

**Marked Agendas  
Approved Minutes  
Approved Reports**

## Resolution No. 11325

Official /Signed Resolution can be found at:  
<https://eservices.scottsdaleaz.gov/eServices/ClerkDocs/Default.aspx>

City Council Hearing 12/12/2018

Planning Commission 11/14/2018

14-UP-2018

Wonderspaces

Approved Minutes can be found at:  
<https://eservices.scottsdaleaz.gov/eServices/ClerkDocs/Default.aspx>

City Council Hearing 12/12/2018

Planning Commission 11/14/2018

14-UP-2018

Wonderspaces



# CITY COUNCIL REPORT



Meeting Date: December 12, 2018  
 General Plan Element: *Land Use*  
 General Plan Goal: *Create a sense of community through land uses*

## ACTION

**Wonderspaces**  
**14-UP-2018**

### Request to consider the following:

Find that the conditional use permit criteria have been met and adopt Resolution No. 11325 approving a Conditional Use Permit for a bar in a gallery space internal to Fashion Square mall in a +/- 15,987-square foot suite with Downtown/Downtown Regional Use - Type 2, Planned Block Development Downtown Overlay (D/DRU-2 PBD DO) zoning located at 7014 E. Camelback Road.

### Goal/Purpose of Request

The applicant's request is for a Conditional Use Permit for a bar to be used in association with an art exhibition/gallery space within Scottsdale Fashion Square Mall.

### Key Items for Consideration

- Conditional Use Permit Criteria
- Located entirely within Fashion Square Mall
- No public comment received
- Planning Commission heard this case on November 14, 2018 and recommended approval with a 7-0 vote

## OWNER

Scottsdale Fashion Square LLC  
 (310) 394-6000

## APPLICANT CONTACT

Andrea Lewkowitz  
 Lewkowitz Law Office PLC  
 602-200-7222





## LOCATION

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7014 E. Camelback Road Suite 584

## BACKGROUND

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### General Plan

The Land Use Element of the General Plan designates the site as Mixed-Use Neighborhoods. This category includes higher density residential, office and retail uses. Mixed-Use Neighborhoods are also characterized within areas that have multiple modes of transportation available.

### Character Area Plan

The Downtown Future Land Use map of the Old Town Scottsdale Character Area Plan designates the site as Downtown Regional Type 3 within the Scottsdale Fashion Square District. This land use is characterized to primarily consist of regional/community serving commercial uses, as well as larger scale housing developments that are commonly centered around or near major regional retail developments.

### Zoning

This site is zoned Downtown/Downtown Regional Use - Type 2, Planned Block Development, Downtown Overlay (D/DRU-2 PBD DO), which allows large-scale development of office, commercial, retail, and residential uses in a mixed-use format. Scottsdale Fashion Square recently received approval from the City Council for a zoning district map amendment to the current D/DRU-2 PBD DO zoning district, which included a master development plan for the property.

### Context

The subject property is located at 7014 East Camelback Road, Suite 548 within the interior of Scottsdale Fashion Square Mall. Within the vicinity of the proposed bar location are office, retail, and restaurant uses. Within the greater vicinity of the mall area there are additional office, retail, restaurant, service, and residential uses. Please refer to context graphics attached.

## APPLICANTS PROPOSAL

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### Development Information

Wonderspaces is an art exhibition/gallery space which will be located on the lower level of Scottsdale Fashion Square Mall adjacent to the food court. The proposed location is within a space previously occupied by Harkin's Theatres. The 15,897 square foot suite will include five (5) galleries, and a small bar near the entrance.

- Existing Use: Commercial (vacant suite)
- Proposed Use: Bar



- Buildings/Description: Existing 2-story mall
- Parcel Size: 65 +/- gross acres  
(Entire mall) 53.66 net acres  
2,337,429 square feet
- Parking Required: 6,100 spaces (entire mall)
- Parking Provided: 8,158 spaces, plus 350 in-lieu spaces (entire mall)
- Floor Area: 15,987 square feet

## IMPACT ANALYSIS

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### Conditional Use Permit

Conditional Use Permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and City Council has found as follows:

- A. That the granting of such Conditional Use Permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
  1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
    - **There are no anticipated impacts arising from noise, smoke, odor, dust, vibration or illumination. All operations of the Bar use will occur within the Wonderspaces suite which is interior to Fashion Square Mall. No live entertainment is proposed within the establishment. The nearest residential use is north of East Highland Avenue, which is approximately eight hundred twenty (820) feet from the unit of proposed bar use.**
  2. Impact on surrounding areas resulting from an unusual volume or character of traffic.
    - **The unit that is proposed to be a bar is located in Scottsdale Fashion Square Mall, which fronts on to: North Scottsdale Road and North Goldwater Boulevard, which are Major Arterial streets; East Camelback Road, which is Minor Arterial street; and East Highland Avenue, which is a commercial street. The proposed use is not anticipated to change the existing traffic characteristics of these streets and the traffic generated by Scottsdale Fashion Square Mall.**
- B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.
  - **The proposed bar use is compatible with surrounding uses, including office, retail, personal care services, restaurants that do not serve alcohol, and restaurants that do serve alcohol operating in Scottsdale Fashion Square Mall.**



- C. The additional conditions in Section 1.403, as applicable, have been satisfied.
1. The use shall not disrupt existing balance of daytime and nighttime uses.
    - **The proposed bar is not anticipated to disrupt existing balance of daytime and nighttime uses in Scottsdale Fashion Square Mall. The proposed location is a suite that has been partially vacant since Harkin's relocated.**
  2. The use shall not disrupt pedestrian-oriented daytime activities.
    - **The proposed bar is not anticipated to disrupt the pedestrian-oriented daytime activities that occur within and on the exterior of Scottsdale Fashion Square Mall. The proposed location is a suite that has been partially vacant, and adjacent to the mall's food court which will provide an additional option for the mall's interior pedestrians.**
  3. If the site is located within the downtown overlay district, then:
    - a. The use shall not encourage displacement of daytime retail uses unless it can be demonstrated that the proposed use shall promote diversity of first floor uses along the street.
    - **The proposed bar use will not displace any daytime retail uses. The proposed location is within a suite that has been partially vacant since Harkin's relocated. The gallery space will enhance other daytime retail uses inside the mall by attracting new visitors and groups to the mall.**
    - b. The required parking for the use shall be within six hundred (600) feet of the property and shall not be separated from the property by a major or minor arterial street.
    - **Scottsdale Fashion Square Mall provides 8,158 parking spaces throughout the approximate sixty-five (65) acre complex. The nearest parking to the unit that is proposed to be a bar use is approximately one hundred seventy-five (175) feet to the north.**
  4. If the use is located within five hundred (500) feet of a residential use or district then:
    - a. The use shall not adversely impact residential uses.
    - b. The use shall provide methods of buffering residential uses.
    - **The proposed use is not located within five hundred (500) feet of a residential use or residential district. The nearest residential use is north of East Highland Avenue, which is approximately eight hundred twenty (820) feet from the unit that is proposed to be a bar use.**
  5. An active management and security plan shall be created, approved, implemented, maintained, and enforced for the business.



- A Security, Maintenance and Operations Plan has been reviewed and approved by the Scottsdale Police Department and is on file with the Current Planning Division. Conditions of the plan will be implemented and enforced by the City's Code Enforcement Department and the Scottsdale Police Department.
6. The applicant shall create a written exterior refuse control plan for approval by the City.
    - The bar use will comply with the exterior refuse control plan for Fashion Square mall that has been approved by the City.
  7. The applicant shall demonstrate how noise and light generated by the use shall be mitigated.
    - All operations of the proposed use will occur within the Scottsdale Fashion Square Mall, and no additional mall lighting is anticipated. Any noise concerns within the mall are anticipated to be handled by the Scottsdale Fashion Square Mall's security personal.
  8. The applicant shall demonstrate that the use shall meet required parking and shall not exceed capacity for traffic in the area.
    - Scottsdale Fashion Square Mall is required 6,100 parking spaces and provides 8,158 spaces.
    - The proposed use is not anticipated to change the existing traffic characteristics of these streets and the traffic generated by Scottsdale Fashion Square Mall's.
  9. After hours establishments must maintain a valid after-hours establishment license.
    - No afterhours activities are proposed as part of this application.

### **Community Involvement**

The applicant has notified all property owners and home owner associations within 750 feet of the site. A summary of the Citizen Involvement is included as Attachment #5. The city also notified all property owners within 750 feet of the site. As of the date of this report, staff has not received any public comments regarding the proposed bar use.

### **OTHER BOARDS AND COMMISSIONS**

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#### **Planning Commission:**

Planning Commission heard this case on November 14, 2018 and recommended approval with a 7-0 vote.

#### **Staff's recommendation to Planning Commission:**

Staff recommended that the Planning Commission find that the Conditional Use Permit criteria have been met and make a recommendation to City Council for approval, per the attached stipulations.



## RECOMMENDATION

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### Recommended Approach:

Find that the conditional use permit criteria have been met and adopt Resolution No. 11325 approving a Conditional Use Permit for a bar in a gallery space internal to Fashion Square mall in a +/- 15,987-square foot suite with Downtown/Downtown Regional Use - Type 2, Planned Block Development Downtown Overlay (D/DRU-2 PBD DO) zoning located at 7014 E. Camelback Road.

## RESPONSIBLE DEPARTMENT(S)

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Planning and Development Services  
Current Planning Services

## STAFF CONTACT(S)

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Bryan Cluff  
Senior Planner  
480-312-2258  
E-mail: bcluff@ScottsdaleAZ.gov

## APPROVED BY

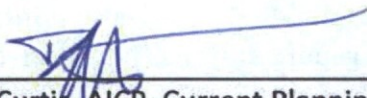
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Bryan Cluff, Report Author

11/20/18

Date



Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

11/25/2018

Date



Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

11/26/18

Date

## ATTACHMENTS

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1. Context Aerial
2. Resolution No. 11325  
Exhibit 1: Aerial Close-Up  
Exhibit 2: Stipulations  
Exhibit A to Exhibit 2: Floor Plan
3. Applicant's Narrative
4. Site Plan
5. Zoning Map
6. Citizen Involvement
7. City Notification Map
8. November 14, 2018 Planning Commission meeting minutes





Q.S.  
18-44

Google Earth Pro Imagery

Wonderspaces

14-UP-2018



RESOLUTION NO.11325

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, ADOPTING A CONDITIONAL USE PERMIT FOR A BAR ON A +/-15,987-SQUARE FOOT SUITE WITH DOWNTOWN/DOWNTOWN REGIONAL USE - TYPE 2, PLANNED BLOCK DEVELOPMENT DOWNTOWN OVERLAY (D/DRU-2 PBD DO) ZONING LOCATED AT 7014 E. CAMELBACK ROAD.

WHEREAS, the Planning Commission held a public hearing on November 14, 2018; and

WHEREAS, the City Council held a public hearing on December 12<sup>th</sup>, 2018.

NOW, THEREFORE, LET IT BE RESOLVED, by the City Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. That the City Council finds:

- a) that the granting of this conditional use permit per stipulations set forth on Exhibit 2 will not be materially detrimental to the public health, safety or welfare based on, but not limited to, the following factors: damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination and impact on surrounding areas resulting from an unusual volume or character of traffic;
- b) that the characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas; and
- c) that compliance with the additional conditions for bars, set forth on Exhibit 3, is required.

Section 2. That a description of the conditional use permit is set forth in Case No. 14-UP-2018. The property that is subject to the conditional use permit is shown on Exhibit 1 and the conditional use permit approval is conditioned upon compliance with all of the stipulations that are set forth in Exhibits 2 and 3. All exhibits are incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this \_\_\_\_ day of \_\_\_\_\_, 2018.

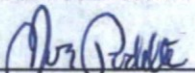
ATTEST:

CITY OF SCOTTSDALE, an Arizona  
Municipal Corporation

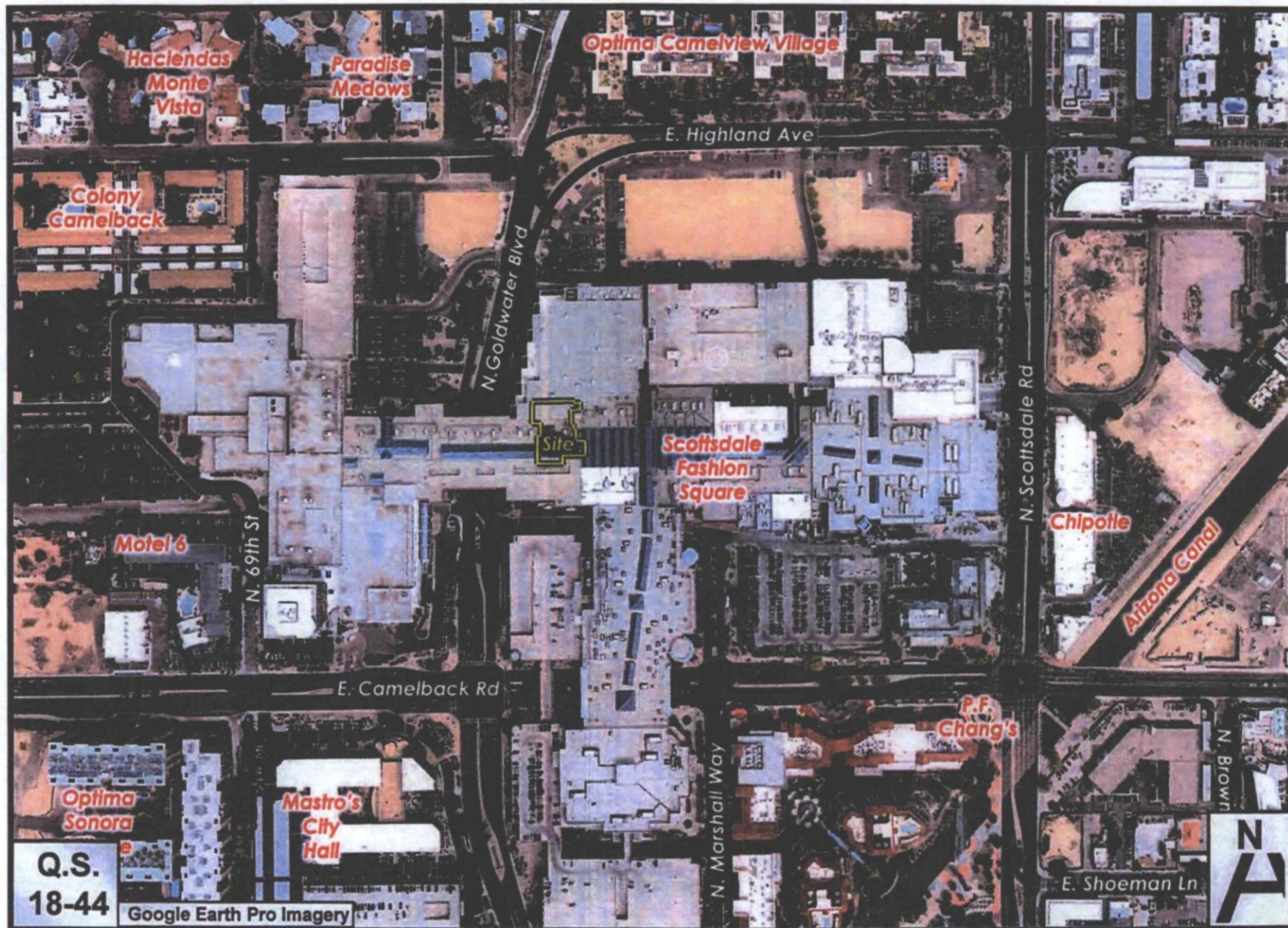
By: \_\_\_\_\_  
Carolyn Jagger  
City Clerk

By: \_\_\_\_\_  
W.J. "Jim" Lane  
Mayor

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY

By:  \_\_\_\_\_  
Bruce Washburn, City Attorney  
By: Joe Padilla, Deputy City Attorney





Q.S.  
18-44

Google Earth Pro Imagery

Wonderspaces

Resolution No. 11325  
Exhibit 1  
Page 1 of 1

14-UP-2018



## Conditional Use Permit – Bar

### Stipulations

### Wonderspaces

**Case Number: 14-UP-2018**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

#### OPERATIONS

1. **CONFORMANCE TO THE CONCEPTUAL FLOOR PLAN.** The interior layout of the premises shall be in substantial conformance with the conceptual floor plan by Sixty First Place Architects, LTD., and with the city staff date of 9/18/18, attached as Exhibit A to Exhibit 2. Any proposed significant change to the conceptual floor plan as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
2. **NO LIVE ENTERTAINMENT.** This Conditional Use Permit is for a bar use only, and no live entertainment is approved as part of this request.
3. **HOURS OF BAR OPERATIONS.** The hours of the bar operations for this establishment shall be limited to:

	Open to Customers	Close to Customers
Sunday	9:00 am	2:00 am
Monday	9:00 am	2:00 am
Tuesday	9:00 am	2:00 am
Wednesday	9:00 am	2:00 am
Thursday	9:00 am	2:00 am
Friday	9:00 am	2:00 am
Saturday	9:00 am	2:00 am

4. **SECURITY, MAINTENANCE, AND OPERATIONS PLAN.** The operations of the bar shall conform to the Security, Maintenance, and Operations Plan approved by, and on record with the City of Scottsdale's Police Department and the Planning and Development Services Division. A copy of the approved Security, Maintenance, and Operations shall be maintained on site. Within 10 days after a request by the City Manager or designee, the owner shall provide an update of the Security, Maintenance, and Operations Plan to the Scottsdale Police Department and the Planning and Development Services Division. At least ten (10) days before any operational change of the bar, or any promotional event (excluding Special Events), that modifies the requirements or contents of the Security, Maintenance, and Operations Plan, the owner shall submit a revised Security, Maintenance, and Operations Plan to the Scottsdale Police Department and the Planning and Development Services Division. Any revised Security, Maintenance, and Operations Plan shall be subject to approval by the City of Scottsdale's Police Department and the Planning and Development Services Division. Where the provisions of a Public Safety Plan (PSP) conflict with the SMOP,

the provisions that establish the higher standard for protection of public health and safety shall prevail.

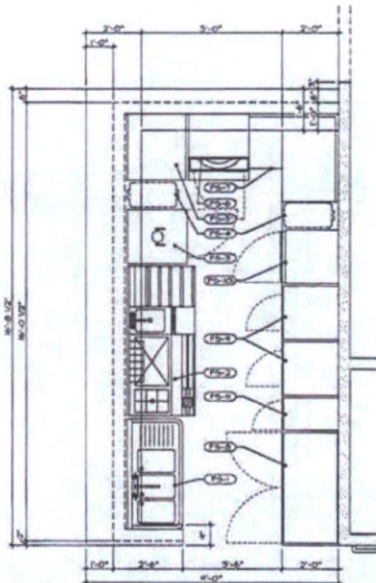
**ADMINISTRATIVE/PROCESS**

5. **CONDITIONAL USE PERMIT ADMINISTRATIVE REVIEW.** Within ten (10) days after a request by the Zoning Administrator or designee, the owner shall submit a letter to the Zoning Administrator or designee demonstrating compliance with all stipulations. A deviation from any stipulations or change in the floor plan may be grounds for revocation of the Conditional Use Permit.
6. **CHANGES IN OWNERSHIP.** Within ten (10) days after a change in ownership, the owner shall provide notice to the Zoning Administrator in writing of any such ownership change.



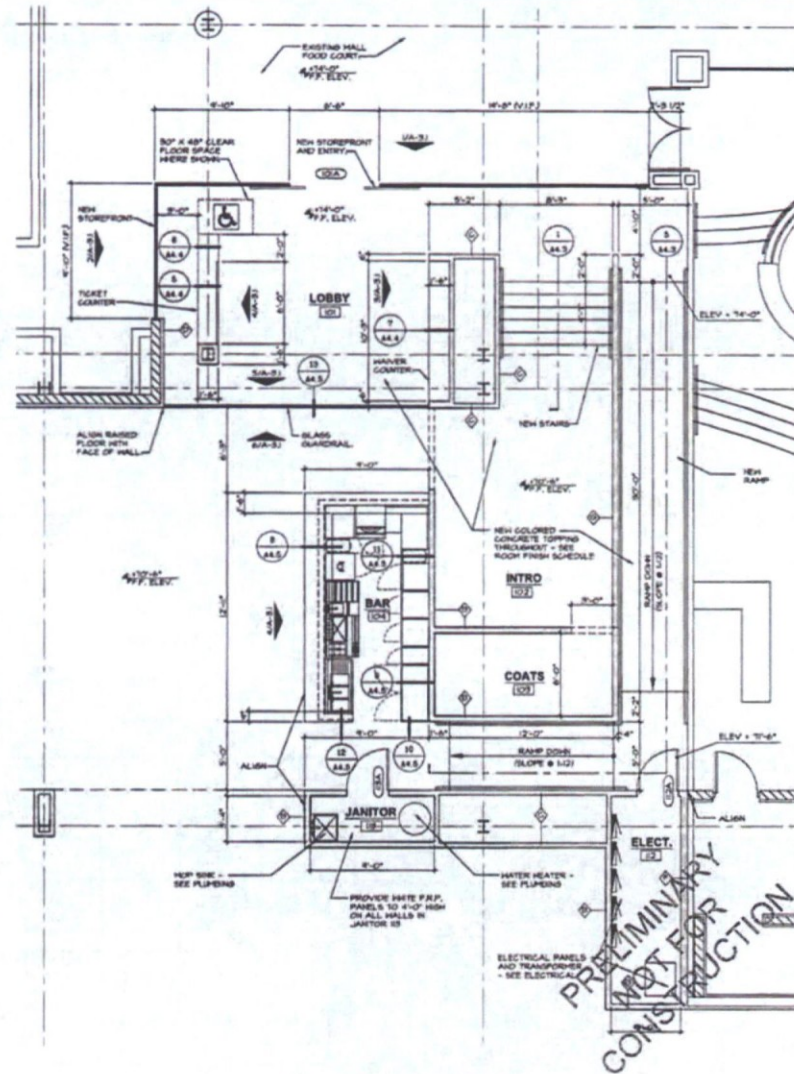






2 BAR EQUIPMENT LAYOUT  
SCALE: 1/2" = 1'-0"

TAG #	DESCRIPTION	QUANTITY	MPR	MODEL	NOTES
CE-1	3 COMPARTMENT SINK WITH DRAIN BOARD (48" x 24") STAINLESS STEEL FINISH	1	-	-	-
CE-2	ALL IN ONE STATION, STAINLESS STEEL FINISH	1	-	GLASTENDER ALL-12A	NO RECESSED DRAINBOARD SECTION
CE-3	BEER DISPENSER	1	SUPPLY APPLIANCE	58C635-EN1551STW	-
CE-4	UNDER COUNTER TRASH RECEPTACLE	2	-	-	-
CE-5	STAINLESS STEEL 24" x 29 1/2" x 30" CUSTOM TABLE	1	-	-	-
CE-6	GLASS WASHER	1	CHAMPION	-	GO ROTARY TYPE SERIES FULLY AUTOMATIC
CE-7	STAINLESS STEEL 36" x 30 1/2" x 24" x 30" CUSTOM TABLE	1	-	-	-
CE-8	UNDERCOUNTER STORAGE UNIT	1	-	-	24" x 48" HILLHOLK CABINET
CE-9	UNDERCOUNTER REFRIGERATOR	2	SUPPLY APPLIANCE	AL519	-
CE-10	UNDERCOUNTER FREEZER	1	SUPPLY APPLIANCE	SCFF552D	-
CE-11	UNDERCOUNTER ICEMAKER	1	SUPPLY APPLIANCE	BIM4640A	-



1 ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

SIXTY FIRST PLACE ARCHITECTS, LTD.  
7125 EAST INDIAN SCHOOL, SUITE L  
SCOTTSDALE, ARIZONA 85251  
PHONE (480) 347-8544 FAX (480) 347-9510

WONDERSPACES  
SCOTTSDALE FASHION SQUARE  
SCOTTSDALE, ARIZONA  
ENLARGED FLOOR PLAN



DATE	REVISIONS

SIXTY FIRST PLACE ARCHITECTS

JOB NUMBER 18013

DATE 7/23/2018

SHEET NO. A-1.2

14-UP-2018  
09/18/18



C.

*Bars, cocktail lounges, and/or after hours establishments.*

1. The use shall not disrupt existing balance of daytime and nighttime uses.
2. The use shall not disrupt pedestrian-oriented daytime activities.
3. If the site is located within the Downtown Overlay District D-O then:
  - a. The use shall not encourage displacement of daytime retail uses unless it can be demonstrated that the proposed use shall promote diversity of first floor uses along the street.
  - b. The required parking for the use shall be within six hundred (600) feet of the property and shall not be separated from the property by a major or minor arterial street.
4. If the use is located within five hundred (500) feet of a residential use or district then:
  - a. The use shall not adversely impact residential uses.
  - b. The use shall provide methods of buffering residential uses.
5. An active management and security plan shall be created, approved, implemented, maintained, and enforced for the business.
6. The property owner shall create a written exterior refuse control plan for approval by the City.
7. The property owner shall demonstrate how noise and light generated by the use shall be mitigated.
8. The use shall conform to the parking requirements of Article IX and shall not exceed capacity for traffic in the area.
9. After hours establishments must maintain a valid after hours establishment license.



WONDERSPACES  
7014 E. Camelback Rd. Ste. 548

*Conditional Use Permit (Bar) / Project Narrative*

Wonderspaces will open an art exhibition/gallery space on the lower level of Scottsdale Fashion Square (the "mall") adjacent to the food court in a portion of the space previously occupied by Harkins Theatres. The 15,987 square foot suite will include five galleries, and a small bar near the entrance. Wonderspaces will run a series of shows, featuring approximately 14 immersive or interactive artworks for periods of four months each, three times per year. Wonderspaces would like to offer guests 21 and over the opportunity to enjoy alcoholic beverages as an amenity to the unique experience. To allow flexibility for space planning and installation of various exhibits, Wonderspaces has applied to license the entire suite.

CONDITIONAL USE PERMIT CRITERIA (Scottsdale Zoning Ordinance §1.401)

A. *The granting of a conditional use permit will not be materially detrimental to the public health, safety or welfare due to:*

1. *Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.*

The proposed use will not create any noise, smoke, odor, dust, vibration or illumination within or outside Wonderspaces' suite. All activity will take place inside the suite, and will not detrimentally affect other mall tenants or residential and commercial properties outside the mall (the nearest residential use is approximately 800 feet away on the north side of Highland Avenue).

2. *Impact on surrounding areas resulting from an unusual volume or character of traffic.*

Traffic access to Wonderspaces will be through the current ingress/egress on Camelback Road, Scottsdale Road, Goldwater Boulevard, and Highland Avenue. The proposed use will not increase traffic in the surrounding areas.

B. *The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.*

The proposed use is compatible with uses inside and outside the mall, including office, retail, entertainment, bars and restaurants.

BAR USE CRITERIA (Scottsdale Zoning Ordinance §1.403.C)

1. *The use shall not disrupt the balance of daytime and nighttime uses.*

The proposed use will not disrupt other daytime or nighttime uses in the mall. Wonderspaces will be open from 9 am until 12 am. Most retail stores in the mall close at or before 9 pm, and restaurants in and around the mall close at or before 12 am.

2. *The use shall not disrupt pedestrian-oriented daytime activities.*



The proposed use is ancillary to the guest experience inside the gallery space. It will not disrupt pedestrian traffic for daytime activities inside or outside the mall.

3. *If the site is located within the downtown overlay district,*
  - a. *The use shall not encourage displacement of daytime retail uses unless it can be demonstrated that the proposed use shall promote diversity of first floor uses along the street.*

The proposed bar use won't displace daytime retail uses. Wonderspaces will open in a currently-vacant suite, which will enhance daytime retail uses inside the mall by attracting new visitors (individuals, families and large groups).
  - b. *The required parking for the use shall be within 600 feet of the property and shall not be separated from the property of a major or minor arterial street.*

The property owner provides parking within 600 feet of the proposed use.
4. *If the use is located within five hundred feet of a residential use or district,*
  - a. *The use shall not adversely impact residential uses.*
  - b. *The use shall provide methods of buffering residential uses.*

The proposed use is not within 500 feet of a residential use or district.
5. *An active management and security plan shall be created approved, implemented, maintained, and enforced for the business.*

Wonderspaces' Security, Maintenance and Operations Plan has been approved by the Scottsdale Police Department, and is filed with the current application.
6. *The property owner shall create a written exterior refuse control plan for approval by the City.*

Wonderspaces will use the onsite (outside) dumpsters provided and maintained by the property owner, and will comply with the mall's refuse plan.
7. *The property owner shall demonstrate how noise and light generated by the use shall be mitigated.*

The proposed use will not generate noise or light. All activities at Wonderspaces will take place inside the suite in the mall.
8. *The use shall conform to the parking requirements of Article IX and shall not exceed capacity for traffic in the area.*

The property owner provides nearly 7,000 on-site public parking spaces for mall guests. The proposed use will not require additional parking.
9. *After hours establishments must maintain a valid after hours establishment license.*

Wonderspaces does not intend to operate after-hours.



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14-UP-2018  
09/18/18





Wonderspaces

14-UP-2018



# WONDERSPACES

4136 Del Rey Ave  
Marina Del Rey, CA 90292

September 17, 2018

Bryan D. Cluff, LEED AP  
Senior Planner  
City of Scottsdale  
7447 E. Indian School Rd.  
Scottsdale, AZ 85251

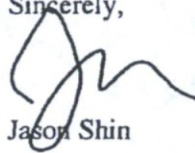
RE: Project No. 665-PA-2018; Project Notification Report

Dear Mr. Cluff,

On September 3, 2018, Wonderspaces, Inc. mailed copies of the attached letter and plans via USPS first class mail to each address on the attached mailing list. Such list is comprised of all property owners and HOA's within 750' of the proposed site and all interested parties on the list provided by the City.

No comments or inquiries with respect to the company's liquor license application have been received; however, two local artists reached out to express their interest in the business and their emails are attached hereto.

Sincerely,



Jason Shin

Encl. Letter and plans  
Mailing list  
Map showing 750' radius from parcel  
Email from litiesher@gmail.com  
Email from donnabel@icloud.com



# WONDERSPACES

August 30, 2018

Re: Scottsdale pre-application no. 665-PA-2018

Dear Neighbor,

My name is Jason Shin and I'm the co-founder of Wonderspaces, a company that partners with artists to create art shows that reach a broad audience. Wonderspaces believes there are extraordinary works of art that could be enjoyed by more people than they are reaching today, and we're excited to bring them to Scottsdale starting this winter.

Wonderspaces plans to run a series of ticketed shows at 7014 E Camelback Rd, Ste 548, on the lower level of Scottsdale Fashion Square in a portion of the space previously occupied by Harkins Theatres. Each show will feature approximately fourteen immersive or interactive artworks and operate for roughly four months. We plan to install a new show with all new artwork three times a year.

As part of our food and beverage program, we intend to offer visitors who are twenty one years of age or older the opportunity to purchase alcoholic beverages. We will file for a conditional use permit to allow a series 6 bar liquor license.

Wonderspaces will operate from 9:00 a.m. to 12:00 a.m. every day of the week. The space consists of approximately sixteen thousand square feet, which will be subdivided into art spaces to fit each new show. The purchase of alcohol will be limited within that space to a cafe/bar roughly 30' x 9' in size. All alcoholic beverages will be served at the bar; there will be no table service.

In order to prevent lines and crowding, the number of visitors who will be allowed access to the space every hour will be limited, and tickets will be primarily purchased online. We expect the average visit to last 80-90 minutes. And we expect Scottsdale Fashion Square's current parking capacity to accommodate any additional cars our shows will draw to the area.


Copies of the project's floor plan and the mall map showing its location are attached. The property is zoned D/DRU-2 (Downtown/Downtown Regional Use) and is within the Planned Block Development and Downtown Overlay Districts.

We are committed to being a good neighbor and member of the Scottsdale community. Additional information about the company is available on our website at [www.wonderspaces.com](http://www.wonderspaces.com). If you have any questions or would like to discuss the project,



please contact the individuals below. Otherwise, we look forward to welcoming you at Wonderspaces later this year!

Best regards,



Jason Shin

Jason Shin  
President, Wonderspaces, Inc.  
4136 Del Rey Ave  
Marina Del Rey, CA 90292  
jason@wonderspaces.com

Andrea Lewkowitz  
Attorney  
2600 N Central Ave, Ste 1775  
Phoenix, AZ 85004  
(602) 200-7222  
andrea@lewklaw.com

Bryan Cluff  
City of Scottsdale, Senior Planner  
7447 E Indian School Rd  
Scottsdale, AZ 85251  
(480) 312-2258  
bcluff@scottsdaleaz.gov



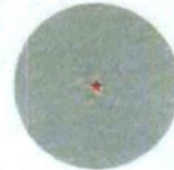
## City Notifications – Mailing List Selection Map



### Map Legend:



Site Boundary



Properties within 750-feet

Postcards: 879

### Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

**14-UP-2018**

**Wonderspaces**





**SCOTTSDALE PLANNING COMMISSION  
CITY HALL KIVA  
3939 N. DRINKWATER BOULEVARD  
SCOTTSDALE, AZ 85251**

**WEDNESDAY, NOVEMBER 14, 2018**

**\*DRAFT SUMMARIZED MEETING MINUTES \***

**PRESENT:** Paul Alessio, Chair  
Ali Fakih, Vice Chair  
Larry S. Kush, Commissioner  
Prescott Smith, Commissioner  
Kelsey Young, Commissioner  
Kevin Bollinger, Commissioner  
Christian Serena, Commissioner

**STAFF:** Tim Curtis  
Joe Padilla  
Brad Carr  
Greg Bloemberg  
Jeff Barnes  
Bryan Cluff

**CALL TO ORDER**

Chair Alessio called the regular session of the Scottsdale Planning Commission to order at 5:00 p.m.

**ROLL CALL**

A formal roll call was conducted confirming members present as stated above.

**MINUTES REVIEW AND APPROVAL**

1. Approval of the October 24, 2018 Regular Meeting Minutes including Study Session.

**Commissioner Bollinger moved to approve the October 24, 2018 Regular Meeting Minutes, including Study Session, seconded by Commissioner Young.**

**The motion carried unanimously with a vote of seven (7) to zero (0); by Chair Alessio, Vice Chair Fakih, Commissioner Kush, Commissioner Serena, Commissioner Young, Commissioner Smith and Commissioner Bollinger.**

\* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on [scottsdaleAZ.gov](http://scottsdaleAZ.gov). search "Planning Commission"



## EXPEDITED AGENDA

2. 19-ZN-2002#7 (Crossroads East)

Request by owner for a Zoning District Map Amendment to amend the Crossroads East Development Plan's Land Use Budget, approved with case 19-ZN-2002#6, to transfer 10 acres from the Commercial Office (C-O) allotment to the Multi-family Residential (R-5) allotment, with no change in overall residential density, located at the southwest corner of N. Hayden Road and E. Legacy Blvd. Staff contact person is Greg Bloemberg, 480-312-4306. Applicant contact person is John Berry, 480-385-2727.

**Item No. 2: Recommended City Council approve case 19-ZN-2002#7, by a vote of 7-0; Motion by Commissioner Serena, per the staff recommended stipulations, after determining that the PCD findings have been met and that the proposed Zoning District Map Amendment and Development Plan are consistent and conform with the adopted General Plan, 2<sup>nd</sup> by Commissioner Smith.**

**The motion carried unanimously with a vote of seven (7) to zero (0); by Chair Alessio, Vice Chair Fakh, Commissioner Kush, Commissioner Serena, Commissioner Young, Commissioner Smith and Commissioner Bollinger.**

3. 5-TA-2018 (Planned Airpark Core Development Text Amendment (Raintree redevelopment))

Request by applicant to amend the City of Scottsdale Zoning Ordinance (Ordinance No. 455) for the purpose of amending Section 5.4000. (Planned Airpark Core Development), of the Zoning Ordinance, to add Internalized Community Storage as an allowed land use in the AMU, EMP, and AV subdistricts. Staff contact person is Brad Carr, AICP, 480-312-7713. Applicant contact person is Kurt Jones, (602) 452-2729.

**Item No. 3: Recommended City Council approve case 5-TA-2018, by a vote of 6-0; Motion by Commissioner Serena, after determining that the proposed Text Amendment is consistent and conforms with the adopted General Plan, 2<sup>nd</sup> by Commissioner Kush. Commissioner Fakh recused himself.**

**The motion carried with a vote of six (6) to zero (0); by Chair Alessio, Commissioner Kush, Commissioner Smith, Commissioner Serena, Commissioner Young and Commissioner Bollinger. Commissioner Fakh recused himself.**

4. 8-UP-2018 (Black Rock Coffee)

Request by owner for a Conditional Use Permit for a new restaurant with drive-through on a +/- .6-acre site with Industrial Park (I-1) zoning located at 8700 E. Thomas Road. Staff contact person is Jeff Barnes, 480-312-2376. Applicant contact person is Martin Flood, 602-999-1942.

**Item No. 4: Recommended City Council approve case 8-UP-2018, by a vote of 6-0; Motion by Commissioner Serena, per the staff recommended stipulations, based upon the finding that the Conditional Use Permit criteria have been met, 2<sup>nd</sup> by Commissioner Kush. Commissioner Fakh recused himself.**

**The motion carried with a vote of six (6) to zero (0); by Chair Alessio, Commissioner Kush, Commissioner Smith, Commissioner Serena, Commissioner Young and Commissioner Bollinger. Commissioner Fakh recused himself.**

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5. 13-AB-2018 (Simoneau Abandonment)

Request by owner to abandon the east eight (8) feet of the west thirty-three (33) feet of General Land Office Patent Easement (GLOPE) along N. 79th Street, the south eight (8) feet of the north thirty-three (33) feet of General Land Office Patent Easement (GLOPE) along E. Pinnacle Vista Drive, and the twenty (20) foot wide right-of-way along the south boundary line of a property, with Single-family Residential District, Environmentally Sensitive Lands, Foothills Overlay (R1-70 ESL FO) zoning located at 27301 N. 79th Street. Staff contact person is Jeff Barnes, 480-312-2376. Applicant contact person is Joel Simoneau, 480-363-6690.

**Item No. 5: Recommended City Council approve case 13-AB-2018, by a vote of 7-0; Motion by Commissioner Serena, per the staff recommended stipulations, based upon the finding that the Abandonment is consistent and conforms with the adopted General Plan, 2<sup>nd</sup> by Commissioner Smith.**

**The motion carried unanimously with a vote of seven (7) to zero (0); by Chair Alessio, Vice Chair Fakh, Commissioner Kush, Commissioner Serena, Commissioner Young, Commissioner Smith and Commissioner Bollinger.**

6. 14-UP-2018 (Wonderspaces)

Request by owner for a Conditional Use Permit for a bar in a gallery space internal to Fashion Square mall in a +/- 15,987-square foot suite with Downtown/Downtown Regional Use - Type 2, Planned Block Development Downtown Overlay (D/DRU-2 PBD DO) zoning located at 7014 E. Camelback Road. Staff contact person is Bryan Cluff, 480-312-2258. Applicant contact person is Andrea Lewkowitz, 602-200-7222.

**Item No. 6: Recommended City Council approve case 14-UP-2018, by a vote of 7-0; Motion by Commissioner Serena, per the staff recommended stipulations, based upon the finding that the Conditional Use Permit criteria have been met, 2<sup>nd</sup> by Commissioner Smith.**

**The motion carried unanimously with a vote of seven (7) to zero (0); by Chair Alessio, Vice Chair Fakh, Commissioner Kush, Commissioner Serena, Commissioner Young, Commissioner Smith and Commissioner Bollinger.**

7. 10-ZN-2018 (Pima & Bronco)

Request by owner for approval of Zoning District Map Amendment from Single-family Residential Environmentally Sensitive Lands (R1-70 ESL) to Single-family Residential Planned Residential Development Environmentally Sensitive Land (R1-43 PRD ESL) zoning and approval of a Development Plan and Amended Development Standards on a +/- 20-acre site, located at the southwest corner of N. Pima Road and E. Bronco Trail. Staff contact person is Jeff Barnes, 480-312-2376. Applicant contact person is Tom Kirk, 480-367-4316.

**Item No. 7: Recommended City Council approve case 10-ZN-2018, by a vote of 5-0; Motion by Commissioner Young, per the staff recommended stipulations, after determining that the PRD findings have been met and that the proposed Zoning District Map Amendment, Development Plan and the Development Standards are consistent and conform with the adopted General Plan, 2<sup>nd</sup> by Commissioner Serena. Commissioner Kush and Commissioner Smith recused themselves.**

**The motion carried with a vote of five (5) to zero (0); by Chair Alessio, Commissioner Fakh, Commissioner Serena, Commissioner Young and Commissioner Bollinger. Commissioner Kush and Commissioner Smith recused themselves.**

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## **REGULAR AGENDA**

8. 6-ZN-2018 (Papago Plaza)

Request by owner for approval of a Zoning District Map Amendment from Highway Commercial (C-3) to Planned Community (P-C) District zoning, utilizing the P-C comparable Planned Regional Center (PRC) District, including adopting a development plan and amended PRC development standards on a +/-11-acre site located 7047 and 7115 E. McDowell Rd. Staff contact person is Greg Bloemberg, 480-312-4306. Applicant contact person is Jason Morris, 602-230-0600.

**Item No. 8: Recommended City Council approve case 6-ZN-2018, by a vote of 5-0; Motion by Commissioner Serena, per the staff recommended stipulations and an additional stipulation, after determining that the PCD and PRC findings have been met and that the proposed Zoning District Map Amendment is consistent and conforms with the adopted General Plan, 2<sup>nd</sup> by Commissioner Bollinger. Commissioner Kush and Commissioner Young recused themselves.**

The motion carried with a vote of five (5) to zero (0); by Chair Alessio, Commissioner Fakh, Commissioner Smith, Commissioner Serena, and Commissioner Bollinger. Commissioner Kush and Commissioner Young recused themselves.

**Adjournment - 6:25 p.m.**

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# PLANNING COMMISSION REPORT



Meeting Date: November 14, 2018  
General Plan Element: *Land Use*  
General Plan Goal: *Create a sense of community through land uses*

## ACTION

### Wonderspaces 14-UP-2018

#### Request to consider the following:

1. A recommendation to City Council regarding a request by owner for a Conditional Use Permit for a bar in a gallery space internal to Fashion Square mall in a +/- 15,987-square foot suite with Downtown/Downtown Regional Use - Type 2, Planned Block Development Downtown Overlay (D/DRU-2 PBD DO) zoning located at 7014 E. Camelback Road.

### Goal/Purpose of Request

The applicant's request is for a Conditional Use Permit for a bar to be used in association with an art exhibition/gallery space within Scottsdale Fashion Square Mall.

### Key Items for Consideration

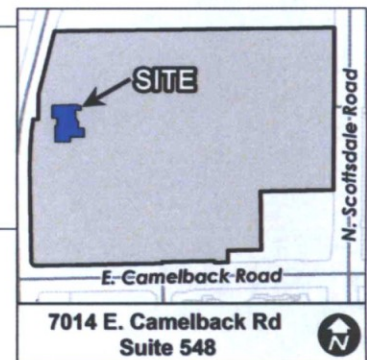
- Conditional Use Permit Criteria
- Located entirely within Fashion Square Mall
- No public comment received

## OWNER

Scottsdale Fashion Square LLC  
(310) 394-6000

## APPLICANT CONTACT

Andrea Lewkowitz  
Lewkowitz Law Office PLC  
602-200-7222





## LOCATION

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7014 E Camelback Rd Ste 548

## BACKGROUND

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### General Plan

The Land Use Element of the General Plan designates the site as Mixed-Use Neighborhoods. This category includes higher density residential, office and retail uses. Mixed-Use Neighborhoods are also characterized within areas that have multiple modes of transportation available.

### Character Area Plan

The Downtown Future Land Use map of the Old Town Scottsdale Character Area Plan designates the site as Downtown Regional Type 3 within the Scottsdale Fashion Square District. This land use is characterized to primarily consist of regional/community serving commercial uses, as well as larger scale housing developments that are commonly centered around or near major regional retail developments.

### Zoning

This site is zoned Downtown/Downtown Regional Use - Type 2, Planned Block Development, Downtown Overlay (D/DRU-2 PBD DO), which allows large-scale development of office, commercial, retail, and residential uses in a mixed-use format. Scottsdale Fashion Square recently received approval from the City Council for a zoning district map amendment to the current D/DRU-2 PBD DO zoning district, which included a master development plan for the property.

### Context

The subject property is located at 7014 East Camelback Road, Suite 548 within the interior of Scottsdale Fashion Square Mall. Within the vicinity of the proposed bar location are office, retail, and restaurant uses. Within the greater vicinity of the mall area there are additional office, retail, restaurant, service, and residential uses. Please refer to context graphics attached.

## APPLICANTS PROPOSAL

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### Development Information

Wonderspaces is an art exhibition/gallery space which will be located on the lower level of Scottsdale Fashion Square Mall adjacent to the food court. The proposed location is within a space previously occupied by Harkin's Theatres. The 15,897 square foot suite will include five (5) galleries, and a small bar near the entrance.

- Existing Use: Commercial (vacant suite)
- Proposed Use: Bar



- Buildings/Description: Existing 2-story mall
- Parcel Size: 65 +/- gross acres  
(Entire mall) 53.66 net acres  
2,337,429 square feet
- Parking Required: 6,100 spaces (entire mall)
- Parking Provided: 8,158 spaces, plus 350 in-lieu spaces (entire mall)
- Floor Area: 15,987 square feet

## IMPACT ANALYSIS

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### Conditional Use Permit

Conditional Use Permits, which may be revocable, conditional, or valid for a specified time period, may be granted only when expressly permitted after the Planning Commission has made a recommendation and City Council has found as follows:

- A. That the granting of such Conditional Use Permit will not be materially detrimental to the public health, safety or welfare. In reaching this conclusion, the Planning Commission and the City Council's consideration shall include, but not be limited to, the following factors:
  1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.
    - There are no anticipated impacts arising from noise, smoke, odor, dust, vibration or illumination. All operations of the Bar use will occur within the Wonderspaces suite which is interior to Fashion Square Mall. No live entertainment is proposed within the establishment. The nearest residential use is north of East Highland Avenue, which is approximately eight hundred twenty (820) feet from the unit of proposed bar use.
  2. Impact on surrounding areas resulting from an unusual volume or character of traffic.
    - The unit that is proposed to be a bar is located in Scottsdale Fashion Square Mall, which fronts on to: North Scottsdale Road and North Goldwater Boulevard, which are Major Arterial streets; East Camelback Road, which is Minor Arterial street; and East Highland Avenue, which is a commercial street. The proposed use is not anticipated to change the existing traffic characteristics of these streets and the traffic generated by Scottsdale Fashion Square Mall.
- B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.
  - The proposed bar use is compatible with surrounding uses, including office, retail, personal care services, restaurants that do not serve alcohol, and restaurants that do serve alcohol operating in Scottsdale Fashion Square Mall.



- C. The additional conditions in Section 1.403, as applicable, have been satisfied.
1. The use shall not disrupt existing balance of daytime and nighttime uses.
    - **The proposed bar is not anticipated to disrupt existing balance of daytime and nighttime uses in Scottsdale Fashion Square Mall. The proposed location is a suite that has been partially vacant since Harkin's relocated.**
  2. The use shall not disrupt pedestrian-oriented daytime activities.
    - **The proposed bar is not anticipated to disrupt the pedestrian-oriented daytime activities that occur within and on the exterior of Scottsdale Fashion Square Mall. The proposed location is a suite that has been partially vacant, and adjacent to the mall's food court which will provide an additional option for the mall's interior pedestrians.**
  3. If the site is located within the downtown overlay district, then:
    - a. The use shall not encourage displacement of daytime retail uses unless it can be demonstrated that the proposed use shall promote diversity of first floor uses along the street.
      - **The proposed bar use will not displace any daytime retail uses. The proposed location is within a suite that has been partially vacant since Harkin's relocated. The gallery space will enhance other daytime retail uses inside the mall by attracting new visitors and groups to the mall.**
    - b. The required parking for the use shall be within six hundred (600) feet of the property and shall not be separated from the property by a major or minor arterial street.
      - **Scottsdale Fashion Square Mall provides 8,158 parking spaces throughout the approximate sixty-five (65) acre complex. The nearest parking to the unit that is proposed to be a bar use is approximately one hundred seventy-five (175) feet to the north.**
  4. If the use is located within five hundred (500) feet of a residential use or district then:
    - a. The use shall not adversely impact residential uses.
    - b. The use shall provide methods of buffering residential uses.
      - **The proposed use is not located within five hundred (500) feet of a residential use or residential district. The nearest residential use is north of East Highland Avenue, which is approximately eight hundred twenty (820) feet from the unit that is proposed to be a bar use.**
  5. An active management and security plan shall be created, approved, implemented, maintained, and enforced for the business.



- A Security, Maintenance and Operations Plan has been reviewed and approved by the Scottsdale Police Department and is on file with the Current Planning Division. Conditions of the plan will be implemented and enforced by the City's Code Enforcement Department and the Scottsdale Police Department.
6. The applicant shall create a written exterior refuse control plan for approval by the City.
    - The bar use will comply with the exterior refuse control plan for Fashion Square mall that has been approved by the City.
  7. The applicant shall demonstrate how noise and light generated by the use shall be mitigated.
    - All operations of the proposed use will occur within the Scottsdale Fashion Square Mall, and no additional mall lighting is anticipated. Any noise concerns within the mall are anticipated to be handled by the Scottsdale Fashion Square Mall's security personal.
  8. The applicant shall demonstrate that the use shall meet required parking and shall not exceed capacity for traffic in the area.
    - Scottsdale Fashion Square Mall is required 6,100 parking spaces and provides 8,158 spaces.
    - The proposed use is not anticipated to change the existing traffic characteristics of these streets and the traffic generated by Scottsdale Fashion Square Mall's.
  9. After hours establishments must maintain a valid after-hours establishment license.
    - No afterhours activities are proposed as part of this application.

### **Community Involvement**

The applicant has notified all property owners and home owner associations within 750 feet of the site. A summary of the Citizen Involvement is included as Attachment #5. The city also notified all property owners within 750 feet of the site. As of the date of this report, staff has not received any public comments regarding the proposed bar use.

### **OPTIONS & STAFF RECOMMENDATION**

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#### **Recommended Approach:**

Staff recommends that the Planning Commission find that the Conditional Use Permit criteria have been met and make a recommendation to City Council for approval, per the attached stipulations.



**RESPONSIBLE DEPARTMENT(S)**

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Planning and Development Services  
Current Planning Services

**STAFF CONTACT(S)**

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Bryan Cluff  
Senior Planner  
480-312-2258  
E-mail: [bcluff@ScottsdaleAZ.gov](mailto:bcluff@ScottsdaleAZ.gov)



**APPROVED BY**

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Bryan Cluff, Report Author

11/5/15

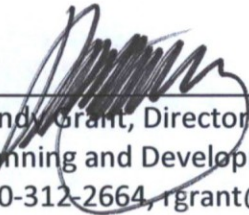
Date



Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

11/5/2018

Date



Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

11/7/18

Date

**ATTACHMENTS**

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1. Context Aerial
- 1A. Aerial Close-Up
2. Stipulations
  - Exhibit A to Attachment 1: Site Plan
  - Exhibit B to Attachment 1: Floor Plan
3. Applicant's Narrative
4. Zoning Map
5. Citizen Involvement
6. City Notification Map





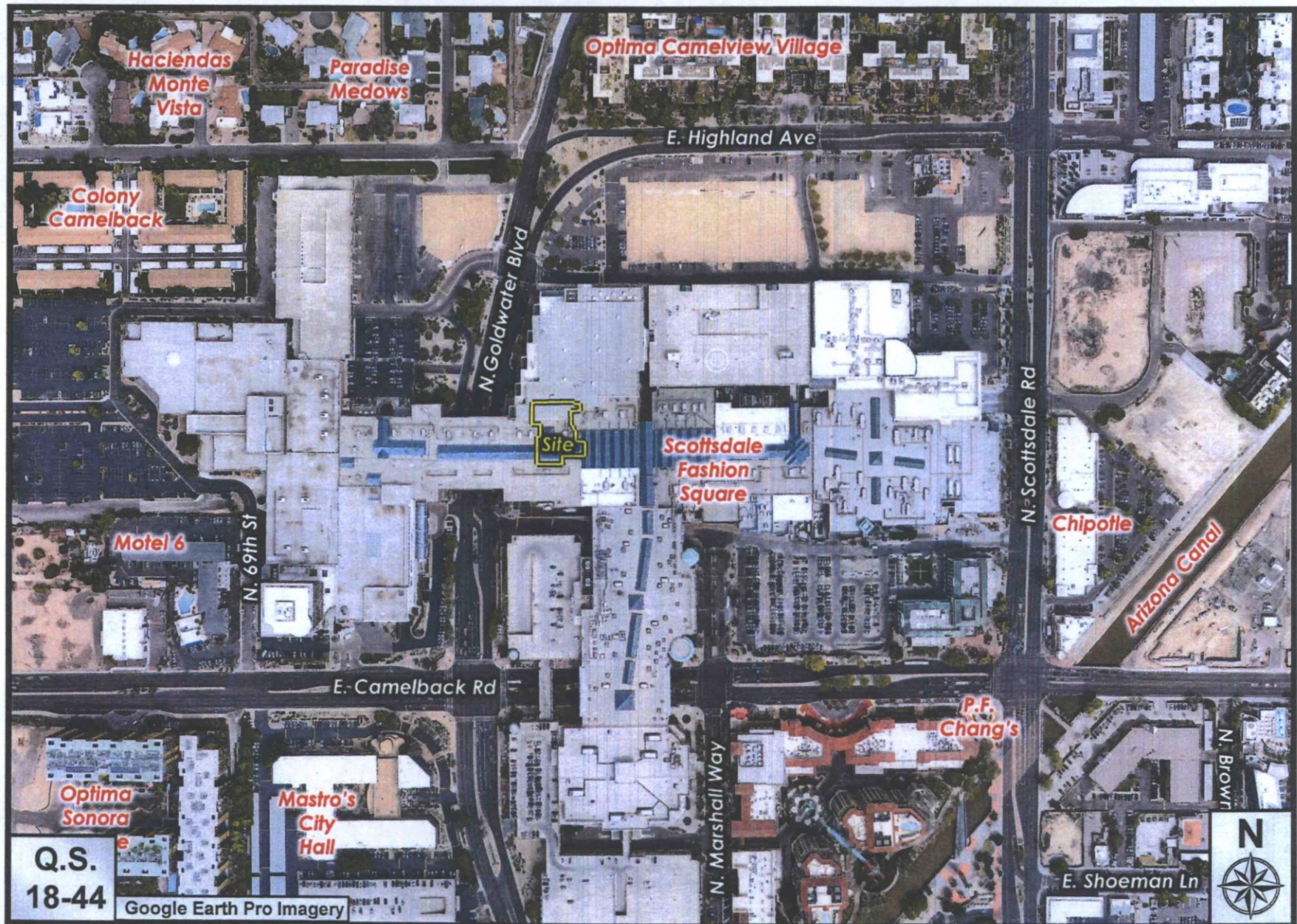
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Google Earth Pro Imagery

Wonderspaces

14-UP-2018





Wonderspaces

14-UP-2018



## Conditional Use Permit – Bar

### Stipulations

### Wonderspaces

**Case Number: 14-UP-2018**

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

#### OPERATIONS

1. **CONFORMANCE TO THE CONCEPTUAL FLOOR PLAN.** The interior layout of the premises shall be in substantial conformance with the conceptual floor plan by Sixty First Place Architects, LTD., and with the city staff date of 9/18/18, attached as Exhibit A to Attachment 2. Any proposed significant change to the conceptual floor plan as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council.
2. **NO LIVE ENTERTAINMENT.** This Conditional Use Permit is for a bar use only, and no live entertainment is approved as part of this request.
3. **HOURS OF BAR OPERATIONS.** The hours of the bar operations for this establishment shall be limited to:

	Open to Customers	Close to Customers
Sunday	9:00 am	2:00 am
Monday	9:00 am	2:00 am
Tuesday	9:00 am	2:00 am
Wednesday	9:00 am	2:00 am
Thursday	9:00 am	2:00 am
Friday	9:00 am	2:00 am
Saturday	9:00 am	2:00 am

4. **SECURITY, MAINTENANCE, AND OPERATIONS PLAN.** The operations of the bar shall conform to the Security, Maintenance, and Operations Plan approved by, and on record with the City of Scottsdale's Police Department and the Planning and Development Services Division. A copy of the approved Security, Maintenance, and Operations shall be maintained on site. Within 10 days after a request by the City Manager or designee, the owner shall provide an update of the Security, Maintenance, and Operations Plan to the Scottsdale Police Department and the Planning and Development Services Division. At least ten (10) days before any operational change of the bar, or any promotional event (excluding Special Events), that modifies the requirements or contents of the Security, Maintenance, and Operations Plan, the owner shall submit a revised Security, Maintenance, and Operations Plan to the Scottsdale Police Department and the Planning and Development Services Division. Any revised Security, Maintenance, and Operations Plan shall be subject to approval by the City of Scottsdale's Police Department and the Planning and Development Services Division. Where the provisions of a Public Safety Plan (PSP) conflict with the SMOP,

#### **ATTACHMENT 2**

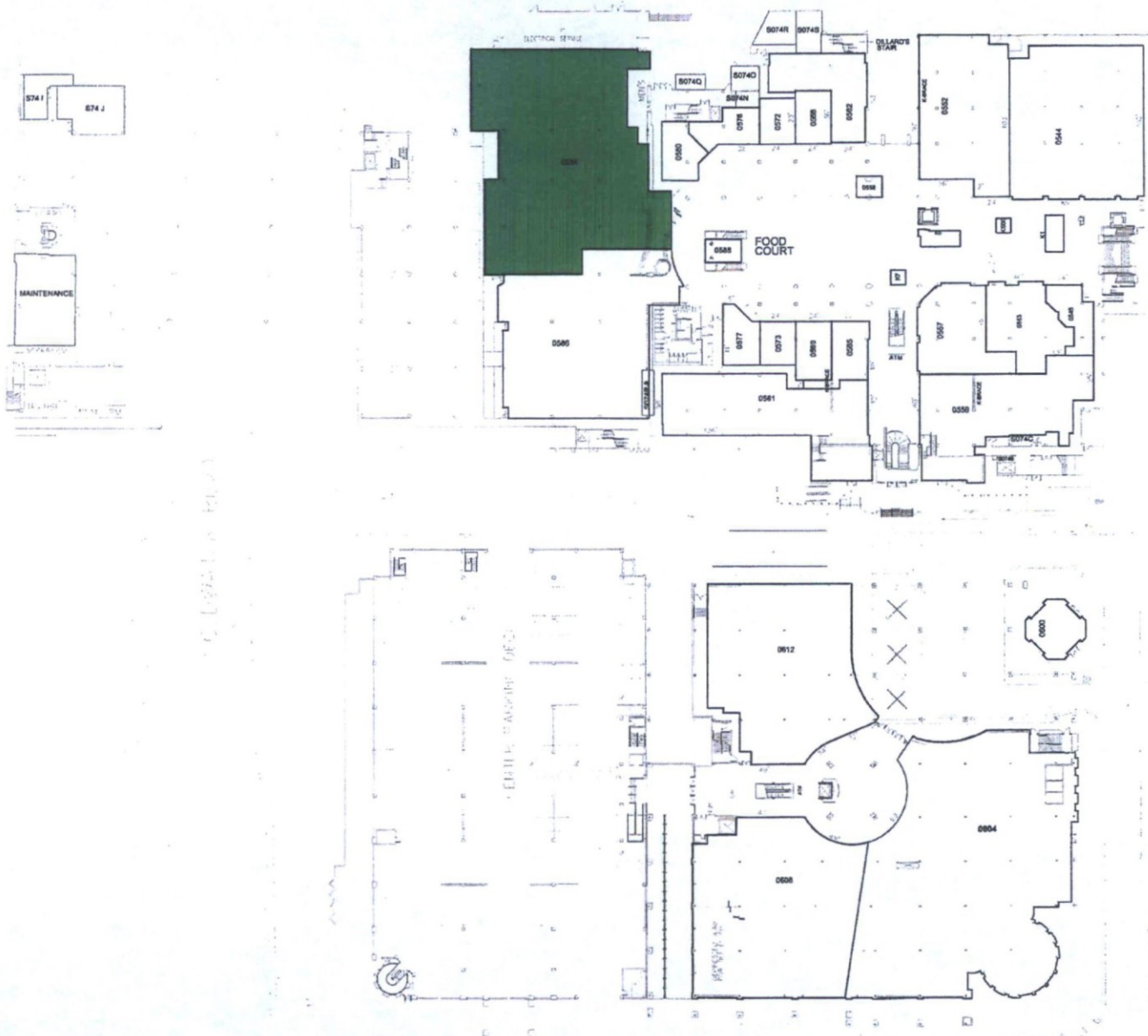


the provisions that establish the higher standard for protection of public health and safety shall prevail.

**ADMINISTRATIVE/PROCESS**

5. **CONDITIONAL USE PERMIT ADMINISTRATIVE REVIEW.** Within ten (10) days after a request by the Zoning Administrator or designee, the owner shall submit a letter to the Zoning Administrator or designee demonstrating compliance with all stipulations. A deviation from any stipulations or change in the floor plan may be grounds for revocation of the Conditional Use Permit.
6. **CHANGES IN OWNERSHIP.** Within ten (10) days after a change in ownership, the owner shall provide notice to the Zoning Administrator in writing of any such ownership change.





SCOTTSDALE  
*Fashion Square*

Mail Address:  
**SCOTTSDALE FASHION  
SQUARE**  
7014 E. Camelback Road  
Scottsdale, AZ 85251  
Phone: (480) 945-5495  
Fax: (480) 423-1455

For Leasing  
Information Contact:  
Kim Choukalas  
**MACERICH**  
11411 North Tatum Blvd.  
Phoenix, AZ 85028  
Phone: (602) 953-6200  
Fax: (602) 953-6296

Note:  
This is a schematic plan only  
intended to show the general layout  
of the shopping center or part  
thereof. This plan is not to be scaled.

LAST UPDATED: 09.11.18  
BY: MH

**MACERICH**

visit our web site at  
[www.macerich.com](http://www.macerich.com)

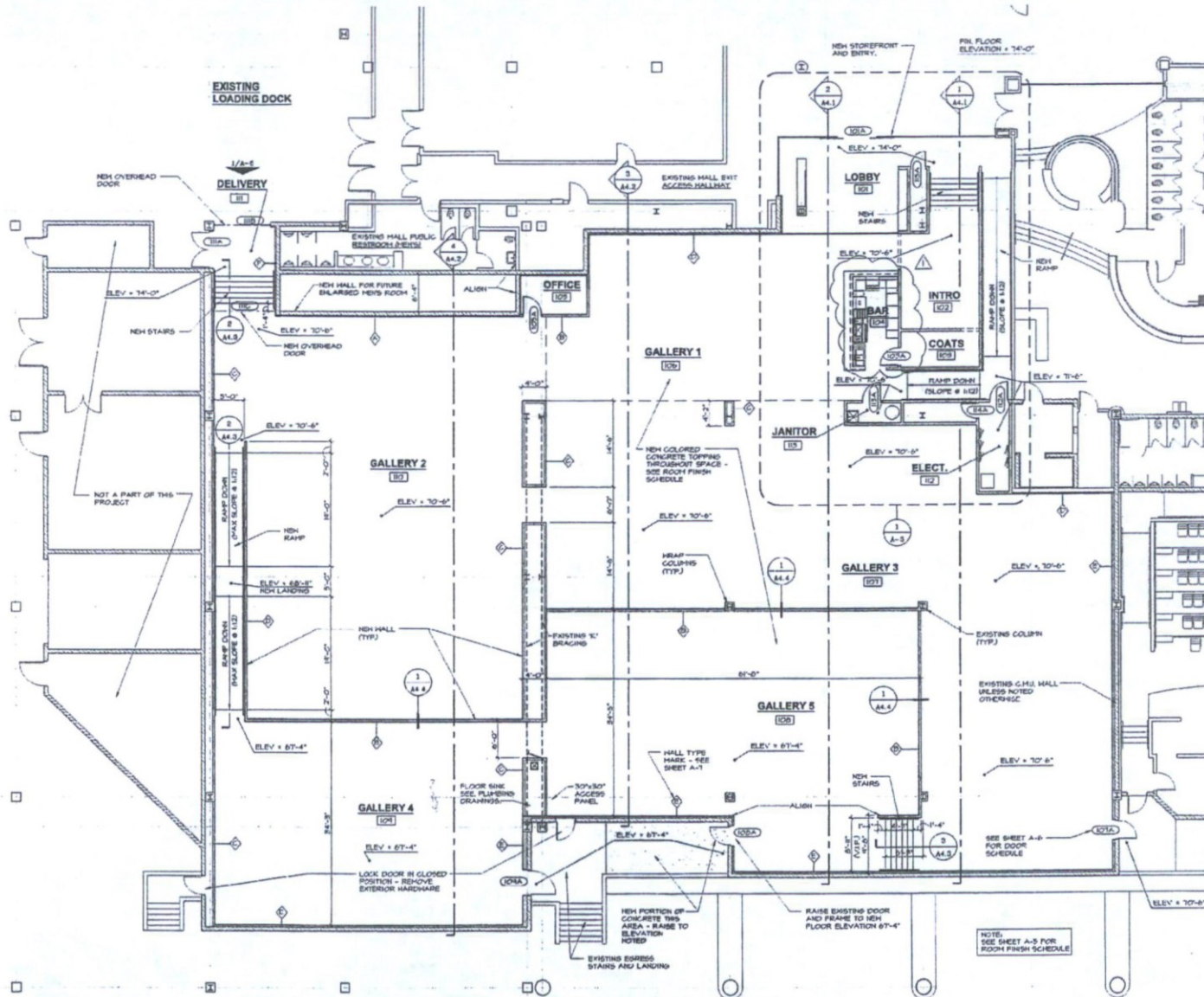
**PALM COURT  
LEASE PLAN**



NORTH

**14-UP-2018  
09/18/18**





1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"

SIXTY FIRST PLACE ARCHITECTS, LTD.  
7100 EAST INDIAN SCHOOL, SUITE L  
SCOTTSDALE, ARIZONA 85251  
PHONE (480) 947-4844 FAX (480) 947-8918

WONDERSPACES  
SCOTTSDALE FASHION SQUARE  
SCOTTSDALE, ARIZONA  
FLOOR PLAN



DATE	REVISIONS
7/23/2018	1. REVISED PER COMMENTS

SIXTY FIRST PLACE ARCHITECTS

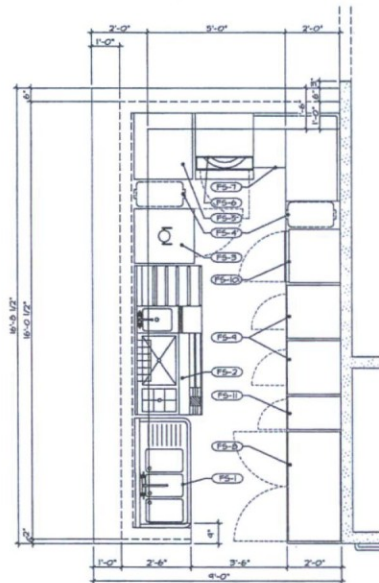
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DATE  
7/23/2018

SHEET NO.  
A-1.1

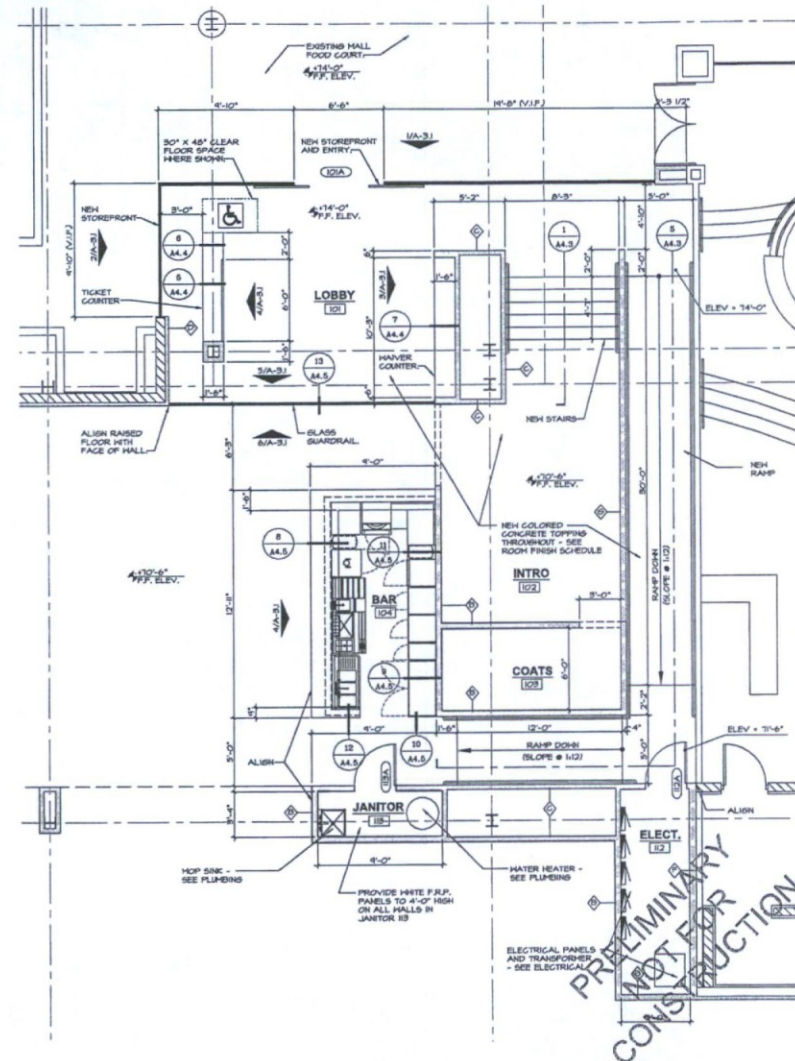
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09/18/18





**2 BAR EQUIPMENT LAYOUT**  
SCALE: 1/2" = 1'-0"

TAG #	DESCRIPTION	QUANTITY	MFR	MODEL	NOTES
FE-1	3 COMPARTMENT SINK WITH DRAIN BOARD (48"H x 24"D) STAINLESS STEEL FINISH	1	-	-	-
FE-2	ALL IN ONE STATION, STAINLESS STEEL FINISH	1	GLASTENDER	ALL-12A	NO RECESSED DRAINBOARD SECTION
FE-3	BEER DISPENSER	1	SUMMIT APPLIANCE	SBC635M-B155BTWH	-
FE-4	UNDER COUNTER TRASH RECEPTACLE	2	-	-	-
FE-5	STAINLESS STEEL 24"H x 25"L x 30"H CUSTOM TABLE	1	-	-	-
FE-6	GLASS WASHER	1	CHAMPION	-	G6 ROTARY TYPE SERIES FULLY AUTOMATIC
FE-7	STAINLESS STEEL 30"H x 30"L x 24"D x 30"H CUSTOM TABLE	1	-	-	-
FE-8	UNDERCOUNTER STORAGE UNIT	1	-	-	24"D x 48"H MILLHOLK CABINET
FE-9	UNDERCOUNTER REFRIGERATOR	2	SUMMIT APPLIANCE	AL516	-
FE-10	UNDERCOUNTER FREEZER	1	SUMMIT APPLIANCE	SCFF532D	-
FE-11	UNDERCOUNTER ICE MAKER	1	SUMMIT APPLIANCE	BM446ADA	-



**1 ENLARGED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SIXTY FIRST PLACE ARCHITECTS, LTD.**  
7120 EAST INDIAN SCHOOL, SUITE L  
SCOTTSDALE, ARIZONA 85251  
PHONE (480) 347-4844 FAX (480) 347-5918

**WONDERSPACES**  
SCOTTSDALE FASHION SQUARE  
SCOTTSDALE, ARIZONA  
ENLARGED FLOOR PLAN



DATE	REVISIONS

**SIXTY FIRST PLACE ARCHITECTS**

JOB NUMBER  
**18013**  
DATE  
**7/23/2018**  
SHEET NO.  
**A-1.2**

**14-UP-2018**  
**09/18/18**



WONDERSPACES  
7014 E. Camelback Rd. Ste. 548

*Conditional Use Permit (Bar) / Project Narrative*

Wonderspaces will open an art exhibition/gallery space on the lower level of Scottsdale Fashion Square (the "mall") adjacent to the food court in a portion of the space previously occupied by Harkins Theatres. The 15,987 square foot suite will include five galleries, and a small bar near the entrance. Wonderspaces will run a series of shows, featuring approximately 14 immersive or interactive artworks for periods of four months each, three times per year. Wonderspaces would like to offer guests 21 and over the opportunity to enjoy alcoholic beverages as an amenity to the unique experience. To allow flexibility for space planning and installation of various exhibits, Wonderspaces has applied to license the entire suite.

CONDITIONAL USE PERMIT CRITERIA (Scottsdale Zoning Ordinance §1.401)

*A. The granting of a conditional use permit will not be materially detrimental to the public health, safety or welfare due to:*

*1. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.*

The proposed use will not create any noise, smoke, odor, dust, vibration or illumination within or outside Wonderspaces' suite. All activity will take place inside the suite, and will not detrimentally affect other mall tenants or residential and commercial properties outside the mall (the nearest residential use is approximately 800 feet away on the north side of Highland Avenue).

*2. Impact on surrounding areas resulting from an unusual volume or character of traffic.*

Traffic access to Wonderspaces will be through the current ingress/egress on Camelback Road, Scottsdale Road, Goldwater Boulevard, and Highland Avenue. The proposed use will not increase traffic in the surrounding areas.

*B. The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.*

The proposed use is compatible with uses inside and outside the mall, including office, retail, entertainment, bars and restaurants.

BAR USE CRITERIA (Scottsdale Zoning Ordinance §1.403.C)

*1. The use shall not disrupt the balance of daytime and nighttime uses.*

The proposed use will not disrupt other daytime or nighttime uses in the mall. Wonderspaces will be open from 9 am until 12 am. Most retail stores in the mall close at or before 9 pm, and restaurants in and around the mall close at or before 12 am.

*2. The use shall not disrupt pedestrian-oriented daytime activities.*



The proposed use is ancillary to the guest experience inside the gallery space. It will not disrupt pedestrian traffic for daytime activities inside or outside the mall.

3. *If the site is located within the downtown overlay district,*
  - a. *The use shall not encourage displacement of daytime retail uses unless it can be demonstrated that the proposed use shall promote diversity of first floor uses along the street.*

The proposed bar use won't displace daytime retail uses. Wonderspaces will open in a currently-vacant suite, which will enhance daytime retail uses inside the mall by attracting new visitors (individuals, families and large groups).
  - b. *The required parking for the use shall be within 600 feet of the property and shall not be separated from the property of a major or minor arterial street.*

The property owner provides parking within 600 feet of the proposed use.
4. *If the use is located within five hundred feet of a residential use or district,*
  - a. *The use shall not adversely impact residential uses.*
  - b. *The use shall provide methods of buffering residential uses.*

The proposed use is not within 500 feet of a residential use or district.
5. *An active management and security plan shall be created approved, implemented, maintained, and enforced for the business.*

Wonderspaces' Security, Maintenance and Operations Plan has been approved by the Scottsdale Police Department, and is filed with the current application.
6. *The property owner shall create a written exterior refuse control plan for approval by the City.*

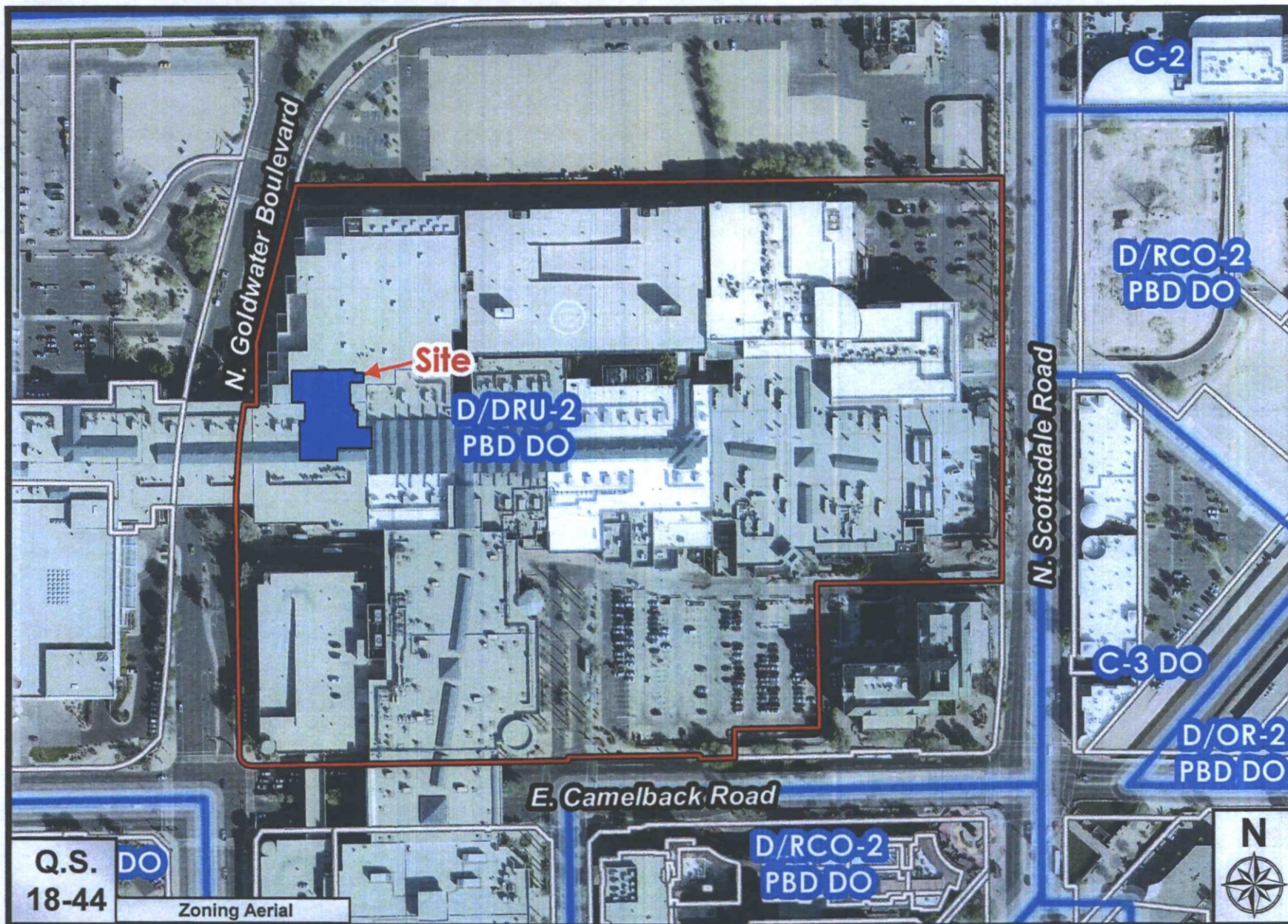
Wonderspaces will use the onsite (outside) dumpsters provided and maintained by the property owner, and will comply with the mall's refuse plan.
7. *The property owner shall demonstrate how noise and light generated by the use shall be mitigated.*

The proposed use will not generate noise or light. All activities at Wonderspaces will take place inside the suite in the mall.
8. *The use shall conform to the parking requirements of Article IX and shall not exceed capacity for traffic in the area.*

The property owner provides nearly 7,000 on-site public parking spaces for mall guests. The proposed use will not require additional parking.
9. *After hours establishments must maintain a valid after hours establishment license.*

Wonderspaces does not intend to operate after-hours.





Wonderspaces

14-UP-2018



# WONDERSPACES

4136 Del Rey Ave  
Marina Del Rey, CA 90292

September 17, 2018

Bryan D. Cluff, LEED AP  
Senior Planner  
City of Scottsdale  
7447 E. Indian School Rd.  
Scottsdale, AZ 85251

RE: Project No. 665-PA-2018; Project Notification Report

Dear Mr. Cluff,

On September 3, 2018, Wonderspaces, Inc. mailed copies of the attached letter and plans via USPS first class mail to each address on the attached mailing list. Such list is comprised of all property owners and HOA's within 750' of the proposed site and all interested parties on the list provided by the City.

No comments or inquiries with respect to the company's liquor license application have been received; however, two local artists reached out to express their interest in the business and their emails are attached hereto.

Sincerely,



Jason Shin

Encl. Letter and plans  
Mailing list  
Map showing 750' radius from parcel  
Email from litiesher@gmail.com  
Email from donnabel@icloud.com



# WONDERSPACES

August 30, 2018

Re: Scottsdale pre-application no. 665-PA-2018

Dear Neighbor,

My name is Jason Shin and I'm the co-founder of Wonderspaces, a company that partners with artists to create art shows that reach a broad audience. Wonderspaces believes there are extraordinary works of art that could be enjoyed by more people than they are reaching today, and we're excited to bring them to Scottsdale starting this winter.

Wonderspaces plans to run a series of ticketed shows at 7014 E Camelback Rd, Ste 548, on the lower level of Scottsdale Fashion Square in a portion of the space previously occupied by Harkins Theatres. Each show will feature approximately fourteen immersive or interactive artworks and operate for roughly four months. We plan to install a new show with all new artwork three times a year.

As part of our food and beverage program, we intend to offer visitors who are twenty one years of age or older the opportunity to purchase alcoholic beverages. We will file for a conditional use permit to allow a series 6 bar liquor license.

Wonderspaces will operate from 9:00 a.m. to 12:00 a.m. every day of the week. The space consists of approximately sixteen thousand square feet, which will be subdivided into art spaces to fit each new show. The purchase of alcohol will be limited within that space to a cafe/bar roughly 30' x 9' in size. All alcoholic beverages will be served at the bar; there will be no table service.

In order to prevent lines and crowding, the number of visitors who will be allowed access to the space every hour will be limited, and tickets will be primarily purchased online. We expect the average visit to last 80-90 minutes. And we expect Scottsdale Fashion Square's current parking capacity to accommodate any additional cars our shows will draw to the area.

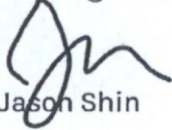
Copies of the project's floor plan and the mall map showing its location are attached. The property is zoned D/DRU-2 (Downtown/Downtown Regional Use) and is within the Planned Block Development and Downtown Overlay Districts.

We are committed to being a good neighbor and member of the Scottsdale community. Additional information about the company is available on our website at [www.wonderspaces.com](http://www.wonderspaces.com). If you have any questions or would like to discuss the project,



please contact the individuals below. Otherwise, we look forward to welcoming you at Wonderspaces later this year!

Best regards,



Jason Shin

Jason Shin  
President, Wonderspaces, Inc.  
4136 Del Rey Ave  
Marina Del Rey, CA 90292  
jason@wonderspaces.com

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Bryan Cluff  
City of Scottsdale, Senior Planner  
7447 E Indian School Rd  
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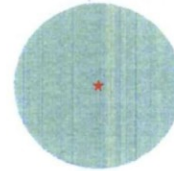
## City Notifications – Mailing List Selection Map



### Map Legend:



Site Boundary



Properties within 750-feet

Postcards: 879

### Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

**14-UP-2018**

**Wonderspaces**