



Marked Agendas

Approved Minutes

Approved Reports

**The January 17, 2019
Development Review Board
Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: January 17, 2019 Item No. 3
General Plan Element: *Public Services and Facilities*
General Plan Goal: *Encourage provision of power and communication systems that match the character of Scottsdale and provide reliable, efficient, service for Scottsdale citizens, visitors, and businesses.*

ACTION

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE 51-DR-2018

Location: Northeast corner of East Rio Verde Drive and North 136th Street

Request: Request approval for a new Type 3 wireless communication facility (WCF) co-located on top of a replacement utility pole within the public right-of-way along the north side of East Rio Verde Drive east of North 136th Street, with associated screened ground mounted equipment.

OWNER

City of Scottsdale
480-312-2953

ARCHITECT/DESIGNER

Clear Blue Services

ENGINEER

Clear Blue Services

APPLICANT CONTACT

Matthew Ludick
Salt River Project
(602) 236-2844

BACKGROUND

Zoning

The site is zoned Single-family Residential, Environmentally Sensitive Lands (R1-43 ESL).

Context

The subject utility pole is located within the East Rio Verde Drive right-of-way along the north side of East Rio Verde Drive, approximately 310 feet east of North 136th Street.

Adjacent Uses and Zoning

Action Taken _____

- North: Equestrian facility with covered arena within unincorporated Maricopa County, zoned County Rural-43
- South: Undeveloped land, zoned R1-70 ESL.
- East: Undeveloped land within right-of-way, zoned R1-43 ESL.
- West: Undeveloped land within the right-of-way, zoned R1-43 ESL.

Key Items for Consideration

- The Zoning Ordinance encourages the co-locating of wireless communication facilities on existing vertical elements, such as utility poles.

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

SRP Telecom on behalf of AT&T is requesting approval to construct a new wireless communication facility (WCF) co-located on top of a replacement 46-foot-tall utility pole along the north side of East Rio Verde Drive, approximately 310-feet east of North 136th Street. Location and height requirements for WCFs are determined by the coverage objective for the area, existing topography, capacity requirements dictated by the permanent, transient population (passing traffic and time of day usage) and the distance between adjacent WCFs within the network. The nearest existing AT&T WCFs are located approximately 3.25 miles to the west, mounted on a building near the southwest corner of East Dynamite Blvd. and North Alma School Parkway, 3.5 miles to the east near the intersection of 165th Street and East Rio Verde Drive, and approximately 2.25 miles to the northeast co-located on a utility lattice tower near the intersection of East Lone Mountain Road and North 147th Street. The Zoning Ordinance encourages the co-locating of wireless communication facilities on existing vertical elements, such as utility poles.

The existing 38-foot-tall wood utility pole will be replaced with a 46-foot-tall cor-ten steel utility pole. Six antennas, approximately 5-foot-tall by 20-inch-wide, will be placed at the top of the pole; two antennas will face north, two antennas will face southwest, and two antennas will face southeast. Antennas, tower mounted amplifiers, and mounting hardware, will be painted to match the color of the utility poles. All associated cables will be located inside the utility pole. Shrouds will be attached to the bottom of the antennas to screen the jumper cables that connect the bottom of the antennas with the port hole in the pole.

Associated ground-mounted radio equipment will be installed within an 18-foot by 12-foot enclosed platform located approximately 20-feet east of the utility pole. The equipment will be screened by 8-foot-tall decorative metal panels/gates with a rust finish.

Neighborhood Communication

October 2, 2018: Applicant mailed project notification letters along with a site plan and elevation to property owners within 750 feet.

November 20, 2018: City Planning staff mailed postcard notifications to property owners within 750-feet, as well as the City interested parties list, letting residents know there had been a new DRB application submitted to the City.

As of the drafting of this report, the applicant or City staff has not received any comments.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve Case 51-DR-2018 per the attached stipulations.

RESPONSIBLE DEPARTMENT

Planning and Development Services
Current Planning Services

STAFF CONTACT

Keith Niederer
Senior Planner
480-312-2953
E-mail: kniederer@ScottsdaleAZ.gov

APPROVED BY



Keith Niederer, Report Author

1-7-2019
Date



Steve Venker, Development Review Board Coordinator
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

1/7/19
Date



Randy Grant, Director
Planning and Development Services
Phone: 480-312-2664 E-mail: rgrant@scottsdaleaz.gov

1/8/19
Date

ATTACHMENTS

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Photo Simulation
 - 5. Plans
 - 6. Neighborhood Involvement Letter
 - 7. City Notification Postcard and Map

**Stipulations for the
Development Review Board Application:
AT&T AZL04814 SRP Rio Verde R.O.W. - LTE
Case Number: 51-DR-2018**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:

1. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Clear Blue Services, Bechtel and AT&T, with a date of 9/21/2018.
 - a. The location and configuration of all site improvements shall be consistent with the site plan submitted by Clear Blue Services, Bechtel and AT&T, with a date of 9/21/2018.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- A. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. Antennas, radio equipment and mounting hardware shall be painted to match replacement utility pole.
3. Antenna pipe mounts shall be trimmed to match the height and length of antennas.
4. If antennas will have cables bottom fed, cables shall be concealed with shrouds that are painted to match antennas.

ADDITIONAL ITEMS:

DRB Stipulations

5. With the construction drawing submittal, verify the benchmark on plans. They appear to be approximately 2-foot higher in elevation than the City GIS is indicating.
6. Prior to the issuance of permits, the developer shall submit a signed Antenna Right-of-Way License Agreement (ARLA) to the City's Telecom Policy Coordinator. Rent will be due to the City at time of ARLA execution.

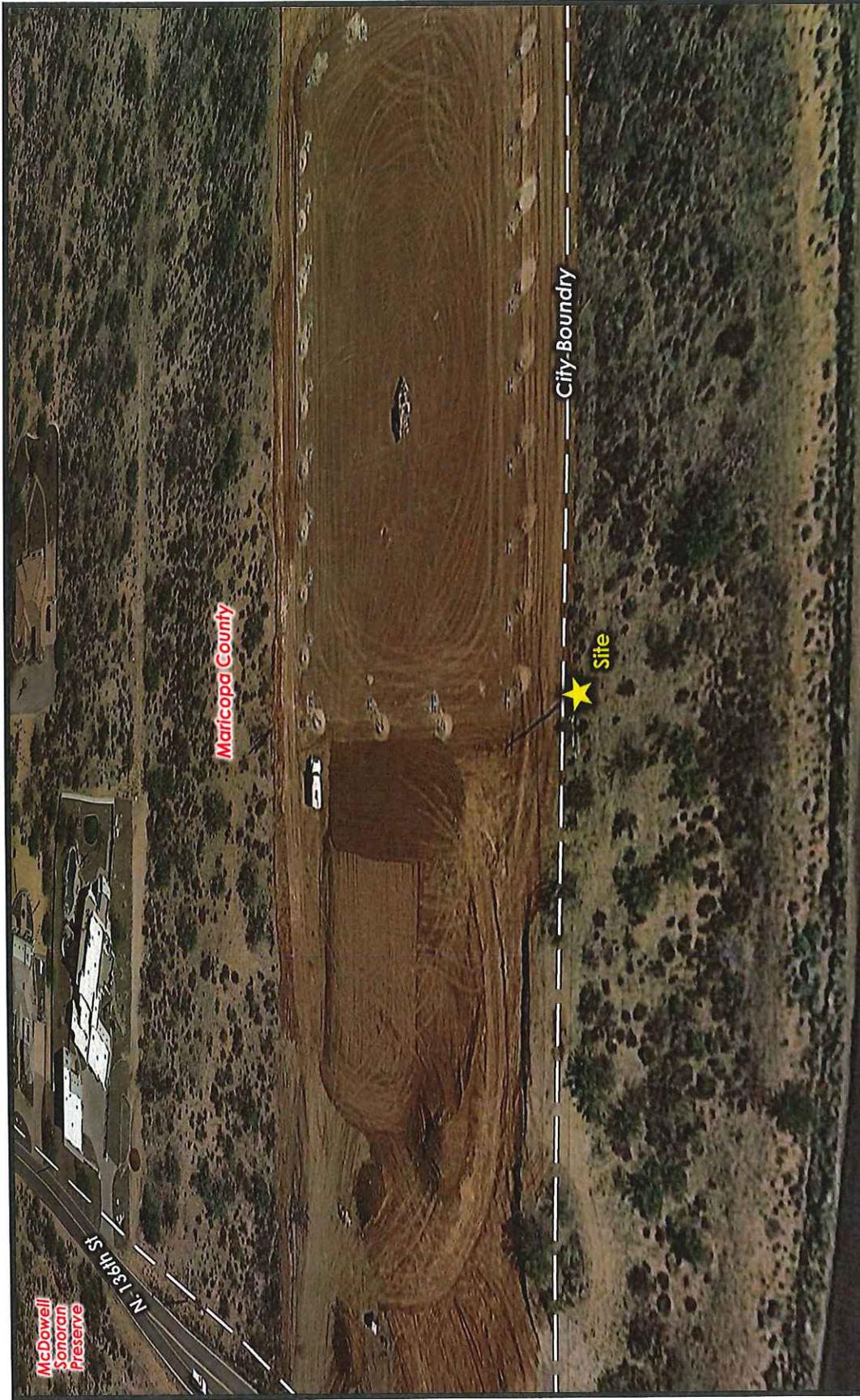


Google Earth Pro Imagery

**Q.S.
50-60**

51-DR-2018

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE



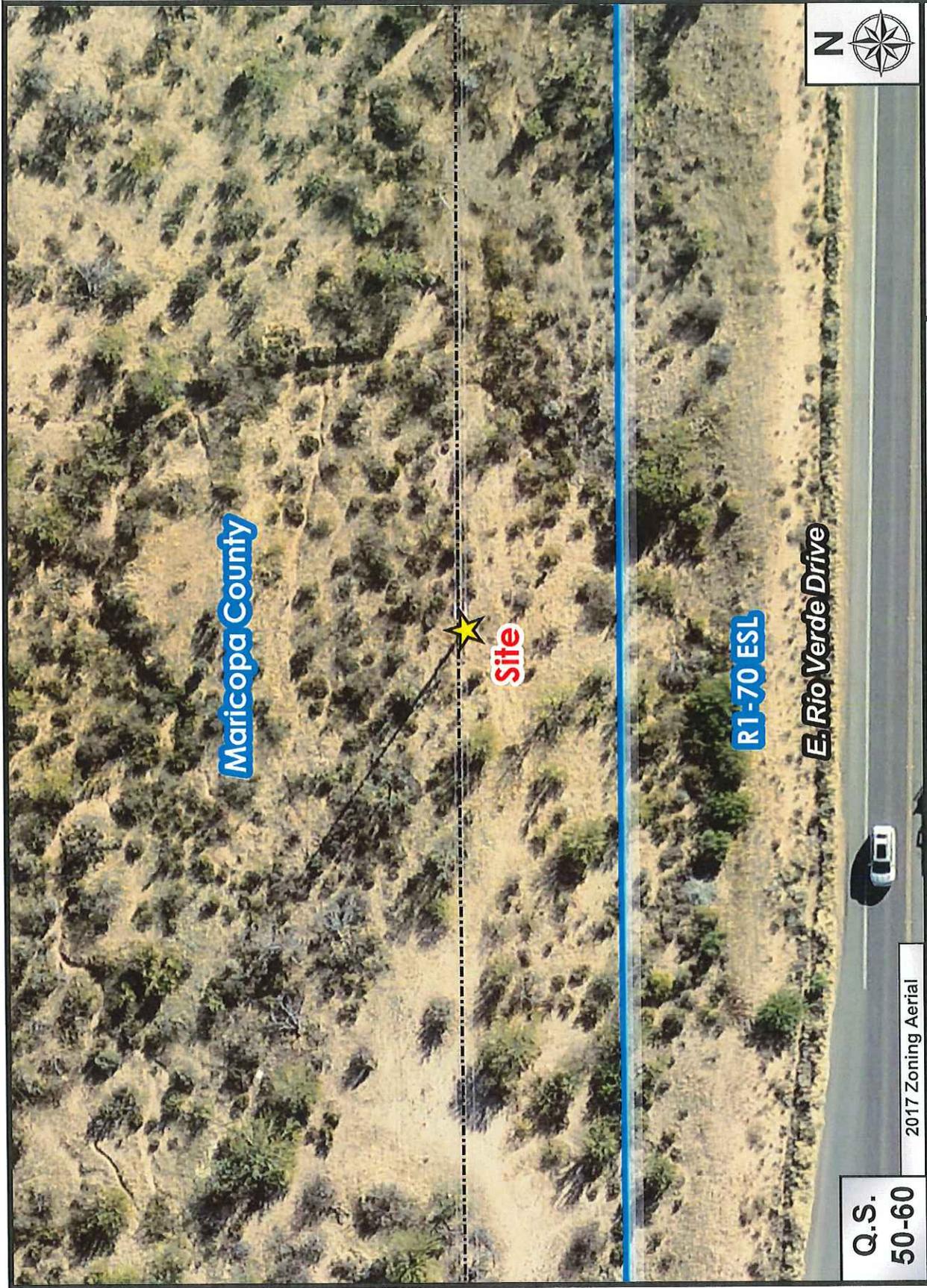
E. Rio Verde Dr

Q.S.
50-60

Google Earth Pro Imagery

51-DR-2018

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE



Maricopa County

Site

R1-70 ESL

E. Rio Verde Drive

**Q.S.
50-60**

2017 Zoning Aerial

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE

51-DR-2018



PROJECT NARRATIVE

I. Introduction

The purpose of this application is to request approval of the installation of an AT&T antenna array on a replaced 12kV electric pole along with the ground equipment in the City of Scottsdale right-of-way. The subject site is proposed east of the northeast corner of 136th Street and Rio Verde Dr.

II. Description of Site Development

SRP owns and operates electrical infrastructure in the Rio Verde area of unincorporated Maricopa County and the City of Scottsdale. The poles that provide the above ground electric grid are generally the only existing vertically in the rural area. The existing poles in the area are mostly wood which is not suitable for collocation of wireless antennas. The subject pole would be replaced with a steel pole to support the addition of the antennas. The request includes the allowed increase of eight (8) feet to allow the antennas above conductor.

The antenna array is three (3) sectors of two (2) antennas per sector for a total of 6' antennas. The antennas proposed are approximately five (5) feet long and are bottom fed. The bottom fed antennas will have shrouds to obscure the rain loops from view. All antennas and the shrouds will be painted SRP boot brown to approximately match the rusted steel pole. The ground equipment is proposed east of the pole in the City of Scottsdale right-of-way. The equipment will be surrounded by rusted steel decorative panels. No equipment will be visible from outside the compound.

III. Parking and Access

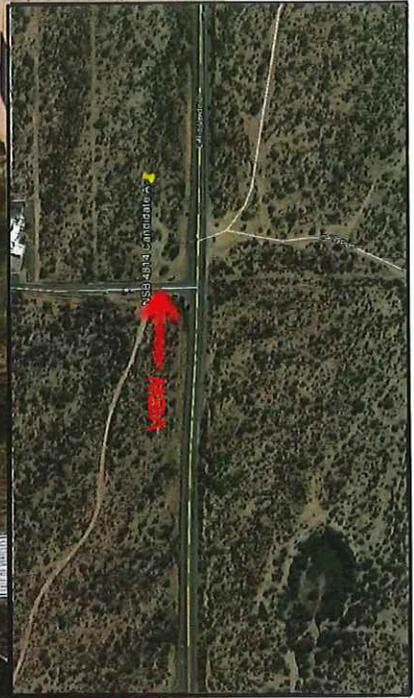
Access to the site will occur from 136th Street. AT&T will improve the access with gravel. Parking is provided adjacent to the ground equipment and would be accessed approximately one time per month.

IV. Compatibility

There is single family residential zoning north and northeast of the proposed location in Maricopa County with a designation of R-43. There are a mix of developed and undeveloped parcels. Northwest of 136th Street and Rio Verde Drive is City of Scottsdale preserve. The southwest corner of 136th Street and Rio Verde Drive was approved for resort residences in R-4R ESL. The land southeast of 136th Street and Rio Verde Drive is zoned R1-70 ESL, and currently undeveloped. The proposed facility utilizes the only existing verticality in the area while trying to minimize additional visual impact. The increased pole height is within the City of Scottsdale

established guidelines and attempts to maintain the size, height, and color of the other utility poles to the extent possible while providing the wireless services.

ATTACHMENT 4



VIEW ORIENTATION MAP

PREPARED FOR:
 BECHTEL INFRASTRUCTURE
AND POWER CORPORATION



EXISTING VIEW
LOOKING EAST

NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ

PREPARED 9/23/18 BY:





PREPARED 9/23/18 BY:



Clear Blue
Services
4814 S. 35TH ST.
PHOENIX, AZ 85040

**PROPOSED VIEW
LOOKING EAST**

NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ

PREPARED FOR:



VIEW ORIENTATION MAP



PREPARED 9/23/18 BY:



PREPARED FOR:



**EXISTING VIEW
LOOKING NORTH**

**NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ**



VIEW ORIENTATION MAP



PREPARED 9/23/18 BY:



Clear Blue
Services
4814 S. 35TH ST.
PHOENIX, AZ 85040

**PROPOSED VIEW
LOOKING NORTH**

**NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ**

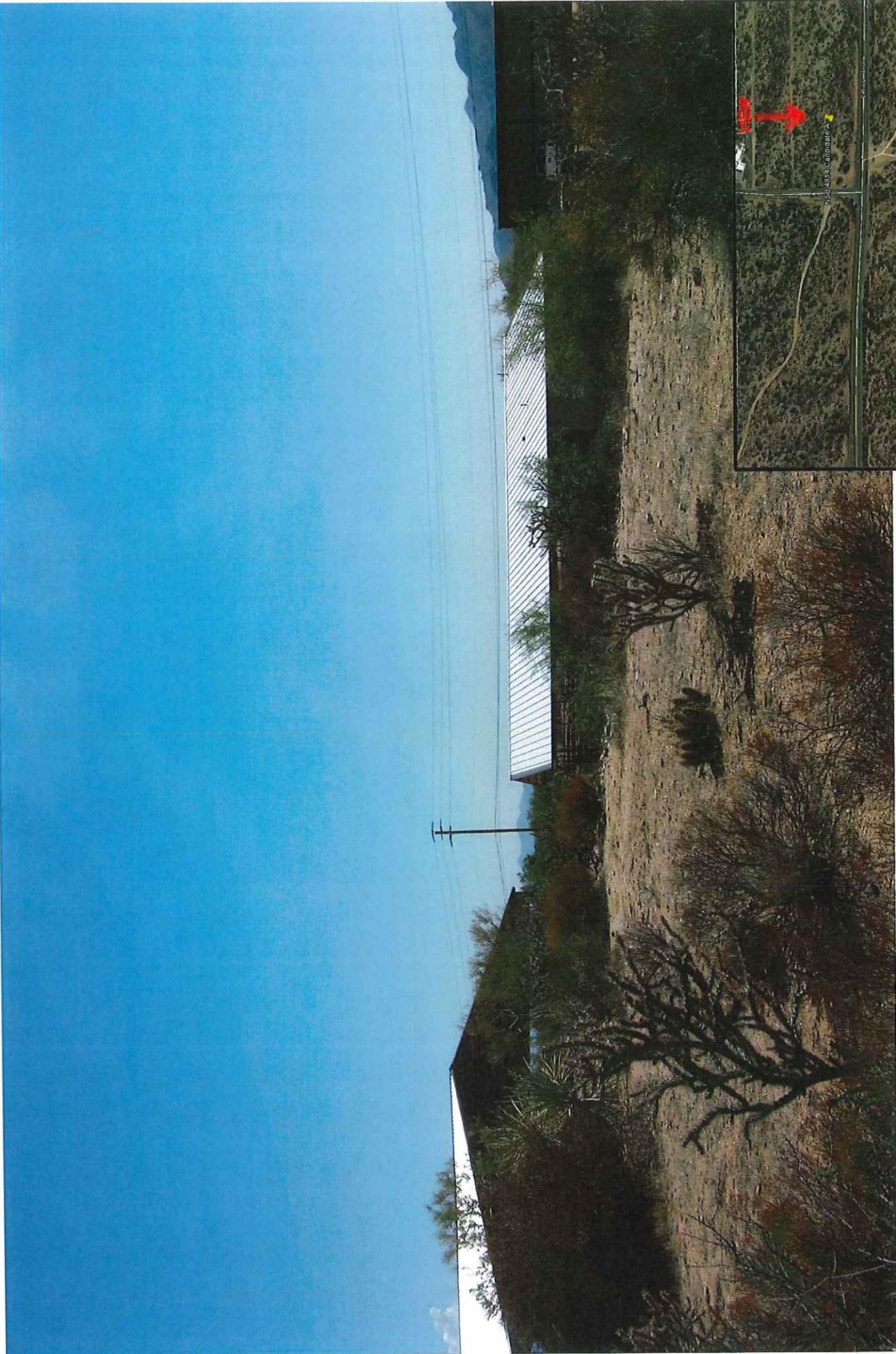
PREPARED FOR:



at&t



VIEW ORIENTATION MAP



PREPARED 9/23/18 BY:



Clear Blue
Services
4814 S. 35TH ST.
PHOENIX, AZ 85040

**EXISTING VIEW
LOOKING SOUTH**

NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ

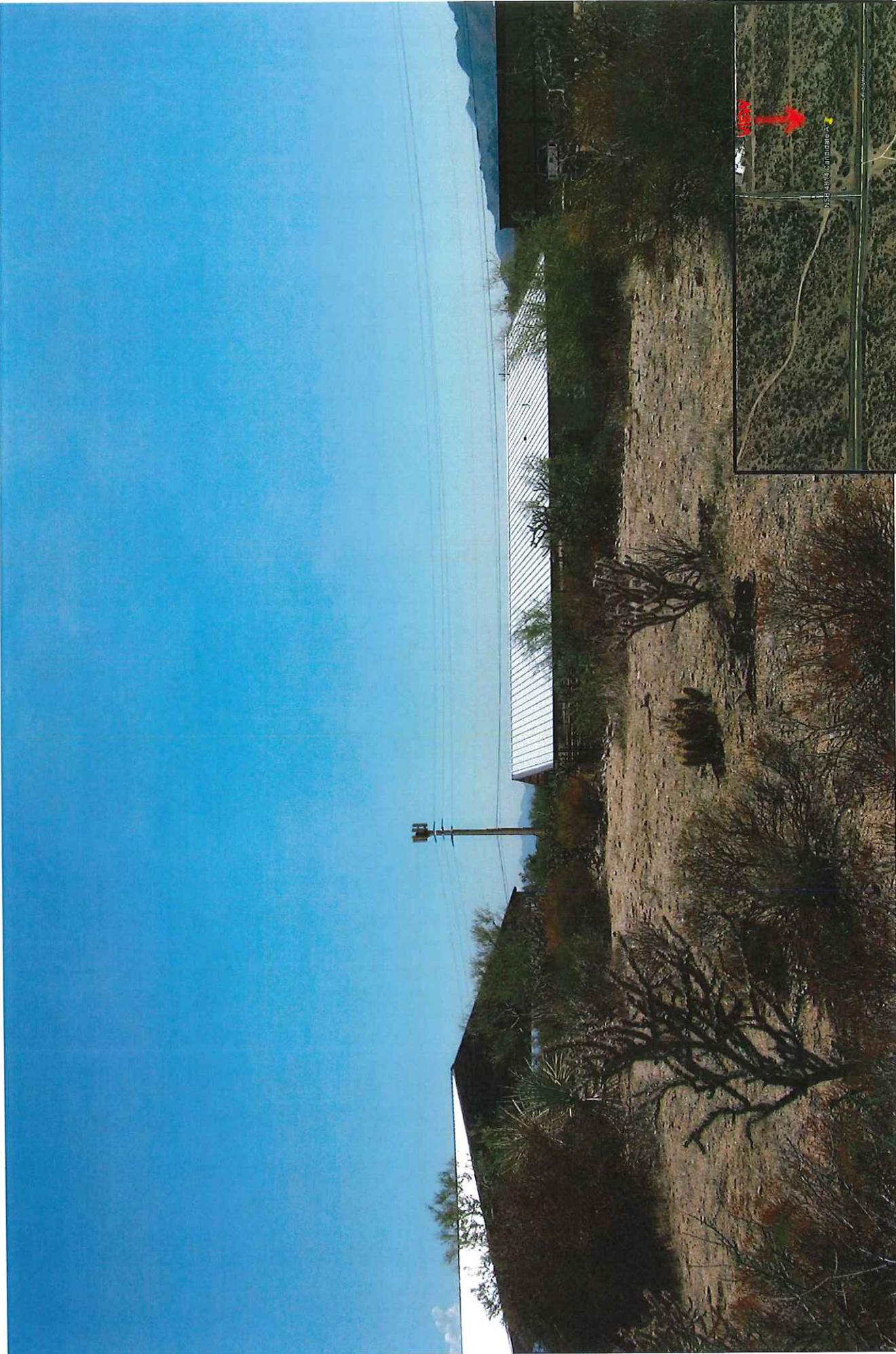
PREPARED FOR:



at&t



VIEW ORIENTATION MAP



PREPARED FOR:



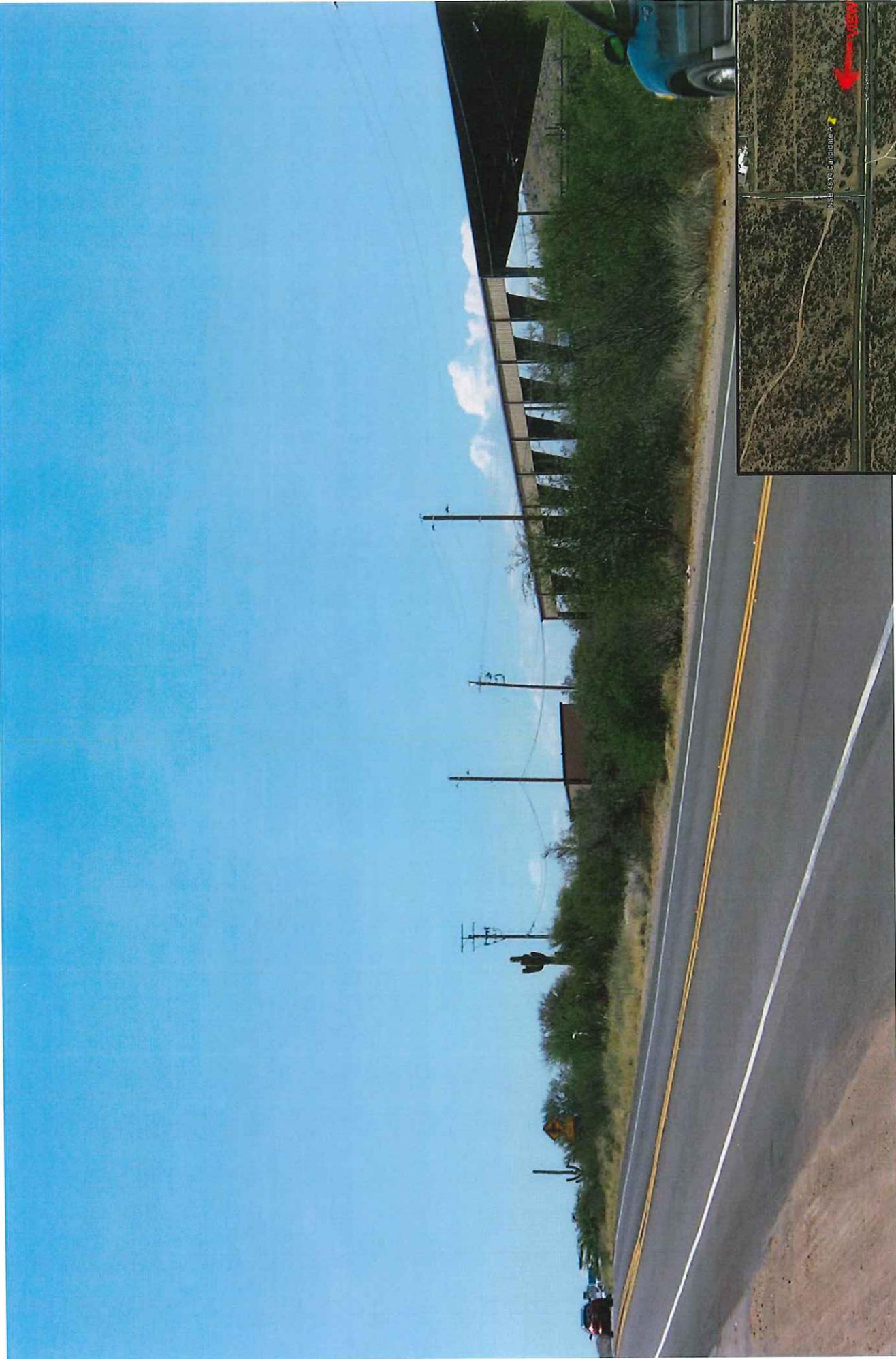
**PROPOSED VIEW
LOOKING SOUTH**

NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ

PREPARED 9/23/18 BY:



VIEW ORIENTATION MAP



PREPARED 9/23/18 BY:



Clear Blue

Services

4814 S. 35TH ST.
PHOENIX, AZ 85040

**EXISTING VIEW
LOOKING WEST**

NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ

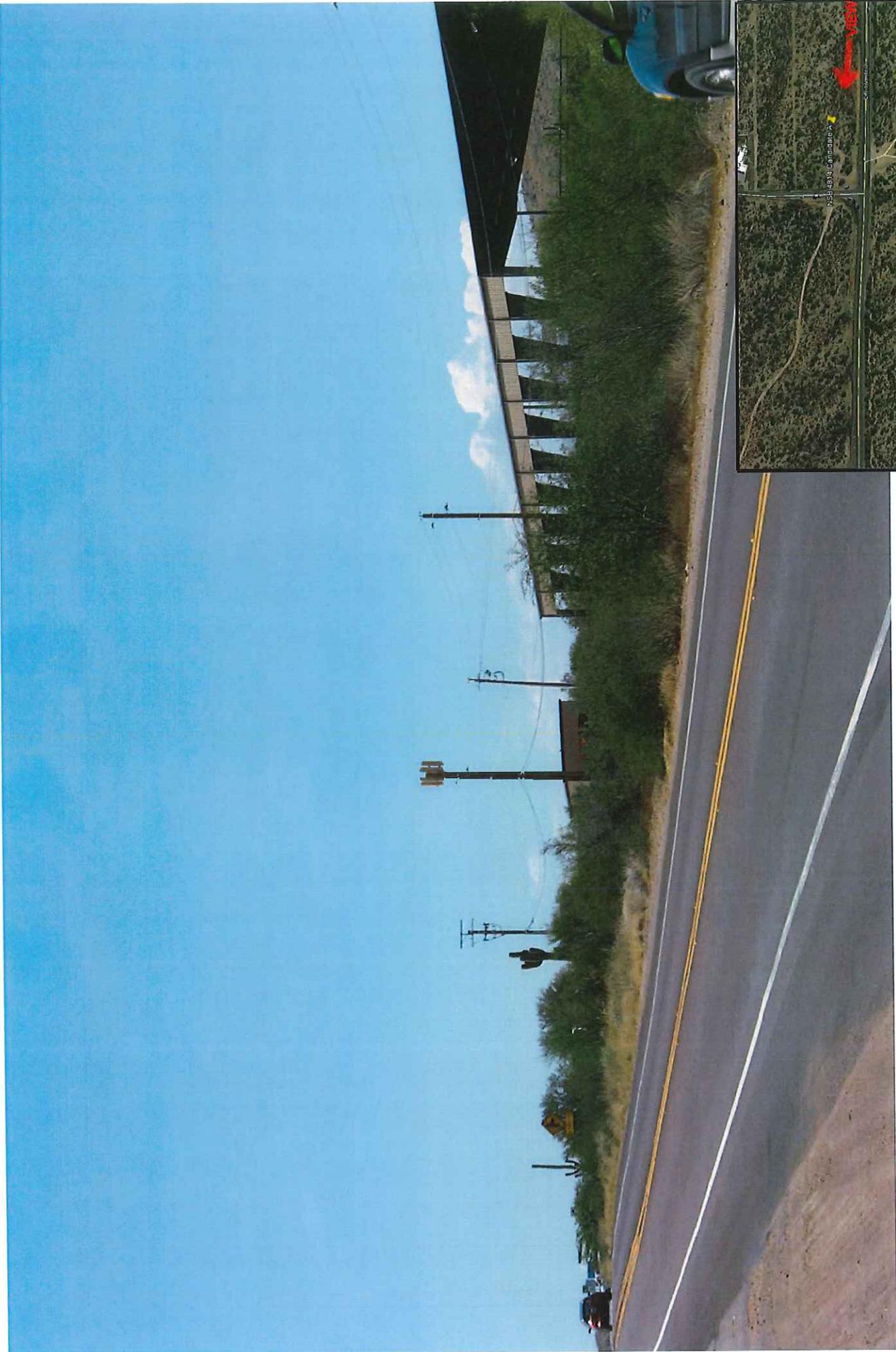
PREPARED FOR:



at&t



VIEW ORIENTATION MAP



PREPARED 9/23/18 BY:



**Clear Blue
Services**
4814 S. 35TH ST.
PHOENIX, AZ 85040

**PROPOSED VIEW
LOOKING WEST**

**NSB-4814
RIO VERDE RD.
SCOTTSDALE, AZ**

PREPARED FOR:



at&t



VIEW ORIENTATION MAP

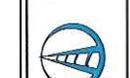


AT&T
1355 W. UNIVERSITY DRIVE
MESA, AZ 85201-5419

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS THE PROPERTY OF AT&T INTELLECTUAL PROPERTY. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED.



BECHTEL INFRASTRUCTURE
2070 W. PINNACLE PEAK RD., SUITE 1110
PHOENIX, AZ 85027
PHONE: (602) 262-3084



Clear Blue Services
PROVIDING CLEAR BLUE SOLUTIONS

PROJECT: NEW SITE BUILD
SITE NO.: AZ104814
SITE NAME: SRP
RIO VERDE-R.O.W.
FA CODE: 14341433
USID: 1193321
N.E. CORNER 1437TH ST.
& RIO VERDE RD.
SCOTTSDALE, AZ 85262

NO.	DATE	ZONING COMMENTS	S.D.	ES
1	08/21/18		S.D.	ES
2	08/27/18	ADD POLE DIAMETER	S.D.	ES
3	08/15/18	SRP & CLIENT CHANGES	S.D.	ES
4	07/13/18	SRP & CLIENT CHANGES	S.D.	TB
5	06/26/18	CLIENT CHANGE RFPS UPDATE	S.D.	TB
6	06/14/18	CLIENT CHANGE RFPS UPDATE	S.D.	TB
7	04/17/18	CLIENT CHANGE RFPS UPDATE	S.D.	TB
8	03/19/18	CLIENT CHANGE ANTENNAS	S.D.	TB

PROFESSIONAL SEAL



THE BOARD OF ENGINEERING AND SURVEYING HAS REVIEWED THIS DRAWING AND HAS DETERMINED THAT IT CONFORMS WITH THE REQUIREMENTS OF THE BOARD OF ENGINEERING AND SURVEYING. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIMSELF OR HERSELF.

EXPIRES 3-30-2019

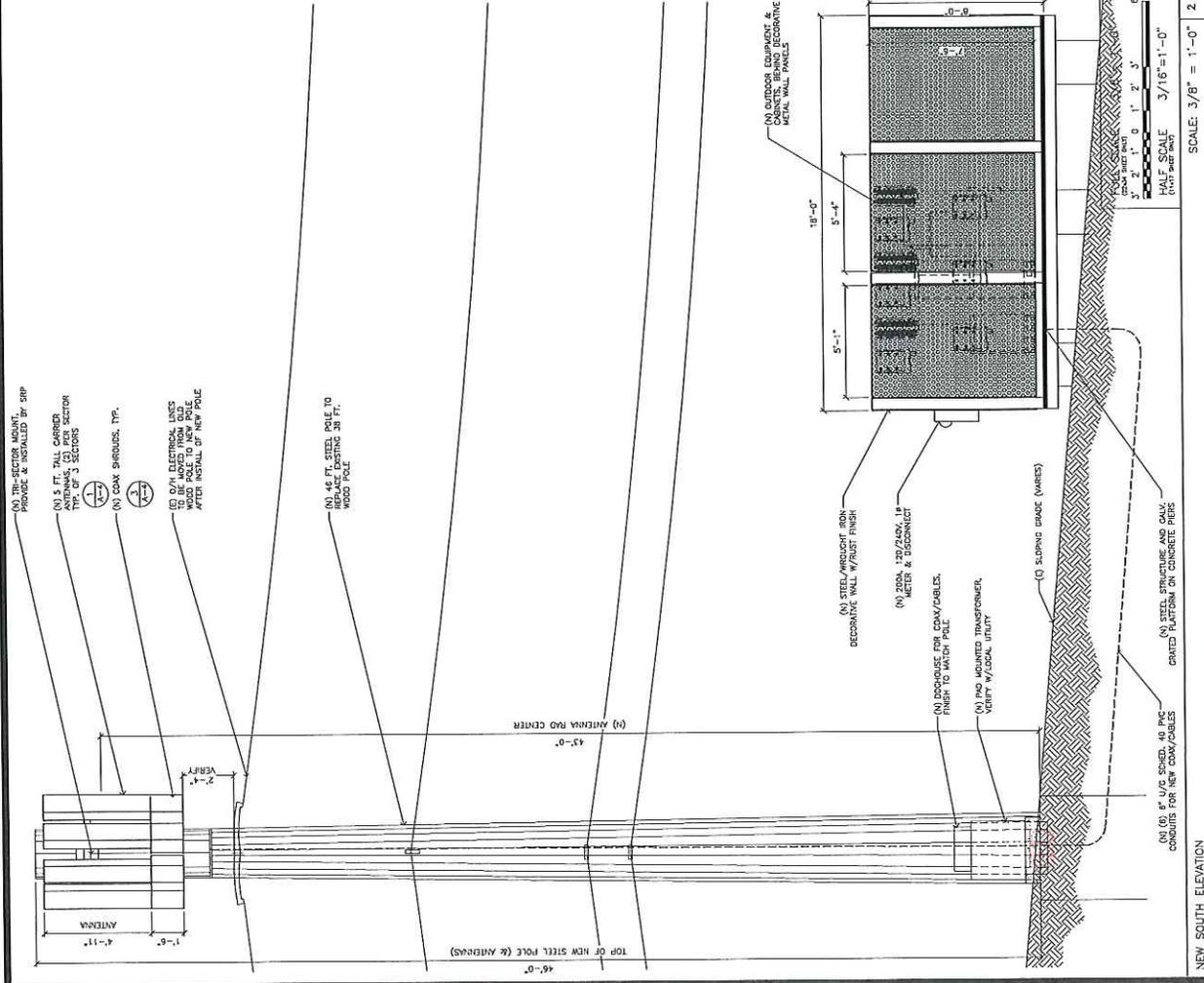
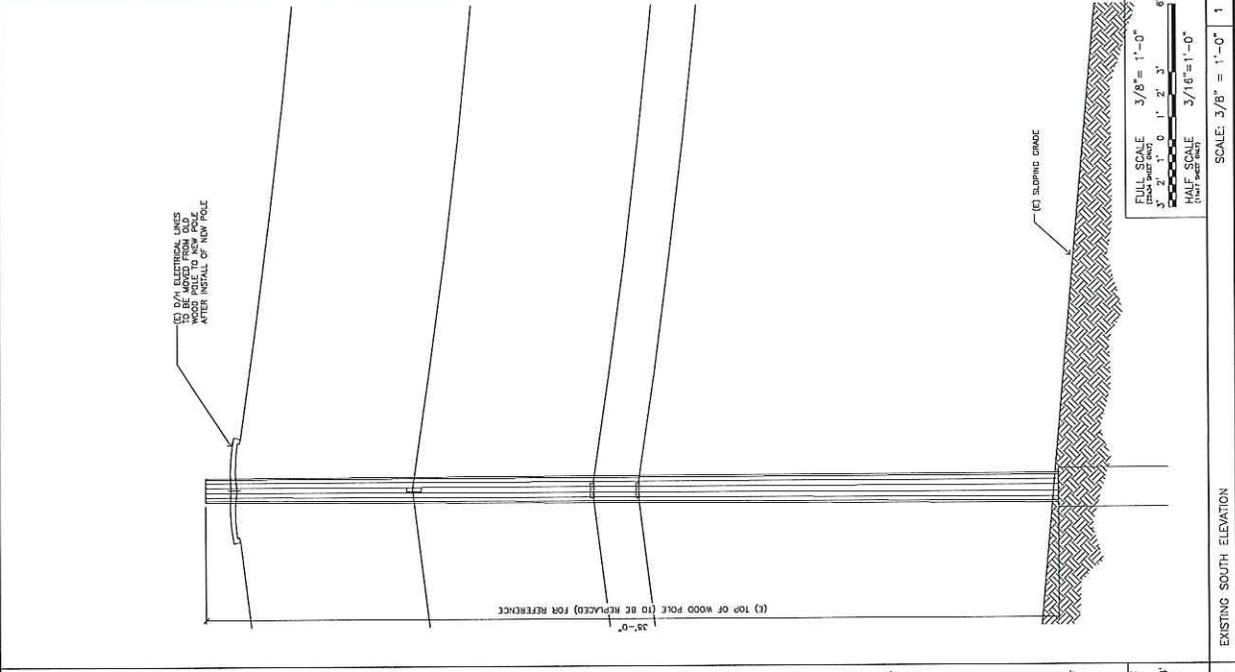
SDS

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-3



SCALE: 3/8" = 1'-0" 1 EXISTING SOUTH ELEVATION

SCALE: 3/8" = 1'-0" 2 NEW SOUTH ELEVATION



1355 W. UNIVERSITY DRIVE
MESA, AZ 85201-8419

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BECHTEL INFRASTRUCTURE AND POWER
3700 N. MARKET BLVD., SUITE 1110
PHOENIX, AZ 85277
PHONE: (602) 282-3084



Clear Blue Services
PHOENIX, ARIZONA 85008

PROJECT: NEW SITE BUILD
SITE NO.: AZ104814
SITE NAME: SRP
RIO VERDE-R.O.W.
FA CODE: 14341433
USID: 1193321
N.E. CORNER 137TH ST.
& RIO VERDE RD.
SCOTTSDALE, AZ 85262

NO.	DATE	ZONING COMMENTS	S.D.	ES
1	06/21/16		S.D.	ES
2	06/27/16	ADD POLE DIAMETER	S.D.	ES
3	06/15/16	SRP & CLIENT CHANGES	S.D.	ES
4	07/13/16	SRP & CLIENT CHANGES	S.D.	TB
5	06/26/16	CLIENT CHANGE RFB5 UPDATE	S.D.	TB
6	06/14/16	CLIENT CHANGE RFB5 UPDATE	S.D.	TB
7	04/17/16	CLIENT CHANGE RFB5 UPDATE	S.D.	TB
8	02/16/16	CLIENT CHANGE ANTENNAS	S.D.	TB

PROFESSIONAL SEAL



THE ENGINEER HAS MADE AN INSPECTION OF THE PROJECT AND HAS FOUND THAT THE PROJECT IS IN ACCORDANCE WITH THE CITY OF SCOTTSDALE ZONING ORDINANCES AND THE CITY OF SCOTTSDALE SUBDIVISION MAP. THE ENGINEER HAS NOT INSPECTED THE PROJECT FOR ANY OTHER REASON.

EXPIRES 9-30-2019

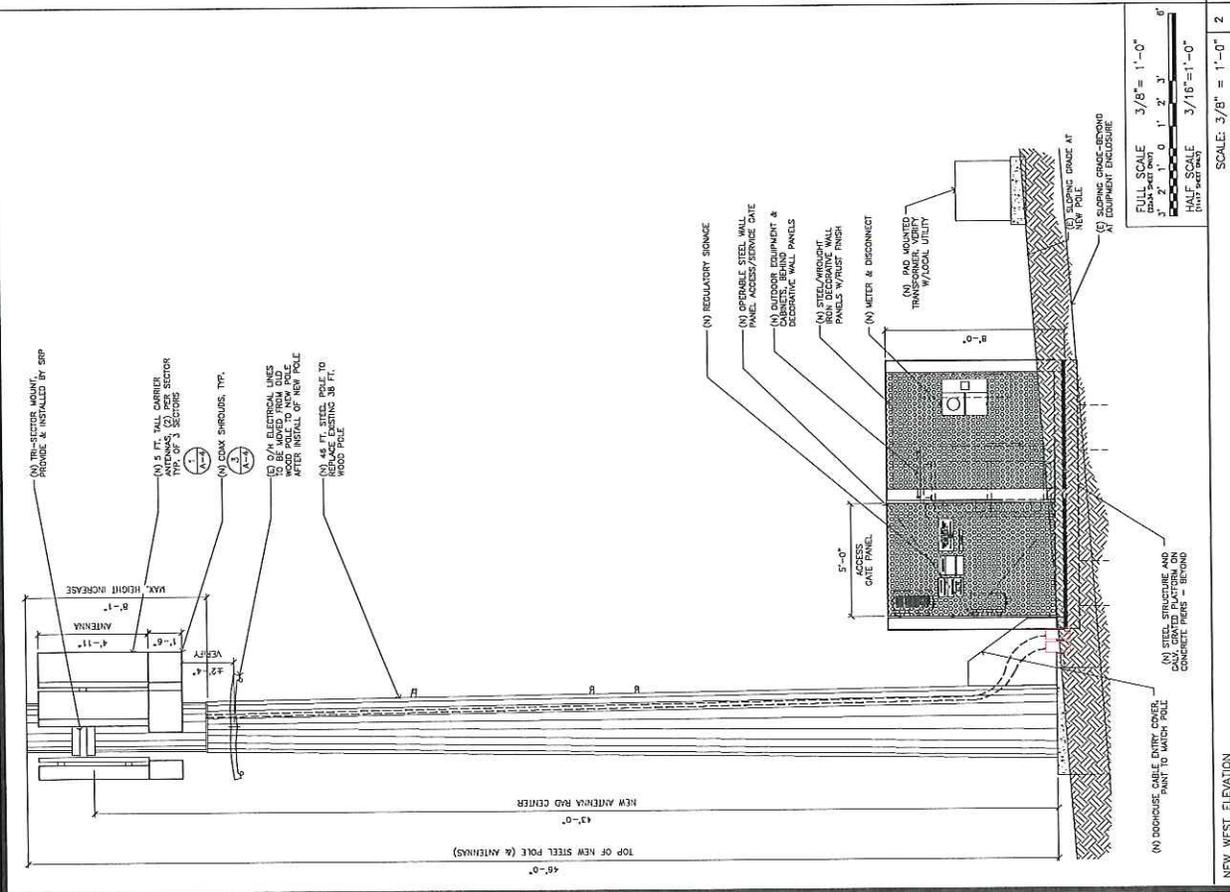
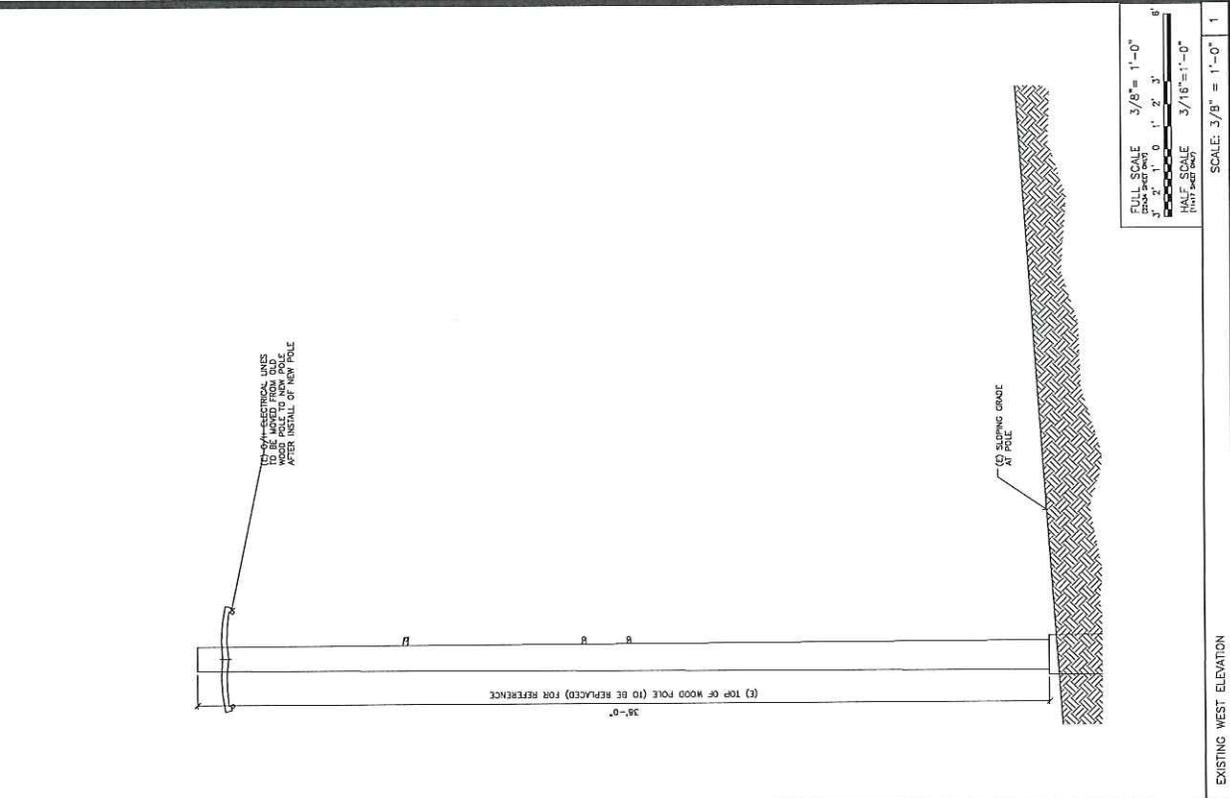
SIN

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-3.1





Salt River Project
Telecom Wireless
Mail Station ISB198
Phoenix, AZ 85072-2025

October 2, 2018

Reference: Notice for new AT&T wireless facility on utility pole

Dear Property Owner:

This letter is to inform you that Salt River Project "SRP", will be filing an application with the City of Scottsdale (Project Number 672-PA-2018) on behalf of AT&T to allow antennas attached to a utility pole. The wood pole will be replaced with a steel pole to support the equipment. The existing wood pole is located approximately 300 feet east of 136th Street on the north side of Rio Verde Drive in the City of Scottsdale's right-of-way.

The proposal is detailed in the drawings included for reference. The new pole is weathered steel and the collocated antennas and shrouds will be brown to match. AT&T's ground equipment will be concealed behind rustic steel solid screening. All equipment including SRP's pole is in the right-of-way.

If you have any questions or concerns regarding this project, please contact me directly at (602) 236-2844 or matthew.ludick@srpnet.com. You may also contact Keith Niederer with the City of Scottsdale Planning Department at (480) 312-7000 or kniederer@scottsdaleaz.gov. Please reference Project Number 672-PA-2018.

Respectfully,

Matthew Ludick
SRP Telecom
602-236-2844

Neighborhood Notification Report

Notification of adjacent properties was completed per the checklist requirements by City of Scottsdale. A list of adjacent property owners was generated (please see attached list). A letter was mailed to the addresses on October 2, 2018 informing recipients about the proposed project with a brief description, site plan, and contact information for additional information and/or feedback. No comments or feedback has been received as of November 1, 2018.

Please see attached items to complete this Neighborhood Notification report:

- a map showing mailing area
- list of owners for mailing
- copy of letter and site plan mailed

POSTCARD DATE: NOVEMBER 20, 2018

KEEPING YOU INFORMED



Site Location:

NE Corner of 136th Street & Rio Verde Drive

Case Name:

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE

Case Number: 51-DR-2018

**Dear Property Owner:
Case Objective***

• **New wireless communication facility (WCF)**

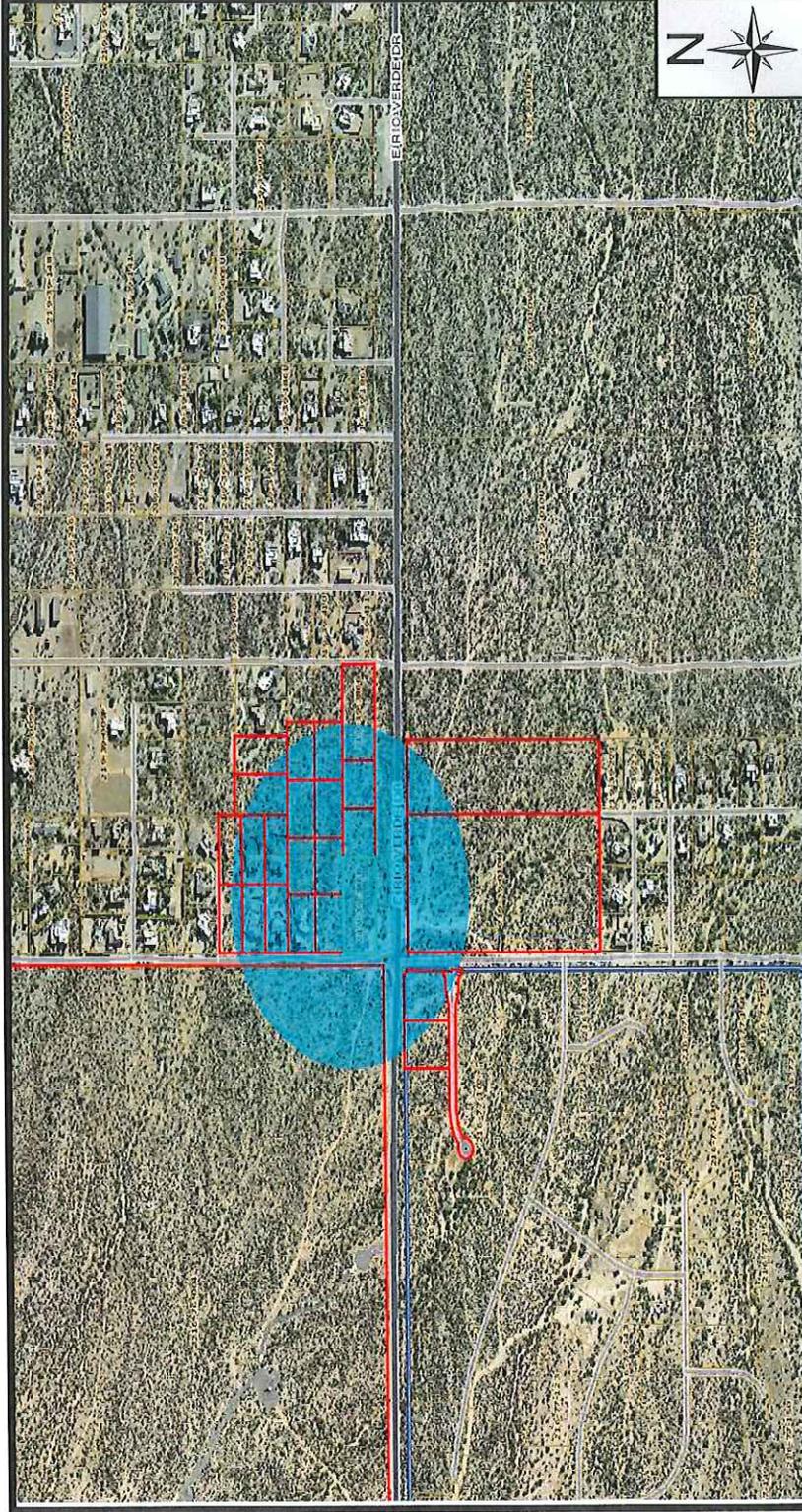
This is to inform you of a request approval for a new wireless communication facility (WCF) co-located on top of a replacement utility pole within the public right-of-way along the north side of E. Rio Verde Drive east of N. 136th Street with associated screened ground mounted equipment.

Applicant contact: Matthew Ludick, 602-236-2844
City contact: Keith Niederer, 480-312-2953

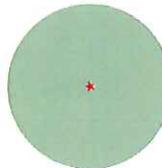
*For more information enter case number at:
<https://eservices.scottsdaleaz.gov/bldgresources/Cases>
or to comment, e-mail **projectinput@scottsdaleaz.gov**. The entire case file may be viewed at Current Planning, 7447 E Indian School Road, Suite 105

Scottsdale P & Z Link - An email bulletin to keep residents and merchants informed about upcoming projects.
Subscribe at <https://eservices.scottsdaleaz.gov/listserve/default.asp>

City Notifications – Mailing List Selection Map



Map Legend:

-  Site Boundary
-  Properties within 750-foot

Pulled Labels
November 06, 2018

- Additional Notifications:**
- Interested Parties List
 - Adjacent HOA's
 - P&Z E-Newsletter
 - Facebook
 - Twitter
 - Nextdoor.com
 - City Website-Projects in the hearing process

Postcards: 95

51-DR-2018