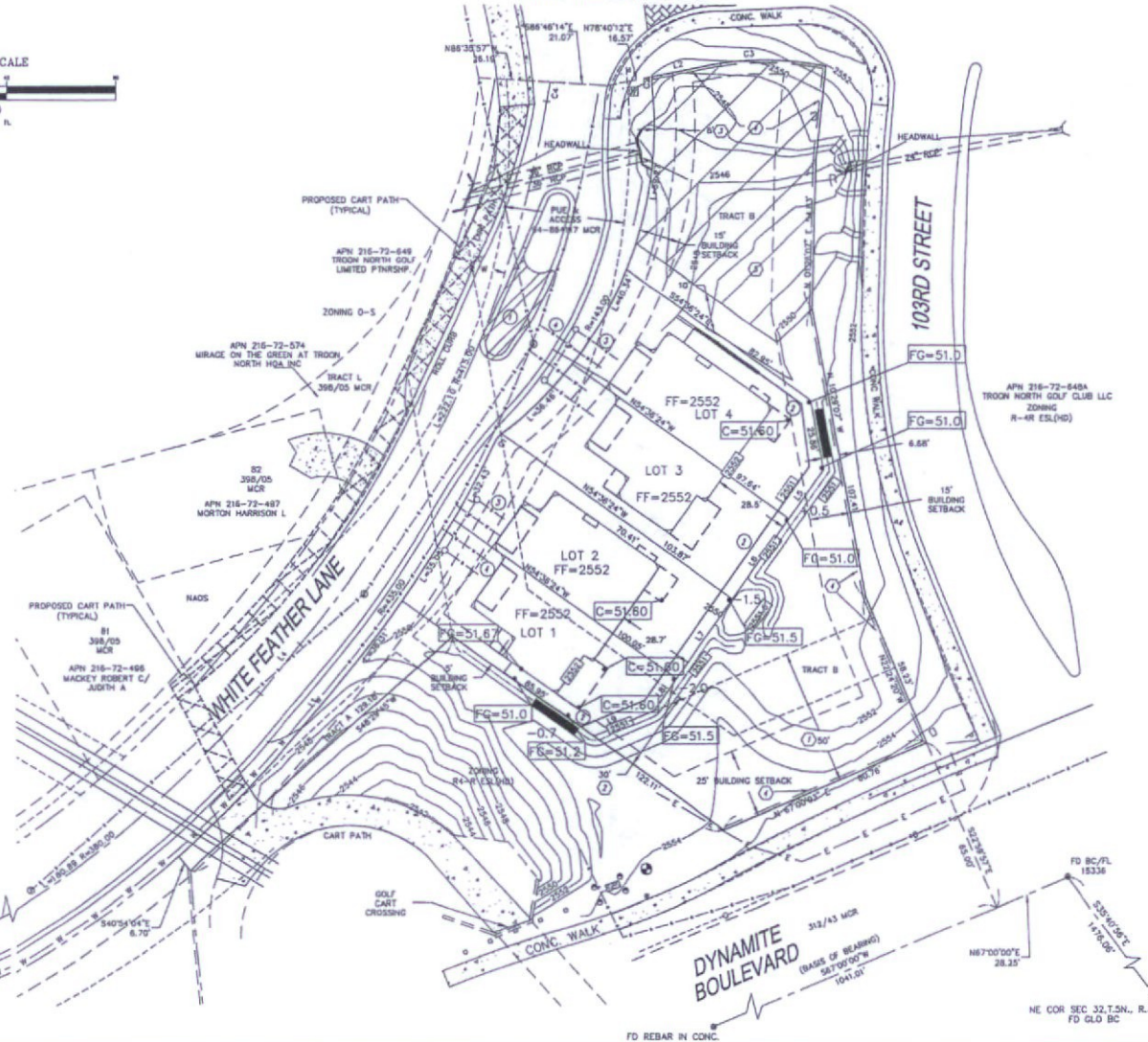
DATE: 12/15/15 FIELD: RD DRAWN: RLS JOB NO.: 151107 SHEET: 1 OF 1

15-PP-2015
12/15/15



CURVE #	LENGTH	BEGINNING
C1	2.97	5.00
C2	3.67	15.67
C3	4.67	15.00
C4	5.97	180.00

LINE #	BEARING	DISTANCE
L1	N87°17'30"E	21.47
L2	N87°17'30"E	26.10
L3	N87°17'30"E	26.87
L4	N87°17'30"E	25.67
L5	N87°17'30"E	22.00
L6	N87°17'30"E	26.83
L7	N87°17'30"E	26.43
L8	N87°17'30"E	14.88
L9	N87°17'30"E	25.71



GENERAL NOTES

CONTRACTOR'S AND SUBCONTRACTOR'S MUST VERIFY BUILDING SETBACK AND BUILDING FOOTPRINT PRIOR TO ANY GROUND WORK. NOTIFY THE DESIGNER IMMEDIATELY IF THERE IS ANY POSSIBILITY OF ENCROACHMENT.

WATER DIVERTED FROM ITS ORIGINAL DRAINAGE PATTERN SHALL BE RETURNED TO ITS ORIGINAL COURSE BEFORE LEAVING THE PROPERTY.

VERIFY PROPERTY AND BUILDING LINES AND FINISH FLOOR ELEVATIONS PRIOR TO CONSTRUCTION. CONFIRM THAT UTILITIES (SEWER, ELECTRIC, WATER) ARE LOCATED AS SHOWN AND THAT SEWER TAP IS LOW ENOUGH TO SERVE ALL FLOODING GRADS.

AREAS DISTURBED DURING CONSTRUCTION OF DRAINAGE FACILITIES OR UTILITY (SEWER, WATER, ELECTRIC, ETC.) TRENCHES SHALL BE RESTORED TO THEIR NATURAL STATE.

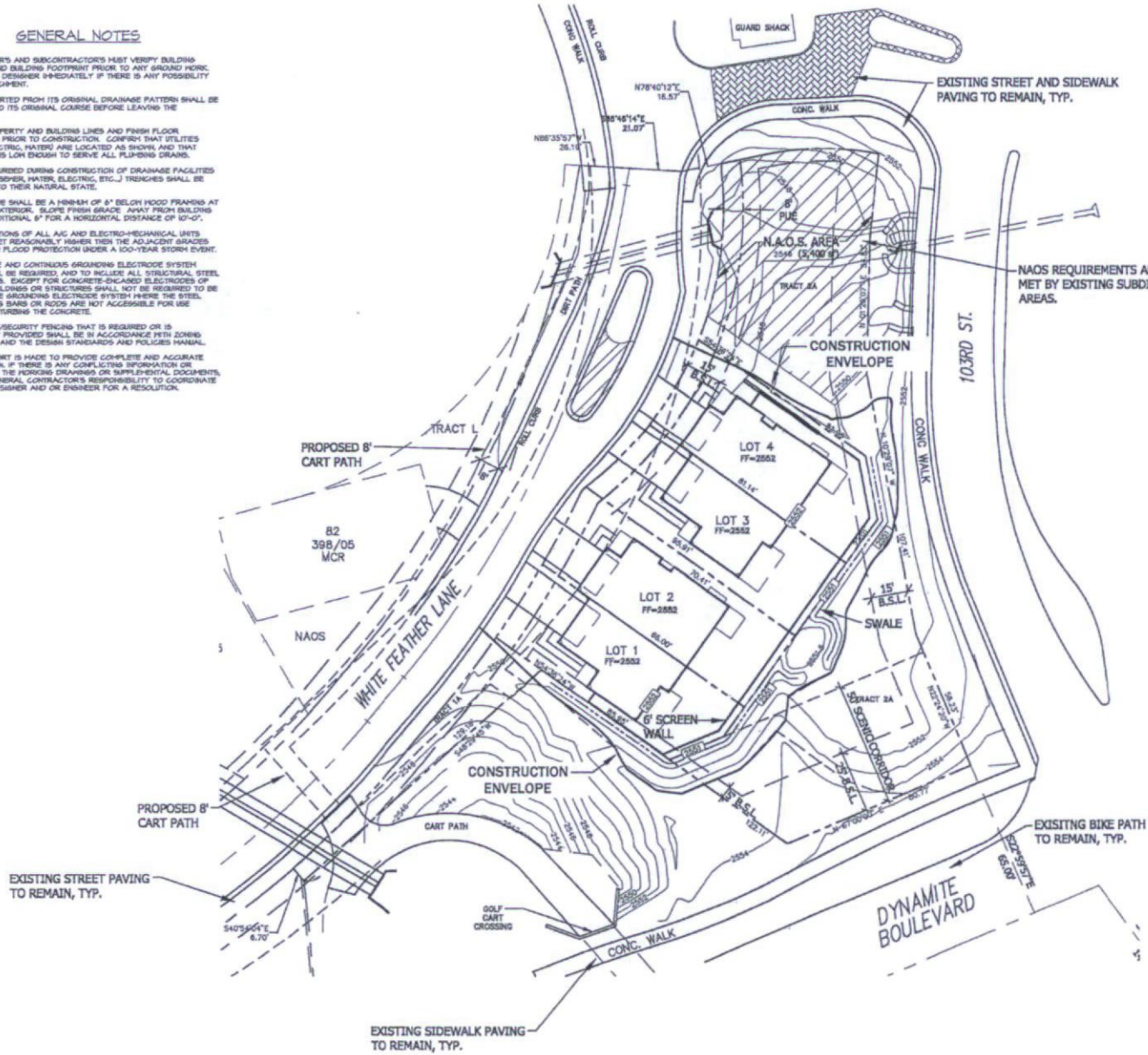
FINISH GRADE SHALL BE A MINIMUM OF 6" BELOW HOOD FRAMES AT BUILDING EXTERIOR. SLOPE FINISH GRADE AWAY FROM BUILDING FOR AN ADDITIONAL 6" FOR A HORIZONTAL DISTANCE OF 10'-0".

PAD ELEVATIONS OF ALL A/C AND ELECTRO-MECHANICAL UNITS SHALL BE SET REASONABLY HIGHER THAN THE ADJACENT GRADES TO PROVIDE FLOOD PROTECTION UNDER A 100-YEAR STORM EVENT.

A COMPLETE AND CONTINUOUS GROUNDING ELECTRODE SYSTEM (GES) SHALL BE REQUIRED, AND TO INCLUDE ALL STRUCTURAL STEEL COMPONENTS. EXCEPT FOR CONCRETE-ENCASED ELECTRODES OF EXISTING BUILDINGS OR STRUCTURES SHALL NOT BE REQUIRED TO BE PART OF THE GROUNDING ELECTRODE SYSTEM WHERE THE STEEL REINFORCING BARS OR RODS ARE NOT ACCESSIBLE FOR USE WITHOUT DISTURBING THE CONCRETE.

TEMPORARY SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICES MANUAL.

EVERY EFFORT IS MADE TO PROVIDE COMPLETE AND ACCURATE INFORMATION. IF THERE IS ANY CONFLICTING INFORMATION OR OMISSION IN THE WORKING DRAWINGS OR SUPPLEMENTAL DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE DESIGNER AND OR ENGINEER FOR A RESOLUTION.



**Stipulations for Case:
Lot V On The Green
Case: 10-PP-2015#2**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the improvement plans and plat shall substantially conform to the following documents:
 - a. The preliminary plat submitted by Gilbert Land Surveying, PLC., with a city staff date of 12-15-2015.
 - b. The Amended Development Standards submitted by Alair Homes, with a city staff date of 12-15-2015.
 - c. ~~The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by Ironwood Planning, with a city staff date of 12-15-2015.~~
 - d. The conceptual landscape plan submitted by Ironwood Planning, with a city staff date of 12-15-2015.
 - e. Master Drainage Plan for Lot V on the Green; submitted by Everest Consulting Services, PC., accepted on 7-18-2016.
 - f. Case Drainage Report for Lot V on the Green; submitted by Everest Consulting Services, PC., accepted on 7-18-2016.
 - g. Case Grading and Drainage Plan for Lot V on the Green; submitted by Everest Consulting Services, PC., accepted on 7-18-2016.
 - h. Architectural elevations will be consistent with architecture approved through case 87-DR-1994#2.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning and DRB cases for the site were: 32-ZN-1982, 81-ZN-1983, 43-ZN-1994, 2-GP-1994, 3-ZN-1994, 87-DR-1994#2, and 9-PP-2013.

SUBDIVISION PLAT REQUIREMENTS

SUBDIVISION DESIGN

DRB Stipulations

2. ~~With the final plat, the owner shall dedicate minimum 5,412 square feet Natural Area Open Space (NAOS) area for this project.~~

DRB Stipulations

3. The owner shall dedicate to the city on the final plat the following right-of-way:

Street Name	Street Type	Dedications	Notes
E. White Feather Lane	Local Collector	Modify Street Median	Submit Street Median Modification for Transportation Approval
E. White Feather Lane	Local Collector	Extend existing stabilized shoulder to the west along the site frontage	None

EASEMENTS DEDICATIONS:

Ordinance

- B. The owner shall dedicate to the City on the final plat a sight distance easement over the sight distance triangle(s) in conformance Section 5.3 of the DSPM.

IMPROVEMENT PLANS REQUIREMENTS

WALLS AND FENCES:

DRB Stipulations

4. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform to Section 5.3 of the DSPM.

NATURAL AREA OPEN SPACE (NAOS):

DRB Stipulations

5. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

LANDSCAPE DESIGN:

DRB Stipulations

6. Prior to the issuance of an encroachment permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
7. Prior to the issuance of an encroachment permit, the owner shall submit landscape improvement plans that require the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median.

EXTERIOR LIGHTING:

Ordinance

- C. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting)
- D. All exterior luminaires mounted eight (8) feet or higher shall be directed downward and have an integral lighting shield.
- E. Any exterior luminaire with a total initial lumen output of greater than 1600 shall have an integral lighting shield.

DRB Stipulations

- 8. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line.
- 9. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 1.5-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 6.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.3-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

DRB Stipulations

- 10. Prior to the issuance of an encroachment permit, the owner shall submit plans to construct the following street improvements:

Street Name	Street Type	Improvements	Notes
E. White Feather Lane	Local Collector	Modify Street Median	Submit Street Median Modification for Transportation Approval
E. White Feather Lane	Local Collector	Extend existing stabilized shoulder to the west along the site frontage	None

FINAL PLAT FOR "THE VILLAS AT TROON NORTH"

A RE-PLAT OF TRACT V, "ON THE GREEN AT TROON NORTH" BOOK 398 OF MAPS, PAGE 5, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST, OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT TROON EAGLES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HAS SUBDIVIDED UNDER THE NAME "THE VILLAS AT TROON NORTH" OF TRACT V, "ON THE GREEN AT TROON NORTH" BOOK 398 OF MAPS, PAGE 5, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST, OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON, HEREBY PUBLISHES THIS FINAL PLAT FOR "THE VILLAS AT TROON NORTH" SAID PLAT SETS FORTH THE LOCATION AND DIMENSIONS OF THE LOTS CONSTITUTING THE SAME, EACH LOT SHALL BE KNOWN BY THE NUMBER, LETTER, OR NAME GIVEN EACH RESPECTIVELY ON SAID PLAT.

THAT TROON EAGLES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, DOES HEREBY GRANT TO THE VILLAS AT TROON NORTH HOMEOWNERS ASSOCIATION, INC. AN ARIZONA NON-PROFIT CORPORATION:

1. TRACTS A, B, AND C SHALL BE OWNED AND MAINTAINED BY ON THE GREEN AT TROON VILLAS HOME OWNERS ASSOCIATION AND THEIR ASSONS, AND ARE NOT DEDICATED TO THE PUBLIC.
2. A PERPETUAL, NON-EXCLUSIVE SCENIC CORRIDOR EASEMENT (S.C.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE IS TO PRESERVE THE PROPERTY AS A SCENIC CORRIDOR FREE OF ANY OBSTRUCTIONS TO THE VIEW OF PERSONS LOOKING ACROSS THE PROPERTY. WITHOUT LIMITATION, GRANTOR SHALL NOT ALLOW OR SUFFER TO EXIST UPON THE PROPERTY ANY BUILDINGS, WALLS, TREES, OBSTRUCTIONS, SCREENS, OR OTHER STRUCTURES OR THINGS EXCEEDING A HEIGHT DETERMINED BY THE GRANTEE ABOVE ORIGINAL GRADE.
3. A PERPETUAL, NON-EXCLUSIVE DRAINAGE EASEMENT (D.E.) FOR THE PURPOSES OF CONSTRUCTION, OPERATION, REPLACEMENT, AND REPAIR OF LEVIES, DICES, CHANNELS, AND OTHER WORKS OF DRAINAGE OR FLOOD CONTROL IN AND OVER A PORTION OF THE AREAS DESIGNATED AS SUCH HEREON AN EASEMENT UPON, OVER, AND ACROSS NEAR PROPERTY OCCURRING HEREON. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL OWNER OF THE LOT OR TRACT WHERE THE EASEMENT IS LOCATED HEREON.
4. A PERPETUAL, NON-EXCLUSIVE PUBLIC UTILITY EASEMENT (P.U.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON. THE PURPOSE OF THE EASEMENT IS FOR ELECTRICITY, WATER, WASTEWATER, TELECOMMUNICATIONS, AND ALL OTHER KINDS OF UTILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION, AND REPLACEMENT FROM TIME TO TIME OF IMPROVEMENTS RELATED THERETO.

DATED THIS _____ DAY OF _____, 2018.

GRANTOR: _____

FOR: _____

ACKNOWLEDGEMENT:

STATE OF ARIZONA }
COUNTY OF MARICOPA } S.S.

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____

BY _____ FOR AND ON BEHALF OF _____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

RATIFICATION EXAMPLE:

AS BENEFICIARY UNDER THAT CERTAIN DEED OF TRUST RECORDED IN THE COUNTY RECORDER'S OFFICE, MARICOPA COUNTY, ARIZONA, IN RECORDER'S NUMBER (NUMBER), THE UNDERSIGNED HEREBY APPROVES AND CONFIRMS THAT THIS PLAT IS MADE AS STATED IN THIS PLAT AS TO THE INTEREST OF THE UNDERSIGNED. THE PERSON SIGNING FOR BENEFICIARY WARRANTS AND REPRESENTS THEY HAVE POWER AND AUTHORITY TO DO SO.

BY: _____

INDIVIDUAL, PARTNERSHIP, OR FINANCIAL INSTITUTION, AS BENEFICIARY

TITLE OR POSITION

DATE

ACKNOWLEDGEMENT:

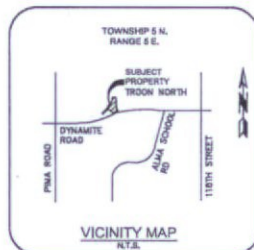
STATE OF ARIZONA }
COUNTY OF MARICOPA } S.S.

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____

BY _____ FOR AND ON BEHALF OF _____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



SHEET INDEX:

SHEET 1 OF 2 = COVER SHEET
SHEET 2 OF 2 = PLAT DETAIL

CITY OF SCOTTSDALE APPROVALS:

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: _____ CHIEF DEVELOPMENT OFFICER _____ DATE _____

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO. 7-40-2018, AND ALL CASE RELATED STIPULATIONS.

BY: _____ PLAT COORDINATOR _____ DATE _____

REFERENCED DOCUMENTS:

RE-PLAT "ON THE GREEN AT TROON NORTH" BOOK 398 OF MAPS, PAGE 5, M.C.R.

BASIS OF BEARING:

THE BASIS OF BEARING USED FOR THIS SURVEY IS THE CENTER MONUMENT LINE OF DYNAMITE BOULEVARD, AS SHOWN ON THE RE-PLAT OF "ON THE GREEN AT TROON NORTH", AS RECORDED IN 398/05 MCR, IS THE BASIS OF BEARINGS FOR THIS SURVEY.

SAID BEARING = SOUTH 87° 00' 00" WEST

FLOOD PLAIN CERTIFICATION:

THIS IS TO CERTIFY THAT THE ABOVE SUBJECT PROPERTY LIES WITHIN SHADDED ZONE "X" AS DESIGNATED ON THE FIRM FLOOD INSURANCE RATE MAP, MAP NUMBER 14032C03A, DATED OCTOBER 16, 2013. SHADDED ZONE "X" IS DESIGNATED AS BEING AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY UNDER THAT CIRCUMSTANCE.

PARENT LEGAL DESCRIPTION:

TRACT V, ON THE GREEN AT TROON NORTH, ACCORDING TO BOOK 398 OF MAPS, PAGE 48, CERTIFICATE OF CORRECTION RECORDED FEBRUARY 24, 1999 IN INSTRUMENT NO. 95-009793 AND REPLATTED IN BOOK 398 OF MAPS, PAGE 5 AND AFFIDAVIT OF CORRECTION RECORDED APRIL 5, 1999 IN INSTRUMENT NO. 95-234748 RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED IN THE PATENT FROM THE UNITED STATES OF AMERICA.

REFERENCE DOCUMENTS:

1. MAP OF DEDICATION RECORDED IN BOOK 312, PAGE 43, MARICOPA COUNTY RECORDS.
2. PLAT OF ON THE GREEN AT TROON NORTH RECORDED IN BOOK 390, PAGE 48, MARICOPA COUNTY RECORDS.
3. PLAT OF ON THE GREEN AT TROON NORTH, RECORDED ON BOOK 398, PAGE 5, MARICOPA COUNTY RECORDS.

EXISTING ZONING:

R-4E EX. CITY OF SCOTTSDALE

OWNER/DEVELOPER:

TROON EAGLES, LLC
8335 E 78A DE LAS FLORES
SCOTTSDALE, AZ, 85258
CONTACT: DIKE RUSSELL
PHONE: (602) 488-5358

SURVEYOR'S NOTES:

1. THIS DEVELOPMENT IS ON THE CITY OF SCOTTSDALE WATER SYSTEM, WHICH HAS A CERTIFICATION OF ASSURED WATER SUPPLY.
2. NO STRUCTURE OF ANY KIND SHALL BE CONSTRUCTED OR ANY VEGETATION BE PLANTED NOR BE ALLOWED TO GROW WITHIN THE DRAINAGE EASEMENTS WHICH WOULD IMPOSE THE FLOW OF WATER OVER, UNDER OR THROUGH THE EASEMENTS. THE CITY OF SCOTTSDALE MAY, IF IT SO DESIRES, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND IN THE EASEMENTS.
3. ELECTRIC LINES ARE TO BE INSTALLED PER ARIZONA CORPORATION COMMISSION GENERAL ORDER 0-48.
4. ALL UTILITIES ARE TO BE PLACED UNDERGROUND.
5. THIS SURVEY AND PLAT EXCEEDS THE REQUIRED ACCURACY OF 1 FOOT IN 15,000 FEET.
6. PER ARIZONA REVISED STATUTES, SECTION 32-101, THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR THINGS THAT ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.
7. AFFIDAVITS OF CORRECTION OR AMENDMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID. THERE WILL BE NO REVISIONS TO THIS PLAT WITHOUT THE PLAT COORDINATOR'S APPROVAL.
8. INFORMATION ON THIS SURVEY IS FROM DATA PROVIDED BY A COMMITMENT FOR TITLE INSURANCE, FILE NO. 4506205-945-85-LEE BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED MAY 18, 2018 AT 7:30 A.M. NO FURTHER RESEARCH WAS MADE BY SURVEYOR.

LAND AREA:

LOT 1 GROSS: 4,381 SQUARE FEET OR 0.100 ACRES MORE OR LESS.
LOT 2 GROSS: 4,313 SQUARE FEET OR 0.104 ACRES MORE OR LESS.
LOT 3 GROSS: 4,546 SQUARE FEET OR 0.104 ACRES MORE OR LESS.
LOT 4 GROSS: 3,842 SQUARE FEET OR 0.088 ACRES MORE OR LESS.
TRACT A GROSS: 8,499 SQUARE FEET OR 0.149 ACRES MORE OR LESS.
TRACT B GROSS: 4,853 SQUARE FEET OR 0.111 ACRES MORE OR LESS.
TRACT C GROSS: 1,539 SQUARE FEET OR 0.035 ACRES MORE OR LESS.
TOTAL GROSS: GROSS 30,199 SQUARE FEET OR 0.686 ACRES MORE OR LESS.

LAND SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT THE SURVEY AND SUBDIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WERE MADE UNDER MY DIRECTION DURING THE MONTH OF MARCH, 2018, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, THAT MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET BEFORE THE PLAT IS RECORDED, THAT THEIR POSITIONS ARE CORRECTLY SHOWN, AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

PHYLLIS DENTON GILBERT
REGISTERED LAND SURVEYOR



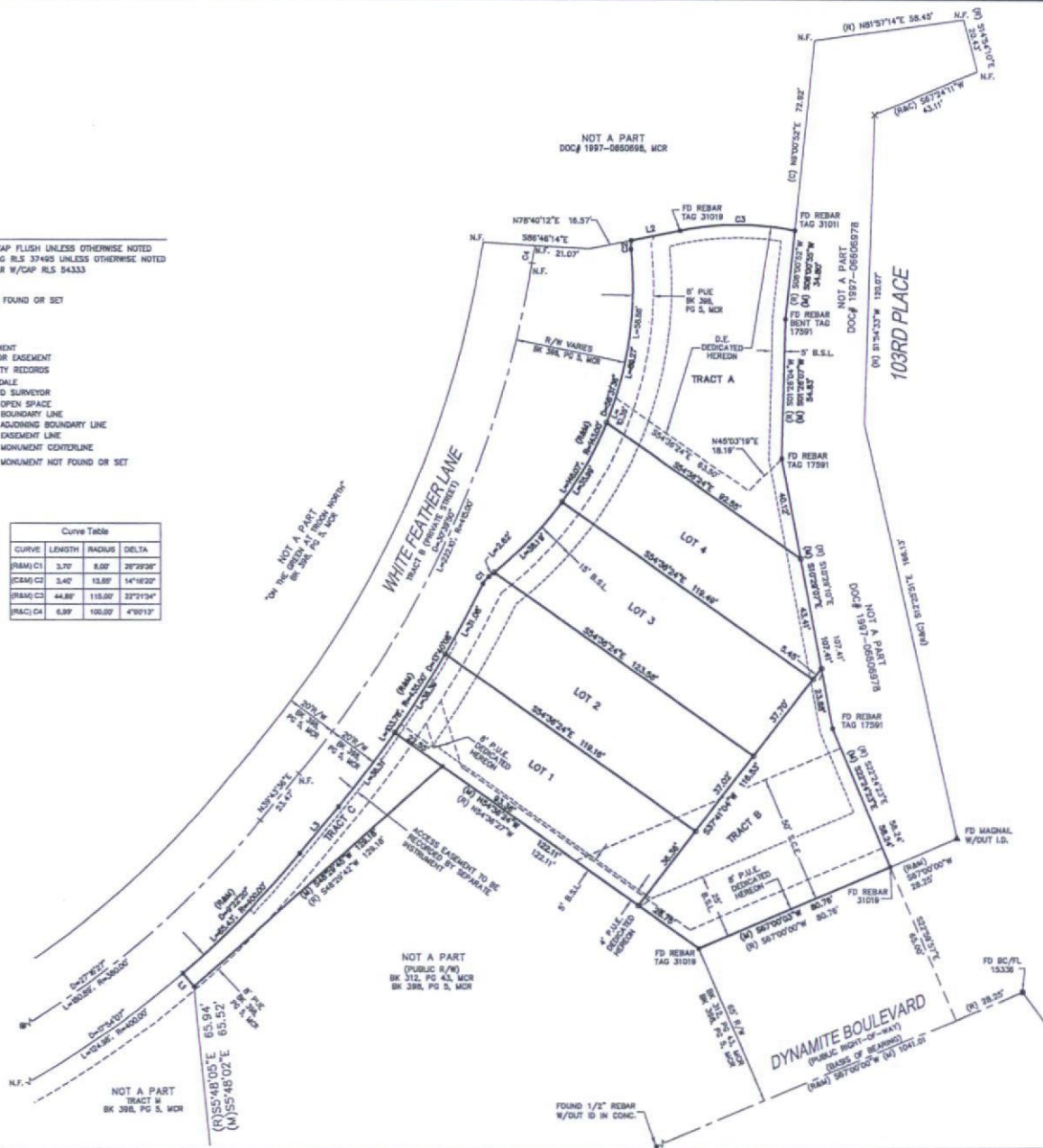
GILBERT LAND SURVEYING, P.L.C.
4381 S. Saguaro Lane, Gilbert, Arizona 85237
Phone: (480) 278-6020

DATE: 03/15/18
FILED: 03/15/18
DRAWING: 171108
JOB NO.: 1029
SHEET: 1029

●	FOUND BRASS CAP FLUSH UNLESS OTHERWISE NOTED
●	FD REBAR W/TAG RLS 37495 UNLESS OTHERWISE NOTED
○	SET 1/2" REBAR W/CAP RLS 54333
▽	BREAKLINE
○	MONUMENT NOT FOUND OR SET
N.F.	RIGHT-OF-WAY
R/N	(N) MEASURED
(N)	RECORDED
D.E.	DRAINAGE EASEMENT
S.C.E.	SCenic CORRIDOR EASEMENT
M.C.L.	MARICOPA COUNTY REGIONS
CD	CITY OF SCOTTSDALE
CD	REGISTERED LAND SURVEYOR
NAS	NATURAL AREA OPEN SPACE
RLS	BOUNDARY LINE
---	ADJOINING BOUNDARY LINE
---	EASEMENT LINE
---	MONUMENT CENTERLINE
+	MONUMENT NOT FOUND OR SET

LINE TABLE		
LINE	BEARING	LENGTH
(M) L1	N40° 56' 04" W	6.70
(M) L2	N78° 40' 12" E	19.45
(P) L3	N39° 43' 33" E	23.47
(C) L3	N39° 43' 36" E	23.47


Curve Table			
CURVE	LENGTH	RADIUS	DELTA
(R&M) C1	3.70'	8.00'	26°29'36"
(C&M) C2	3.40'	13.85'	14°16'20"
(R&M) C3	44.88'	115.00'	22°21'34"
(R&C) C4	6.99'	100.00'	4°00'13"



SURVEYOR'S NOTE:

ALL MONUMENTS SET SHALL BE UNDER THE DIRECT SUPERVISION OF THE SURVEYOR OF RECORD. IF FOR ANY REASON THE SURVEYOR OF RECORD IS NOT AVAILABLE TO SUPERVISE THE SETTING OF THE INTERIOR CORNER MONUMENTS, THE REPLACEMENT SURVEYOR SHALL SET MONUMENTS WITH HIS/HER IDENTIFYING NUMBER AND SHALL RECORD A RECORD OF SURVEY PLAT IN ACCORDANCE WITH THE STATE STATUTES.





GILBERT LAND SURVEYING, PLC
 6301 S. Eastern Lane, Gilbert, Arizona 85237
 Phone: (480) 273-6000

FINAL PLAT FOR
"THE VILLAS AT TROON NORTH"
 A RES-PLAT OF TRACT V, "ON THE GREEN AT TROON
 NORTH" BE 386 OF MAPS, PG 5, OFFICIAL RECORDS
 OF MARICOPA COUNTY, ARIZONA, BEING A PORTION
 OF THE SOUTH 1/2 OF SECTION 29, T-4N, R-6E, S-4E
 OF THE GILA & ALT RIVER BASSE A MERIDIAN,
 MARICOPA COUNTY, ARIZONA

DATE:	PREP'D:	DRAWN:	JOB NO.:	SHEET:
5/9/18	RGL/GJO	80	171194	20FT

GENERAL NOTES FOR
PUBLIC WORKS CONSTRUCTION:

- All construction in the public rights-of-way or in easements granted for public use must conform to the latest Maricopa Association of Governments (MAG) Uniform Standard Specifications and Uniform Standard Details for Public Works Construction as amended by the latest version of the City of Scottsdale Supplemental Standard Specifications and Supplemental Standard Details. If there is a conflict, the city's Supplemental Standard Details will govern.
- The city only approves the scope, not the detail, of engineering designs; therefore, if construction quantities are shown on these plans, they are not verified by the city.
- The approval of plans is valid for six (6) months. If an encroachment permit for the construction has not been issued within six months, the plans must be resubmitted to the city for reapproval.
- A Public Works Inspector will inspect all works within the City of Scottsdale rights-of-way and in easements. Notify Inspection Services 24 hours prior to beginning construction by calling 480-312-5750.
- Whenever excavation is necessary, call the Blue Stake Center, 602-263-1100, two working days before excavation begins. The Center will see that the location of the underground utility lines is identified for the project. Call "collect" if necessary.
- Encroachment permits are required for all work in public rights-of-way and easements granted for public purposes. An encroachment permit will be issued by the city only after the registrant has paid a bond fee plus a fee for inspection services. Copies of all permits must be retained on-site and be available for inspection at all times. Failure to produce the required permits will result in immediate suspension of all work until the proper permit documentation is obtained.
- All excavation and grading that is not in the public rights-of-way or not in easements granted for public use must conform to Chapter 70, Excavation and Grading, of the latest edition of the Uniform Building Code prepared by the International Conference of Building Officials. A permit for this grading must be secured from the city for a fee established by the Uniform Building Code.

NO CONFLICT SIGNATURE BLOCK				
UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SENT
ELECTRIC	APS			
TELEPHONE	CENTURY LINK			
NATURAL GAS	SOUTHWEST GAS			
CABLE TV	COX COMM.			
OTHER				
OTHER				

ENGINEER'S CERTIFICATION

I, _____, as the Engineer of Record for this development, hereby certify that all of the utility companies listed above have been provided final improvement plans for review, and all conflicts identified by the utilities have been resolved. In addition, "No Conflict" forms have been obtained from each utility company and are included in this submittal.

Signature _____ Date _____

ATTACHMENT 8

GS&E NOTES:

IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.

THIS SITE PLAN IS NOT A BOUNDARY SURVEY.

BEARINGS AND DISTANCES ARE RECORD PER PLAN UNLESS OTHERWISE NOTED.

ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUE STAKE AT 602-263-1100.

ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.

THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.

ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER OR HOA.

TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).

ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BURNS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.

ALL STORM DRAINAGE FACILITIES, INCLUDING WASHES, THAT EXIST PRIOR TO CONSTRUCTION MUST REMAIN OPEN AND FUNCTIONAL WITHOUT DIMINISHED CAPACITY FOR THE DURATION OF CONSTRUCTION AND UNTIL FINAL DRAINAGE FEATURES ARE COMPLETED.

HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.

ANY PROPOSED PIPES ON THIS PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

LOT DATA:

LOT 1 GROSS: 4,261 SQUARE FEET OR 0.088 ACRES MORE OR LESS.
LOT 2 GROSS: 4,513 SQUARE FEET OR 0.104 ACRES MORE OR LESS.
LOT 3 GROSS: 4,548 SQUARE FEET OR 0.104 ACRES MORE OR LESS.
LOT 4 GROSS: 3,642 SQUARE FEET OR 0.088 ACRES MORE OR LESS.
TRACT A GROSS: 6,493 SQUARE FEET OR 0.149 ACRES MORE OR LESS.
TRACT B GROSS: 4,823 SQUARE FEET OR 0.111 ACRES MORE OR LESS.
TRACT C GROSS: 1,526 SQUARE FEET OR 0.035 ACRES MORE OR LESS.
TOTAL GROSS: 30,019 SQUARE FEET OR 0.688 ACRES MORE OR LESS.

LEGAL DESCRIPTION:

TRACT V, ON THE GREEN AT TROON NORTH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 350 OF MAPS, PAGE 48 AND CERTIFICATE OF CORRECTION RECORDED AS 95-089793 OF OFFICIAL RECORDS AND REPLATED IN BOOK 308 OF MAPS, PAGE 5 AND AFFIDAVIT OF CORRECTION RECORDED AS 96-234748 OF OFFICIAL RECORDS.

SURVEY NOTE:

SURVEY AND TOPOGRAPHY PROVIDED BY CLIENT. THIS SURVEY WAS PERFORMED BY GLOBAL LAND SURVEYING, LLC, P.O. BOX 2132, PEORIA, AZ 85305, SIGNED BY BRYAN O'CONNOR, R.L.S. 58124 MAY 23, 2016.

UTILITIES NOTE:

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

WALL INFO:

RETAINING WALLS 138 LF.
NOR-RETAINING WALLS 169 LF.

CUT & FILL:

CUT 17 C.Y.
FILL 1650 C.Y.
NET FILL 1633 C.Y.

Note: Quantities shown are approximate only. Engineer makes no guarantee as to the accuracy of the quantities shown herein. Contractor shall verify quantities independently prior to bidding. Quantities do not include compaction, ground ascertainment, shrink or swell factors.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY IS A 2.5" BRASS CAP(GLO) ON 2" PIPE, HAVING AN ELEVATION OF: 2414.767 (NAVOBS DATUM) PER BOOK 672, PAGE 2 RECORDS OF MARICOPA COUNTY ARIZONA. POINT ID A0331-1. ALSO BEING THE SOUTHWEST CORNER OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY ARIZONA.

TBM:

BRASS CAP FOUND NEAR THE SOUTHEASTERLY CORNER OF THE PROPERTY, HAVING AN ELEVATION OF: 2557.33 (NAVOD8 DATUM)(THE WEST OF THREE BRASS CAPS)

CIVIL GRADING & DRAINAGE PLAN

THE VILLAS AT TROON NORTH

A RE-PLAT OF TRACT V, "ON THE GREEN AT TROON NORTH" BOOK 398 OF MAPS, PAGE 5, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, BEING A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST, OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

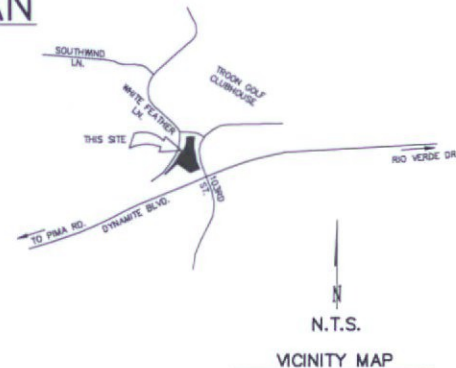
FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:

COMMUNITY NUMBER	PANEL NUMBER AND DATE	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEV (IN AO ZONE, USE DEPTH)
045012	1330 10/16/13	L	11/04/15	X	NA

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100 YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE FLOODWAYS AND FLOODPLAIN ORDINANCE, CHAPTER 37, S.R.C.

LEGEND:

- BSL BUILDING SETBACK LINE
- CATV CABLE TELEVISION
- (C) DENOTES CALCULATED
- (M) DENOTES MEASURED
- (H) DENOTES RECORD
- DE DIRECTION OF DRAINAGE
- DR DRAINAGE EASEMENT
- (EXIST) ELECTRIC
- EXISTING CONTOUR
- (EXIST) EXISTING ELEVATION
- EXISTING FIRE HYDRANT
- FND FOUND
- FOUND MONUMENT
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- PUE PUBLIC UTILITIES EASEMENT
- RECORD MONUMENT
- TELEPHONE RISER
- TEL
- TC TOP OF CURB
- TF TOP OF FOOTING
- TR TOP OF RAIL
- TW TOP OF WALL
- WATER METER BOX
- WSEL WATER SURFACE ELEVATION
- WV WATER VALVE



OWNER:
TROON EAGLES, LLC
8325 EAST VIA DE LAS FLORES
SCOTTSDALE, AZ 85258

SITE ADDRESS:
10289 E WHITE FEATHER
SCOTTSDALE, AZ 85262

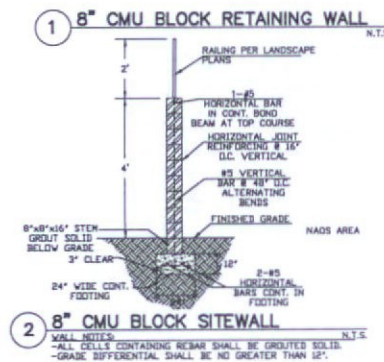
ASSESSORS PCL. NO.:
216-72-584

ZONING:
R4-R ESL (H0)

C.O.S. QUARTER SECTION NO.:
51-52

ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



CITY OF SCOTTSDALE			
REVIEW & RECOMMENDED APPROVAL BY:			
PAVING		TRAFFIC	
GRADING & DRAINAGE		PLANNING	
WATER & SEWER		FIRE DEPT.	
RETAINING WALLS			

APPROVED BY: _____

ENGINEERING COORDINATION MANAGER (OR DESIGNER) _____ DATE _____



GRAHAM SURVEYING & ENGINEERING INC.
Civil Engineers & Land Surveyors
P.O. BOX 1240, Carefree, Arizona 85377
(480) 488-4393

PART OF THE SE 1/4, SEC. 29, T5N, R5E, SHT. 1 OF 2, JOB #18-100P21

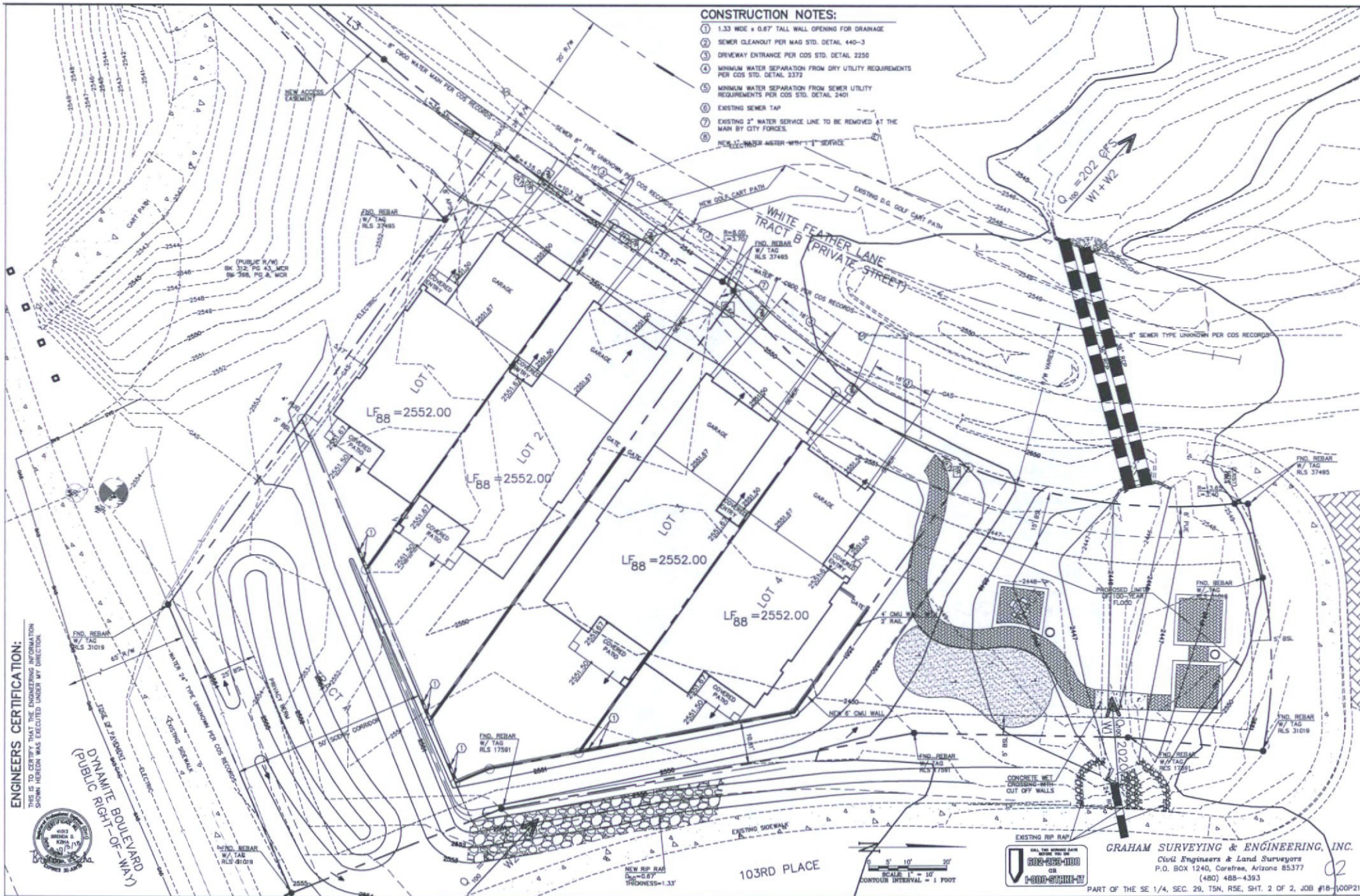
ENGINEERS CERTIFICATION:
THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION
SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



DYNAMIC BOULEVARD
(PUBLIC RIGHT-OF-WAY)

CONSTRUCTION NOTES:

- 1.33 WIDE x 0.67 TALL WALL OPENING FOR DRAINAGE
- SEWER CLEANOUT PER MAG STD. DETAIL 440-3
- DRIVEWAY ENTRANCE PER COS STD. DETAIL 2250
- MINIMUM WATER SEPARATION FROM DRY UTILITY REQUIREMENTS PER COS STD. DETAIL 2372
- MINIMUM WATER SEPARATION FROM SEWER UTILITY REQUIREMENTS PER COS STD. DETAIL 2401
- EXISTING SEWER TAP
- EXISTING 2" WATER SERVICE LINE TO BE REMOVED AT THE MAIN BY CITY FORCES.
- NEW 12" WATER MAIN WITH 1" SERVICE



103RD PLACE

SCALE 1" = 10'
CONTOUR INTERVAL = 1 FOOT



GRAHAM SURVEYING & ENGINEERING, INC.
Civil Engineers & Land Surveyors
P.O. BOX 1240, Carefree, Arizona 85377
(480) 488-4393

PART OF THE SE 1/4, SEC. 28, T5N, R5E, SHT. 2 OF 2, JOB #18-100P21

Landscape Improvement Plans For:
**THE VILLAS
AT TROON NORTH**
10299 E. WHITE FEATHER LANE
SCOTTSDALE, AZ 85262

OCTOBER 5, 2018

BOOK 398 OF MAPS, PAGE 5, OFFICIAL RECORDS OF MARICOPA COUNTY
A PORTION OF THE SOUTH HALF OF SECTION 29,
TOWNSHIP 3 NORTH, RANGE 5 EAST, OF THE GILA & SALT RIVER MERIDIAN
MARICOPA COUNTY, ARIZONA
APN# 216-72-584

CITY OF SCOTTSDALE NOTES:

GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION	
1.	All construction in the public rights-of-way or in easements granted for public use must conform to the latest Maricopa Association of Governments (MAG) Uniform Standard Specifications and Uniform Standard Details for Public Works Construction as amended by the latest version of the City of Scottsdale Supplemental Standard Specifications and Supplemental Standard Details. If there is a conflict, the city's Supplemental Standard Details will govern.
2.	The city only approves the scope, not the detail, of engineering designs; therefore, if construction quantities are shown on these plans, they are not verified by the city.
3.	The approval of plans is valid for six (6) months. If an encroachment permit for the construction has not been issued within six months, the plans must be resubmitted to the city for reapproval.
4.	A Public Works inspector will inspect all works within the City of Scottsdale rights-of-way and in easements. Notify Inspection Services 24 hours prior to beginning construction by calling 480-312-5750.
5.	Whenever excavation is necessary, call the Blue Stake Center, 602-263-1100, two working days before excavation begins. The Center will use that the location of the underground utility lines is identified for the project. Call "collect" if necessary.
6.	Encroachment permits are required for all work in public rights-of-way and easements granted for public purposes. An encroachment permit will be issued by the city only after the registrant has paid a base fee plus a fee for inspection services. Copies of all permits must be retained on-site and be available for inspection at all times. Failure to produce the required permits will result in immediate suspension of all work until the proper permit documentation is obtained.
7.	All excavation and grading that is not in the public rights-of-way or not in easements granted for public use must conform to Chapter 70, Excavation and Grading, of the latest edition of the Uniform Building Code prepared by the International Conference of Building Officials. A permit for this grading must be secured from the city for a fee established by the Uniform Building Code.

FIGURE 1.2-13 GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION



LEGAL DESCRIPTION

TRACT V, ON THE GREEN AT TROON NORTH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 390 OF MAPS, PAGE 48 AND CERTIFICATE OF CORRECTION RECORDED AS 95-099793 OF OFFICIAL RECORDS AND REPLATED IN BOOK 398 OF MAPS, PAGE 5 AND AFFIDAVIT OF CORRECTION RECORDED AS 98-234748 OF OFFICIAL RECORDS.

OWNER

Troon Eagles, LLC
8325 East Via De Las Flores
Scottsdale, Arizona 85258
602-486-5338

CONSULTANTS

Landscape Architect:
Ironwood Planning
Landscape Architecture
Land Planning
Phoenix Office
(PH) 480-540-7556
brub@ironwood.net



Civil Engineer:
Graham Surveying & Engineering, Inc.
480-488-4393

SHEET INDEX

Legends and Notes	LN-01
Planting Plan	PL-01
Irrigation Plan	IR-01
Landscape Details	D-01

LANDSCAPE PLAN APPROVAL

CASE#	APPROVED BY:	DATE:
-------	--------------	-------

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE IN PUBLIC RIGHTS-OF-WAY SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. ANSI A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS THIS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

Revision	Date

IRRIGATION NOTES

1. ALL EXACT QUANTITIES OF EQUIPMENT REMAIN THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR AND NO ADDITIONAL COSTS TO OWNER WILL BE ACCEPTED AFTER BIDDING THIS PROJECT.
2. PLANS ARE DIAGNOSTIC AND APPROXIMATE. ALL VALVES AND PIPING SHALL BE LOCATED IN PLANTING AREAS AND ALL PIPING SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELBS OR OTHER TURNING IN PIPING SHALL BE LOCATED UNDER PAVING EXCEPT WHERE SHOWN ON DRAWINGS. CAP ALL ENDS HAND TIGHT PRIOR TO BACKFILL.
3. LOCAL STATIC WATER PRESSURE RANGES FROM 60.0 TO 70.0 PSI. CONTRACTOR SHALL VERIFY WATER PRESSURE IN FIELD PRIOR TO CONSTRUCTION. SHOULD A DISCREPANCY EXIST, NOTIFY OWNERS AGENT IMMEDIATELY.
4. CONTRACTOR TO CONFORM TO ALL STATE AND LOCAL CODES AND OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
5. CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION. CONTACT BLUE STAKES CENTER (602-263-1100) FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS INDICATED ON THE IRRIGATION PLANS. HE SHALL BE RESPONSIBLE FOR CARPENTRY, SITE INSPECTION, A DETAILED REVIEW OF ALL THE LANDSCAPE DOCUMENTS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNERS AGENT.
7. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL SLEEVING UNDER ALL HAVED SURFACES WITH THE GENERAL CONTRACTOR.
8. PROVIDE PLASTIC VALVE BOXES FOR ALL UNDERGROUND VALVES, PRESET PRESSURE REGULATORS AND FLUSH PLUGS.
9. USE ONLY #14 OR #12 (WHEN JUSTIFIED) DIRECT BURIAL COPPER WIRE FOR ALL UNDERGROUND WIRING. ALL WIRE RUNS TO BE CONTINUOUS FROM CONTROLLER TO CONTROL VALVE. USE ONLY EPOXY FILLED WATERPROOF WIRE ASSEMBLIES BY SPEARS (OR EQ.) FOR ALL WIRE SPLICES. COLOR COORDINATE WIRE AS INDICATED ON DRAWINGS.
10. OBTAIN APPROVAL FROM THE OWNERS AGENT OF STAKED LOCATIONS FOR ALL VALVES, MAINLINE, AND THE AUTOMATIC CONTROLLER PRIOR TO INSTALLATION.
11. TEST MAINLINE FROM WATER SOURCE TO ELECTRIC VALVES AND QUICK COUPLERS WITH THE EXISTING WATER PRESSURE FOR A MINIMUM OF 12 HOURS. OBTAIN APPROVAL OF OWNERS AGENT PRIOR TO BACKFILLING.
12. ALL PVC SLEEVING PASSING UNDER WALKS, DRIVEWAYS AND THROUGH FOOTINGS SHALL BE SCHEDULE 40 PVC PIPE MINIMUM TWO SIZES LARGER (THE THIN PIPE) PASSING THROUGH. PROVIDE A SEPARATE SLEEVE FOR ELECTRICAL WIRING. (1" 1/2" SIZE MIN.)
13. EXACT FINE SIZING AND FOOTAGE REMAIN THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
14. USE TEFLON TAPE OR PIPE JOINT COMPOUND ON ALL THREADED JOINTS.
15. ALL DRIP SYSTEM LATERAL PIPING SHALL BE 3/4" CLASS 200. ALL FITTINGS SHALL BE A MINIMUM SCH. 40 PVC.
16. COORDINATE IRRIGATION WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT FITS.
17. WHERE TREES, LIGHT STANDARDS, ETC., ARE AN OBSTRUCTION OF SPRAYS, PIPING AND SPRINKLER HEADS SHALL BE ADJUSTED AROUND OR RELOCATED FOR PROPER HEAD TO HEAD COVERAGE.
18. PROVIDE TYPED WATERING SCHEDULE ENCLOSED IN PLASTIC AND ATTACHED TO INSIDE DOOR OF EACH CONTROL BOX.
19. PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, TEST TO DEMONSTRATE WITH OWNERS AGENT PRESENT, THAT THE SYSTEM IS FULLY OPERATIONAL. PROVIDE WRITTEN RECOMMENDATION OF SUGGESTED WATER SCHEDULES FOR SEASONAL REQUIREMENTS.
20. PROVIDE A WRITTEN 18 MONTH GUARANTEE FOR ALL SPRINKLER MATERIAL, DATED FROM THE START OF THE 90 - DAY MAINTENANCE PERIOD. CONTRACTOR SHALL PROVIDE LABOR, MATERIALS AND EQUIPMENT NECESSARY TO RESTORE THE FULL OPERATION OF THE SYSTEM, AND REPLACE PLANT MATERIAL THAT DIED AS A DIRECT RESULT OF THE FAILURE.

EXISTING SALVAGE MATERIAL INVENTORY

IRRIGATION SCHEDULE

SYMBOL	ITEM	DESCRIPTION	REMARKS
		1" WATER METER	FIELD VERIFY LOCATION
		1" BACKFLOW PREVENTER (IN SECURITY CAGE)	FIELD VERIFY LOCATION
	RAINBIRD	#100 PER SERIES ELECTRONIC REMOTE CONTROL DRAIN VALVE WITH AN 8BY-100-200 MM SERIES WATT FRY STRAINER	SIZE: 1" THROUGHOUT
	RAINBIRD	PSI-MAXI PRESET PRESSURE REGULATOR OR EQUAL	SEE DETAIL
		PVC MAINLINE, SCH. 40	1 1/2" THROUGHOUT
		1" PVC DRIP LATERAL, CLASS 200 OR BETTER (SHRUB LATERAL)	
		1" PVC DRIP LATERAL, CLASS 200 OR BETTER (TREE LATERAL)	
		PVC SLEEVING, SCH. 40	4" SCH. 40
		MALE ADAPTOR, #46-P MALE FLUSH CAP	SEE DETAIL
		MC-Plus 8 Series AUTOMATIC WALL MOUNTED CONTROLLER 12 STATION BRASS GATE VALVE	WALL MOUNT PER MANUF. SPECIFICATIONS
			LINE SIZE

BOWSMAN EMITTER NOTES

1. INSTALL ONE (1) 1/2" GPH SINGLE OUTLET EMITTER PER SHADE OR GROUND COVER AS REQUIRED. (SEE LANDSCAPE SCHEDULE FOR APPROPRIATE EMITTER APPLICATION. (SEE DETAIL.)
2. INSTALL ONE (1) 1/2" GPH SINGLE OUTLET EMITTER PER SHADE OR GROUND COVER AS REQUIRED. (SEE LANDSCAPE SCHEDULE FOR APPROPRIATE EMITTER APPLICATION. (SEE DETAIL.)
3. INSTALL ONE (1) 1/2" GPH SINGLE OUTLET EMITTER PER TREE AS REQUIRED. (SEE DETAIL.)
4. INSTALL ALL EMISSIONS TO GRASS FROM PLANT MATERIAL.
5. USE 1/2" PVC AS EMITTER LATERALS THROUGHOUT.
6. INSTALL FLUSH END CAPS AT ALL ENDS OF LATERALS AS SHOWN.
7. INSTALL ALL EQUIPMENT AS PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

PIPE SIZING SCHEDULE

PIPE SIZE	GAL / MIN.	PIPE SIZE	GAL / MIN.
1/2"	6.0	1 1/4"	16.25
3/4"	6.25	1 1/2"	26.25
1"	13.25	2"	36.25

GENERAL NOTES

1. CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
2. CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
3. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE DOCUMENTS. HE SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNERS AGENT.
4. PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRELIMINARY CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT. THE PURPOSE OF THIS MEETING IS TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THESE LANDSCAPE CONSTRUCTION DOCUMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THESE PROPOSED IMPROVEMENTS. THIS FIRST MEETING SHOULD BE SCHEDULED TO OCCUR AFTER THE COMPLETION OF ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING: ALL UNDERGROUND UTILITIES, MASS GRADING, AND STREET IMPROVEMENTS.
5. DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
6. ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
7. ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
9. ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNERS AGENT. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING MULCH OR DECOMPOSED GRANITE.
10. ALL AREAS DESTROYED DURING CONSTRUCTION TO BE FINE GRADED. ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
11. CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RANDED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
12. PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES. APPLY WEED PRE-EMERGENT GRANULAR AS PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, MULCH, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATERED, THEN COMPACTED WITH A 500 ROLLER TO A MINIMUM DEPTH OF 3" AFTER
13. ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF 1/2" MINUS "COLOR BY OWNER" DECOMPOSED GRANITE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNERS AGENT PRIOR TO DELIVERY.
14. STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
15. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN BARE) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HANG OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
16. ALL RIGHT-OF-WAY PLANT MATERIAL MUST BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST. NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS WITHOUT PRIOR APPROVAL FROM THE PLANNING DEPT. OF SCOTTSDALE.
17. BACKFILL MATERIALS, EXCEPT AS NOTED, TO BE COMPOSED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH AND 2 LBS. DISPOSAL FOR CUBIC YARD OF BACKFILL.
18. ADD AGRI-GRAN FERTILIZER TABLETS AT THE FOLLOWING RATES:
1 GALON PLANT = 1 TABLET 15 GALON PLANT = 4 TABLETS
5 GALON PLANT = 2 TABLET BOXED TREE = 4 TABLETS (2x2x2)
TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
19. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNERS AGENT.
20. THE OWNERS AGENT RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON: SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
21. PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNERS AGENT OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNERS AGENT THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST THREE WEEKS PRIOR TO END OF MAINTENANCE PERIOD.
22. PROVIDE OWNER WITH A WRITTEN GUARANTEE OF 90 (NINETY) MONTHS FOR ALL PLANT MATERIAL, DATED FROM START OF MAINTENANCE PERIOD AGAINST DISEASES INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM. (1) YEAR GUARANTEE FOR PALMS.
23. ALL SIDEWALKS AND OPEN SPACE TRAILS SHALL BE ACCESSIBLE AND COMPLY WITH A.D.A. AND FAIR HOUSING CRITERIA.

PLANT LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	NOTES
TREES				
	CERCIDUM FLORIDUM BLUE PALO VERDE	48" BOX	12	1 GPH EMITTERS
	PROSOPIS VELUTINA NATIVE MESQUITE	24" BOX	15	1 GPH EMITTERS
SHRUBS				
	AMBROSIA DELTOIDEA BURSAGE	5 GAL.	36	1 GPH EMITTER
	BAILEYA MULTIRADIATA DESERT MARIGOLD	1 GAL.	71	1 GPH EMITTER
	ENCELIA PARINOSA BUTTLE BUSH	5 GAL.	69	1 GPH EMITTER
	CALLIANDRA CALIFORNICA RED FAIRY DUSTER	5 GAL.	24	1 GPH EMITTER
	LARREA TRIDENTATA CREOSOTE	5 GAL.	30	1 GPH EMITTER
	DODONAEA VISCOSA HOPSEED BUSH	5 GAL.	30	1 GPH EMITTER
ACCENTS				
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.	13	1 GPH EMITTER
	DASYLIRION WHEELERII DESERT SPURGE	5 GAL.	37	1 GPH EMITTER
	FOQUIRIA SPLENDENS OCOTILLO	10 CANE MIN.	13	1 GPH EMITTER
GROUNDCOVERS				
	LANTANA SPECIES 'NEW GOLD' NEW GOLD LANTANA	1 GAL.	18	1 GPH EMITTER
	VERBENA PULCHELLA ROCK VERBENA	1 GAL.	34	1 GPH EMITTER
MATERIALS				
	WEATHERED GRANITE BOULDERS	75 TON	8	SURFACE SELECT
	WEATHERED GRANITE BOULDERS	5 TON	9	SURFACE SELECT
NO SYMBOL	1/2" SCREENED GRANITE GROUNDCOVER	MADESON GOLD		(ALL NEW PLANTING AREAS)

RELOCATED SALVAGE INVENTORY

SYMBOL	SALVAGE MATERIAL
	REFER TO INVENTORY CHART ON THIS SHEET TO CROSS REFERENCE SPECIFIC PLANT ID NUMBERS.
	TREE TO BE SALVAGED AND RELOCATED (5 TREES TOTAL)
	PARKINSONIA MICROPHYLLA Foothills PALO VERDE
	PARKINSONIA MICROPHYLLA Foothills PALO VERDE
	PARKINSONIA FLORIDA BLUE PALO VERDE
	PARKINSONIA FLORIDA BLUE PALO VERDE
	PARKINSONIA MICROPHYLLA Foothills PALO VERDE

Ironwood Planning

Landscape Architecture
Land Planning

Phoenix Office

(Ph.) 480-540-7556

(Fax) 623-362-2813

25809 N. 55th Dr.

Phoenix, AZ 85083

Email: brad@ironwood.com

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it connects with the project.

Landscape Improvement Plans

THE VILLAS AT TROON NORTH

Scottsdale, Arizona

Troon Eagles, L.L.C.

8325 East Via De Las Flores

Scottsdale, Arizona 85258

DATE: 01-11-2005
DRAWN: CLM: MMS
APPROVED: JMM: JMM

Project Number: 08100

Design By: JMM

Issue Title: 08/08/08

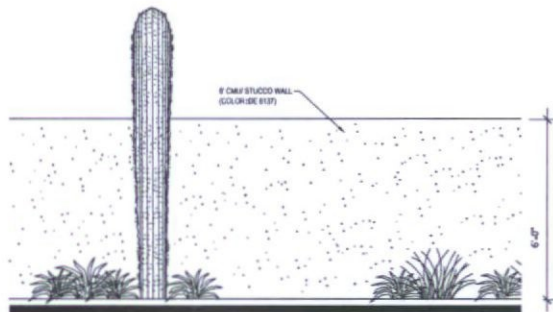
Scale: Not Plan

Revisions:

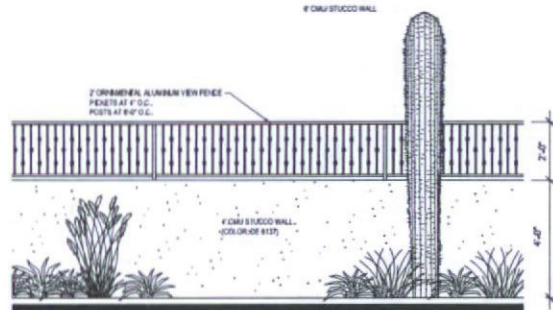
LEGENDS AND
NOTES

Sheet Number

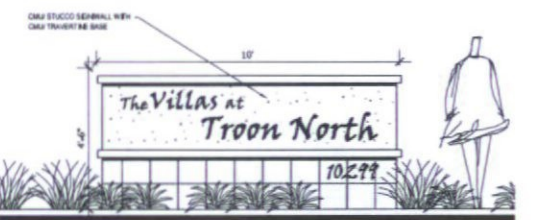
LN-01



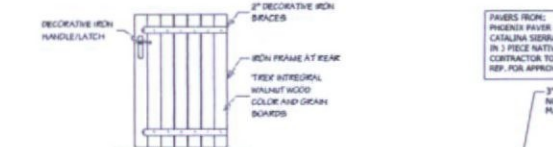
A 6' CMU / STUCCO WALL ELEVATION SCALE: 1/2"=1'-0"



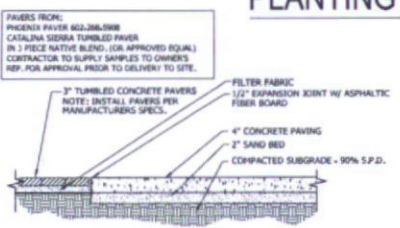
B 2' VIEW OVER 4' CMU/ STUCCO WALL ELEVATION SCALE: 1/2"=1'-0"



C CONCEPTUAL SIGN ELEVATION SCALE: 1/2"=1'-0"

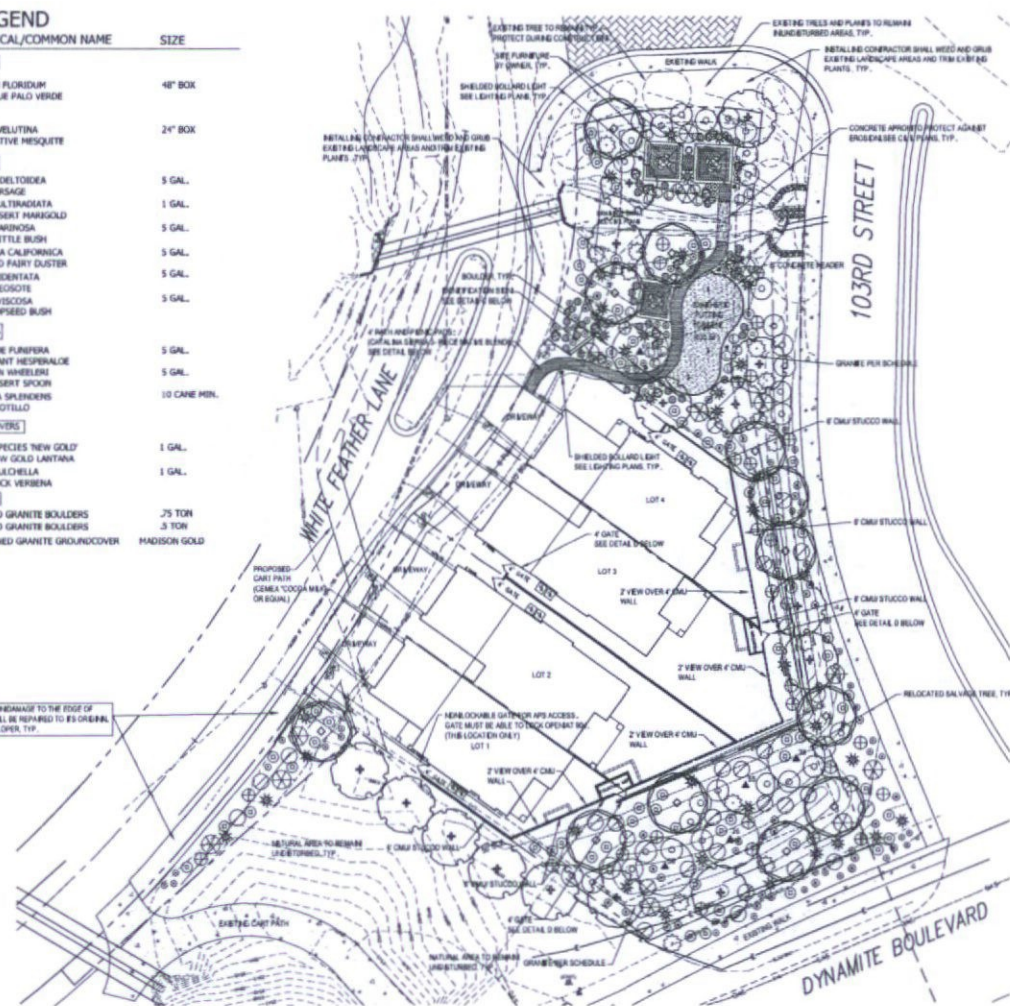


D TYPICAL 6' GATE ELEVATION NO SCALE



E OPEN SPACE PAVING DETAIL NO SCALE

PLANT LEGEND		
SYMBOL	BOTANICAL/COMMON NAME	SIZE
TREES		
○	CERCIDIMUM FLORIDUM BLUE PALM VERDE	48" BOX
+	PROSOPIS VELUTINA NATIVE MESQUITE	24" BOX
SHRUBS		
●	AMBROSIA DELTOIDEA BURSAGE	5 GAL.
●	BAILEYA MULTIRADATA DESERT MARIGOLD	1 GAL.
●	ENCELIA PARVIFLORA BUTTLE BUSH	5 GAL.
●	CALLANDRA CALIFORNICA RED FAIRY DUSTER	5 GAL.
●	LARREA TRIDENTATA CREOSOTE	5 GAL.
●	DODONAEA VISCOSA HOPSEED BUSH	5 GAL.
ACCENTS		
○	HEPERALOE PUNIFERA GIANT HESPERALOE	5 GAL.
○	DAISYLIRION VANDERLII DESERT SPOON	5 GAL.
○	POLYQUERIA SPLENDENS OCOTILLO	10 CANE MIN.
GROUNDCOVERS		
○	LANTANA SPECIES 'NEW GOLD' NEW GOLD LANTANA	1 GAL.
○	VERBENA PULCHELLA ROCK VERBENA	1 GAL.
MATERIALS		
○	WEATHERED GRANITE BOULDERS	25 TON
○	WEATHERED GRANITE BOULDERS	3 TON
○	1/2" SCREENED GRANITE GROUNDCOVER	MADISON GOLD



PLANTING PLAN



RELOCATED SALVAGE INVENTORY

SYMBOL	SALVAGE MATERIAL
○	REFER TO INVENTORY CHART ON THIS SHEET TO CROSS REFERENCE SPECIFIC PLANT I.D. NUMBER.
○	TREE TO BE SALVAGED AND RELOCATED (4 TREES TOTAL)
○	PARKINSONIA MICRORHYLLA Foothills Palo Verde
○	PARKINSONIA MICRORHYLLA Foothills Palo Verde
○	PARKINSONIA FLORIDA BLUE PALM VERDE
○	PARKINSONIA FLORIDA BLUE PALM VERDE
○	PARKINSONIA FLORIDA BLUE PALM VERDE

Ironwood Planning
Landscape Architecture
Land Planning

Phoenix Office
(Ph.) 480-540-7556
(Fax) 623-362-2813

25809 N. 55th Dr.
Phoenix, AZ 85083

Email: bruce@ironwoodplanning.com

These drawings and specifications are to be an indication of the work to be performed by the contractor. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

Landscape Improvement Plans
THE VILLAS AT TROON NORTH
Scottsdale, Arizona

Troon Eagles, LLC
8325 East Via De Las Flores
Scottsdale, Arizona 85258

CLASH: 10-11-2006
MCH: 10-11-2006
APR: 10-11-2006

Project Number:	00100
Drawn By:	BM
Issue Date:	10/11/06
Scale:	See Plan
Revisions:	



CALL THE NUMBER ON
THIS CARD FOR
802-263-1100
1-800-STAKE-IT
(COURTESY MICHIGAN COUNTY)

PLANTING PLAN

Sheet Number

PL-01

IRRIGATION SCHEDULE

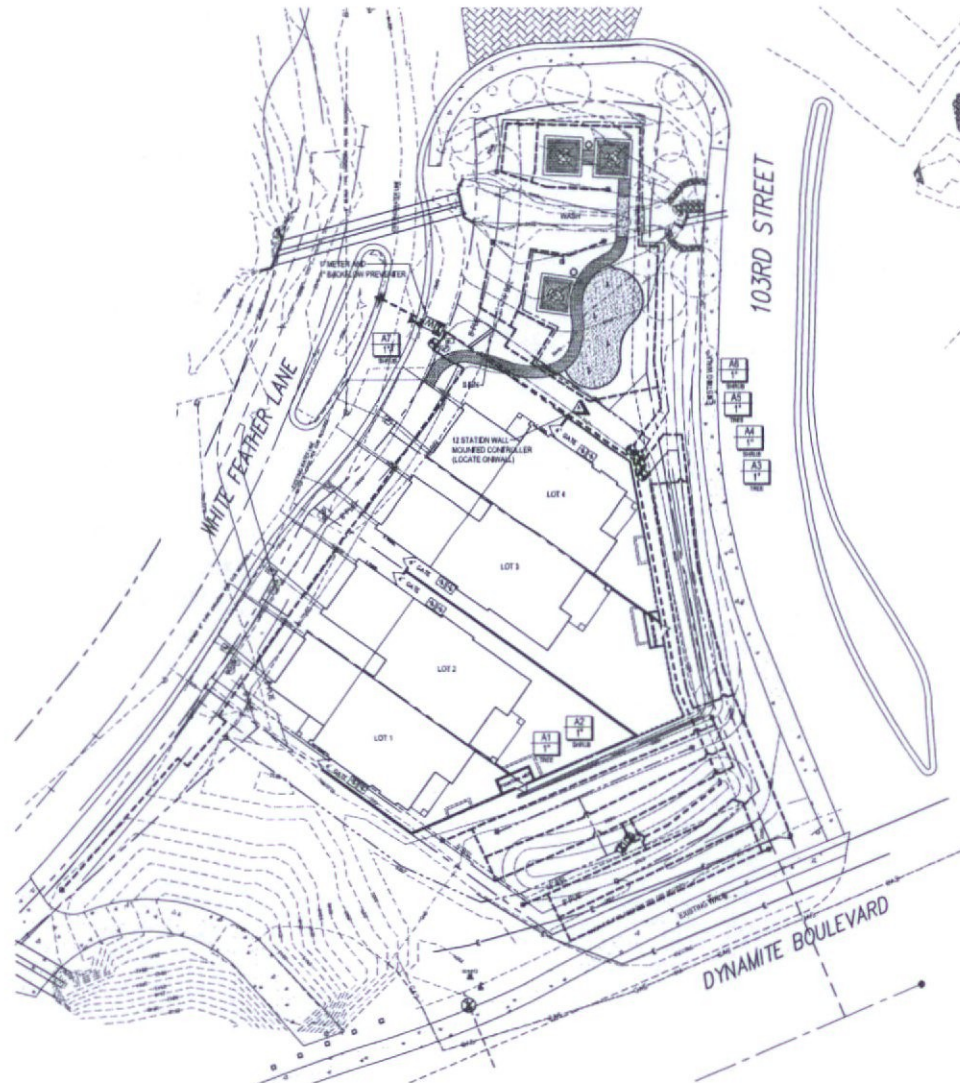
SYMBOL	ITEM	DESCRIPTION	REMARKS
		1" WATER METER	FIELD VERIFY LOCATION
		1" BACKFLOW PREVENTER (IN SECURITY CAGE)	FIELD VERIFY LOCATION
	RAINBIRD	#100 PEB SERIES ELECTRONIC REMOTE CONTROL CRIP VALVE WITH AN R81-100-200 PEX SERIES WATT WYE STRAINER	SIZE: 1" THROUGHOUT
	RAINBIRD	PSI-M300 PRESET PRESSURE REGULATOR OR EQUAL	SEE DETAIL
		PVC MAINLINE, SCH. 40	1 1/2" THROUGHOUT
		1" PVC DRIP LATERAL, CLASS 200 OR BETTER (SHRUB LATERAL)	
		1" PVC DRIP LATERAL, CLASS 200 OR BETTER (TREE LATERAL)	
		PVC SLEEVING, SCH. 40	4" SCH. 40
	SPEARS	MALE ADAPTOR, M-66-P MALE FLUSH CAP	SEE DETAIL
	RAINBIRD	MC-Plus 8 50788 AUTOMATIC WALL MOUNTED CONTROLLER 12 STATION BRASS GATE VALVE	WALL MOUNT PER MANUF. SPECIFICATIONS LINE SIZE

BOWSMITH EMITTER NOTES

1. INSTALL ONE SR8 (1.2 GPH) SINGLE OUTLET EMITTER PER SHRUB OR GROUND COVER AS REQUIRED. SEE LANDSCAPE SCHEDULE FOR APPROPRIATE EMITTER APPLICATION (SEE DETAIL.)
2. INSTALL ONE SR18 (1.2 GPH) SINGLE OUTLET EMITTER PER SHRUB OR GROUND COVER AS REQUIRED. SEE LANDSCAPE SCHEDULE FOR APPROPRIATE EMITTER APPLICATION (SEE DETAIL.)
3. INSTALL (Q9 - Vario) SR10 (1.0 GPH) SINGLE OUTLET EMITTER PER TREE AS REQUIRED. (SEE DETAIL.)
4. INSTALL ALL EMITTERS UP GRADE FROM PLANT MATERIAL.
5. USE RIGID PVC AS EMITTER LATERALS THROUGHOUT.
6. INSTALL FLUSH END CAPS AT ALL ENDS OF LATERALS AS SHOWN.
7. INSTALL ALL EQUIPMENT AS PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

PIPE SIZING SCHEDULE

PIPE SIZE	GAL./MIN.	PIPE SIZE	GAL./MIN.
1/2"	5.5	1 1/4"	14.25
3/4"	8.25	1 1/2"	26.25
1"	11.0	2"	76.0



IRRIGATION PLAN

Ironwood Planning
Landscape Architecture
Land Planning

Phoenix Office
(Ph.) 480-540-7556
(Fax) 623-362-2813
25809 N. 55th Dr.
Phoenix, AZ 85083
Email: bruce@ironwood.com

These drawings and specifications are to be an integral part of the contract documents for the project. They are not to be used as a basis for any other project or for any other purpose without the express written consent of Ironwood Planning, L.L.C. Ironwood Planning, L.L.C. is not responsible for the accuracy, completeness, or the ability to perform the project as shown on these drawings and specifications.

Landscape Improvement Plans
THE VILLAS AT TROON NORTH
Scottsdale, Arizona

Troon Eagles, L.L.C.
8325 East Via De Las Flores
Scottsdale, Arizona 85258
CLASH NAME: 0-PP-2005
DATE: 01/10/08
APP: 216-72-884

Project Number: 08100
Owner: IRI
Issue Date: 10/2/08
Scale: See Plan
Revisions:

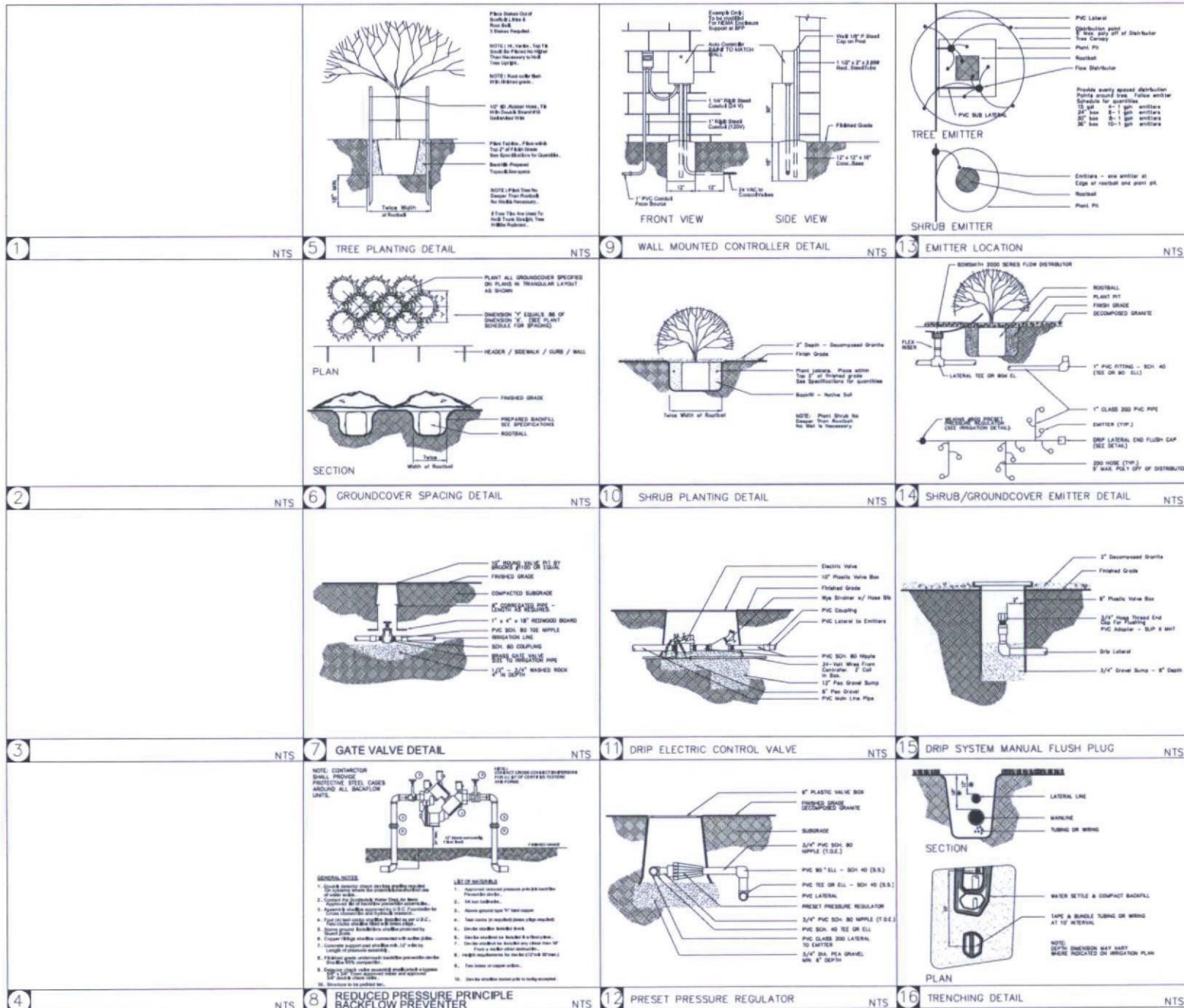


CALL THE DESIGNER
FOR MORE INFO
602-263-1100
1-800-STAKE-IT
(NORTH ARIZONA ONLY)

IRRIGATION PLAN

Sheet Number

IR-01



Ironwood Planning
Landscape Architecture
Land Planning

Phoenix Office
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25809 N. 55th Dr.
Phoenix, AZ 85083

lrm@ironwoodplanning.com

These drawings and specifications are to be used in conjunction with the plans and specifications of the project. The user assumes all responsibility for the use of these drawings and specifications. Ironwood Planning, L.L.C. is not responsible for the use of these drawings and specifications in any other project.

Landscape Improvement Plans
THE VILLAS AT TROON NORTH
Scottsdale, Arizona

Truon Eagles, L.L.C.
8325 East Via De Las Flores
Scottsdale, Arizona 85258

CLIMATE: 10-PP-2008
DATE: 10-PP-2008
SCALE: 1/8" = 1'-0"

Project Number: 045100
Revision: 01
Issue Date: 10/5/18
Scale: See Plan
Notes:



CALL FOR MORE INFO
802-263-1100
1-800-STAKE-IT
(OFFICE: DENVER, CO)

LANDSCAPE DETAILS

Sheet Number
D-01

GENERAL NOTES

- ALL TELEPHONE AND ELECTRIC LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATE COMMISSION, GENERAL ORDER U-48.
- PUBLIC UTILITY EASEMENTS ARE ALSO DESIGNATED AS CABLE TELEVISION EASEMENTS.
- EASEMENTS ARE DEDICATED TO THE CITY FOR THE PURPOSE SHOWN, AND MUST BE MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION.
- THE STREETS ARE PRIVATE STREETS, TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION. AFTER THE PLAT IS RECORDED, THE CITY OF SCOTTSDALE WILL NOT ACCEPT DEDICATION OF THE STREETS TO BE PUBLIC IN ORDER TO RELIEVE THE PROPERTY OWNER'S ASSOCIATION OF THE STREET MAINTENANCE RESPONSIBILITY UNLESS ALL STREET IMPROVEMENTS AND RIGHTS-OF-WAY MEET CURRENT APPLICABLE CITY STANDARDS.
- CONSTRUCTION WITHIN PUBLIC UTILITY EASEMENTS SHALL BE LIMITED TO WOOD, WIRE OR REMEDIABLE STREET TYPE FINISH.
- THOSE AREAS DESIGNATED COMMON AREAS SHALL NOT BE ACCEPTED FOR MAINTENANCE OR OWNERSHIP BY THE CITY WITHOUT COMPRESSED ACTION OF THE CITY COUNCIL. BEFORE ANY IMPROVEMENT IS ACCEPTED, IT SHALL MEET CITY STANDARDS. FAILURE TO MAINTAIN THE DESIGNATED COMMON AREAS COULD RESULT IN A CIVIL ACTION BROUGHT BY THE CITY FOR COSTS INCURRED BY THE CITY FOR SAME MAINTENANCE.
- ZONING 10-4-R (H/LC) (ECL).
- AREA DEDICATED TO NATURAL OPEN SPACE SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE.

BENCHMARKS

BRASS CAP AT THE INTERSECTION OF DYNAMITE BOULEVARD AND CLUB HOUSE ROAD. ELEVATION = 2536.17 CITY OF SCOTTSDALE DATA.

DEVELOPER

SCOTT NORTH CONSTRUCTION, INC.
353 SCHAEFFER OUTLOOK
HEMLOCK, WA 98149
(206) 886-2853

DRAINAGE FACILITIES AND EASEMENT MAINTENANCE

ON THE GREEN AT TROON NORTH PROPERTY OWNERS ASSOCIATION

ON THE GREEN AT TROON NORTH

A SUBDIVISION OF THE SOUTH 1/2 OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE MERIDIAN, MARICOPA COUNTY, ARIZONA

REPLAT

LEGAL DESCRIPTION

PARCEL 1A & 1B

THOSE PORTIONS OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 29 FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 29 BEARS S 89°52'20" E, A DISTANCE OF 263.81 FEET;

THENCE N 15°14'43" E, A DISTANCE OF 635.60 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF DYNAMITE BOULEVARD AS SHOWN IN BOOK 332, PAGE 43, IN THE OFFICE OF MARICOPA COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE N 89°22'25" E, A DISTANCE OF 149.21 FEET TO A POINT OF CURVATURE TO THE LEFT WHOSE CENTER BEARS N 45°37'24" E, A RADIUS OF 150.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 85°38'10", AN ARC DISTANCE OF 250.37 FEET;

THENCE N 51°57'01" E, A DISTANCE OF 3.30 FEET;

THENCE N 10°20'50" E, A DISTANCE OF 10.00 FEET TO A POINT OF CURVATURE TO THE LEFT WHOSE CENTER BEARS N 12°20'18" E, A RADIUS OF 75.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 17°37'30", AN ARC DISTANCE OF 22.89 FEET;

THENCE N 84°58'30" E, A DISTANCE OF 802.35 FEET;

THENCE N 75°25'50" E, A DISTANCE OF 812.28 FEET;

THENCE N 75°25'50" E, A DISTANCE OF 214.14 FEET TO A POINT OF CURVATURE TO THE LEFT WHOSE CENTER BEARS N 14°50'30" E, A RADIUS OF 150.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 77°40'31", AN ARC DISTANCE OF 167.63 FEET;

THENCE N 88°30'30" E, A DISTANCE OF 43.29 FEET;

THENCE N 78°16'50" E, A DISTANCE OF 36.82 FEET TO A POINT OF CURVATURE TO THE RIGHT WHOSE CENTER BEARS S 11°57'31" E, A RADIUS OF 15.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 11°57'31", AN ARC DISTANCE OF 3.30 FEET;

22°21'34", AN ARC DISTANCE OF 44.88 FEET;

THENCE S 08°07'32" E, A DISTANCE OF 34.80 FEET;

THENCE S 07°08'34" E, A DISTANCE OF 34.83 FEET;

THENCE S 10°29'10" E, A DISTANCE OF 180.41 FEET;

THENCE S 22°24'20" E, A DISTANCE OF 30.24 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID DYNAMITE BOULEVARD;

THENCE S 67°00'10" E, A DISTANCE OF 80.76 FEET;

THENCE N 54°38'27" E, CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID DYNAMITE BOULEVARD, A DISTANCE OF 122.11 FEET;

THENCE S 48°29'43" E, CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID DYNAMITE BOULEVARD, A DISTANCE OF 125.18 FEET;

THENCE S 05°48'10" E, CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID DYNAMITE BOULEVARD, A DISTANCE OF 65.84 FEET;

THENCE S 67°00'10" E, CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID DYNAMITE BOULEVARD, A DISTANCE OF 70.24 FEET TO A POINT OF CURVATURE TO THE RIGHT WHOSE CENTER BEARS N 37°00'10" E, A RADIUS OF 232.50 FEET;

THENCE CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID DYNAMITE BOULEVARD AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 107°00'10", AN ARC DISTANCE OF 364.44 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL 1A AND 1B CONTAINS 630,872.37 SQUARE FEET OR 14.68 ACRES, MORE OR LESS.

PARCEL 2A & 2B

THOSE PORTIONS OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE FULLY DESCRIBED AS FOLLOWS:

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SAID PARCEL 2A AND 2B CONTAINS 545,345.80 SQUARE FEET, OR 12.40 ACRES, MORE OR LESS.

BOOK 398 PAGE 05
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HULEN PARCELL
95-0317352
06/10/195 02:49

DEDICATION

STATE OF ARIZONA
COUNTY OF MARICOPA

398-05

KNOW ALL MEN BY THESE PRESENTS:

THAT HORTISTAR LEO INVESTMENTS, INC., AN ARIZONA CORPORATION, AS OWNER, HAS SUBDIVIDED THE GREEN AT TROON NORTH, THAT PART OF THE SOUTH ONE HALF OF SECTION 29, TOWNSHIP 5 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND HEREBY DECLARES THAT SAID PLAT SETS FORTH AND OWNS THE BOUNDARIES OF THE LOTS, STREETS, EASEMENTS AND TRACTS CONSTITUTING THE SAME, AND THAT EACH LOT, STREET, EASEMENT AND TRACT SHALL BE KNOWN BY THE NUMBER, NAME OR LETTER GIVEN TO EACH ON SAID PLAT. TRACTS "A" THROUGH "Y" AND "Z" THROUGH "Z" SHALL BE DESIGNATED TO THE ON THE GREEN AT TROON NORTH HOMEOWNERS ASSOCIATION, AN ARIZONA NOT-FOR-PROFIT CORP., FOR THE USE AND ENJOYMENT OF THE HOMEOWNERS AND THEIR INHERITED INTERESTS. TRACTS "A" AND "Z" SHALL BE DESIGNATED AS EASEMENTS FOR HIGHWAYS AND EGRESS AS WELL AS PUBLIC UTILITIES. TRACT "Z" THROUGH "Y" ARE DESIGNATED AS NATURAL OPEN SPACE, DRAINAGE CHANNELS, COMMON GRASSES AND FOR OPEN SPACE. ALL RIGHTS TO TRACTS "A" AND "Z" ARE HEREBY RETAINED BY HORTISTAR LEO INVESTMENTS, INC., AN ARIZONA CORPORATION, FOR FUTURE DEVELOPMENT INTEREST.

1. TO THE CITY OF SCOTTSDALE ("SCOTTSDALE") AND ANY PUBLIC SERVICE CORPORATION REGULARLY PURSUANT TO THE ARIZONA REVISED STATUTES AS SUCCESSORLY AMENDED, WHICH PROVIDES NECESSARY GOVERNMENTAL SERVICES, REFUSE COLLECTION OR EMERGENCY SERVICES, AND EASEMENT IN, OVER AND UNDER THE AREAS DESIGNATED HEREON AS TRACTS "A" AND "Z" FOR THE PROVISION OF NECESSARY GOVERNMENTAL SERVICES, REFUSE COLLECTION SERVICES AND FOR ACCESS BY EMERGENCY VEHICLES.

2. TO THE CITY OF SCOTTSDALE ("SCOTTSDALE") AND ANY PUBLIC SERVICE CORPORATION REGULARLY PURSUANT TO THE ARIZONA REVISED STATUTES AS SUCCESSORLY AMENDED, WHICH PROVIDES ELECTRICAL, SEWER, GAS, WATER, CABLE TELEVISION OR TELEPHONE SERVICE ("PUBLIC UTILITIES"), AN EASEMENT IN, OVER AND UNDER THE AREAS DESIGNATED HEREON AS PUBLIC UTILITY EASEMENT ("PUE") FOR THE INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF NECESSARY UNDERGROUND PUBLIC UTILITIES.

3. TO THE CITY OF SCOTTSDALE, DRAINAGE EASEMENTS ("D.E.") FOR THE PURPOSE OF CONSTRUCTION, OPERATION, REPLACEMENT AND REPAIR OF LEVELS, DITCHES, CHANNELS AND OTHER WORKS OF DRAINAGE OR FLOOD CONTROL, IN AND OVER A PORTION OF THE AREAS DESIGNATED AS SUCH HEREON AN EASEMENT UPON, OVER AND UNDER THE REAL PROPERTY DESCRIBED HEREON. MAINTENANCE OF THE DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION A NOT-FOR-PROFIT ASSOCIATION OF HOMEOWNERS WITHIN PARCELS 1 AND 2, UPON FORMATION OF SUCH ASSOCIATION.

4. TO THE CITY OF SCOTTSDALE, NATURAL OPEN SPACE ("N.O.S.") EASEMENT UPON, OVER AND UNDER THE AREAS DESIGNATED AS SUCH HEREON FOR THE PURPOSE OF PERMANENTLY PRESERVING SUCH LANDS IN ITS NATURAL SETTING STATE. THE N.O.S. EASEMENT SHALL NOT BE USED FOR ANY PURPOSE INCONSISTENT WITH THE PRESERVATION OF SAID LAND IN ITS NATURAL STATE AND NO GRADING, DRAINAGE, EXCAVATION OR CONSTRUCTION OF ANY STRUCTURE OR DEVELOPMENT OF ANY KIND SHALL BE PERMITTED ON OR WITHIN SAID EASEMENT EXCEPT AS ALLOWED UNDER CITY OF SCOTTSDALE ORDINANCES.

IN WITNESS WHEREOF, HORTISTAR LEO INVESTMENTS, INC., AN ARIZONA CORP., AS OWNER HAS CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF GLEN S. COLLARD, VICE PRESIDENT, HERETOBY DULY AUTHORIZED.

THIS 19th DAY OF MAY 1985.
BY Glen S. Collard VICE PRESIDENT
Hortistar Leo Investments, Inc.

APPROVALS
THIS SUBDIVISION IS IN THE CITY OF SCOTTSDALE WATER SYSTEM WHICH HAS A CERTIFICATE OF ASSIGNED WATER SUPPLY. THIS PLAT HAS BEEN APPROVED BY THE CITY OF SCOTTSDALE, ARIZONA, RES. 15th DAY OF MAY 1985.
BY R. L. Taylor Mayor
DATE 5/10/85
BY John L. Schuler City Clerk
DATE 5/10/85

I HEREBY CERTIFY THAT THIS PLAT SUBSTANTIALLY CONFORMS TO THE APPROVED PRELIMINARY PLAT.
BY John L. Schuler PROJECT REVIEW DIRECTOR
DATE 5-16-85

I HEREBY CERTIFY THAT ALL ENGINEERING CONDITIONS AND REQUIREMENTS OF THE ORDINANCES HAVE BEEN COMPLIED WITH.
BY David J. Glick PROJECT REVIEW MANAGER
DATE 5/21/85

ACKNOWLEDGEMENT

STATE OF ARIZONA

COUNTY OF MARICOPA

ON THIS 19th DAY OF MAY 1985 BEFORE ME, THE UNDERSIGNED, GLEN S. COLLARD, WHO ACKNOWLEDGED HIMSELF TO BE THE VICE PRESIDENT OF HORTISTAR LEO INVESTMENTS, INC., AN ARIZONA CORPORATION, AND ACKNOWLEDGED THAT HE, GLEN S. COLLARD, WAS DULY AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SUCH INSTRUMENT.

IN WITNESS WHEREOF:
I HERETOBY SET MY OFFICIAL SEAL
BY Glen S. Collard VICE PRESIDENT
Hortistar Leo Investments, Inc.
MY COMMISSION EXPIRES

CERTIFICATION - REGISTERED LAND SURVEYOR

I HEREBY CERTIFY THAT THIS PLAT AND THE ASSOCIATED SURVEY HAVE BEEN ACCOMPLISHED UNDER MY DIRECTION, AND THAT IT MEETS THE MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS.

N.A.O.S. AREAS	
DESCRIPTION	AREA (SF)
N.A.O.S. (PROVIDED)	247,845
N.A.O.S. (REQUIRED)	243,370

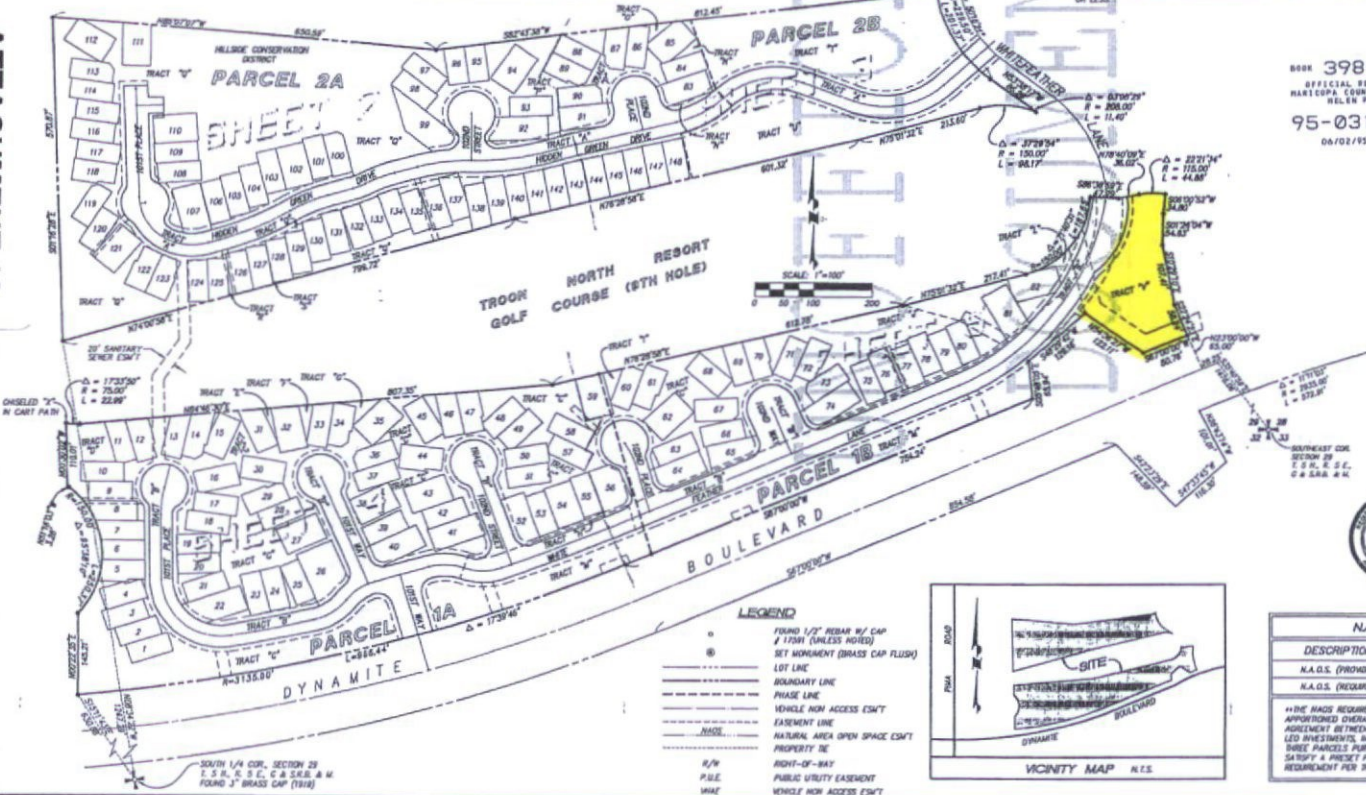
***THE HADS REQUIREMENT OF THIS PARCEL IS BASED ON AN APPORTIONED OVERALL REQUIREMENT WHICH WAS PART OF AN AGREEMENT BETWEEN THE PROPERTY OWNERS AND HORTISTAR LEO INVESTMENTS, INC. THE INTENT BEING THAT EACH OF THE THREE PARCELS PURCHASED UNDER THAT AGREEMENT WILL SATISFY A PROPER PERCENTAGE OF THE TOTAL OVERALL HADS REQUIREMENT PER THE MASTER PLANS.

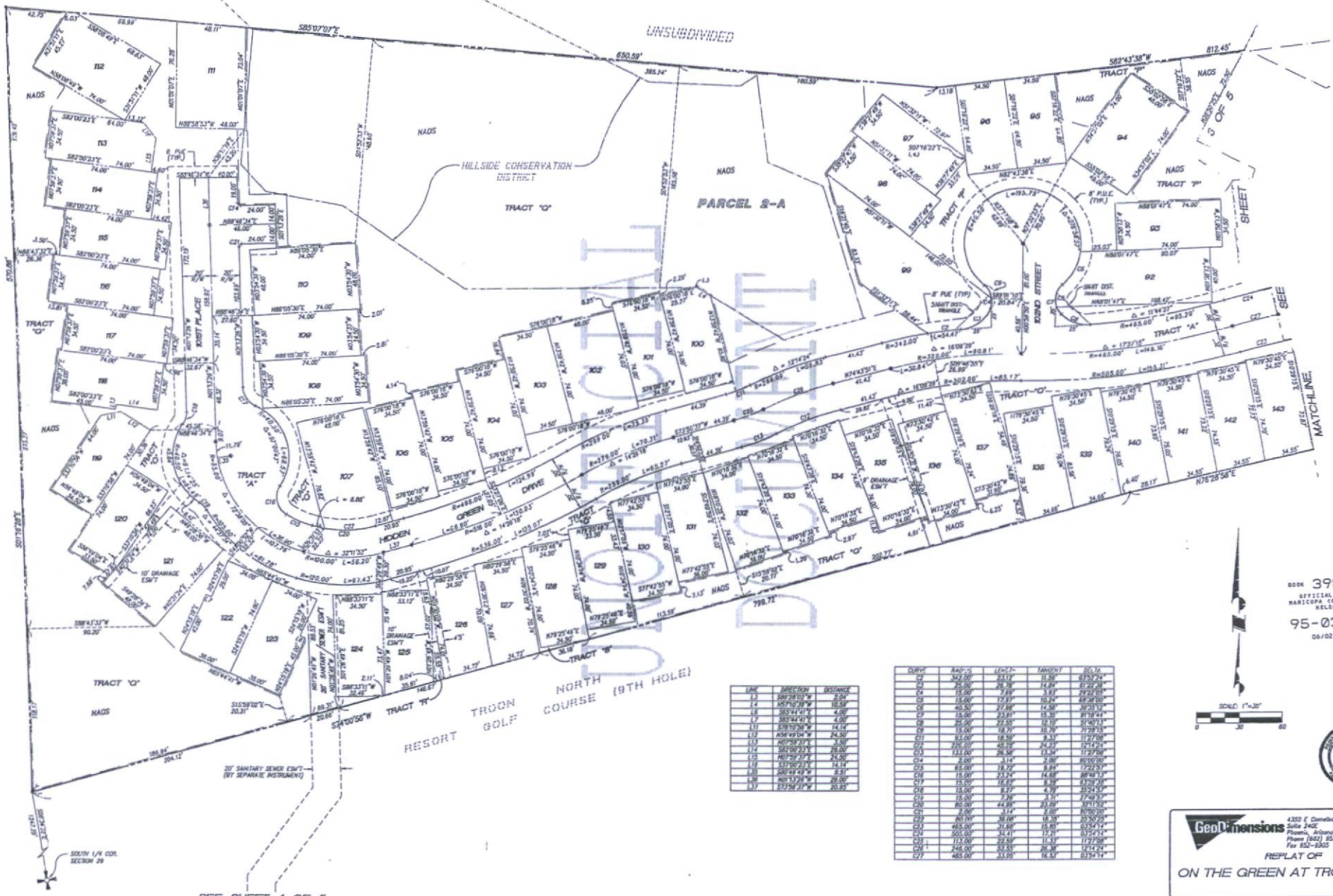
GeoDimensions
4330 E. Camelback Road, Phoenix, Arizona 85018-1000
Phone: (602) 852-0788
Fax: (602) 852-0788
• Civil Engineering
• Surveying
• Water Resources
• Construction Services

REPLAT OF
ON THE GREEN AT TROON NORTH

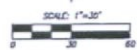
SHEET 1 OF 5

ATTACHMENT 10





BOOK 398 PAGE 05
 OFFICIAL RECORDS &
 BARBERS COUNTY REC-OP-CR
 KELLER PURCEL
 95-0317352
 06/02/95 02:49



LINE	DIRECTION	DISTANCE
1	S 89° 10' 00" W	1.00
2	S 89° 10' 00" W	1.00
3	S 89° 10' 00" W	1.00
4	S 89° 10' 00" W	1.00
5	S 89° 10' 00" W	1.00
6	S 89° 10' 00" W	1.00
7	S 89° 10' 00" W	1.00
8	S 89° 10' 00" W	1.00
9	S 89° 10' 00" W	1.00
10	S 89° 10' 00" W	1.00
11	S 89° 10' 00" W	1.00
12	S 89° 10' 00" W	1.00
13	S 89° 10' 00" W	1.00
14	S 89° 10' 00" W	1.00
15	S 89° 10' 00" W	1.00
16	S 89° 10' 00" W	1.00
17	S 89° 10' 00" W	1.00
18	S 89° 10' 00" W	1.00
19	S 89° 10' 00" W	1.00
20	S 89° 10' 00" W	1.00

LINE	BEARING	DISTANCE	AREA	PERCENT
1	S 89° 10' 00" W	1.00	0.00	0.00
2	S 89° 10' 00" W	1.00	0.00	0.00
3	S 89° 10' 00" W	1.00	0.00	0.00
4	S 89° 10' 00" W	1.00	0.00	0.00
5	S 89° 10' 00" W	1.00	0.00	0.00
6	S 89° 10' 00" W	1.00	0.00	0.00
7	S 89° 10' 00" W	1.00	0.00	0.00
8	S 89° 10' 00" W	1.00	0.00	0.00
9	S 89° 10' 00" W	1.00	0.00	0.00
10	S 89° 10' 00" W	1.00	0.00	0.00
11	S 89° 10' 00" W	1.00	0.00	0.00
12	S 89° 10' 00" W	1.00	0.00	0.00
13	S 89° 10' 00" W	1.00	0.00	0.00
14	S 89° 10' 00" W	1.00	0.00	0.00
15	S 89° 10' 00" W	1.00	0.00	0.00
16	S 89° 10' 00" W	1.00	0.00	0.00
17	S 89° 10' 00" W	1.00	0.00	0.00
18	S 89° 10' 00" W	1.00	0.00	0.00
19	S 89° 10' 00" W	1.00	0.00	0.00
20	S 89° 10' 00" W	1.00	0.00	0.00

GeoDimensions
 4350 E Camelback Road • Phoenix, AZ 85018 • DME Engineering
 Phone (602) 855-8708 • Fax (602) 855-8708 • Water Resources
 For 855-8708 • Construction Services

REPLAT OF
 ON THE GREEN AT TROON NORTH

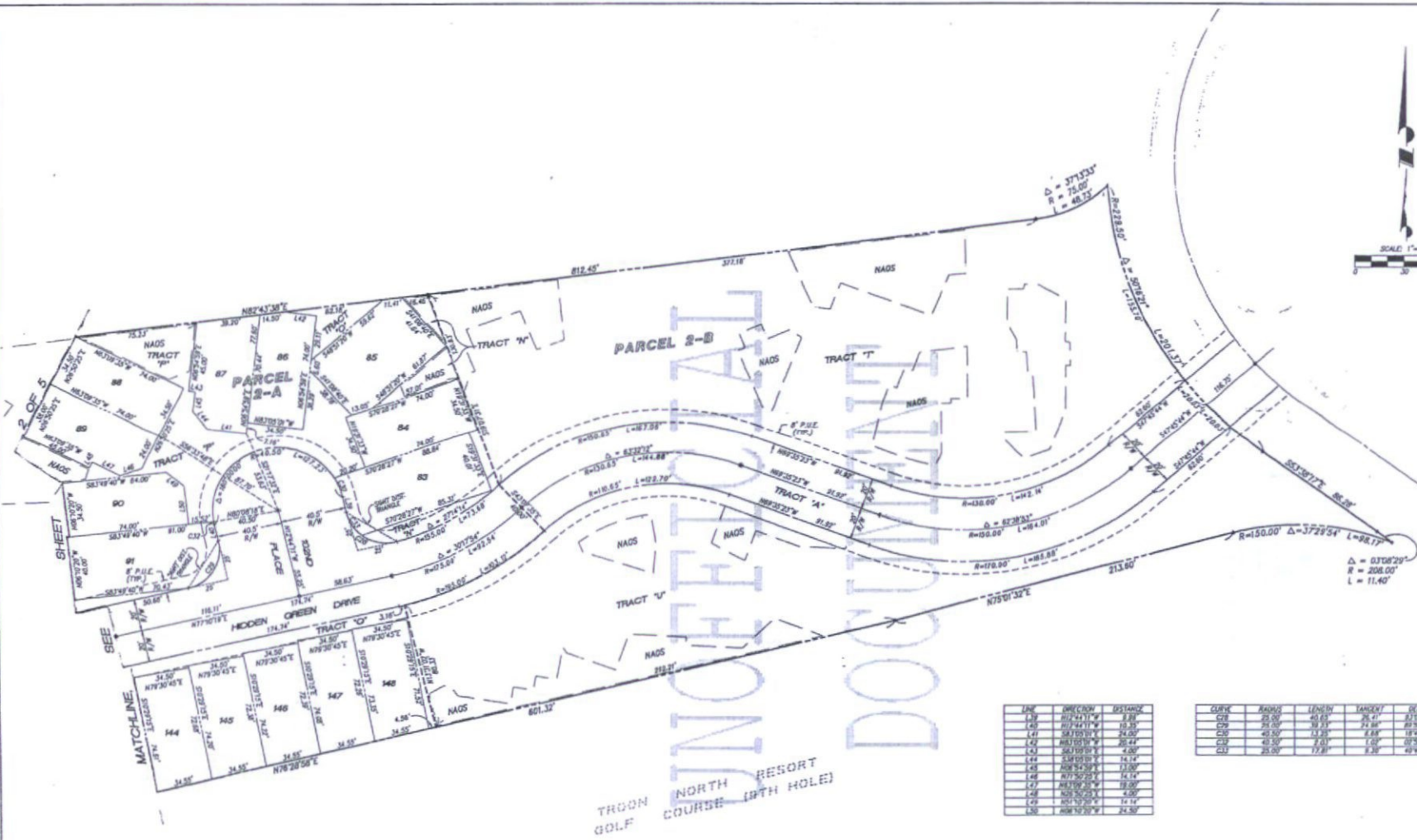
SHEET 2 OF 5

PROJ. NO. 85003 DWT POY DDD CDD DATE 4-28-95

398-05



BOOK 398 PAGE 05
 OFFICIAL RECORDS OF
 HARRIS COUNTY RECORDS
 HELEN PURCELL
 95-0317352
 08/02/95 02145



LINE	DIRECTION	DISTANCE
139	N77°44'11\"	7.80
140	N77°44'11\"	10.30
141	N77°44'11\"	25.00
142	N77°44'11\"	20.44
143	N77°44'11\"	4.80
144	N77°44'11\"	10.14
145	N77°44'11\"	17.00
146	N77°44'11\"	24.14
147	N77°44'11\"	10.00
148	N77°44'11\"	0.00
149	N77°44'11\"	25.50

CURVE	ANGLE	LENGTH	TANGENT	CHORD
C139	25.00	40.00	25.00	25.00
C140	25.00	30.00	24.00	24.00
C141	40.00	13.80	8.80	10.00
C142	40.00	8.00	5.00	6.00
C143	25.00	17.00	8.30	10.00

THOON NORTH RESORT
 GOLF COURSE (18TH HOLE)

SEE SHEET 5 OF 5

4350 E. Cambridge Road • P.O. Box 2406
 Houston, Texas 77058 • Civil Engineering
 Phone (800) 952-8788 • Water Resources
 Fax 800-990-3

REPLAT OF
ON THE GREEN AT THOON NORTH
 SHEET 3 OF 5

PROJ. NO. 85503 DWG. NO. DATE 4-24-95

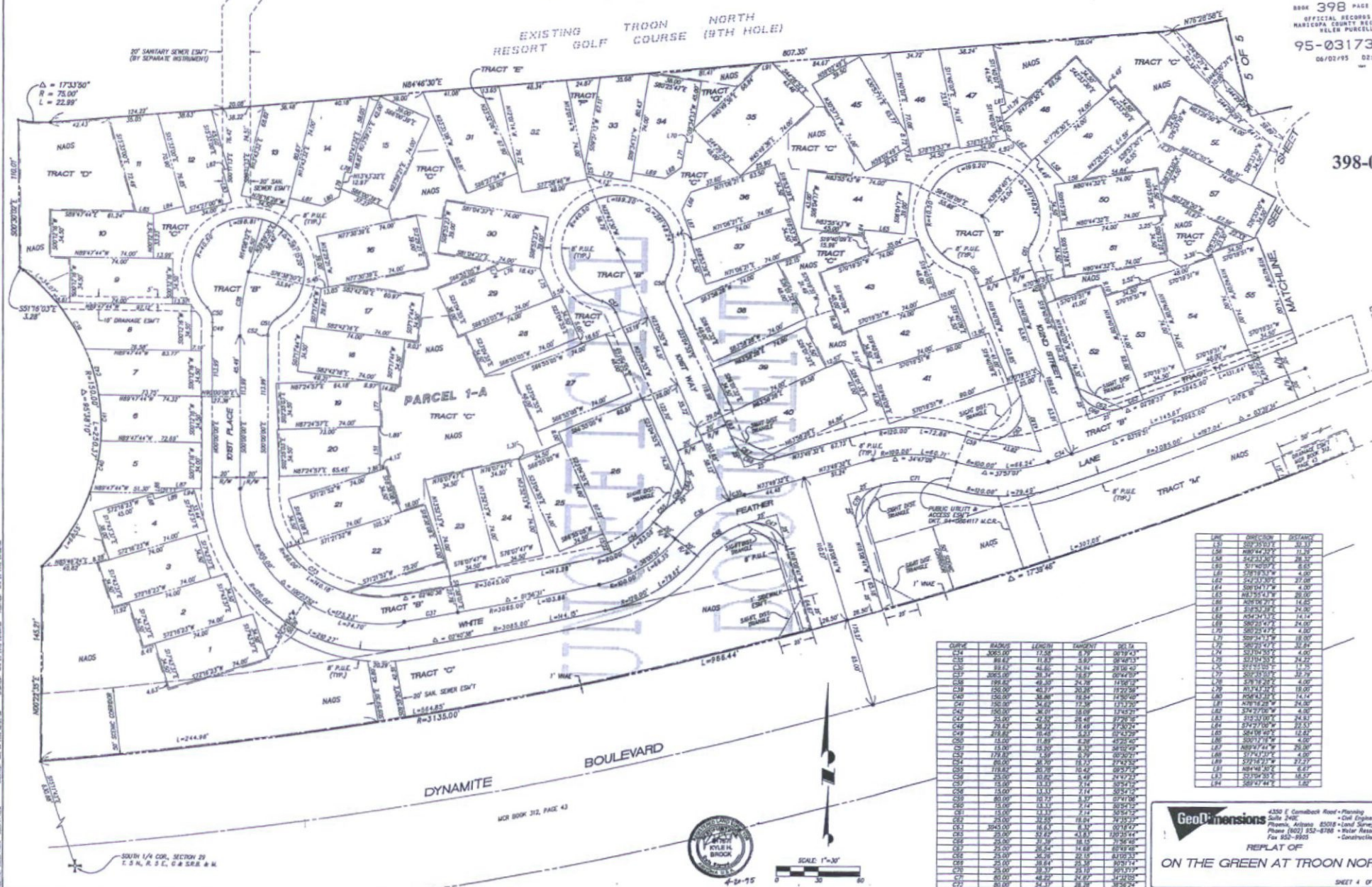
PREPARED BY: R. L. BROWN, JR. CHECKED BY: R. L. BROWN, JR. DATE: 4-24-95
 PLANNED BY: R. L. BROWN, JR. DATE: 4-24-95

SEE SHEET 2 OF 5

EXISTING TROON NORTH
RESORT GOLF COURSE (9TH HOLE)

BOOK 398 PAGE 05
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
95-0317352
06/02/95 02:49

398-05



AREA	PERCENT	LENGTH	WIDTH	AREA
1	100.00	100.00	100.00	10000.00
2	100.00	100.00	100.00	10000.00
3	100.00	100.00	100.00	10000.00
4	100.00	100.00	100.00	10000.00
5	100.00	100.00	100.00	10000.00
6	100.00	100.00	100.00	10000.00
7	100.00	100.00	100.00	10000.00
8	100.00	100.00	100.00	10000.00
9	100.00	100.00	100.00	10000.00
10	100.00	100.00	100.00	10000.00
11	100.00	100.00	100.00	10000.00
12	100.00	100.00	100.00	10000.00
13	100.00	100.00	100.00	10000.00
14	100.00	100.00	100.00	10000.00
15	100.00	100.00	100.00	10000.00
16	100.00	100.00	100.00	10000.00
17	100.00	100.00	100.00	10000.00
18	100.00	100.00	100.00	10000.00
19	100.00	100.00	100.00	10000.00
20	100.00	100.00	100.00	10000.00
21	100.00	100.00	100.00	10000.00
22	100.00	100.00	100.00	10000.00
23	100.00	100.00	100.00	10000.00
24	100.00	100.00	100.00	10000.00
25	100.00	100.00	100.00	10000.00
26	100.00	100.00	100.00	10000.00
27	100.00	100.00	100.00	10000.00
28	100.00	100.00	100.00	10000.00
29	100.00	100.00	100.00	10000.00
30	100.00	100.00	100.00	10000.00
31	100.00	100.00	100.00	10000.00
32	100.00	100.00	100.00	10000.00
33	100.00	100.00	100.00	10000.00
34	100.00	100.00	100.00	10000.00
35	100.00	100.00	100.00	10000.00
36	100.00	100.00	100.00	10000.00
37	100.00	100.00	100.00	10000.00
38	100.00	100.00	100.00	10000.00
39	100.00	100.00	100.00	10000.00
40	100.00	100.00	100.00	10000.00
41	100.00	100.00	100.00	10000.00
42	100.00	100.00	100.00	10000.00
43	100.00	100.00	100.00	10000.00
44	100.00	100.00	100.00	10000.00
45	100.00	100.00	100.00	10000.00
46	100.00	100.00	100.00	10000.00
47	100.00	100.00	100.00	10000.00
48	100.00	100.00	100.00	10000.00
49	100.00	100.00	100.00	10000.00
50	100.00	100.00	100.00	10000.00

LINE	DESCRIPTION	DISTANCE
1	100.00	100.00
2	100.00	100.00
3	100.00	100.00
4	100.00	100.00
5	100.00	100.00
6	100.00	100.00
7	100.00	100.00
8	100.00	100.00
9	100.00	100.00
10	100.00	100.00
11	100.00	100.00
12	100.00	100.00
13	100.00	100.00
14	100.00	100.00
15	100.00	100.00
16	100.00	100.00
17	100.00	100.00
18	100.00	100.00
19	100.00	100.00
20	100.00	100.00
21	100.00	100.00
22	100.00	100.00
23	100.00	100.00
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26	100.00	100.00
27	100.00	100.00
28	100.00	100.00
29	100.00	100.00
30	100.00	100.00
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34	100.00	100.00
35	100.00	100.00
36	100.00	100.00
37	100.00	100.00
38	100.00	100.00
39	100.00	100.00
40	100.00	100.00
41	100.00	100.00
42	100.00	100.00
43	100.00	100.00
44	100.00	100.00
45	100.00	100.00
46	100.00	100.00
47	100.00	100.00
48	100.00	100.00
49	100.00	100.00
50	100.00	100.00

GeoDimensions
4300 E. Camelback Road • Phoenix, Arizona 85018 • Land Surveying
Phone: (602) 525-4788 • Fax: 852-8903
• Civil Engineering • • Surveying • • Construction Services

REPLAT OF
ON THE GREEN AT TROON NORTH

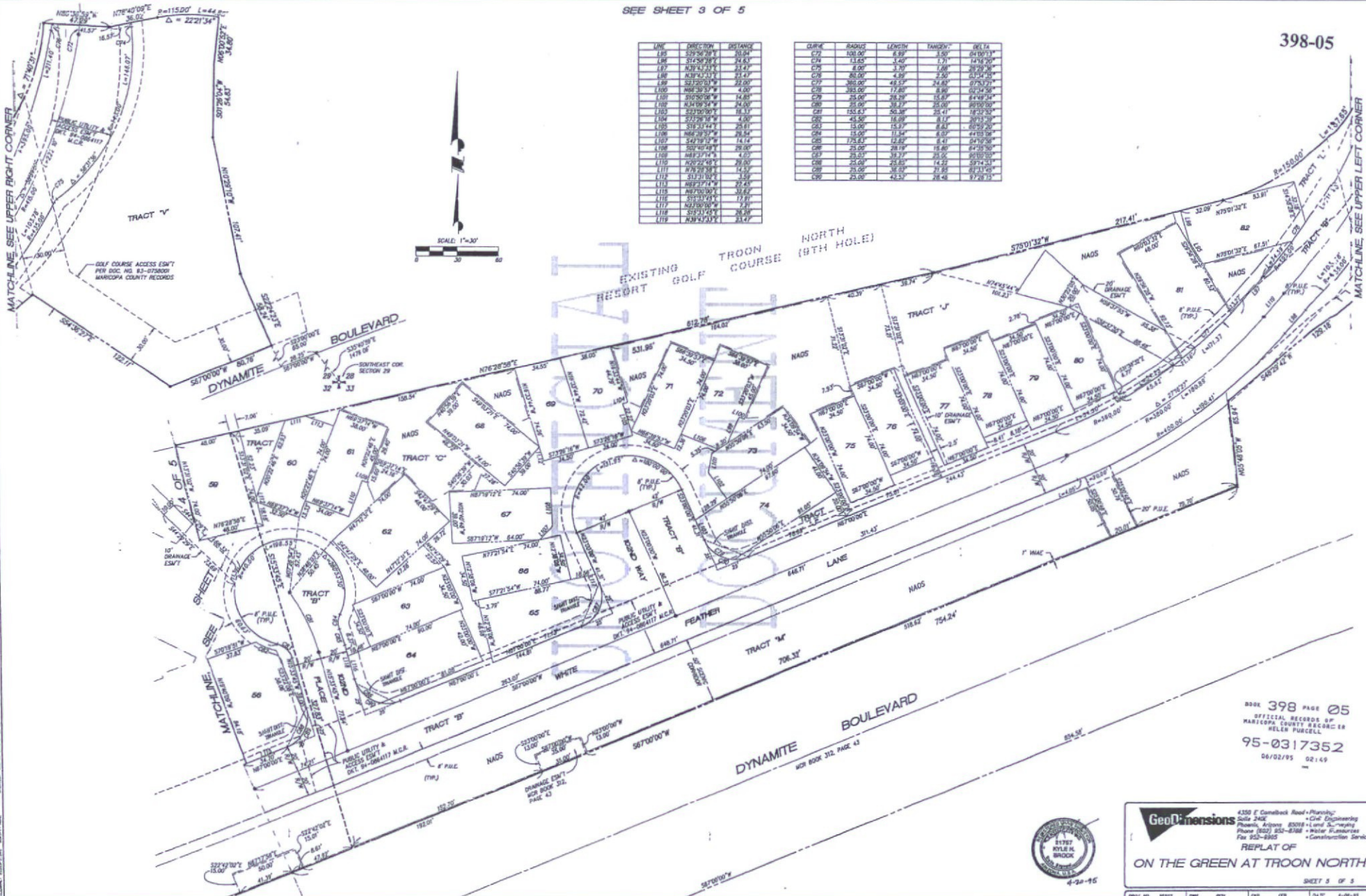
SHEET 4 OF 5

SEE SHEET 3 OF 5

398-05

LINE	DIRECTION	DISTANCE
1.80	S 89° 50' 00" E	33.84
1.81	S 72° 30' 00" E	24.83
1.82	N 70° 11' 11" E	33.27
1.83	N 33° 13' 00" E	21.27
1.84	S 63° 50' 00" E	22.00
1.85	N 60° 30' 00" W	4.00
1.86	N 70° 00' 00" E	14.81
1.87	N 14° 00' 00" W	24.00
1.88	S 73° 10' 00" E	18.37
1.89	S 73° 10' 00" E	1.00
1.90	S 73° 14' 00" E	25.81
1.91	N 60° 30' 00" W	28.84
1.92	S 70° 00' 00" E	28.00
1.93	N 67° 27' 14" E	4.07
1.94	N 70° 00' 00" E	28.00
1.95	S 73° 10' 00" E	12.39
1.96	S 73° 10' 00" E	3.00
1.97	N 67° 27' 14" E	21.44
1.98	N 67° 00' 00" E	31.82
1.99	N 70° 00' 00" E	17.37
1.10	S 73° 10' 00" E	28.39
1.11	N 67° 27' 14" E	33.47

CURVE	RADIUS	LENGTH	TANGENT	DELTA
C72	140.00	8.87	3.50	24.00°
C74	11.45	3.00	1.50	14.70°
C75	8.00	3.70	1.00	20.20°
C76	80.00	4.30	2.00	24.00°
C77	300.00	48.59	24.40	60.20°
C78	300.00	17.80	8.80	32.40°
C79	25.00	30.39	15.00	84.00°
C80	25.00	20.39	10.00	54.00°
C81	150.83	50.38	25.17	18.30°
C82	15.00	16.00	8.00	20.00°
C83	15.00	15.97	8.00	20.00°
C84	18.00	11.34	6.07	24.00°
C85	175.83	12.80	6.07	24.00°
C86	25.00	28.79	14.40	64.00°
C87	28.00	32.77	16.50	65.00°
C88	25.00	28.80	14.40	59.70°
C89	25.00	10.39	5.19	27.10°
C90	25.00	42.57	28.48	97.28°



BOOK 398 PAGE 05
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDS
HELEN PURCELL
95-0317352
06/02/95 02:19



GeoDimensions
4350 E Camelback Road • Phoenix
Suite 2400 • 85018-1100 • Arizona
Phone (602) 252-8788 • Telex 6-8788
Fax 602-252-8788 • Construction Services

REPLAT OF
ON THE GREEN AT TROON NORTH

SHEET 5 OF 5
DATE: 4-20-95
PROJECT: 95-0317352
DRAWN: JCH
CHECKED: JCH
DATE: 4-20-95

Murillo, Jesus

From: Castro, Lorraine
Sent: Wednesday, July 25, 2018 9:33 AM
To: Murillo, Jesus
Subject: FW: #10-PP-2015#2STIPULATION MODIFICATION APPLICATION

From: chiefmudge@aol.com <chiefmudge@aol.com>
Sent: Sunday, July 22, 2018 4:15 PM
To: Projectinput <Projectinput@Scottsdaleaz.gov>
Subject: #10-PP-2015#2STIPULATION MODIFICATION APPLICATION

Please take the time to review this application and share with me your thinking on this crazy person wanting to destroy this beautiful landscape ENTRY into our lovely area. This is a small area but welcomes us and our guests to our street (White Feather Lane). So sad to think a building will do the same thing . . . in this beautiful desert, no less. To make room for these buildings is a joke and two story no less. I can't understand this person wanting to add more traffic and congestion to this small entry. The golf traffic now is enough. There are four small communities that feed through this entry . . . communities that blend in so nicely with the landscape. This is not the Scottsdale that I want to change into. Buildings that block out the scenery and add nothing to our living conditions. My husband passed away a year ago shortly after we purchased our home on White Feather Lane. We have lived in north Scottsdale in Sincuidados for eight years and downsized to this lovely Troon North Community of The Ridge. Stop this developer from ruining this lovely place.

Joan Heinle
10260 East White Feather Lane #1002



JESSICA J. MACEYKO, ESQ.
DIRECT: 480.272.7658
1900 W. BROADWAY ROAD
TEMPE, ARIZONA 85282
Admitted to practice in:
Arizona

March 12, 2018

Via Email (gphillips@scottsdaleaz.gov) and U.S. Mail

City of Scottsdale – Mayor and City Council
Attn: Guy Phillips
3939 N. Drinkwater Blvd.
Scottsdale, AZ 85251

Re: On the Green at Troon North – Development of Tract V

Dear Mr. Phillips:

This firm represents On the Green at Troon North Homeowners Association, Inc. (“OTG”). I am contacting you in regards to the proposed subdivision of Tract V (APN 216-72-584) located adjacent to, but not currently within, OTG.

It is our understanding that the City is currently reviewing plans to subdivide Tract V and that these plans may be discussed at an upcoming Development Review Board meeting.

The purpose of this letter is to advise the City that E. Whitefeather Lane, which is the proposed access to Tract V, is private property owned and maintained by OTG for the benefit of its members and their invitees. The owner of Tract V does not have any express or implied easement rights to use E. Whitefeather Lane for ingress or egress for construction or residential purposes. Lastly, OTG does not consent to the use of its private property without either the annexation of Tract V into OTG or a written easement and maintenance contribution agreement with the owner of Tract V.

Background

OTG is an Arizona nonprofit corporation of owners that was created pursuant to a declaration to own and operate portions of the planned community known as On The Green at Troon North in accordance with A.R.S. § 33-1801 *et seq.* OTG consists of 82 residences. OTG owns and operates the private roadway known as E. White Feather Lane (Tract B), which serves as the only access to the residences within OTG. Each owner in OTG is a member of the corporation and required to pay assessments to cover the costs and expenses incurred by OTG in owning and maintaining its common area, including E. Whitefeather Lane (Tract B).

Development of the OTG subdivision began in the mid-1990s. Tract V¹ is an undeveloped parcel located adjacent to the OTG development.² Tract V is identified on the Plat for OTG as reserved “for future development” by the original Declarant. Tract V was not included in the original Declaration

¹ Tract V is legally described as follows: Tract V, ON THE GREEN AT TROON NORTH REPLAT, according to the plat recorded in Book 398 of Maps, Page 05, Records of Maricopa County, Arizona Recorder; APN 216-72-584.

² Tract V was platted as part of OTG, but is not subject to the current OTG Declaration, as discussed herein.

for OTG³, and Tract V is *not* a part of OTG or subject to the current Amended and Restated Declaration governing OTG.⁴

The owner of Tract V is seeking to subdivide the property into four (4) residential lots, comprised of two (2) buildings of two (2) attached dwellings. This plan includes using E. White Feather Lane (Tract B) for all ingress and egress.

Use of E. White Feather Lane (Tract B) for Access

E. White Feather Lane (Tract B) is private property owned by OTG. The owners of Lots within OTG are required to pay assessments for maintenance, repair and replacement of Tract B.

The Tract V Owner does not have a right to use Tract B for access. There is no express easement over Tract B in favor of Tract V, and any easements in the OTG Declaration would not apply to Tract V since such property is not included in the OTG Declaration.

The Plat provides that Tract B is dedicated as an easement for "ingress and egress as well as public utilities," and that Tract B "shall be dedicated to the On the Green at Troon North Homeowners Association. . . for the *use and enjoyment of the homeowners and their invited guests*" (emphasis added). Therefore, unless Tract V is annexed into OTG, future owners of residences on Tract V would not be "homeowners," and thus, would not have the right under the Plat to use Tract B.

Furthermore, even if the owner of Tract V had an access easement at some point in the past, it has long since been extinguished by prescription. Concrete barriers installed on Tract B have blocked any vehicular access to or from Tract V for well over a decade.

Accordingly, the City cannot assume that the Tract V Owner has any right of access over Tract B for purposes of design review. Please be advised also that OTG intends to install an access gate at the entrance to the OTG community (101st Way) and exit only gate at the north end of Tract B. This would preclude any access onto Tract B by vehicles (except emergency vehicles) that are not owned by residents within OTG.

Lastly, it is our understanding that the City has stipulated that the subdivision requires the modification of a median island located on E. Whitefeather Lane and the installation of a sidewalk extension and that the owner of Tract V requested the removal of these stipulations. OTG has no objection to the removal of these stipulations, provided that Tract V is either annexed into OTG or OTG and the owner of Tract V enter into a mutually agreeable easement and maintenance contribution agreement for the use of OTG's private road.

³ Recording No. 1995-0099794

⁴ Recording No. 2001-0989277

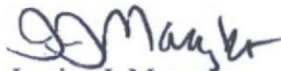
Guy Phillips
March 12, 2018
Page 3

It is my hope that this letter has provided a helpful summary of the items that need to be addressed prior to development of Tract V.

If you have any questions or if I can provide further information, please do not hesitate to contact me.

Thank you.

Sincerely,



Jessica J. Maceyko

cc: City of Scottsdale Development Review Board (developmentreviewboard@scottsdaleaz.gov)

Murillo, Jesus

From: Curtis, Nicole
Sent: Wednesday, July 25, 2018 8:17 AM
To: Murillo, Jesus
Subject: FW: 10-PP-2015#2

Maybe you can answer this real quick? If not, I'll just let her know that someone will call her back. She's also in the planner queue.

From: Gale Virgoni <gvirgoni@icloud.com>
Sent: Wednesday, July 25, 2018 3:56 AM
To: Curtis, Nicole <ncurtis@scottsdaleaz.gov>
Subject: Re: 10-PP-2015#2

Thank you for the info I knew about the townhomes going in but there is also suppose to be a community center. I was wondering what that was going to have and if it will be open to Troon North residents. Thank you Gale

Sent from my iPad

On Jul 24, 2018, at 3:08 PM, Curtis, Nicole <ncurtis@scottsdaleaz.gov> wrote:

Hello Mrs. Virgoni,
Below is the link with the requested information regarding 10-PP-2015#2.

<https://eservices.scottsdaleaz.gov/bldgresources/Cases/Details/48778>

Thank you,
Nicole Curtis
Customer Relations
City of Scottsdale
Planning & Development Services Dept.
7447 E. Indian School Rd.
Ph: 480-312-7673
Fax: 480-312-9073
www.scottsdaleaz.gov

Murillo, Jesus

From: Jessica J. Maceyko <JJM@vf-law.com>
Sent: Tuesday, July 10, 2018 3:27 PM
To: Murillo, Jesus
Subject: message

Jesus,

I received your message – thank you for the update.

I look forward to receiving the packet once it is ready.

Regards,
Jessica



Jessica J Maceyko
Attorney

Vial Fotheringham, LLP
1900 W. Broadway Road
Tempe, Arizona 85282
Main Line: 480-448-1334
Direct Line: 480-272-7658
www.vf-law.com



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Murillo, Jesus

From: Jessica J. Maceyko <JJM@vf-law.com>
Sent: Tuesday, June 19, 2018 2:26 PM
To: Murillo, Jesus
Subject: FW: On the Green - Tract V Development

Good Afternoon Jesus,

I hope this finds you doing well.

I am following up on the email exchange below. Do you have an idea as to when the pre-application materials will be ready for public consumption?

Thank you,
Jessica



Jessica J Maceyko
Attorney

Vial Fotheringham, LLP
1900 W. Broadway Road
Tempe, Arizona 85282
Main Line: 480-448-1334
Direct Line: 480-272-7658
www.vf-law.com



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From: Jessica J. Maceyko
Sent: Tuesday, June 5, 2018 8:41 PM
To: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>
Subject: RE: On the Green - Tract V Development

Thank you, Jesus. I appreciate the update and look forward to receiving the additional information from you shortly.



Jessica J Maceyko
Attorney

Vial Fotheringham, LLP
1900 W. Broadway Road
Tempe, Arizona 85282
Main Line: 480-448-1334
Direct Line: 480-272-7658
www.vf-law.com



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From: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>
Sent: Tuesday, June 5, 2018 5:27 PM
To: Jessica J. Maceyko <JJM@vf-law.com>
Subject: RE: On the Green - Tract V Development

Hello Jessica,

I was just about to send you an email as well. Understood on your opinion of the description below. I had mentioned to Mr. Rossmiller that he was going to have to think about an alternative access point if the HOA did not allow access from Whitefeather lane. I stated that I was not an attorney, and that that the matter of access would have to be resolved elsewhere (possibly in court). I also stated that it would have to be up to the Council to decide whether or not to approve a final plat that did not have secured access from a singularly proposed access point. I stated the same possible resolutions as I described to you. After our meeting, he submitted a pre-application for the stipulation modification of the NAOS requirement.

The proposed graphic that accompanies the pre-application does show the proposed access from Whitefeather Lane. I will forward the -pre-application materials to you once my staff has officially recorded the submittal and provided a pre-application number. Again, this is not a case as of yet, but the precursor to the case application. My staff will schedule a meeting in which I will put together a checklist of the information needed for the case application. Chances are that the list will not be long, since it is amending a stipulation. I will also appreciate your opinion, that I may share with Mr. Rossmiller, on the amendment of the median modification stipulation. Again, I do not think it is necessary, but I also say to you that I am not an attorney, so I will await your opinion and then run it by my attorney as well.

I will see if the pre-application is ready for public consumption by tomorrow.

Sincerely,

Jesus

From: Jessica J. Maceyko <JJM@vf-law.com>
Sent: Tuesday, June 05, 2018 5:05 PM
To: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>
Cc: rudym@vippropertymanagement.com
Subject: On the Green - Tract V Development

Hi Jesus,

Thank you again for taking the time to speak with me last week. As you may recall from our conversation, our firm represents On the Green at Troon North HOA ("OTG").

OTG's manager, Rudy Frame, was contacted yesterday by Dick Rossmiller. The below email exchange followed.

I am forwarding this to you to keep you in the loop as to developments on our end. As we discussed, can you also please provide me with an update on this matter in light of your meeting with Mr. Rossmiller yesterday.

Lastly, as you may note, Mr. Rossmiller's email below is not an accurate description of OTG's position on this matter. If you need additional information from me or would like to discuss further at this time, please do not hesitate to call.

Your attention to this matter is greatly appreciated.

Best Regards,
Jessica



Jessica J Maceyko
Attorney

Vial Fotheringham, LLP
1900 W. Broadway Road
Tempe, Arizona 85282
Main Line: 480-448-1334
Direct Line: 480-272-7658
www.vf-law.com



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From: Rudy <rudy@vippropertymanagement.com>

Sent: Tuesday, June 5, 2018 7:17 AM

To: 'Dick Rossmiller' <drossmiller2@cox.net>

Subject: RE: Misc.

Dick,

I have been in the past and through yesterday glad to be helpful if I could be.

Several points.

At this point the gate plans are still being developed. As you are not part of On The Green (OTG) or at this time have any access dedicated through OTG there would not be anything to share if materials were available.

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The balance of your e-mail is repulsive, offensive and way out of line. Just because someone has a different point of view and is not working in your interest does not make them stupid or incompetent. It does not mean they are harassing anyone or the steps are illegal. Just because you desire to have something done some way does not mean it will just happen or that it is even a possibility.

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While I hope this can be resolved to everyone's satisfaction, bullying and name calling will not make it happen any better or faster for all parties.

Sincerely,

Rudy Frame

President / VIP Property Management
10051 E. Dynamite Blvd, Suite 150
Scottsdale, AZ 85262
480-585-1625 DL
rudy@vippropertymanagement.com
www.vippropertymanagement.com

From: Dick Rossmiller [<mailto:drossmiller2@cox.net>]

Sent: Monday, June 04, 2018 5:59 PM

To: Rudy

Cc: Bob Garland

Subject: Misc.

Rudy,

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On another matter, during a meeting today with our senior Planner at the City of Scottsdale he mentioned that he had received a lengthy phone call from the attorney representing the On the Green HOA. She went on and on to tell the Planner that the On the Green intends to deny access of our property to East White Feather Lane because our property is not a member of the On the Green HOA. As an attorney she must know that this is an impossibility and she must be either stupid or incompetent. I expect both. This lengthy phone call is nothing more than harassment and reminds me of the beginning of the senseless attempt and the very expensive litigation recently brought by the TNRA on another Troon North property. Simply unbelievable, and very disappointing.

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Thanks very much. I will hope to hear nothing about this sad event.

Dick

Troon Eagles, LLC
Dick Rossmiller
project manager

Murillo, Jesus

From: Jessica J. Maceyko <JJM@vf-law.com>
Sent: Tuesday, June 05, 2018 8:41 PM
To: Murillo, Jesus
Subject: RE: On the Green - Tract V Development

Thank you, Jesus. I appreciate the update and look forward to receiving the additional information from you shortly.



Jessica J Maceyko
Attorney

Vial Fotheringham, LLP
1900 W. Broadway Road
Tempe, Arizona 85282
Main Line: 480-448-1334
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Troon Eagles, LLC
Dick Rossmiller
project manager

Murillo, Jesus

From: Jessica J. Maceyko <JJM@vf-law.com>
Sent: Thursday, May 31, 2018 11:42 AM
To: Padilla, Joe
Cc: Murillo, Jesus
Subject: RE: DRB Case #10-PP-2015

Thank you for the response, Joe.

I look forward to speaking with Jesus.



Jessica J Maceyko
Attorney

Vial Fotheringham, LLP
1900 W. Broadway Road
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From: Padilla, Joe <JPadilla@Scottsdaleaz.gov>
Sent: Thursday, May 31, 2018 10:20 AM
To: Jessica J. Maceyko <JJM@vf-law.com>
Cc: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>
Subject: RE: DRB Case #10-PP-2015

Jessica

The Planner on this case is Jesus Murillo, and he will be contacting you to provide updated information, he is the contact person that can provide you detailed information on the facts and the DRB process.

If there is a legal issue that involves the City I will be happy to get involved.

From: Jessica J. Maceyko <JJM@vf-law.com>
Sent: Wednesday, May 30, 2018 5:04 PM
To: Padilla, Joe <JPadilla@Scottsdaleaz.gov>
Subject: DRB Case #10-PP-2015

Dear Mr. Padilla,

Our firm represents On the Green at Troon North Homeowners Association ("OTG"). I spoke earlier today with Development Review Board Staff Coordinator Steve Perone, and he suggested that I contact you.

I left you a voicemail message this afternoon in regards to a pending DRB matter that will impact OTG. I am following up via email so that you have my contact information and the related documentation.

In short, a developer, Troon Eagles LLC ("Developer") is seeking to develop a piece of property (known as Tract V), which is adjacent to OTG. The Developer's current plan is to develop Tract V into a 4-lot residential subdivision. OTG owns E. White Feather Lane, which the Developer apparently intends to use for ingress and egress to its new subdivision.

This matter (Case # 10-PP-2015) went before the DRB on August 18, 2016. I have attached the DRB Report from that meeting.

It is my understanding that the DRB approved the conceptual plans submitted by the Developer, with stipulations, as noted in the attached DRB Report. Those stipulations pertain to E. White Feather Lane. Specifically, the stipulations require the Developer to modify the street median on E. White Feather Lane and extend the existing stabilized shoulder to the west along the site frontage of E. White Feather Lane.

The Developer has recently informed OTG that it plans to attend the upcoming June 7, 2018 DRB meeting and request removal of these stipulations.

My most pressing question is whether this particular matter will be heard by the DRB at its upcoming June 7, 2018 meeting. The agenda is not yet posted online. **Please let me know as soon as possible whether this matter is on the agenda for the June 7, 2018 DRB meeting, and please send me a copy of the agenda.**

I sent a letter to Councilman Phillips (and copied the DRB) back in March 2018 in regards to this matter and OTG's concerns with respect to E. White Feather Lane. It is my understanding that this letter is in the file, but I have also attached a copy for your reference. In brief, the Developer does not have any right to use E. White Feather Lane for access, as it is private property owned by OTG. The attached letter outlines the related issues and concerns.

I look forward to hearing from you after you have a chance to review this documentation. Thank you in advance for your prompt attention to this matter.

Sincerely,



Jessica J Maceyko

Attorney

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Murillo, Jesus

From: Kuester, Kelli
Sent: Thursday, May 31, 2018 10:40 AM
To: Murillo, Jesus
Subject: FW: objection to rezoning request 175-PA-2018

Trying to multi-task and I forgot to copy everyone...my apologies

Best,

Kelli Kuester

Management Assistant to the Mayor
3939 N. Drinkwater Blvd., Scottsdale, AZ 85251
kkuester@scottsdaleaz.gov
(480) 312-7977

From: Kuester, Kelli
Sent: Thursday, May 31, 2018 10:39 AM
To: 'Wasylenko, Mark A' <Mark.Wasylenko@bannerhealth.com>
Subject: RE: objection to rezoning request 175-PA-2018

Dear Dr. Wasylenko,

Mayor Lane and the City Councilmembers have asked that I thank you for your email and for sharing your input.

As of now, staff has had a pre-application meeting with the applicant, but a formal application has not been submitted. Staff will keep you informed on the project's progress through the development process. Your comments will be placed in the case folder as part of the record in opposition. Your communication will also be in all of staff's future reports, if/as the project moves forward.

Your communication will now be a part of the public comment, and I wanted to point out that the applicant has asked staff to provide any communication to them received by staff. This will be done as this email is public record.

I hope this information is helpful, please let me know if you have any questions.

Best,

Kelli Kuester

Management Assistant to the Mayor
3939 N. Drinkwater Blvd., Scottsdale, AZ 85251
kkuester@scottsdaleaz.gov
(480) 312-7977

From: Wasylenko, Mark A <Mark.Wasylenko@bannerhealth.com>
Sent: Thursday, May 31, 2018 10:11 AM
To: City Council <CityCouncil@scottsdaleaz.gov>
Subject: objection to rezoning request 175-PA-2018

City Council

City of Scottsdale
3939 N. Drinkwater Blvd.
Scottsdale, AZ 85251

Dear City Council,

I would like to file an objection to rezoning request 175-PA-2018. I live on the corner of 74th place and Jenan Dr. with my wife and small children in a neighborhood of single family homes on one acre lots. I bought the lot and built a new 5000 square foot home in 2008. Since then several other similar homes have been built on one acre lots. Camelot homes plans to purchase a 5.75 acre lot down the street from me and is requesting that the city of Scottsdale rezone from R1-35 to R1-10 and put 17 houses on the property. This would quadruple the housing density compared with the rest of the neighborhood.

The property is on a stretch of Jenan Dr. east of Scottsdale Rd which is a narrow 1 and a half lane wide old county road. The developer can only widen the south side of the street east to 74th place so most traffic from this development will use the street in front of my house to access Cactus road. Traffic is already a problem due to a church and a school on the same street as this development. At a meeting with Camelot homes on May 24, 2018, the company's president presented several other options including keeping the zoning the same and building 7 larger homes instead of 17 smaller homes. The consensus of the neighbors present at that meeting is that we would strongly prefer to keep the zoning unchanged due to traffic concerns and to avoid "spot zoning" of quarter acre lots in a subdivision of one acre lots. I would appreciate your advice on how to file an official objection and any other suggestions you may have for expressing my opinion.

Sincerely,

Mark Wasylenko MD
7434 E Jenan Dr
Scottsdale, AZ 85260

Mark Wasylenko, MD | Medical Director | Laboratory Sciences of Arizona and Banner Thunderbird Clinical Lab
Phone 602.865.5076 | Fax 602.865.2039 | mark.wasylenko@bannerhealth.com

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Murillo, Jesus

From: THOMAS, ZANE R GS-11 USAF AETC 56 CES/CENPL <zane.thomas@us.af.mil>
Sent: Friday, October 05, 2018 3:35 PM
To: Murillo, Jesus
Cc: zrthomas@aol.com
Subject: Case No. 10-PP-2015 Lot V, On the Green
Attachments: TN Project.pptx

Mr. Murillo,

Hello, I hope all is well.

I am a resident of Troon North, On the Green, and I am interested in the proposed development of Lot V (Case No. 10-PP-2015). We have an HOA meeting this month and I was hoping to provide the members with an update.
Neighborhood concerns:

White Feather Lane basically serves as the southern perimeter and there are no homes on the south side of the road.

There are no resort time shares or short-term rentals within the "On the Green" community so we're struggling to understand how this development will fit in.

The On the Green HOA is looking to install gates at the eastern and western ingress/egress points.

The approved Subdivision Plat required the dedication of a minimum of 5,412sf NAOS. Now, I see the developer arguing that the requirement has already been met. Do you support that claim? I've seen nothing after the preliminary Plat approval that would warrant a change to the original.

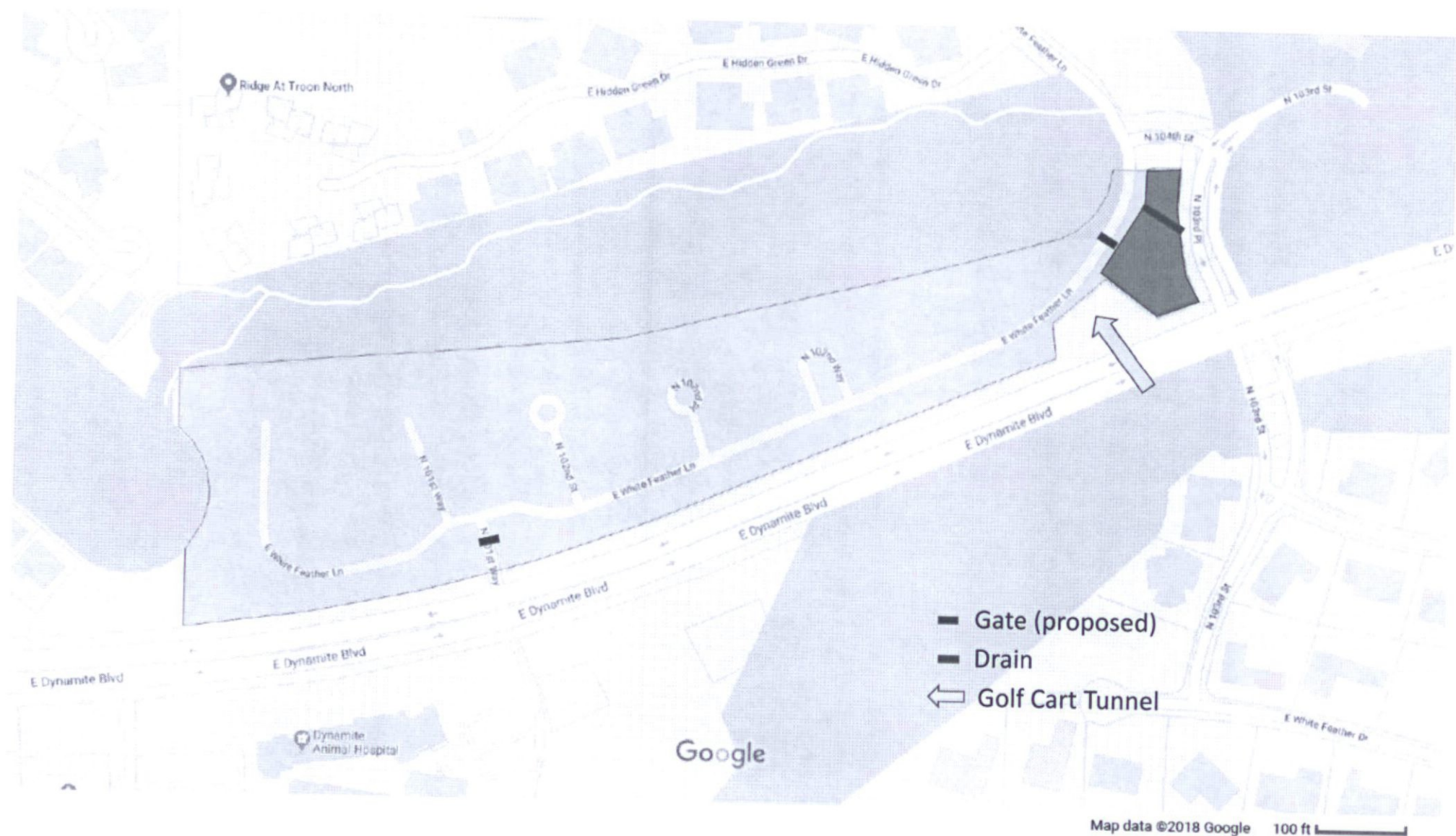
I am also not clear on the intended ingress/egress.

Any info you can provide would be greatly appreciated.

Most respectfully,

Zane

Zane Thomas
Luke Air Force Base
Community Planner
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(O) (623) 856-3626
(C) (480) 490-5461



Map data ©2018 Google 100 ft

Murillo, Jesus

From: Murillo, Jesus
Sent: Friday, October 05, 2018 10:24 AM
To: 'rphenicie@cox.net'
Subject: RE: Case Number 10-PP-2015#2

Hello Mr. Phenicie,

Thank you for your comments. I will be sure that they are provided in the report to the Development Review Board.

Sincerely,

Jesús Murillo
Senior Planner
City of Scottsdale
Planning and Development Services
7447 E. Indian School Road, Ste. 105
Scottsdale, AZ 85251
Phone: 480-312-7849
Fax: 480-312-9037

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Dear Jesus Murillo,

I am writing you in regard to:

Case Name: Tract V, Troon North

Case Number: 10-PP-2015#2

As a nearby homeowner, I DO NOT support the stipulation modification to remove the Natural Area Open Space (NAOS) requirement on this parcel. The City has maintained this requirement to maintain the aesthetic appeal and property values of this neighborhood in Troon North.

An exception should not be granted for this project.

Thank you very much.

Best wishes,

Ron Phenicie for The Phenicie Family Trust
10327 E Mark Lane
Scottsdale, AZ 85262