

Case Research

Pre-Application Request



Purpose:

The purpose of the Pre-Application submittal, and meeting, is for the applicant and city staff to discuss a proposed Development Application, and the information and process that is necessary for city staff to process the proposal.

In accordance with the Zoning Ordinance, no development application shall be accepted before a Pre-Application has been submitted, and a Pre-Application meeting has been conducted with city staff, unless the Pre-Application meeting has been waived by the Zoning Administrator.

Submittal:

The completed Pre-Application Request form, all required materials and fees should be submitted in person to the One-Stop-Shop located at 7447 East Indian School Road; or, may they be submitted digitally at following website:

<https://eservices.scottsdaleaz.gov/eServices/PreApp/Introduction>

All checks shall be payable to "City of Scottsdale."

Scheduling

After the Pre-Application submittal has been accepted at the One-Stop-Shop, a staff member will contact the Applicant within five (5) Staff Working Days to schedule a Pre-Application meeting with the assigned staff member(s). Generally, a Pre-Application meeting is scheduled within five (5) to fifteen (15) Staff Working Days from the date of the submittal.

Project Name: <u>Raise existing wall</u>			
Property's Address: <u>4716 E Cholla ST</u>		APN: _____	
Property's Zoning District Designation: _____			
Property Details:			
☒ Single-Family Residential ☐ Multi-Family Residential ☐ Commercial ☐ Industrial ☐ Other			
Has a 'Notice of Compliance' been issued? ☐ Yes ☒ No If yes, provide a copy with this submittal			
Owner: <u>Shirley Pontious</u>		Applicant: <u>Shirley Pontious</u>	
Company: _____		Company: _____	
Address: <u>4716 E Cholla ST</u>		Address: <u>same</u>	
Phone: <u>602-777-0766</u> Fax: _____		Phone: <u>same</u> Fax: _____	
E-mail: <u>S Pontious 39 @ hotmail.com</u>		E-mail: <u>same</u>	
<u>Shirley Pontious</u> Owner Signature		<u>Shirley Pontious</u> Applicant Signature	
Official Use Only	Submittal Date: <u>2/22/19</u>	Application No.: <u>#163</u>	<u>2019</u> <u>DM</u>
Project Coordinator: _____			

Planning and Development Services

7447 E Indian School Road Suite 105, Scottsdale, Arizona 85251 • www.ScottsdaleAZ.gov

Pre-Application Request



Development Application Type:

Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Land Divisions
☐ Rezoning (ZN)	☐ Development Review (Major) (DR)	☐ Subdivision (PP)
☐ In-fill Incentive (II)	☐ Development Review (Minor) (SA)	☐ Subdivision (Minor) (MD)
☐ Conditional Use Permit (UP)	☐ Wash Modification (WM)	☐ Land Assemblage
☐ Text Amendment (TA)	☐ Historic Property (HP)	Other
Exceptions to the Zoning Ordinance	Wireless Communication Facilities	☐ General Plan Amendment (GP)
☐ Minor Amendment (MN)	☐ Small Wireless Facilities (SW)	☐ In-Lieu Parking (IP)
☐ Hardship Exemption (HE)	☐ Type 2 WCF DR Review Minor (SA)	☐ Abandonment (AB)
☒ Variance/Accommodation/Appeal (BA)	Signs	☐ Care Home (AC)
☐ Special Exception (SX)	☐ Master Sign Program (MS)	☐ Single-Family Residential
	☐ Community Sign District (MS)	☐ Other:

Submittal Requirements: (fees subject to change every July)

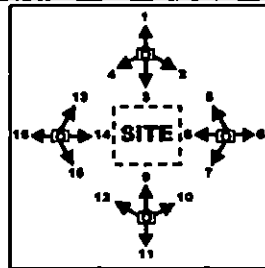
☒ Pre-Application Fee: \$ 90
(No fees are charged for Historic Preservation (HP) properties.)

☐ Records Packet Fee: \$ _____
Processed by staff. The applicant need not visit the Records desk to obtain the packet.
(Only required when requested by Staff)

☒ Application Narrative:
The narrative shall describe the purpose of the request, and all pertinent information related to the request, such as, but not limited to, site circulation, parking and design, drainage, architecture, proposed land use, and lot design.

☐ Property Owner Authorization Required
(Required for the SA and MS Pre-Applications)

- ☐ Site / Context Photographs
- Provide color photographs showing the site and the surrounding properties. Use the guidelines below for photos.
 - Photos shall be taken looking in towards the project site and adjacent to the site.
 - Photos should show adjacent improvements and existing on-site conditions.
 - Each photograph shall include a number and direction.
 - Sites greater than 500 ft. in length, also take the photo locations shown in the dashed lines.
 - Photos shall be provided 8 1/2 x 11 paper, max. two per page.



☐ Other

- The following list of Additional Submittal Information is not required for a Pre-Application meeting, unless indicated below by staff prior to the submittal of this request.
- Applicants are advised to provide any additional information listed below. This will assist staff to provide the applicant with direction regarding an application.

Additional Submittal Information

- ☐ Site Plan
- ☐ Subdivision plan
- ☐ Floor Plans
- ☐ Elevations
- ☐ Landscape plans
- ☐ H.O.A. Approval letter
- ☐ Sign Criteria Regulations & Language
- ☐ Material Samples – color chips, awning fabric, etc.
- ☐ Cross Sections – for all cuts and fills
- ☐ Conceptual Grading & Drainage Plan
- ☐ Exterior Lighting – provide cut sheets, details and photometrics for any proposed exterior lighting.
- ☐ Boundary Survey (required for minor land divisions)
- ☐ Aerial of property that includes property lines and highlighted area abandonment request.
- ☐ One copy of the recorded document for the area that is requested to be abandoned. Such as: subdivision plat, map of dedication, GLO (General Land Office) federal patent roadway easement, or separate dedication document. A copy of most recorded documents to be abandoned may be purchased at the City of Scottsdale Records Dept. (480-312-2356), or the Maricopa County Recorder's Office (602-506-3535). A copy of the General Land Office (GLO) federal patent roadway easement may be purchased from the Bureau of Land Management (602-417-9200).

Planning and Development Services

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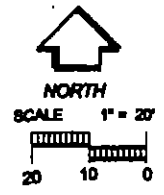
my name is Shirley Pontious I'm the
new owner at 9716 E Cholla St Scottsdale.

I'm requesting a zoning variance to
raise the existing wall in my back
yard. I have ~~no privacy~~ privacy
when people walk by & car's drive
by they are always looking in the
yard. Most of the home on the
block all have wall that you can't
look into there yards.

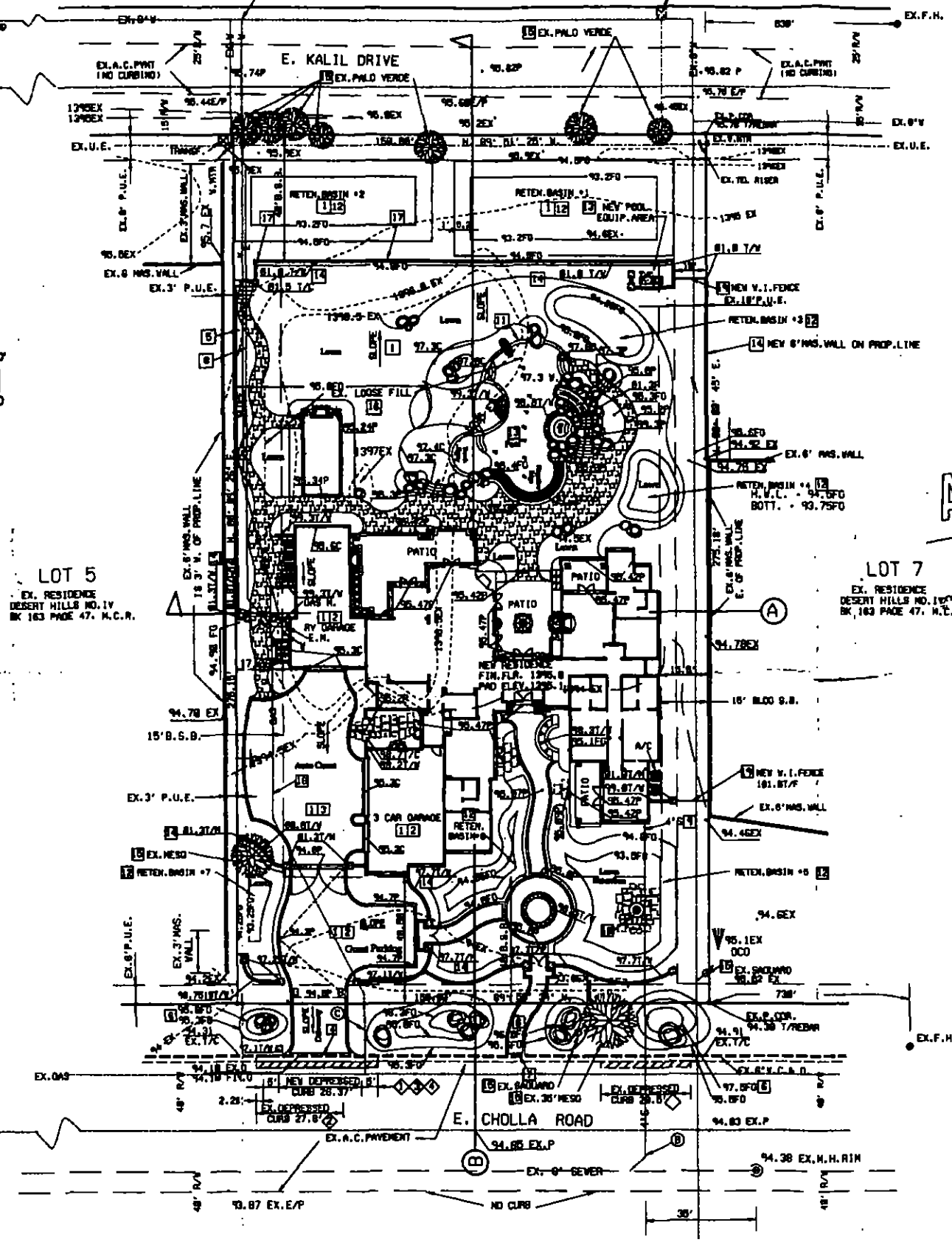
I want to thank you for your help
and cooperation with this issue.
My neighbor is OK with me doing this.
the form has been filed out, but I
left it at and will bring it when I
come back. thank you again for
your help.

Regards,

Shirley Pontious



LOT 5
EX. RESIDENCE
DESERT HILLS NO. 1V
BK 163 PAGE 47, M.C.R.



RESIDENTIAL SITE PLAN
APPROVED
BY THE CITY OF SCOTTSDALE PROJECT REVIEW
5761-10
CASE NUMBER
2/1/11
DATE
PLANNING
96
ENGINEERING

LOT 7
EX. RESIDENCE
DESERT HILLS NO. 1V
BK 163 PAGE 47, M.C.R.

NOTE: NO NATIVE PLANTS WILL BE DISTURBED.

OFFSITE UTILITY NOTES

- 1. INSTALL A 3/4" WATER SERVICE TAP IN THE EXISTING WATER MAIN FOR THE NEW WATER SERVICE TO THE NEW RESIDENCE AFTER OBTAINING A PERMIT FROM THE CITY OF SCOTTSDALE. SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY FOR THE UTILITY TRENCH TO CROSS THE STREET. INSTALL A NEW WATER METER BOX IN THE UTILITY EASEMENT AT THE LOCATION SHOWN. THE CITY OF SCOTTSDALE SHALL INSTALL A NEW 1" WATER METER AFTER PAYMENT OF THE REQUIRED FEES.
- 2. INSTALL A NEW 4" SANITARY SEWER SERVICE TAP IN THE EXISTING 8" SEWER MAIN FOR THE NEW RESIDENCE. SAWCUT AND REMOVE EXISTING PAVEMENT AS NECESSARY. IN THE TRENCH AND REPAIR THE STREET PER C.O.S. STANDARDS. THE CITY OF SCOTTSDALE WILL REQUIRE A PERMIT AND A FEE PAYMENT PRIOR TO THIS WORK BEING STARTED. THE SEWER TAP SHALL BE EXTENDED TO THE NORTH SIDE OF THE EXISTING PUBLIC UTILITY EASEMENT.
- 3. THE GAS COMPANY SHALL INSTALL A NEW 3/4" GAS FOR THE RESIDENCE AT THE LOCATION SHOWN AFTER PROPER NOTIFICATION AND POSSIBLE PAYMENT OF A PERMIT. THE GAS COMPANY WILL ROUTE THE NEW GAS LINE FROM THE NEW TAP INTO THE PROPERTY AND INSTALL A NEW GAS METER. THE BUILDING PLUMBER WILL INSTALL THE GAS LINE FROM THE NEW GAS METER TO THE BUILDING GAS CONNECTION.

PUBLIC STREET CONSTRUCTION NOTES

- 1. SAWCUT AND REMOVE THE EXISTING DEPRESSED CURB, TAPERED CURB AND VERTICAL CURB FOR THE NEW DRIVEWAY RELOCATION. ALSO SAWCUT AND REMOVE A TWO FEET WIDE STRIP OF THE EXISTING A.C. PAVEMENT IN THE STREET ADJACENT TO THE ABOVE CURB REMOVALS.
- 2. SAWCUT AND REMOVE THE EXISTING DEPRESSED CURB AND TAPERED CURB. ALSO REMOVE A TWO FEET WIDE STRIP OF THE EXISTING A.C. PAVEMENT IN THE STREET ADJACENT TO THOSE CURB REMOVALS. INSTALL NEW 6" HIGH VERTICAL CURB AND CUTTER PER MCD STD DTL 228 TYPE A FOR THE FULL LENGTH OF THOSE CURB REMOVALS. MATCH THE EXISTING TOP OF CURB AND CUTTER ELEVATIONS AT EACH END OF THE NEW CURBING. ALSO REINSTALL THE TWO FEET WIDE STRIP OF THE A.C. PAVEMENT IN THE STREET PER THE C.O.S. STANDARDS ON PUBLIC RIGHT OF WAY A.B.C. AND PAVEMENT THICKNESSES, MATCHING THE TOP OF THE EXISTING ADJACENT ASPHALT STREET PAVEMENT.
- 3. INSTALL NEW 6" VERTICAL CURB AND CUTTER PER MCD STD DTL 220 TYPE A FOR THE LENGTH OF THE DEPRESSED CURB REMOVAL WHERE NO NEW DRIVEWAY WILL BE INSTALLED. ALSO REINSTALL THE TWO FEET WIDE STRIP OF THE A.C. PAVEMENT IN THE STREET PER THE C.O.S. STANDARDS FOR PUBLIC RIGHT OF WAY A.B.C. AND PAVEMENT THICKNESSES, MATCHING THE TOP OF THE EXISTING ADJACENT ASPHALT STREET PAVEMENT.
- 4. INSTALL A NEW RESIDENTIAL DRIVEWAY ENTRANCE TO MATCH THE DIMENSIONS SHOWN. DEPRESS THE NEW CURB FOR THE WIDTH SHOWN AND TAPER THE ADJACENT CURB EACH SIDE UP TO MATCH THE TOP OF THE ADJACENT VERTICAL CURB.

- 1. SCARIFY THE FINAL SUBGRADE DOWN TO A MINIMUM DEPTH OF 8" AND RECOMPACT TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT. IN FILL AREAS, AFTER CLEARING AND GRUBBING, SCARIFY THE SUBGRADE DOWN TO A DEPTH OF 8" AND RECOMPACT AS INDICATED ABOVE PRIOR TO ADDING ANY FILL. ALL FILL SHALL BE PLACED IN VERTICAL LIFTS NOT EXCEEDING 8" AND THE FILL MATERIAL SHALL BE COMPACTED AS INDICATED ABOVE. LAWN AREAS MAY BE FILLED AS NECESSARY TO ACHIEVE FINAL SUBGRADE, ALTHOUGH COMPACTION DENSITY NEED NOT BE ONLY 95% MINIMUM.
- 2. INSTALL A 4" THICK CONCRETE SLAB OVER A 4" THICKNESS OF ACCORDATE BASE COURSE OVER COMPACTED SUBGRADE.
- 3. INSTALL A DRIVEWAY APRON, PATIO OR SIDEWALK USING BRICK PAVERS OR 4" THICK CONCRETE OVER A MINIMUM OF 8" OF COMPACTED SUBGRADE PER NOTE 1 ABOVE. SEE LANDSCAPE PLANS FOR TYPE OF PAVEMENT MATERIALS IF CONCRETE IS NOT USED. SEE ARCHITECTURAL PLANS FOR CONCRETE FINISH.
- 4. THE NEW DRIVEWAY SHALL MATCH THE TOP OF THE NEW LIP OF THE DEPRESSED CURB.
- 5. INSTALL A NEW 1" WATER SERVICE LINE FROM THE NEW WATER METER TO THE RESIDENCE AT THE LOCATION SHOWN. THE SERVICE LINE MAY BE FIELD ROUTED AS NECESSARY.
- 6. CREATE RAISED BOUNDS AT THE CONTOUR ELEVATIONS SHOWN AS PER THE APPROVED LANDSCAPE PLANS. THE NEW SIDEWALK SHALL MATCH THE ELEVATION OF THE EXISTING TOP OF CURB.
- 7. INSTALL NEW UNDERGROUND ELECTRICAL, TELEPHONE AND CABLE SERVICES TO THE NEW RESIDENCE FROM THE EXISTING ADJACENT OFFSITE UTILITIES.
- 8. INSTALL A NEW 4" DIAMETER SANITARY SEWER LATERAL PER THE UNIFORM PLUMBING CODE TO THE NEW RESIDENCE FROM THE NEW TAP AT THE PROPERTY LINE.
- 9. WATER FEATURES SHOWN SHALL BE INSTALLED BY OTHERS INDEPENDENT OF THE DRAINING WORK. WHERE NECESSARY A SEPARATE PERMIT WILL BE REQUIRED FROM THE CITY OF SCOTTSDALE.
- 10. INSTALL A RETAINING WALL AT THE LOCATION AND HEIGHT SHOWN. SEE THE STRUCTURAL DETAILS FOR THE WALL AND FOOTING DESIGN. SEE ARCH. PLANS FOR WALL FINISH AND COLOR.
- 11. CREATE A RETENTION BASIN AT THE LOCATION AND CONTOURS SHOWN. THE SIDE SLOPE SHALL BE AT A 4:1 SLOPE. IF THE BASIN ARE TO BE GRASSED OR HAVE A FINISH COURSE ON THEM, THE BOTTOM OF THE BASIN AND THE SIDE SLOPES SHALL BE OVERENCAVATED TO PROVIDE ADDITIONAL DEPTH.
- 12. THE POOL, SPA AND POOL BARRIERS SHALL ONLY BE INSTALLED UNDER A SEPARATE PERMIT FROM THE CITY OF SCOTTSDALE. NO WORK ON THE POOL OR ITS COMPONENTS IS COVERED BY THIS CIVIL PLAN.
- 13. INSTALL A NEW MASONRY SCREEN WALL AT THE LOCATION AND HEIGHT SHOWN. SEE THE STRUCTURAL PLANS FOR WALL & FOOTING SPECIFICATIONS.
- 14. SEE THE LANDSCAPING PLAN FOR THE STATUS OF THE EXISTING TREES ON THE SITE. ALSO SEE THE LANDSCAPING PLANS FOR THE TYPE, LOCATION AND INSTALLATION OF ALL THE NEW TREES, SHRUBS AND THEIR SPRINKLING SYSTEMS.
- 15. THE EXISTING LOOSE FILL ON THE SITE MAY BE USED TO CREATE THE LANDSCAPE BERMS OR MOUNDING. IT CAN ONLY BE USED AS FILL UNDER THE BUILDING, DRIVEWAY OR PAVED AREAS IF IT IS MOISTURED AND COMPACTED AS PER NOTE 1 ABOVE.
- 16. INSTALL TWO 8" X 16" MASONRY BLOCKS ON THEIR SIDES END TO END AT 20 FEET ON CENTER PLACED WITH THE WEED OPENING AT FINISH GRADE FOR DRAINAGE.
- 17. LOCATION OF THE NEW GAS LINE FOR THE RESIDENCE. SEE NOTE 'C' OF OFFSITE UTILITY NOTES.
- 18. INSTALL A NEW 6" HIGH REMOVABLE WOODEN FENCE BETWEEN THE TWO MASONRY WALLS.

DATE	REVISIONS

SURFACE ENGINEERING CO.
1646 E. RIVINGTON DRIVE PHOENIX, AZ 85024
PH: (602) 717-2135 EMAIL: DONSURFACE@MSN.COM

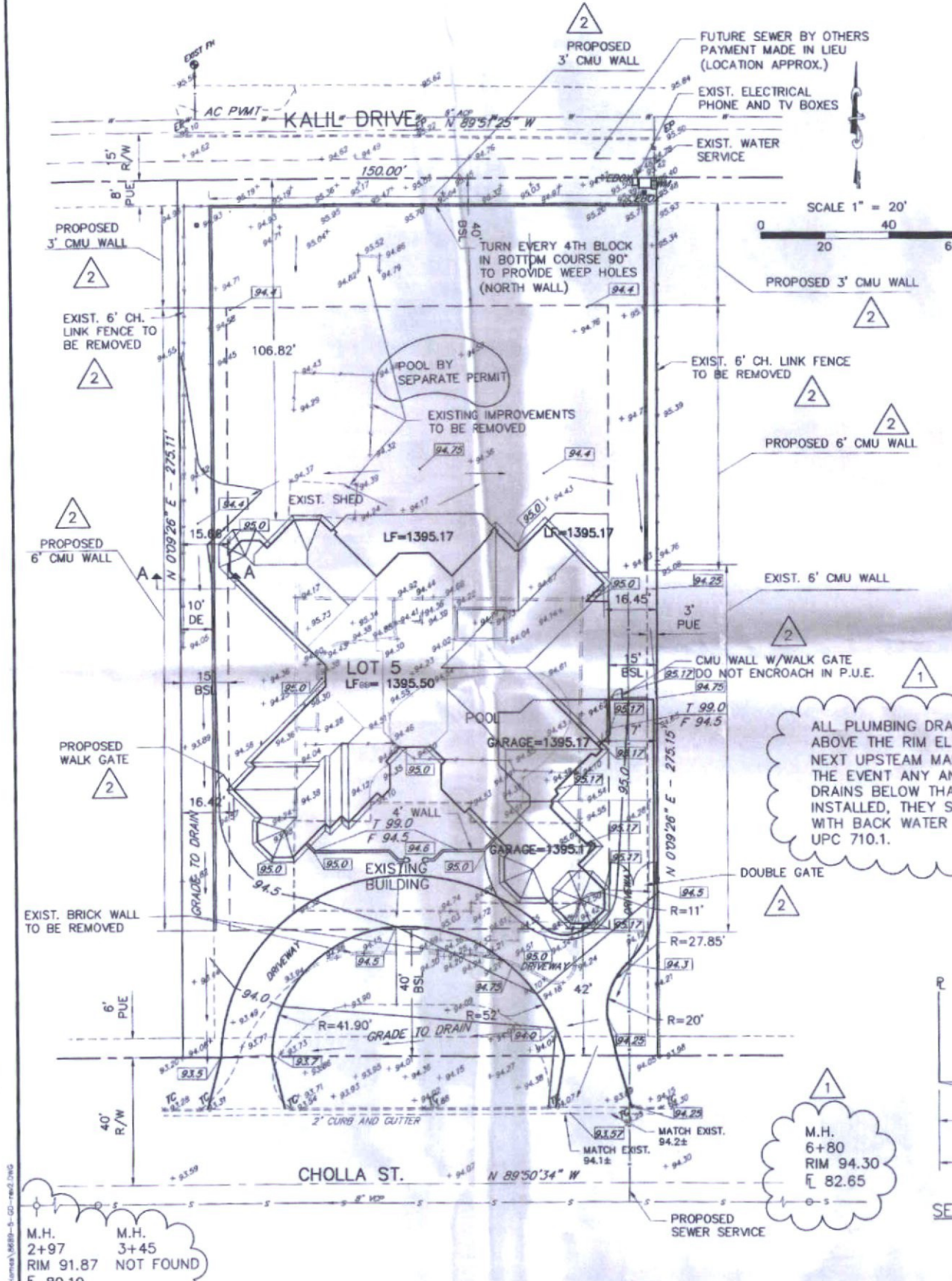


TOPOGRAPHIC & UTILITY SURVEY
LOT 6
DESERT HILLS NO. IV
SCOTTSDALE, AZ



G2 OF 2
SHEET

5769-10



LEGEND:

- PROPERTY LINE
- EASEMENT
- WATER LINE
- SEWER LINE
- EXIST CONC
- SPOT ELEVATION
- EXIST. FENCE
- PROPOSED DRIVEWAY
- DRAINAGE PATTERN
- FINISH CONTOUR
- FINISH GRADE EL 1395.0

LEGAL DESCRIPTION

LOT 5, DESERT HILLS IV, AS RECORDED IN BOOK 163 PAGE 47, MARICOPA COUNTY RECORDER, MARICOPA COUNTY, ARIZONA.

SITE ADDRESS

9704 E. CHOLLA DR. SCOTTSDALE, AZ 85260

PROJECT DATA

ZONING R1-35 LOT AREA 41,269 SQ.FT.

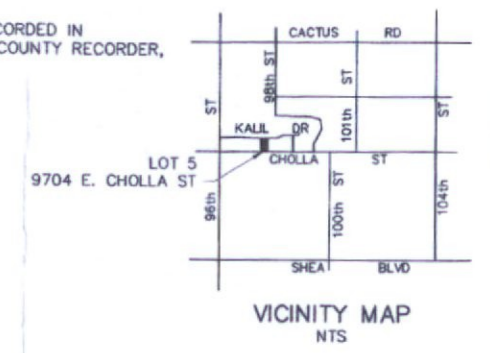
OWNER

RAJNIKANT PATEL 16429 N. 99th PL SCOTTSDALE, AZ 85260 TEL: 480-694-0764

DESIGNER

CANTERBURY LUXURY HOMES 16429 N. 99th PL SCOTTSDALE, AZ 85260 TEL: 480-694-0764 FAX: 480-694-2484

BENCH MARK: (COS PUBLISHED BM) GPS# 8193. AT THE INTERSECTION OF 96th ST AND CHOLLA ST. BRASS CAP FLUSH. NAVD '88 ELEV 1393.023'.



11-971

GENERAL NOTES

1. All products listed by ICC/UL/E, number(s) shall be installed per the report and manufacturer's written instructions. Product substitution(s) for product(s) listed shall also have an ICC approved evaluation report(s) or be approved.

2. Exterior wall, balcony or patio, shall be pressure treated or equal, and shall be installed minimum 6 inches above finished grade. (2319.1.1).

3. Provide the protection sprinker system. (R302.2 as Amended).

4. Miscellaneous site structures, pool, spa, fences, site walls, retaining walls and gas storage tanks require separate permits.

5. All walls to be erected from the inside without the use of a key or special knowledge.

6. Doors leading into house from garage shall be self-closing, self-latching, (203.4.1) and (203.4.2).

7. Exterior wall penetrations by pipes, ducts or conduits shall be sealed. (203.4.4)

8. Provide roof attic ventilation unless insulation is applied directly to underside of roof sheathing or the dimension is 24 inches or less between the ceiling and bottom of roof sheathing. (R301.1) And

9. Energy compliance shall be demonstrated by passing R2check energy compliance software with a score of least 133 above the R2C (M101.2) extended.

10. Lumber shall bear an approved grading stamp (R302.1).

11. Provide engineered truss designs for all prefabricated trusses for review and approved by the City of Scottsdale. (R302.3.1).

12. The blocking shall comply with (R302.3.2).

13. Windows located more than 72" above finished grade shall have the lowest part of clear opening of the window to be minimum 34 inches above the floor in which it serves. (R311.2).

14. Gypsum board applied to a ceiling shall be 1/2" when bearing members are 16" o.c. or 5/8" when bearing members are 24" o.c. or use labeled 1/2" sag-resistant gypsum ceiling board. Table R702.3.4.1.

15. Shower and tub/shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type. (2208.3.3).

16. Shower curb walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile to a height of not less than 72 inches above the drain inlet. Water-resistant gypsum board shall not be installed over a vapor retarder in a shower or tub compartment. Cement, fiber-cement or glass mat gypsum board installed in accordance with manufacturer's recommendations shall be used as backer for wall tile in tub and shower cases and wall panels in shower cases (R702.3.4). Plumbing fixtures shall comply with the following performance requirements: Table P2203.3.3. Water closets-toilet type 1 & 4 gal./flush. Shower heads- 2.5 gal./minute. Faucets- 1.5 gal./minute, provide aerators.

17. Water treatment systems shall be equipped with an automatic shut-off to prevent continuous flow when not in use.

18. Domestic dishwashing machines connected to a disposal shall have the discharge installed as high as possible. (2217.2.2).

19. Not water substation pumps. Provide a hot water demand controlled recirculation pump for water heaters located more than 30 feet from furthest fixture served. A manual control or automatic sensor switch shall operate the pump with an automatic temperature sensor shut-off (R2002.3.3) amended.

20. Supply and return ducts shall be insulated to a minimum R-4. Duct in floor truss shall be insulated to minimum R-4. (M100.3.1).

21. Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on or at least two opposite sides in addition to being connected to the ductwork they serve.

22. The clothes dryer shall be protected with a 4-inch diameter exhaust duct to the exterior and shall not exceed a total length of 25 feet, unless an engineered duct system is provided. (R3100.3.3) The duct shall terminate not less than 3 feet from a property line or from openings into a building.

23. Exhaust air from kitchens, bathrooms and toilet rooms shall not be re-circulated within a residence or to another dwelling unit and shall be exhausted directly to the outdoors. Exhaust air from kitchens, bathrooms and toilet rooms shall not discharge into an attic, crawl space or other area inside the building. (M100.3.3).

24. Provide TC-rated recessed light fixtures installed in insulated ceilings. (M102.4.3).

25. Fixtures located in damp or wet locations shall be "listed" to be suitable for such location. (2208.3.2).

26. Provide GFCI protection for receptacles within 6' of all bathtubs, showers and baths. (2202.3.2).

27. Provide GFCI protected receptacles at all exterior, bathroom and garage locations. (2202.1.1, 2).

28. Provide a wall mounted GFCI protected receptacle outlet within 6' of a bathroom or powder room lavatory. (2204.4).

29. All 125-volt branch circuits... In bedrooms shall be protected by a listed AFCI. (2202.1.1).

30. Provide a switch for the doorway when there are 4 or more feet. (2003.4.1).

31. Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 4 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (2202.2).

32. Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (2203.3).

33. The two or more 20-amp small appliance branch circuits shall have no other outlets, except the receptacle installed solely for electric supply to an electrical clock in the kitchen/dining/breakfast area or receptacles for supplemental equipment and lighting for gas-fired ranges, ovens, or counter-mounted units. (2203.3).

34. Receptacle outlets for ranges and clothes dryers shall be 3-pole with ground type, four-wire, grounding-type flexible cords will be required for connection of ranges and clothes dryers. The bonding jumper shall not be connected between the neutral terminal and the frame of the appliance. Flexible cords shall be used only where the flexible cord supplying an appliance shall terminate in a grounding-type attachment plug. (2203.3.1).

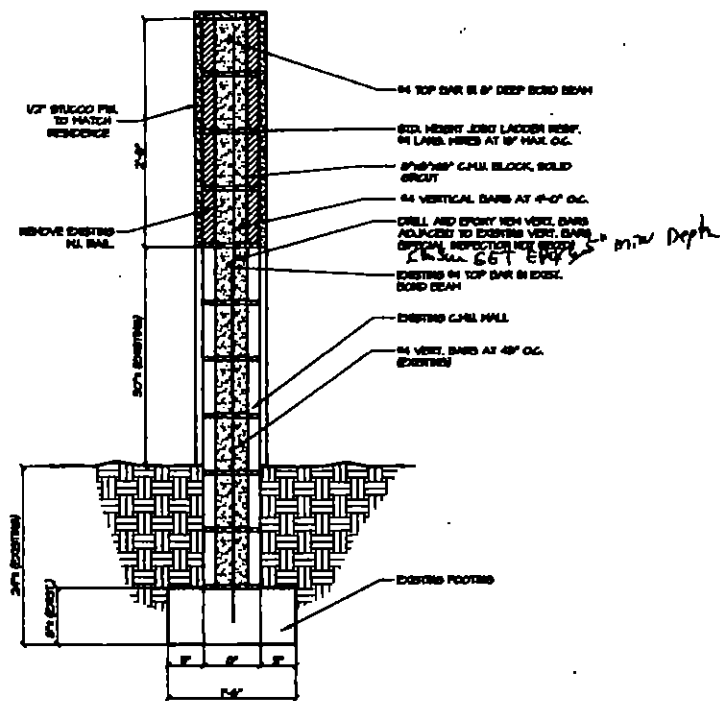
35. Provide a concrete encased grounding electrode of not less than 30 feet of #4 bare copper (200 ampere service). (2203.1.1, 2).

36. Provide bonding to the water piping, gas and metal building systems. (Minimum #4 for 200-amp service). (2203.1.1).

37. All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydronic heating/cooling shall be bonded together using a copper bonding jumper, insulator, covered, or bare, not smaller than No. 8 solid metal parts of listed equipment incorporating an approved system of double insulation and providing a means for grounding listed non-compliance.

38. Non-current-carrying metal parts shall not be bonded. (M100.3.4).

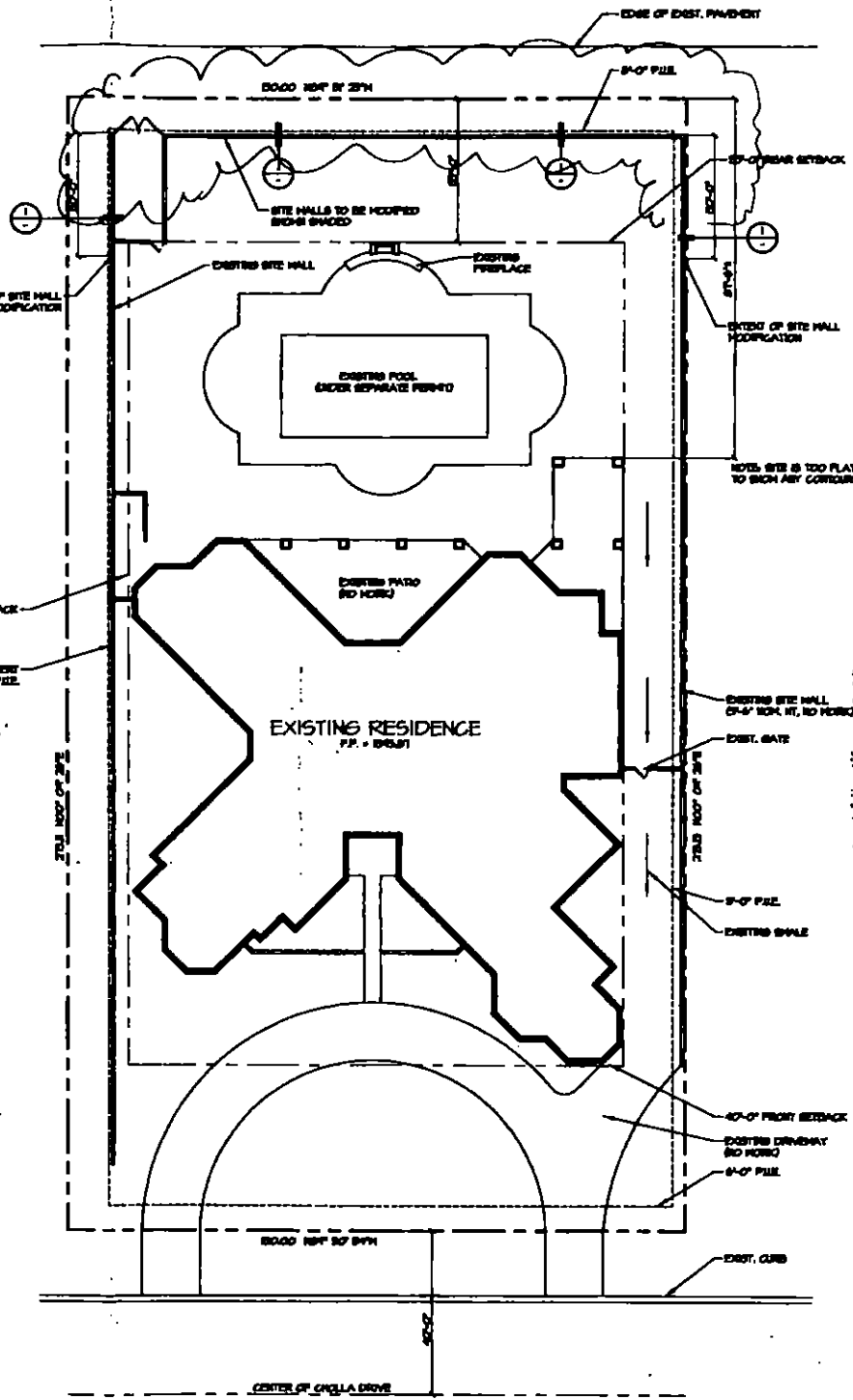
39. R307.3.1 Masonry bed and head joints... shall be 3/8 inch-thick, the thickness of the bed joint of the starting course placed over foundations shall not be less than 1/4 inch and not more than 3/4 inch. Mortar joint thickness shall be within the following tolerances from the specified dimensions:



MODIFIED SCREEN WALL

DETAIL 1

SCALE 1/4\"/>



SITE PLAN

SCALE 1/4\"/>

0 10 20 30 40 50 60 70 80 90 100

FLOOD INFO

PROJECT NUMBER	PROJECT NAME	OWNER	DATE OF INFO	FILE NO.	DATE INFO RECEIVED
045012	1705	G	08-30-2005	X	N/A
	08-30-2005				

ENGINEER'S CERTIFICATION STATEMENT

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOODPROOF ELEVATION(S) ON THIS

LEGAL DESCRIPTION

LOT 5 & 6
DESERT HILLS IV
SCOTTSDALE, AZ

BOOK - 217
MAP - 26
PARCEL - 068

LEGAL ADDRESS

9704 EAST CHOLLA DRIVE
SCOTTSDALE, AZ

OWNER

BLUE SKIES REALTY
9704 EAST CHOLLA DRIVE
SCOTTSDALE, AZ
(480) 618-2388

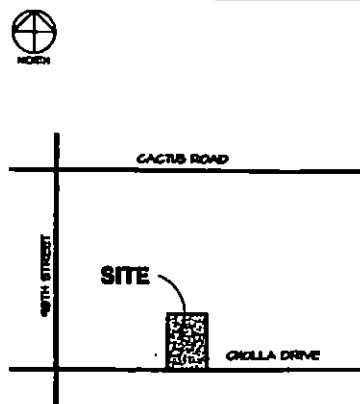
SITE DATA

LOT AREA 41,851 (RECORDED)
ZONED R1-35
LANDFORM CLASS UPPER DESERT

NOTES

1. POOLS require SEPARATE APPROVALS AND PERMITS
2. ALL MECHANICAL EQUIPMENT (AIR CONDENSERS, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF ONE FOOT HIGHER THAN THE HIGHEST PORTION OF THE EQUIPMENT, AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
3. OVERHUNG CHIMNEYS LESS THAN 10 FEET HIGH SHALL NOT PROVIDE COOKING FACILITIES AND WILL NEVER BE OFFERED FOR RENT. OVERHUNG CHIMNEYS GREATER THAN 10 FEET HIGH MAY PROVIDE COOKING FACILITIES.
4. POOLS SHALL NOT BE IMPOSED OR BACKLASHED INTO WATERSHEDS, STREAMS, RIVERS, LAKE, ETC. OR COASTAL WATERS. OR TO ADJACENT LOTS OR TRACTS OF LAND.
5. A GREENHOUSE SHALL NOT EXCEED A GREENHOUSE GREATER THAN 80% OF THE FOOTPRINT OF THE PRINCIPAL BUILDING.
6. A RECESSED SERVICE SHALL EXCEED AND BEYOND OR BEYOND THE HIGHEST ELEVATION IN ACCORDANCE WITH THE SITE PLAN AND THE BUILDING LEGAL DESCRIPTION.
7. IMPROVEMENTS/REPAIRS FINISHED THAT IS REQUIRED OR IS OTHERWISE PROVIDED SHALL BE IN ACCORDANCE WITH THE BUILDING CODES AND THE DESIGN STANDARDS AND POLICY MANUAL.
8. NO NATIVE PLANTS ARE PERMITTED TO BE DISSEMINATED DUE TO CONSTRUCTION AND RELATED ACTIVITIES ACCORDING WITH THE APPROVAL.

VICINITY MAP



PROJECT ADDRESS
CHOLLA DRIVE
9704
SCOTTSDALE, AZ
01-12-11

REVISIONS

- | | |
|----|---|
| 1. | △ |
| 2. | △ |
| 3. | △ |
| 4. | △ |
| 5. | △ |

SHEET

1 of 1

EXTERIOR FIREPLACE for BLUE SKIES REALTY

SCOTTSDALE, AZ

9704 E CHOLLA DRIVE

PLANNING

18 22.11 785

173122

461-11