



Marked Agendas

Approved Minutes

Approved Reports

**The October 17, 2019
Development Review Board
Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: October 17, 2019 Item No. 5
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

The Ivy 7-DR-2019

Location: 10345 North Scottsdale Road

Request: Request approval of the site plan, landscape plan, and building elevations for renovations to an existing building with approximately 14,650 square feet of building area, all on a 0.5-acre site located within Paradise Valley Plaza (Windmill Plaza).

OWNER

Clayton Companies
7340 East Main Street, Ste. 200

ARCHITECT/DESIGNER

Jeff Graham
Aline Architecture Concepts
7340 East Main Street, Ste. 210

APPLICANT CONTACT

Tom Frenkel
Clayton Companies
602-989-7295

BACKGROUND

Zoning

The site is zoned Highway Commercial (C-3).

Context

Located within the center of the Paradise Valley Plaza (Windmill Plaza) retail development at the southeast corner of the North Scottsdale Road and East Shea Boulevard intersection.

Adjacent Uses and Zoning

- North Windmill Plaza parking lot, restaurant, retail, and personal care services, zoned Highway Commercial (C-3)
- South Windmill Plaza parking lot, restaurant, retail, and personal care services, zoned Highway Commercial (C-3)

- East Windmill Plaza parking lot, restaurant, retail, and personal care services, zoned Highway Commercial (C-3)
- West Windmill Plaza parking lot, restaurant, retail, and personal care services, zoned Highway Commercial (C-3)

Key Items for Consideration

- Commercial Design Guidelines

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The applicant requests approval of the site plan and building elevations for renovations and additions to an existing commercial building. Changes include landscaped open space, reconfiguration of the parking lot, and improvements to the façade of the existing building.

Neighborhood Communication

The applicant and the City sent out notification of the application to property owners located within 750 feet of the site. Staff has not received any comments as of the writing of this report.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

The proposed development is not anticipated to have a negative impact on the adjoining properties. The changes are consistent with the General Plan Commercial designation that includes areas designated for commercial centers providing goods and services to the area.

Existing developments in the contextual design area are comprised of various building forms, materials, and colors. Most the surrounding buildings in the Windmill Plaza development were built in the late 1960s and early 1970s and used stucco finishes and terracotta tile roofs as primary building materials with southwest contemporary commercial architectural styles. The most recent development is the London Gold building located on the southeast corner of North Scottsdale Road and East Shea Blvd. that was approved in 2016. The London Gold building introduced a contemporary style with the use of multiple types of materials including masonry and steel. The proposed changes intend to maintain the building's form while adding additional shade canopy around the rebuilt south portion of the building and new window openings on the west facade.

Vehicular and pedestrian access will remain through the existing center's common access and parking tract. With the proposed site work, parking will be reconfigured on the site and immediately adjacent to the site to provide ten additional parking spaces.

The existing roof top mechanical equipment that is not currently screened will be screened appropriately.

Development Information

- | | |
|-------------------|--------------------------|
| • Existing Use: | Auction House and Office |
| • Proposed Use: | Office and Retail |
| • Parcel Size: | 0.52 net acres |
| | 22,502 square feet |
| • Building space: | 14,653 square feet |

- Floor Area Ratio Allowed: 0.80
- Floor Area Ratio Proposed: 0.65
- Building Height Allowed: 36 feet, excluding rooftop appurtenances
- Building Height Proposed: 24 feet 4 inches, including rooftop appurtenances
- Parking Required: 52 spaces
- Parking Provided: 283 spaces as part of Windmill Plaza
- Open Space Required: 3,312 square feet / 0.08 acres
- Open Space Provided: 7,685 square feet / 0.18 acres

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve The Ivy per the attached stipulations, finding that the provisions of General Plan and the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Ben Moriarity

Planner

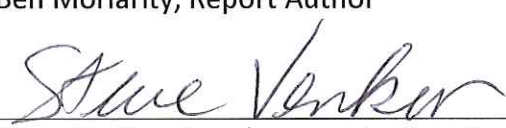
480-312-2836

E-mail: bmoriarity@ScottsdaleAZ.gov

APPROVED BY


Ben Moriarity, Report Author

9/27/2019
Date


Steve Venker, Development Review Board Coordinator
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

9/27/19
Date


Randy Grant, Director
Planning and Development Services
Phone: 480-312-2664 E-mail: rgrant@scottsdaleaz.gov

9/30/19
Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Combined Context Aerial and Site Plan
 - 5. Site Plan
 - 6. Building Elevations
 - 7. Perspective
 - 8. Material and Color Board
 - 9. Landscape Plans
 - 10. Electrical Site Plan
 - 11. Exterior Lighting Cutsheets

**Stipulations for the
Development Review Board Application:
The Ivy
Case Number: 7-DR-2019**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Aline Architectural Concepts, with a city staff date of 4/22/2019.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Aline Architectural Concepts, with a city staff date of 4/22/2019.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Aline Architectural Concepts, with a city staff date of 4/22/2019.
 - d. The water and sewer basis of design report submitted by Cypress Civil Development and accepted in concept by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable DRB and BOA cases for the subject site were: 29-BA-1970 and 50-DR-1970.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

DRB Stipulations

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
5. Prior to final plan approval, the owner shall provide to the City documentation of Cross Access and Service Vehicle Access to this site.

EXTRIOR LIGHTING:

Ordinance

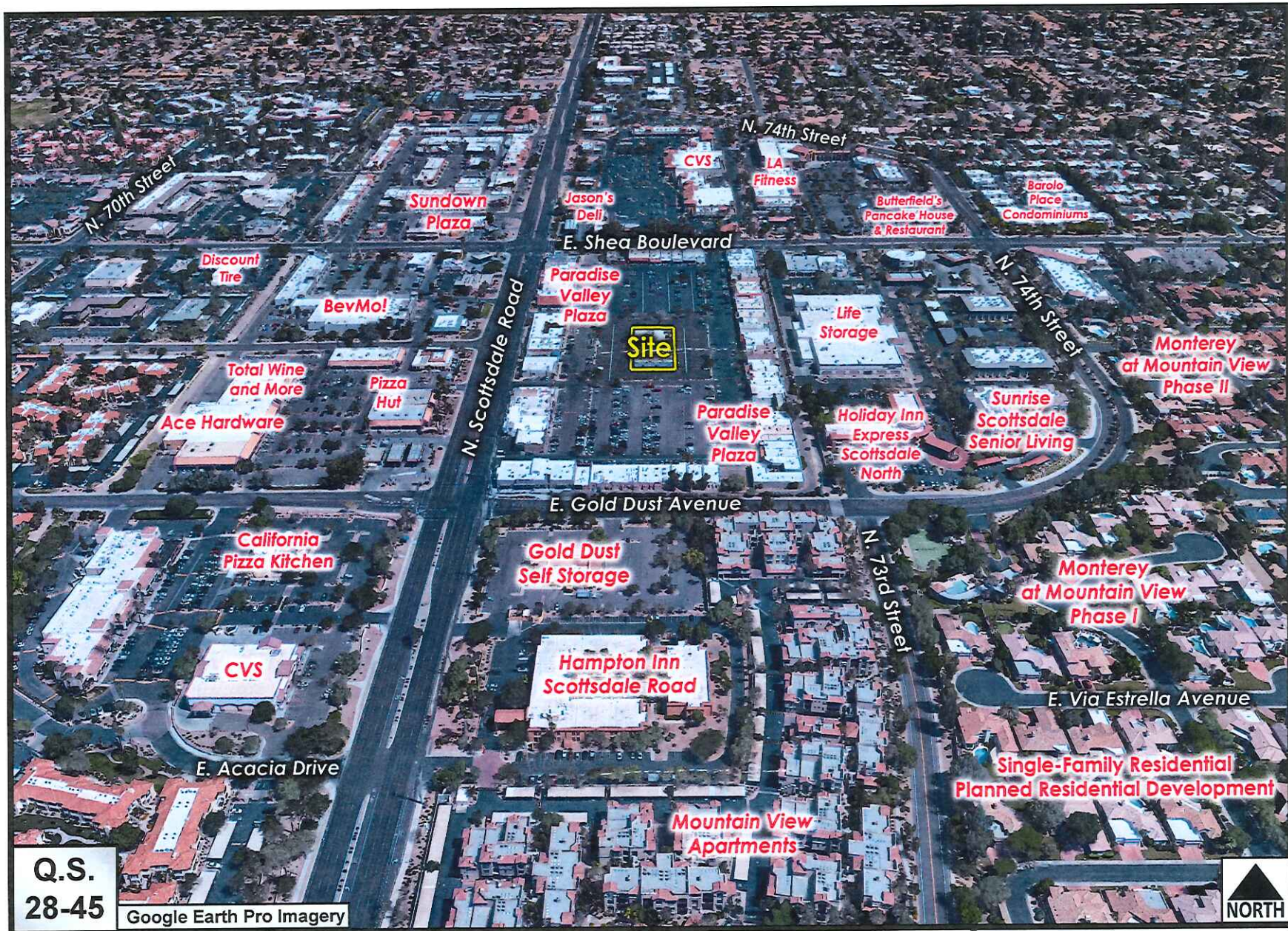
- C. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- D. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

6. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. The total lumen per luminaire shall not exceed 24,000 lumens.

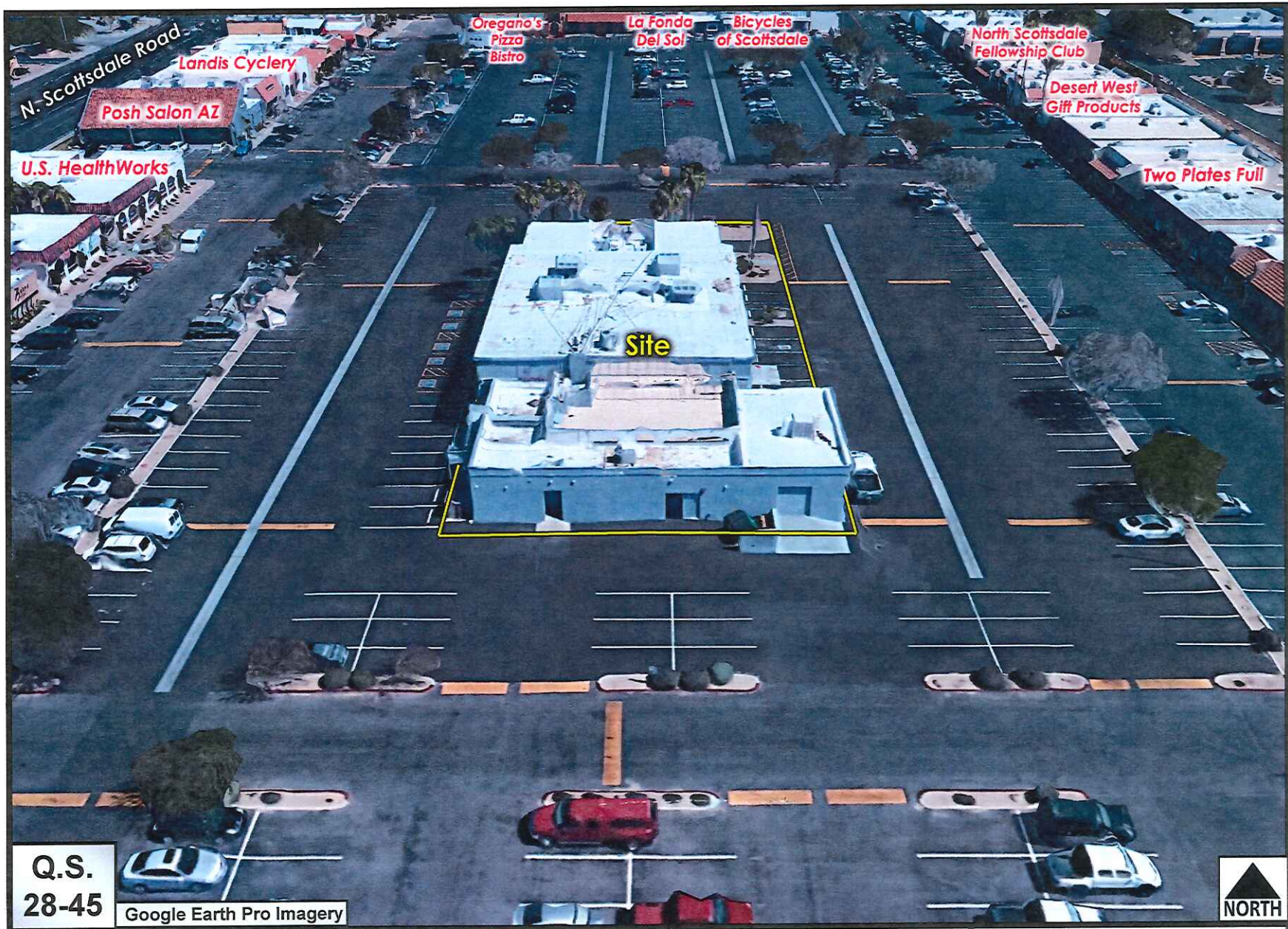
DRB Stipulations

7. Prior to the issuance of any building permit for the development project, the property owner shall work with the Water Resources Department and obtain approval of civil construction documents to construct a new six (6) inch diameter sewer service line from the main sewer line to the structure pursuant to the Water Resources Department requirements.
8. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.



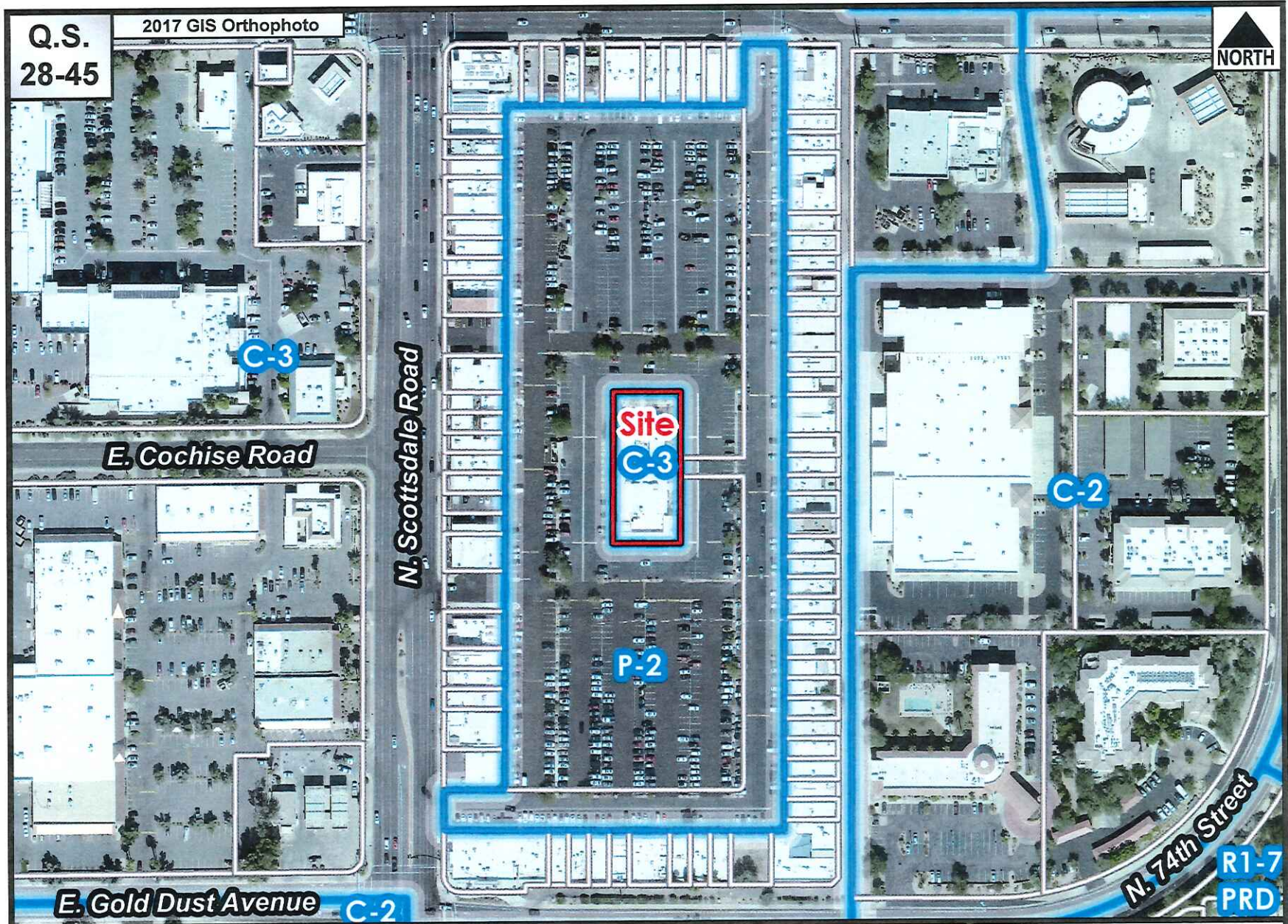
The Ivy

7-DR-2019



The Ivy

7-DR-2019



The Ivy

7-DR-2019



Aline Architecture Concepts
7340 East Main Street, Suite 210
Scottsdale, Arizona 85251

March 17, 2019

Application Narrative

The Ivy
10345 N. Scottsdale Rd.
Scottsdale, AZ 85253
7-DR-2019

Dear Development Review Board,

This application entails a renovation and re-construction of an existing two story office and auction sales building located in the center of the Paradise Valley Plaza shopping center. The south portion would be demolished and a new 4,343 s.f. single story building built in its place. The middle and north portions would be re-coated in a smooth finish stucco and new fenestrations and lighting added on the west side.

This application entails an existing two story commercial building in the middle of the parking lot of Paradise Valley Plaza located at the southeast corner of Scottsdale Road and Shea Boulevard. The south end would be a new single story building to replace an existing single story building. The middle and north end of the building would be renovated, with new stucco, site-work and fenestration, particularly along the west elevation to minimize solar heat gain. East and west existing parking spaces are to be re-striped on the existing asphalt. The east side would utilize areas previously used as vehicle parking for increased landscape area and bicycle parking. The new building on the south end would use deep overhangs and clerestory windows to minimize solar heat gain while allowing natural daylight into the building throughout the year, while providing an indoor / outdoor connection with large terraces. The total height including mechanical screening maintains the existing building height of 22'-6". The design of the building takes into account the suburban shopping center context while introducing a modern desert vernacular appropriate to this neighborhood and Sonoran desert context;

A

This design follows all applicable guidelines and design standards by responding to its suburban shopping center, commercial retail and desert context. It maintains and builds upon the character and quality design features Scottsdale is known for with a carefully considered design that engages the public, and improves the shopping center's character. Our use of timeless materials such as exposed aggregate concrete block site walls and columns, grey solar glass, in addition to painted steel trim accents, and stucco walls that relate it to the adjacent structures, and deep roofs with standing seam metal that provide shade, texture, and depth to the open spaces, and contributes to the shopping center, neighborhood, and broader community. The design responds to the desert climate by providing deep overhangs with carefully located glazing and perimeter patios for shade and natural daylighting, while connecting the indoor and outdoor spaces. Lighting, signage and noise levels are considered with respect to the neighbors and parking lot in an effort to maintain a comfortable environment that feels safe and inviting. The east side of the building replaces parking spaces with landscape to provide shading and a character that feels inviting. The new structure fits within the confines of the property, floor area ratio and overall height restrictions.

a. This design promotes a desirable relationship between structures, open spaces and topography as well as the neighborhood by maintaining drive aisle standards in the surrounding parking lot, increasing landscape area, and providing a new structure that fits proportionally to the existing building. Using carefully considered architectural features, landscape areas, and generous patios this project engages the public and provides a comfortable work & retail environment. The architecture uses contemporary construction and timeless materials, while keeping the design appropriate for the neighborhood and shopping center context. With the use of outdoor lighting features, landscape areas, shade overhangs, and raised terraces, it softens the scale and texture to the surrounding retail development. Building heights are kept to within established standards.

b. This design avoids excessive variety and monotonous repetition with a carefully selected palette of materials and design features. The façades and patios are designed with respect to the surrounding structures and parking lot using large patios and deep overhangs. This design is well balanced and proportioned in its use of materials, massing, and overall design.



Aline Architecture Concepts
7340 East Main Street, Suite 210
Scottsdale, Arizona 85251

March 17, 2019

c. This design strengthens and enhances the character of the area by contributing thoughtful design with materials and landscaping that will age well. These materials include exposed aggregate concrete block site walls and columns, smooth finish stucco, steel, and glass used in proportions appropriate to the character of the desert climate and context of the site. Well-designed projects such as the Scottsdale Quarter, Optima, Kierland Commons and other progressive buildings and developments with contemporary and timeless character, are echoed in our design by using clean simple forms that are well proportioned, maintaining variety in texture, color, massing and landscaping. It engages the public with overhangs, outdoor lighting and landscaping. Landscaping includes native plants and trees such as arizona ash, baja fairy duster, and gray ice plant to embrace the Sonoran Desert. The architecture and landscaping are designed to age well over the decades and make a strong contribution to the neighborhood.

d. There are no views to any specific environmentally sensitive lands from this site, but the building utilizes shade and patio features that are appropriate to the desert climate. The material palette of exposed aggregate concrete block, and colored stucco in combination with low water plants are appropriate to the Sonoran Desert.

e. This project is not within the Historic Property Overlay District, but does include a range of architectural features that add variety in color, scale, materials and details. This project conforms to the established standards for setbacks, floor area ratio, and height.

3. All ingress/egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways are designed per applicable codes and ordinances (IBC 2015, ADA 2010, & city zoning codes), and promote the overall health and safety of the patrons. All egress doors and paths are illuminated to promote ease of ingress/egress to parking on the site. Grading will conform to ADA standards and will provide an easy path from the ADA parking spot to the entrances.

4. All mechanical equipment/utilities have dedicated patios which are screened by parapet walls integral to the building and maintains the overall architectural character.

5. This project is not within the Downtown Area.

6. This project is not part of the Cultural Improvement Program or Public Art Program.

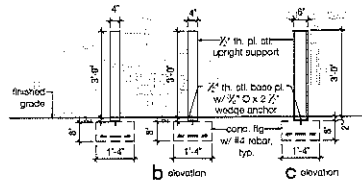
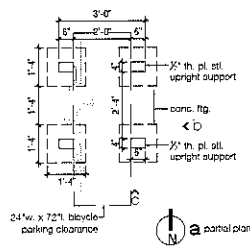
Respectfully,

Jeff Graham
Project Manager
Aline Architecture . Concepts, LLC
7340 E. Main St. #210
Scottsdale, AZ 85251



01 . context aerial

0' 100' 200' 400'



02 . bike rack detail

KEYED SITE PLAN NOTES

1. EXISTING LANDSCAPE AREA
2. VEHICLE DISPLAY AREA - NEW ASPHALT, NEW STRIPING
3. LANDSCAPE AREA
4. EXISTING RAMP - 1:12 SLOPE
5. RE-STRIPED VEHICLE PARKING
6. EXISTING ROOF CANOPY ABOVE RAMP - 1:12 MAX SLOPE
7. CONCRETE PATH ON GRADE
8. RAISED CONCRETE PATH
9. ROOF OVERHANG ABOVE
10. EXISTING TRANSFORMER
11. SITE WALLS +42" A.F.F. - SEE ELEVATIONS
12. RAISED CONCRETE TERRACE
13. BICYCLE PARKING - SEE DETAIL 02
14. EX. REFUSE ENCLOSURE - 1 REFUSE BIN LOCATED HERE EXCLUSIVELY FOR THIS BUILDING
15. PROPERTY LINE
16. FIRE DEPARTMENT CONNECTION - 36" ABOVE FINISHED GRADE - MAINTAIN 36" CLEARANCE
17. EX. FIRE RISER ROOM
18. EX. WATER METER
19. EX. BACKFLOW PREVENTER
20. EX. SEWER LINE - SEE CIVIL
21. ACCESSIBLE PEDESTRIAN ACCESS
22. FIRE TRUCK TURNING RADIUS (PER DSPM 2-1.4)
23. EX. CROSS ACCESS DRIVE AISLE TO ADJ. TRACT

PARKING CALCULATIONS

RETAIL (AUCTION SALES) 4,343 G.S.F. / 250 = 17
OFFICE 10,474 G.S.F. / 300 = 35
TOT. PARK'G REQ'D 82
TOT. PARK'G PROVIDED 283 PER PREVIOUS T.I. PARKING AGREEMENT
BICYCLE PARKING REQUIRED 52 / 10 = 5
(1 PER 10 REQ'D VEHICLE)
BICYCLE PARKING PROVIDED 5

OPEN SPACE CALCULATIONS

BLDG. AREA 14,553 S.F.
SITE AREA 22,502 S.F.
OPEN SPACE REQ'D, MAX. BLDG. HT. = 21'-4"
1ST 12' OF HEIGHT = 22,502 x .10 = 2,502 S.F.
NEXT 9.33' OF HEIGHT = 22,502 x .004 = 90 S.F.
2,502 + 90 = 2,592 S.F.
OPEN SPACE PROVIDED 7,885 S.F.
+ 90 F.A.R. ALLOWED PER ZONING ADMIN.
DECISION MEMO DATED 5/31/2007 REGARDING PARADISE VALLEY PLAZA (WINDMILL PLAZA)

APPLICABLE CODES

2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
2015 INTERNATIONAL FUEL GAS CODE (IFGC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2015 INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC)
2014 NATIONAL ELECTRIC CODE (NEC)
2009 ICC A117.1 ACCESSIBLE & USABLE BUILDINGS
2010 AMERICANS WITH DISABILITIES ACT ACCESSIBLE GUIDELINES

PROJECT DESCRIPTION

EXISTING 18,772 S.F. TWO STORY AUCTION HOUSE AND OFFICES BUILDING TO BE RE-MODELED. EXISTING SOUTH PORTION OF BUILDING TO BE REMODELED W/ 4,454 S.F. INTERIOR AND 1,504 S.F. PATIO. NORTH PORTION TO HAVE NEW SMOOTH FINISH PAINTED STUCCO APPLIED, AND SOME NEW DOORS AND WINDOWS.

LEGAL DESCRIPTION

TRACT A, PARADISE VALLEY PLAZA, AS RECORDED IN BOOK 94 OF MAPS, PAGE 15 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SITE DATA

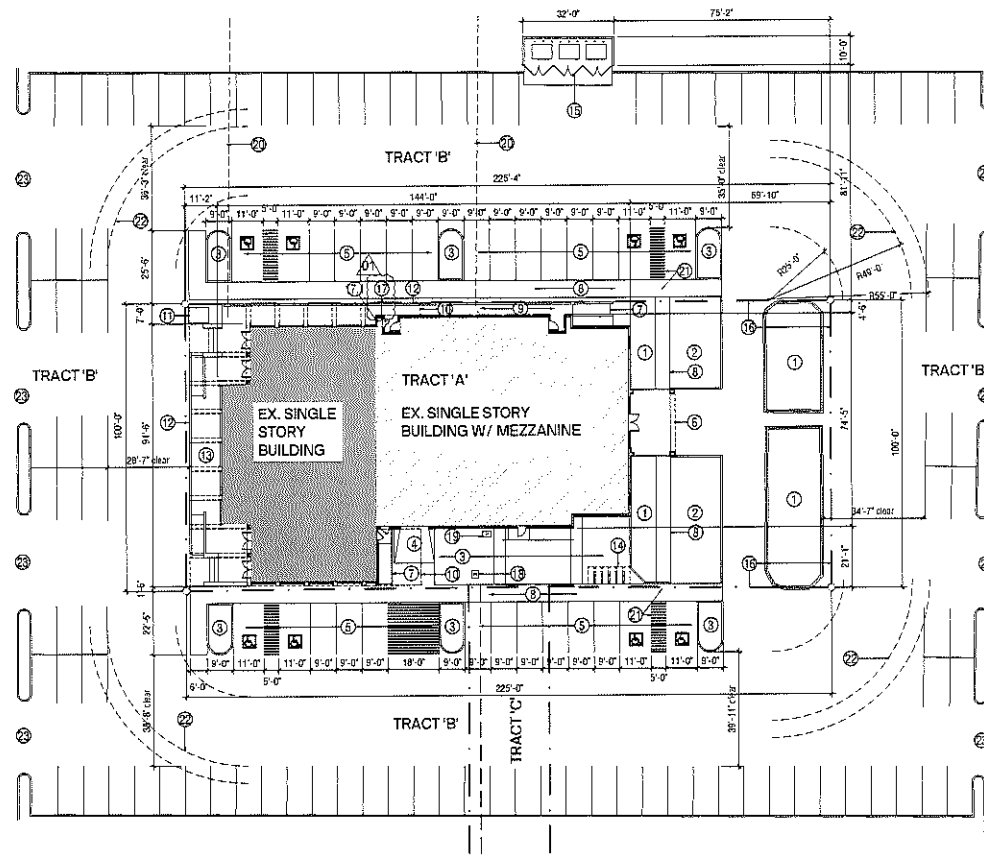
ASSESSORS PARCEL NUMBER 175-33-09DA
ZONING C-3
SITE AREA 22,502 S.F. (0.517 AC)
EX. GROSS FLOOR AREA 16,160 S.F.
GROSS FLOOR AREA PROPOSED 14,553 S.F.
F.A.R. ALLOWED 80%
F.A.R. PROPOSED 65% (14,553 / 22,502)

BUILDING DATA

BUILDING ADDRESS 17757 N. SCOTTSDALE RD, SCOTTSDALE, AZ 85255
OCCUPANCY OFFICES (B) + MERCANTILE (M)
EXISTING USE OFFICES + RETAIL
PROPOSED USE OFFICES + RETAIL
CONSTRUCTION TYPE V-B
FIRE PROTECTION NON-SEPARATED
TOT. INDOOR AREA (1st + mezz.) 14,553 S.F.
TOT. COVERED PATIO AREA 1,867 S.F.
MAX. HEIGHT ALLOWED 21'-4"
MAX. HEIGHT PROPOSED 2 STORIES, 21'-4"

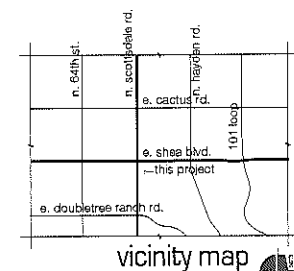
GENERAL LIMITATIONS

CONSTRUCTION TYPE V-B W/ A.F.E.S.
ALLOWABLE HEIGHT 60 FT.
ACTUAL HEIGHT 20'-4" A.F.F.
ALLOWABLE STORIES 3
ACTUAL STORIES 2
ALLOWABLE AREA 27,000 S.F.
TOTAL EXISTING BUILDING 16,160 S.F.
TOTAL AREA 14,553 S.F. (INT.) 1,867 S.F. (EXT.)



01 . site plan

vicinity map



DRB 2ND CITY SUBMITTAL

08/24/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

10/1/2010

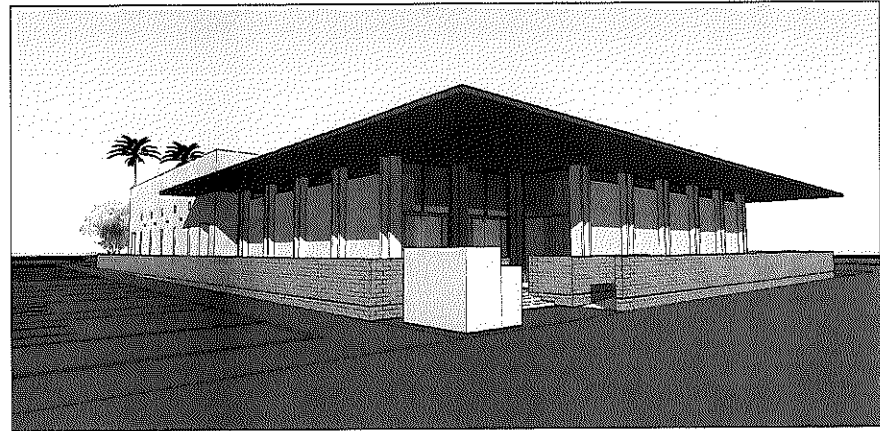
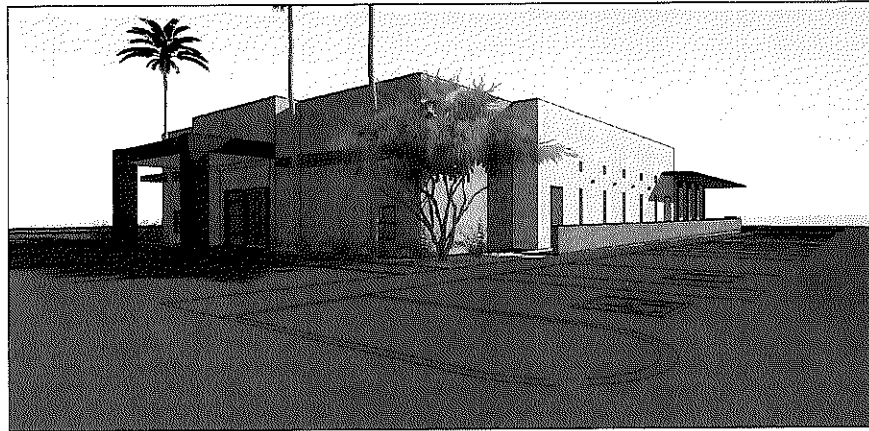
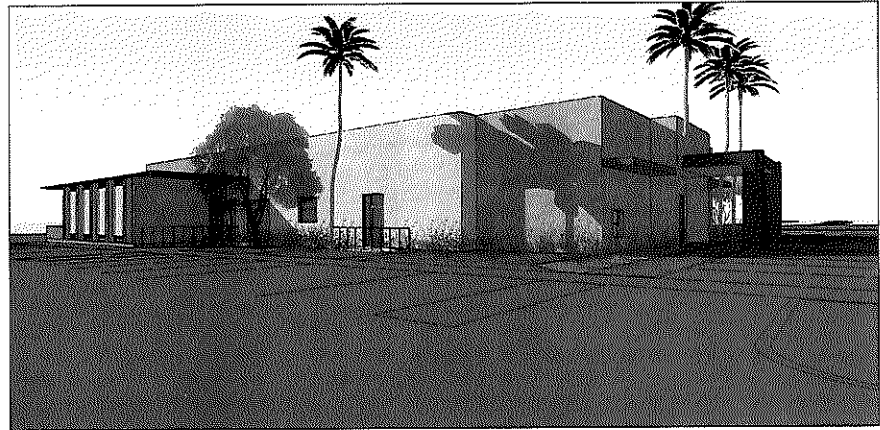
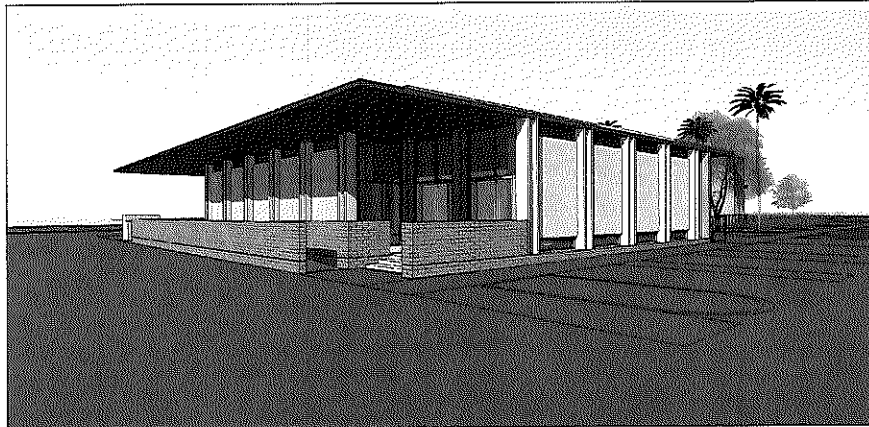
10/1/2010

ALINE

ARCHITECTURE CONCEPTS

SITE PLAN

PR-1.1



ALINE ARCHITECTURE CONCEPTS, INC. 1100 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202-1000 TEL: (303) 733-1100 FAX: (303) 733-1101 WWW.ALINEARCHITECTURE.COM

DBB 1ST CITY SUBMITTAL

08/14/2018

1100 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202-1000

1100 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202-1000

1100 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202-1000

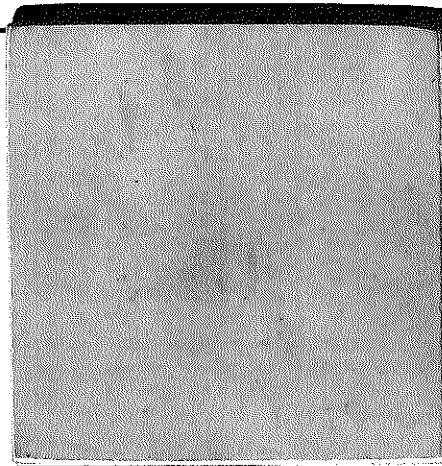
ALINE
ARCHITECTURE CONCEPTS

PERSPECTIVES

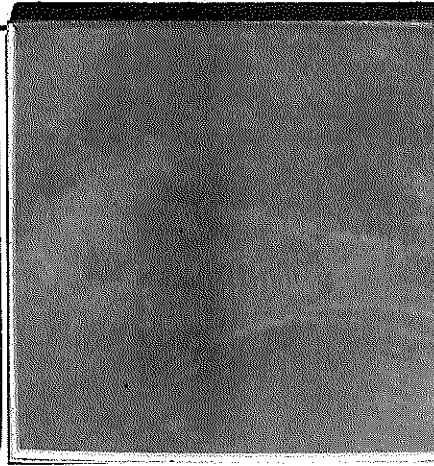
PR-3.2

MATERIALS SAMPLE BOARD

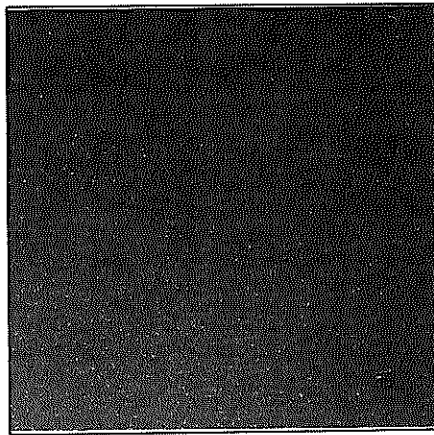
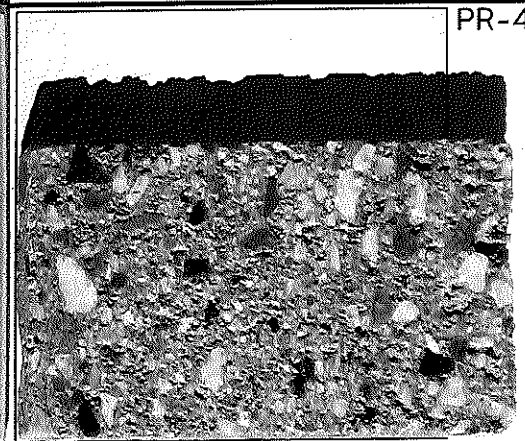
PR-4.0



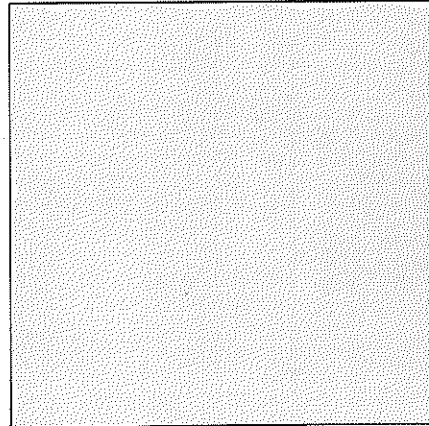
stc-1 integral color stucco - smooth finish
w/ parex 'ariat' '821L (57)



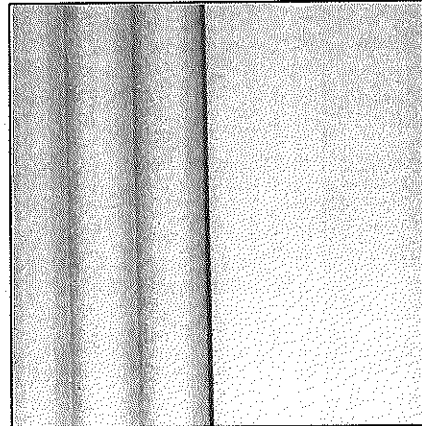
stc-2 integral color stucco - smooth finish
w/ parex 'plateau' '3019L (50)



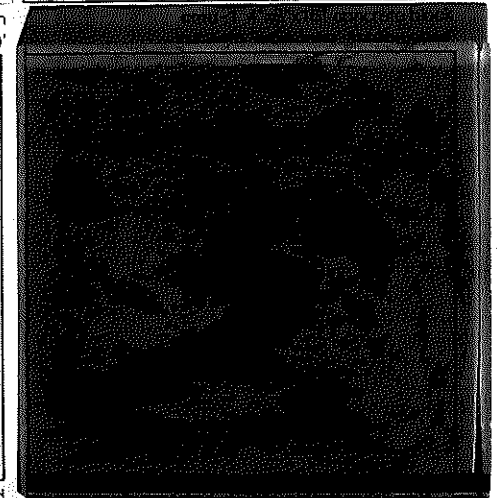
roof-1 standing seam metal roof
'rmp metal products' 'sl-150 snap lock panels'
'pre weathered galvalume'



stl-1 painted steel columns
'dunn edwards' 'de6366 - silver spoon'



alum-1 aluminum storefront - clear anodized



gld-1 insulated glazing w/ 'looking glass' coating

10345 N SCOTTSDALE RD
SCOTTSDALE, AZ 85253
FEBRUARY 08, 2019

7340 EAST MAIN STREET #210
SCOTTSDALE, ARIZONA 85251
MADEWITHALINE.COM

THE IVY

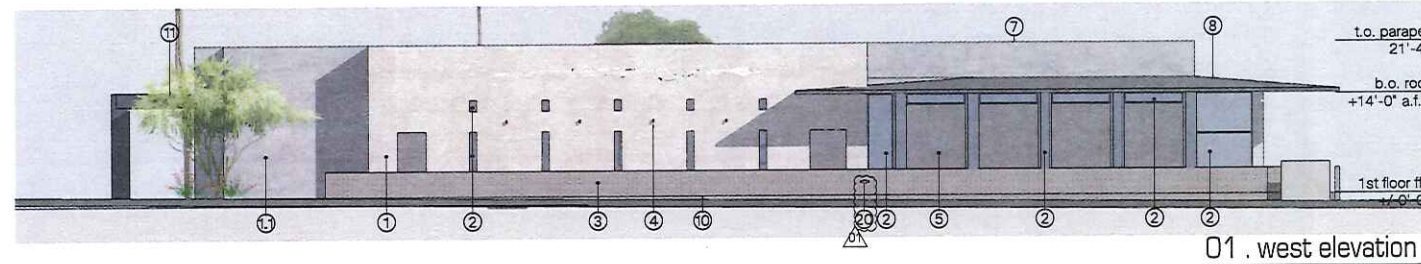
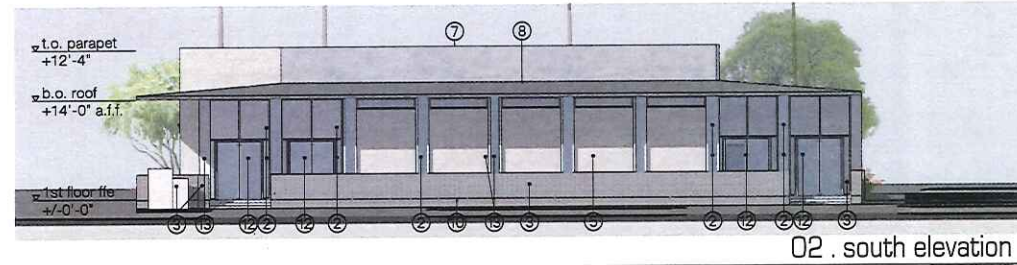
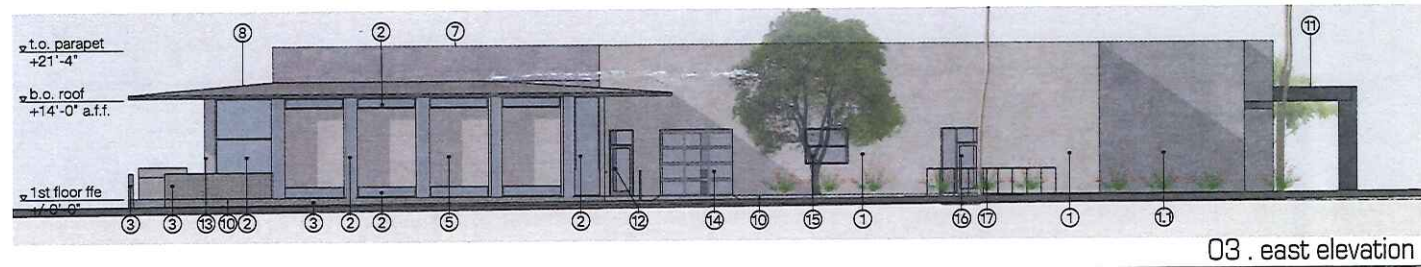
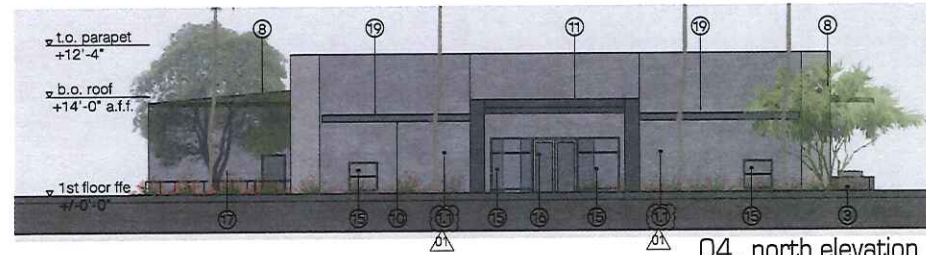
ALINE
ARCHITECTURE CONCEPTS

KEYED NOTES

1. EXISTING STUCCO WALL - RE-COAT W/ (STC-1) Δ
- 1.1. EXISTING STUCCO WALL - RE-COAT W/ STUCCO (STC-2) Δ
2. NEW STOREFRONT WINDOW (ALUM-1) (GLZ-1)
3. CONCRETE BLOCK WAL + COLUMNS (CMU-1)
4. LIGHT FIXTURE - SEE EXTERIOR LIGHTING SITE PLAN
5. NEW STUCCO WALL (STC-1)
6. ROOFTOP MECHANICAL UNIT BEHIND SCREEN WALL
7. STUCCO PARAPET SCREEN WALL (STC-2)
8. STANDING SEAM METAL ROOF (ROOF-1)
9. LINE OF EXISTING ROOF BEHIND
10. LINE OF FLOOR BEHIND
11. EXISTING WOOD AND STUCCO PORT COCHERE - REPAIR & RE-PAINT TO MATCH EX. AS REQ'D.
12. GLASS DOOR (GLZ-1)
13. PAINTED STEEL COLUMN (STL-1)
14. EXISTING ALUMINUM & GLASS GARAGE DOOR
15. EXISTING ALUMINUM WINDOW
16. EXISTING STOREFRONT DOOR
17. STEEL RAILING
18. EXISTING SIGNAGE TO REMAIN
19. EXISTING SHADE OVERHANG - REPAIR & RE-PAINT TO MATCH EX. AS REQ'D.
20. FIRE DEPARTMENT CONNECTION Δ +36" ABOVE FIN. GRADE.

KEYED MATERIALS

- | | |
|--------|---|
| STC-1 | INTEGRAL COLOR STUCCO - PAREX 'LARIAT' |
| STC-2 | INTEGRAL COLOR STUCCO - PAREX 'PLATEAU' |
| CMU-1 | 4"X8"X16" CONCRETE BLOCK |
| ROOF-1 | STANDING SEAM METAL ROOF |
| STL-1 | PAINTED STEEL COLUMNS |
| ALUM-1 | ALUMINUM STOREFRONT |
| GLZ-1 | INSULATED GLAZING |



DRB 2ND CITY SUBMITTAL

18.FA.2018

FEB 2018

1000 NORTH MONTICELLI ROAD

SCOTTSDALE, ARIZONA 85261

ALINE ARCHITECTURE CONCEPTS

COLOR BUILDING ELEVATIONS

PR-3.1

DATE ISSUED: APRIL 2, 2018

PROJECT # 1008

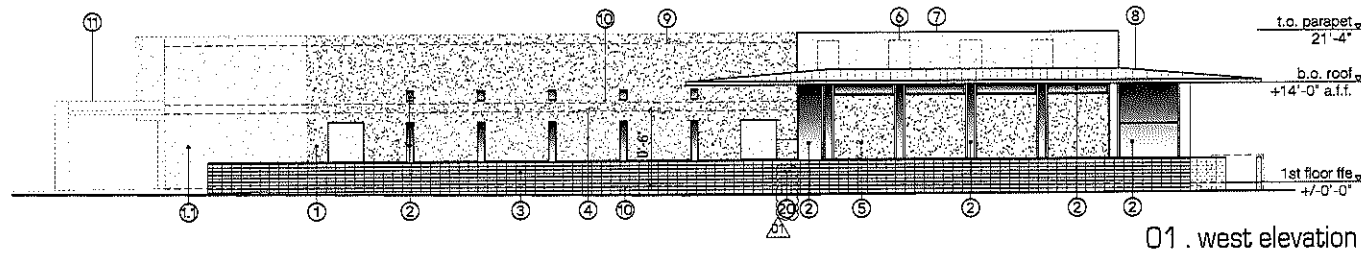
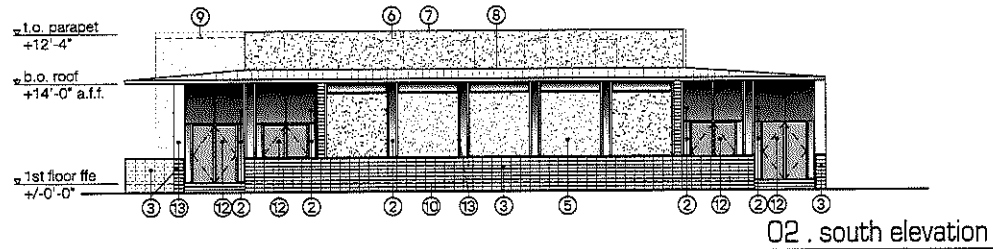
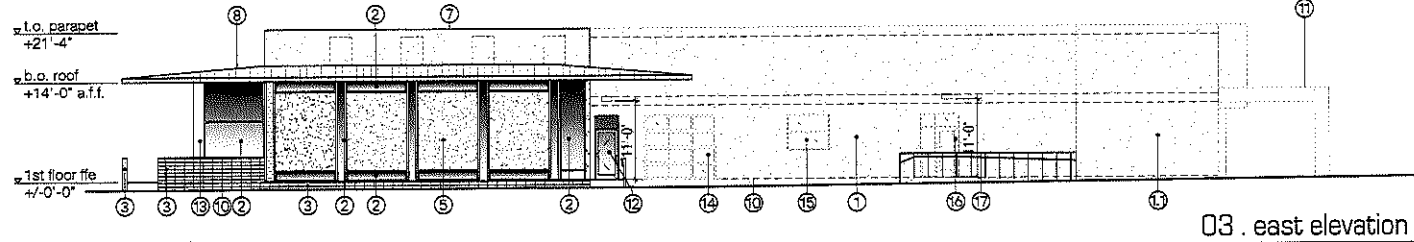
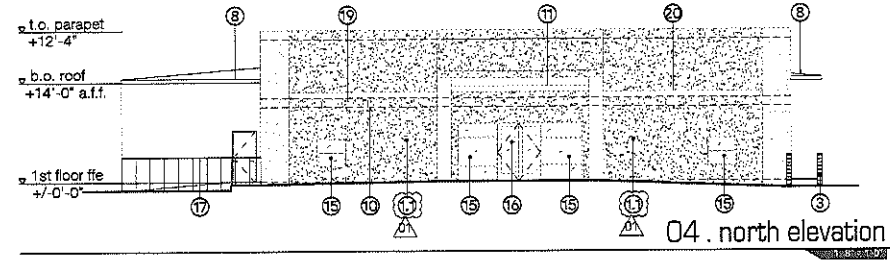
THEY

KEYED NOTES

1. EXISTING STUCCO WALL - RE-COAT W/ (STC-1)
- 1.1. EXISTING STUCCO WALL - RE-COAT W/ STUCCO (STC-2)
2. NEW STOREFRONT WINDOW (ALUM-1) (GLZ-1)
3. CONCRETE BLOCK WALL + COLUMNS (CMU-1)
4. LIGHT FIXTURE - SEE EXTERIOR LIGHTING SITE PLAN
5. NEW STUCCO WALL (STC-1)
6. ROOFTOP MECHANICAL UNIT BEHIND SCREEN WALL
7. STUCCO PARAPET SCREEN WALL (STC-2)
8. STANDING SEAM METAL ROOF (ROOF-1)
9. LINE OF EXISTING ROOF BEHIND
10. LINE OF FLOOR BEHIND
11. EXISTING WOOD AND STUCCO PORT COCHERE - REPAIR & RE-PAINT TO MATCH EX. AS REQ'D.
12. GLASS DOOR (GLZ-1)
13. PAINTED STEEL COLUMN (STL-1)
14. EXISTING ALUMINUM & GLASS GARAGE DOOR
15. EXISTING ALUMINUM WINDOW
16. EXISTING STOREFRONT DOOR
17. STEEL RAILING
18. EXISTING SIGNAGE TO REMAIN
19. EXISTING SHADE OVERHANG - REPAIR & RE-PAINT TO MATCH EX. AS REQ'D.
20. FIRE DEPARTMENT CONNECTION +36" ABOVE FIN. GRADE.

KEYED MATERIALS

- | | |
|--------|---|
| STC-1 | INTEGRAL COLOR STUCCO - PAREX 'LARIAT' |
| STC-2 | INTEGRAL COLOR STUCCO - PAREX 'PLATEAU' |
| CMU-1 | 4"X8"X16" CONCRETE BLOCK |
| ROOF-1 | STANDING SEAM METAL ROOF |
| STL-1 | PAINTED STEEL COLUMNS |
| ALUM-1 | ALUMINUM STOREFRONT |
| GLZ-1 | INSULATED GLAZING |



DRB 2ND CITY SUBMITTAL
1/23/2019
7/24/2019
DATE: 05/17/2019
PROJECT # 16454
THEIN
ALINE
ARCHITECTURE CONCEPTS
BUILDING ELEVATIONS
PR-3.0

PLANT LEGEND

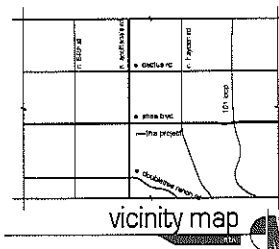
plant legend symbol	common name/ botanical name	size	qty.	remarks
trees				
✱	ex. palm tree	-	6	dashed lines indicate tree to be removed re-locate approx. 12 ft. north
○	ex. palo verde	-	1	
⊗	ex. trees to remain	-	2	
⊕	arizona ash <i>Fraxinus velutina</i>	48" box	8	
shrubs				
✱	baja fairy duster <i>Calliandra californica</i>	3 gal.	18	
○	ex. shrubs / plants to remain	-	-	
cacti / succulents				
⊗	gray ice plant <i>Malephora groves</i>	1 gal.	22	
perennials				
⊗	rain lily <i>Zephyranthes candida</i>	1 gal.	46	

GROUND COVER MATERIAL LEGEND

TYPE	DECOMPOSED GRANITE (DG-1)
SIZE	3/4" MINUS
COLOR	EXPRESS GOLD
DEPTH	2"
NOTES	INSTALL IN PLANTING AREAS INDICATED IN PLAN

KEYED PLAN NOTES

- EXISTING LANDSCAPE AREA - PLANTS, DECOMPOSED GRANITE AND FINISHED GRADE TO REMAIN U.N.O.
- NEW PARKING SPACES - ASPHALT
- CONCRETE PAVING - SEE CIVIL + ARCHITECTURAL
- BIKE RACK - SEE ARCHITECTURAL
- SITE WALLS - SEE ARCHITECTURAL
- DECORATIVE ROCK (DG-1) IN NEW LANDSCAPE AREAS
- EXISTING PALO VERDE TREE - RELOCATE 12' DUE NORTH
- RE-STRIPED ASPHALT - SEE ARCH. + CIVIL
- FIRE DEPARTMENT CONNECTION - MAINTAIN 3 FOOT CLEARANCE
- EXISTING PALM TREE TO BE REMOVED - GRIND STUMP BELOW 4" BELOW FINISHED GRADE
- LANDSCAPE ISLAND - SEE ARCH. + CIVIL



vicinity map

01. landscape plan

DRB 2ND CITY SUBMITTAL

1000 PA 2018
7 TR 2018

1000 WEST 10TH AVE
1000 WEST 11TH AVE
1000 WEST 12TH AVE
1000 WEST 13TH AVE
1000 WEST 14TH AVE
1000 WEST 15TH AVE
1000 WEST 16TH AVE
1000 WEST 17TH AVE
1000 WEST 18TH AVE
1000 WEST 19TH AVE
1000 WEST 20TH AVE
1000 WEST 21ST AVE
1000 WEST 22ND AVE
1000 WEST 23RD AVE
1000 WEST 24TH AVE
1000 WEST 25TH AVE
1000 WEST 26TH AVE
1000 WEST 27TH AVE
1000 WEST 28TH AVE
1000 WEST 29TH AVE
1000 WEST 30TH AVE
1000 WEST 31ST AVE
1000 WEST 32ND AVE
1000 WEST 33RD AVE
1000 WEST 34TH AVE
1000 WEST 35TH AVE
1000 WEST 36TH AVE
1000 WEST 37TH AVE
1000 WEST 38TH AVE
1000 WEST 39TH AVE
1000 WEST 40TH AVE
1000 WEST 41ST AVE
1000 WEST 42ND AVE
1000 WEST 43RD AVE
1000 WEST 44TH AVE
1000 WEST 45TH AVE
1000 WEST 46TH AVE
1000 WEST 47TH AVE
1000 WEST 48TH AVE
1000 WEST 49TH AVE
1000 WEST 50TH AVE
1000 WEST 51ST AVE
1000 WEST 52ND AVE
1000 WEST 53RD AVE
1000 WEST 54TH AVE
1000 WEST 55TH AVE
1000 WEST 56TH AVE
1000 WEST 57TH AVE
1000 WEST 58TH AVE
1000 WEST 59TH AVE
1000 WEST 60TH AVE
1000 WEST 61ST AVE
1000 WEST 62ND AVE
1000 WEST 63RD AVE
1000 WEST 64TH AVE
1000 WEST 65TH AVE
1000 WEST 66TH AVE
1000 WEST 67TH AVE
1000 WEST 68TH AVE
1000 WEST 69TH AVE
1000 WEST 70TH AVE
1000 WEST 71ST AVE
1000 WEST 72ND AVE
1000 WEST 73RD AVE
1000 WEST 74TH AVE
1000 WEST 75TH AVE
1000 WEST 76TH AVE
1000 WEST 77TH AVE
1000 WEST 78TH AVE
1000 WEST 79TH AVE
1000 WEST 80TH AVE
1000 WEST 81ST AVE
1000 WEST 82ND AVE
1000 WEST 83RD AVE
1000 WEST 84TH AVE
1000 WEST 85TH AVE
1000 WEST 86TH AVE
1000 WEST 87TH AVE
1000 WEST 88TH AVE
1000 WEST 89TH AVE
1000 WEST 90TH AVE
1000 WEST 91ST AVE
1000 WEST 92ND AVE
1000 WEST 93RD AVE
1000 WEST 94TH AVE
1000 WEST 95TH AVE
1000 WEST 96TH AVE
1000 WEST 97TH AVE
1000 WEST 98TH AVE
1000 WEST 99TH AVE
1000 WEST 100TH AVE

ALINE
ARCHITECTURE CONCEPTS

LANDSCAPE PLAN

L-1.0



WST LED

Architectural Wall Sconce



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

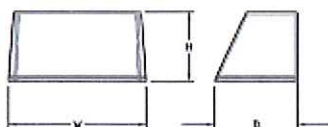
Luminaire

Height: 8-1/2"
(21.59 cm)

Width: 17"
(43.18 cm)

Depth: 10-3/16"
(25.9 cm)

Weight: 20 lbs
(9.1 kg)

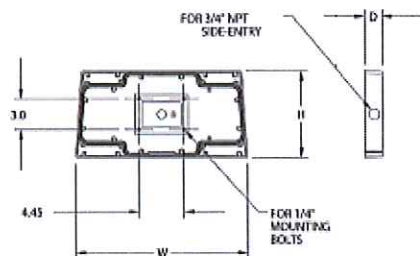


Optional Back Box (PBBW)

Height: 8.49"
(21.56 cm)

Width: 17.01"
(43.21 cm)

Depth: 1.70"
(4.32 cm)

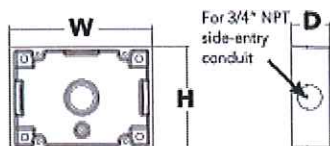


Optional Back Box (BBW)

Height: 4"
(10.2 cm)

Width: 5-1/2"
(14.0 cm)

Depth: 1-1/2"
(3.8 cm)



A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com
© 2011-2018 Acuity Brands Lighting, Inc. All rights reserved.

WST-LED
Rev. 06/21/18

PRODUCT SPECIFICATIONS



- Maximum installation compatibility
- Easy, tool-free installation, including Twist & Lock trim feature
- 750 & 1000 lumen outputs
- 2700K, 3000K, 3500K, 4000K CCT
- Flicker-free TRIAC/ELV, 0-10V or Lutron Hi-lume 1% dimming
- 50,000 hr lifetime at 70% lumen maintenance
- 5 year limited warranty



Twist & Lock



Wet location rated



50,000 hrs lifetime



Warranty

Frame-in Kit

HOUSING: 18 ga. die-formed aluminum box fastened to 22 ga. steel mounting frame (4" frame-in kit, 4" shallow frame-in kit), 20 ga. die-formed aluminum (5" frame-in kit), 22 ga. die-formed aluminum (6" frame-in kit), 20 ga. die-formed aluminum (6" shallow frame-in kit).

JUNCTION BOX: Galvanized steel. Equipped with (6) 1/2" and (1) 3/4" knockouts with pryout slots to allow straight conduit runs. (4) knockouts for non-metallic sheathed cable installation. Junction box tension spring allows snap-in installation of plate cover for easy access to wiring. Approved for 8 (four-in, four-out) #12 AWG 90 through wire conductors.

MOUNTING: Pre-installed adjustable bar hangers engineered to accommodate lumber, laminated beams and T-bar.

CEILING: 1/2" up to 1".

CUTOUT: 4 3/8" (4" frame-in kit, 4" shallow frame-in kit), 5 3/8" (5" frame-in kit), 6 3/8" (6" frame-in kit, 6" shallow frame-in kit).

Light Engine

LED: Tightly binned, high performing white Cree® LED.

LUMEN OUTPUT (POWER): 750 lm (10.8W), 1000 lm (12.8W).

COLOR QUALITY: 93+ CRI, 2-step SDCM.

CCT OPTIONS: 2700K, 3000K, 3500K, 4000K.

CONNECTOR: PowerPlug® Luminaire Disconnect Model 182 (TRIAC/ELV), Model 102 (0-10V, Lutron Hi-lume® 1% and/or emergency lighting).

INPUT VOLTAGE: 120/277V.

DIMMING: Down to less than 5% for TRIAC/ELV at 120V or 0-10V at 120/277V. Down to less than 1% for Lutron Hi-lume® 1% at 120/277V.

EMERGENCY LIGHTING: Optional Emergency LED Driver for lighting up to 90 minutes in event of power failure.

LIFETIME: 50,000 hours at 70% lumen maintenance.

PHOTOMETRIC TESTING: Tested in accordance to IESNA LM-79-2008.

LISTINGS: cULus Listed. ENERGY STAR® qualified. California Title 24 2016 JA8 compliant. UL Listed for Wet Location. ASTM E283 certified Air Tight. IC Rated.

WARRANTY: 5 year limited warranty.

Trim

CONSTRUCTION: Die-cast aluminum. Twist & Lock mounting allows easy tool-free field installation and tight ceiling fit.

Product Code:	Type:		
Project:	Contact:	Date:	

Model	Watts	Delivered lumens	LED lumens	CRI	Color °T	Voltage
LEDWALL-G	8 W	450 lm	600 lm	90	3000 K	120 V

Specifications

Over 50,000 hours of service life
 Warm white light output
 Separately adjustable up and down lighting
 Easily adjustable lighting angle from 0° to 92°
 Low power consumption
 120 V AC direct connection
 Superior color consistency
 Directional lighting
 Integrated dimmable driver
 ADA compliant

Finish

BK/GD Black, gold interior
BK Black
BZ Bronze
SG Silver grey
WH White

Order example

LEDWALL-G-BK/GD
 Dimmable LEDWALL-G wall mount in a black finish with gold interior

LEDWALL-G

