

# WOLFF LEGACY SCOTTSDALE

## PRELIMINARY UTILITY PLAN

8890 E LEGACY BLVD SCOTTSDALE, AZ 85255

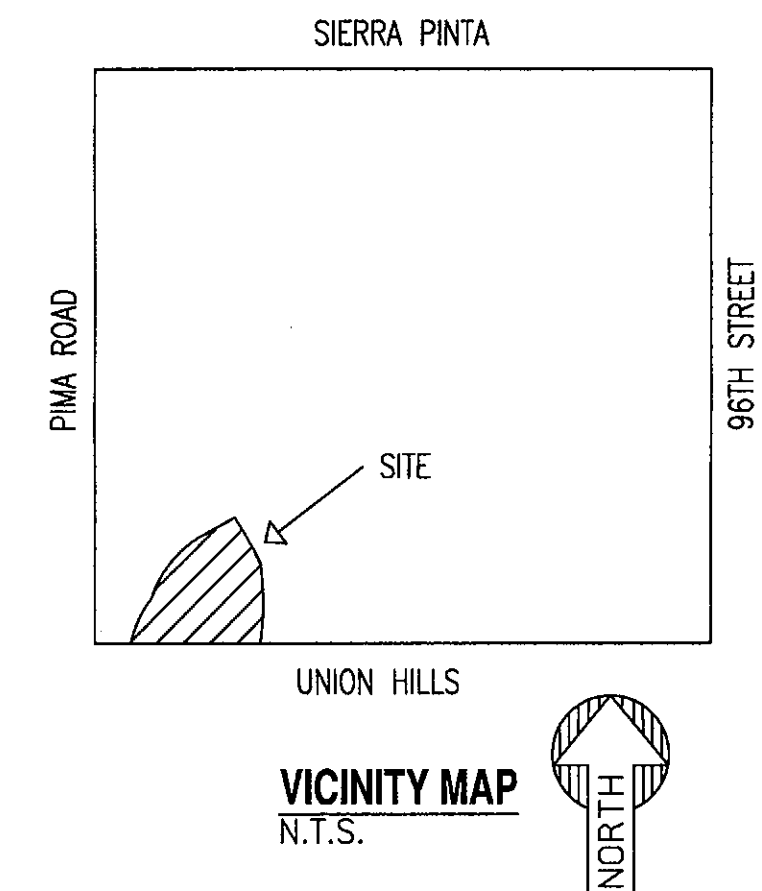
**CIVIL ENGINEER**  
 SUSTAINABILITY ENGINEERING GROUP  
 8280 E. GELDING DR., SUITE #101  
 SCOTTSDALE, ARIZONA 85260  
 PHONE 480-588-7226  
 ATTN: ALI FAKIH

**BASIS OF BEARING:**  
 THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 30, T4N, R5E, PER THE LAND ASSEMBLAGE OF IRONWOOD FESTIVAL RECORDED IN BOOK 991, PAGE 1, MCR, USING A BEARING OF NORTH 89°56'55" EAST.

**BENCHMARK:**  
 BENCHMARK IS A CITY OF SCOTTSDALE BRASS CAP FLUSH BEING THE SOUTHWEST CORNER OF SECTION 30, T4N, R5E.

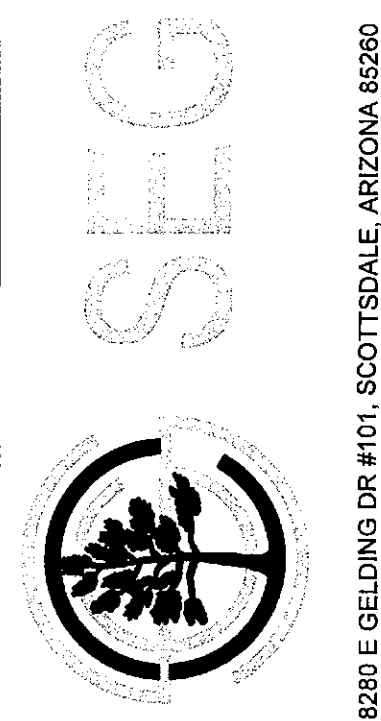
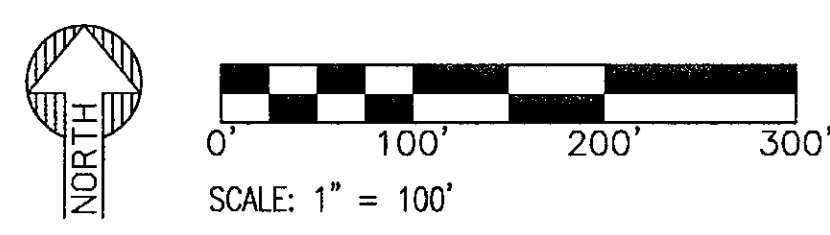
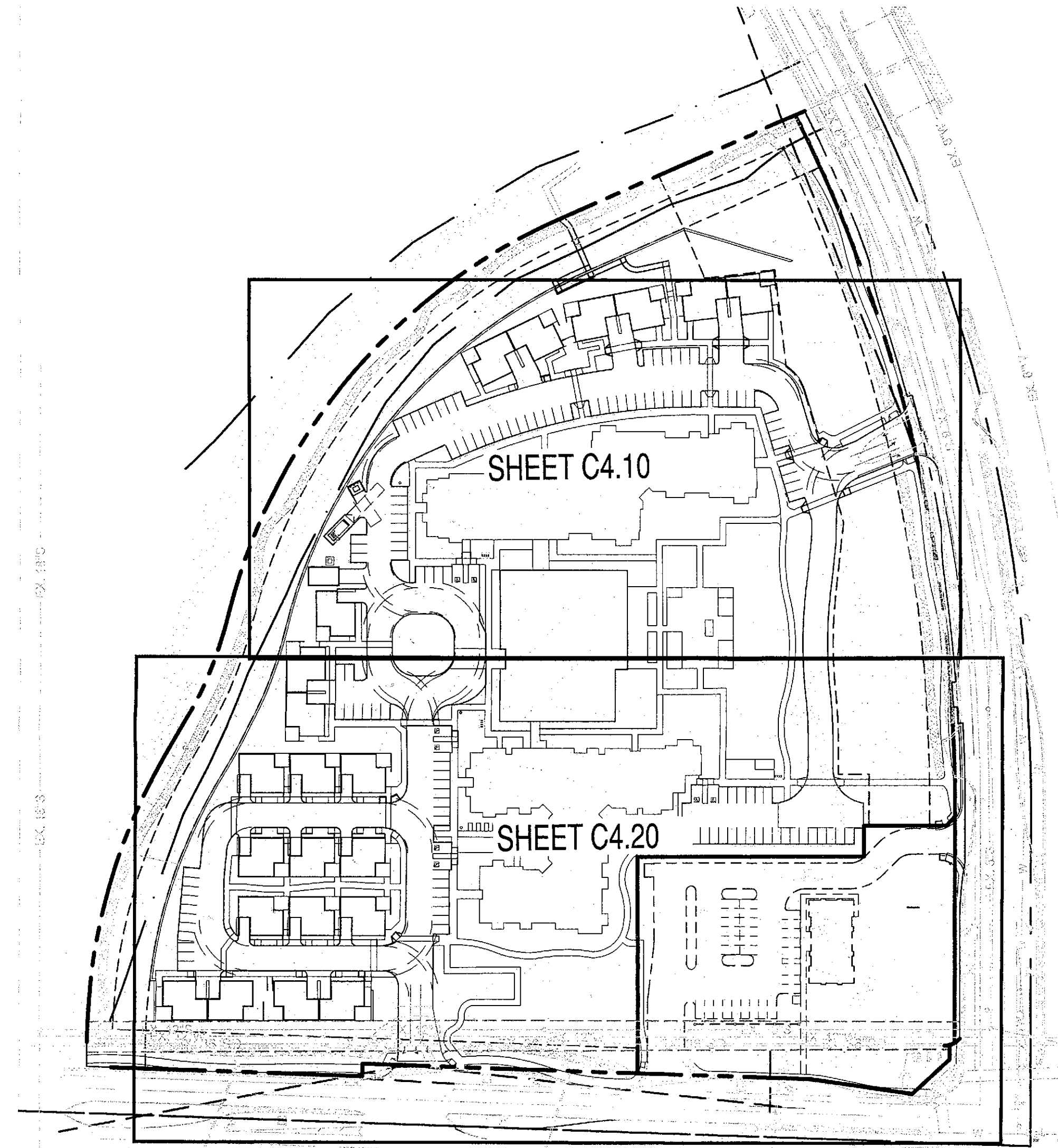
ELEVATION = 1637.75' (NAVD 88)

- UTILITY NOTES:**
1. NOT USED.
  2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITY LINES.
  3. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE GOVERNING AGENCY TO SECURE PERMITS AND FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
  4. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
  5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ARIZONA UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS BEFORE THE START OF THE WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
  6. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
  7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION AS NECESSARY.
  8. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
  9. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
  10. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
  11. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
  12. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
  13. THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, APPROPRIATE LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
  14. THE CONTRACTOR SHALL CONTACT THE LOCAL COUNTY HEALTH DEPARTMENT AND FILE AND OBTAIN A PLUMBING PERMIT FOR THE WORK INDICATED HEREON AND COMPLY WITH THE LOCAL COUNTY PLUMBING CODE.
  15. IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
  16. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY COMPANY AND LOCAL AGENCY REVIEW.
  17. CAP STUBS AND PROVIDE FIELD MARKERS.
  18. CONTRACTOR TO VERIFY ALL INVERTS AND CLEARANCES OF CROSSING UTILITY PRIOR TO COMMENCING CONSTRUCTION OF SANITARY SEWER MAIN. PROTECT WATERMAIN PER MAG STD DTL 404-1 AND 404-2.

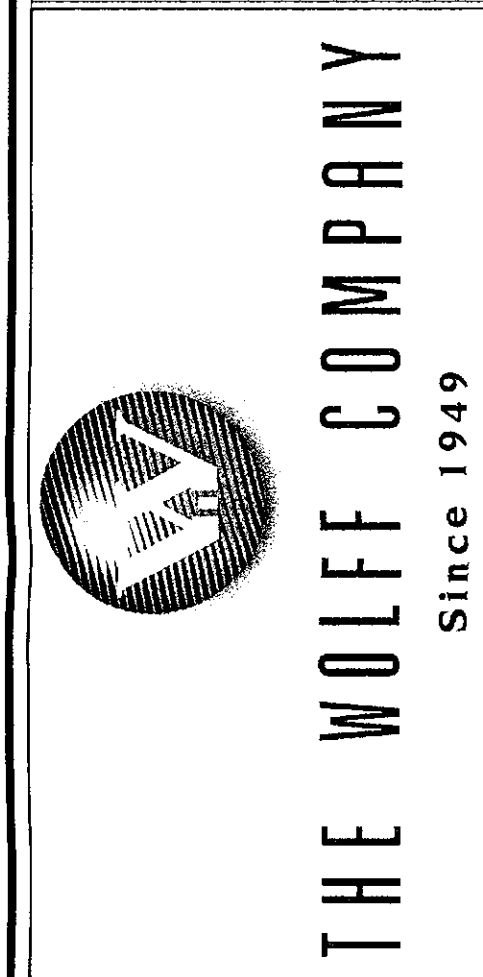


**SHEET INDEX:**

C4.00	COVER SHEET
C4.10	PRELIMINARY UTILITY PLAN
C4.20	PRELIMINARY UTILITY PLAN



8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260  
 WWW.AZSEEG.COM TEL. 480.688.7226



**PROJECT:** WOLFF LEGACY SCOTTSDALE  
**LOCATION:** 8890 E LEGACY BLVD, SCOTTSDALE, AZ 85255

**DRAWN:** TAPIA  
**DESIGNED:** TAPIA  
**CHECKED:** COUNSELL  
**PROJ. MGR.:** FAKIH

**DATE:** 05/02/18

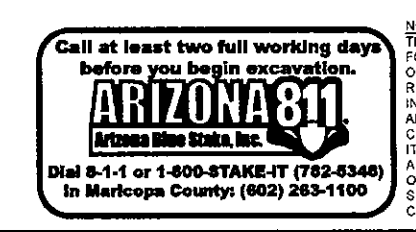
**ISSUED FOR:** DRB

**REVISION NO.:**      **DATE:**


**JOB NO.:** 170726

**SHEET TITLE:** COVER SHEET

**SHEET NO.:** C4.00



NOTE TO CONTRACTOR: THE SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES INCLUDING FEDERAL A.C.A. REQUIREMENTS. THE SET FURTHER STATES THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND TO MAKE THE OWNER/ARCHITECT OF ANY QUESTIONS OR CLARIFICATIONS (WHICH ARE DESIRED). CONTRACTORS SHALL ALSO VISIT THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO READ ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

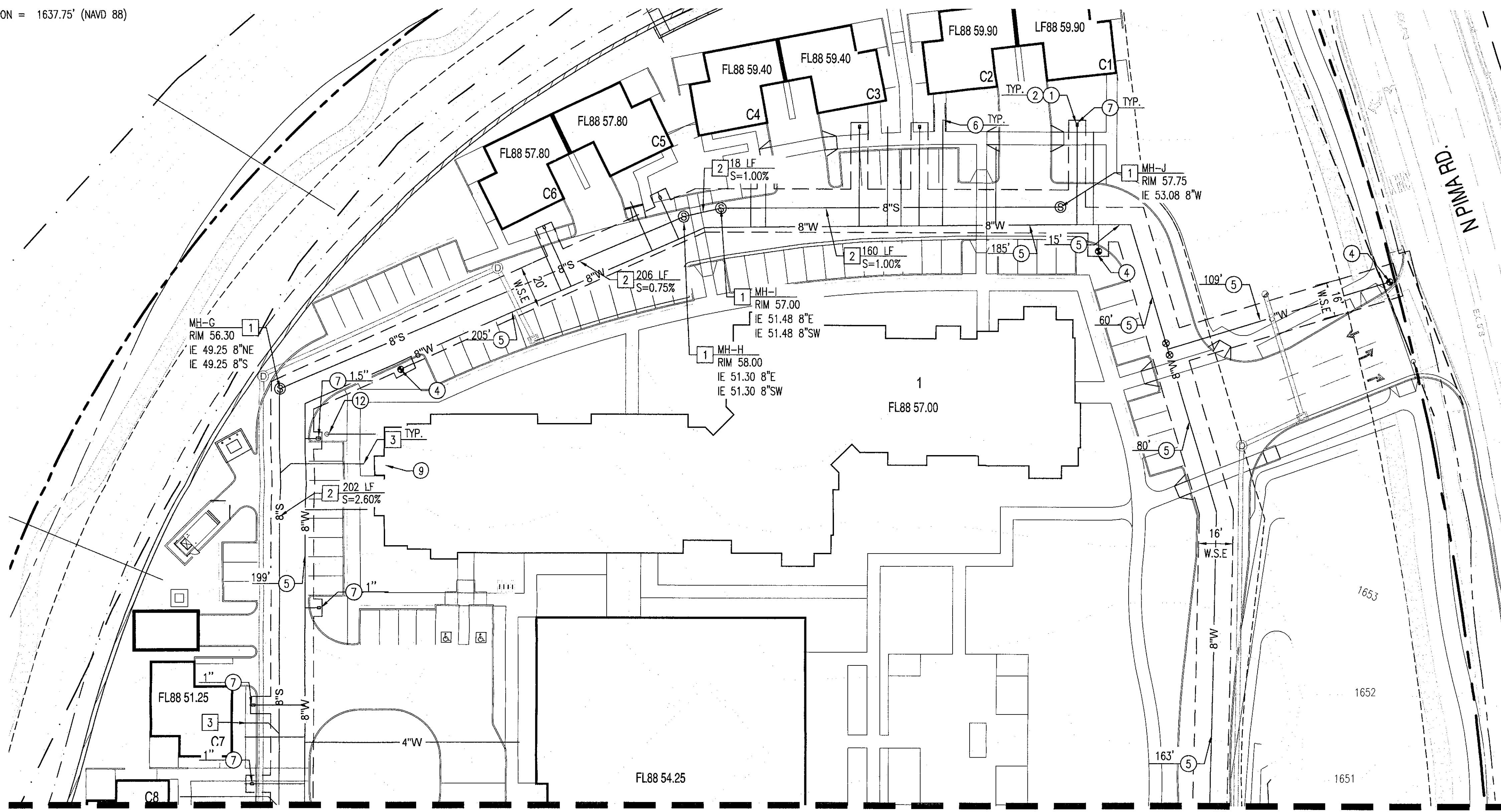
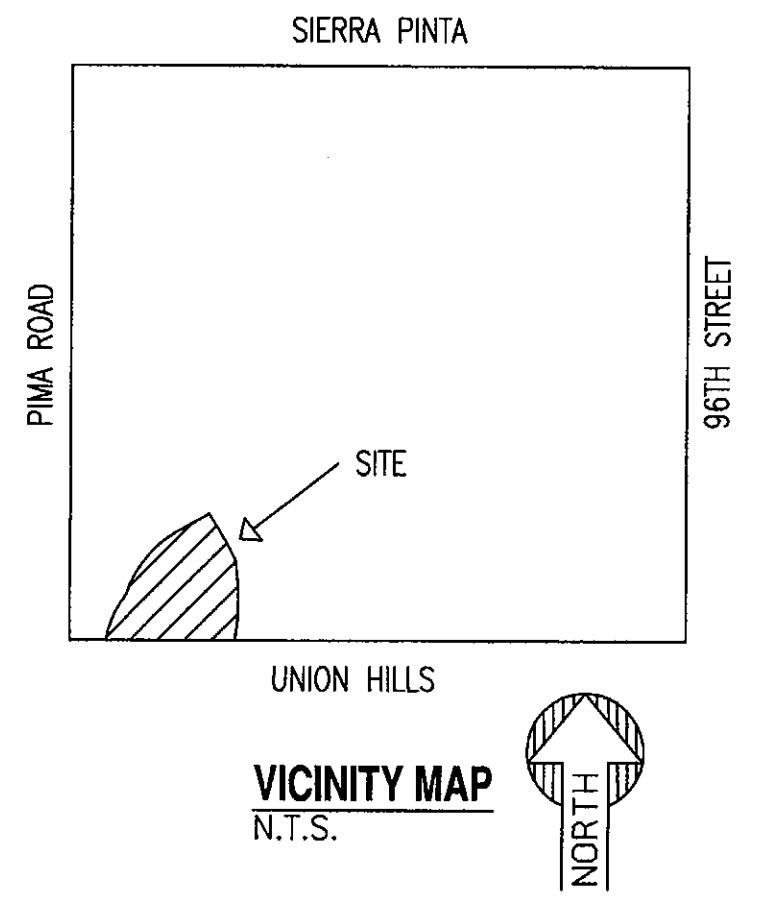
**CIVIL ENGINEER**  
 SUSTAINABILITY ENGINEERING GROUP  
 8280 E. GELDING DR., SUITE #101  
 SCOTTSDALE, ARIZONA 85260  
 PHONE 480-588-7226  
 ATTN: ALI FAKIH

**WOLFF LEGACY SCOTTSDALE**  
**PRELIMINARY UTILITY PLAN**  
 8890 E LEGACY BLVD SCOTTSDALE, AZ 85255

**BASIS OF BEARING:**  
 THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 30, T4N, R5E, PER THE LAND ASSEMBLAGE OF IRONWOOD FESTIVAL RECORDED IN BOOK 991, PAGE 1, MCR, USING A BEARING OF NORTH 89°56'55" EAST.

**BENCHMARK:**  
 BENCHMARK IS A CITY OF SCOTTSDALE BRASS CAP FLUSH BEING THE SOUTHWEST CORNER OF SECTION 30, T4N, R5E.

ELEVATION = 1637.75' (NAVD 88)



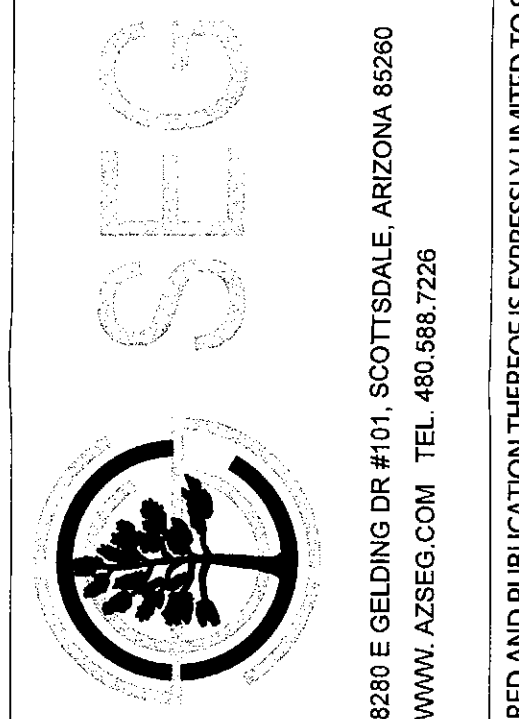
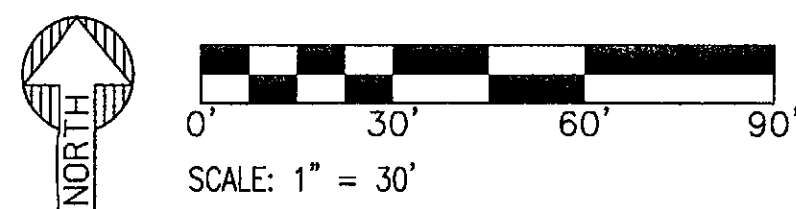
- ONSITE WATER KEY NOTES:**
- ① INSTALL 1" COPPER TYPE "K" DOMESTIC SERVICE. LENGTH PER PLAN.
  - ② DOMESTIC WATER CONNECTION TO BUILDING, SEE MEP PLAN FOR CONTINUATION.
  - ③A 1" SERVICE CONNECTION
  - ③B INSTALL 12" X 8" TSVB&C.
  - ④ INSTALL NEW FIRE HYDRANT (INCLUDING 6" GATE VALVE, BOX & COVER) PER MAG STD DET 360-1 & PAVEMENT MARKER (PM) PER COS DET 2363. MEGA LUG RESTRAINED JOINT PER MAG STD DET 303-1 & 303-2.
  - ⑤ INSTALL 8" DUCTILE IRON PIPE CLASS 350 WITH POLYETHYLENE WRAPPING. LENGTH PER PLAN. MEGA LUG RESTRAINED JOINT PER MAG STD DET 303-1 & 303-2.
  - ⑥ FIRE CONNECTION TO BUILDING, SEE MEP PLAN FOR CONTINUATION.
  - ⑦ WATER METER. SIZE PER PLAN.
  - ⑧ 3/4" IRRIGATION METER BOX.
  - ⑨ FIRE RISER ROOM LOCATION.
  - ⑩ 3/4" IRRIGATION SERVICE.
  - ⑪ CONTRACTOR TO VERIFY ALL INVERTS & CLEARANCES OF CROSSING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
  - ⑫ FIRE DEPARTMENT CONNECTION.

- SEWER KEY NOTES:**
- ① INSTALL SEWER MANHOLE PER MAG STD DET. 420 & 424.
  - ② FURNISH & INSTALL 6" PVC SDR-35 SEWER LINE TO INVERT ELEVATION SHOWN. PROVIDE LOCATOR TAPE OR WIRE 12" ABOVE ENTIRE LENGTH OF PIPE.
  - ③ SEE BUILDING PLANS FOR CONTINUATION.
  - ④ INSTALL 6" SEWER WYE.
  - ⑤ GREASE INTERCEPTOR REFER TO PLUMBING PLANS.

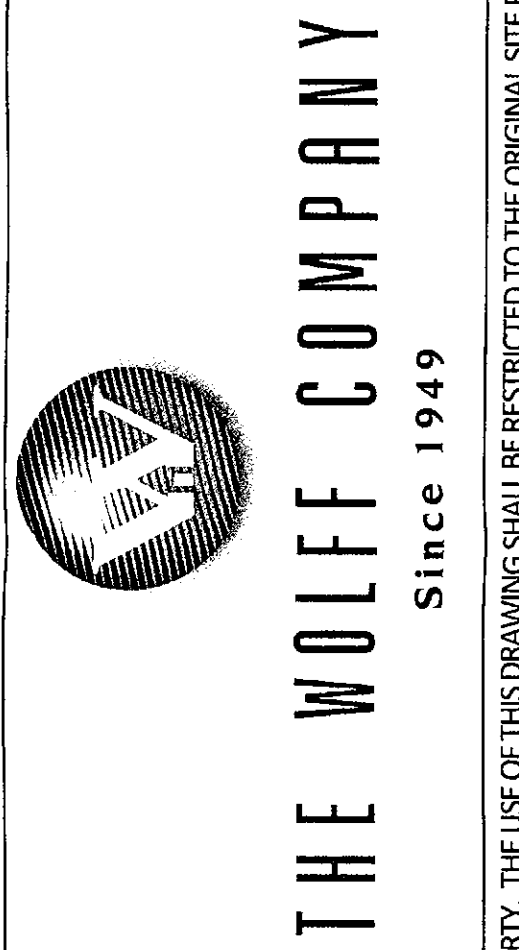
**PROPOSED LEGEND:**

- PROPERTY LINE
- 8"W ----- WATER LINE
- 8"S ----- SEWER LINE
- FIRE HYDRANT
- ⊙ SEWER MANHOLE
- ⊞ GREASE INTERCEPTOR
- WATER METER BOX
- TSVB&C

MATCHLINE SHEET C4.20



8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260  
 WWW.AZSEG.COM TEL. 480.588.7226



PROJECT: WOLFF LEGACY SCOTTSDALE  
 LOCATION: 8890 E LEGACY BLVD, SCOTTSDALE, AZ 85255

DRAWN	TAPIA
DESIGNED	TAPIA
CHECKED	COUNSELL
PRJ. MGR.	FAKIH
DATE:	05/02/18
ISSUED FOR:	DRB
REVISION NO.:	DATE:
△	
△	
△	
JOB NO.:	170726
SHEET TITLE:	PRELIMINARY UTILITY PLAN
SHEET NO.:	C4.10

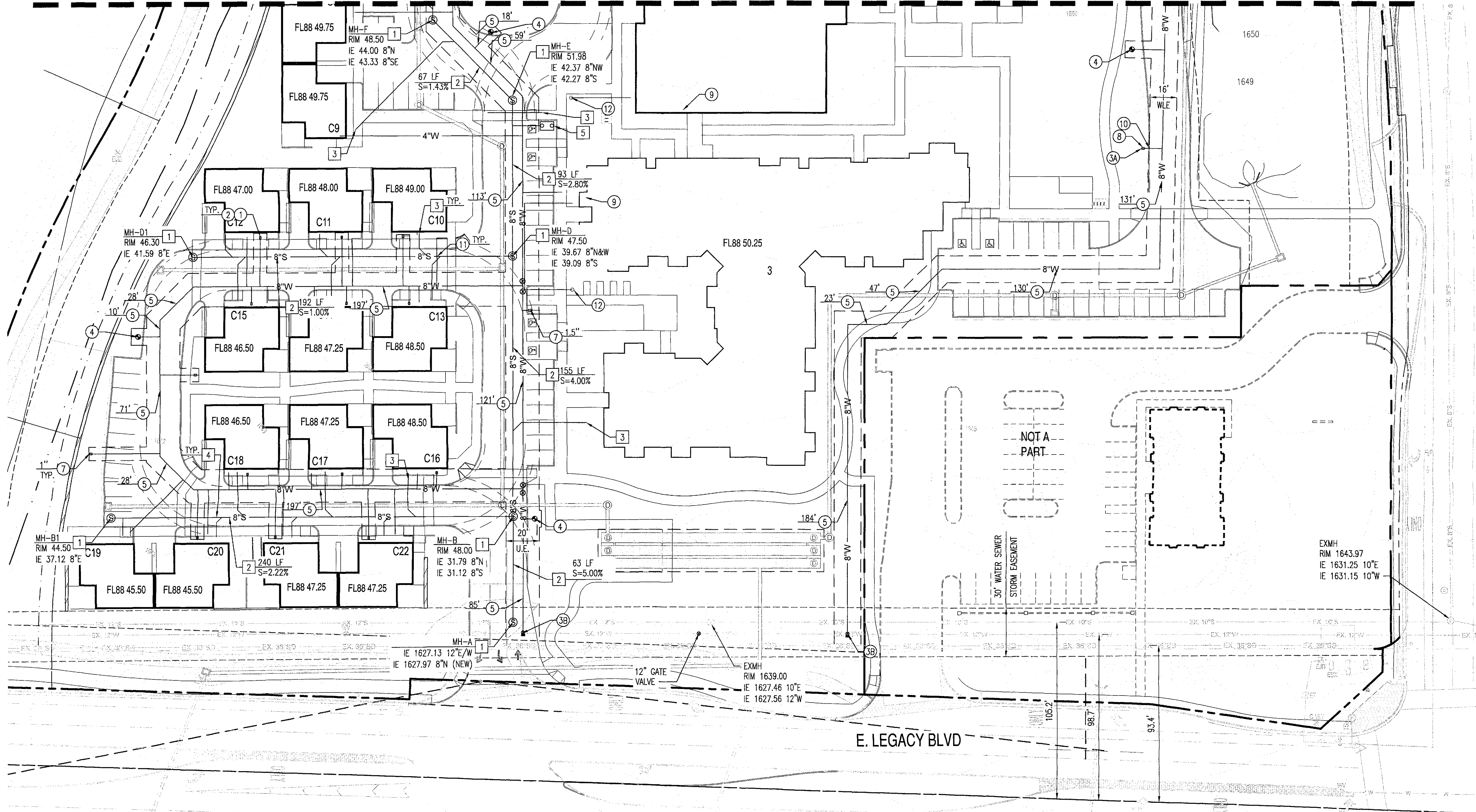
Call at least two full working days before you begin excavation.  
**ARIZONA811**  
 1-800-STAR4UT (782-4848)  
 In Maricopa County: (602) 253-1100

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

# WOLFF LEGACY SCOTTSDALE PRELIMINARY UTILITY PLAN

8890 E LEGACY BLVD SCOTTSDALE, AZ 85255

MATCHLINE SHEET C4.10



**ONSITE WATER KEY NOTES:**

- ① INSTALL 1" COPPER TYPE "K" DOMESTIC SERVICE. LENGTH PER PLAN.
- ② DOMESTIC WATER CONNECTION TO BUILDING, SEE MEP PLAN FOR CONTINUATION.
- ③A 1" SERVICE CONNECTION
- ③B INSTALL 12" X 8" TSVB&C.
- ④ INSTALL NEW FIRE HYDRANT (INCLUDING 6" GATE VALVE, BOX & COVER) PER MAG STD DET 360-1 & PAVEMENT MARKER (PM) PER COS DET 2363. MEGA LUG RESTRAINED JOINT PER MAG STD DET 303-1 & 303-2.
- ⑤ INSTALL 8" DUCTILE IRON PIPE CLASS 350 WITH POLYETHYLENE WRAPPING. LENGTH PER PLAN. MEGA LUG RESTRAINED JOINT PER MAG STD DET 303-1 & 303-2.

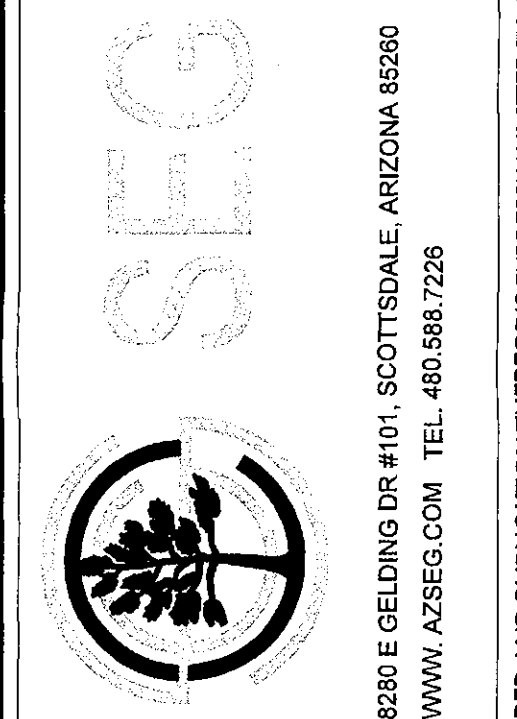
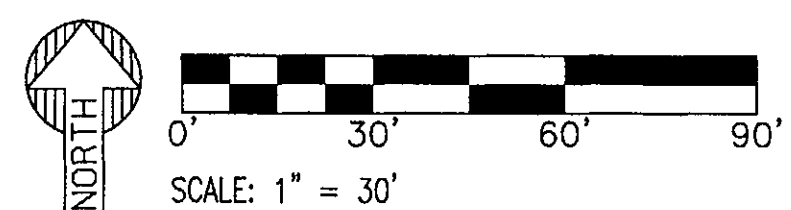
- ⑥ FIRE CONNECTION TO BUILDING, SEE MEP PLAN FOR CONTINUATION.
- ⑦ WATER METER. SIZE PER PLAN.
- ⑧ 3/4" IRRIGATION METER BOX.
- ⑨ FIRE RISER ROOM LOCATION.
- ⑩ 3/4" IRRIGATION SERVICE.
- ⑪ CONTRACTOR TO VERIFY ALL INVERTS & CLEARANCES OF CROSSING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- ⑫ FIRE DEPARTMENT CONNECTION.

**SEWER KEY NOTES:**

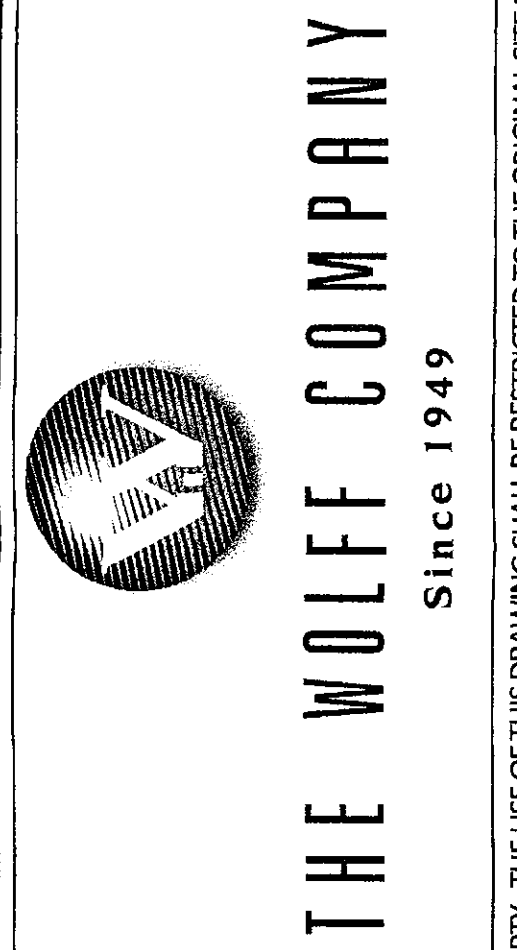
- ① INSTALL SEWER MANHOLE PER MAG STD DET. 420 & 424.
- ② FURNISH & INSTALL 6" PVC SDR-35 SEWER LINE TO INVERT ELEVATION SHOWN. PROVIDE LOCATOR TAPE OR WIRE 12" ABOVE ENTIRE LENGTH OF PIPE.
- ③ SEE BUILDING PLANS FOR CONTINUATION.
- ④ INSTALL 6" SEWER WYE.
- ⑤ GREASE INTERCEPTOR REFER TO PLUMBING PLANS.

**PROPOSED LEGEND:**

- — — — — PROPERTY LINE
- 8"W — WATER LINE
- 8"S — SEWER LINE
- FIRE HYDRANT
- ⊙ SEWER MANHOLE
- ⊞ GREASE INTERCEPTOR
- WATER METER BOX
- ⊙ TSV&C



8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL. 480.568.7228



**THE WOLFF COMPANY**  
Since 1949

PROJECT: WOLFF LEGACY SCOTTSDALE  
LOCATION: 8890 E LEGACY BLVD, SCOTTSDALE, AZ 85255

DRAWN: TAPIA  
DESIGNED: TAPIA  
CHECKED: TAPIA  
PROJ. MGR.: COUNSELL  
FAKIH

DATE: 05/02/18  
ISSUED FOR: DRB

REVISION NO.	DATE

JOB NO.: 170726  
SHEET TITLE: PRELIMINARY UTILITY PLAN  
SHEET NO.: C4.20



NOT TO CONTRACTOR: THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THE USER MUST READ TO UNDERSTAND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES INCLUDING FEDERAL AIA REQUIREMENTS. THE USER ASSUMES THAT THERE ARE NO UNKNOWN SOIL CONDITIONS OR OTHER HAZARDOUS CONDITIONS AT THE SITE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AT THE SITE BEFORE BEGINNING CONSTRUCTION. CONTRACTORS ARE REQUESTED TO REVIEW ALL CONDITIONS AND APPLICABLE CODES.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

# WOLFF LEGACY SCOTTSDALE

## PRELIMINARY GRADING PLAN

8890 E LEGACY BLVD SCOTTSDALE, AZ 85255

**CIVIL ENGINEER**  
 SUSTAINABILITY ENGINEERING GROUP  
 8280 E. GELDING DR., SUITE #101  
 SCOTTSDALE, ARIZONA 85260  
 PHONE 480-588-7226  
 ATTN: ALI FAKIH

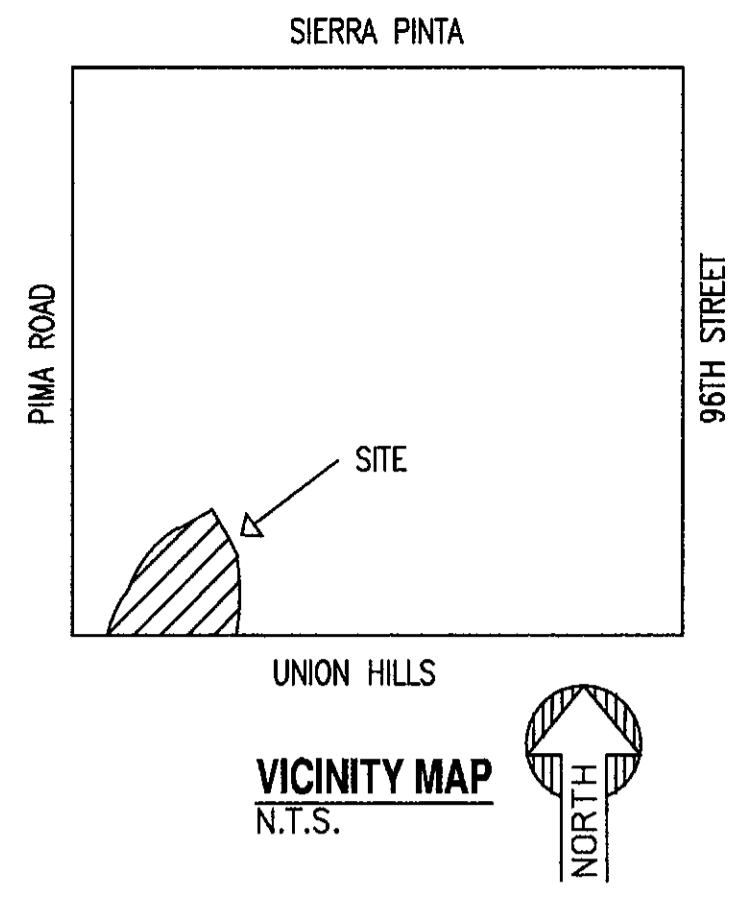
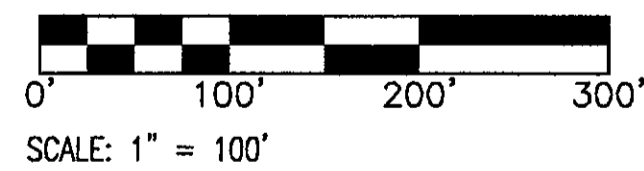
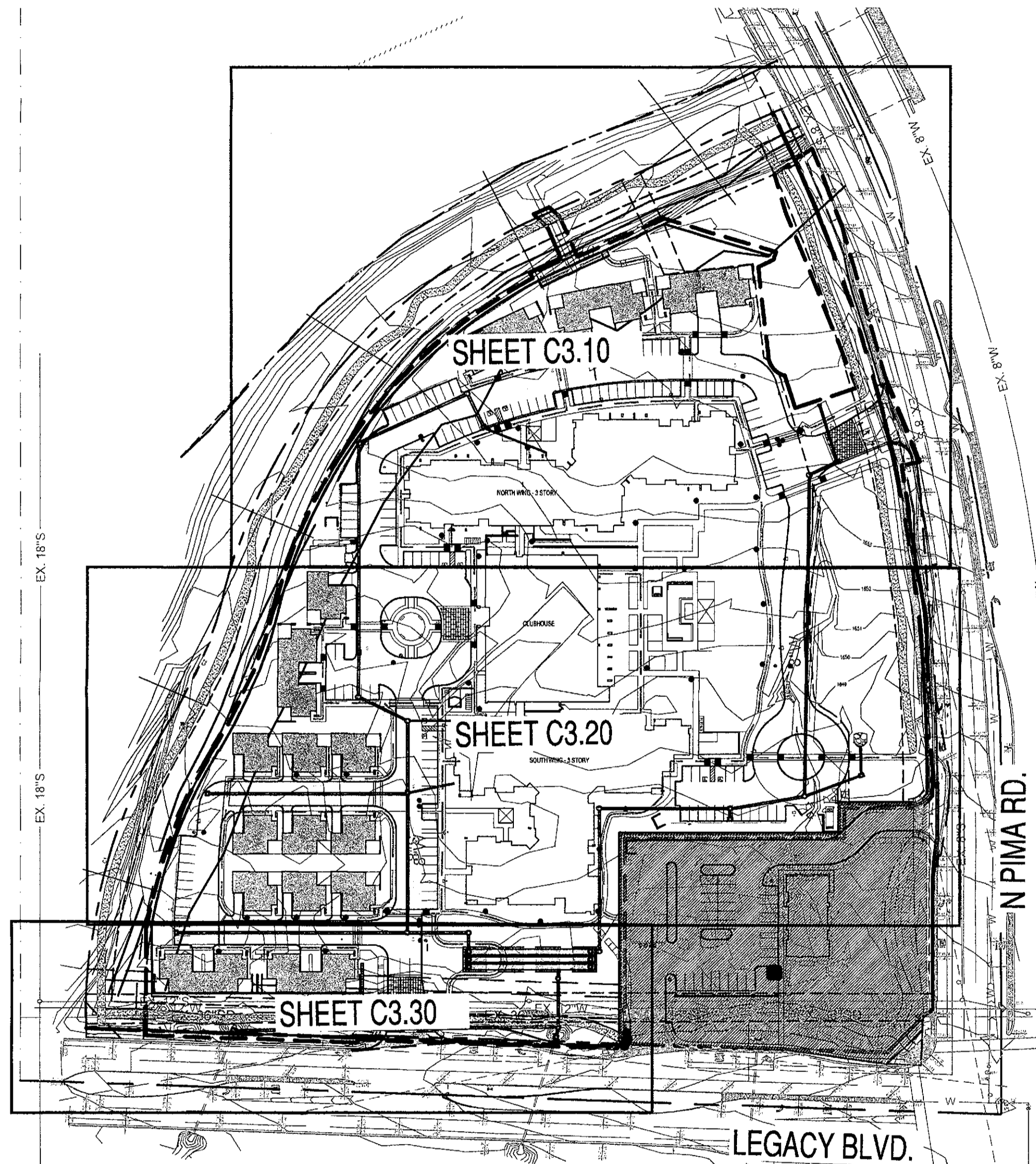
**BASIS OF BEARING:**  
 THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 30, T4N, R5E, PER THE LAND ASSEMBLAGE OF IRONWOOD FESTIVAL RECORDED IN BOOK 991, PAGE 1, MCR, USING A BEARING OF NORTH 89°56'55" EAST.

**BENCHMARK:**  
 BENCHMARK IS A CITY OF SCOTTSDALE BRASS CAP FLUSH BEING THE SOUTHWEST CORNER OF SECTION 30, T4N, R5E.

ELEVATION = 1637.75' (NAVD 88)

**GRADING NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
2. PROPOSED SPOT ELEVATIONS SHOWN REPRESENT FINISHED PAVING, SIDEWALK, SLAB, GUTTER FLOWLINE, OR GROUND ELEVATION. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
4. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE STABILIZED.
5. IF STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS ARE STOCKPILED ON THE SITE, THESE MATERIALS MAY BE PLACED TO A HEIGHT OF FIVE FEET. SILT FENCE SHALL BE PLACED AROUND THE BASE OF THE STOCKPILE AND THE STOCKPILE SHALL BE SEEDDED WITH NATIVE SEED MIX IMMEDIATELY AFTER STRIPING OPERATIONS ARE COMPLETE.
6. IF APPLICABLE, LIME TREATED SUBGRADE MATERIAL SHOULD MEET ARIZONA HIGHWAY DEPARTMENT SPECIFICATIONS. A SPECIFIC MIX DESIGN SHOULD BE PREPARED BY THE GEOTECHNICAL CONSULTANT.
7. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO PROPOSED GRADE PRIOR TO PLACEMENT OF THE FINAL LIFT OF ASPHALT.
8. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE SOILS REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE SOILS REPORT ON THE SITE AT ALL TIMES.
9. SUBGRADE WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN SUBGRADE ELEVATION. HOWEVER, ON THE FINISHED ASPHALT SURFACE, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
10. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPES AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR THE TYPICAL SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURED WITHOUT APPROVAL OF THE ENGINEER.
11. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
12. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES TO ENSURE NO STANDING WATER.
13. PROVIDE THICKENED PAVEMENT TRANSITION AROUND STRUCTURES AND AT OPEN EDGE OF PAVEMENT SECTION.
14. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
15. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
16. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
17. THE CONTRACTOR IS ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT HE SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE PROJECT AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.



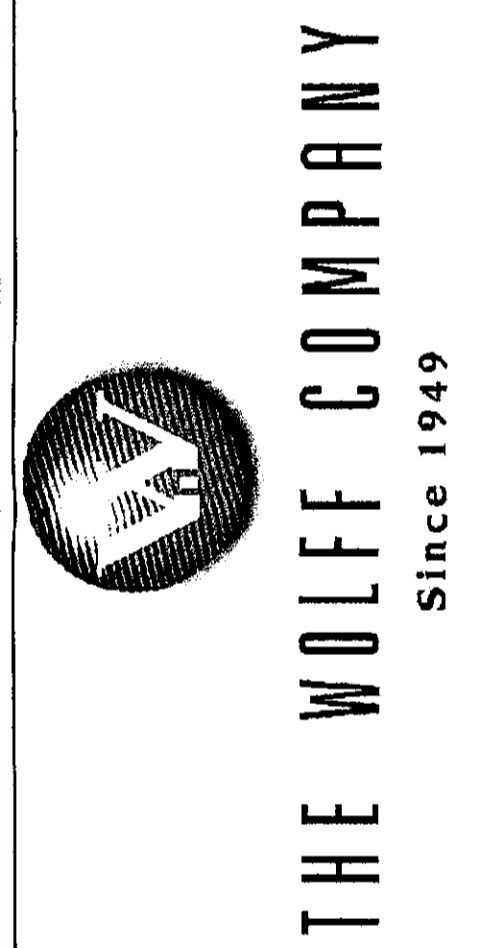
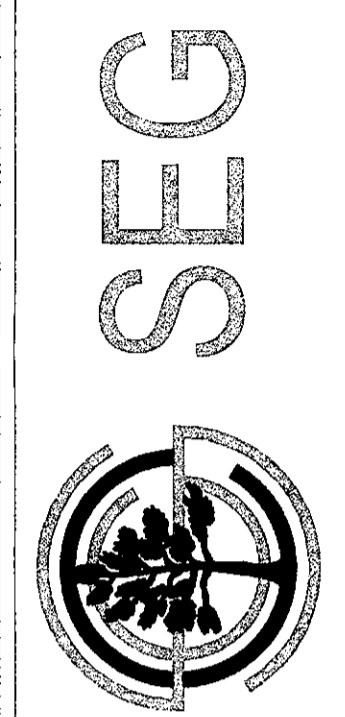
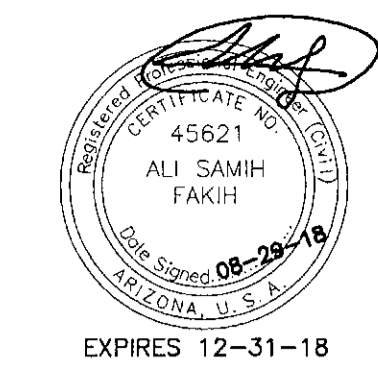
**SHEET INDEX:**

- C3.00 COVER SHEET
- C3.10 PRELIMINARY GRADING & DRAINAGE PLAN
- C3.20 PRELIMINARY GRADING & DRAINAGE PLAN
- C3.30 PRELIMINARY GRADING & DRAINAGE PLAN & PROFILES
- C3.40 CROSS-SECTIONS & ENLARGED PLAN

BLDG NO.	HIGHEST ADJACENT GRADE (HAG)	REGULATORY FLOOD ELEVATIONS (2')	LF 88 FLOOR ELEVATION
1	55.00	57.00	57.00
2	52.33	54.33	54.50
3	49.40	51.40	51.50
C1/C2	57.90	59.90	59.90
C3/C4	57.31	59.31	59.40
C5/C6	56.15	58.15	58.15
C7	49.21	51.21	51.25
C8/C9	47.45	49.45	49.75
C10	46.76	48.76	49.00
C11	45.78	47.78	48.00
C12	44.88	46.88	47.00
C13	46.19	48.19	48.50
C14	45.00	47.00	47.25
C15	44.02	46.02	46.50
C16	46.38	48.38	48.50
C17	43.58	45.58	47.25
C18	43.19	45.19	46.50
C19/C20	42.50	44.50	46.00
C21/C22	45.25	47.25	47.25

TABLE 1: LF88 ELEV.

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE USE DEPTH)
045012	#1320 10/16/13	L	11/4/15	"AO"	1-3 FEET



**PROJECT:** WOLFF LEGACY SCOTTSDALE  
**LOCATION:** 8890 E LEGACY BLVD. SCOTTSDALE, AZ 85255

**DRAWN:** CULVER  
**CHECKED:** CULVER  
**PROJ. MGR:** COUNSELL  
 FAKIH

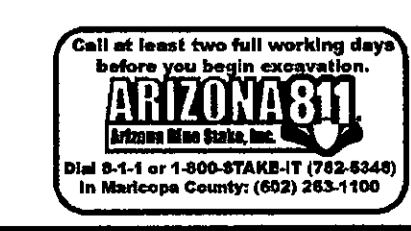
**DATE:** 08/29/18  
**ISSUED FOR:** DRB

REVISION NO.	DATE

**JOB NO.:** 170726

**SHEET TITLE:** COVER SHEET

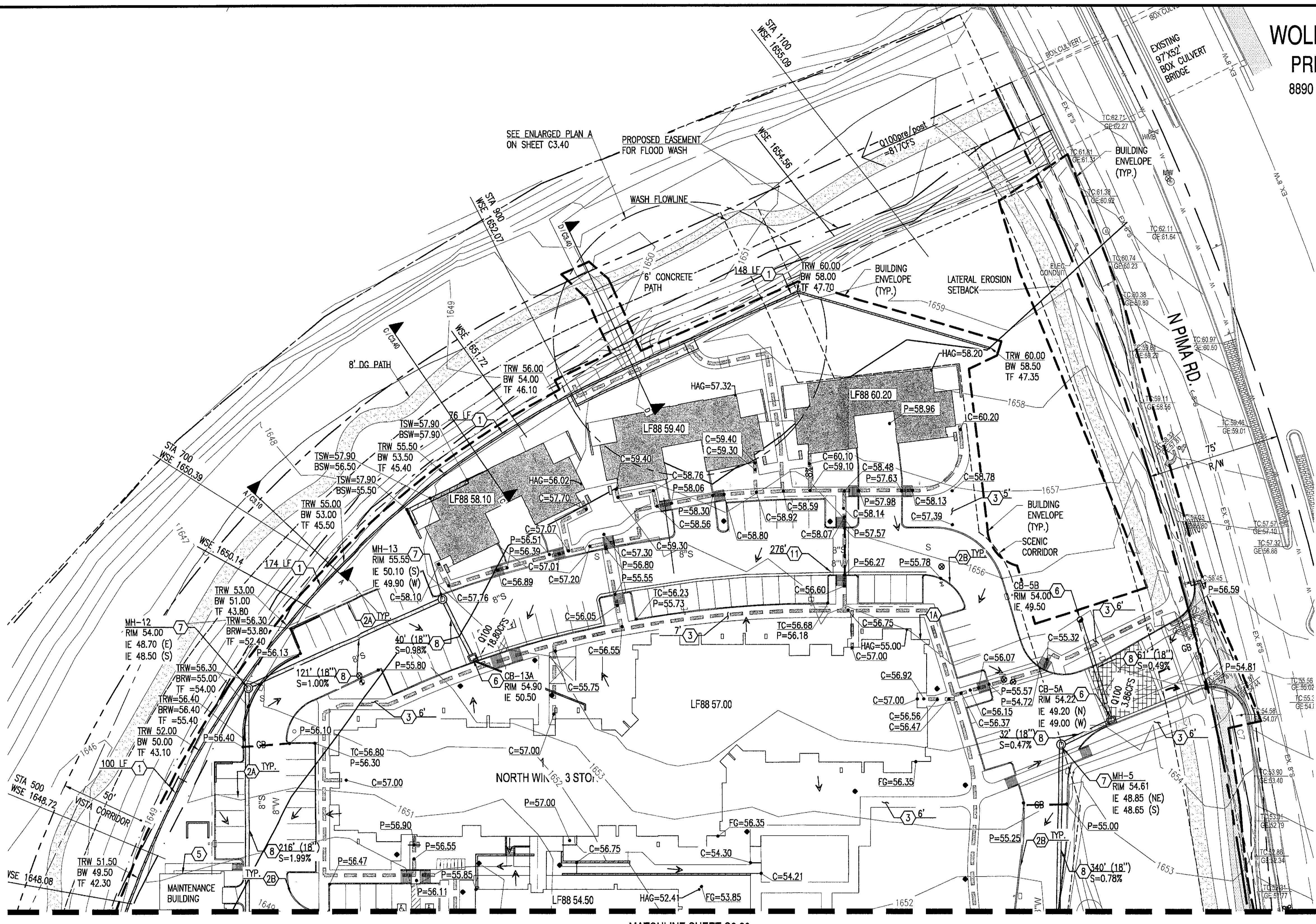
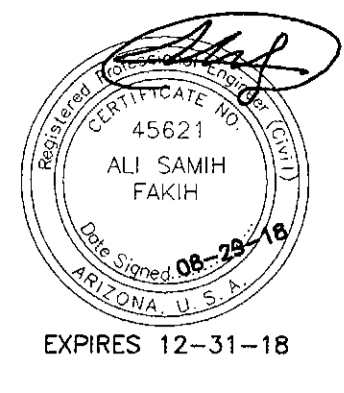
**SHEET NO.:** C3.00



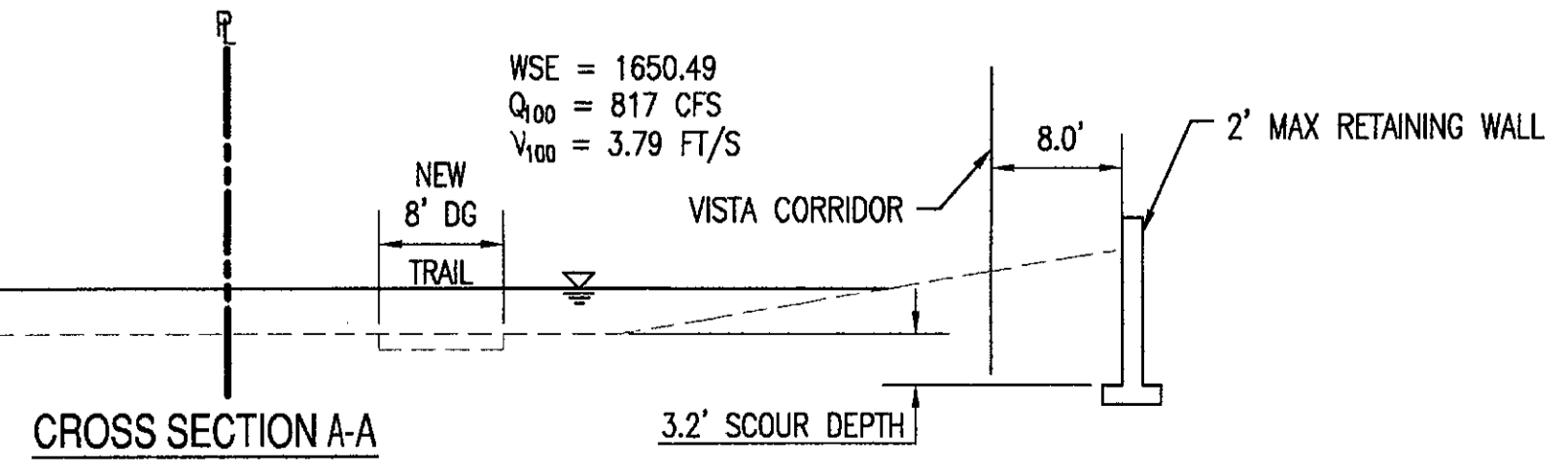
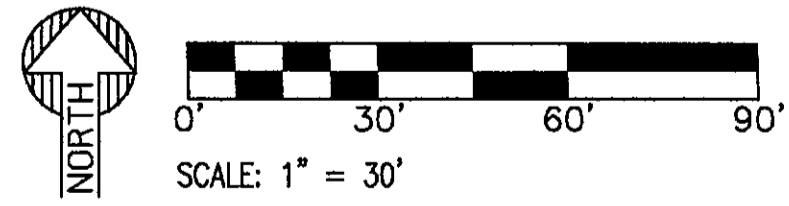
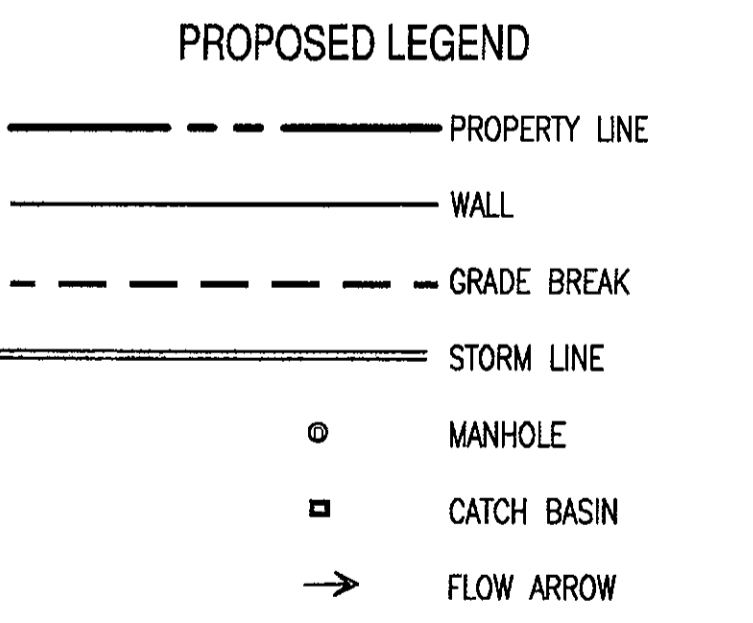
NOTE TO CONTRACTOR: THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND IS NOT TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL, A.A. REQUIREMENTS. THE SET ASSUMES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR WIND LOADS. THE FAILURE OF THIS CONTRACTOR TO REQUIRE SOILS AND TO APPROVE THE CONSTRUCTION OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VERIFY THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO KNOW AND OBSERVE ALL CONDITIONS AND APPLICABLE CODES.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

**WOLFF LEGACY SCOTTSDALE**  
**PRELIMINARY GRADING PLAN**  
 8890 E LEGACY BLVD SCOTTSDALE, AZ 85255



- KEYNOTES**
- ① CONSTRUCT 8" THICK RETAINING WALL. LENGTH PER PLAN.
  - ①A CONSTRUCT STEM WALL. LENGTH PER PLAN.
  - ② FURNISH & INSTALL FLUSH CURB.
  - ②A INSTALL 6" VERTICAL CURB
  - ②B INSTALL 6" CURB & GUTTER.
  - ③ CONSTRUCT SIDEWALK PER MAG STD DET 230. WIDTH PER PLAN.
  - ④ CONSTRUCT TRASH ENCLOSURE PER COS STD DET 2146-1.
  - ④B TRASH COMPACTOR.
  - ⑤ FURNISH & INSTALL TRANSFORMER.
  - ⑥ FURNISH & INSTALL CATCH BASIN PER MAG STD DET 537 TYPE "G" WITH GRATE PER COS STD DET 2535.
  - ⑥A FURNISH & INSTALL CONCRETE BLOCK JUNCTION BOX PER MAG STD DET 504.
  - ⑦ CONSTRUCT STORM DRAIN MANHOLE PER MAG STD DET 521 AND 522 WITH 30" FRAME AND COVER PER COS DET 2520.
  - ⑧ FURNISH & INSTALL HDPE STORM PIPE. SIZE, LENGTH AND SLOPE PER PLAN. TRENCH EXCAVATION, BACKFILLING AND COMPACTION PER MAG SPEC. SECTION 601. PIPE MATERIAL PER MAG SPEC. SECTION 738.
  - ⑨ CONSTRUCT HEADWALL PER MAG STD DET 501-1 TYPE "U" WITH TRASH RACK & HANDRAILS PER COS STD DET 2508. INVERT PER PLAN.
  - ⑩ CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT.
  - ⑪ FURNISH & INSTALL VALLEY GUTTER. PER LENGTH.
  - ⑫ REMOVE EXISTING HEADWALL.
  - ⑬ INSTALL STORMCEPTOR.



MATCHLINE SHEET C3.20

**SEC**

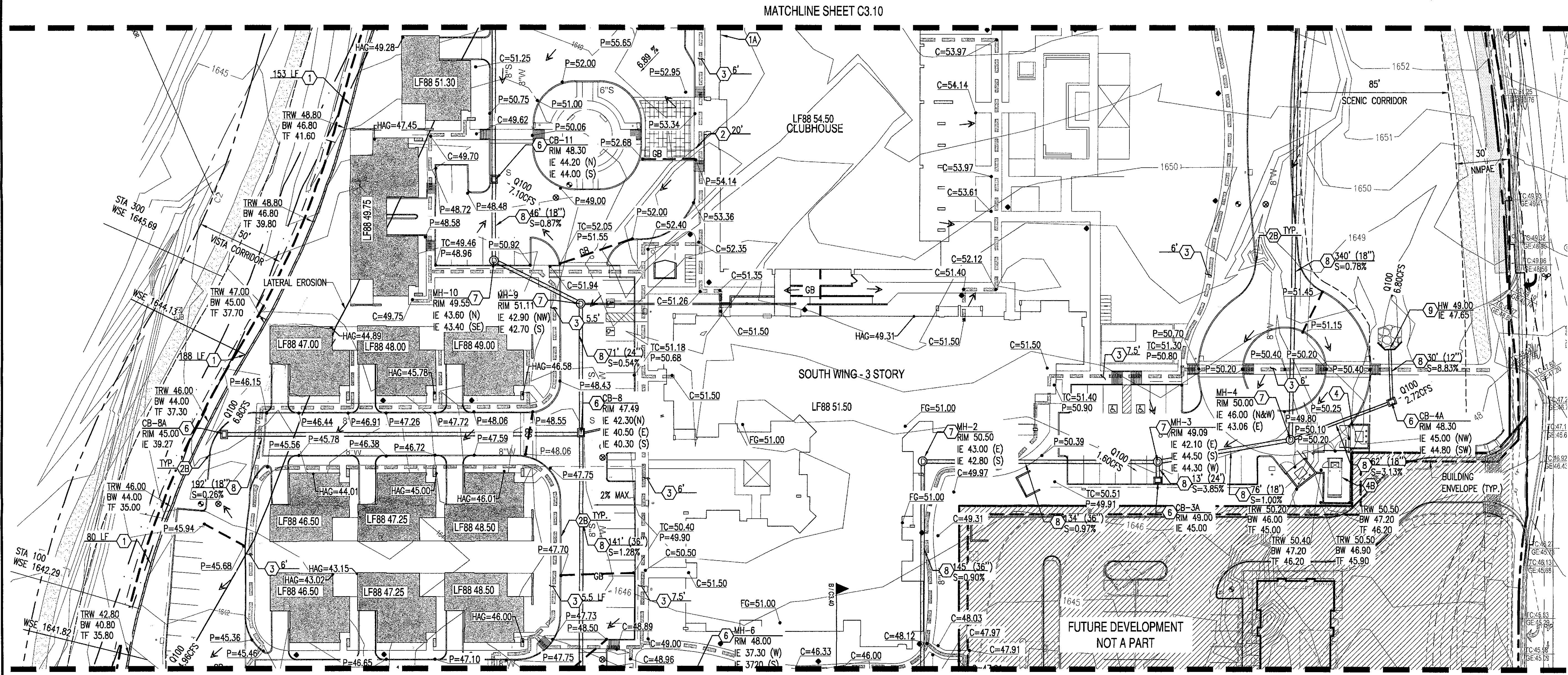
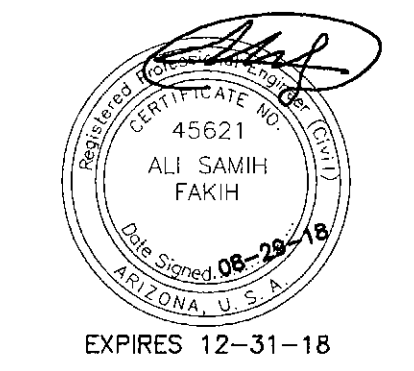
**THE WOLFF COMPANY**  
 Since 1949

PROJECT	WOLFF LEGACY SCOTTSDALE
LOCATION	8890 E LEGACY BLVD. SCOTTSDALE, AZ 85255
DRAWN	CULVER
DESIGNED	CULVER
CHECKED	COUNSELL
PROJ. MGR.	FAKIH
DATE:	08/29/18
ISSUED FOR:	DRB
REVISION NO.:	DATE:
JOB NO.:	170726
SHEET TITLE:	PRELIMINARY GRADING & DRAINAGE PLAN
SHEET NO.:	C3.10

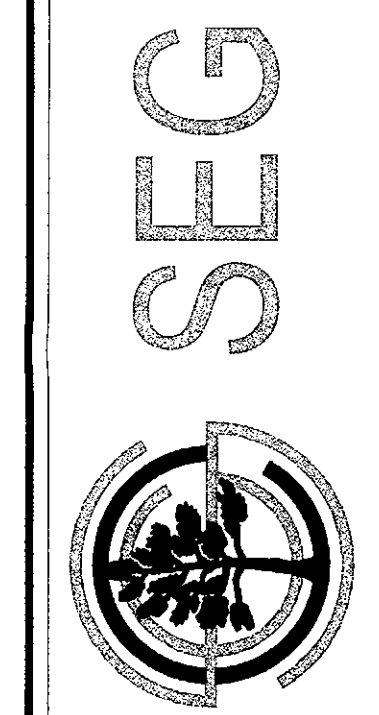
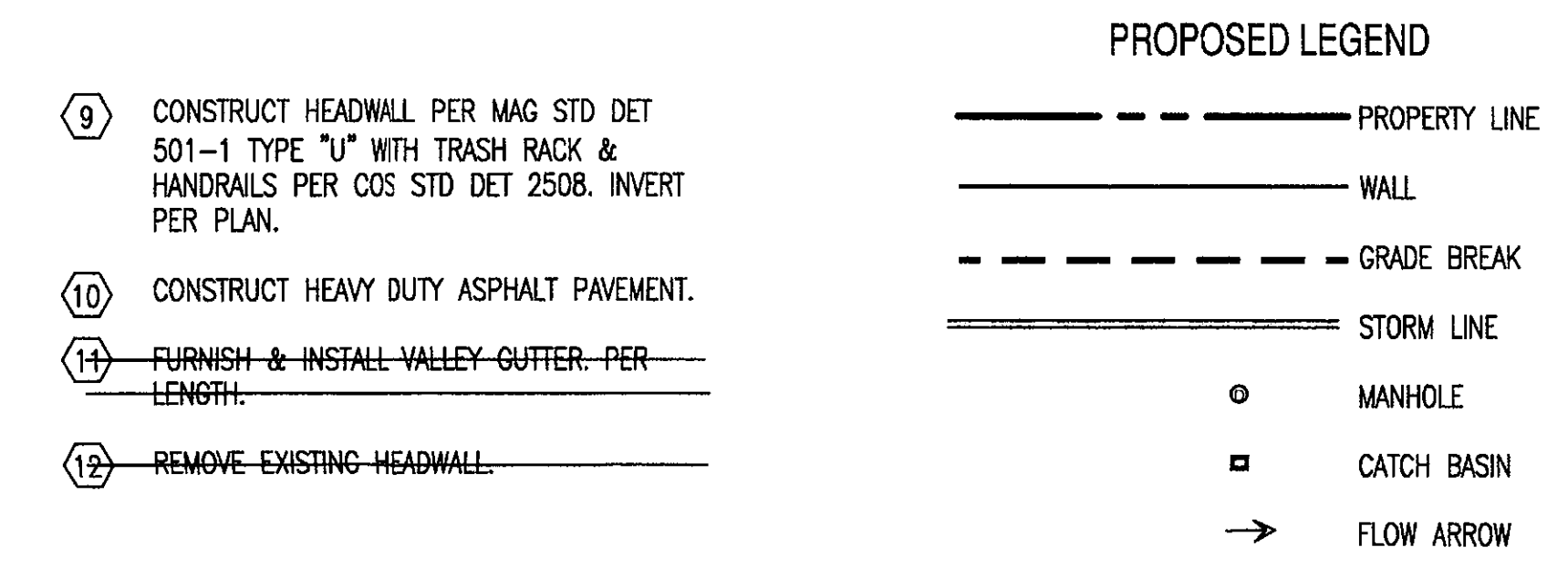
**ARIZONA 811**  
 Call at least two full working days before you begin excavation.  
 800-485-4811  
 In Maricopa County: (602) 963-1100

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

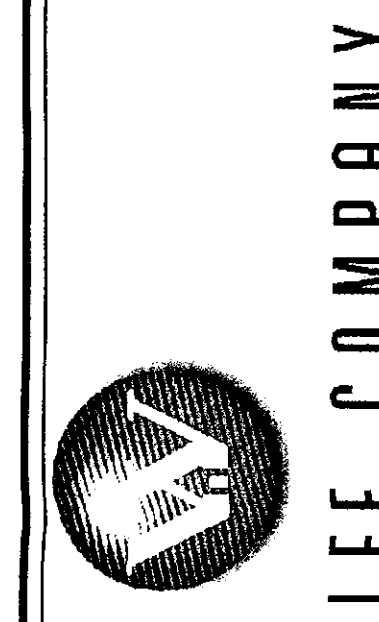
**WOLFF LEGACY SCOTTSDALE**  
**PRELIMINARY GRADING PLAN**  
 8890 E LEGACY BLVD SCOTTSDALE, AZ 85255



- KEYNOTES**
- ① CONSTRUCT 8" THICK RETAINING WALL. LENGTH PER PLAN.
  - ①A CONSTRUCT STEM WALL. LENGTH PER PLAN.
  - ② FURNISH & INSTALL FLUSH CURB.
  - ②A INSTALL 6" VERTICAL CURB
  - ②B INSTALL 6" CURB & GUTTER.
  - ③ CONSTRUCT SIDEWALK PER MAG STD DET 230. WIDTH PER PLAN.
  - ④ CONSTRUCT TRASH ENCLOSURE PER COS STD DET 2146-1.
  - ④B TRASH COMPACTOR.
  - ⑤ FURNISH & INSTALL TRANSFORMER.
  - ⑥ FURNISH & INSTALL CATCH BASIN PER MAG STD DET 537 TYPE "C" WITH GRATE PER COS STD DET 2535.
  - ⑥A FURNISH & INSTALL CONCRETE BLOCK JUNCTION BOX PER MAG STD DET 504.
  - ⑦ CONSTRUCT STORM DRAIN MANHOLE PER MAG STD DET 521 AND 522 WITH 30" FRAME AND COVER PER COS DET 2520.
  - ⑧ FURNISH & INSTALL HDPE STORM PIPE. SIZE, LENGTH AND SLOPE PER PLAN. TRENCH EXCAVATION, BACKFILLING AND COMPACTION PER MAG SPEC. SECTION 601. PIPE MATERIAL PER MAG SPEC. SECTION 738.
  - ⑨ CONSTRUCT HEADWALL PER MAG STD DET 501-1 TYPE "U" WITH TRASH RACK & HANDRAILS PER COS STD DET 2508. INVERT PER PLAN.
  - ⑩ CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT.
  - ⑩A FURNISH & INSTALL VALLEY GUTTER. PER LENGTH.
  - ⑩B REMOVE EXISTING HEADWALL.



8890 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260  
 WWW.AZSEG.COM TEL: 480.588.7226



Since 1949

**PROJECT**  
 WOLFF LEGACY SCOTTSDALE

**LOCATION**  
 8890 E LEGACY BLVD.  
 SCOTTSDALE, AZ 85255

**DRAWN** ——— CULVER  
**DESIGNED** ——— CULVER  
**CHECKED** ——— COUNSELL  
**PROJ. MGR.** ——— FAKIH

**DATE:** 08/29/18  
**ISSUED FOR:** DRB

REVISION NO.:	DATE:

**JOB NO.:** 170726  
**SHEET TITLE:**  
 PRELIMINARY GRADING &  
 DRAINAGE PLAN

**SHEET NO.:** C3.20

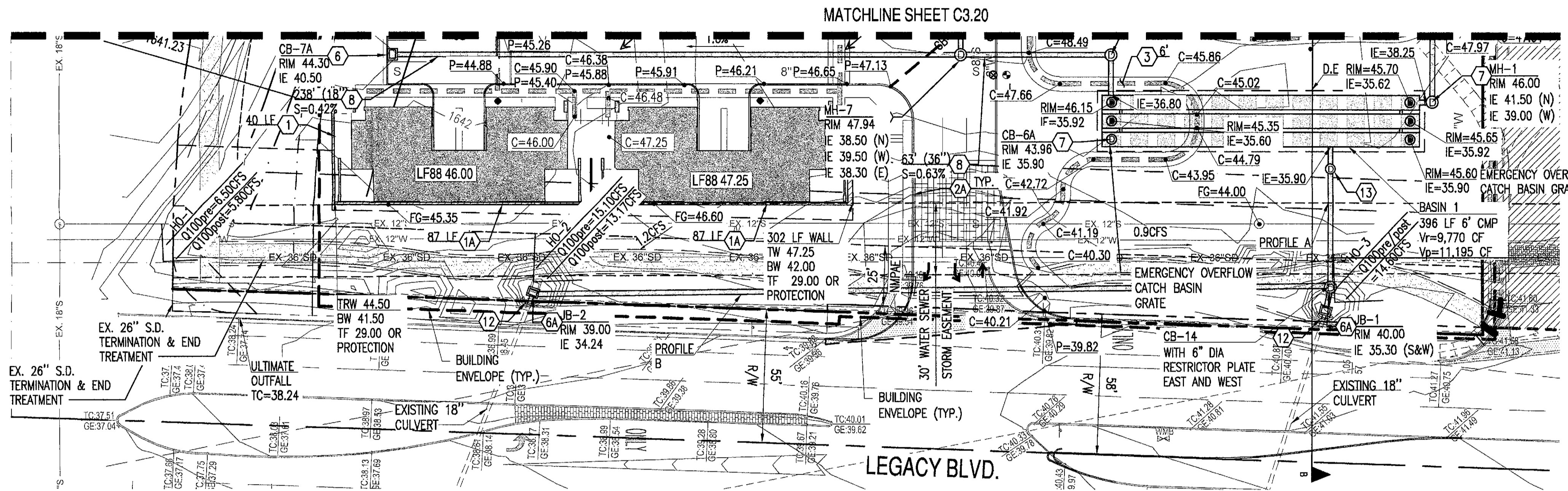
Call at least two full working days before you begin excavation.

**ARIZONA 811**  
 800-4-A-ARIZONA (427-6272) or 1-800-TRY-IT (878-8888)  
 In Maricopa County: (602) 963-1100

NOTE TO CONTRACTOR: THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.C.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO UNLAWFUL OBSTRUCTIONS OR VIOLATIONS. THE FAILURE OF THIS DOCUMENT MAY REQUIRE SUPPLEMENTARY JUDICIAL TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COMPLY TO ALL APPLICABLE CODES AND TO REPORT THE OWNER/ARCHITECT OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DUE. CONTRACTORS SHALL ALSO NOTIFY THE SITE BEFORE BEGINS. CONTRACTORS ARE REQUIRED TO KNOW ALL ORDINANCE CONDITIONS AND APPLICABLE CODES.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

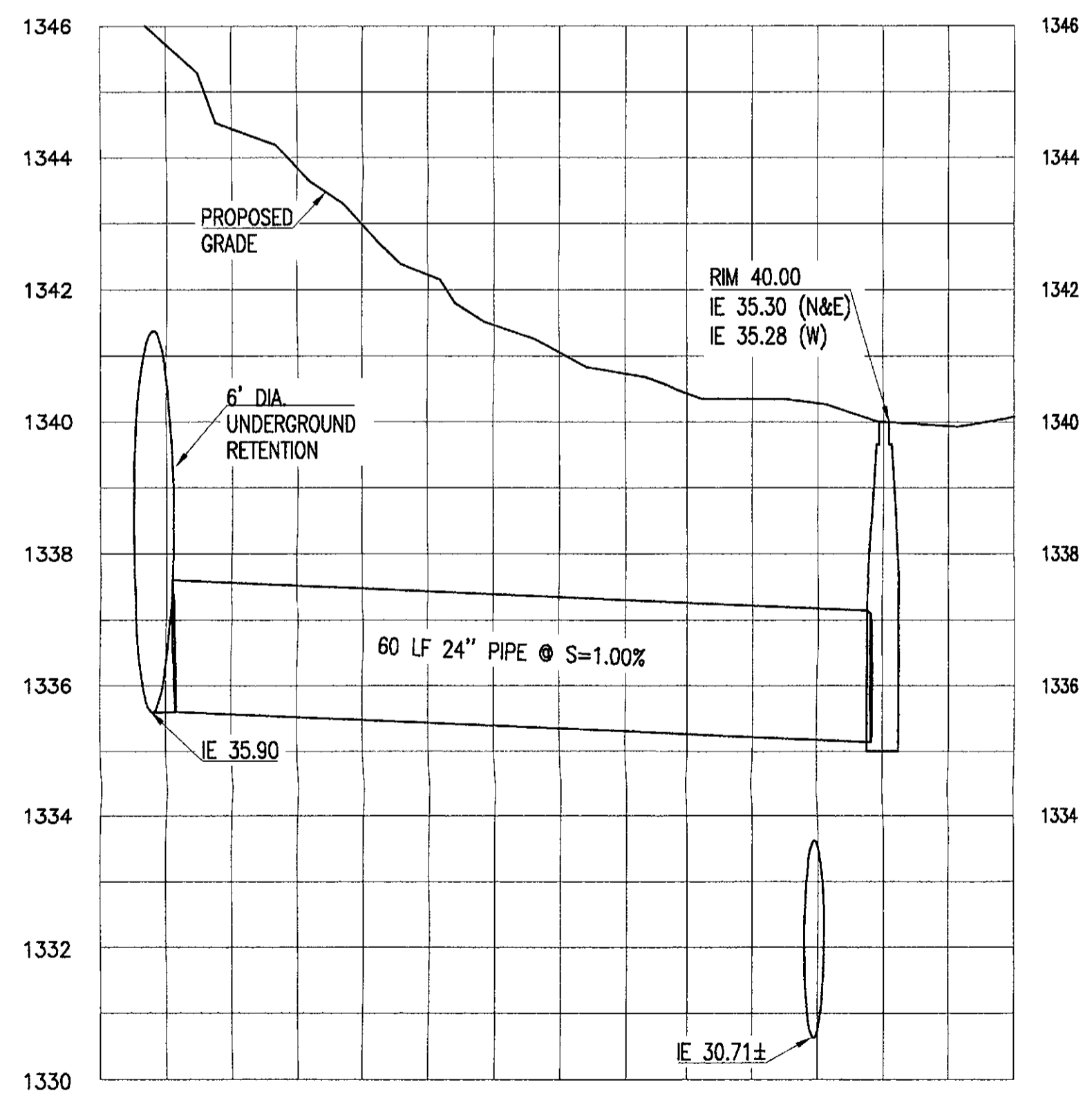
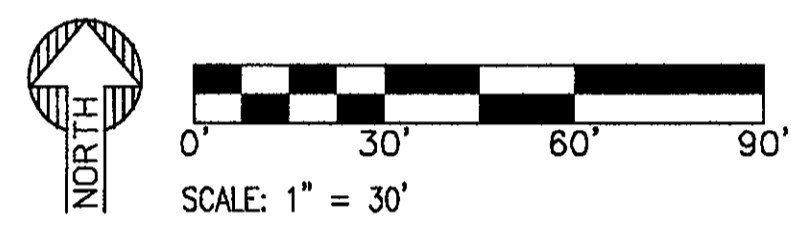
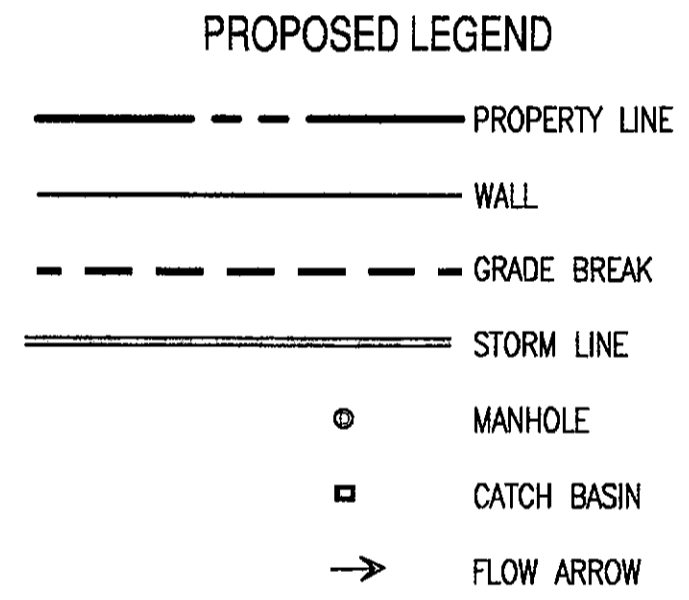
**WOLFF LEGACY SCOTTSDALE**  
**PRELIMINARY GRADING PLAN**  
 8890 E LEGACY BLVD SCOTTSDALE, AZ 85255



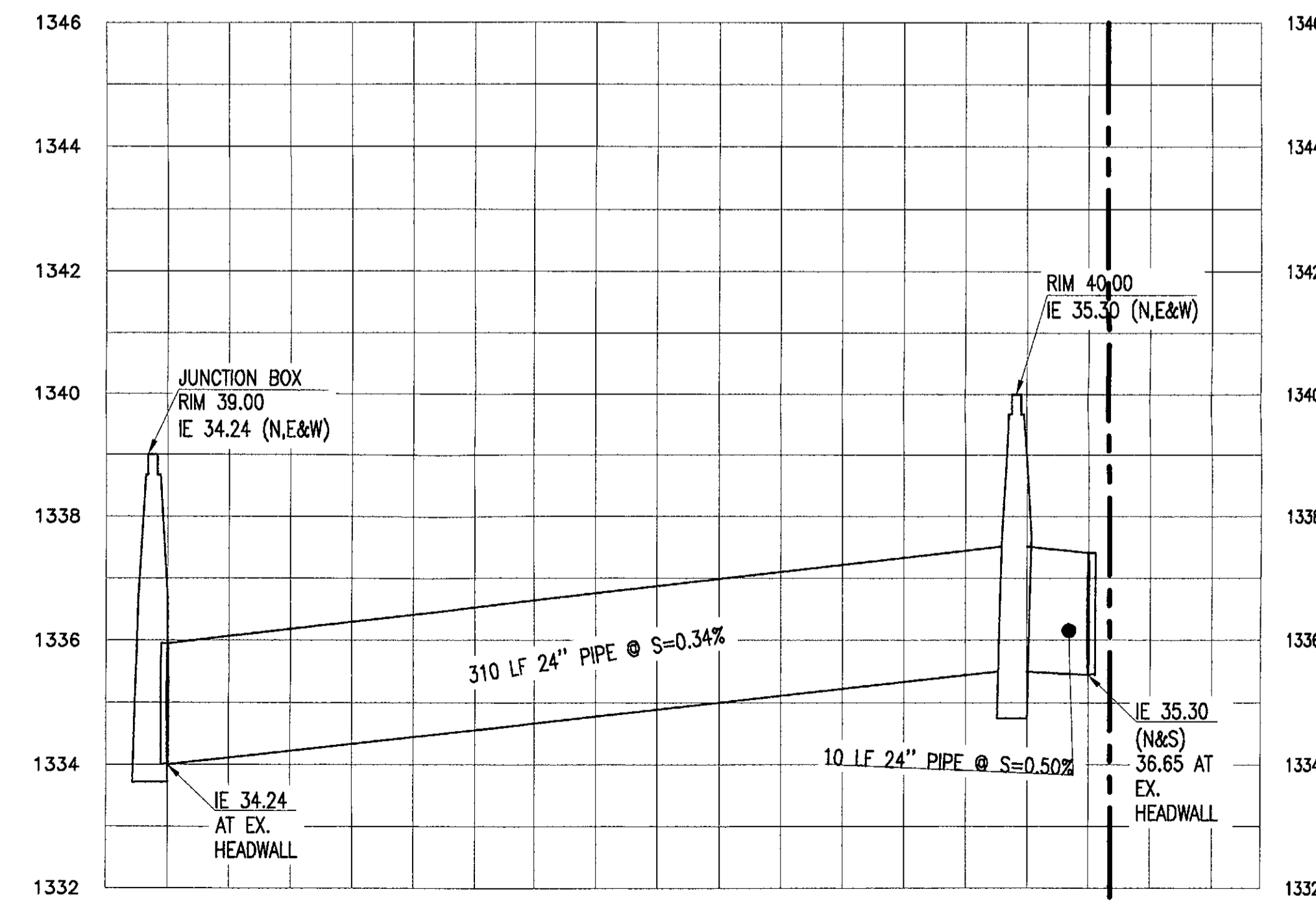
BLDG NO.	HIGHEST ADJACENT GRADE (HAG)	REGULATORY FLOOD ELEVATIONS (2') ELEVATION	LF 88 FLOOR ELEVATION
1	55.00	57.00	57.00
2	52.33	54.33	54.50
3	49.40	51.40	51.50
C1/C2	57.90	59.90	59.90
C3/C4	57.31	59.31	59.40
C5/C6	56.15	58.15	58.15
C7	49.21	51.21	51.25
C8/C9	47.45	49.45	49.75
C10	46.76	48.76	49.00
C11	45.78	47.78	48.00
C12	44.88	46.88	47.00
C13	46.19	48.19	48.50
C14	45.00	47.00	47.25
C15	44.02	46.02	46.50
C16	46.38	48.38	48.50
C17	43.58	45.58	47.25
C18	43.19	45.19	46.50
C19/C20	42.50	44.50	46.00
C21/C22	45.25	47.25	47.25

TABLE 1: LF88 ELEV.

- KEYNOTES**
- 1 CONSTRUCT 8" THICK RETAINING WALL. LENGTH PER PLAN.
  - 1A CONSTRUCT STEM WALL LENGTH PER PLAN.
  - 2 FURNISH & INSTALL FLUSH CURB.
  - 2A INSTALL 6" VERTICAL CURB
  - 2B INSTALL 6" CURB & GUTTER.
  - 3 CONSTRUCT SIDEWALK PER MAG STD DET 230. WIDTH PER PLAN.
  - 4 CONSTRUCT TRASH ENCLOSURE PER COS STD DET 2146-1.
  - 4B TRASH COMPACTOR.
  - 5 FURNISH & INSTALL TRANSFORMER.
  - 6 FURNISH & INSTALL CATCH BASIN PER MAG STD DET 537 TYPE "G" WITH GRATE PER COS STD DET 2535.
  - 6A FURNISH & INSTALL CONCRETE BLOCK JUNCTION BOX PER MAG STD DET 504.
  - 7 CONSTRUCT STORM DRAIN MANHOLE PER MAG STD DET 521 AND 522 WITH 30" FRAME AND COVER PER COS DET 2520.
  - 8 FURNISH & INSTALL HDPE STORM PIPE. SIZE, LENGTH AND SLOPE PER PLAN. TRENCH EXCAVATION, BACKFILLING AND COMPACTION PER MAG SPEC. SECTION 601. PIPE MATERIAL PER MAG SPEC. SECTION 738.
  - 9 CONSTRUCT HEADWALL PER MAG STD DET 501-1 TYPE "J" WITH TRASH RACK & HANDRAILS PER COS STD DET 2568. INVERT PER PLAN.
  - 10 CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT.
  - 11 FURNISH & INSTALL VALLEY GUTTER. PER LENGTH.
  - 12 REMOVE EXISTING HEADWALL.
  - 13 INSTALL STORMCEPTOR.

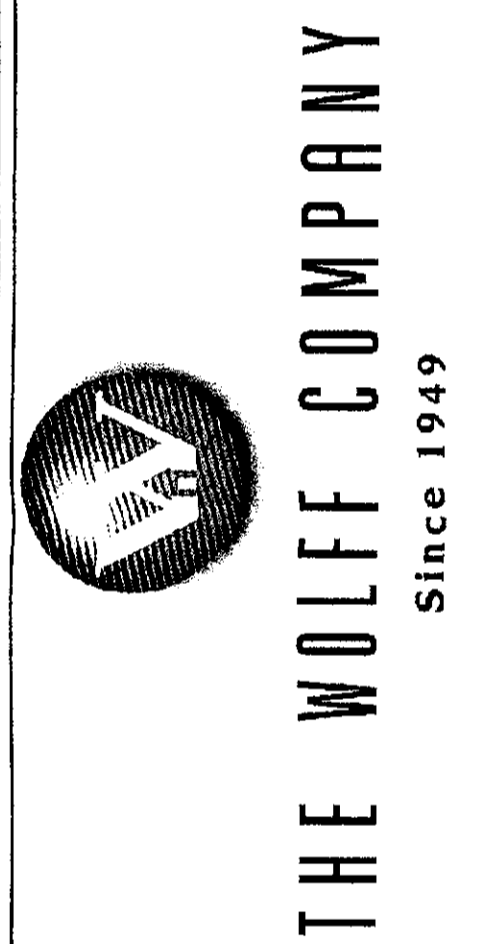


PROFILE A  
 SCALE: HORZ 1"=20'  
 VERT 1"=2'



PROFILE B  
 SCALE: HORZ 1"=20'  
 VERT 1"=2'

**Call at least two full working days before you begin excavation.**  
**ARIZONA811**  
 1-800-875-8288  
 In Maricopa County: (602) 253-1100



PROJECT: WOLFF LEGACY SCOTTSDALE  
 LOCATION: 8890 E LEGACY BLVD. SCOTTSDALE, AZ 85255

DESIGNED: CULVER  
 CHECKED: CULVER  
 PROJ. MGR: COUNSELL  
 DATE: 08/29/18  
 ISSUED FOR: DRB

REVISION NO. DATE:  
 170726

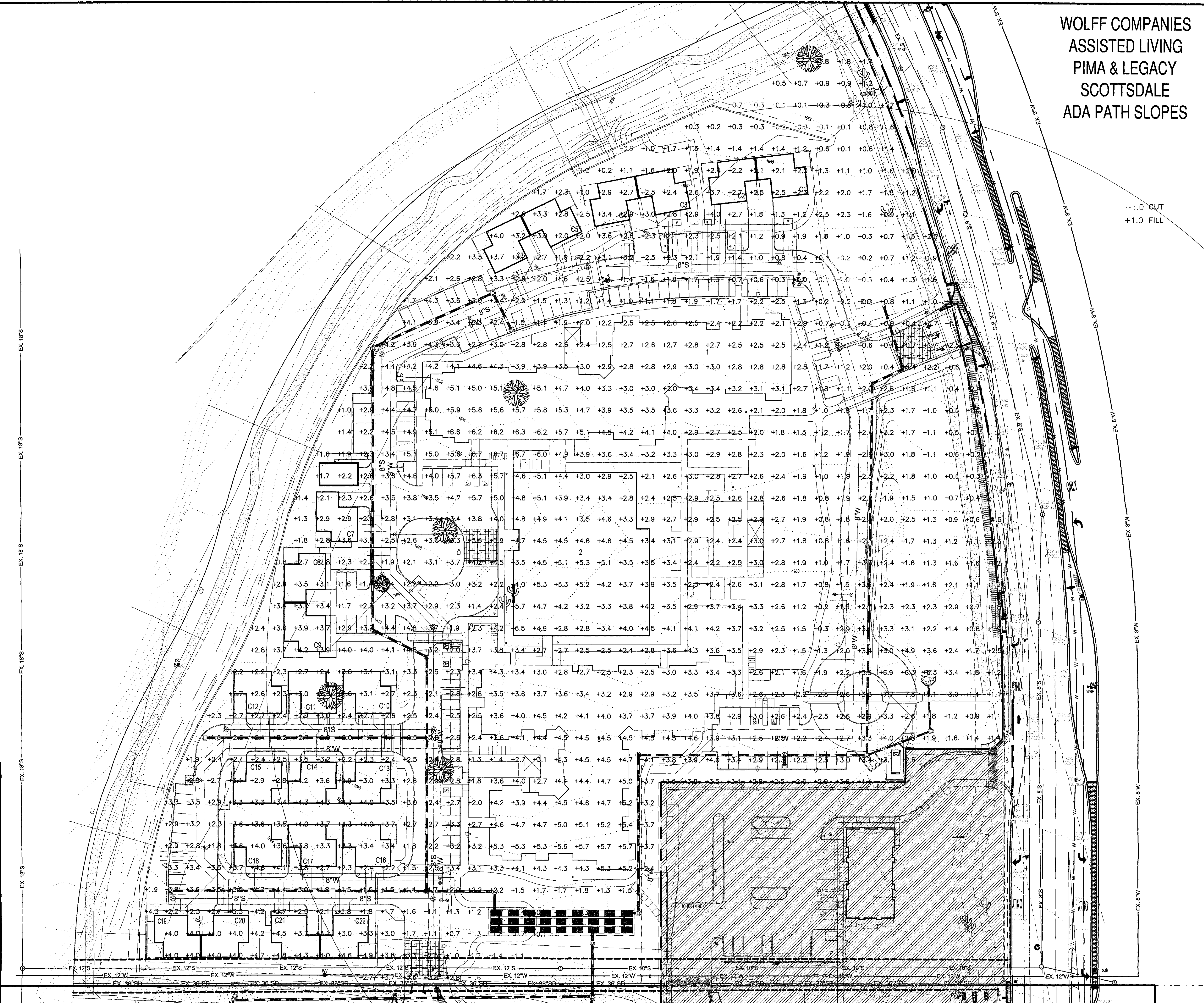
SHEET TITLE:  
**PRELIMINARY GRADING & DRAINAGE PLAN & PROFILES**

SHEET NO.:  
 C3.30

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.



WOLFF COMPANIES  
 ASSISTED LIVING  
 PIMA & LEGACY  
 SCOTTSDALE  
 ADA PATH SLOPES

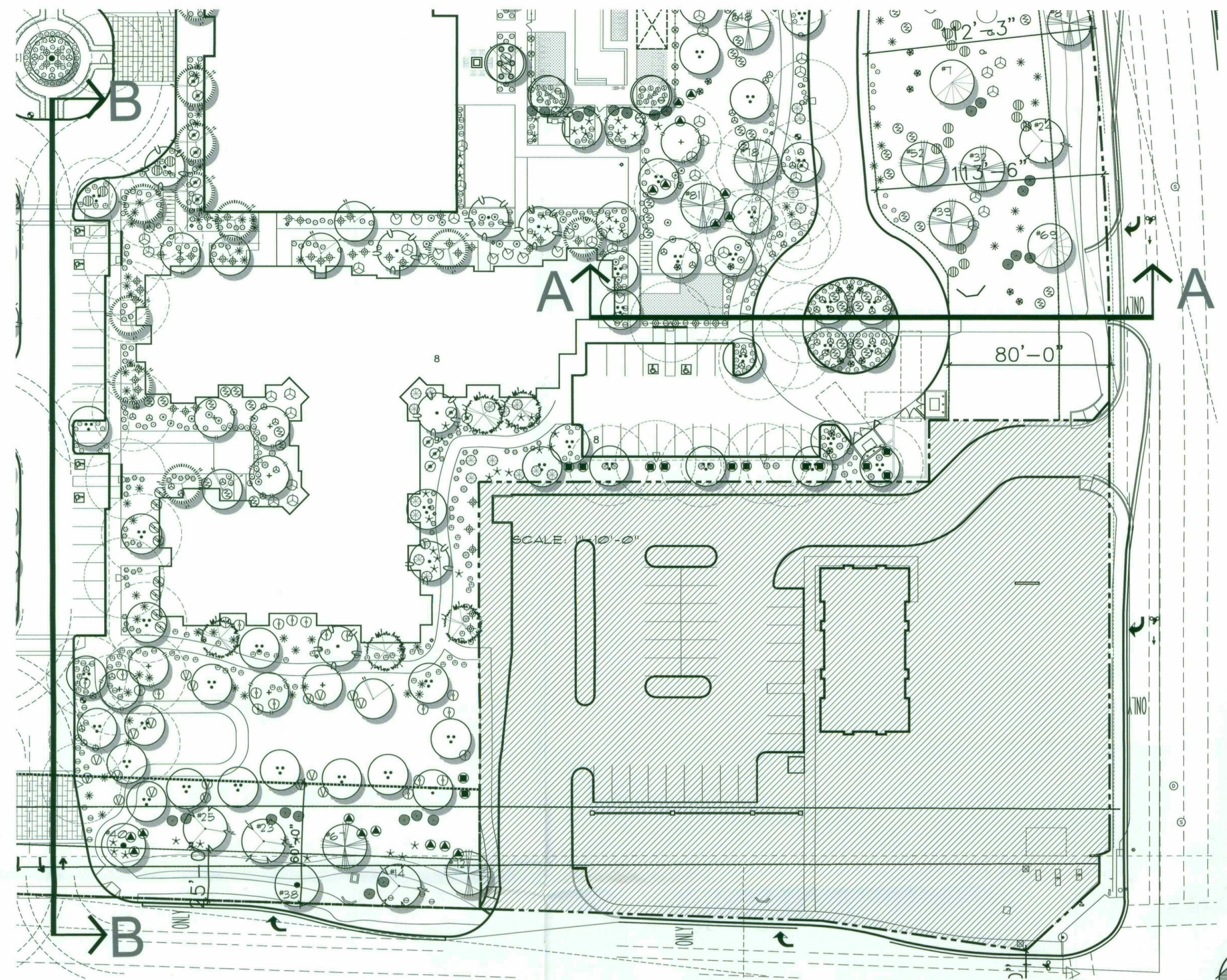


-1.0 CUT  
 +1.0 FILL

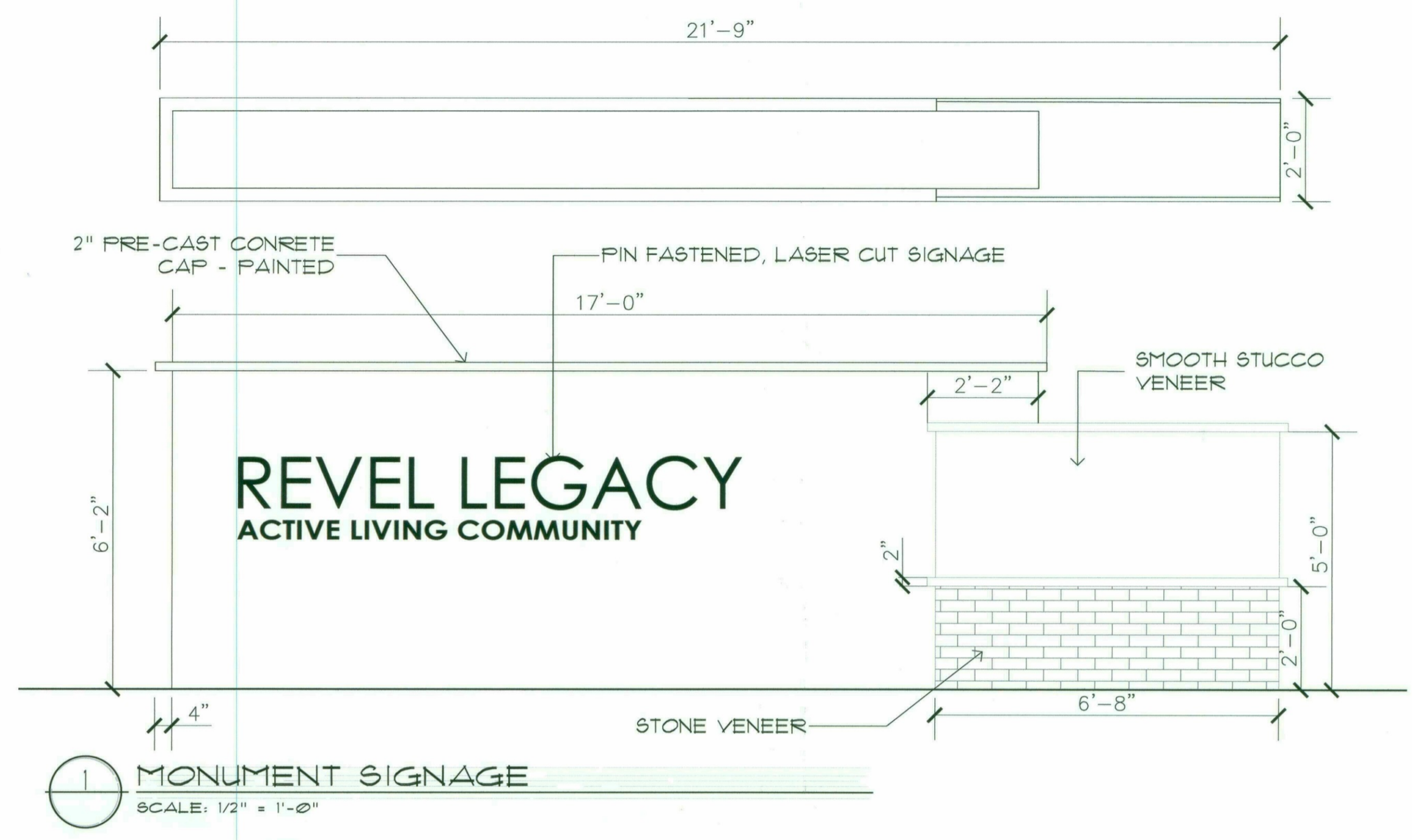
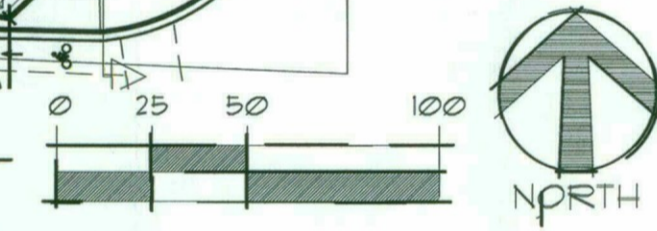


8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260

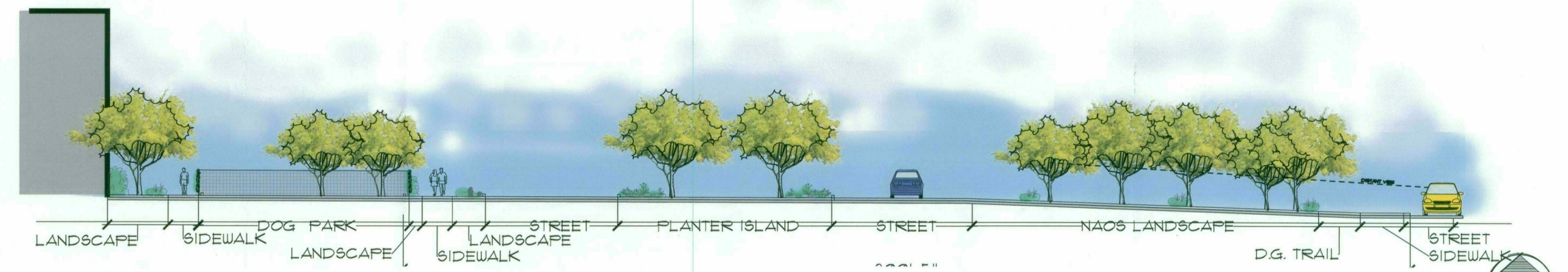
DESIGNED: _____		TORMOS
PROJ. MGR.: _____		CULVER
		COUNSEL
		FAKH
06/07/2018		
ISSUED FOR:		
ADA SLOPE EXHIBIT		
REVISION NO.:	DATE:	
SHEET TITLE:		
SHEET NO.:		



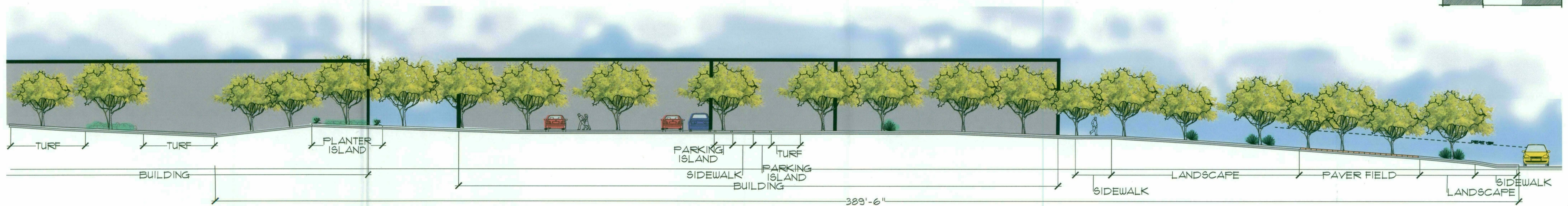
**PLAN VIEW**  
SCALE: 1" = 50'-0"



**MONUMENT SIGNAGE**  
SCALE: 1/2" = 1'-0"



**SECTION A**  
SCALE: 3/4" = 10'-0"



**SECTION B**  
SCALE: 3/4" = 10'-0"

LANDSCAPE IMPROVEMENTS  
**REVEL LEGACY**  
Scottsdale, Arizona

Hardscape Elevations

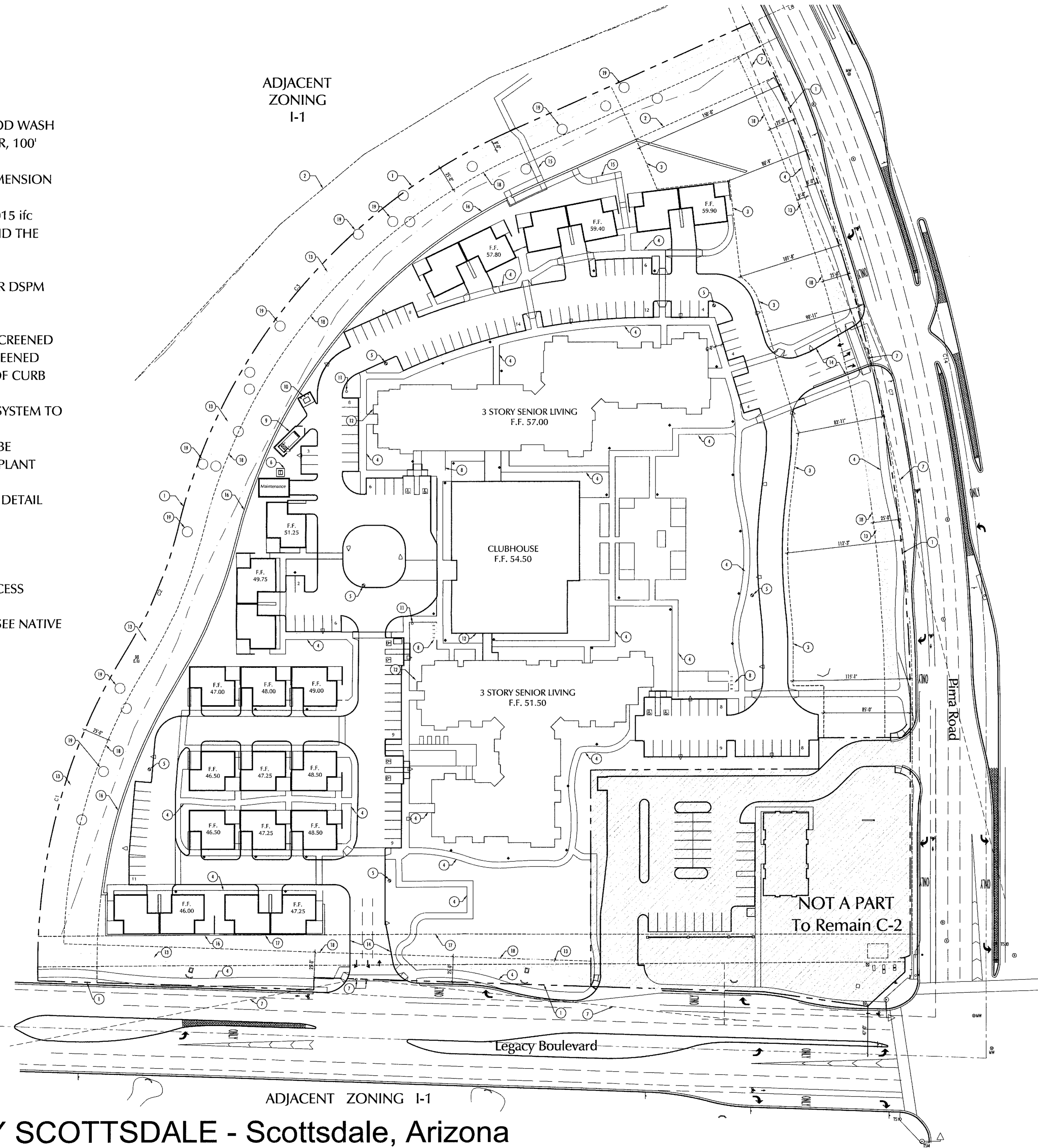
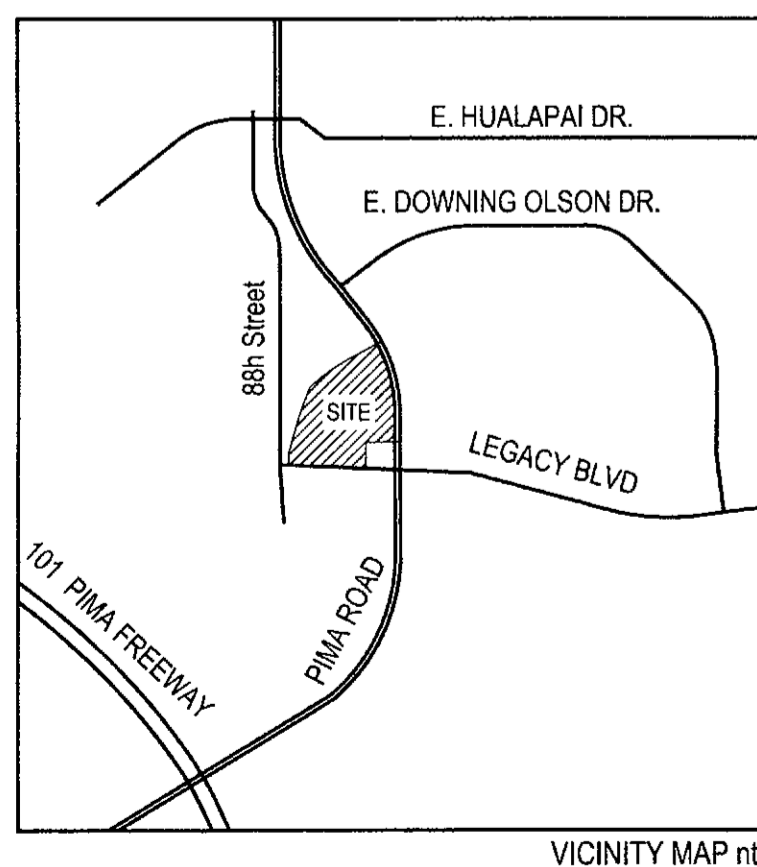
DESIGNED BY:	PV/MD
DRAWN BY:	MD
CHECKED BY:	PV/MD
DATE:	July 16, 2018
REVISIONS:	

REVEL LEGACY REZONE SUBMITTAL

**CLS-3**

**KEYNOTES**

1. PROPERTY LINE
2. EASEMENT FOR EXISTING FLOOD WASH
3. PIMA ROAD SCENIC CORRIDOR, 100' AVERAGE/80' MINIMUM
4. CONCRETE SIDEWALK, SEE DIMENSION PLAN FOR DIMENSIONS
5. FIRE HYDRANT, SPACED PER 2015 ifc 507.5.1.2, WITHIN 600' AROUND THE EXTERIOR PERIMETER
6. TRANSFORMER
7. SIGHT DISTANCE TRIANGLE PER DSPM 5.3-26
8. BICYCLE PARKING SPACE
9. REFUSE COMPACTOR, FULLY SCREENED
10. REFUSE DUMPSTER, FULLY SCREENED
11. FDC - LOCATED WITHIN 4'-8' OF CURB LINE
12. FIRE RISER ROOM, SPRINKLER SYSTEM TO MEET NFPA 13
13. 8' TRAIL, FINAL LOCATION TO BE COORDINATED WITH NATIVE PLANT SURVEY
14. CH-2 SITE DRIVEWAY PER COS DETAIL #2257
15. 6' CONCRETE SIDEWALK
16. RETAINING WALL
17. DESERT SCENIC ROADWAY
18. NON-MOTORIZED PUBLIC ACCESS EASEMENT
19. EXISTING SALVAGEABLE TREE, SEE NATIVE PLANT INVENTORY



**PROJECT DATA**

Address: 8890 East Legacy Blvd  
 Scottsdale, Az. 85255  
 Site Area: 12.08 acres net (526,291 nsf)  
 13.98 acres gross (608,909 gsf)  
 APN: 215-07-238  
 Zoning Existing: C-2 ESL (HD), I-1  
 Zoning Proposed: C-O ESL (HD)

Open Space Required	.126,310 sf (24%)	
Front Open Space	63,155 sf (50% Open Space)	
Pima Minimum	13,980 sf	
Pima Not required to exceed	34,950 sf	
Legacy Minimum	11,140 sf	
Legacy Not required to exceed	27,850 sf	

Open Space Provided	279,047 sf (53%)	
Front Open Space	105,111 sf (83% of required OS)	
Pima Front Open Space	81,237 sf	
Legacy Front Open Space	23,874 sf	

Height Allowed: 48'  
 Height Provided: 48'

Density Allowed: 559 Units (40 / Gross Lot Area)  
 Total Units: 175 Units (includes cottages)

Residential Area:	139,127 sf gross	(153 units)
Cottage Area Total:	30,250 sf gross	(22 units)
Clubhouse Area:	16,871 sf gross	
Total Area:	176,248 sf gross	

FAR Allowed per C-O: 425,500 gsf (.8)  
 FAR Provided: 188,650 gsf (.35)

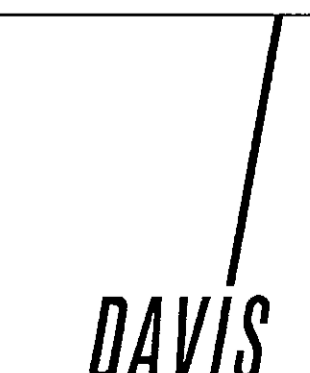
Parking Required: 219 spaces (1.25 / unit)

Bicycle Required: 24

Parking Provided: 175 spaces  
 Surface: 131 spaces (1 / unit)  
 Cottage: 44 spaces  
 Bicycle Provided: 24 spaces

Accessible Spaces Required: 6 (per ADA 2010 208.2)  
 Accessible Spaces Proposed: 8

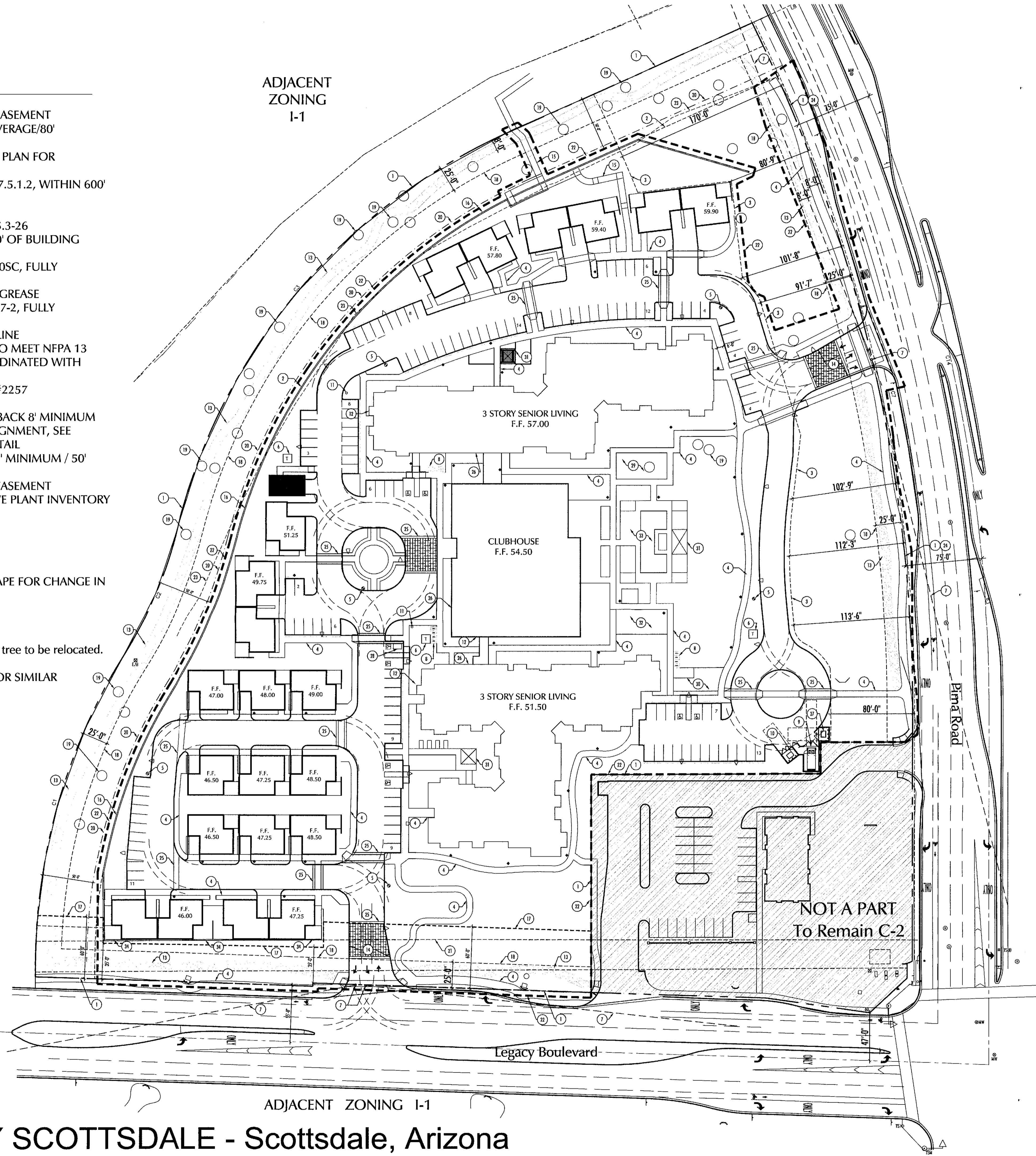
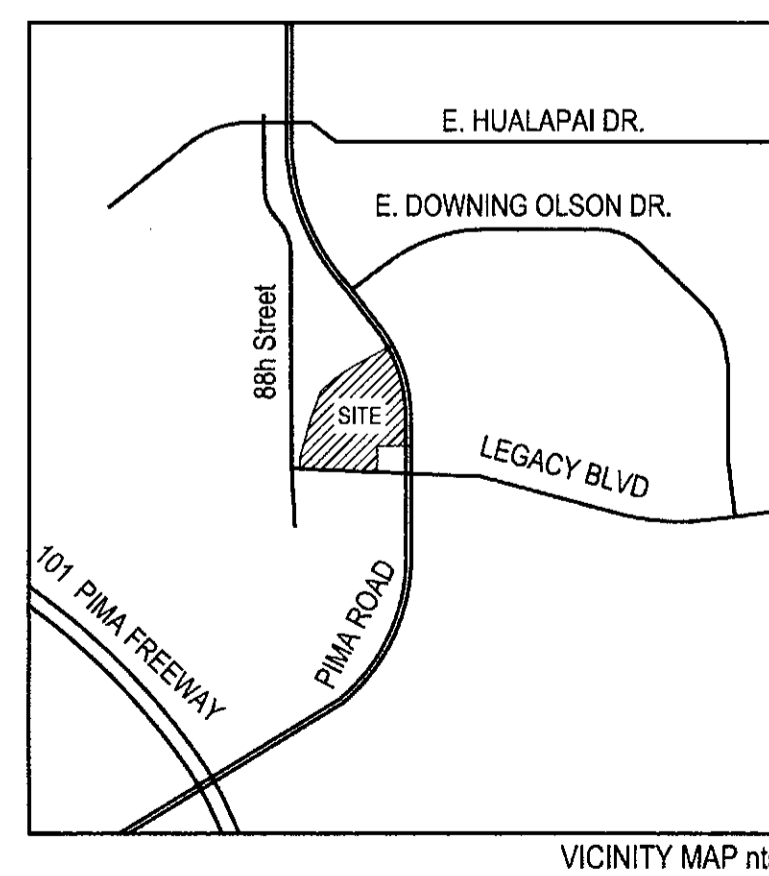
**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**



**KEYNOTES**

1. PROPERTY LINE
2. 58' DRAINAGE AND FLOOD CONTROL EASEMENT
3. PIMA ROAD SCENIC CORRIDOR, 100' AVERAGE/80' MINIMUM
4. CONCRETE SIDEWALK, SEE DIMENSION PLAN FOR DIMENSIONS
5. FIRE HYDRANT, SPACED PER 2015 IFC 507.5.1.2, WITHIN 600' AROUND THE EXTERIOR PERIMETER
6. TRANSFORMER
7. SIGHT DISTANCE TRIANGLE PER DSPM 5.3-26
8. BICYCLE PARKING SPACE 2x6 WITHIN 50' OF BUILDING ENTRANCE
9. REFUSE COMPACTOR, TO MATCH RJ-250SC, FULLY SCREENED
10. RESTAURANT REFUSE DUMPSTER WITH GREASE CONTAINMENT AREA PER MAG DTL 2147-2, FULLY SCREENED TO 6' HEIGHT
11. FDC - LOCATED WITHIN 4'-8' OF CURB LINE
12. FIRE RISER ROOM, SPRINKLER SYSTEM TO MEET NFPA 13
13. 8' TRAIL, FINAL LOCATION TO BE COORDINATED WITH NATIVE PLANT SURVEY
14. CH-2 SITE DRIVEWAY PER COS DETAIL #2257
15. 6' CONCRETE SIDEWALK
16. RETAINING WALL 2' ABOVE GRADE, SETBACK 8' MINIMUM FROM APPROVED VISTA CORRIDOR ALIGNMENT, SEE SOUTH BUILDING ELEVATIONS FOR DETAIL
17. DESERT SCENIC ROADWAY SETBACK, 35' MINIMUM / 50' AVERAGE
18. 25' NON-MOTORIZED PUBLIC ACCESS EASEMENT
19. EXISTING SALVAGEABLE TREE, SEE NATIVE PLANT INVENTORY
20. 50' VISTA CORRIDOR EASEMENT
21. 30' SEWER LINE EASEMENT
22. BUILDING ENVELOPE
23. TOP OF BANK
24. 75' ROW per 23-ZN-2017
25. PEDESTRIAN CROSSWALK, SEE LANDSCAPE FOR CHANGE IN MATERIAL AND COLOR
26. INTERIOR SES ROOM
27. RECYCLE CONTAINER, FULLY SCREENED
28. GREASE, OIL AND SAND INTERCEPTOR
29. AMENITY - PICKLE BALL COURT, existing tree to be relocated.
30. AMENITY - DOG PARK
31. AMENITY - RAMADA, CABANA, TRELIS OR SIMILAR
32. AMENITY - GAME LAWN
33. AMENITY - POOL AND SPA
34. SITE SCREENING WALL 3'-8" ABOVE GRADE, SEE SOUTH BUILDING ELEVATIONS FOR DETAIL

ADJACENT ZONING I-1



**PROJECT DATA**

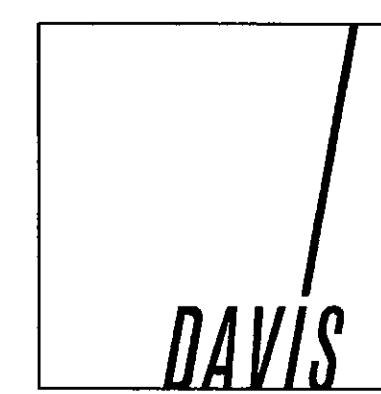
Address	8890 East Legacy Blvd Scottsdale, Az. 85255
Site Area:	12.08 acres net (526,291 nsf) 13.98 acres gross (608,909 gsf)
APN	215-07-238
Zoning Existing	C-2 ESL (HD), I-1
Zoning Proposed	C-O ESL
Open Space Required	126,310 sf (24%)
Front Open Space	63,155 sf (50% Open Space)
Pima Minimum	13,980 sf
Pima Not required to exceed	34,950 sf
Legacy Minimum	11,140 sf
Legacy Not required to exceed	27,850 sf
Open Space Provided	271,216 sf (51%)
Front Open Space	97,332 sf (77% of required OS)
Pima Front Open Space	75,398 sf
Legacy Front Open Space	21,934 sf
Height Allowed	48'
Height Provided	48'
Density Allowed	559 Units (40 / Gross Lot Area)
Total Units:	174 Units (includes cottages)
Residential Area:	144,533 sf gross (152 units)
Cottage Area Total:	30,250 sf gross (22 units)
Clubhouse Area:	16,871 sf gross
Total Area:	191,654 sf gross
FAR Allowed per C-O	425,500 gsf (.8)
FAR Provided	191,654 gsf (.36)
Parking Required:	218 spaces (1.25 / unit)
Bicycle Required	22 (1 space per 10 Parking Spaces Required)
*Parking Provided:	175 spaces
Surface	131 spaces
Cottage	44 spaces
Bicycle Provided	24 spaces
<i>* Refer to Parking Master Plan Prepared by J2 Engineering, April 19, 2018 for parking reduction.</i>	
Accessible Spaces Required	7 (4% per COS ZO 9.106)
Accessible Spaces Proposed	8

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
10/19/2018  
DATE INITIALS

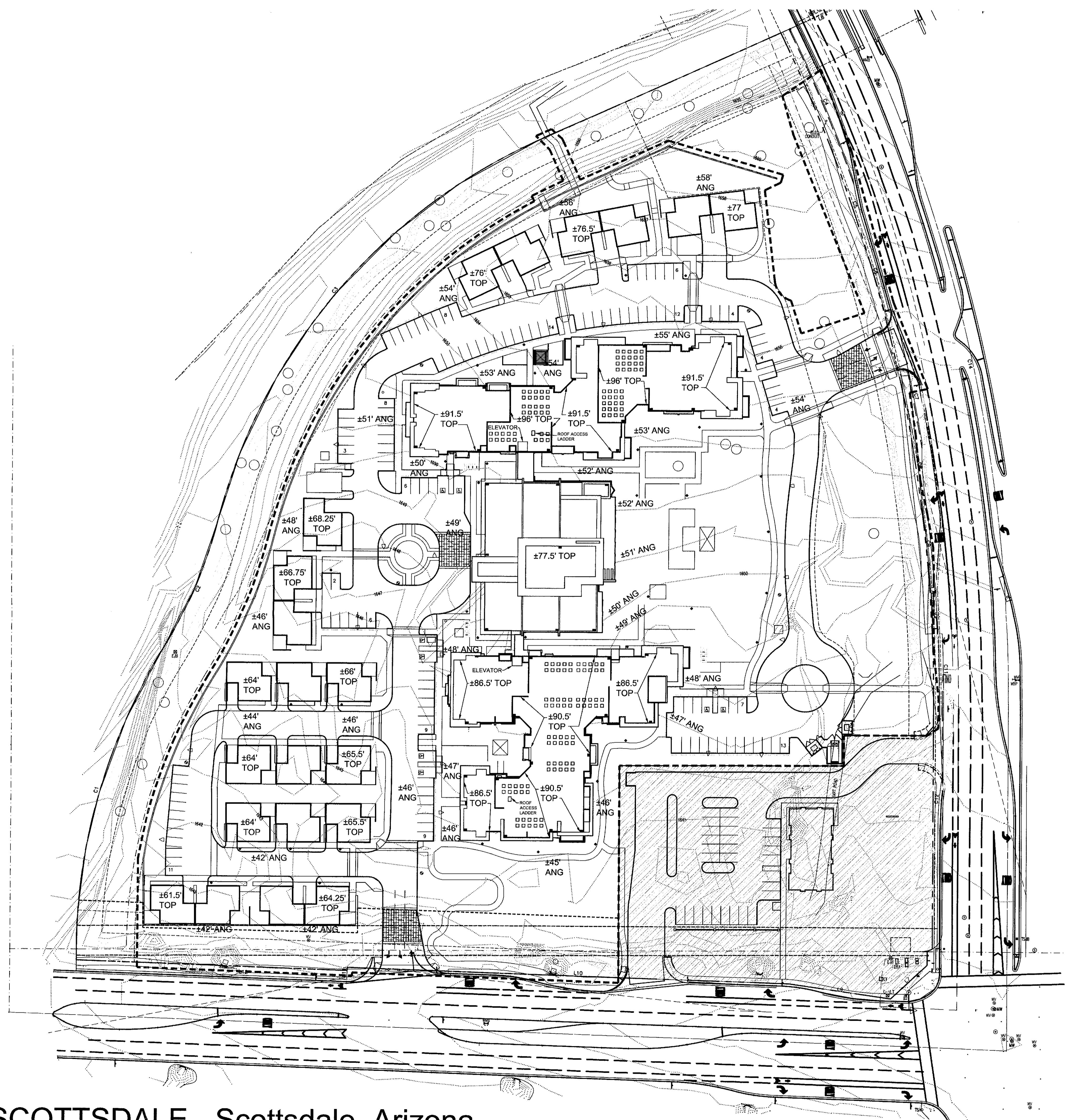


SITE PLAN  
1" = 50'

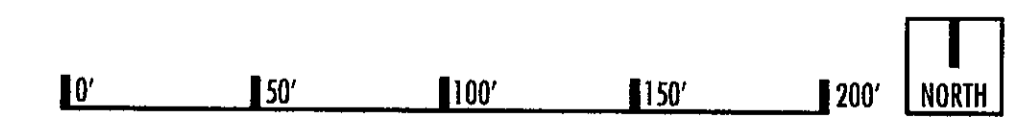
17165.000 - 08/27/2018



**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**



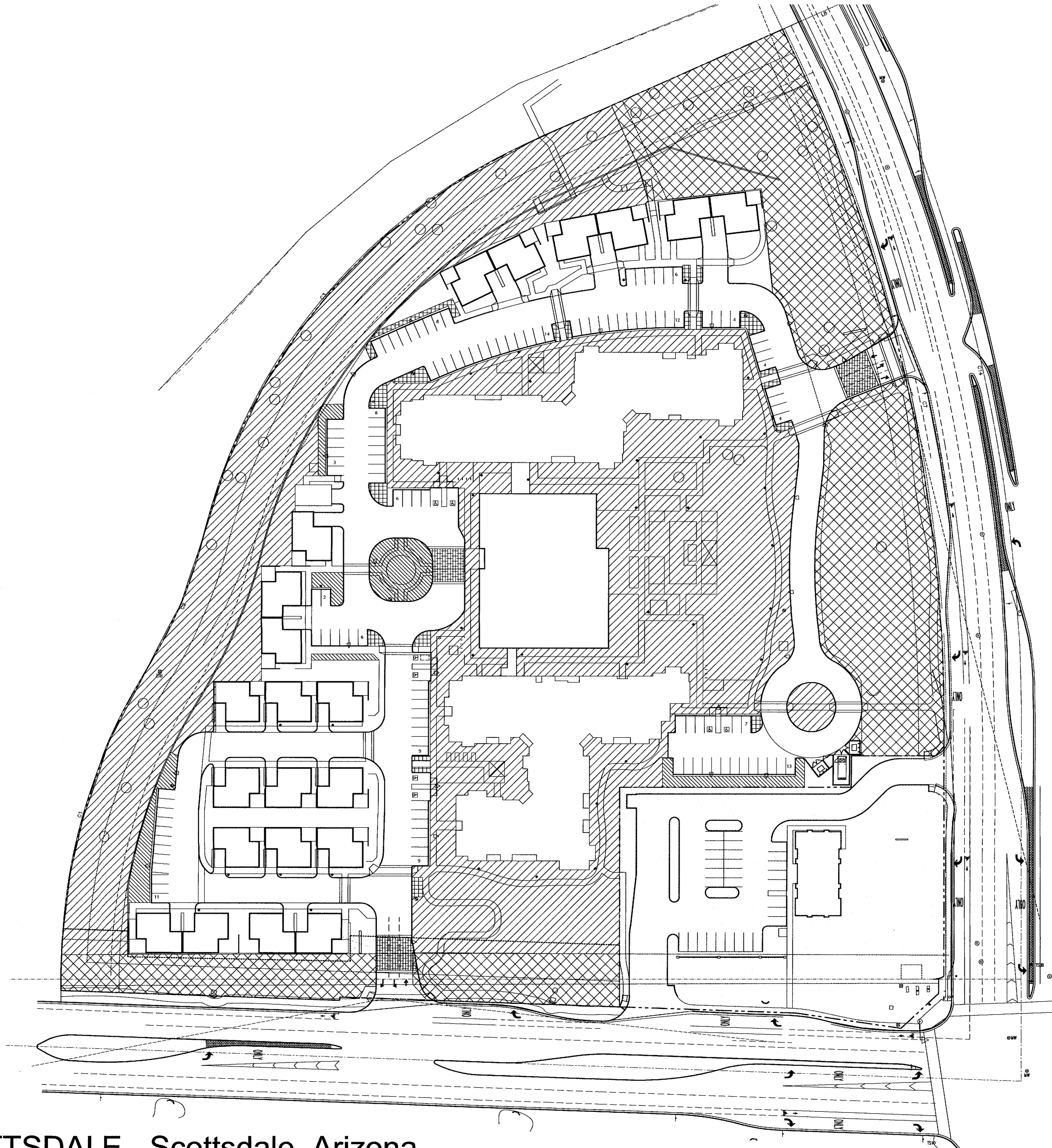
- NOTES**
- ALL ELEVATIONS MEASURED FROM 1600'
  - ANG - ADJACENT NATURAL GRADE
  - TOP - TOP OF PARAPET
  - ☐○☐ ALL ROOF DRAINS ARE INTERNAL



**ROOF PLAN**

**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**

Revised: 8/27/18 17165.000 - 5/2/2018



**PROJECT DATA**

Address 8890 East Legacy Blvd  
 Scottsdale, Az. 85255  
 Site Area: 12.08 acres net (526,291 nsf)  
 13.98 acres gross (608,909 gsf)  
 APN 215-07-238  
 Zoning Existing C-2 ESL (HD)  
 Zoning Proposed CO ESL

Open Space Required 126,310 sf (24%)  
 Front Open Space 63,155 sf (50% Open Space)  
 Pima Minimum 13,980 sf (699x20sf)  
 Pima Not required to exceed 34,950 sf (699x50sf)  
 Legacy Minimum 11,140 sf (557x20sf)  
 Legacy Not required to exceed 27,850 sf (557x50sf)

Open Space Provided Total 271,216 sf (51%)  
 Open Space 173,884 sf  
 Front Open Space 97,332 sf (77% of required OS)  
 Pima Front Open Space 75,398 sf  
 Legacy Front Open Space 21,934 sf

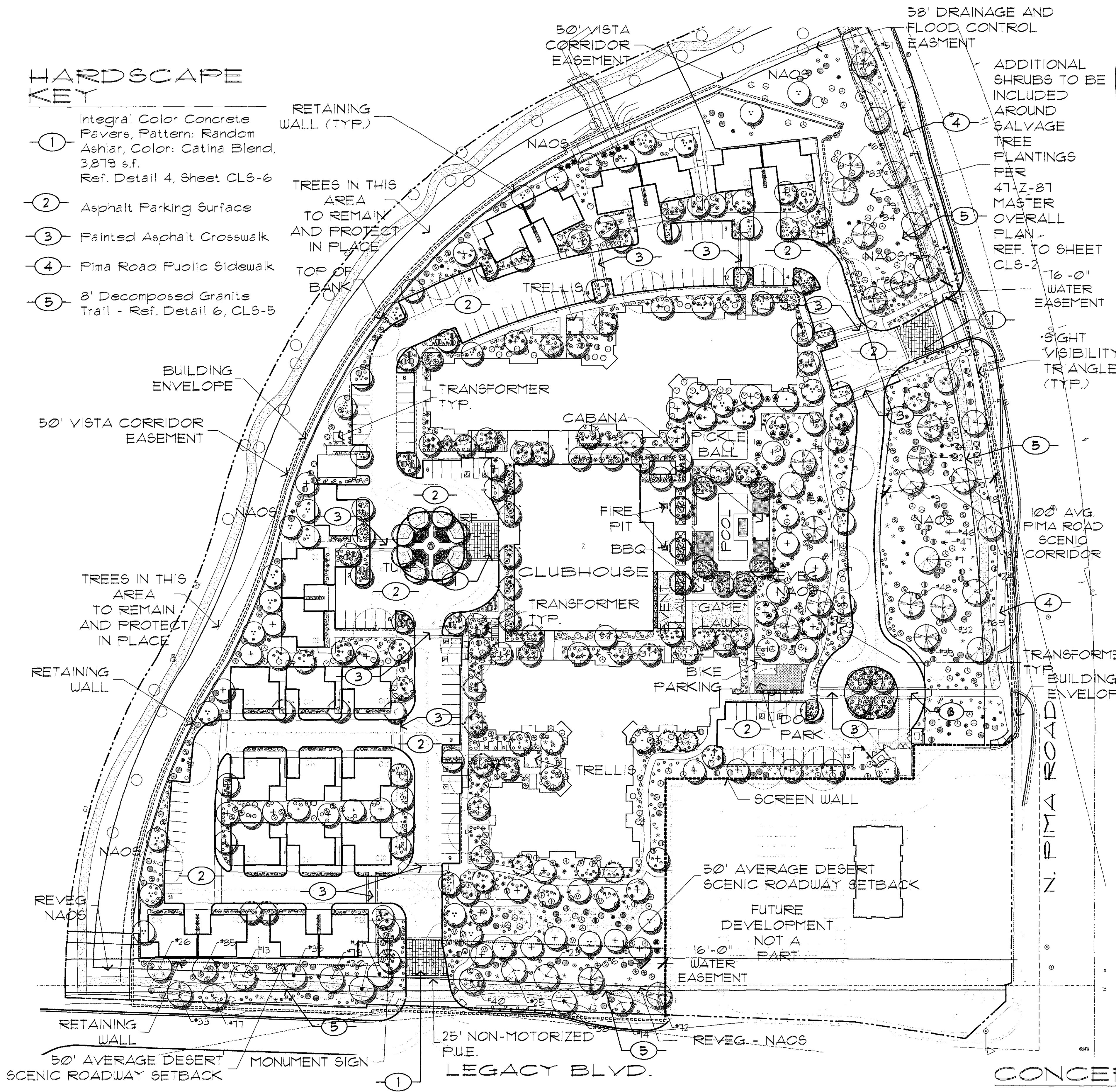
Parking Lot Area 47,351 sf  
 Parking Lot Landscaping Required 7,103 sf (15%)  
 Parking Lot Islands Required 2,344 sf (1/3 of Parking Lot Landscape)

Parking Lot Landscaping Provided 11,773 sf (24%)  
 Parking Lot Islands Provided 3,736 sf



# HARDSCAPE KEY

- ① Integral Color Concrete Pavers, Pattern: Random Ashlar, Color: Catina Blend, 3,879 s.f. Ref. Detail 4, Sheet CLS-6
- ② Asphalt Parking Surface
- ③ Painted Asphalt Crosswalk
- ④ Fima Road Public Sidewalk
- ⑤ 8' Decomposed Granite Trail - Ref. Detail 6, CLS-5



# PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
<b>TREES</b>				
⊙	Casualpinia calacalaco	Casualote	15" Cal.	13
⊙	Casualpinia mexicana	Mexican Bird of Paradise	Multiple-Trunk 15" Gal.	22
⊙	Cercidium floridum	Blue Palo Verde	Multiple-Trunk Salv.	12
⊙	Cercidium hybrid	Desert Museum Palo Verde	2" Cal.	64
⊙	Cercidium microphyllum	Foothill Palo Verde	Single-Trunk Salv.	18
⊙	Chitalpa taskentensis	Chitalpa	2" Cal.	34
⊙	Olneya tesota	Ironwood	Single-Trunk Salv.	5
⊙	Plthscalloblum flexicaule	Texas Ebony	Multiple-Trunk 15" Gal.	5
⊙	Prosopis sp.	Mesquite	Multiple-Trunk Salv.	10
⊙	Quercus virginiana	Cathedral Live Oak	2" Cal.	15
⊙	Sophora secundiflora	Texas Mountain Laurel	15" Cal.	8
⊙	Cercidium praecox	Palo Brea	2" Cal.	63
<b>ACCENTS &amp; VINES</b>				
⊙	Agave desmetiana	Smooth Agave	5 Gal.	107
⊙	Aloe x 'Topaz'	Topaz Aloe	5 Gal.	41
⊙	Bougainvillea 'Barbara Kars'	Vine Bougainvillea	5 Gal.	15
⊙	Campsis radicans	Common Trumpet creeper	5 Gal.	60
⊙	Carnegia gigantea	Saguaro	4'-8'	11
⊙	Dasylirion wheeleri	Desert Spoon	5 Gal.	150
⊙	Fouquieria splendens	Ocotillo	5'-6'	45
⊙	Hesperaloe parviflora	Red Hesperaloe	5 Gal.	158
⊙	Hesperaloe parviflora	Yellow Hesperaloe	5 Gal.	69
⊙	Hesperaloe parviflora	Brakelights Hesperaloe	5 Gal.	19
⊙	Opuntia engelmannii	Engelmann's Frickly Pear	5 Gal.	48
⊙	Pedilanthus macrocarpus	Lady Slipper Plant	5 Gal.	18
⊙	Podranea ricasoliana	Pink Trumpet Vine	5 Gal.	16
<b>SHRUBS</b>				
⊙	Podranea ricasoliana	Pink Trumpet Bush	5 Gal.	24
⊙	Ambrosia deltoidea	Bursage	5 Gal.	20
⊙	Bougainvillea	Torch Glow Bougainvillea	5 Gal.	30
⊙	Dodonaea viscosa	Purple Hopseed Bush	5 Gal.	10
⊙	Eucalyptus	Brittlebush	5 Gal.	86
⊙	Encelia farinosa	Brittlebush	5 Gal.	23
⊙	Simmondsia chinensis	Jojoba	5 Gal.	23
⊙	Justicia californica	Chuparosa	5 Gal.	140
⊙	Justicia spicigera	Mexican Honeysuckle	5 Gal.	71
⊙	Larrea tridentata	Crosote Bush	5 Gal.	117
⊙	Comela	Desert Sena	5 Gal.	109
⊙	Cassia covesi	Heavenly Bamboo	5 Gal.	44
⊙	Nandina domestica	Heavenly Bamboo	5 Gal.	44
⊙	Eremophila hygrophana	Blue Bells	5 Gal.	18
⊙	Ruellia peninsularis	Baja Ruellia	5 Gal.	14
⊙	Tecoma x Orange Jubilee	Orange Jubilee	5 Gal.	61
<b>GROUND COVERS</b>				
⊙	Ballea multiradiata	Desert Marigold	1 Gal.	337
⊙	Lantana 'New Gold'	New Gold Lantana	1 Gal.	311
⊙	Lantana montevidensis	Purple Lantana	1 Gal.	302
⊙	Penstemon parryi	Parry's Penstemon	1 Gal.	241
⊙	Teucrium chamaedrys	Prostrate Germander	1 Gal.	101
⊙	Verticordia parviflora	Peruvian Verbena	1 Gal.	88
⊙	Wedelia trilobata	Wedelia	1 Gal.	228
<b>MISCELLANEOUS</b>				
DG	Decomposed granite in all planting areas 2" depth (Typ), size: 3/4" screened - 118,238 sq. ft.			
SYN TURF	Synthetic turf - Easyturf or equal 1,899 sq. ft.			
SYN TURF	Synthetic turf Dog Park - Easyturf pedigree or equal 1,894 sq. ft.			
TURF	Turf Midiron or equal 13,311 sq. ft.			
<b>NOTES</b>				
1. REFERENCE THE 41-Z-81 MASTER OVERALL PLAN FOR LANDSCAPE PLAN DETAILS.				
2. PLANT MATERIALS LISTED ABOVE THAT ARE NOT INDIGENOUS TO THE ESL AREAS SHALL BE LIMITED TO ENCLOSED YARD AREAS AND SHALL NOT EXCEED TWENTY (20) FEET IN HEIGHT.				
3. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE OFFSITE.				
* DENOTES PLANT MATERIAL NOT ON THE INDIGENOUS PLANT LIST. THESE MUST BE LIMITED TO ENCLOSED YARD AREAS AND SHALL NOT EXCEED 20' IN HEIGHT.				

# SALVAGEABLE PLANT SCHEDULE

NUMBER	COMMON NAME	CALIPER
#2	Blue Palo Verde	18"
#5	Foothills Palo Verde	7"
#6	Blue Palo Verde	10"
#7	Blue Palo Verde	16"
#9	Mesquite	7"
#11	Foothills Palo Verde	7"
#12	Mesquite	8"
#13	Mesquite	4"
#14	Mesquite	8"
#16	Mesquite	14"
#18	Mesquite	9"
#19	Foothills Palo Verde	6"
#23	Mesquite	18"
#24	Mesquite	7"
#25	Mesquite	4"
#26	Blue Palo Verde	7"
#28	Blue Palo Verde	16"
#30	Ironwood	26"
#31	Mesquite	6"
#32	Foothills Palo Verde	6"
#33	Foothills Palo Verde	4"
#35	Ironwood	22"
#38	Ironwood	14"
#39	Foothills Palo Verde	4"
#40	Ironwood	28"
#41	Ironwood	26"
#42	Barrel Cactus	8"
#46	Saguaro	18"
#47	Saguaro	13"
#48	Foothills Palo Verde	8"
#49	Saguaro	4"
#51	Blue Palo Verde	4"
#52	Foothills Palo Verde	4"
#53	Foothills Palo Verde	4"
#55	Foothills Palo Verde	6"
#57	Foothills Palo Verde	6"
#59	Blue Palo Verde	5"
#63	Blue Palo Verde	5"
#71	Blue Palo Verde	5"
#72	Foothills Palo Verde	20"
#74	Saguaro	6"
#77	Blue Palo Verde	6"
#78	Foothills Palo Verde	5"
#79	Blue Palo Verde	5"
#81	Foothills Palo Verde	4"
#82	Foothills Palo Verde	4"
#83	Foothills Palo Verde	7"
#84	Foothills Palo Verde	5"
#85	Blue Palo Verde	6"
#86	Foothills Palo Verde	4"
#87	Blue Palo Verde	6"
#91	Saguaro	3"

# AREA CALCS

Right-Of-Way Landscape Area: 11,695 sf  
 Parking Lot Landscape: 11,173 sf  
 On-Site Landscape Area: 173,884 sf  
 Reveg NAOS Landscape: 52,311 sf

# BICYCLE PARKING

Required: 26  
 Provided: 26

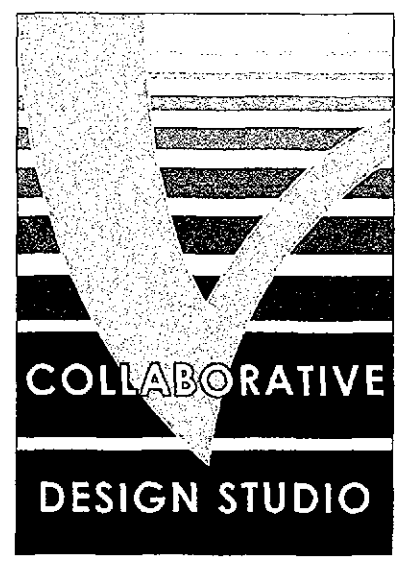
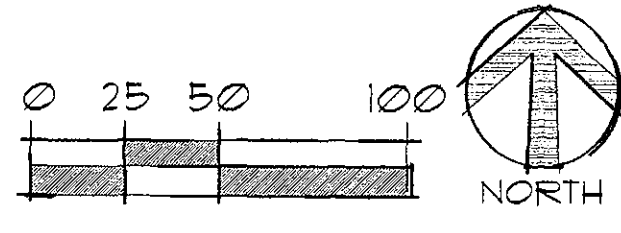
STIPULATION SET  
 RETAIN FOR RECORDS  
 APPROVED  
 [Signature] INITIALS

# CONCEPTUAL GENERAL NOTES

1. Conceptual landscape plan is schematic in nature. At the time of landscape construction drawings actual locations, quantities, sizes, and species shall be determined and will be per city codes.
2. All trees used within this project shall be nursery grown or salvaged from on site. Exact locations and quantities shall be determined on landscape construction drawings. All existing trees shall be protected during construction.
3. All landscape areas shall receive an automatic irrigation system.
4. All plant material shall be installed per city requirements. Plant material installed within sight distance triangles shall be of a species that does not grow to a height of more than 30" and shall be maintained per city requirements.
5. All non-turf areas shall receive a 2" depth of decomposed granite.
6. The retention shown on the plans is conceptual in nature. Refer to the engineering plans for actual grading and drainage configurations.
7. All earthwork will be done to drain away from sidewalks and structures.
8. Additional plant material may be introduced as different varieties become available through local nurseries and if they are consistent with the overall theme of this project.

# LANDSCAPE AND HARDSCAPE PLAN

SCALE: 1" = 50'-0"



COLLABORATIVE V  
 DESIGN STUDIO INC.  
 7116 EAST 1ST AVE.,  
 SUITE 103  
 SCOTTSDALE, ARIZONA  
 85251  
 OFFICE: 480-347-0590  
 FAX: 480-656-6012



LANDSCAPE IMPROVEMENTS  
**REVEL LEGACY**  
 Scottsdale, Arizona

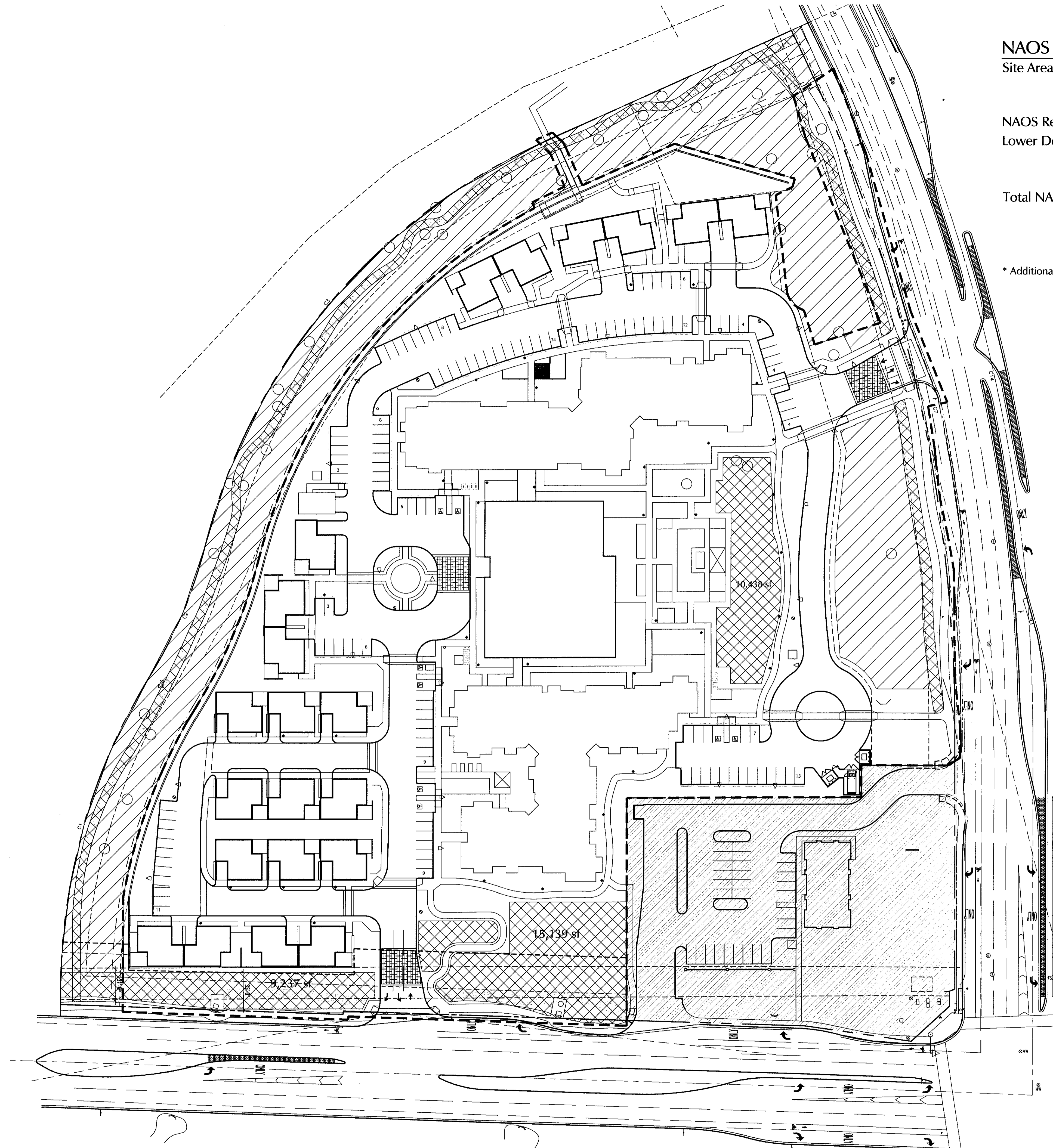
Conceptual Landscape Plan

NEED LARGER FONT SIZE

DESIGNED BY: PV/MD  
 DRAWN BY: MD  
 CHECKED BY: PV/MD  
 DATE: July 17th, 2018  
 REVISION: 8/28/2018  
 2nd DR Submittal

REVEL LEGACY  
 REZONE SUBMITTAL

CLS-1



**NAOS DATA**

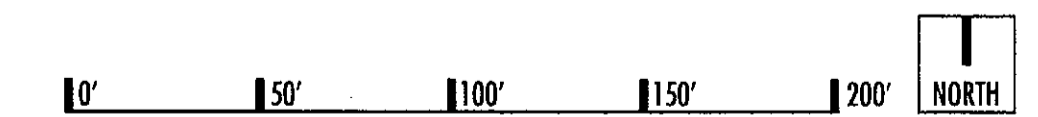
Site Area: 12.08 acres net (526,291 nsf)  
13.98 acres gross (608,909 gsf)

NAOS Required  
Lower Desert, 0%-5% slope Average 131,573 sf (25%)  
Revegetation Allowed 39,472 sf (30% of NAOS)

Total NAOS Provided 140,870 sf (27%) - 3.2 Acres  
 NAOS 88,559 sf  
 NAOS Revegetation \*52,311 sf (40% of Required NAOS)

\* Additional NAOS Revegetation provided to meet Parcel 1 and 2 NAOS per Land Use Table 47-ZN-87

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
*[Signature]*  
DATE INITIALS

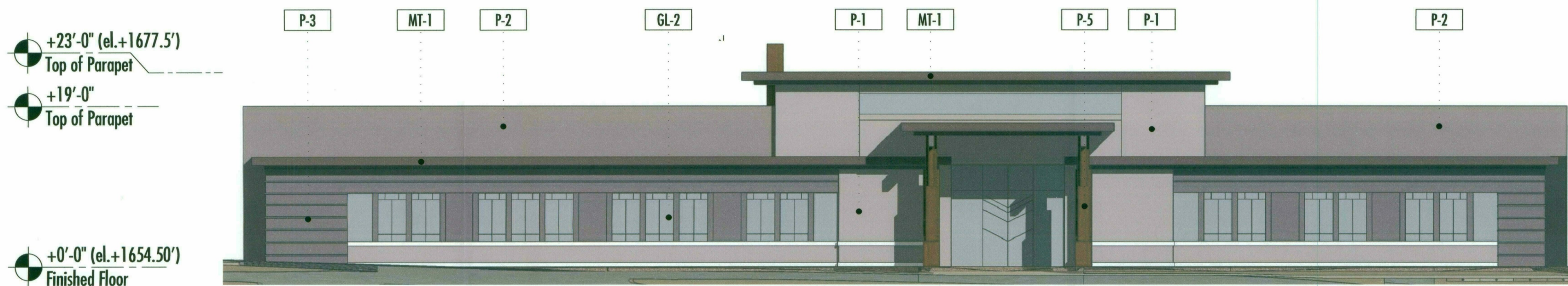


**MATERIAL LEGEND**

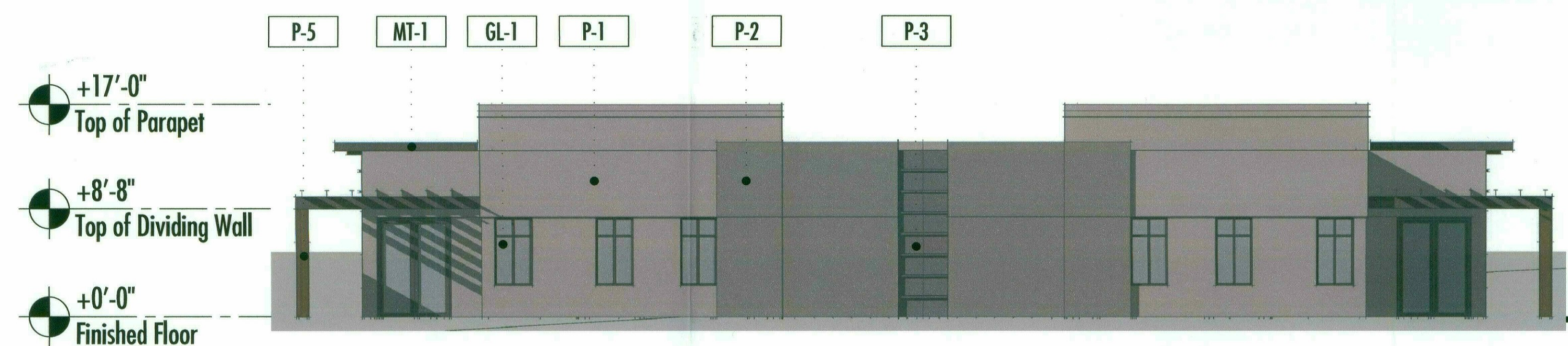
- P-1 Dunn Edwards DEC717 Baked Potato, LRV 34
- P-2 Dunn Edwards DE6061 River Rocks, LRV19
- P-3 Dunn Edwards DE6062 Tea Bag, LRV 12
- P-4 Dunn Edwards DE6399 Molasses, LRV 7
- P-5 Dunn Edwards DEC706 Rosewood, LRV 17
- MT-1 Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
- GL-1 1" clear insulated glazing
- GL-2 1" insulated glazing to match Viracon Gray



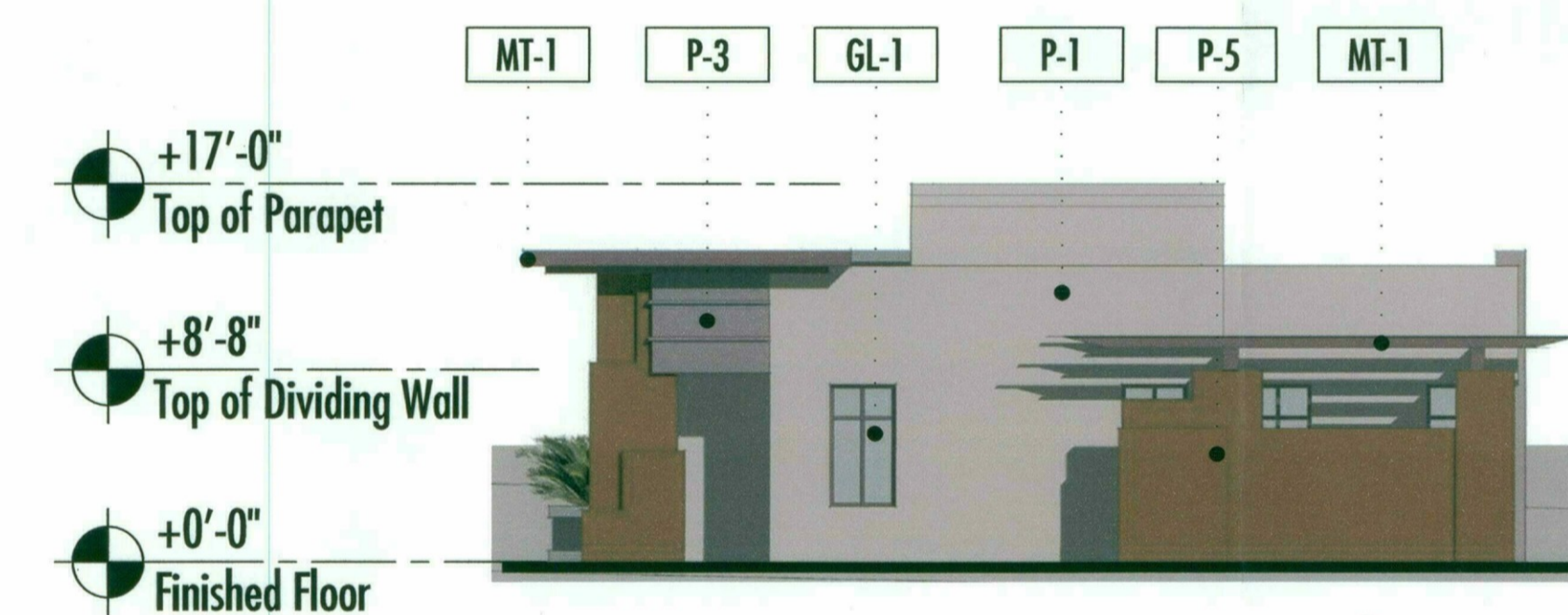
**CLUBHOUSE ELEVATION - East**



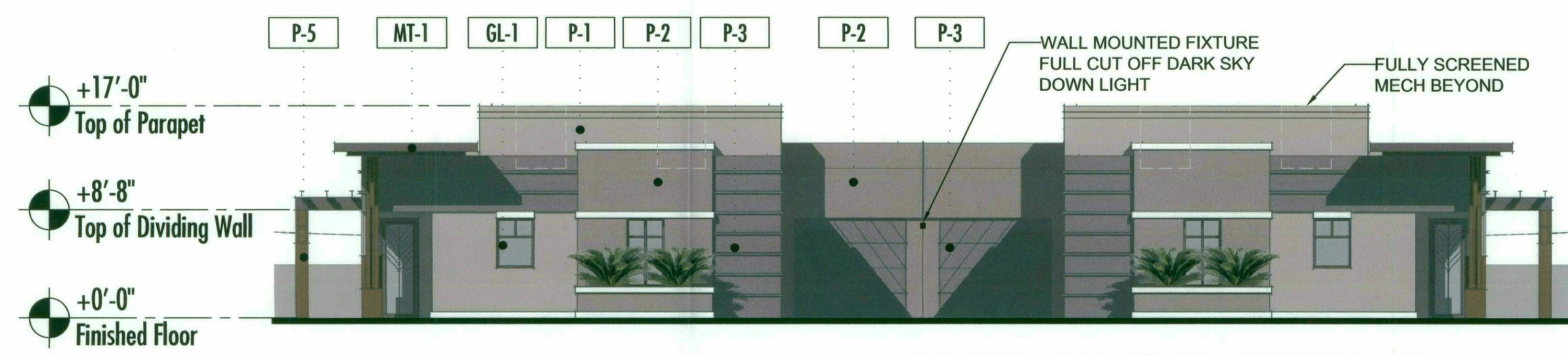
**CLUBHOUSE ELEVATION - West**



**COTTAGE ELEVATION - Rear**



**COTTAGE ELEVATION - Side**

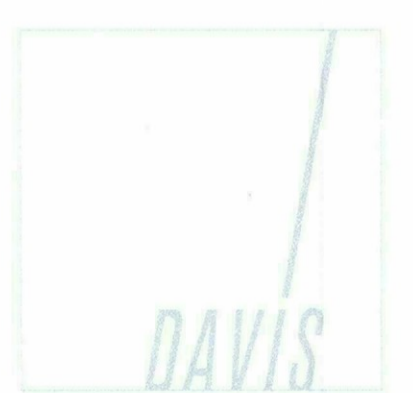


**COTTAGE ELEVATION - Front**



STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
10/8/2018  
DATE INITIALS

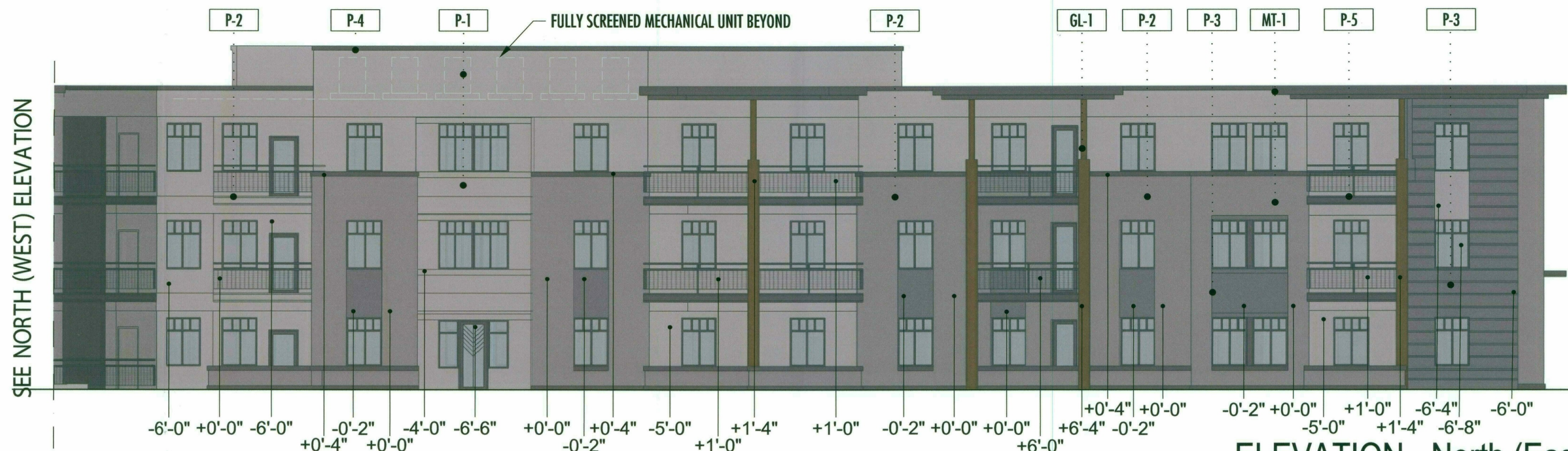
**CLUBHOUSE and COTTAGE ELEVATIONS**  
17165.000 - 08/27/2018



**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**

Notice of IP Rights: 2018 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.

+39'-0" (el.+1696')  
Top of Parapet



ELEVATION - North (East)

+0'-0" (el.+1657')  
Finished Floor

+39'-0" (el.+1696')  
Top of Parapet



ELEVATION - North (West)

+0'-0" (el.+1657')  
Finished Floor

+39'-0" (el.+1696')  
Top of Parapet



ELEVATION - East

+0'-0" (el.+1657')  
Finished Floor

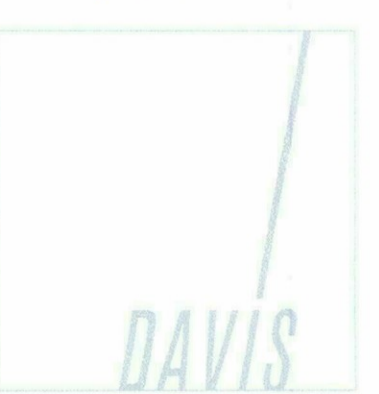
**MATERIAL LEGEND**

- P-1 Dunn Edwards DEC717 Baked Potato, LRV 34
- P-2 Dunn Edwards DE6061 River Rocks, LRV19
- P-3 Dunn Edwards DE6062 Tea Bag, LRV 12
- P-4 Dunn Edwards DE6399 Molasses, LRV 7
- P-5 Dunn Edwards DEC706 Rosewood, LRV 17
- MT-1 Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
- GL-1 1" clear insulated glazing
- GL-2 1" insulated glazing to match Viracon Gray

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
DATE 10/18/2018 INITIALS



NORTH BUILDING ELEVATIONS  
17165.000 - 08/27/2018

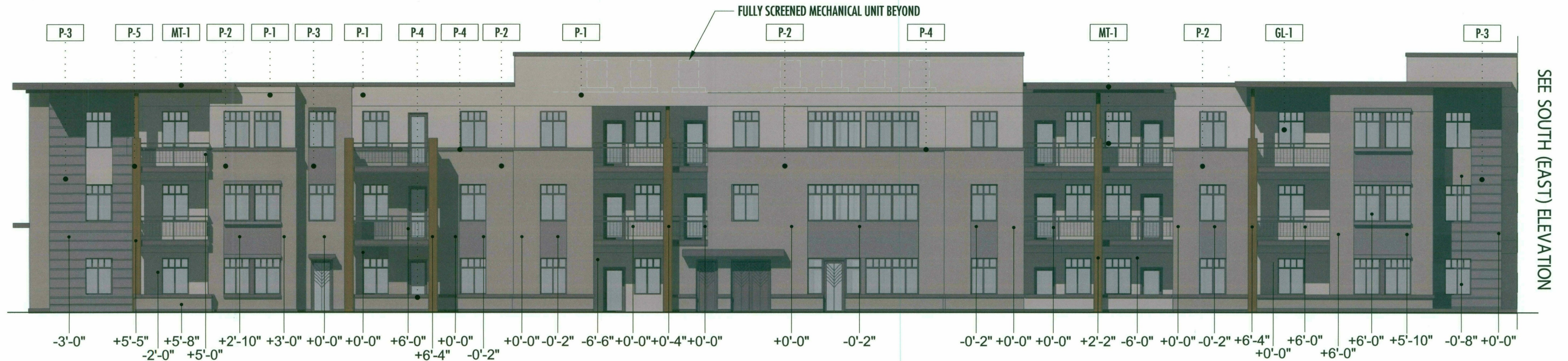


**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**

Notice of IP Rights: 2018 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.

+39'-0" (el.+1696')  
Top of Parapet

+0'-0" (el.+1657')  
Finished Floor



ELEVATION - South (West)

+39'-0" (el.+1696')  
Top of Parapet

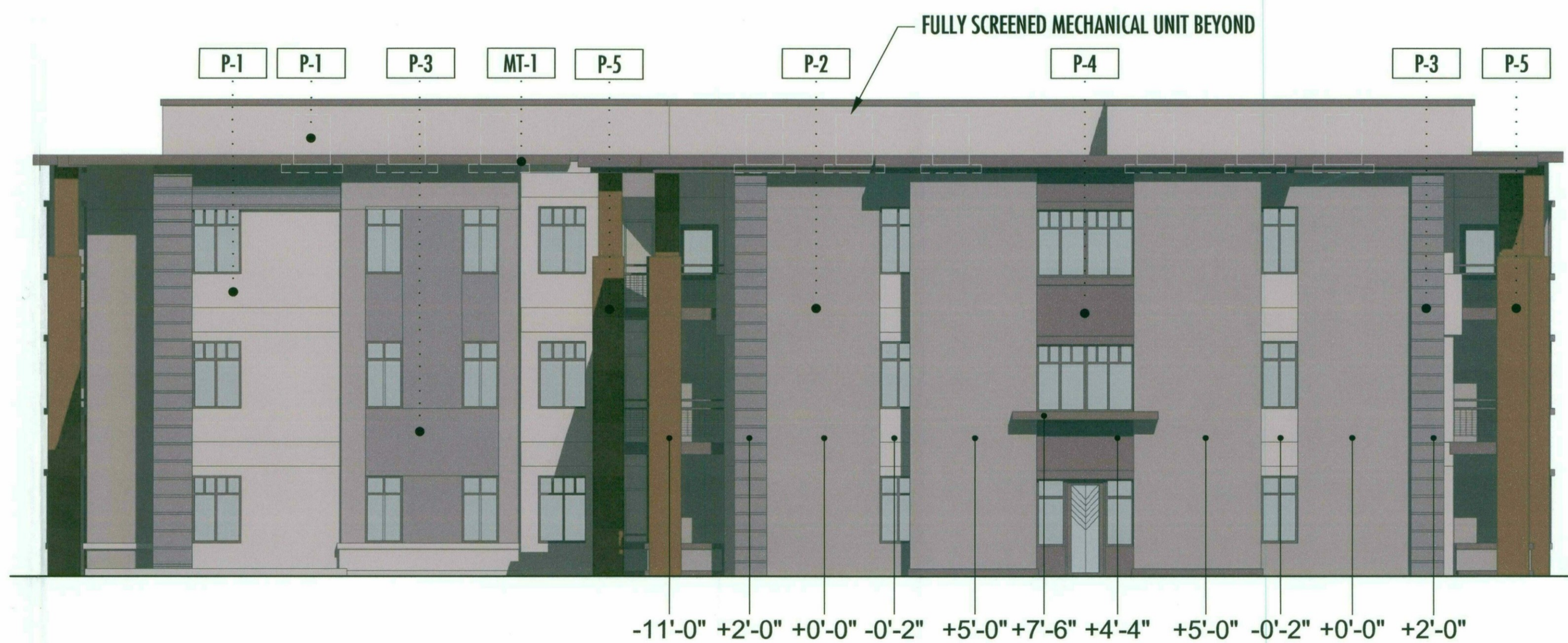
+0'-0" (el.+1657')  
Finished Floor



ELEVATION - South (East)

+39'-0" (el.+1696')  
Top of Parapet

+0'-0" (el.+1657')  
Finished Floor



ELEVATION - West

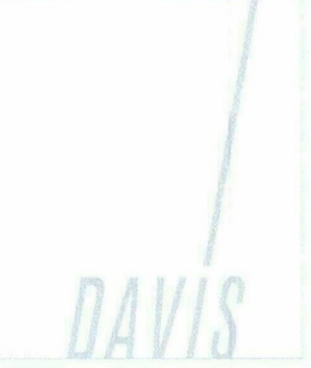
MATERIAL LEGEND

- P-1 Dunn Edwards DEC717 Baked Potato, LRV 34
- P-2 Dunn Edwards DE6061 River Rocks, LRV19
- P-3 Dunn Edwards DE6062 Tea Bag, LRV 12
- P-4 Dunn Edwards DE6399 Molasses, LRV 7
- P-5 Dunn Edwards DEC706 Rosewood, LRV 17
- MT-1 Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
- GL-1 1" clear insulated glazing
- GL-2 1" insulated glazing to match Viracon Gray

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
DATE: 10/18/2018 INITIALS: [Signature]



NORTH BUILDING ELEVATIONS  
17165.000 - 08/27/2018



WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

Notice of IP Rights: 2018 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.

+39'-0" (el.+1690.5')  
Top of Parapet

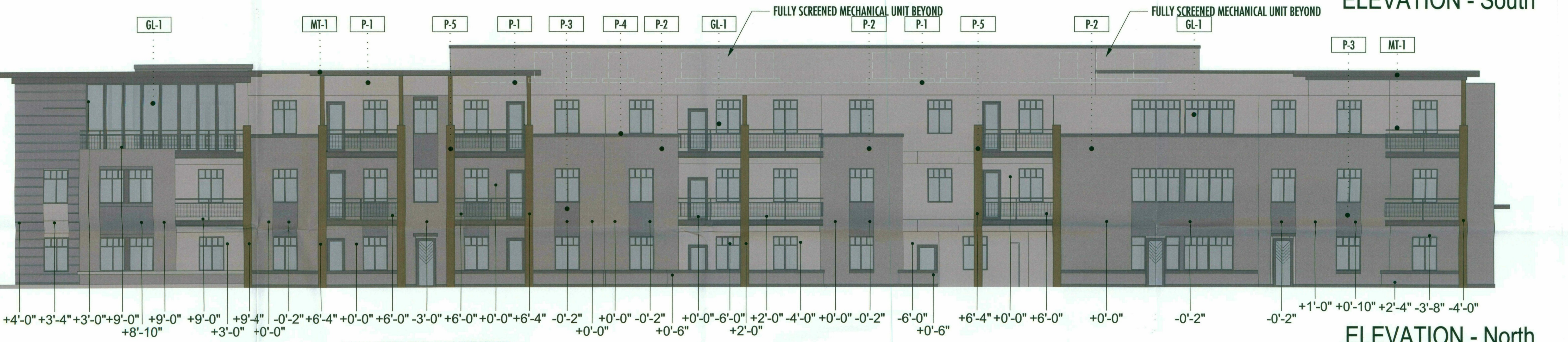
+0'-0" (el.+1651.5')  
Finished Floor



ELEVATION - South

+39'-0" (el.+1690.5')  
Top of Parapet

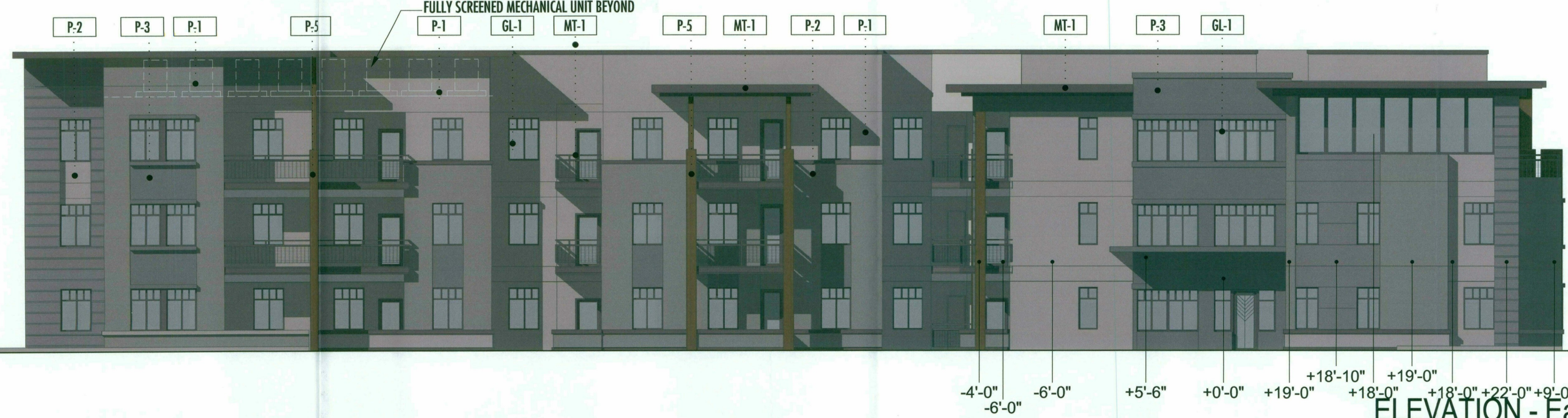
+0'-0" (el.+1651.5')  
Finished Floor



ELEVATION - North

+39'-0" (el.+1690.5')  
Top of Parapet

+0'-0" (el.+1651.5')  
Finished Floor



ELEVATION - East

**MATERIAL LEGEND**

P-1	Dunn Edwards DEC717 Baked Potato, LRV 34
P-2	Dunn Edwards DE6061 River Rocks, LRV19
P-3	Dunn Edwards DE6062 Tea Bag, LRV 12
P-4	Dunn Edwards DE6399 Molasses, LRV 7
P-5	Dunn Edwards DEC706 Rosewood, LRV 17
MT-1	Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
GL-1	1" clear insulated glazing
GL-2	1" insulated glazing to match Viracon Gray

0' 8' 16' 24' 32'

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED

10/26/2018  
DATE

INITIALS

SOUTH BUILDING ELEVATIONS  
17165.000 - 08/27/2018

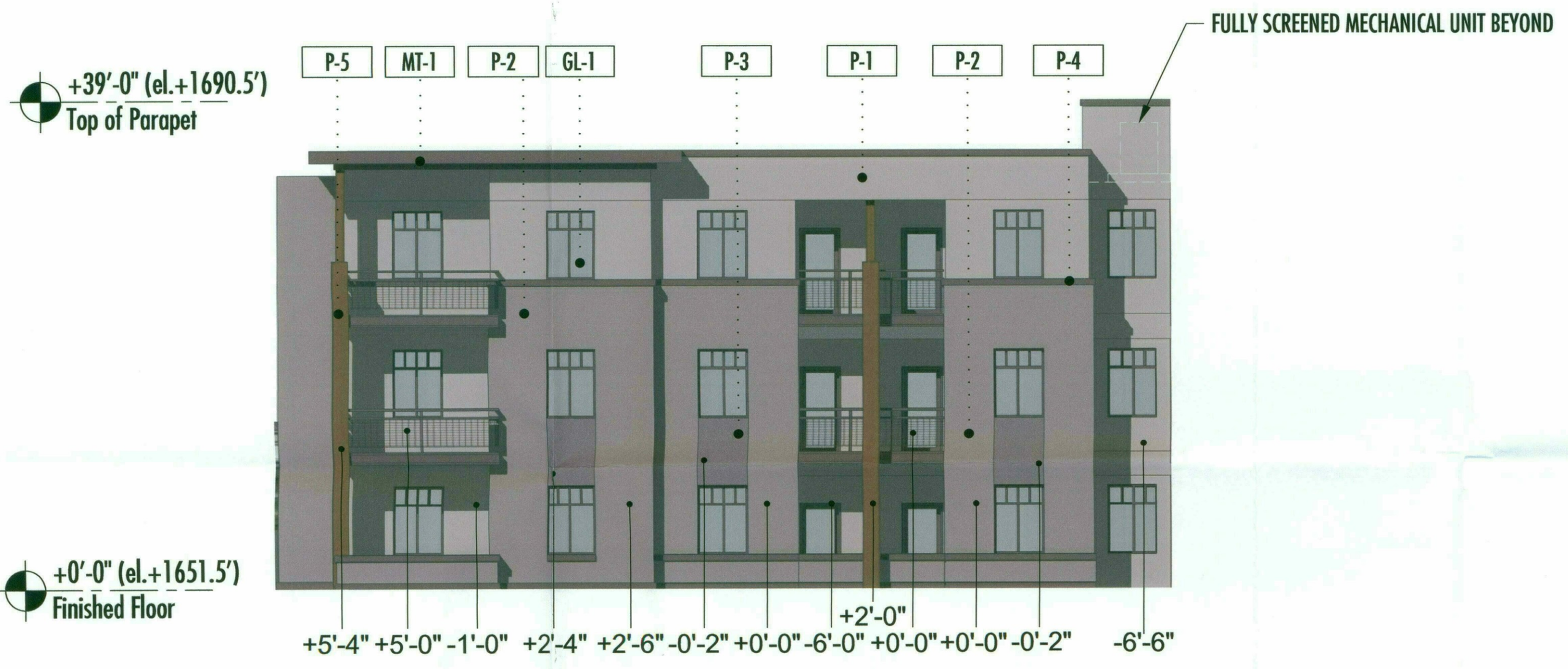
DAVIS

WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

Notice of IP Rights: 2018 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.



ELEVATION - West



ELEVATION - Courtyard North



ELEVATION - Courtyard South

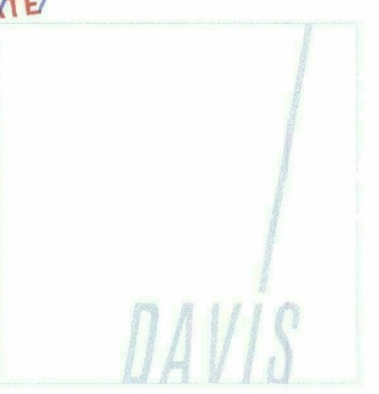
**MATERIAL LEGEND**

P-1	Dunn Edwards DEC717 Baked Potato, LRV 34
P-2	Dunn Edwards DE6061 River Rocks, LRV19
P-3	Dunn Edwards DE6062 Tea Bag, LRV 12
P-4	Dunn Edwards DE6399 Molasses, LRV 7
P-5	Dunn Edwards DEC706 Rosewood, LRV 17
MT-1	Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
GL-1	1" clear insulated glazing
GL-2	1" insulated glazing to match Viracon Gray



STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
10/15/2018  
DATE INITIALS

SOUTH BUILDING ELEVATIONS  
17165.000 - 08/27/2018

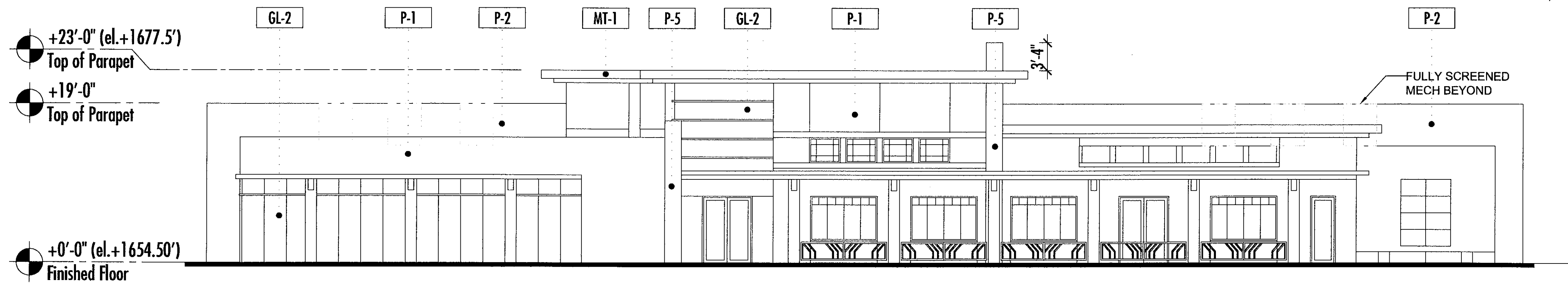


# WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

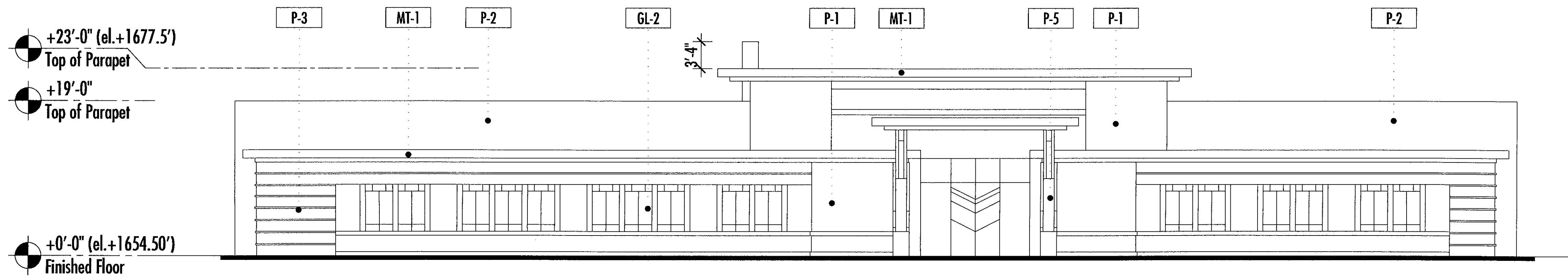
Notice of IP Rights: 2018 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.

**MATERIAL LEGEND**

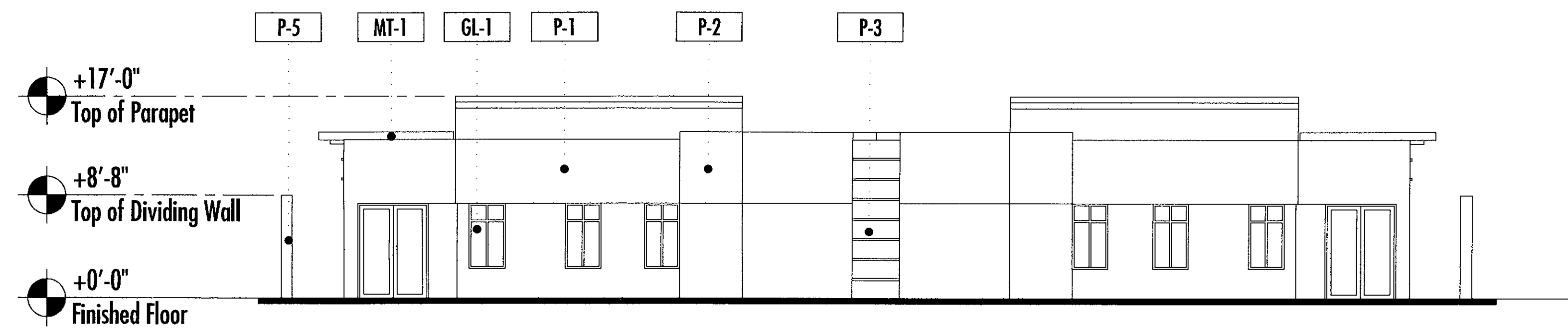
- P-1 Dunn Edwards DEC717 Baked Potato, LRV 34
- P-2 Dunn Edwards DE6061 River Rocks, LRV 19
- P-3 Dunn Edwards DE6062 Tea Bag, LRV 12
- P-4 Dunn Edwards DE6399 Molasses, LRV 7
- P-5 Dunn Edwards DEC706 Rosewood, LRV 17
- MT-1 Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
- GL-1 1" clear insulated glazing
- GL-2 1" insulated glazing to match Viracon Gray



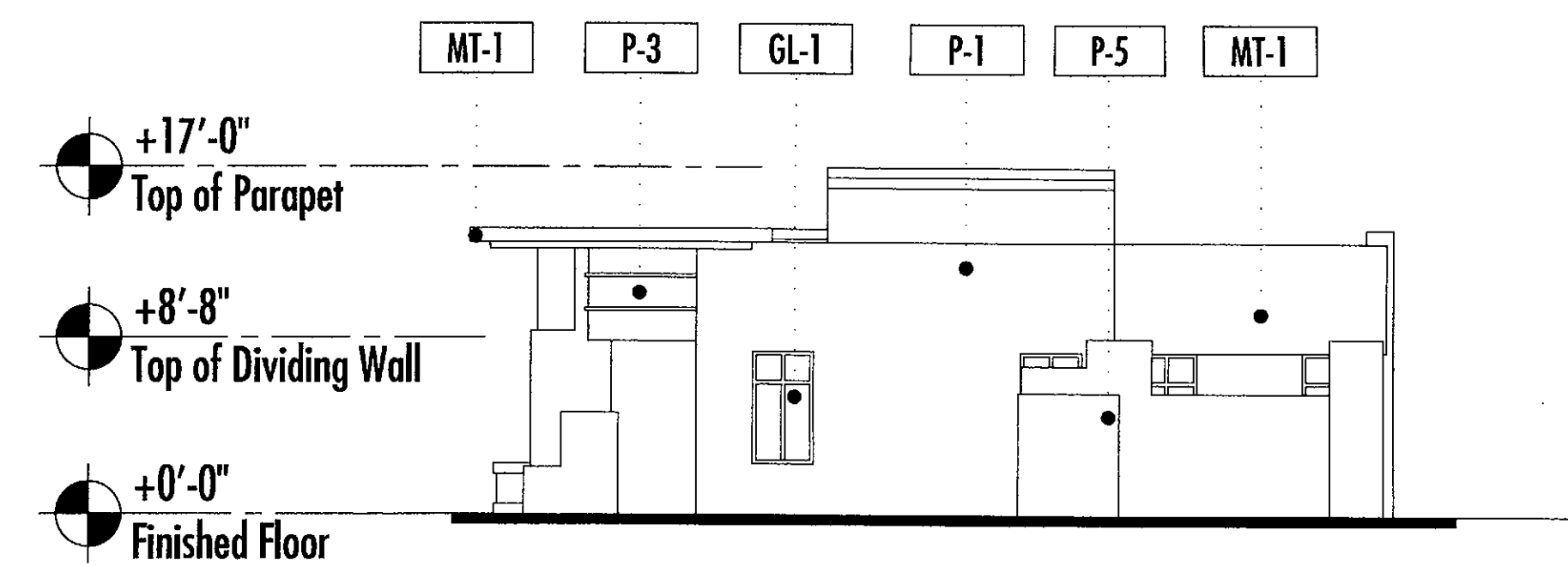
**CLUBHOUSE ELEVATION - East**



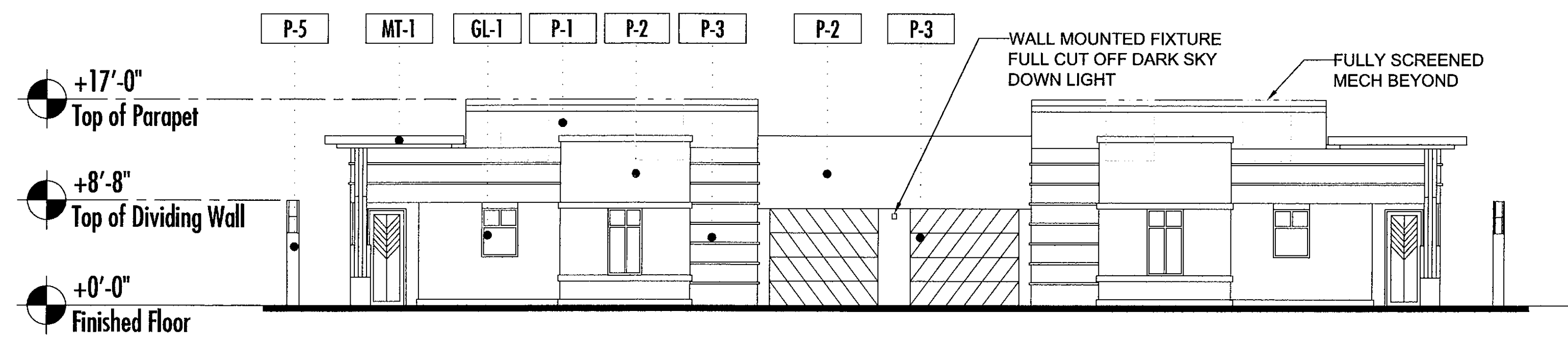
**CLUBHOUSE ELEVATION - West**



**COTTAGE ELEVATION - Rear**

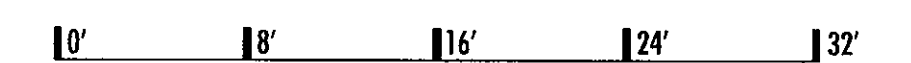


**COTTAGE ELEVATION - Side**



**COTTAGE ELEVATION - Front**

STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
*[Signature]*  
DATE: / / INITIALS



+39'-0" (el.+1690.5')  
Top of Parapet

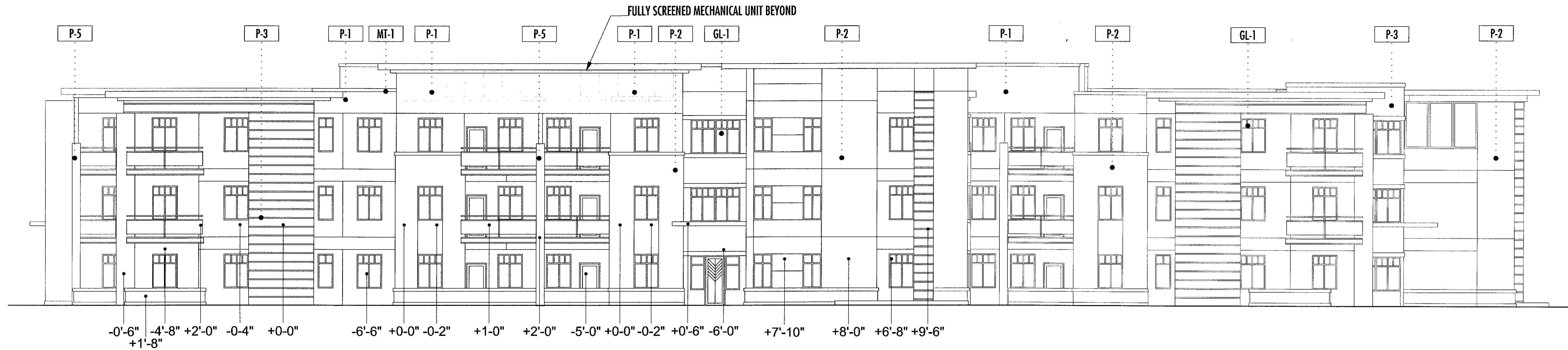
+0'-0" (el.+1651.5')  
Finished Floor

+39'-0" (el.+1690.5')  
Top of Parapet

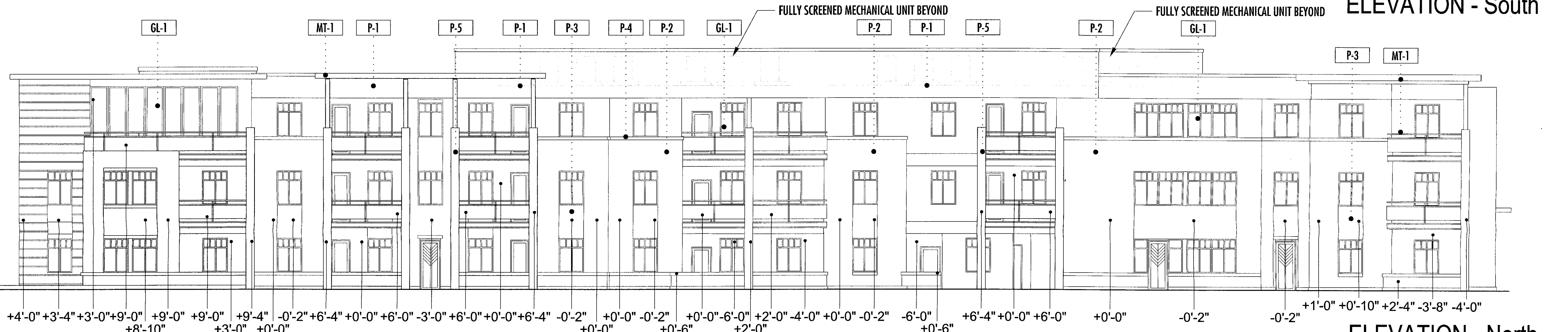
+0'-0" (el.+1651.5')  
Finished Floor

+39'-0" (el.+1690.5')  
Top of Parapet

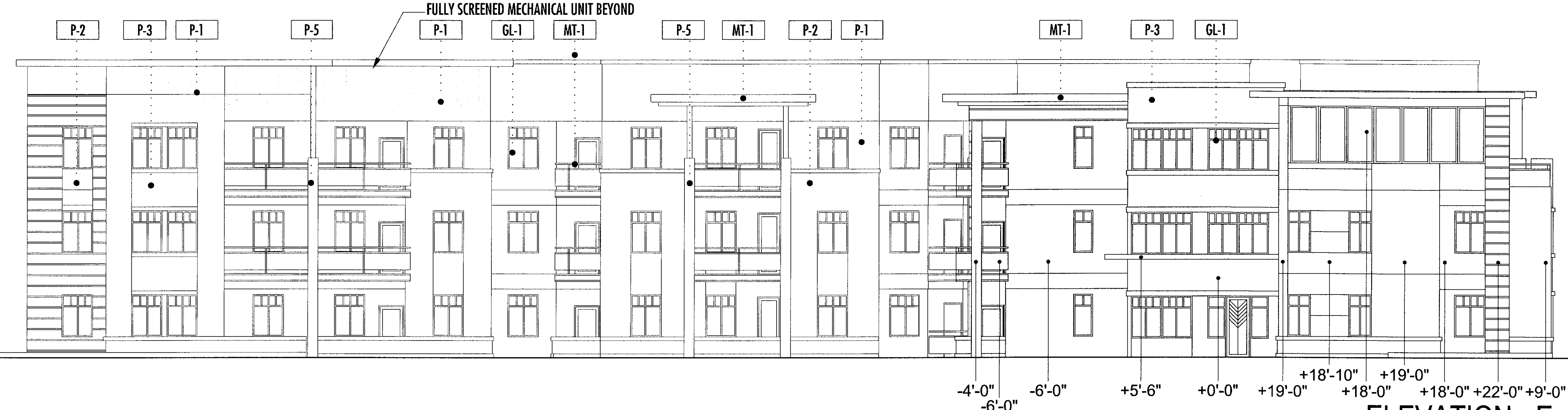
+0'-0" (el.+1651.5')  
Finished Floor



ELEVATION - South



ELEVATION - North



ELEVATION - East

**MATERIAL LEGEND**

- P-1 Dunn Edwards DEC717 Baked Potato, LRV 34
- P-2 Dunn Edwards DE6061 River Rocks, LRV19
- P-3 Dunn Edwards DE6062 Tea Bag, LRV 12
- P-4 Dunn Edwards DE6399 Molasses, LRV 7
- P-5 Dunn Edwards DEC706 Rosewood, LRV 17
- MT-1 Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
- GL-1 1" clear insulated glazing
- GL-2 1" insulated glazing to match Viracon Gray

0' 8' 16' 24' 32'

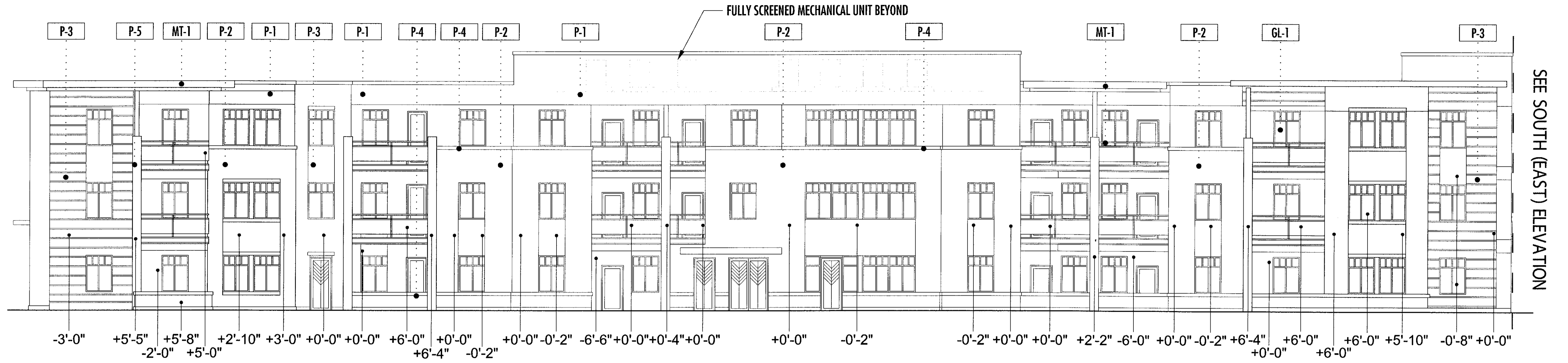
STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
*[Signature]*  
INITIALS

# WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

SOUTH BUILDING ELEVATIONS  
17165.000 - 08/27/2018

+39'-0" (el.+1696')  
Top of Parapet

+0'-0" (el.+1657')  
Finished Floor



ELEVATION - South (West)

+39'-0" (el.+1696')  
Top of Parapet

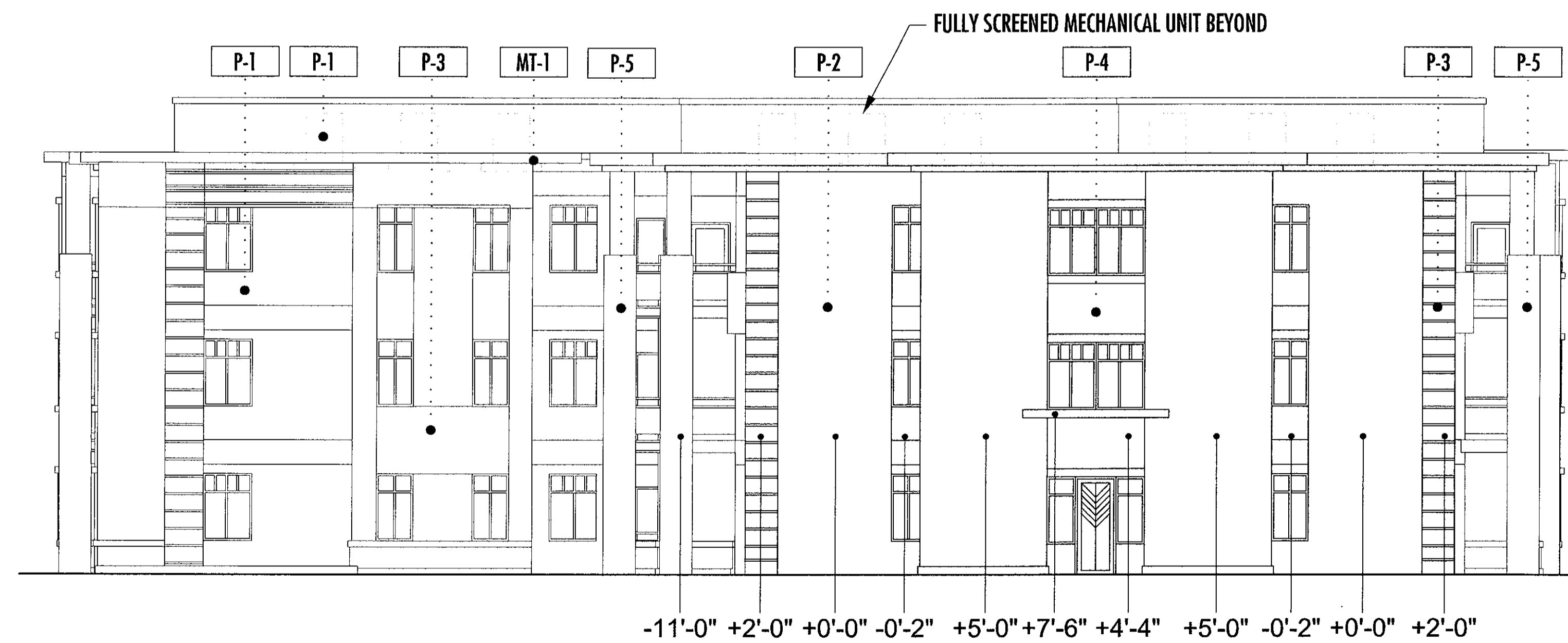
+0'-0" (el.+1657')  
Finished Floor



ELEVATION - South (East)

+39'-0" (el.+1696')  
Top of Parapet

+0'-0" (el.+1657')  
Finished Floor

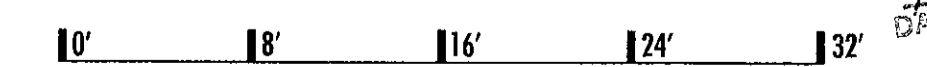


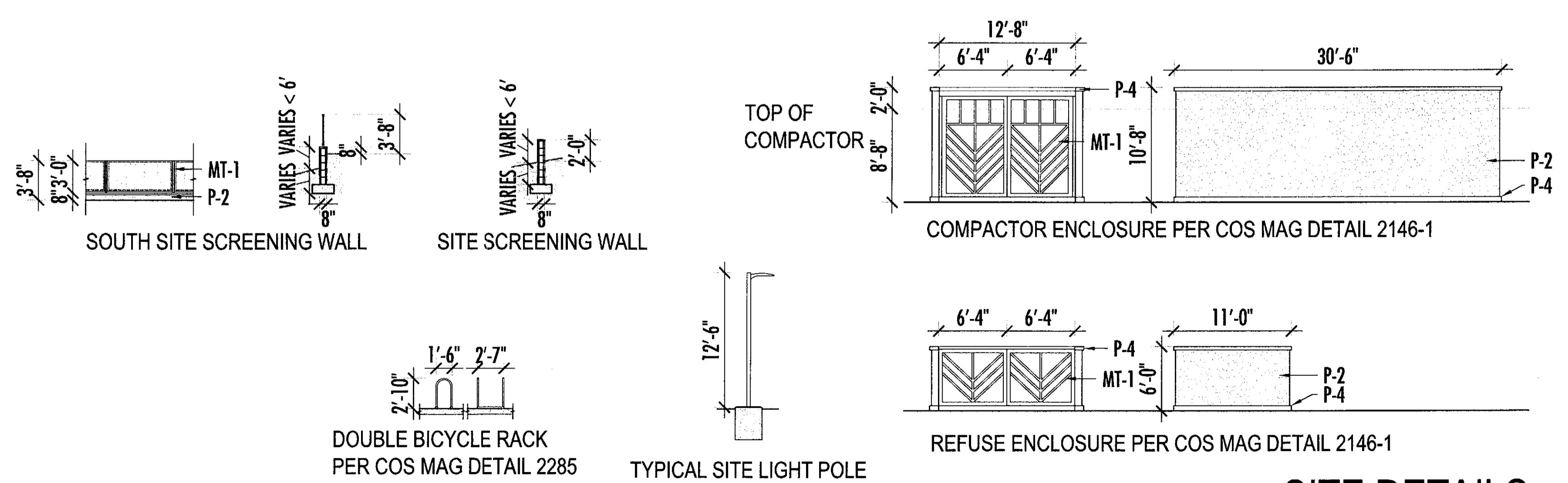
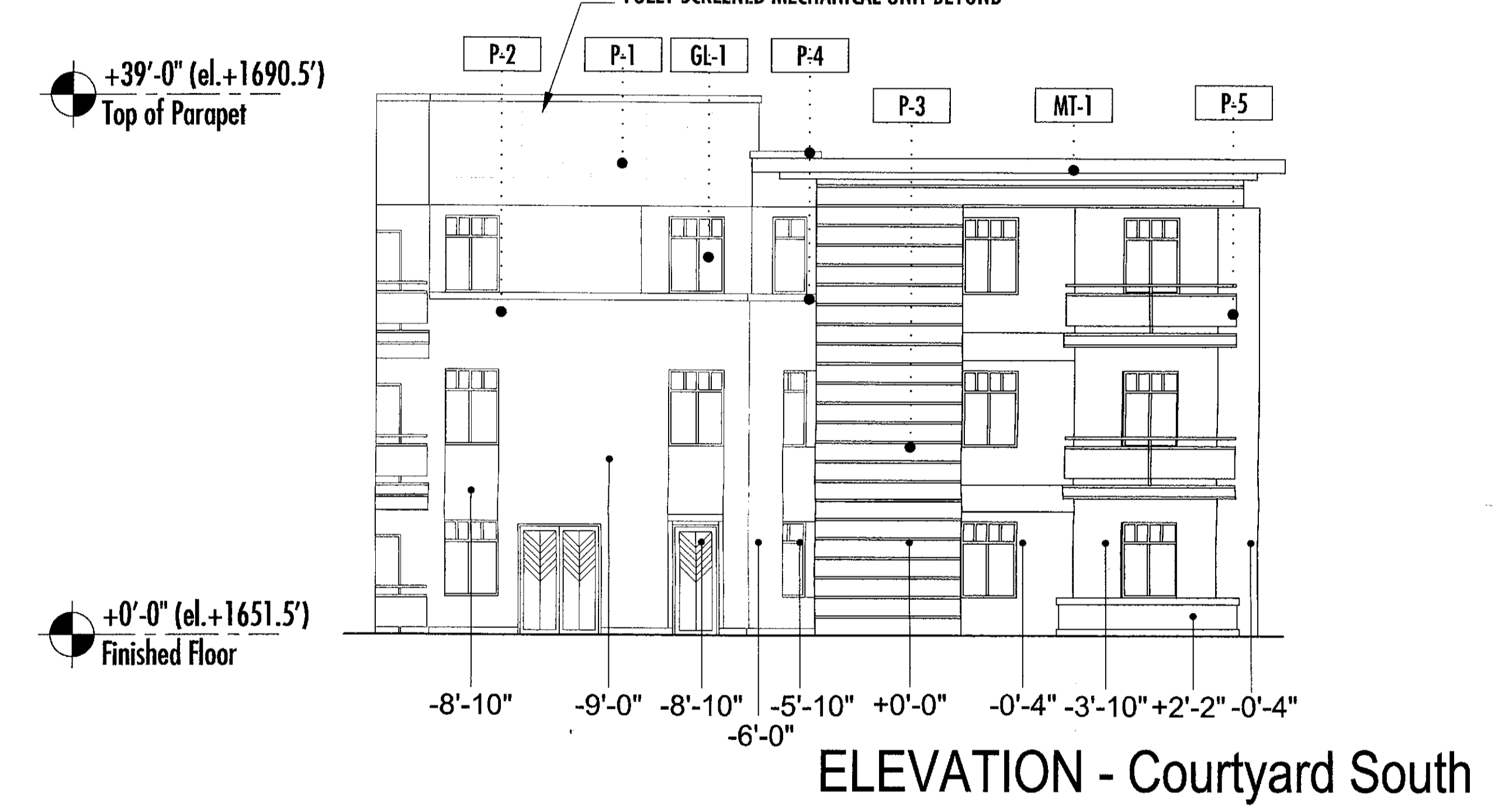
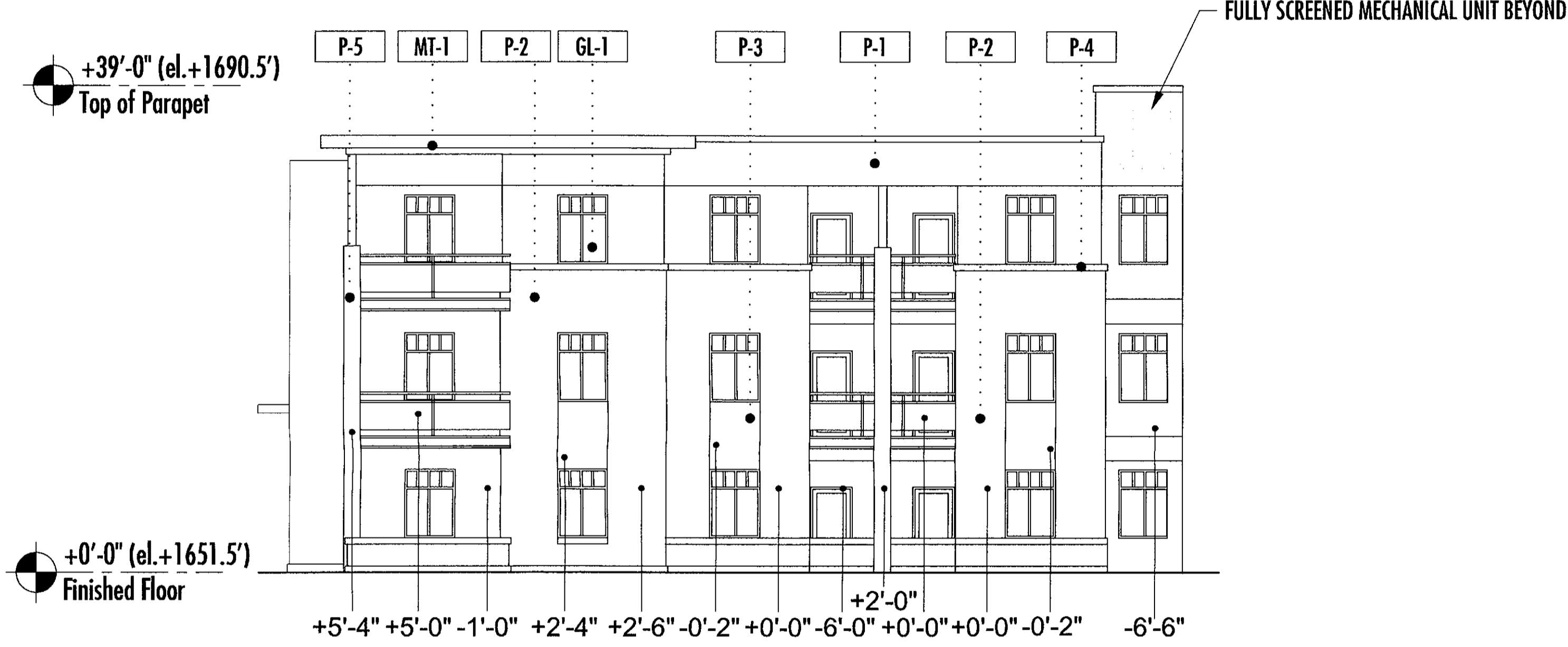
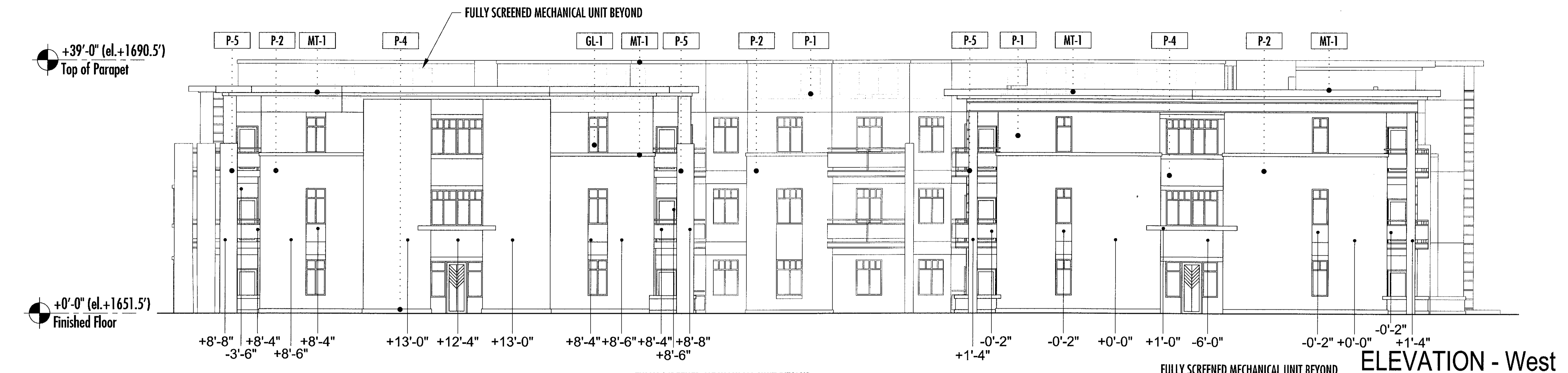
ELEVATION - West

**MATERIAL LEGEND**

- P-1 Dunn Edwards DEC717 Baked Potato, LRV 34
- P-2 Dunn Edwards DE6061 River Rocks, LRV19
- P-3 Dunn Edwards DE6062 Tea Bag, LRV 12
- P-4 Dunn Edwards DE6399 Molasses, LRV 7
- P-5 Dunn Edwards DEC706 Rosewood, LRV 17
- MT-1 Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
- GL-1 1" clear insulated glazing
- GL-2 1" insulated glazing to match Viracon Gray

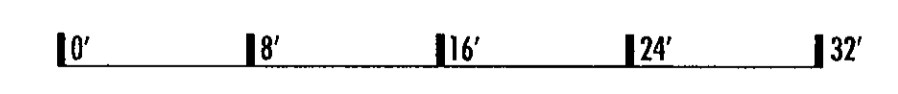
STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
10/16/2018  
DATE INITIALS





**MATERIAL LEGEND**

P-1	Dunn Edwards DEC717 Baked Potato, LRV 34
P-2	Dunn Edwards DE6061 River Rocks, LRV19
P-3	Dunn Edwards DE6062 Tea Bag, LRV 12
P-4	Dunn Edwards DE6399 Molasses, LRV 7
P-5	Dunn Edwards DEC706 Rosewood, LRV 17
MT-1	Metal panel to match Dunn Edwards DE6399 Molasses, LRV 7
GL-1	1" clear insulated glazing
GL-2	1" insulated glazing to match Viracon Gray



STIPULATION SET  
RETAIN FOR RECORDS  
APPROVED  
DATE: 10/16/2018  
INITIALS: [Signature]

**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**

**SOUTH BUILDING ELEVATIONS**  
17165.000 - 08/27/2018



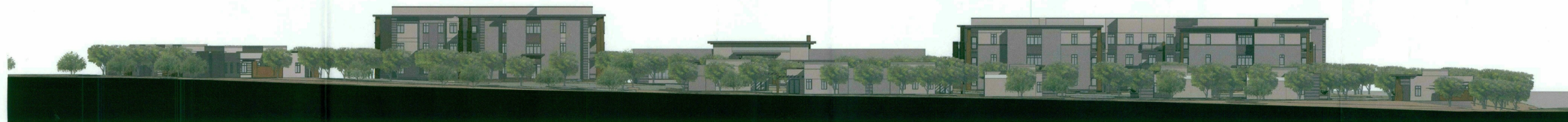
ELEVATION - South, Legacy Boulevard



ELEVATION - East, Pima Road



ELEVATION - North

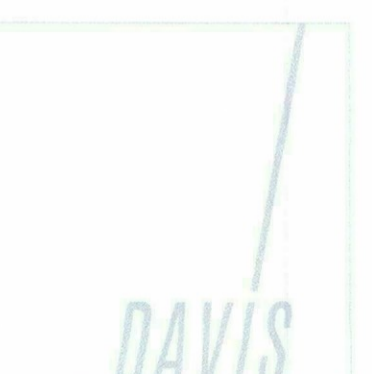


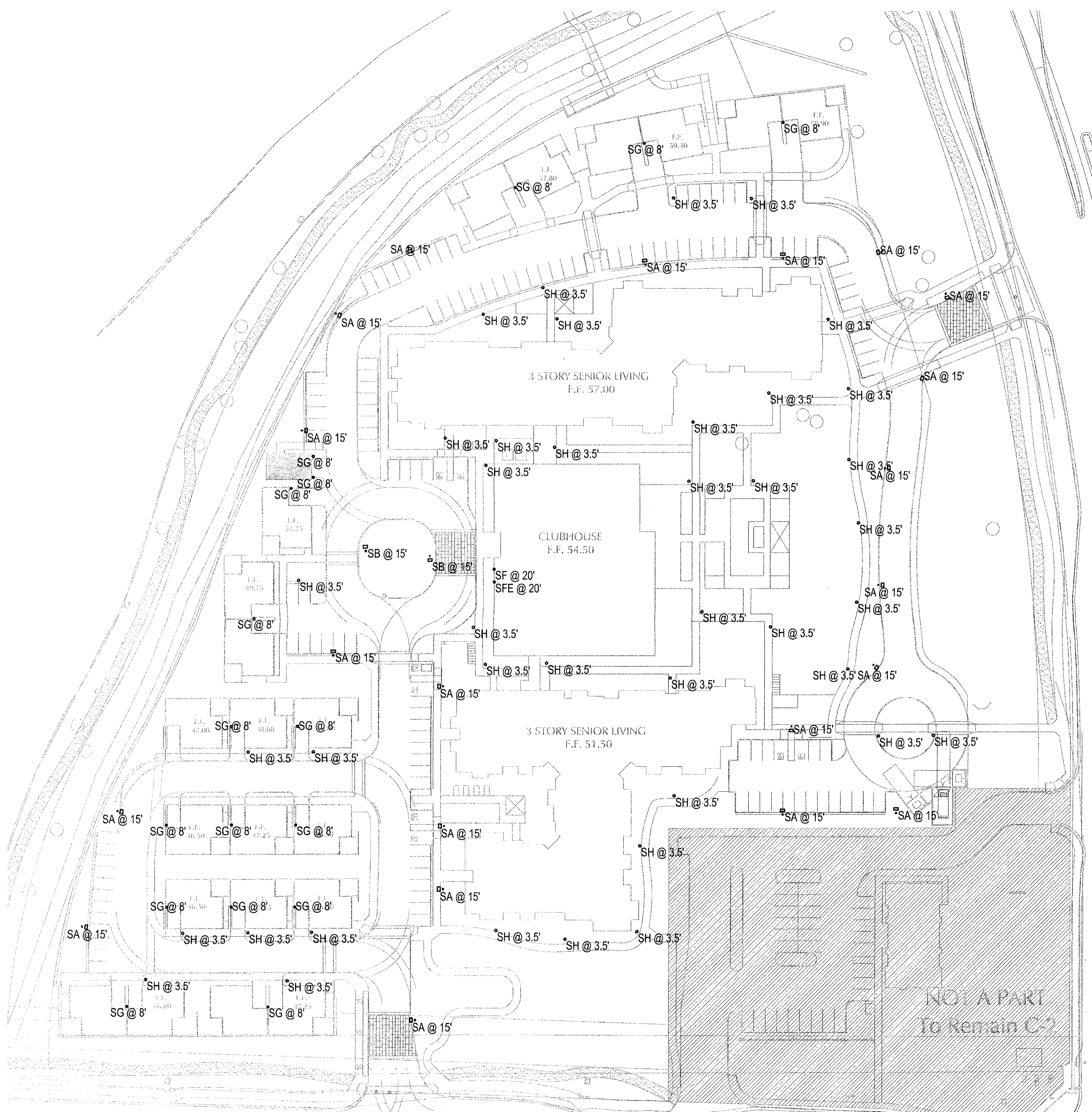
ELEVATION - West



# WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

STREETSCAPE ELEVATIONS - RENDERED  
REVISED: 7/16/2018 17165.000 - 5/2/18





Schedule

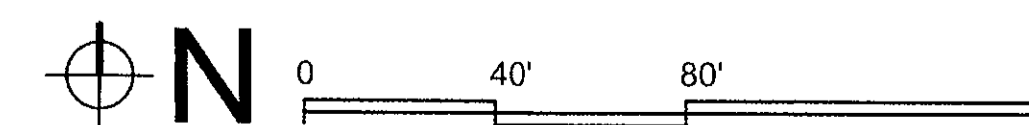
Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Lumens	LLF	Wattage
□	SA	Lithonia Lighting	DSX0 LED 40C 700 30K T4M MVOLT HS / SSS 12.5' W/2.5' BASE	SINGLE HEAD DSX0 HEAD W/ TYPE T4M OPTICS AND HOUSESIDE SHIELD	LED	7445	0.91	92
□	SB	Lithonia Lighting	(2) DSX0 LED P4 30K T5W MVOLT SSS 12.5' W/2.5' BASE	TWIN HEAD DSX0 HEAD W/ TYPE T5W OPTICS	LED	10108	0.91	184
○	SF	Lithonia Lighting	LDN6 30/10 LO6AR LSS MVOLT EZ10	6IN RECESSED CAN LIGHT W/ CLEAR, SEMI-SPECULAR REFLECTOR	LED	993	0.91	12.75
○	SFE	Lithonia Lighting	LDN6 30/10 LO6AR LSS MVOLT EZ10 EL	6IN RECESSED CAN LIGHT W/ CLEAR, SEMI-SPECULAR REFLECTOR & EM	LED	993	0.91	12.75
○	SG	WAC Lighting	WS-W2605 BZ	LED WALL MOUNT	LED	1145	0.91	18.1
○	SH	Lithonia Lighting	DSXB LED 12C 530 30K ASY	D-SERIES BOLLARD WITH 3000K LEDS AND ASYMMETRIC OPTICS	LED	2173	0.91	31

**SHEET NOTES**

1. THIS PROJECT IS LOCATED WITHIN A CITY OF SCOTTSDALE E-3 SUBURBAN AREA, AND IS DESIGNED TO MEET THE ILLUMINANCE RECOMMENDATION AND LIGHT TRESPASS LIMITATIONS OF 2 FOOT-CANDLE AVERAGE, 8 FOOT-CANDLE MAXIMUM, AND 0.8 FOOT-CANDLE VERTICAL MAXIMUM AT 6 FEET ABOVE GRADE AT PROPERTY LINE. REFER TO STATISTICS TABLE.
2. HORIZONTAL PHOTOMETRIC PLAN UTILIZES SPACING OF 10' X 10' BETWEEN EACH POINT.
3. THE PROPERTY LINE CALCULATION UTILIZES A VERTICAL LIGHT TRESPASS CALCULATION WITH SPACING OF 10' BETWEEN EACH POINT, AND AT A HEIGHT OF 6' ABOVE GRADE. SYMBOL AND VALUES ARE ON THE SAME PLAN AND UTILIZE A DISTINCTIVE SYMBOL.
4. PROPERTY LINE CALCULATION USES INITIAL ILLUMINANCE (NO MAINTENANCE/ LIGHT LOSS FACTOR APPLIED).
5. REFER TO STATISTICS TABLE FOR MAXIMUM, MINIMUM AND AVERAGE ILLUMINANCE OF EACH OF THE HORIZONTAL AND VERTICAL PHOTOMETRIC PLAN.
6. ALL LIGHTING FIXTURES AND ASSOCIATED HARDWARE, INCLUDING POLES, SHALL BE FINISHED IN FLAT BACK OR DARK BRONZE.
7. THE PRE-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS DUSK TO 10:00 PM, AND THE POST-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS 10:00 PM TO DAWN. ALL EXTERIOR LIGHTS SHALL BE TURNED OFF DURING POST-CURFEW WITH THE EXCEPTION OF LIGHTS USED FOR SECURITY PURPOSES.
8. A PROGRAMMABLE TIMER AND PHOTOCELLS SHALL BE USED TO CONTROL THE PRE- AND POST-CURFEW LIGHTS. PHOTOCELL SHALL BE MOUNTED ON THE NORTH SIDE OF THE BUILDING. PROGRAMMABLE TIMER SHALL INCLUDE A 1-HOUR MANUAL OVERRIDE WITH AN AUTOMATIC TURN OFF FOR AFTER HOURS AND SPECIAL EVENTS USE ONLY. REFER TO SHEET CUTSHEET IN THIS PACKAGE.
9. NO LIGHTING SHALL BE PERMITTED IN DEDICATED NAOS EASEMENTS, VISTA CORRIDOR EASEMENTS, AND SCENIC CORRIDOR EASEMENTS.
10. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LANDSCAPE VENDOR TO ENSURE THAT THERE ARE NO CONFLICTS BETWEEN LIGHT FIXTURES AND TREES. LIGHTING DESIGN HAS TAKEN INTO ACCOUNT TREE LOCATIONS AND PROVIDED SEPARATION OF 20' BETWEEN TREE TRUNKS AND LIGHT FIXTURES.

**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**

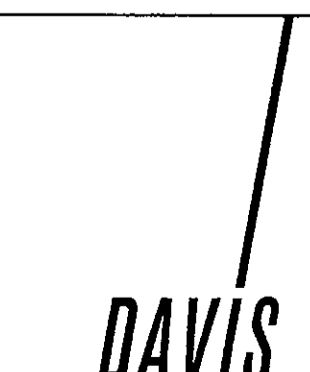
Notice of IP Rights: 2016 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.



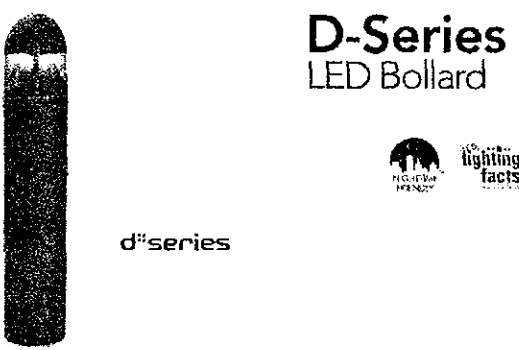
**LIGHTING PLAN**

Scale: 1"=40'-0"

17165.000 - 07/17/18



**D-Series LED Bollard**



**Specifications**

Dimensions: 8" Round  
Height: 42"  
Weight (max): 27 lbs

**Introduction**

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplift. An optical leap forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

**EXAMPLE: DSXB LED 16C 700 40K SYM VOLT D0BXD**

DSXB LED	Asymmetric	30K	40K	50K	60K	70K	80K	90K	100K	120K	150K	180K	210K	240K	270K	300K	330K	360K	390K	420K	450K	480K	510K	540K	570K	600K	630K	660K	690K	720K	750K	780K	810K	840K	870K	900K	930K	960K	990K	1020K	1050K	1080K	1110K	1140K	1170K	1200K
----------	------------	-----	-----	-----	-----	-----	-----	-----	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	------	-------	-------	-------	-------	-------	-------	-------

**Accessories**

Acuity Controls

**OUTDOOR PHOTOMETRIC REPORT**

CATALOG: DSXB LED 12C 530 30K ASY

**TEST 1:** LTL2436P53  
**TEST LAB:** SCALED PHOTOMETRY  
**TEST DATE:** 9/11/2013  
**CATALOG:** DSXB LED 12C 530 30K ASY  
**DESCRIPTION:** D-SERIES BOLLARD WITH 12 3000K LEDs OPERATED AT 30MA AND ASYMMETRIC DISTRIBUTION  
D-SERIES BOLLARD  
NICHIA 2198

**SCHEMATIC:** LAMP: LED  
LAMP OUTPUT: TOTAL LUMINAIRE LUMENS: 1719.4, ABSOLUTE  
PHOTOMETRIC: AD 913701213402  
BALLAST / DRIVER: INFURY WATTAGE: 22  
LUMINANCE OPENING: (L: 8.04", W: 8.04")  
MOUNT CD: 889.9 AT HORIZONTAL: 45°, VERTICAL: 70°  
ROADWAY CLASS: SHORT, TYPE IV

**ZONAL LUMEN SUMMARY**

ZONE	LUMENS	% LUMINAIRE	% TOTAL
0-30	52.7	3.1%	0.0%
0-40	237.9	13.8%	0.0%
0-50	850.4	49.5%	0.0%
60-90	869.0	50.5%	0.0%
100-100	321.8	18.7%	0.0%
90-120	0.000	0%	0.0%
0-90	1,719.4	100%	0.0%
90-180	0.000	0%	0.0%
0-180	1,719.4	100%	0.0%

**ROADWAY SUMMARY**

TYPE IV, SHORT  
LUMENS: 1,719.4  
% LAMP: 65%  
DOWNWARD STREET SCENE: 1,117.9  
UPWARD STREET SCENE: 601.2  
UPWARD STREET SCENE: 0.000  
UPWARD STREET SCENE: 0.000  
TOTAL LUMENS: 1,719.2

**PHOTOMETRIC DIAGRAM (ON GRADE)**

**PHOTOMETRIC REPORT**

**SH PHOTOMETRIC REPORT**

**OUTDOOR PHOTOMETRIC REPORT**

CATALOG: DSXB LED 12C 530 30K ASY

**TEST 1:** LTL2436P53  
**TEST LAB:** SCALED PHOTOMETRY  
**TEST DATE:** 9/11/2013  
**CATALOG:** DSXB LED 12C 530 30K ASY  
**DESCRIPTION:** D-SERIES BOLLARD WITH 12 3000K LEDs OPERATED AT 30MA AND ASYMMETRIC DISTRIBUTION  
D-SERIES BOLLARD  
NICHIA 2198

**SCHEMATIC:** LAMP: LED  
LAMP OUTPUT: TOTAL LUMINAIRE LUMENS: 1719.4, ABSOLUTE  
PHOTOMETRIC: AD 913701213402  
BALLAST / DRIVER: INFURY WATTAGE: 22  
LUMINANCE OPENING: (L: 8.04", W: 8.04")  
MOUNT CD: 889.9 AT HORIZONTAL: 45°, VERTICAL: 70°  
ROADWAY CLASS: SHORT, TYPE IV

**ZONAL LUMEN SUMMARY**

ZONE	LUMENS	% LUMINAIRE	% TOTAL
0-30	52.7	3.1%	0.0%
0-40	237.9	13.8%	0.0%
0-50	850.4	49.5%	0.0%
60-90	869.0	50.5%	0.0%
100-100	321.8	18.7%	0.0%
90-120	0.000	0%	0.0%
0-90	1,719.4	100%	0.0%
90-180	0.000	0%	0.0%
0-180	1,719.4	100%	0.0%

**ROADWAY SUMMARY**

TYPE IV, SHORT  
LUMENS: 1,719.4  
% LAMP: 65%  
DOWNWARD STREET SCENE: 1,117.9  
UPWARD STREET SCENE: 601.2  
UPWARD STREET SCENE: 0.000  
UPWARD STREET SCENE: 0.000  
TOTAL LUMENS: 1,719.2

**PHOTOMETRIC REPORT**

**SH PHOTOMETRIC REPORT**

**OUTDOOR PHOTOMETRIC REPORT**

CATALOG: DSXB LED 12C 530 30K ASY

**TEST 1:** LTL2436P53  
**TEST LAB:** SCALED PHOTOMETRY  
**TEST DATE:** 9/11/2013  
**CATALOG:** DSXB LED 12C 530 30K ASY  
**DESCRIPTION:** D-SERIES BOLLARD WITH 12 3000K LEDs OPERATED AT 30MA AND ASYMMETRIC DISTRIBUTION  
D-SERIES BOLLARD  
NICHIA 2198

**SCHEMATIC:** LAMP: LED  
LAMP OUTPUT: TOTAL LUMINAIRE LUMENS: 1719.4, ABSOLUTE  
PHOTOMETRIC: AD 913701213402  
BALLAST / DRIVER: INFURY WATTAGE: 22  
LUMINANCE OPENING: (L: 8.04", W: 8.04")  
MOUNT CD: 889.9 AT HORIZONTAL: 45°, VERTICAL: 70°  
ROADWAY CLASS: SHORT, TYPE IV

**ZONAL LUMEN SUMMARY**

ZONE	LUMENS	% LUMINAIRE	% TOTAL
0-30	52.7	3.1%	0.0%
0-40	237.9	13.8%	0.0%
0-50	850.4	49.5%	0.0%
60-90	869.0	50.5%	0.0%
100-100	321.8	18.7%	0.0%
90-120	0.000	0%	0.0%
0-90	1,719.4	100%	0.0%
90-180	0.000	0%	0.0%
0-180	1,719.4	100%	0.0%

**ROADWAY SUMMARY**

TYPE IV, SHORT  
LUMENS: 1,719.4  
% LAMP: 65%  
DOWNWARD STREET SCENE: 1,117.9  
UPWARD STREET SCENE: 601.2  
UPWARD STREET SCENE: 0.000  
UPWARD STREET SCENE: 0.000  
TOTAL LUMENS: 1,719.2

**PHOTOMETRIC REPORT**

**LIGHTING CONTROL PANEL**

**OVERVIEW**

The GR 2400 Relay Panel is part of the expansive GR 2400 system and is a 100% digital solution to lighting control. Ideal for centralized panel applications, the GR 2400 Relay Panel can link up to 127 addresses of digital devices, including other LCD panels and switches, which daisy chain together in any sequence using Cat. 5 patch cables with RJ45 connectors.

**FEATURES**

- Astronomical time clock with 32 channels and a large display (21 X 8 characters) which can be used to program an entire system. Non-volatile memory holds all programming indefinitely.
- 10-year battery back-up for time of day.
- Modem for basic programming changes.
- Mixed voltage (120V, 277V), Normal and Emergency power controllability.
- Manual override of the entire panel, individual relays and zones.

**Warranty**

Three year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/terms_and_conditions.aspx)

**ORDERING INFORMATION**

ENCLOSURE	Example: GR2448 ENC SM NE1
Relay Panel Enclosure	
GR2448 ENC	48 relay enclosure
GR2432 ENC	32 relay enclosure
Mounting, NEMA Rating, Knockouts	
SM NE1	Surface Mount, NEMA 1 with knockouts
FSM NE1	Flush Mount, NEMA 1 with knockouts
SM NE1 NKO	Surface Mount, NEMA 1 no knockouts
FSM NE1 NKO	Flush Mount, NEMA 1 no knockouts
SM NE4	Surface Mount, NEMA 4
SM NE4X	Surface Mount NEMA 4X
SM NE12	Surface Mount NEMA 12

**LIGHTING CONTROL PANEL**

**OVERVIEW**

The GR 2400 Relay Panel is part of the expansive GR 2400 system and is a 100% digital solution to lighting control. Ideal for centralized panel applications, the GR 2400 Relay Panel can link up to 127 addresses of digital devices, including other LCD panels and switches, which daisy chain together in any sequence using Cat. 5 patch cables with RJ45 connectors.

**FEATURES**

- Astronomical time clock with 32 channels and a large display (21 X 8 characters) which can be used to program an entire system. Non-volatile memory holds all programming indefinitely.
- 10-year battery back-up for time of day.
- Modem for basic programming changes.
- Mixed voltage (120V, 277V), Normal and Emergency power controllability.
- Manual override of the entire panel, individual relays and zones.

**Warranty**

Three year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/terms_and_conditions.aspx)

**ORDERING INFORMATION**

ENCLOSURE	Example: GR2448 INT 12NCL 12DPHC DICM00 DV
Relay Panel Interior	
GR2448 INT	48 relay interior
GR2432 INT	32 relay interior
Relays	
Eq1)NCL	Normally closed latching
Eq1)NCO	Normally open latching
Eq1)DNK	Double pole normally closed
Eq1)DNO	Double pole normally open
Eq1)SP1	Single pole double throw
Eq1)SP2	Single pole double throw
Eq1)SP3	Single pole double throw
Eq1)SP4	Single pole double throw
Eq1)SP5	Single pole double throw
Eq1)SP6	Single pole double throw
Eq1)SP7	Single pole double throw
Eq1)SP8	Single pole double throw
Eq1)SP9	Single pole double throw
Eq1)SP10	Single pole double throw
Eq1)SP11	Single pole double throw
Eq1)SP12	Single pole double throw
Eq1)SP13	Single pole double throw
Eq1)SP14	Single pole double throw
Eq1)SP15	Single pole double throw
Eq1)SP16	Single pole double throw
Eq1)SP17	Single pole double throw
Eq1)SP18	Single pole double throw
Eq1)SP19	Single pole double throw
Eq1)SP20	Single pole double throw
Eq1)SP21	Single pole double throw
Eq1)SP22	Single pole double throw
Eq1)SP23	Single pole double throw
Eq1)SP24	Single pole double throw
Eq1)SP25	Single pole double throw
Eq1)SP26	Single pole double throw
Eq1)SP27	Single pole double throw
Eq1)SP28	Single pole double throw
Eq1)SP29	Single pole double throw
Eq1)SP30	Single pole double throw
Eq1)SP31	Single pole double throw
Eq1)SP32	Single pole double throw
Eq1)SP33	Single pole double throw
Eq1)SP34	Single pole double throw
Eq1)SP35	Single pole double throw
Eq1)SP36	Single pole double throw
Eq1)SP37	Single pole double throw
Eq1)SP38	Single pole double throw
Eq1)SP39	Single pole double throw
Eq1)SP40	Single pole double throw
Eq1)SP41	Single pole double throw
Eq1)SP42	Single pole double throw
Eq1)SP43	Single pole double throw
Eq1)SP44	Single pole double throw
Eq1)SP45	Single pole double throw
Eq1)SP46	Single pole double throw
Eq1)SP47	Single pole double throw
Eq1)SP48	Single pole double throw
Eq1)SP49	Single pole double throw
Eq1)SP50	Single pole double throw
Eq1)SP51	Single pole double throw
Eq1)SP52	Single pole double throw
Eq1)SP53	Single pole double throw
Eq1)SP54	Single pole double throw
Eq1)SP55	Single pole double throw
Eq1)SP56	Single pole double throw
Eq1)SP57	Single pole double throw
Eq1)SP58	Single pole double throw
Eq1)SP59	Single pole double throw
Eq1)SP60	Single pole double throw
Eq1)SP61	Single pole double throw
Eq1)SP62	Single pole double throw
Eq1)SP63	Single pole double throw
Eq1)SP64	Single pole double throw
Eq1)SP65	Single pole double throw
Eq1)SP66	Single pole double throw
Eq1)SP67	Single pole double throw
Eq1)SP68	Single pole double throw
Eq1)SP69	Single pole double throw
Eq1)SP70	Single pole double throw
Eq1)SP71	Single pole double throw
Eq1)SP72	Single pole double throw
Eq1)SP73	Single pole double throw
Eq1)SP74	Single pole double throw
Eq1)SP75	Single pole double throw
Eq1)SP76	Single pole double throw
Eq1)SP77	Single pole double throw
Eq1)SP78	Single pole double throw
Eq1)SP79	Single pole double throw
Eq1)SP80	Single pole double throw
Eq1)SP81	Single pole double throw
Eq1)SP82	Single pole double throw
Eq1)SP83	Single pole double throw
Eq1)SP84	Single pole double throw
Eq1)SP85	Single pole double throw
Eq1)SP86	Single pole double throw
Eq1)SP87	Single pole double throw
Eq1)SP88	Single pole double throw
Eq1)SP89	Single pole double throw
Eq1)SP90	Single pole double throw
Eq1)SP91	Single pole double throw
Eq1)SP92	Single pole double throw
Eq1)SP93	Single pole double throw
Eq1)SP94	Single pole double throw
Eq1)SP95	Single pole double throw
Eq1)SP96	Single pole double throw
Eq1)SP97	Single pole double throw
Eq1)SP98	Single pole double throw
Eq1)SP99	Single pole double throw
Eq1)SP100	Single pole double throw
Eq1)SP101	Single pole double throw
Eq1)SP102	Single pole double throw
Eq1)SP103	Single pole double throw
Eq1)SP104	Single pole double throw
Eq1)SP105	Single pole double throw
Eq1)SP106	Single pole double throw
Eq1)SP107	Single pole double throw
Eq1)SP108	Single pole double throw
Eq1)SP109	Single pole double throw
Eq1)SP110	Single pole double throw
Eq1)SP111	Single pole double throw
Eq1)SP112	Single pole double throw
Eq1)SP113	Single pole double throw
Eq1)SP114	Single pole double throw
Eq1)SP115	Single pole double throw
Eq1)SP116	Single pole double throw
Eq1)SP117	Single pole double throw
Eq1)SP118	Single pole double throw
Eq1)SP119	Single pole double throw
Eq1)SP120	Single pole double throw
Eq1)SP121	Single pole double throw
Eq1)SP122	Single pole double throw
Eq1)SP123	Single pole double throw
Eq1)SP124	Single pole double throw
Eq1)SP125	Single pole double throw
Eq1)SP126	Single pole double throw
Eq1)SP127	Single pole double throw
Eq1)SP128	Single pole double throw
Eq1)SP129	Single pole double throw
Eq1)SP130	Single pole double throw
Eq1)SP131	Single pole double throw
Eq1)SP132	Single pole double throw
Eq1)SP133	Single pole double throw
Eq1)SP134	Single pole double throw
Eq1)SP135	Single pole double throw
Eq1)SP136	Single pole double throw
Eq1)SP137	Single pole double throw
Eq1)SP138	Single pole double throw
Eq1)SP139	Single pole double throw
Eq1)SP140	Single pole double throw
Eq1)SP141	Single pole double throw
Eq1)SP142	Single pole double throw
Eq1)SP143	Single pole double throw
Eq1)SP144	Single pole double throw
Eq1)SP145	Single pole double throw
Eq1)SP146	Single pole double throw
Eq1)SP147	Single pole double throw
Eq1)SP148	Single pole double throw
Eq1)SP149	Single pole double throw
Eq1)SP150	Single pole double throw
Eq1)SP151	Single pole double throw
Eq1)SP152	Single pole double throw
Eq1)SP153	Single pole double throw
Eq1)SP154	Single pole double throw
Eq1)SP155	Single pole double throw
Eq1)SP156	Single pole double throw
Eq1)SP157	Single pole double throw
Eq1)SP158	Single pole double throw
Eq1)SP159	Single pole double throw
Eq1)SP160	Single pole double throw
Eq1)SP161	Single pole double throw
Eq1)SP162	Single pole double throw
Eq1)SP163	Single pole double throw
Eq1)SP164	Single pole double throw
Eq1)SP165	Single pole double throw
Eq1)SP166	Single pole double throw
Eq1)SP167	Single pole double throw
Eq1)SP168	Single pole double throw
Eq1)SP169	Single pole double throw
Eq1)SP170	Single pole double throw
Eq1)SP171	Single pole double throw
Eq1)SP172	Single pole double throw
Eq1)SP173	Single pole double throw
Eq1)SP174	Single pole double throw
Eq1)SP175	Single pole double throw
Eq1)SP176	Single pole double throw
Eq1)SP177	Single pole double throw
Eq1)SP178	Single pole double throw
Eq1)SP179	Single pole double throw
Eq1)SP180	Single pole double throw
Eq1)SP181	Single pole double throw
Eq1)SP182	Single pole double throw
Eq1)SP183	Single pole double throw
Eq1)SP184	Single pole double throw
Eq1)SP185	Single pole double throw
Eq1)SP186	Single pole double throw
Eq1)SP187	Single pole double throw
Eq1)SP188	Single pole double throw
Eq1)SP189	Single pole double throw
Eq1)SP190	Single pole double throw
Eq1)SP191	Single pole double throw
Eq1)SP192	Single pole double throw
Eq1)SP193	Single pole double throw
Eq1)SP194	Single pole double throw
Eq1)SP195	Single pole double throw
Eq1)SP196	Single pole double throw
Eq1)SP197	Single pole double throw
Eq1)SP198	Single pole double throw
Eq1)SP199	Single pole double throw
Eq1)SP200	Single pole double throw
Eq1)SP201	Single pole double throw
Eq1)SP202	Single pole double throw
Eq1)SP203	Single pole double throw
Eq1)SP204	Single pole double throw
Eq1)SP205	Single pole double throw
Eq1)SP206	Single pole double throw
Eq1)SP207	Single pole double throw
Eq1)SP208	Single pole double throw
Eq1)SP209	Single pole double throw
Eq1)SP210	Single pole double throw
Eq1)SP211	Single pole double throw
Eq1)SP212	Single pole double throw
Eq1)SP213	Single pole double throw
Eq1)SP214	Single pole double throw
Eq1)SP215	Single pole double throw
Eq1)SP216	Single pole double throw
Eq1)SP217	Single pole double throw
Eq1)SP218	Single pole double throw
Eq1)SP219	Single pole double throw
Eq1)SP220	Single pole double throw
Eq1)SP221	Single pole double throw
Eq1)SP222	Single pole double throw
Eq1)SP223	Single pole double throw
Eq1)SP224	Single pole double throw
Eq1)SP225	Single pole double throw
Eq1)SP226	Single pole double throw
Eq1)SP227	Single pole double throw
Eq1)SP228	Single pole double throw
Eq1)SP229	Single pole double throw
Eq1)SP230	Single pole double throw
Eq1)SP231	Single pole double throw
Eq1)SP232	Single pole double throw
Eq1)SP233	Single pole double throw
Eq1)SP234	Single pole double throw
Eq1)SP235	Single pole double throw
Eq1)SP236	Single pole double throw
Eq1)SP237	Single pole double throw
Eq1)SP238	Single pole double throw
Eq1)SP239	Single pole double throw
Eq1)SP240	Single pole double throw
Eq1)SP241	Single pole double throw
Eq1)SP242	Single pole double throw
Eq1)SP243	Single pole double throw
Eq1)SP244	Single pole double throw
Eq1)SP245	Single pole double throw
Eq1)SP246	Single pole double throw
Eq1)SP247	Single pole double throw
Eq1)SP248	Single pole double throw
Eq1	

## D-Series Size 0 LED Area Luminaire

**Capable Luminaire**

This luminaire is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency

This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background. DTL, DLL equipped luminaires meet the A+ specification for luminaire to photocell interoperability.

This luminaire is part of an A+ Certified solution for RDM/2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus)

1. See ordering tree for details.  
2. A+ Certified Solutions for RDM/2 require the order of one RDM/2 node per luminaire. Sold Separately.

**EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD**

DSX0 LED	Forward optics	30K 3000K	T15	Light fixture	T55	Light fixture	WVOLT	Shipped included
DSX0 LED	30K 3000K	40K 4000K	T15	Light fixture	T55	Light fixture	WVOLT	Shipped included

**Shipped installed**

DSX0 LED	Forward optics	30K 3000K	T15	Light fixture	T55	Light fixture	WVOLT	Shipped included
DSX0 LED	30K 3000K	40K 4000K	T15	Light fixture	T55	Light fixture	WVOLT	Shipped included

## SA/SB

**Controls & Shields**

**Accessories**

**Notes**

**Tenon Mounting Slipfitter\*\***

**Legend**

**DSX0 LED**

## SA/SB

**Lumen Ambient Temperature (LAT) Multipliers**

**Electrical Load**

**Projected LED Lumen Maintenance**

**DSX0 LED**

## TUBE - model: WS-W2605, WS-W2604

## WAC LIGHTING

Responsible Lighting®

LED Wall Mount

Fixture Type: **SG**

Catalog Number: \_\_\_\_\_

Project: \_\_\_\_\_

Location: \_\_\_\_\_

**PRODUCT DESCRIPTION**

**CONSTRUCTIONS**

**Light Source:** High output LED

**Mounting:** Mounts directly to junction box

**Dimming:** 0-10V Dimming: 100%-10%

**ELV Dimming:** 100%-15% (120V only)

**FINISHES**

• Energy Star® rated

• CEC Title 24 Compliant

• IP65 Rated, ETL & cETL Wet Location Listed

• Mounts up or down

• Die-Cast Aluminum Construction

• Universal Voltage Input (120V - 277V)

• Dimming: ELV (120V) or 0-10V

**Example: WS-W2604-R2**

**WAC Lighting**

Headquarters/Eastern Distribution Center  
1500 Distribution Ct.  
Port Washington, NY 11050

Central Distribution Center  
1750 Peachtree Avenue  
Atlanta, GA 30329

Western Distribution Center  
1750 Peachtree Avenue  
Atlanta, GA 30329

## LITHONIA LIGHTING

## LDN6

**FEATURES & SPECIFICATIONS**

**INTERIOR USE** - Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** - Enhanced steel mounting/gizmo frame, galvanized steel junction box with bottom-hinged access covers and locking latches. Reflectors are recessed by tension springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3/8" total adjustment. Two construction 3/8" and floor 1/2" hangers for straight through conduits. Capacity: 8 lb, 4 wall, 16 1/2" AWC conduit, standard 60°C.

**Accommodates 12" x 24" joint spacing.**

**Power cooling thermal management for 25% standard high ambient (40°C) option available.** Light engine and drivers are recessed from above and below ceiling.

**Max ceiling thickness 4-1/2".**

**OPTICS** - LEDs are mounted in a 3-step 300K 90 degree recess.

**LED light source recessed and utilizing optical lens.**

**General illumination lighting with 11.5 SRH and 55° cutoff for space and source image.**

**5/8" tapered arrow and reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.**

**ELECTRICAL** - Multi-volt (120/277V, 50/60Hz) eLED 0-10V dimming drivers mounted to junction box, 70% or 75% minimum dimming level available.

0-10V dimming driver requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 50,000 hours.

**LISTINGS** - Certified to UL and Canadian safety standards. Dump location standard (wet location, covered ceiling optional). IESNA/ETL certified products.

**WARRANTY** - 5-year limited warranty. Complete warranty terms located at [www.lithonia.com](http://www.lithonia.com)

**Note:** Actual performance may differ as a result of site usage measurement and application. All values are design optima values, measured under laboratory conditions at 25°C. All specifications subject to change without notice.

**Example: LDN6 35/15 LOGAR, 151 WOLT 270**

LINE	Series	Color temperature	lumens*	2500 lumens	3000 lumens	4000 lumens	5000 lumens	Aperture/Trim Color	Finish	Wattage
LINE	T55	27K	2700K	85	100	125	150	175	150	10W
		30K	3000K	10	125	150	175	200	150	10W
		35K	3500K	15	150	175	200	225	150	10W
		40K	4000K	20	200	225	250	275	150	10W

**Driver**

Driver	Options
ETL eLED 10V 0-10V	SP Single face
ETL eLED 10V 0-10V	TRIP White painted flange
ETL eLED 10V 0-10V	TRBL Black painted flange
ETL eLED 10V 0-10V	ELR Backerpack (remote)
ETL eLED 10V 0-10V	ELC Backerpack
ETL eLED 10V 0-10V	HPSENEZ eLight™ dimming pack controls 0-10V eLED drivers
ETL eLED 10V 0-10V	HPSENEZ eLight™ dimming pack controls 0-10V eLED drivers, ELI controls feature emergency circuit.

**Notes**

- Output high-voltage backerpack package referred to on data page 2.
- Not available with finish.
- Not available with emergency options.
- 10W only.
- Available with clear (R) reflector only.
- AMT™ to full dimming option is EL50.
- Blue light output: 120V/277V.
- Feature highlighted in E for 2-lumen packages with R2.

**LITHONIA LIGHTING**

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8511 • [www.lithonia.com](http://www.lithonia.com)

© 2014-2015 Acuity Brands Lighting, Inc. All rights reserved. Rev 05/15/17

## LDN6

**SF/SFE**

**LDN6 1500 LUMEN**

**LDN6 3000 LUMEN**

**LDN6 5000 LUMEN**

**LDN6 1500 ELR**

**LDN6 CP**

**Notes**

**LITHONIA LIGHTING**

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8511 • [www.lithonia.com](http://www.lithonia.com)

© 2014-2015 Acuity Brands Lighting, Inc. All rights reserved. Rev 05/15/17

## LDN6

**PHOTOMETRY**

**SF/SFE**

**LDN6 35/10 LOGAR, input watts: 12.75, delivered lumens: 1082, LM/W = 84.86, spacing criterion at 0 = 1.02, test no. ISF 30716P31.**

**LDN6 35/30 LOGAR, input watts: 34.69, delivered lumens: 3033.9, LM/W = 87.45, spacing criterion at 0 = 1.02, test no. ISF 30716P22.**

**LDN6 35/50 LOGAR, input watts: 55.56, delivered lumens: 4922.1, LM/W = 88.59, spacing criterion at 0 = 1.02, test no. ISF 30716P40.**

**Notes**

**LITHONIA LIGHTING**

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8511 • [www.lithonia.com](http://www.lithonia.com)

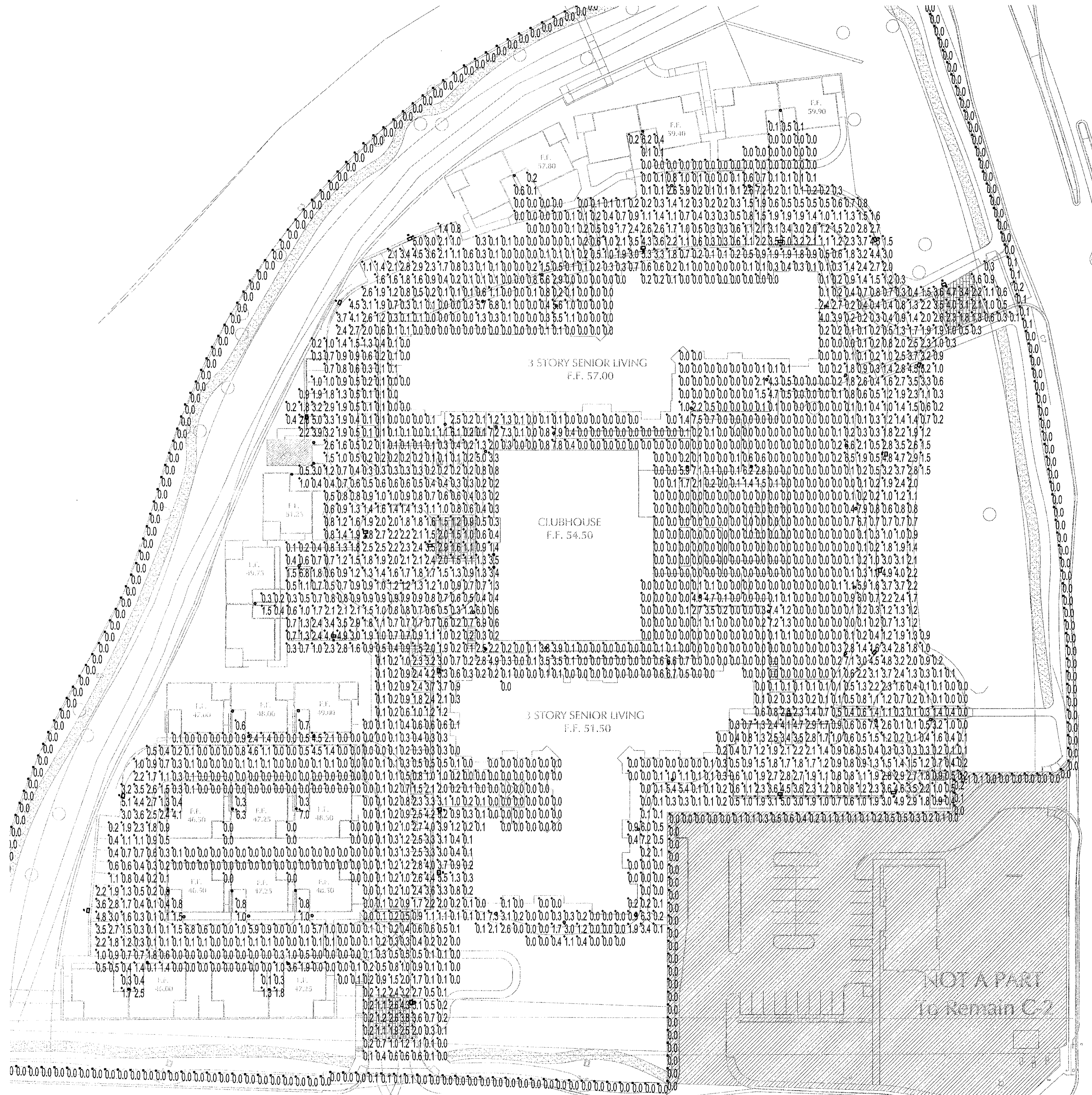
© 2014-2015 Acuity Brands Lighting, Inc. All rights reserved. Rev 05/15/17

# WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

Notice of IP Rights: 2016 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.

LIGHTING CUT SHEETS  
SA/SB, SF/SFE, SG  
Scale: Not To Scale  
17165.000 - 07/17/18

DAVIS



Schedule

Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Lumens	LLF	Wattage
SA	Lithonia Lighting	DSX0 LED 40C 700 30K T4M MVOLT HS / SSS 12.5' W/2.5' BASE	SINGLE HEAD DSX0 HEAD W/ TYPE T4M OPTICS AND HOUSESIDE SHIELD	LED	7445	0.91	92	
SB	Lithonia Lighting	(2) DSX0 LED P4 30K T5W MVOLT / SSS 12.5' W/2.5' BASE	TWIN HEAD DSX0 HEAD W/ TYPE T5W OPTICS	LED	10108	0.91	184	
SF	Lithonia Lighting	LDN6 30/10 L06AR LSS MVOLT E210	6IN RECESSED CAN LIGHT W/ CLEAR, SEMI-SPECULAR REFLECTOR	LED	993	0.91	12.75	
SFE	Lithonia Lighting	LDN6 30/10 L06AR LSS MVOLT E210 EL	6IN RECESSED CAN LIGHT W/ CLEAR, SEMI-SPECULAR REFLECTOR & EM	LED	993	0.91	12.75	
SG	WAC Lighting	WS-W2605 BZ	LED WALL MOUNT	LED	1145	0.91	18.1	
SH	Lithonia Lighting	DSXB LED 12C 530 30K ASY	D-SERIES BOLLARD WITH 3000K LEDES AND ASYMMETRIC OPTICS	LED	2173	0.91	31	

Statistics

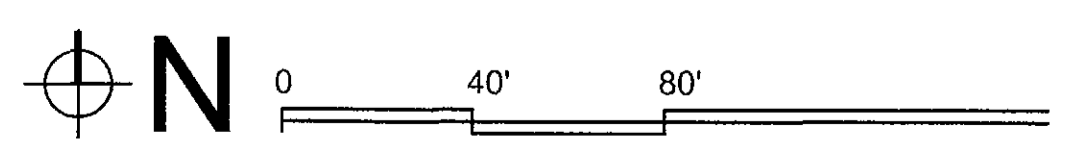
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC @ GRADE	+	0.9 fc	7.9 fc	0.0 fc	N/A	N/A
PROPERTY LINE - FC @ 6' AFG	*	0.0 fc	0.6 fc	0.0 fc	N/A	N/A

LIGHT LOSS FACTOR OF 0.91 ONLY UTILIZED FOR HORIZONTAL CALCULATION  
 MAINTAINED AVERAGE HORIZONTAL LEVEL AT GRADE DOES NOT EXCEED 2.0 FOOT-CANDELES  
 MAINTAINED MAXIMUM HORIZONTAL LEVEL AT GRADE DOES NOT EXCEED 8.0 FOOT-CANDELES  
 INITIAL VERTICAL LEVEL AT 6' ABOVE GRADE ALONG THE PROPERTY LINE DOES NOT EXCEED 0.8 FOOT-CANDELES

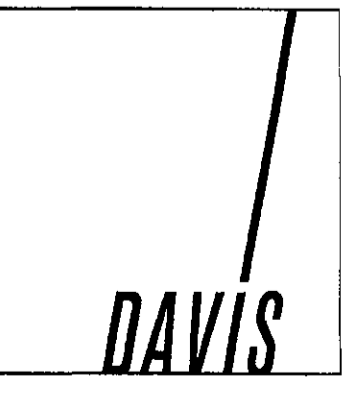
**SHEET NOTES**

- THIS PROJECT IS LOCATED WITHIN A CITY OF SCOTTSDALE E-3 SUBURBAN AREA, AND IS DESIGNED TO MEET THE ILLUMINANCE RECOMMENDATION AND LIGHT TRESPASS LIMITATIONS OF 2 FOOT-CANDLE AVERAGE, 8 FOOT-CANDLE MAXIMUM, AND 0.8 FOOT-CANDLE VERTICAL MAXIMUM AT 6 FEET ABOVE GRADE AT PROPERTY LINE. REFER TO STATISTICS TABLE.
- HORIZONTAL PHOTOMETRIC PLAN UTILIZES SPACING OF 10' X 10' BETWEEN EACH POINT.
- THE PROPERTY LINE CALCULATION UTILIZES A VERTICAL LIGHT TRESPASS CALCULATION WITH SPACING OF 10' BETWEEN EACH POINT, AND AT A HEIGHT OF 6' ABOVE GRADE. SYMBOL AND VALUES ARE ON THE SAME PLAN AND UTILIZE A DISTINCTIVE SYMBOL.
- PROPERTY LINE CALCULATION USES INITIAL ILLUMINANCE (NO MAINTENANCE/ LIGHT LOSS FACTOR APPLIED).
- REFER TO STATISTICS TABLE FOR MAXIMUM, MINIMUM AND AVERAGE ILLUMINANCE OF EACH OF THE HORIZONTAL AND VERTICAL PHOTOMETRIC PLAN.
- ALL LIGHTING FIXTURES AND ASSOCIATED HARDWARE, INCLUDING POLES, SHALL BE FINISHED IN FLAT BACK OR DARK BRONZE.
- THE PRE-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS DUSK TO 10:00 PM, AND THE POST-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS 10:00 PM TO DAWN. ALL EXTERIOR LIGHTS SHALL BE TURNED OFF DURING POST-CURFEW WITH THE EXCEPTION OF LIGHTS USED FOR SECURITY PURPOSES.
- A PROGRAMMABLE TIMER AND PHOTOCELLS SHALL BE USED TO CONTROL THE PRE- AND POST-CURFEW LIGHTS. PHOTOCELL SHALL BE MOUNTED ON THE NORTH SIDE OF THE BUILDING. PROGRAMMABLE TIMER SHALL INCLUDE A 1-HOUR MANUAL OVERRIDE WITH AN AUTOMATIC TURN OFF FOR AFTER HOURS AND SPECIAL EVENTS USE ONLY. REFER TO SHEET CUTSHEET IN THIS PACKAGE.
- NO LIGHTING SHALL BE PERMITTED IN DEDICATED NAOS EASEMENTS, VISTA CORRIDOR EASEMENTS, AND SCENIC CORRIDOR EASEMENTS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LANDSCAPE VENDOR TO ENSURE THAT THERE ARE NO CONFLICTS BETWEEN LIGHT FIXTURES AND TREES. LIGHTING DESIGN HAS TAKEN INTO ACCOUNT TREE LOCATIONS AND PROVIDED SEPARATION OF 20' BETWEEN TREE TRUNKS AND LIGHT FIXTURES.

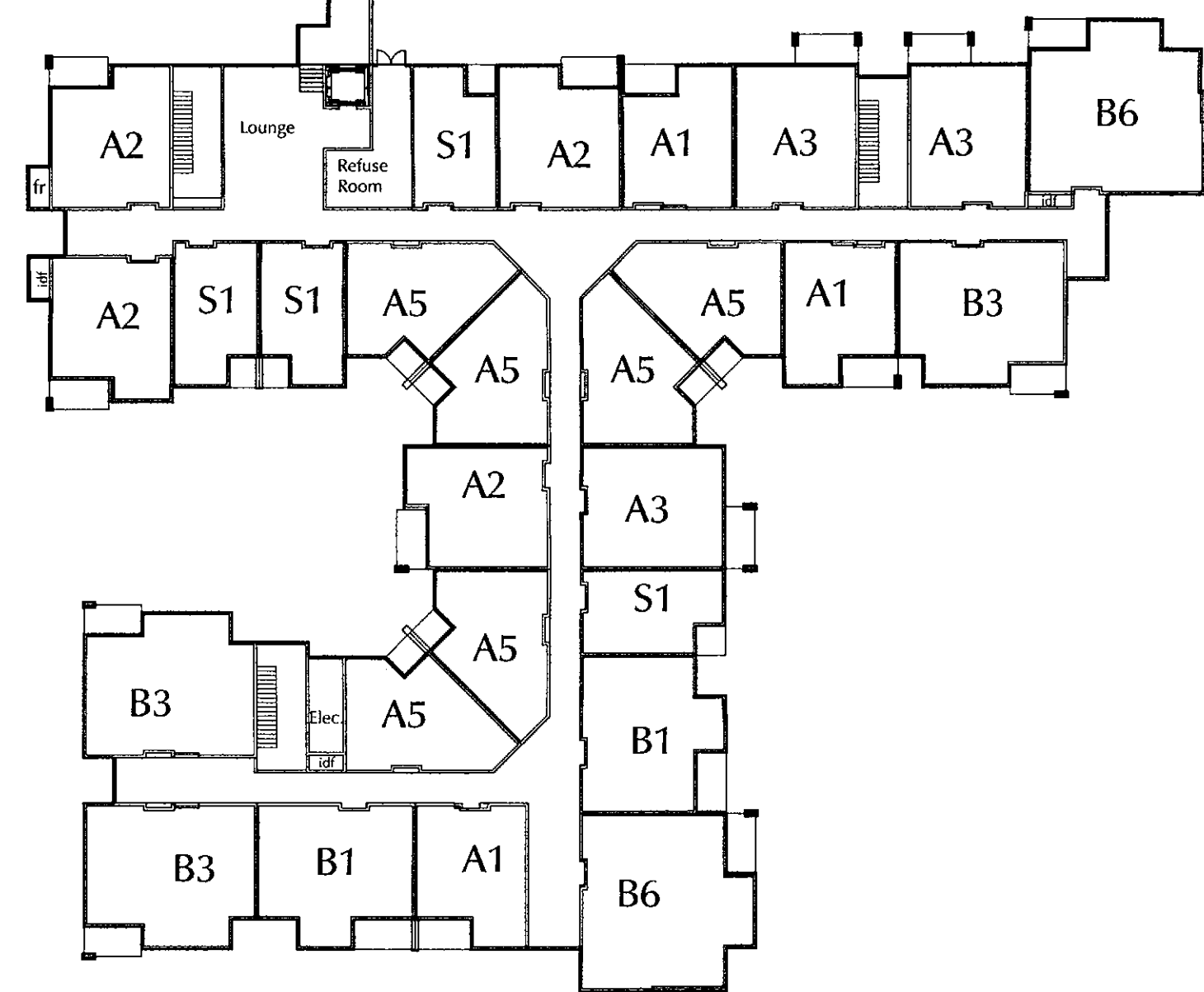
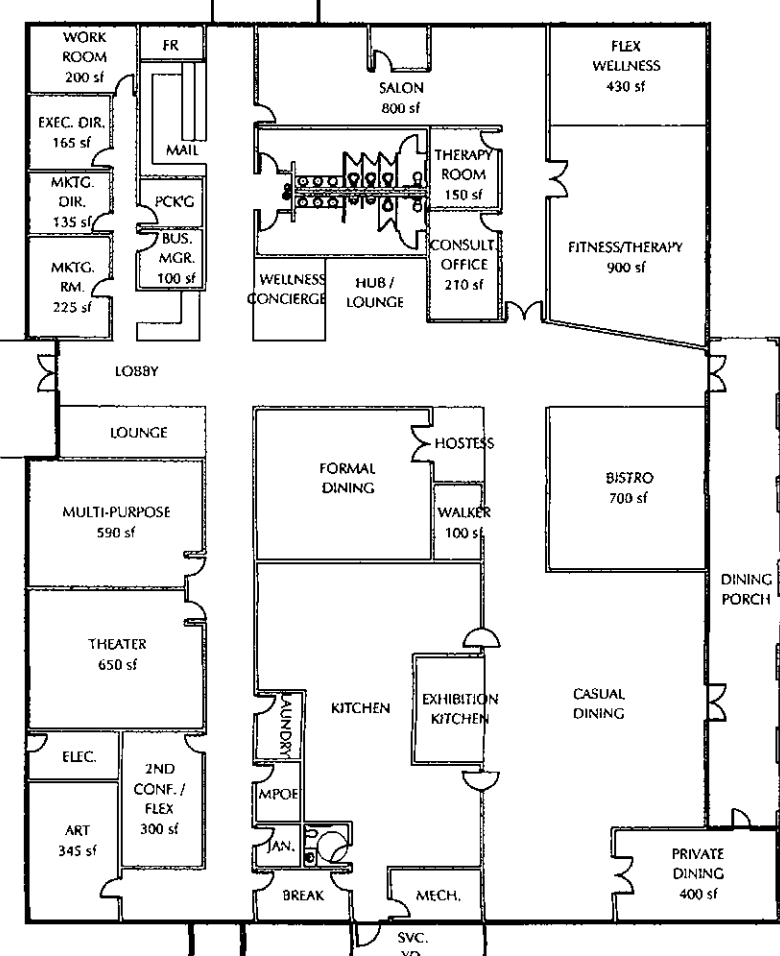
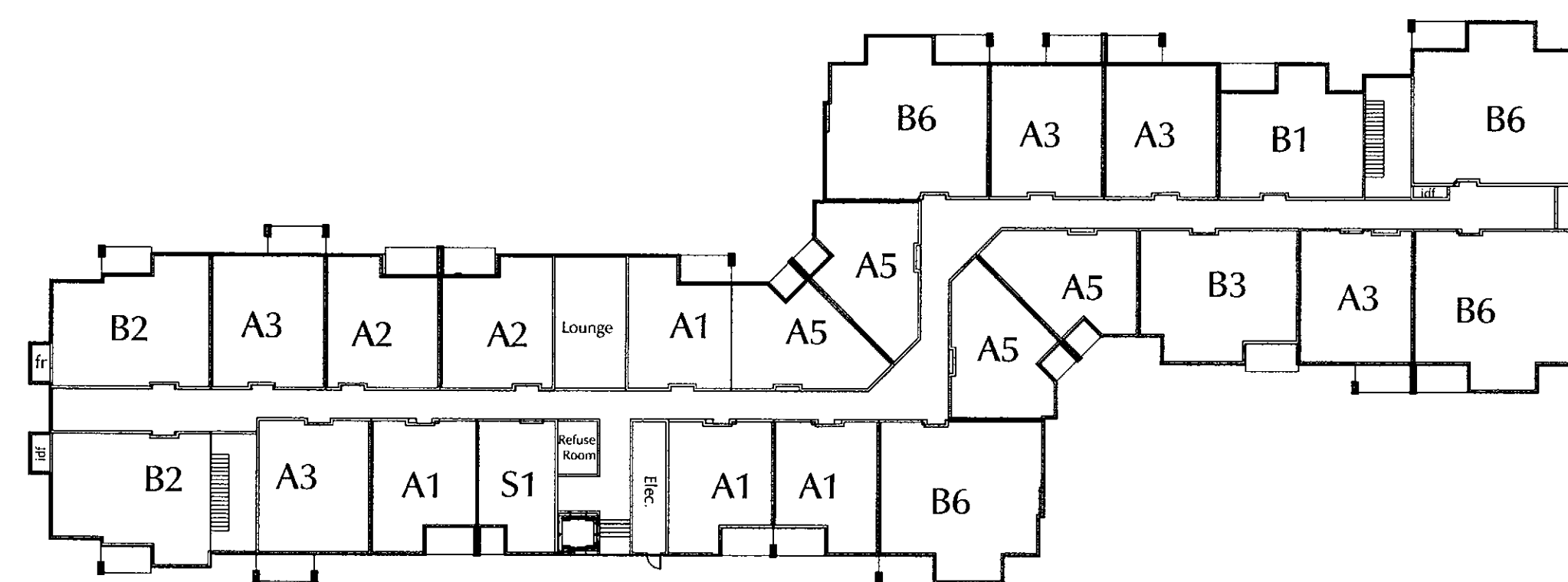
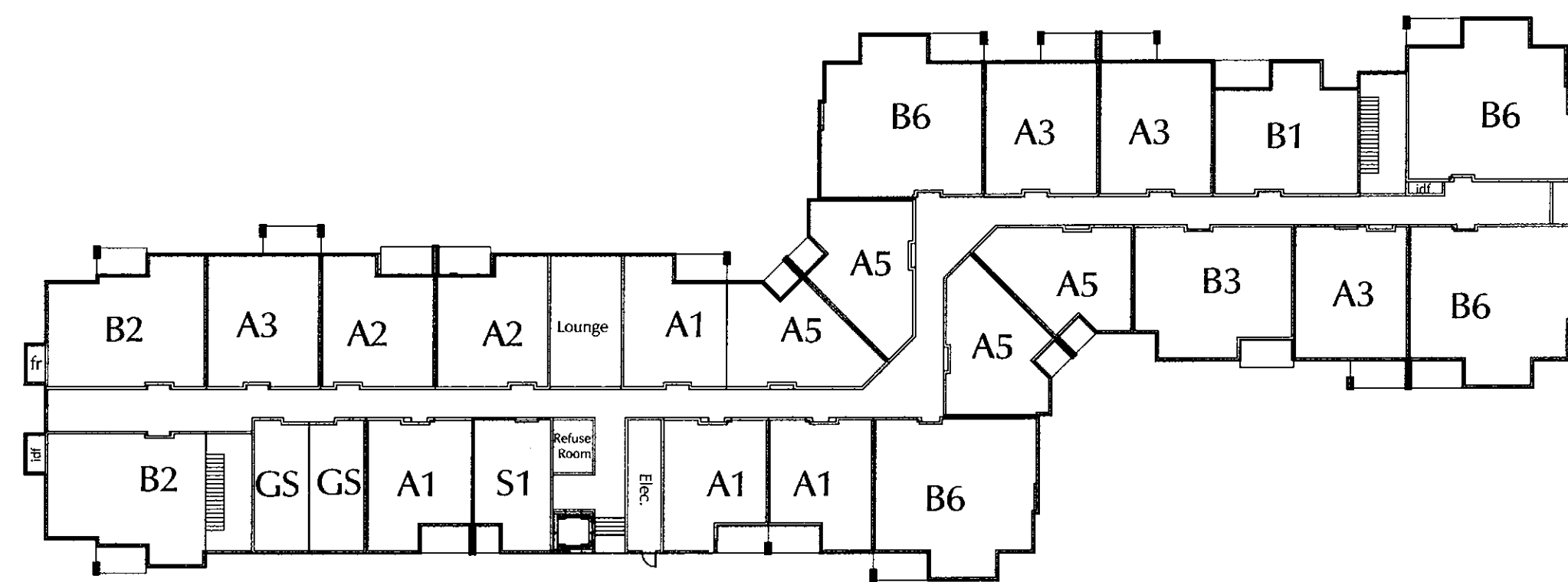
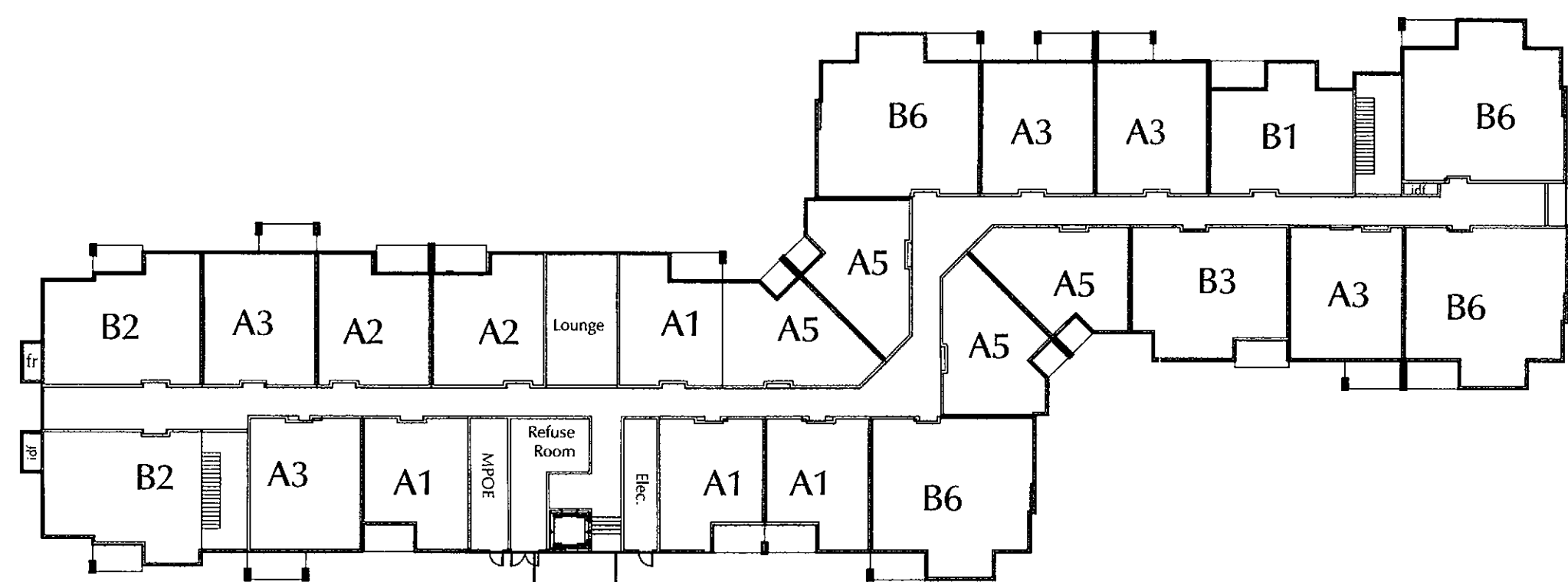
**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**



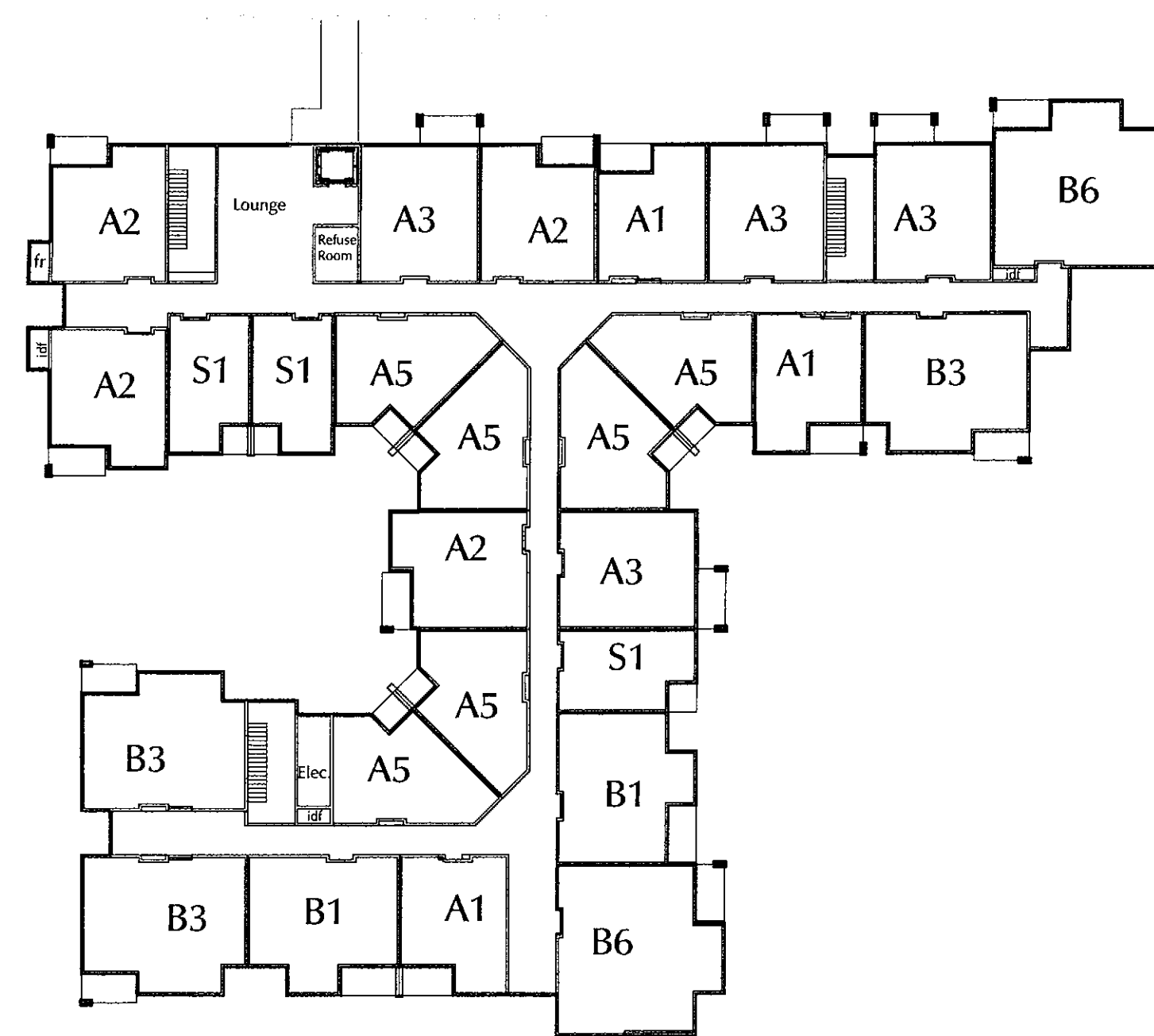
PHOTOMETRIC PLAN  
 Scale: 1"=40'-0"  
 17165.000 - 07/17/18



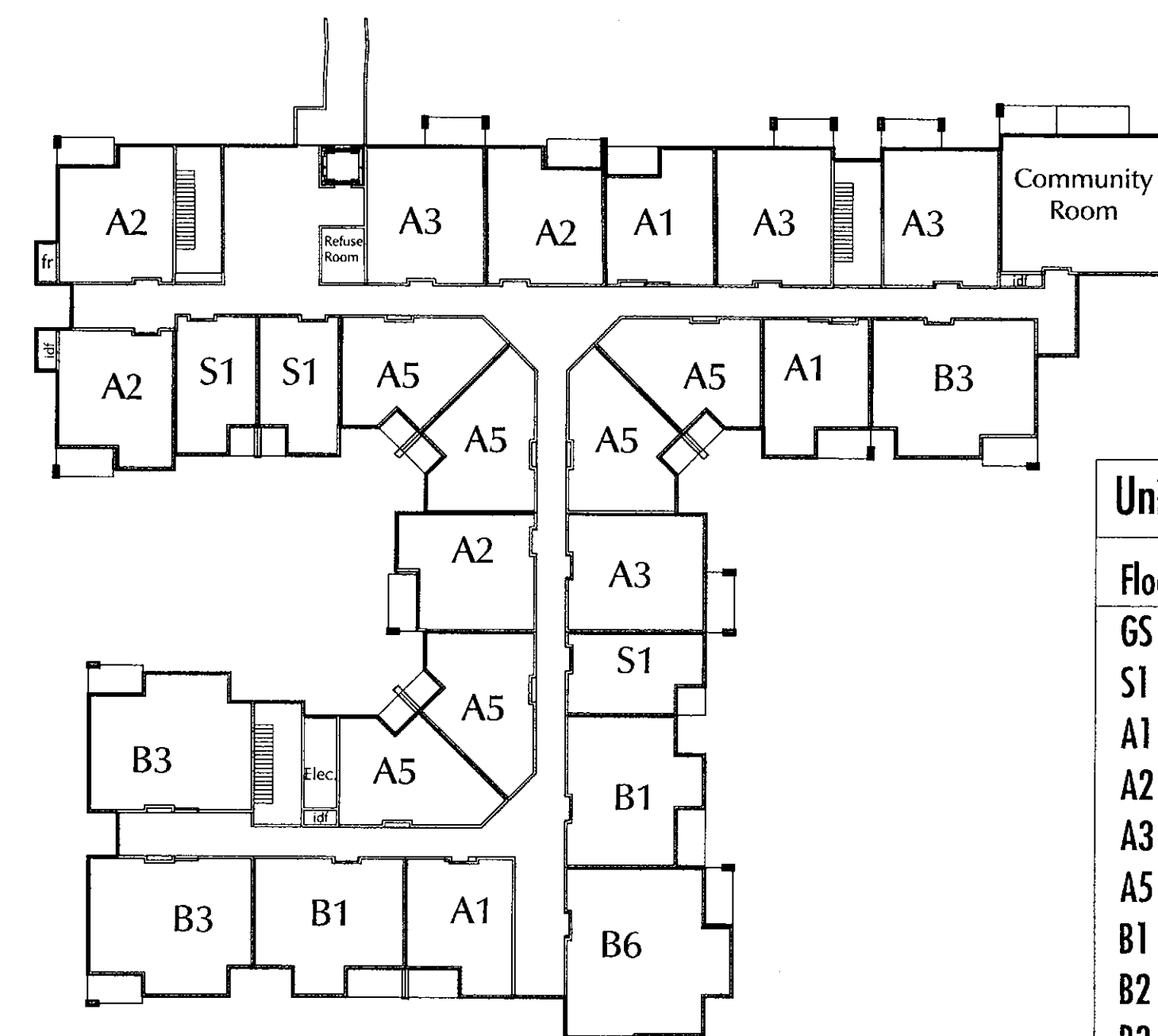
Notice of IP Rights: 2016 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.



FIRST FLOOR PLAN  
50 Units



SECOND FLOOR PLAN  
52 Units



THIRD FLOOR PLAN  
50 Units

Unit Matrix:	
Floor Plan	# of units
GS	2
S1	12
A1	21
A2	18
A3	25
A5	30
B1	9
B2	6
B3	12
B6	17
Subtotal	152
Cottages	22
Total	174

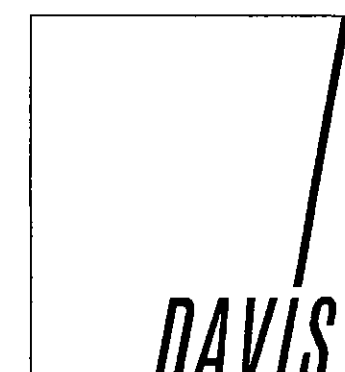


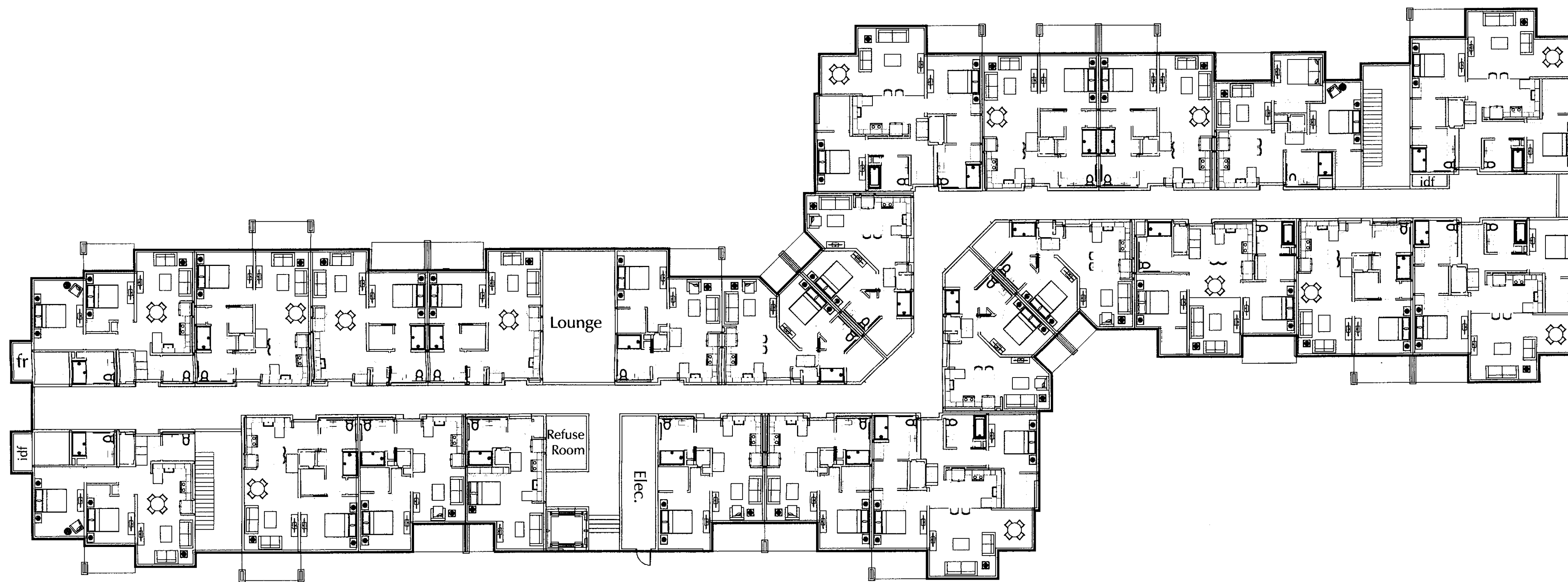
OVERALL FLOOR PLANS

Scale: 1"= 32'-0"

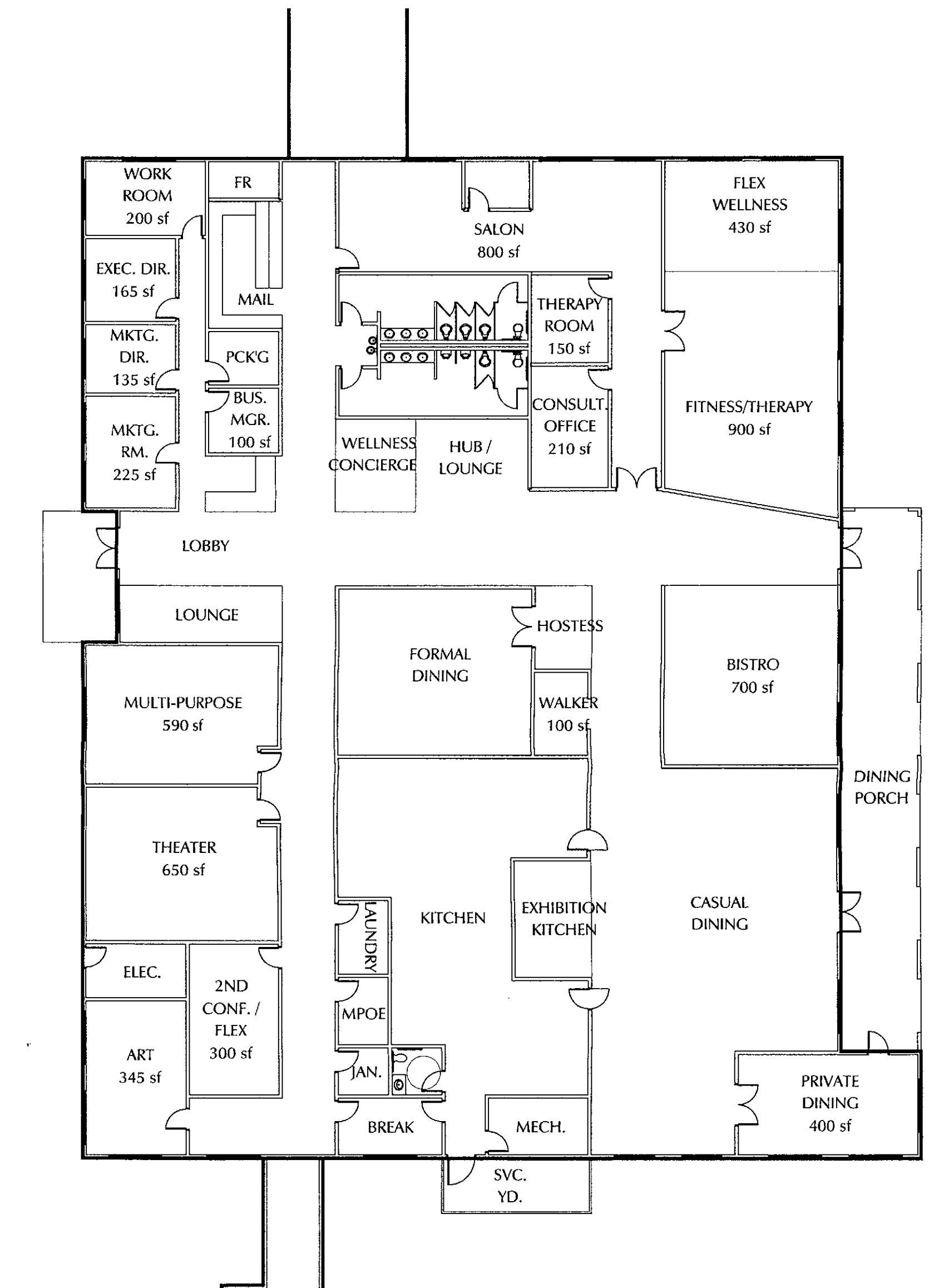
Revised: 7/16/18 17165.000 - 7/16/2018

WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

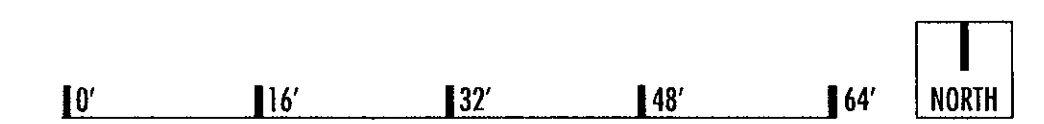




NORTH BUILDING - THIRD FLOOR PLAN



CLUBHOUSE BUILDING - FIRST FLOOR PLAN

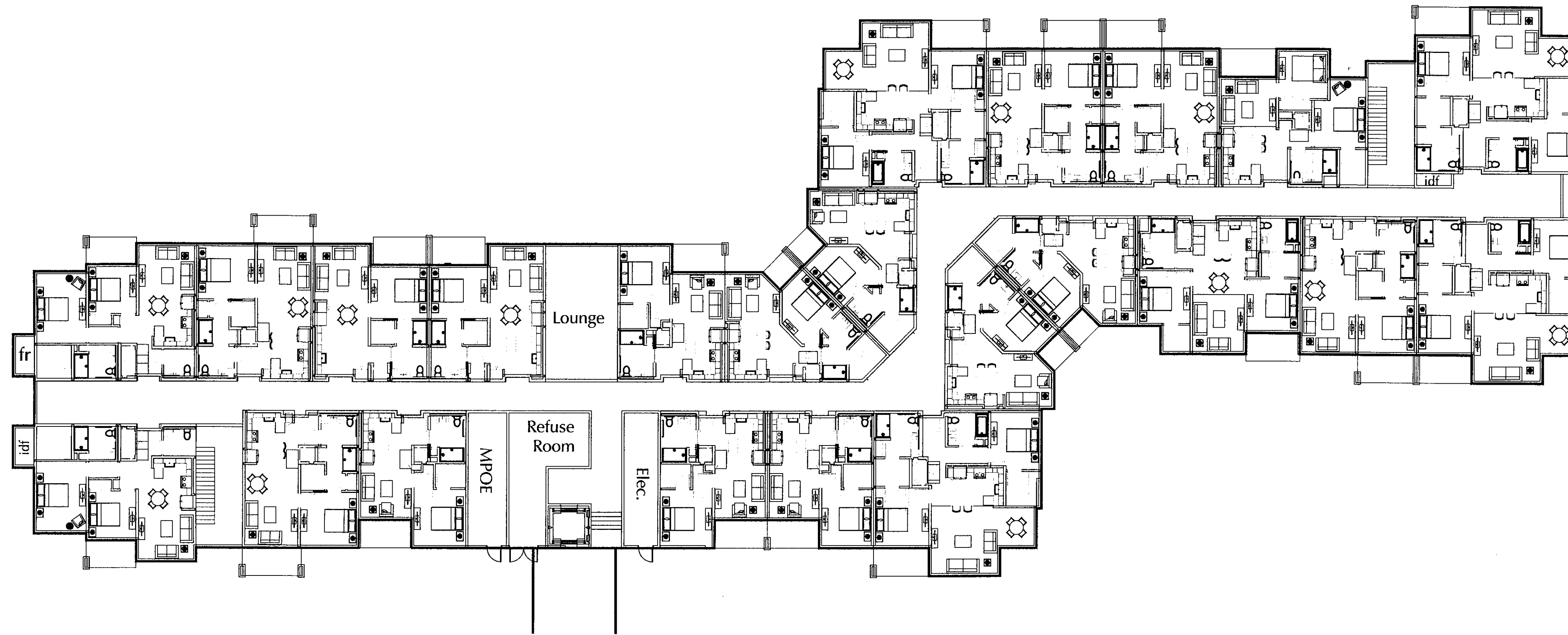


NORTH BUILDING FLOOR PLANS - 3rd Floor and Clubhouse

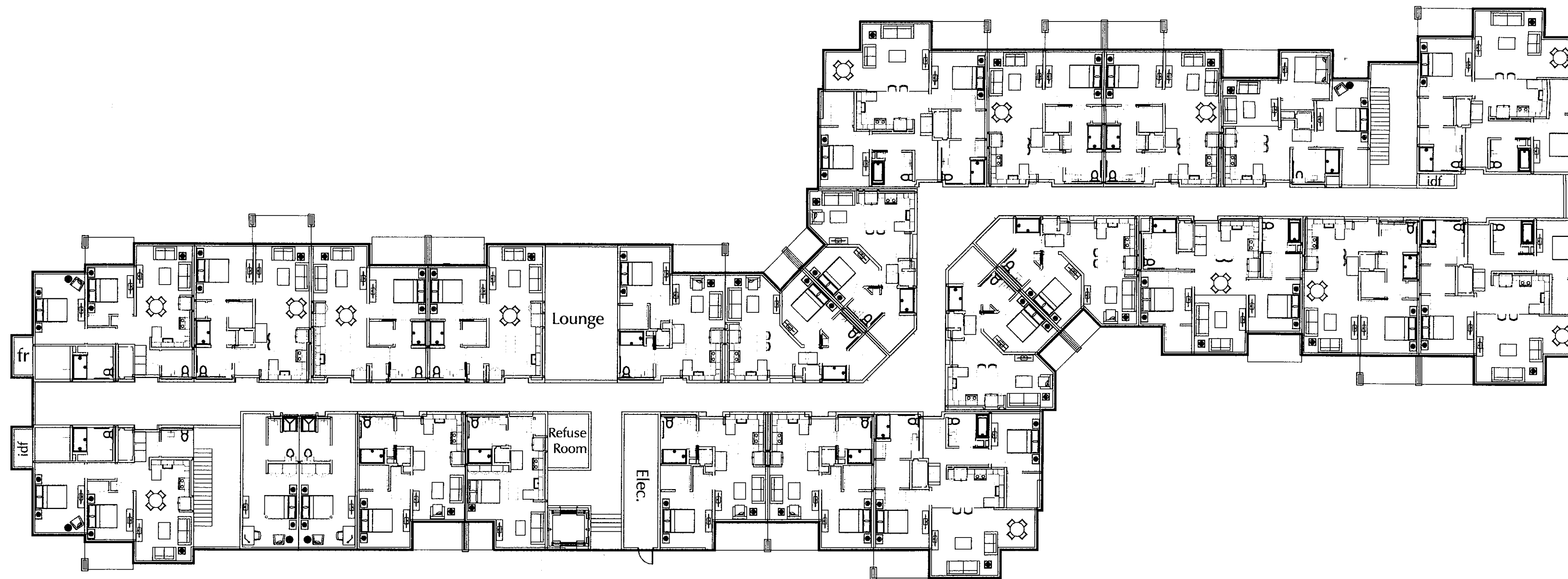
Scale: 1"= 16'-0"

REVISED: 7/16/2018 17165.000 - 5/2/2018

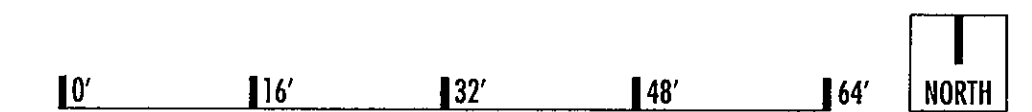
WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona



NORTH BUILDING - FIRST FLOOR PLAN



NORTH BUILDING - SECOND FLOOR PLAN



NORTH BUILDING FLOOR PLANS - 1st and 2nd Floor

WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

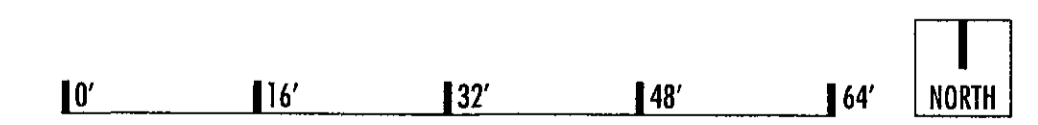
Scale: 1"= 16'-0"  
 REVISED: 7/16/2018 17165.000 - 5/2/2018



SOUTH BUILDING - FIRST FLOOR PLAN



SOUTH BUILDING - SECOND FLOOR PLAN



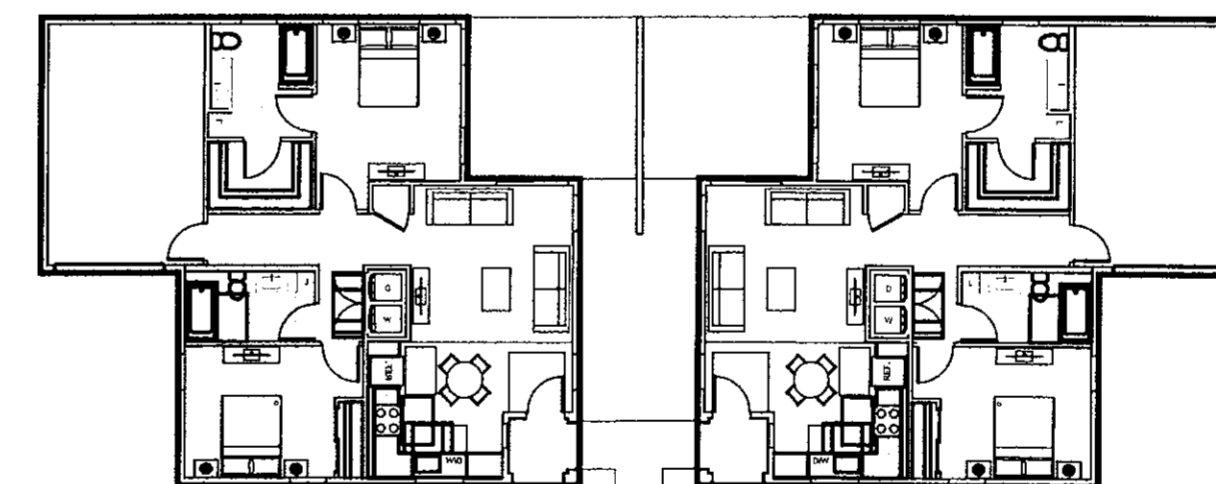
SOUTH BUILDING FLOOR PLANS - 1st and 2nd Floors

WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

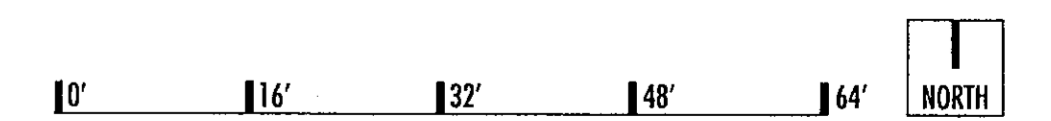
Scale: 1"= 16'-0"  
 REVISED: 7/16/2018 17165.000 - 5/2/2018



SOUTH BUILDING - THIRD FLOOR PLAN



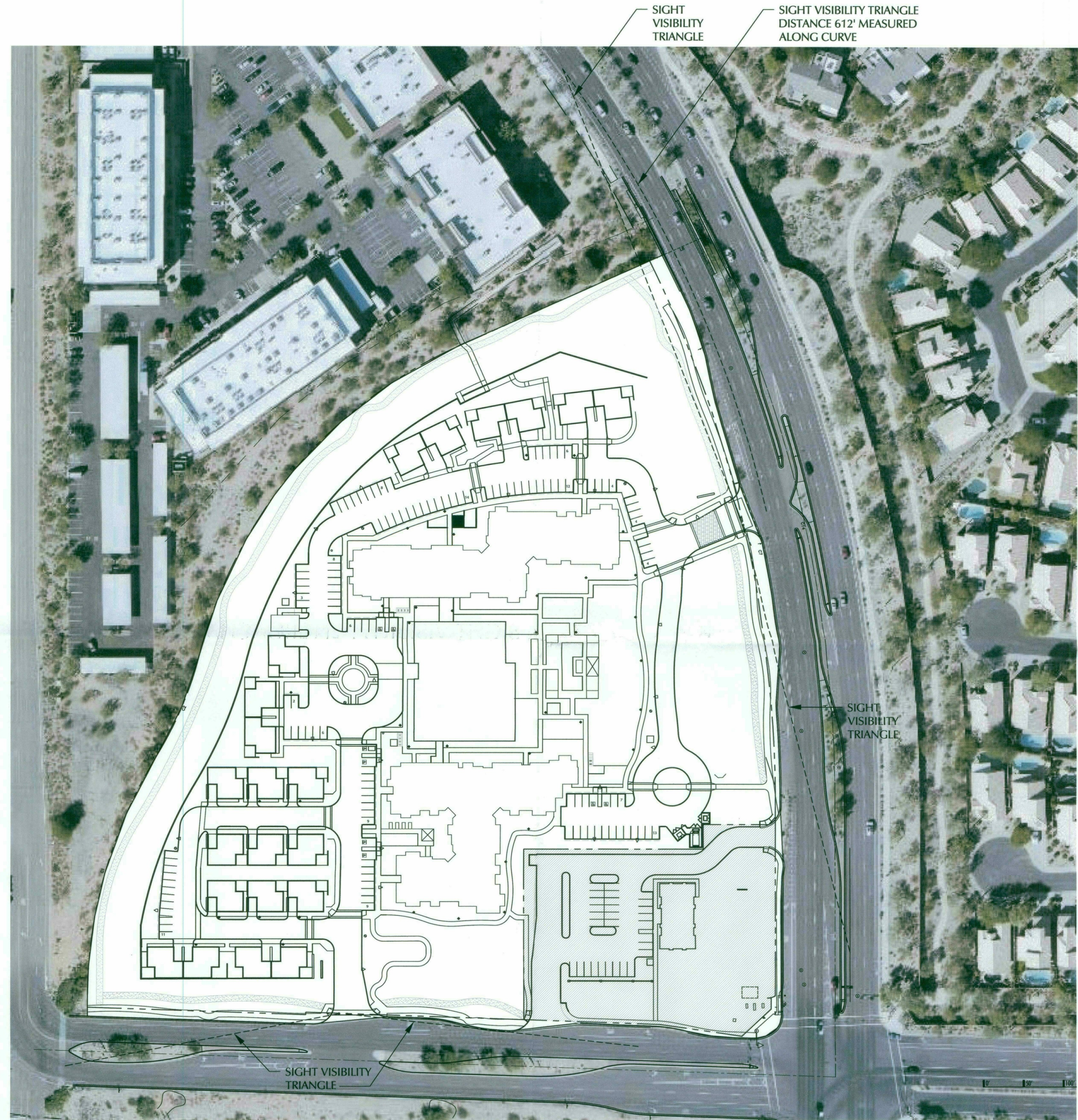
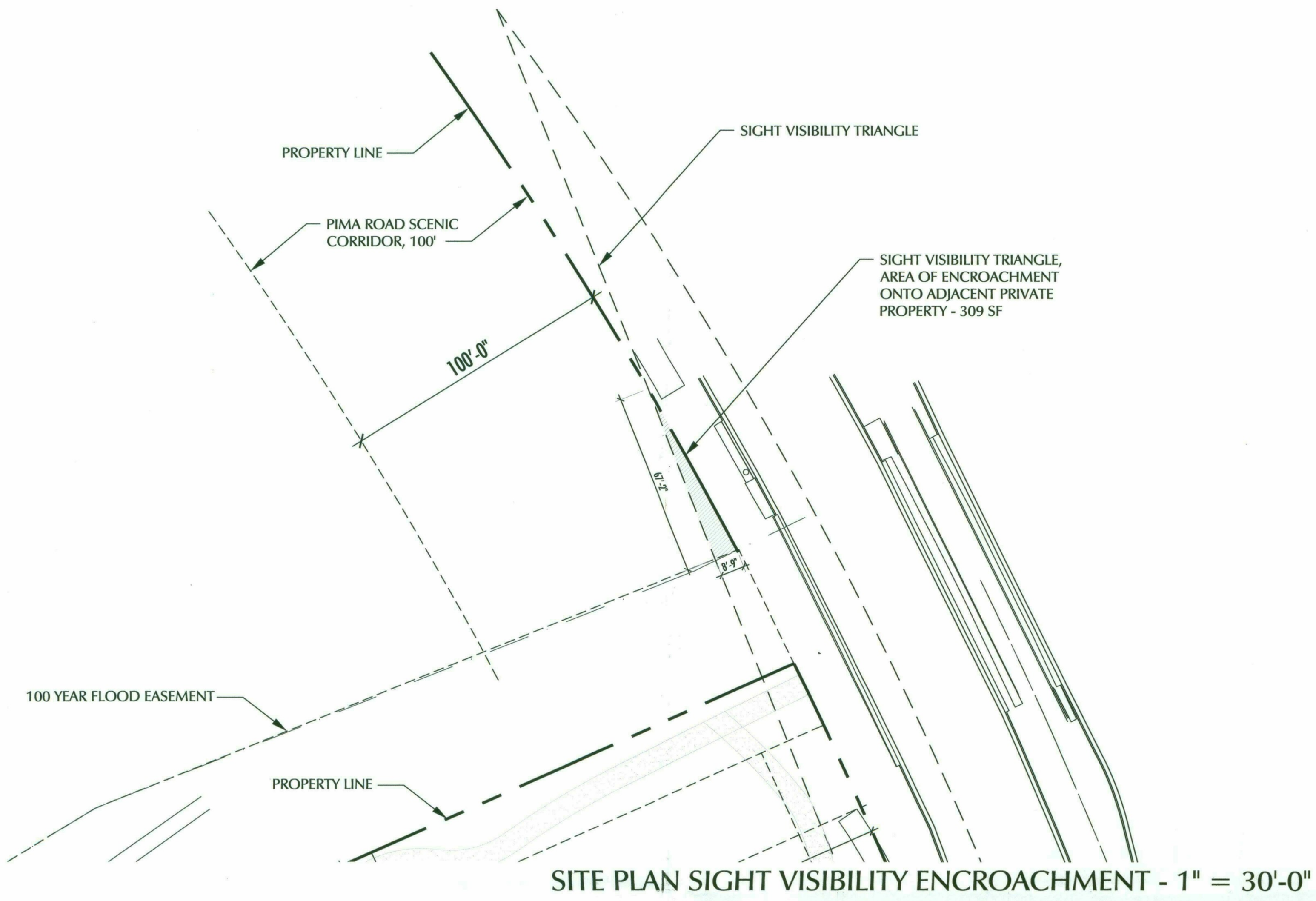
COTTAGE - TYPICAL FLOOR PLAN



SOUTH BUILDING 3rd Floor and COTTAGE FLOOR PLANS

WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona

Scale: 1"= 16'-0"  
 REVISED: 7/16/2018 17165.000 - 5/2/2018



**WOLFF LEGACY SCOTTSDALE - Scottsdale, Arizona**

SIGHT VISIBILITY TRIANGLE  
Scale: AS NOTED

17165.000 - 7/16/18

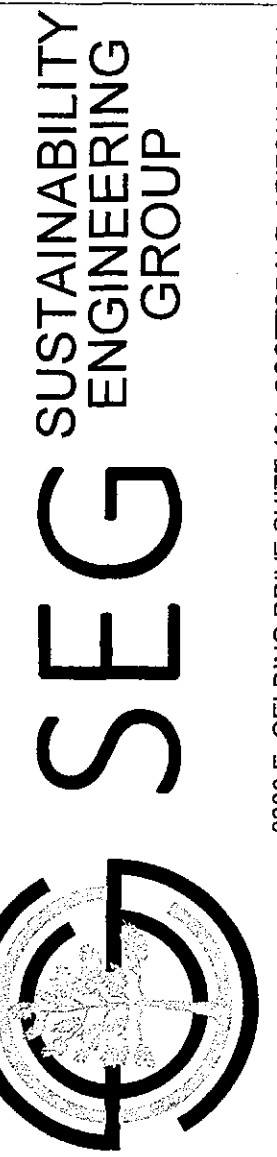


Notice of IP Rights: 2018 DAVIS. THESE DESIGNS ARE THE EXCLUSIVE PROPERTY OF DAVIS. NO USE OR REPRODUCTION IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF DAVIS.

14-DR-2018  
7/17/2018

WOLFF COMPANIES  
 ASSISTED LIVING  
 PIMA & LEGACY  
 SCOTTSDALE  
 ADA PATH SLOPES

-1.0 CUT  
 +1.0 FILL



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260

LOCATION

DESIGNED	TORMOS
CHECKED	CULVER
PROJECT MGR.	COUNSEL
	FAKIH

07/16/2018  
 ISSUED FOR:  
 CUT AND FILL EXHIBIT

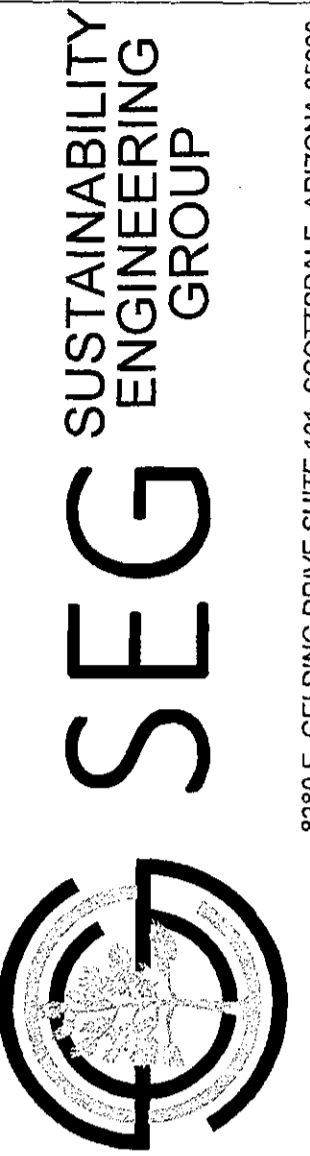
REVISION NO.: DATE:


SHEET TITLE:


SHEET NO.: 1 OF 1

WOLFF COMPANIES  
 ASSISTED LIVING  
 PIMA & LEGACY  
 SCOTTSDALE  
 ADA PATH SLOPES

-1.0 CUT  
 +1.0 FILL



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260

LOCATION

DESIGNED	TORMOS
PROJ. MGR.	CULVER
	COUNSEL
	FAKIH

07/16/2018  
 ISSUED FOR:  
 CUT AND FILL EXHIBIT

REVISION NO.	DATE

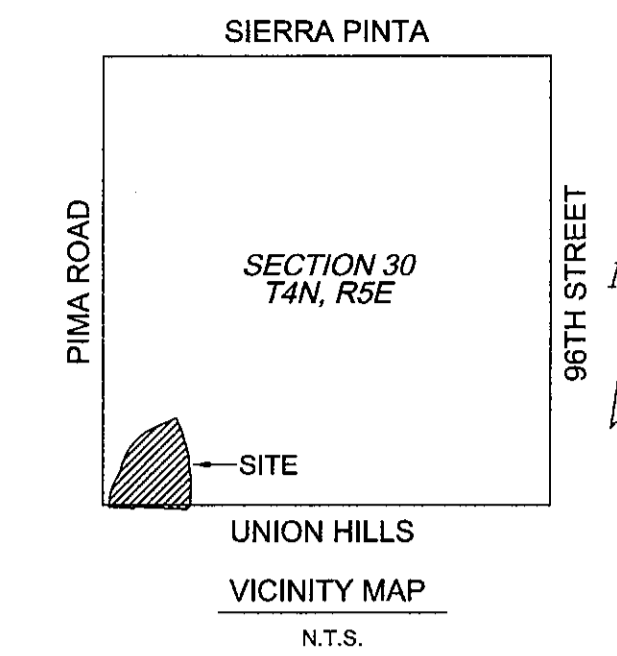
SHEET TITLE:

SHEET NO.:

# ALTA/NSPS LAND TITLE SURVEY

OF  
IRONWOOD FESTIVAL  
BOOK 991, PAGE 1, MARICOPA COUNTY RECORDS

BEING  
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 30 AND  
THE NORTHWEST QUARTER OF SECTION 31,  
TOWNSHIP 4 NORTH, RANGE 5 EAST,  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA.



## PARCEL DESCRIPTION

LOT 1, IRONWOOD FESTIVAL, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 991 OF MAPS, PAGE 1.

EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED IN THE PATENT TO SAID LAND RECORDED IN BOOK 339 OF DEEDS, PAGE 318A IN 2006-1121262, OFFICIAL RECORDS.

## NOTES: (Table "A" Items")

- SET A 1/2" REBAR W/CAP "AWLS 45377" AT PROPERTY CORNERS AS SHOWN HEREON UNLESS OTHERWISE NOTED.
- SUBJECT PROPERTY ADDRESS: 8890 E LEGACY BOULEVARD, SCOTTSDALE, 85255 PER MARICOPA COUNTY ASSESSOR WEBSITE.
- LOT 1 (NET) AREA IS 605,110.1 SQUARE FEET OR 13.891 ACRES, MORE OR LESS.  
GROSS AREA (INCLUDES 1/2 STREET OF LEGACY BOULEVARD & PIMA ROAD): 723,996.1 SQUARE FEET OR 16.621 ACRES, MORE OR LESS.
- THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ADDITIONALLY, AS PER THE 2016 ALTA/NSPS STANDARDS: WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ADJOINER INFORMATION IS PER MARICOPA COUNTY ASSESSOR WEBSITE.

## FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

AT THE TIME OF THIS SURVEY, SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" (DOTTED) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 04013C1320L, DATED OCTOBER 16, 2013. ZONE "X" IS DEFINED AS AREAS OF 0.2% ANNUAL FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

## SCHEDULE "B" ITEMS

- THE RIGHT TO ENTER UPON SAID LAND AND PROSPECT FOR AND REMOVE ALL COAL, OIL, GAS, MINERALS OR OTHER SUBSTANCES, AS RESERVED IN THE PATENT TO SAID LAND, RECORDED AS 2006-1121262 OF OFFICIAL RECORDS.  
(DOES NOT AFFECT SUBJECT PROPERTY)
- EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED AS BOOK 325 OF MAPS, PAGE 22 AND THEREAFTER RELEASE OF EASEMENT BY THE CITY OF SCOTTSDALE, RECORDED IN 2008-794994, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).  
(AFFECTS SUBJECT PROPERTY; PLOTTED AND SHOWN ON THIS SURVEY)
- EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED AS BOOK 991 OF MAPS, PAGE 1 AND THEREAFTER RELEASE OF EASEMENT BY THE CITY OF SCOTTSDALE, RECORDED IN 2008-794994, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).  
(AFFECTS SUBJECT PROPERTY; NO EASEMENTS WERE DEDICATED, BOUNDARY PLOTTED AND SHOWN ON THIS SURVEY)
- COVENANTS, CONDITIONS AND RESTRICTIONS IN THE DOCUMENT RECORDED AS 2008-578215 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES. THEREAFTER QUIT-CLAIM ASSIGNMENT RECORDED ON MAY 31, 2016 AS 2016-375772 AND AS 2016-0376366 OF OFFICIAL RECORDS.  
(AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE)
- ALL MATTERS AS SET FORTH IN DECLARATION OF WATER LINE EASEMENT, RECORDED AS 2003-1577627 OF OFFICIAL RECORDS.  
(AFFECTS SUBJECT PROPERTY; PLOTTED AND SHOWN ON THIS SURVEY)
- ALL MATTERS AS SET FORTH IN WATER, SEWER AND STORM WATER EASEMENT, RECORDED AS 2008-88576 OF OFFICIAL RECORDS.  
(AFFECTS SUBJECT PROPERTY; PLOTTED AND SHOWN ON THIS SURVEY)
- ALL MATTERS AS SET FORTH IN CITY OF SCOTTSDALE, NOISE AND AVIGATION EASEMENT AND COVENANT NOT TO SUE, RECORDED AS 2008-737032 OF OFFICIAL RECORDS.  
(AFFECTS SUBJECT PROPERTY; NOT PLOTTABLE)

## GENERAL NOTES

- ALL TITLE INFORMATION IS BASED ON A COMMITMENT FOR TITLE INSURANCE PREPARED BY CLEAR TITLE AGENCY OF ARIZONA, LLC, NO.: 10-524462, WITH AN EFFECTIVE DATE OF NOVEMBER 9, 2016.
- A.R.S. 32-151 STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OR FINDINGS THAT ARE SUBJECT TO THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE.
- SURVEY FIELD WORK WAS COMPLETED ON NOVEMBER 23, 2016.
- THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

## BENCHMARK

BENCHMARK IS A CITY OF SCOTTSDALE BRASS CAP FLUSH BEING THE SOUTHWEST CORNER OF SECTION 30, T4N, R5E.

ELEVATION = 1637.75' (NAVD 88)

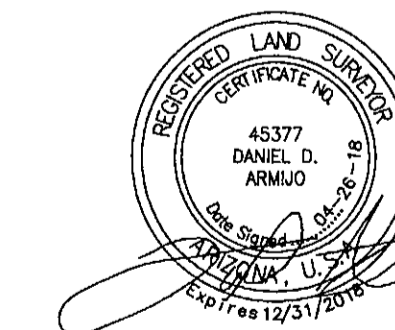
## BASIS OF BEARING

THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 30, T4N, R5E, PER THE LAND ASSEMBLAGE OF IRONWOOD FESTIVAL RECORDED IN BOOK 991, PAGE 1, MCR, USING A BEARING OF NORTH 89°56'55" EAST.

## CERTIFICATION

TO: MATTAMY ARIZONA, LLC, AN ARIZONA LIMITED LIABILITY COMPANY  
TORINO HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
CLEAR TITLE AGENCY OF ARIZONA, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-3, 11 AND 13 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 23, 2016.



© COPYRIGHT 2018  
ALL RIGHTS RESERVED

ALTA/NSPS LAND TITLE SURVEY  
SW 1/4 OF SECTION 30  
NW 1/4 OF SECTION 31  
TOWNSHIP 4 NORTH, RANGE 5 EAST  
OF THE G.S.R.B. & M.  
MARICOPA COUNTY, ARIZONA

14-DR-2018  
5/03/18

**AW**  
LAND  
SURVEYING, LLC  
P.O. BOX 2170, CHANDLER, AZ 85244  
(480) 244-7630 (480) 243-4287

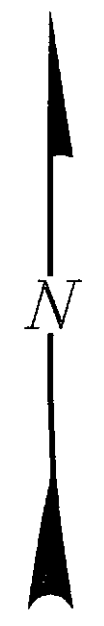
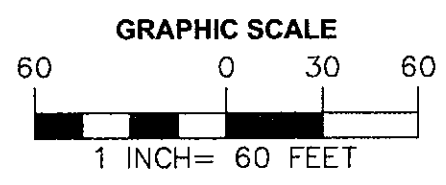
DRAWN BY: DDA CHECKED BY: DDA DATE: 04/26/18 JOB NO.: 16-117 SHEET NO. 1 OF 5

LINE	BEARING	DISTANCE
L1	N 85°42'15" E	3.61'
L2	N 03°54'10" W	24.97'
L3	N 86°05'46" E	3.61'
L4	N 87°10'59" E	5.00'
L5	N 89°56'55" E	4.92'
L6	S 00°03'27" E	13.88'
L7	N 47°17'40" E	49.88'
L8	N 66°01'54" E	65.05'
L9	S 81°47'47" E	103.01'
L10	S 88°03'00" E	443.90'
L11	N 01°57'03" E	12.22'
L12	S 88°03'00" E	272.37'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	317.76'	573.00'	31°46'25"	S 15°50'10" W	313.70'
C2	138.56'	452.00'	17°33'50"	S 22°56'28" W	138.02'
C3	523.29'	578.00'	51°52'21"	S 40°05'43" W	505.60'
C4	162.52'	1535.00'	6°03'58"	N 23°17'15" W	162.44'
C5	50.22'	304.49'	9°27'03"	S 13°36'07" E	50.17'
C6	88.44'	1530.00'	3°18'43"	S 16°43'55" E	88.43'
C7	135.24'	1535.00'	5°02'53"	S 12°33'07" E	135.20'
C8	50.60'	309.14'	9°22'43"	S 03°24'41" E	50.55'
C9	100.77'	1530.00'	3°46'25"	N 06°15'38" W	100.75'
C10	16.52'	1530.00'	0°37'07"	S 03°07'43" E	16.52'
C11	73.99'	1535.00'	2°45'42"	N 01°26'18" W	73.98'
C12	55.03'	302.00'	10°26'26"	S 05°09'46" W	54.95'
C13	16.96'	20.00'	48°34'54"	N 65°39'28" E	16.45'
C14	730.73'	1600.00'	26°10'02"	S 13°08'28" E	724.40'

**LEGEND**

- MCR MARICOPA COUNTY RECORDS
- R/W RIGHT OF WAY
- APN ASSESSOR PARCEL NUMBER
- BCHH BRASS CAP IN HANDHOLE
- BCF BRASS CAP FLUSH
- WLE WATERLINE EASEMENT
- SLE SEWERLINE EASEMENT
- SE STORM EASEMENT
- VNAE VEHICULAR NON-ACCESS EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- FD FOUND
- EJB ELECTRIC JUNCTION BOX
- WV WATER VALVE
- WMB WATER METER BOX
- WBP WATER BACKFLOW PREVENTOR
- MW MONITORING WELL
- CB CATCH BASIN
- C-VLT CABLE VAULT
- ET ELECTRIC TRANSFORMER
- EBX ELECTRICAL BOX
- TSM TRAFFIC SIGNAL MAST
- TS TRAFFIC SIGNAL
- TSJB TRAFFIC SIGNAL JUNCTION BOX
- HW HEADWALL
- (S) SEWER MANHOLE
- (D) STORMDRAIN MANHOLE
- (E) ELECTRIC MANHOLE
- (W) WATER MANHOLE
- PROPERTY LINE
- - - EASEMENT LINE AS NOTED
- CENTER LINE
- E ELECTRIC LINE
- S SEWER LINE
- W WATER LINE
- [Hatched Box] CONCRETE
- [Tree Symbol] TREE OR BUSH
- PEXX.XX PAVEMENT ELEVATION
- GEXX.XX GUTTER ELEVATION
- TCXX.XX TOP OF CURB ELEVATION
- CEXX.XX CONCRETE ELEVATION



W 1/4 CORNER SECTION 30 T4N, R5E FD COS BCF

APN: 217-73-810 LA CURVATA CONDOMINIUMS BOOK 1025, PAGE 10, MCR

SE CORNER SECTION 25 T4N, R4E FD COS BCF

SW CORNER SECTION 30 NW CORNER SECTION 31 T4N, R5E FD COS BCF

N 00°00'10" E 204.84' (M)

N 00°00'10" E 63.66' (M)

FD 1/2" REBAR W/CAP 19345  
FD 1/2" REBAR W/CAP 27239 (0.2' N)

FD 1/2" REBAR W/CAP 27239  
N 00°03'05" W 20.09' (R&M)

FD 1/2" REBAR W/CAP 27239

FD 1/2" REBAR W/CAP 45835 (0.18'S x .39'E)

FD 1/2" REBAR W/CAP 45835 (0.39'S x 0.44'E)

N 66°01'54" E 268.71' (R&M)

1' VNAE (5)

8' PUE (5)

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

8' PUE (5)

1' VNAE (5)

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118 (BENT)

S 00°03'27" E 64.42' (R&M)

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

PUE (5)

S 00°03'27" E 119.07' (R&M)

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

FD 1/2" REBAR W/CAP 46118

DETAIL SHEET 5

DETAIL SHEET 5

S 1/4 CORNER SECTION 30 T4N, R5E (CALCULATED POSITION PER BOOK 991, PAGE 1, MCR) FD MARICOPA COUNTY BRASS CAP WITNESS (15.1' WEST)

SHEET 4  
SHEET 3

30' WLE, SLE & SE (9)

849.96' (M)  
N 89°56'55" E 2390.01' (R&M)

FD 1/2" REBAR W/CAP 27239

FD 1/2" REBAR W/CAP 27239

FD 1/2" REBAR W/CAP 27239

FD 1/2" REBAR W/CAP 27239

FD 1/2" REBAR W/CAP 27239

FD 1/2" REBAR W/CAP 27239

MONUMENT LINE E LEGACY BOULEVARD DOCUMENT NO. 2004-0932570, MCR

N 00°03'27" E 20.09' (R&M)

L12

L10

L9

L8

L7

L6

WLE (8)

S 00°03'27" E 244.99' (R&C)

S 00°03'27" E 54.77' (C)

FD COS BCF

S 00°03'27" E 44.11' (M)

FD COS BCHH

FD COS BCF

FD COS BCF

FD COS BCF

80.07' (M)

1388.05' (M)

S 00°03'27" E 54.77' (C)

FD COS BCF

S 00°03'27" E 44.11' (M)

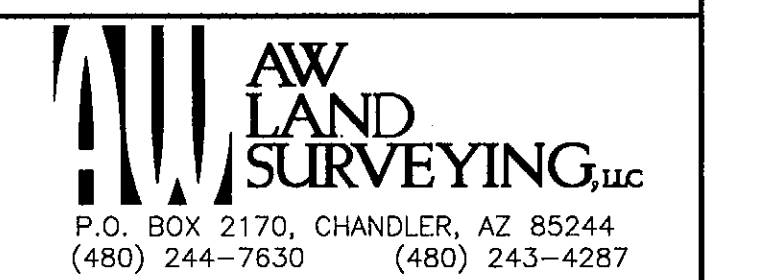
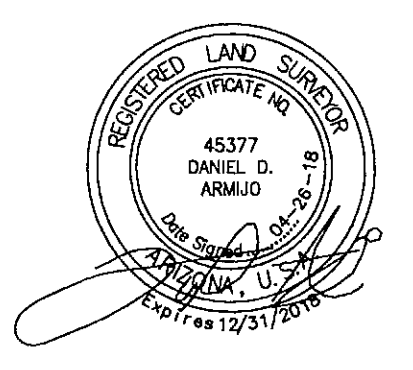
FD COS BCHH

FD COS BCF

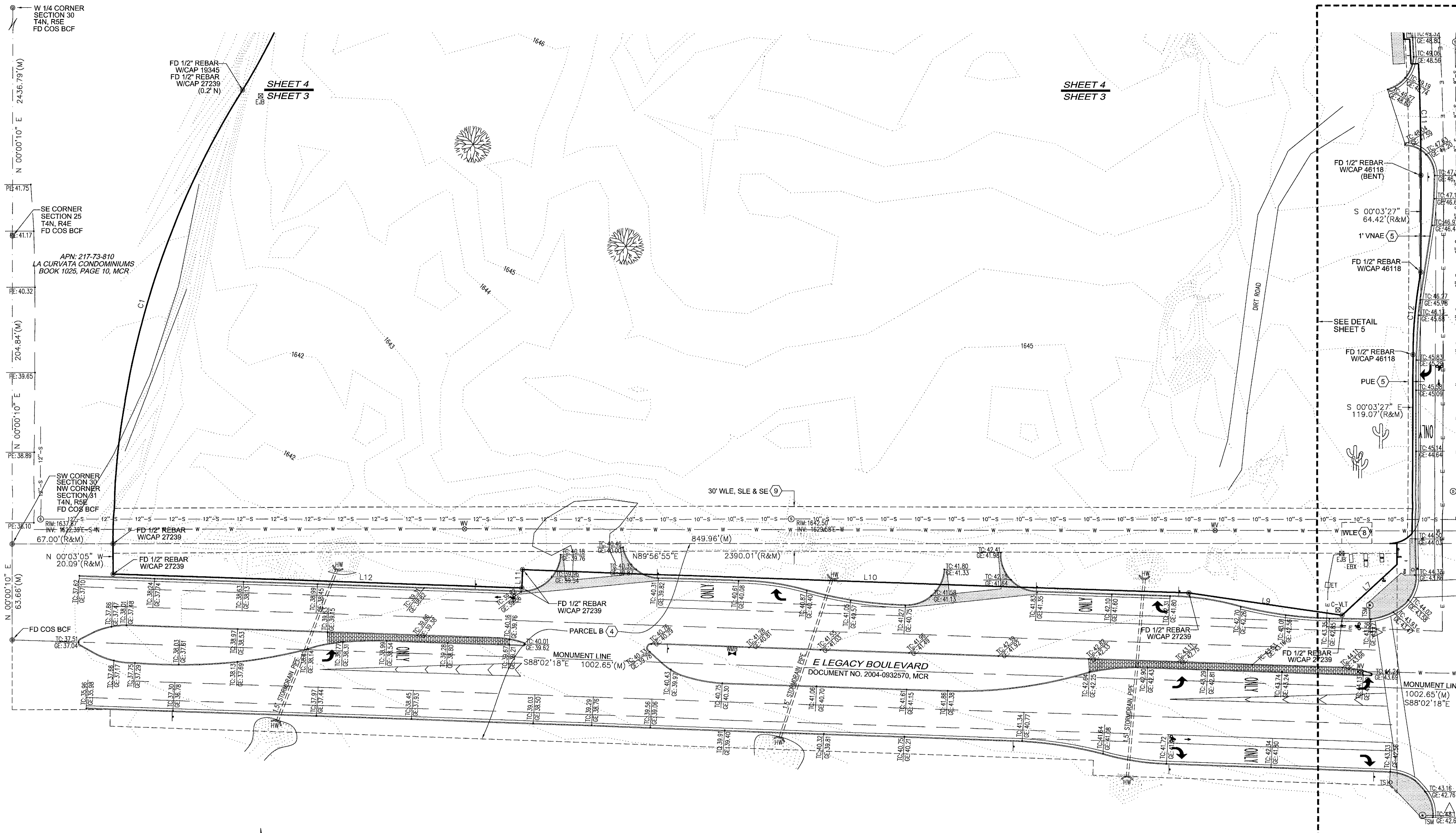
FD COS BCF

FD COS BCF

ALTA/NSPS LAND TITLE SURVEY  
SW 1/4 OF SECTION 30  
NW 1/4 OF SECTION 31  
TOWNSHIP 4 NORTH, RANGE 5 EAST  
OF THE G.S.R.B. & M.  
MARICOPA COUNTY, ARIZONA



DRAWN BY: DDA CHECKED BY: DDA DATE: 04/26/18 JOB NO.: 16-117 SHEET NO. 2 OF 5



W 1/4 CORNER SECTION 30  
T4N, R5E  
FD COS BCF

SE CORNER SECTION 25  
T4N, R4E  
FD COS BCF

APN: 217-73-810  
LA CURVATA CONDOMINIUMS  
BOOK 1026, PAGE 10, MCR

SW CORNER SECTION 30  
NW CORNER SECTION 31  
T4N, R5E  
FD COS BCF

N 00°03'05" W  
20.09' (R&M)

N 00°00'10" E  
63.66' (M)

FD COS BCF

SHEET 4  
SHEET 3

SHEET 4  
SHEET 3

FD 1/2" REBAR  
W/CAP 46118  
(BENT)

S 00°03'27" E  
64.42' (R&M)

1" VNAE (5)

FD 1/2" REBAR  
W/CAP 46118

SEE DETAIL SHEET 5

FD 1/2" REBAR  
W/CAP 46118

PUE (5)

S 00°03'27" E  
119.07' (R&M)

SEE DETAIL SHEET 5

FD 1/2" REBAR  
W/CAP 27239

FD 1/2" REBAR  
W/CAP 27239

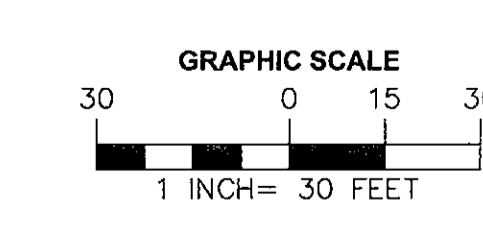
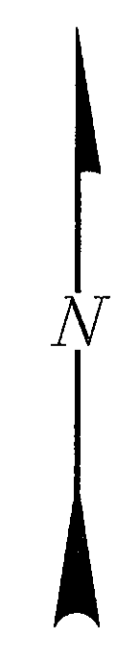
FD 1/2" REBAR  
W/CAP 27239

MONUMENT LINE  
1002.65'(M)  
S88°02'18"E

FD 1/2" REBAR  
W/CAP 27239

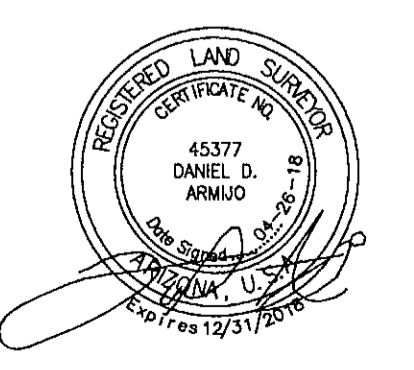
FD 1/2" REBAR  
W/CAP 27239

FD 1/2" REBAR  
W/CAP 27239



LEGEND  
SEE SHEET 2

CURVE AND LINE TABLE  
SEE SHEET 2



ALTA/NSPS LAND TITLE SURVEY  
SW 1/4 OF SECTION 30  
NW 1/4 OF SECTION 31  
TOWNSHIP 4 NORTH, RANGE 5 EAST  
OF THE G.S.R.B. & M.  
MARICOPA COUNTY, ARIZONA

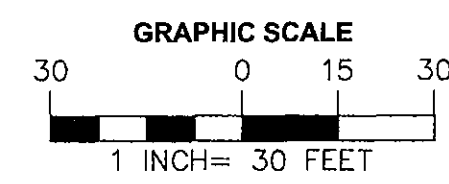
**AW LAND SURVEYING, LLC**  
P.O. BOX 2170, CHANDLER, AZ 85244  
(480) 244-7630 (480) 243-4287

DRAWN BY: DDA CHECKED BY: DDA DATE: 04/26/18 JOB NO: 16-117 SHEET NO: 3 OF 5

LEGEND  
SEE SHEET 2

CURVE AND LINE TABLE  
SEE SHEET 2

APN: 217-73-810  
LA CURVATA CONDOMINIUMS  
BOOK 1025, PAGE 10, MCR



FD 1/2" REBAR  
W/CAP 19345  
FD 1/2" REBAR  
W/CAP 27239  
(0.2' N)

FD 1/2" REBAR  
W/CAP 45835

FD 1/2" REBAR  
W/CAP 45835  
(0.18'S x .39'E)

FD 1/2" REBAR  
W/CAP 46118

FD 1/2" REBAR  
W/CAP 46118

FD 1/2" REBAR  
W/CAP 46118

8' PUE (5)

1" VNAE (5)

FD 1/2" REBAR  
W/CAP 46118

FD 1/2" REBAR  
W/CAP 46118

SHEET 4  
SHEET 3

SHEET 4  
SHEET 3

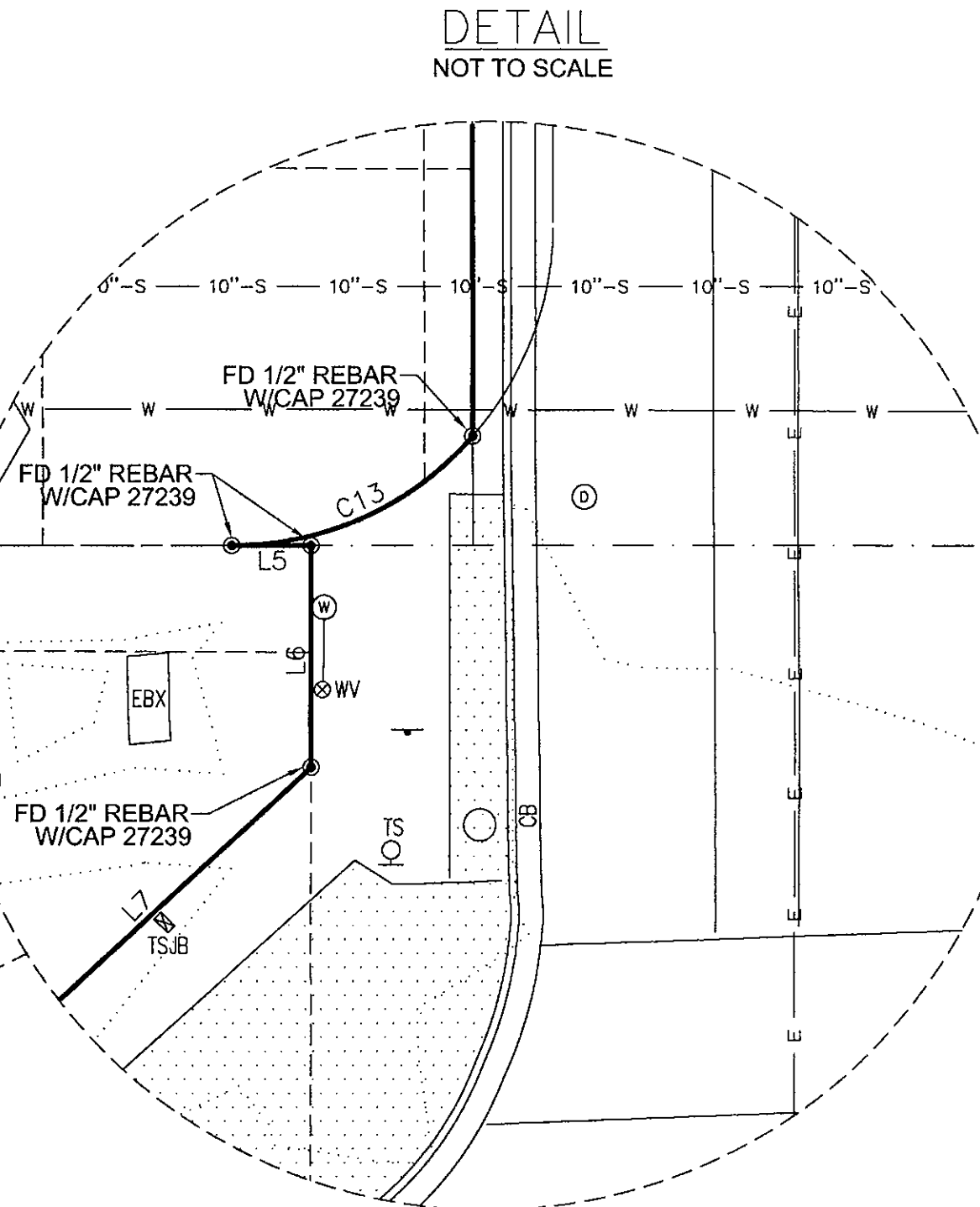
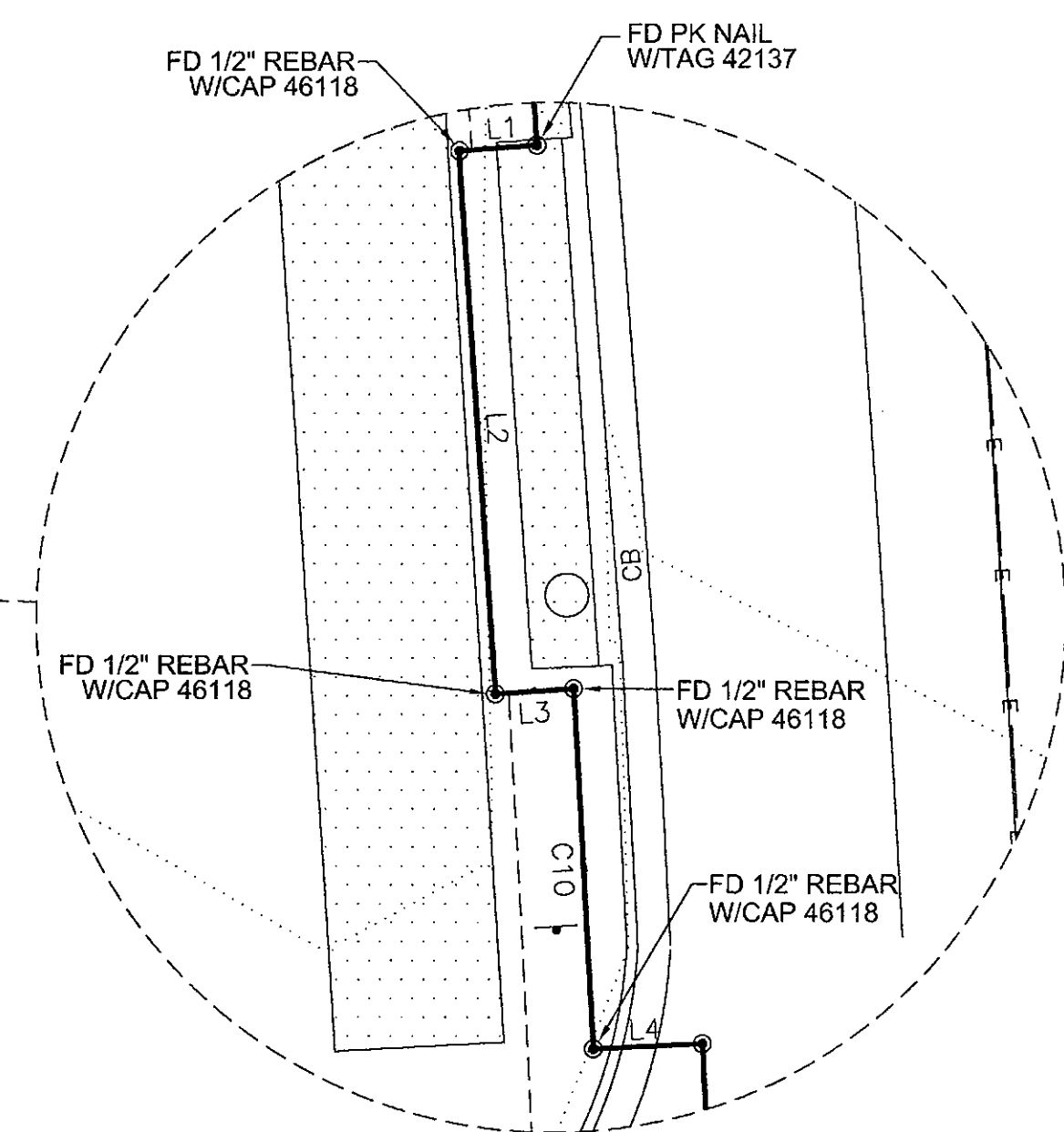
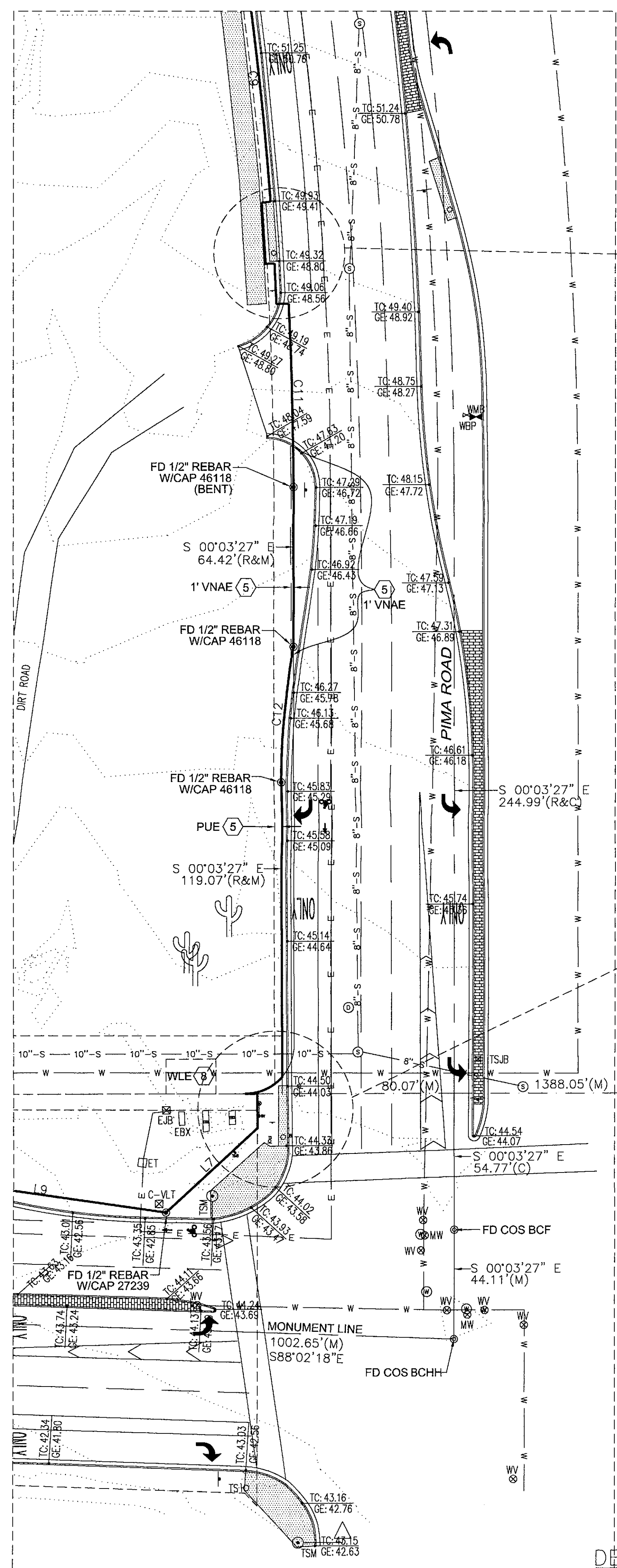
SEE DETAIL  
SHEET 5



ALTA/NSPS LAND TITLE SURVEY  
SW 1/4 OF SECTION 30  
NW 1/4 OF SECTION 31  
TOWNSHIP 4 NORTH, RANGE 5 EAST  
OF THE G.S.R.B. & M.  
MARICOPA COUNTY, ARIZONA

**AW LAND SURVEYING, LLC**  
P.O. BOX 2170, CHANDLER, AZ 85244  
(480) 244-7630 (480) 243-4287

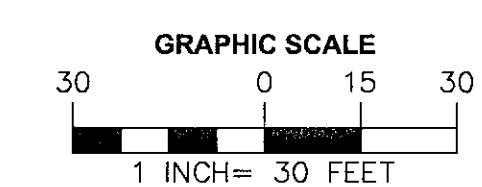
DRAWN BY: CHECKED BY: DATE: 04/26/18 JOB NO.: 16-117 SHEET NO. 4 OF 5



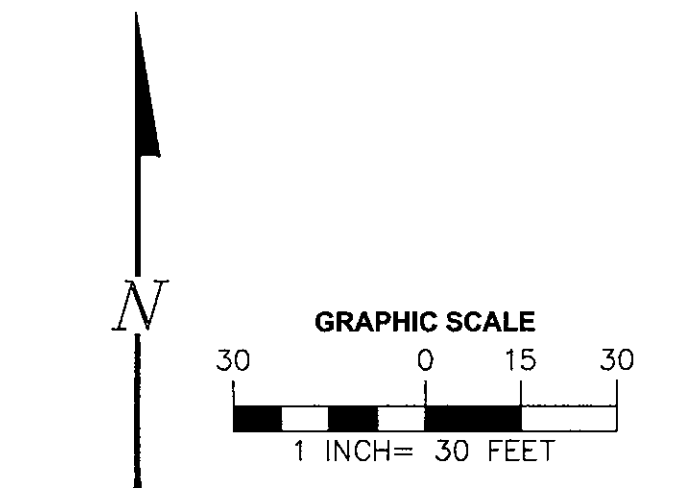
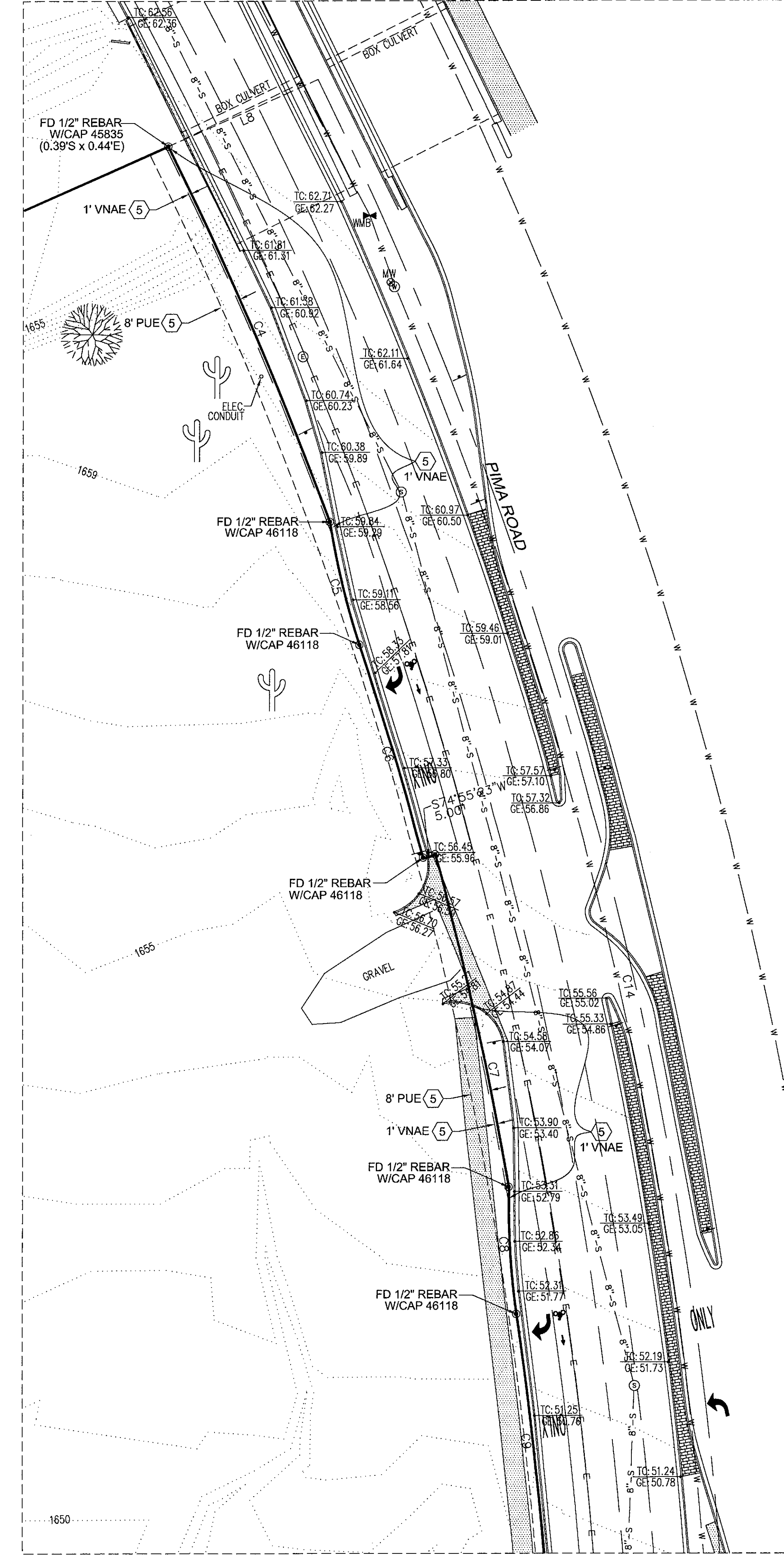
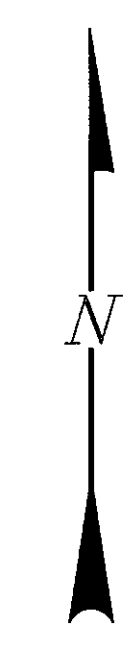
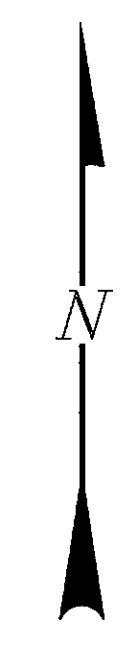
S 1/4 CORNER SECTION 30  
 T4N, R5E  
 (CALCULATED POSITION PER BOOK 991, PAGE 1, MCR)  
 FD MARICOPA COUNTY BRASS CAP WITNESS (15.1' WEST)

**LEGEND**  
 SEE SHEET 2

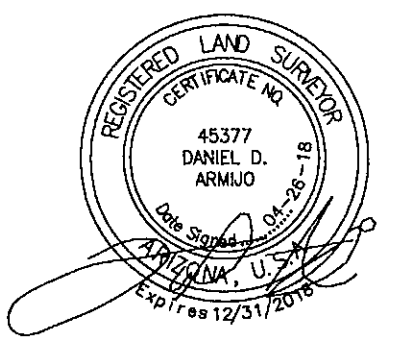
**CURVE AND LINE TABLE**  
 SEE SHEET 2



**DETAIL**  
 1"=30'



**DETAIL**  
 1"=30'



ALTA/NSPS LAND TITLE SURVEY  
 SW 1/4 OF SECTION 30  
 NW 1/4 OF SECTION 31  
 TOWNSHIP 4 NORTH, RANGE 5 EAST  
 OF THE G.S.R.B. & M.  
 MARICOPA COUNTY, ARIZONA

**AW LAND SURVEYING, LLC**  
 P.O. BOX 2170, CHANDLER, AZ 85244  
 (480) 244-7630 (480) 243-4287