



Correspondence Between Staff and Applicant

Approval Letter

**PARADISE VALLEY PLAZA OWNERS ASSOCIATION
10207 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85253**

**TO: Tom Frankel
FROM: Jim Marrion
RE: Plans for new building**

Dear Tom:

The architectural committee of the Paradise Valley Plaza Owners Association has received your request to approve the plans for your new project. The design of the building is excellent and we approved it unanimously.

However, the design includes a new dumpster location that would eliminate a parking space in the lot. The members have a concern about that and will not give up any of the common parking area for the benefit of one owner. The common area is reserved for parking only and it would be a violation of the restrictions to dedicate any part of the common area to one owner. However, the dumpster enclosure to the west of your building was constructed to accommodate 3 dumpsters and there are only 2 in use there currently. You are welcome to use that vacant location in lieu of taking property that belongs to all the owners.

Therefore, I am pleased to inform you that your request has received unanimous approval from the architectural committee if and only if the illegal taking of the dumpster location is eliminated from your request. We wish you the best of luck with this project.

Sincerely,

**James E. Marrion
President**



Planning & Development Services

7447 East Indian School Road
Scottsdale, Arizona 85251

October 22, 2019

7-DR-2019

Tom Frenkel

Clayton Companies

7340 E Main St Ste 200

Scottsdale, AZ 852514477

RE: DRB APPROVAL NOTIFICATION

Case Reference No: 7-DR-2019 The Ivy

The Development Review Board approved the above referenced case on October 17, 2019. For your use and reference, we have enclosed the following documents:

- Approved Stipulations/Ordinance Requirements
- Accepted Basis of Design Reports
- Construction Document Submittal Requirements/Instructions
- This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.
 - These instructions are provided to you so that you may begin to assemble information you will need when submitting your construction documents to obtain a building permit. For assistance with the submittal instructions, please contact your project coordinator, Ben Moriarity, 480-312-2836.
- Table: "About Fees"
 - A brief overview of fee types. A plan review fee is paid when construction documents are submitted, after which construction may begin. You may review the current year's fee schedule at: <https://www.scottsdaleaz.gov/planning-development/fees>

Please note that fees may change without notice. Since every project is unique and will have permit fees based upon its characteristics, some projects may require additional fees. Please contact the One Stop Shop at 480-312-2500.

Finally, please note that as the applicant, it is your responsibility to distribute copies of all enclosed documents to any persons involved with this project, including but not limited to the owner, engineers, architect, and developer.

Sincerely,

Ben Moriarity

Planner

bmoriarity@ScottsdaleAZ.gov

About Fees

The following table is intended to assist you in estimating your potential application, plan review, and building permit fees. Other fees may also apply, for example Water Resources Non-Residential Development, Parking-in-Lieu Fees, or Assessment District Fees; and those fees are not listed in this package the plan review staff is responsible for determining additional applicable fees.

Type of Activity	Type of Fee	Subcategory	When paid?
Commercial	Application	Preapplication, Variance, Zoning Appeal, Continuance, Development Review Board, ESL, General Plan, Rezoning, Sign Review, Special Event, Staff Approval, Temporary Sales Trailer, Use Permit, or Zoning Text Amendment	At time of application submittal
	Plan Review	- Commercial, foundation, addition, tenant improvement/remodel - Apartments/Condos - Engineering site review - Signs - Plat fees - Misc. Plan Review - Lot Tie/Lot Split - Pools & Spas - Recordation	At time of construction document submittal
	Building Permit	- Commercial addition, remodel, tenant improvement, foundation only, shell only - Fence walls or Retaining walls - Misc. Permit - Signs	After construction document approval and before site construction begins
Residential	Application	Preapplication, Variance, Zoning Appeal, Continuance, Development Review Board, ESL, General Plan, Rezoning, Sign Review, Special Event, Staff Approval, Temporary Sales Trailer, Use Permit, or Zoning Text Amendment	At time of application submittal
	Plan Review	- Single family custom, addition, remodel, standard plans - Engineering site review - Misc. plan reviews	At time of construction document submittal
	Building Permit	- Single family custom, addition, remodel, detached structure, standard plans - Fence walls or Retaining walls - Misc. Permit - Signs	After construction document approval and before site construction begins

A copy of these Construction Document Application submittal requirements must accompany your first Construction Document Application submittals. Provide each item listed on the submittal checklists with your first construction document plan review application.

The Improvement Plan Application, Plat/Map of Dedication/Release Application, and Architectural Plan Application (if required) must be submitted at the same time, in separate packages as described below. The Native/Salvage Plant Plan Application, (This is also used for Downtown area properties) may be submitted prior to any other application. The Fire Department Deferred submittals may be submitted with the Architectural and Improvement Plan Application or after the plan approval or at a later date.

 **INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.** To modify these requirements, the applicant must contact the City of Scottsdale's Project Coordinator in Planning and Development Services. **Any modification to the Construction Document Application Requirements must be completed PRIOR to submittal of the first Construction Document Application plan review application.** The City of Scottsdale's Planning and Development Services staff reserves the right to refuse to modify these requirements.

- The following Construction Document Applications must be in separate packages by Section. See the individual sections herein for each of the application submittal content requirements:

- ☒ **Completed Permit Applications.** The permit applications are to be completed online at the following weblink:
<https://eservices.scottsdaleaz.gov/bldgresources/Plans>
- ☒ **(Section 1)** Improvement Plan Application – Digital submittal through the Improvement/Civil Plans Project Type
- ☒ **(Section 2)** Architectural Plan Application – Digital submittal through the Commercial or Multi-Family or Single-Family Project Type, as appropriate.
- ☒ **(Section 3)** Fire Department Requirements for Deferred Sprinkler, Extinguishing and/or Alarm Systems
- ☒ **(Section 4)** Public Safety Radio Amplification System Information
- ☒ **(Section 5)** Water & Wastewater Information
- ☒ **(Section 6)** Environmental Information

The cover sheet of the Civil plans, Landscape plans, Architectural plans, and Native Plant plans must each contain the following information:

- 1) County Assessor parcel number(s) of parcels on which improvements are being proposed.
- 2) Full street address assigned by the City of Scottsdale Records Department.
- 3) The applicable Development Review Board case number (##-DR-####), Zoning Case number (##-ZN-####), or other associated case number in the right-hand margins. The pre-application number is not needed on the plans. All numbers must be in 1/4-inch letters. Leave additional space on your right-hand margin for the plan check number that will be assigned after Construction Document Application has been submitted.
- 4) Provide the name, address, phone number, and email address of the owner and the party preparing the plans (architect, engineer, landscape architect, salvage company, etc.).



Construction Document Application Requirements

The Ivy (7-DR-2019)

Detailed information regarding construction plan preparation to the City of Scottsdale can be found in the City of Scottsdale's DESIGN STANDARDS AND POLICIES MANUAL. You may access the manual online at:

<http://www.scottsdaleaz.gov/design/DSPM> and

<https://www.scottsdaleaz.gov/planning-development/plan-review>

or call the One Stop Shop at 480-312-2500.

All construction plans, reports, etc., must be in conformance with those approved by the Development Review Board and all associated Stipulations.

SECTION 1.

Improvement Plan Document Application Requirements

Items listed must be submitted online through the Improvement/Civil Plans Project Type e-application with a copy of this list. **Incomplete e-application will not be accepted.** If necessary, the plan reviewer may require additional information and plans after the first submittal. **The applicant is strongly encouraged to consult the City of Scottsdale's Design Standards and Policies Manual (DSPM) for the minimal submittal and construction document preparation requirements.**

- ☒ Improvement/Civil Plan e- Application shall include **one (1) DIGITAL PDF plan set, 24"x36"** plan sheets (no other plan size will be accepted) with a minimum horizontal Scale: 1" = 20', a minimum vertical scale: 1" = 2'. In addition to the complete set, additional digital plans and/or report PDF files as indicated in the table below shall be include with the Improvement Plan e-application.

Engineering, Stormwater, Fire, and Planning One (1) Digital File Set		Plans and Related Documents	
Required	Provided	Submittal Item Digitally through the City's website at the following link: https://eservices.scottsdaleaz.gov/bldgresources/plans	
☒	☐	Improvement Plan Set file (including the following):	
	☒	☐	Grading and Drainage Plans (including drainage structures, retaining walls, walls/ fences, etc.)
	☒	☐	Water & Sewer Plans
	☒	☐	Landscape and Irrigation plans. (Please See Notes 1 and 2 below)
☒	☐	Following engineering files, 1 pdf file each: (for reference) (See Note 3 Below)	
	☒	☐	Accepted Final Water Basis of Design Report
	☒	☐	Accepted Final Sewer Basis of Design Report
	☒	☐	ALTA Survey Plan



Construction Document Application Requirements

The Ivy (7-DR-2019)

☒	☐	Completed 404 Certification Form
☐	☐	Notice of Intent (NOI)
☐	☐	No-Conflict Forms (Originals must be signed by each utility prior to plan approval)

NOTES:

1. Retaining walls, fence /walls, monuments, and entry gate features shall be included in the **Civil plan set for review and approval**. Walls and wall details may be shown on the Landscape plan set for color and material approval only.
2. Building structures such as Ramadas, Mailboxes and Water features/fountains shall be included in the **Architectural Plan set for review and approval**. Structures may be shown on the Landscape plan set for reference only.
3. Any outstanding reports shall be accepted by the City prior to the first submittal of Improvement Plans.
4. **Signed Easement Dedication forms** (signed by owners) and **Confirmation of Dedication forms** (signed by beneficiary(s)) will be requested only after the legal description and graphic exhibits are reviewed by City staff and accepted for processing.
5. When **multiple dedications** are occurring, a singular Plat or Map of Dedication shall be used in place of individual legal and graphic exhibits.

SECTION 2.

Architectural Constuction Document Application Requirements

Items listed must be submitted online through the Single Family or Multi-Family or Commercial Project Type e- application as appropriate, with a copy of this list. All plans must be signed and sealed.

Incomplete e-application will not be accepted. If necessary, the plan reviewer may require additional information and plans after the first submittal. **The applicant is strongly encouraged to consult <https://www.scottsdaleaz.gov/planning-development/plan-review> for minimal submittal and construction document preparation requirements.**

- ☒ Architectural Plan e-application shall include **one (1) DIGITAL PDF plan set**, 24"x36" plan sheets (no other plan size will be accepted).

In addition to the complete set, additional digital plans and/or report PDF files as indicated in the table below shall be include with the Architectural Plan e-application.

Building, Planning, and Fire One (1) Digital File Set			Plans and Related Documents
Required	Provided	Submittal Item Digitally through the City's website at the following link: https://eservices.scottsdaleaz.gov/bldgresources/plans	
☒	☐	Architectural Plan Set (including the following):	
	☒	☐	Architectural Plans
	☒	☐	Electrical Plans
	☒	☐	Foundation Plans
	☒	☐	Mechanical Plans
	☒	☐	Structural Plans
	☒	☐	Open Space plan

	☒	☐	Photometric Plans
	☒	☐	Exterior Lighting Manufacture Cut Sheets (on 24" x 36" paper minimum)
	☒	☐	One (1) copy of structural, electrical, and water calculations (Either as a separate 8 ½" x 11" document or on the drawings)
	☒	☐	One (1) copy of soils report
	☒	☐	One (1) copies of the International Energy Compliance Code compliance documentation. (Energy modeling calculations and report, or Com-Check is acceptable)
	☒	☐	One (1) copy of the Construction Specifications - 8 ½" x 11" bound copies or on plan sheets
	☒	☐	Civil & Landscape Plans (for reference only)

SECTION 3.

**Fire Department Requirements For Deferred Sprinkler, Extinguishing,
and/or Alarm System Submittals**

		FIRE ORDINANCE REQUIREMENTS	
(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)			
☐	1. Premises identification to be legible from street or drive.	☐	8. Backflow prevention is required for all NFPA 13/13R systems.
☐	2. Fire Lanes & Emergency Access shall be provided & marked in compliance with City Ordinance and International Fire Code requirements.	☐	9. Provide a KNOX access system: ☐ a. KNOX box ☐ b. Padlock ☐ c. Key switch and preemption device override for automatic gates
☐	3. Provide all weather access roads (minimum 16' (ft.) in width) to all buildings and hydrants from public way during construction.	☐	10. Fire Department Connections shall be Installed in a location approved by Scottsdale Fire Code Official.
☐	4. A fire sprinkler system shall be installed and comply with currently adopted NFPA standards.	☐	12. Fire sprinkler system design criteria for unspecified shell buildings shall be .45 gpm over 3000 square feet.
☐	5. Buildings are subject to installation and testing requirements for Public Safety radio amplification system.	☐	11. Provide "Owner's Information Certificate" with fire sprinkler plan submittal.
☐	6. Submit Hazardous Material Management Plan (HMMP) for all Hazardous Materials. Submit HMMP with Building submittal.	☐	13. Fire sprinkler system design for warehouse/storage occupancies shall be based on the full height capacity of Building per Scottsdale Revised Code.
☐	7. Fire lines, sprinklers and standpipe systems shall be flushed and pressure tested per NFPA Standards and Scottsdale Revised Codes.	☐	14. Provide a combination lock box for building access keys and fobs for police and public safety personnel.

INSTRUCTIONS – After Building and Civil plan approval, installing contractor(s) shall submit the following information:

Plans and Related Documents	Fire Review	
	Req.	If applicable
Submittal Item:		
NFPA compliant Sprinkler system	☒	
NFPA compliant Fire Alarm system	☐	☐
UL 300 compliant commercial hood suppression system	☐	☐
“Required” check boxes (completed by Fire Code Official) indicate whether or not a submittal item is required. “If Applicable” check boxes (completed by Fire Code Official) indicate a submittal may be required, this will be stated on Building plan by “Architect of Record” and approved by the Fire Code Official on Building submittal. All deferred Fire submittals shall not be included in Building plan submittal(s)		
One (1) copy of Plan Submittal	☐	
One (1) copy of supporting calculations	☐	
One (1) copy of Manufacture Data Sheets	☐	



NOTE:

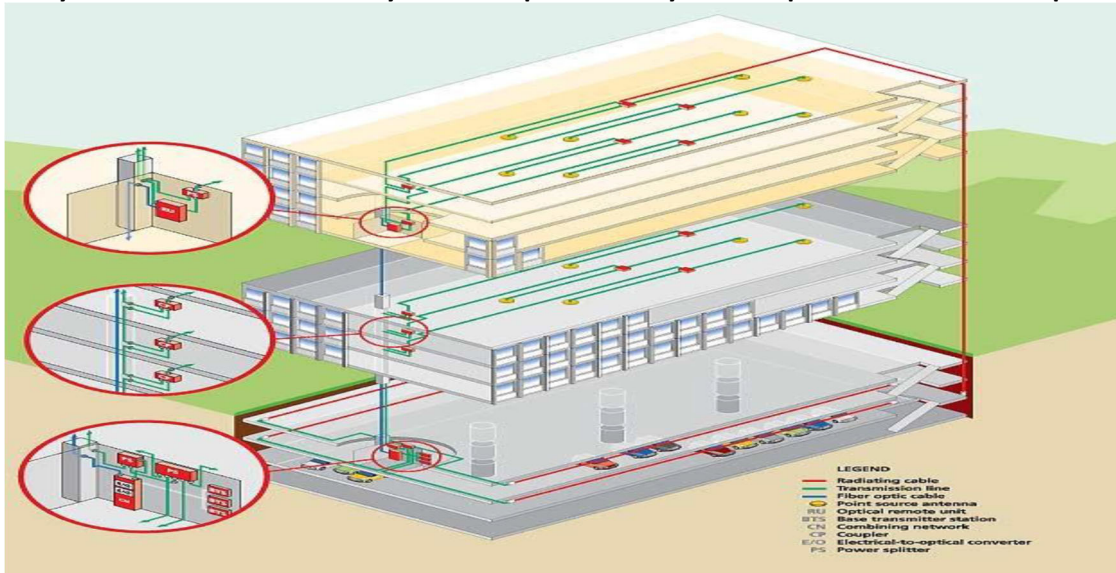
At a minimum, all submitted information shall be reviewed by the applicant’s NICET level III Certified Engineering Technician (CET) or a Professional Engineer, as required, prior to the submittal – refer to the more comprehensive base checklists on-line.

The plans must demonstrate compliance with the adopted Codes, Ordinances, Standards and Interpretations for each appropriate application.

SECTION 4.

Public Safety Radio Amplification System Information

City of Scottsdale Public Safety Radio Amplification System Requirements for Developers



Since December 1995, the City of Scottsdale has required all non-single family buildings to have public safety radio communications coverage (See S.R.C. Sec. 31-47(b), Public Safety Radio Amplification Systems) so that a police officer or firefighter can use their portable radio to communicate with the dispatch center or with other personnel. The requirement for public safety radio coverage applies to new construction and tenant improvements that trigger the building to be brought into compliance with current National Electric Code, as adopted by the city.

What is a Public Safety Radio Amplification System?

The Federal Communications Commission regulates the “signal boosters” which are used to improve radio communications in areas that radio signals are blocked or shielded due to environmental or man-made obstacles. These signal boosters are more commonly referred to a Bi-Directional Amplifier (BDA) system and are installed in buildings, underground parking and other open or closed spaces that do not have adequate radio signal coverage (see diagram). The BDA system consists of a donor antenna that sends and receives radio signals to/from the host radio site and carries that radio signal to an amplifier that routes the radio signals to antennas located throughout the structure. The police officer or firefighter who is inside a building or structure with a BDA will have their portable radio unit send and receive communication over the BDA system.

Will My Building Need a BDA System?

Unfortunately, the requirement for a BDA system for your building or structure is difficult to determine as location, size, surrounding buildings and construction materials all factor into the need for a BDA. If your building has either a basement level or an underground parking garage, it is almost certain that your



Construction Document Application Requirements

The Ivy (7-DR-2019)

project will require a BDA system. For all buildings – whether or not there is a basement or underground parking – after drywall has been installed, a member of the City’s Public Safety Radio Department will perform a radio signal strength assessment to determine if a BDA system is required at your location.

How Much Do BDA Systems Cost?

The cost of a BDA system generally ranges from \$15,000 to \$75,000, depending on the number of floors, stairwells, and total area that needs to have the radio signal amplified.

If you have any questions or would like additional information, you may contact the City Radio Engineer at radioengineer@scottsdaleaz.gov

SECTION 5.

Water & Wastewater Information

Arizona Department of Environmental Quality (ADEQ):

- The developer shall be responsible for conformance with ADEQ regulations and requirements for submittals, approvals, and notifications. The developer shall demonstrate compliance with Engineering Bulletin #10 Guidelines for the Construction of Water Systems, and applicable chapters of the Arizona Administrative Code, Title 18, and Environmental Quality. In addition:

Maricopa County Environmental Services Department (MCESD):

- Before approval of final improvement plans by the Plan Review and Permit Services Division, the developer shall submit a cover sheet for the final improvement plans with a completed signature and date of approval from the Maricopa County Environmental Services Department (MCESD).
- Before issuance of Permits to Work in the Right-of-Way by city staff, the developer shall provide evidence to city staff that a Certificate of Approval to Construct (ATC) Water and or Wastewater Systems has been submitted to the MCESD in the form of a document developed by the County with date stamp.
- Before commencing construction, the developer shall submit evidence that approval to construct has been issued by the MCESD.
- Before issuance of Letters of Acceptance by the City's Inspection Services Division, the developer shall provide to the City a final set of as-built mylars of the improvements and Approval of Construction (AOC) by the MCESD.

Water and Wastewater Requirements:

- The developer shall pay a Sewer Development Fee for City sewer service in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City sewer system. All questions may be referred to Water Resources at 480-312-5650.
- The developer shall pay a Water Development Fee and Water Resources Development Fee for City water supply in accordance with City Ordinance. This fee shall be paid at the time, and as a condition of the issuance of a building permit, or if the development does not require a building permit, prior to connection to the City water system. All questions may be referred to Water Resources at 480-312-5650.
- Prior to the issuance of any building permit, the developer shall pay a Water Meter Fee for connection to the City water system in accordance with City Ordinance. If there is an existing water meter for this project, applicable water meter fees must be paid only if a larger meter is required.

SECTION 6.

Environmental Information

Arizona Department of Environmental Quality (ADEQ) Requirements:

All construction activities that disturb one or more acres shall obtain coverage under the Arizona Pollutant Discharge Elimination System (AZPDES) Construction General Permit. To gain coverage, operators of construction sites must:

- Prepare a Stormwater Pollution Prevention Plan (SWPPP) and submit for City review and approval as part of the improvement plan submittal;
- Submit a Notice of Intent (NOI) to ADEQ;
- Provide the NOI Certificate of Approval to the City before the final plan approval.
- Send a Notice of Termination (NOT) to ADEQ when construction is completed.
- Contact ADEQ at 602-771-4449 for further information. Forms are available from the City of Scottsdale One Stop Shop, or from ADEQ.
- The approved SWPPP shall be kept onsite at all times during construction.

PRELIMINARY WATER BASIS OF DESIGN REPORT FOR THE IVY - SCOTTSDALE

PRELIMINARY Basis of Design Report

- ☒ **ACCEPTED**
☐ **ACCEPTED AS NOTED**
☐ **REVISE AND RESUBMIT**



Disclaimer: If accepted; the preliminary approval is granted under the condition that a final basis of design report will also be submitted for city review and approval (typically during the DR or PP case). The final report shall incorporate further water or sewer design and analysis requirements as defined in the city design standards and policy manual and address those items noted in the preliminary review comments (both separate and included herein). The final report shall be submitted and approved prior to the plan review submission.

For questions or clarifications contact the Water Resources Planning and Engineering Department at 480-312-5685.

BY rsacks

DATE 9/11/2019

Scottsdale, Arizona

05 September 2019

PREPARED FOR

Aline Architecture Concepts
7340 East Main Street, #210
Scottsdale, Arizona 85251

DEVELOPER

10435 Scottsdale, LLC
7340 East Main Street, #200
Scottsdale, Arizona 85251

SITE ADDRESS

10345 North Scottsdale Road
Scottsdale, Arizona 85258

PREPARED BY

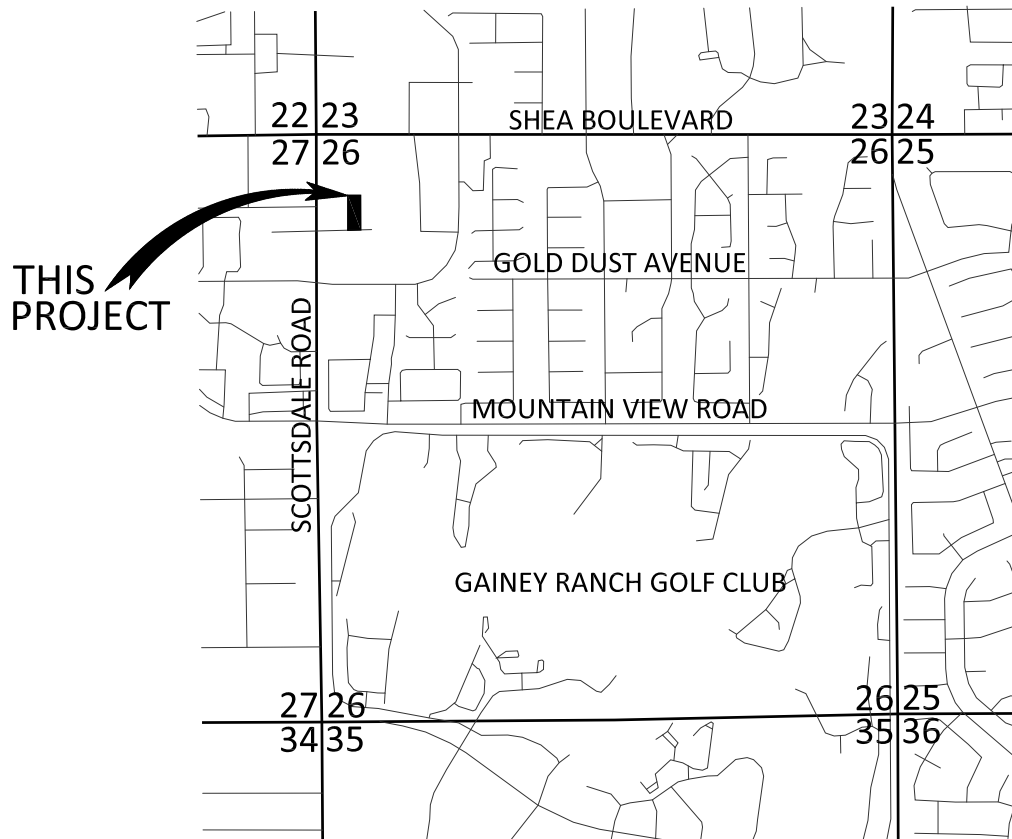
CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

4450 north 12th street, #228

phoenix, arizona 85014

CYPRESS # 18.12





IN THE NW 1/4 OF THE NW 1/4 OF SECTION 26,
T. 3 N., R. 4 E., G.&S.R.M.,
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA

LOCATION MAP

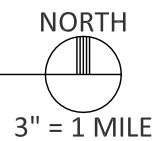


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APPENDICES

- A City of Scottsdale Water & Sewer Quarter Section Map
- B Preliminary Floor Plan
- C Preliminary Improvement Plan

INTRODUCTION: PROJECT DESCRIPTION AND LOCATION

The Project is known as 'The Ivy – Scottsdale' and is located at 10345 North Scottsdale Road in Scottsdale, Arizona. The project is also known as Tract A of Paradise Valley Plaza (herein referred to as the "Development").

The proposed project consists of the redevelopment of a single-story commercial building to contain three suites with the required paved parking, utility and drainage improvements, and amenity landscaping.

The utility provider for water facilities is the City of Scottsdale.

EXISTING CONDITIONS

The project is located at the southeast corner of Shea Boulevard and Scottsdale Road, within the center of the existing Paradise Valley Plaza Shopping Center. Per available utility maps and as-built records, existing water mains are located in Scottsdale Road to the west of the project, within the existing alley east of the project, within Gold Dust Avenue to the south of the project, and within Shea Boulevard to the north of the project. The existing building is connected to the 6" ACP water main within the alley to the east via a 6" DIP tap and 4" ACP extension to the east side of the building. Based on observations, the 4" ACP line supplies both the domestic water and fire service to the existing building. A 2" domestic water line with a 2" meter branches off the 4" line just before connecting to the building. Refer to Appendix A for City of Scottsdale Water Quarter Section Maps.

At the time of this report, no fire flow test has been conducted in Scottsdale Road. It is assumed that the existing water line in Scottsdale road shall provide sufficient pressure and capacity to serve the Project.

PROPOSED CONDITIONS

There is a single existing building onsite intended to be redeveloped with the southern part of it being demolished and rebuilt as a new structure. The combined proposed building shall contain three suites – two commercial/retail suites and one office suite. The design team intends to abandon the existing 4" ACP distribution line to the 6" main and instead install a new public 6" main from the water main in Scottsdale Road to a new fire hydrant south of the building. A new 6" fire service and a new 2" water service shall extend from the new building to this new 6" main. The project shall have approximately 110 linear feet of private fire line 6" distribution pipe beyond the nearest hydrant east of the existing building. This is anticipated to provide adequate

sizing and pressure to supply the intended domestic and fire services to the building. Refer to Appendix C for Preliminary Floor Plan and Appendix D for Preliminary Improvement Plans.

REQUIRED COMPUTATIONS

EXISTING WATER DEMAND:

The existing building has a total square footage of 15,774 SF and is construction type V-B. Per the International Fire Code, Table B105.1, the building requires a minimum fire flow of 3,500 GPM for a 2-hour duration. The new building will have automatic sprinklers installed which typically result in an allowable 50% reduction in fire flow requirements. Therefore, the required fire flow will be 1,750 GPM for a 2-hour duration.

Average Day Demand (Commercial/Retail unit): $0.00111/\text{SF} \times 15,774 \text{ SF} = 17.51 \text{ GPM}$

Peak Hour Demand: $3.5 \times 17.51 = 61.29 \text{ GPM}$

Maximum Day Demand + Fire Flow Demand: $2 \times (17.51 \text{ GPM}) + 1,750 \text{ GPM} = 1,785.02 \text{ GPM}$

PROPOSED WATER DEMAND:

The proposed building has a total square footage of 10,911 SF and is construction type V-B. Per the International Fire Code, Table B105.1, the building requires a minimum fire flow of 2,750 GPM for a 2-hour duration. The new building will have automatic sprinklers installed which typically result in an allowable 50% reduction in fire flow requirements, but the fire flow cannot be less than 1,500 GPM. Therefore, the required fire flow will be 1,500 GPM for a 2-hour duration. A fire flow test was conducted on February 8, 2019 and the existing fire line was shown to have a static pressure over 60 PSI and 1,576 GPM available at 20 PSI, exceeding the minimum fire flow requirements. Refer to Appendix C for Fire Flow Test Results.

Average Day Demand

(Commercial/Retail unit): $0.00111/\text{SF} \times 6,457 \text{ SF} = 7.17 \text{ GPM}$

(Office unit): $0.000834/\text{SF} \times 4,454 \text{ SF} = 3.71 \text{ GPM}$

Total: 10.88 GPM

Peak Hour Demand: $3.5 \times 10.88 = 38.08 \text{ GPM}$

Maximum Day Demand + Fire Flow Demand: $2 \times (10.88 \text{ GPM}) + 1,500 \text{ GPM} = 1,521.76 \text{ GPM}$

The proposed condition will have a lower demand than it does in the existing condition. Thus, it is expected that the existing water infrastructure will be sufficient to serve the redeveloped building.

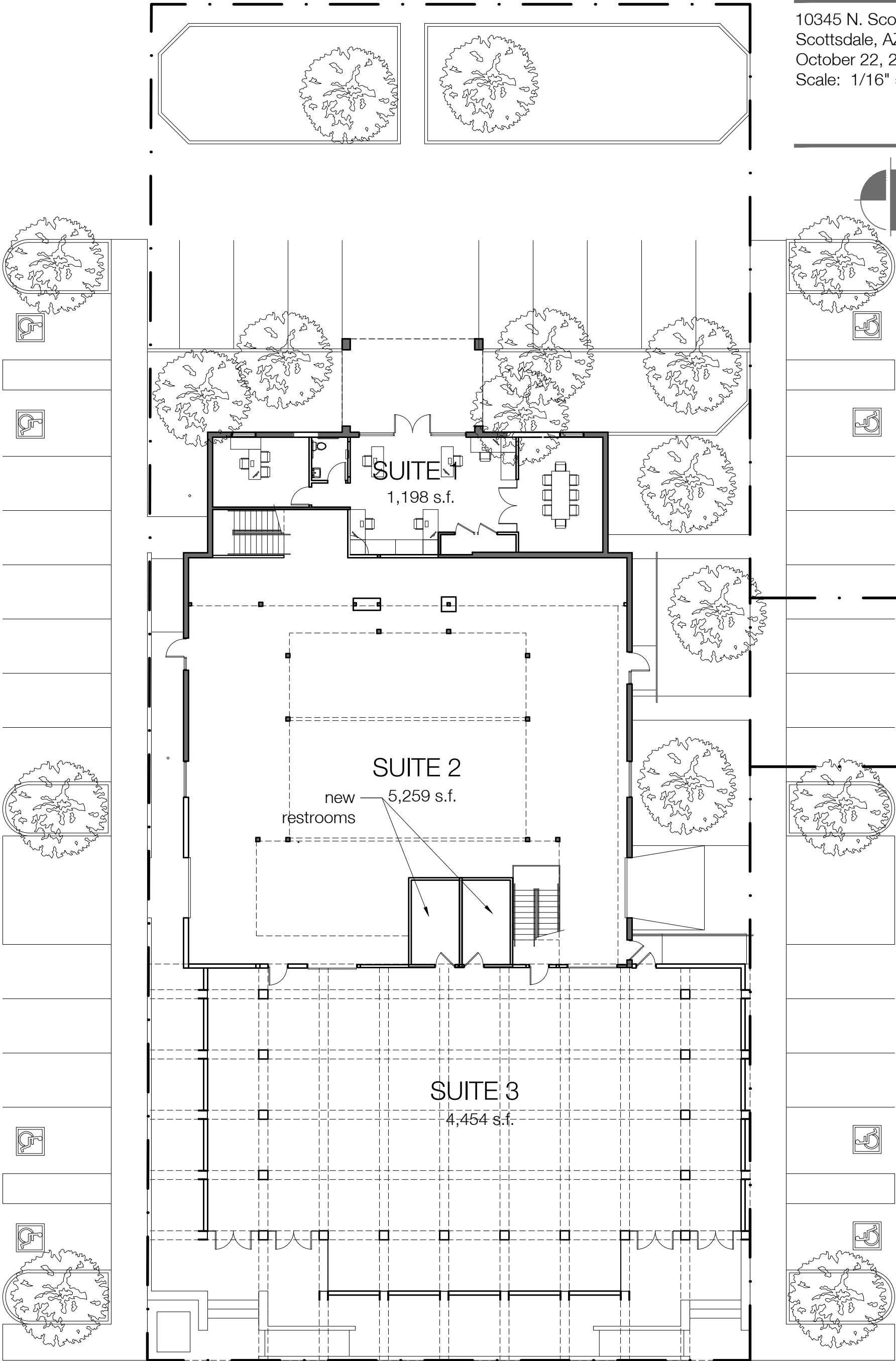
CONCLUSION

CYPRESS respectfully submits this report as the Preliminary Water Design Report for the proposed The Ivy – Scottsdale Development. The proposed water system shall be designed in accordance with ADEQ, International Building Code, and the City of Scottsdale standards.

Appendix A
City of Scottsdale Water & Sewer Quarter Section Map

Appendix B
Preliminary Floor Plan

10345 N. Scottsdale Rd.
Scottsdale, AZ 85253
October 22, 2018
Scale: 1/16" = 1'-0"

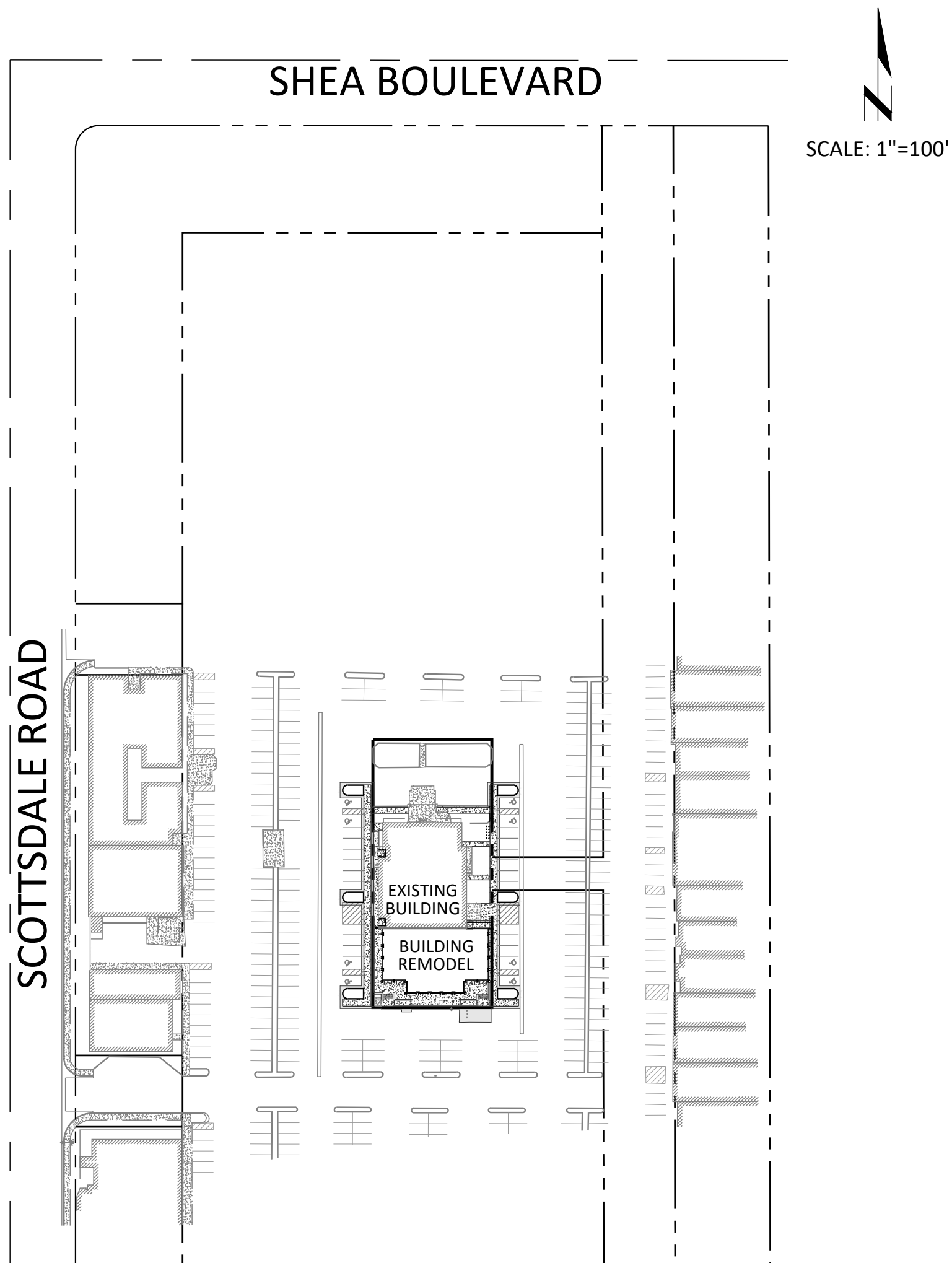


Appendix C

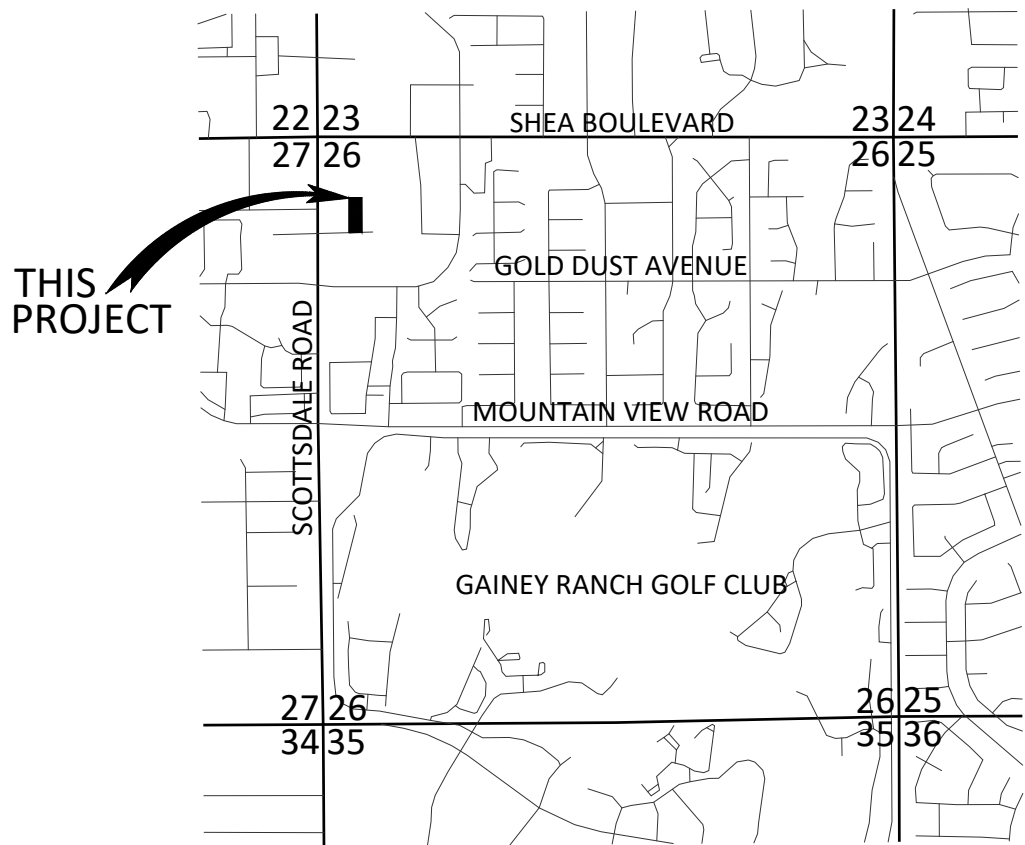
Preliminary Improvement Plan

PRELIMINARY IMPROVEMENT PLAN for THE IVY - SCOTTSDALE ROAD

10345 NORTH SCOTTSDALE ROAD SCOTTSDALE, ARIZONA
A PORTION NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE
GILA AND SALT RIVER MERIDIAN MARICOPA COUNTY, ARIZONA



PROJECT OVERVIEW



IN THE NW 1/4 OF THE NW 1/4 OF SECTION 26,
T. 3 N., R. 4 E., G.&S.R.M.,
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA

LOCATION MAP

LEGEND

---	RIGHT-OF-WAY	⊙	EXISTING SEWER CLEANOUT
---	PROJECT BOUNDARY LINE	⊗	EXISTING WATER VALVE
---	OTHER PARCEL LINE	⊞	EXISTING WATER METER
---	ROADWAY CENTERLINE	⊞	EXISTING FIRE HYDRANT
---	SECTION LINE	⊞	EXISTING FIRE CONNECTION
---	FLOW-LINE	⊞	EXISTING TRANSFORMER
---	EXISTING EASEMENT	⊞	EXISTING SIGN
---	NEW EASEMENT	⊞	EXISTING SITE LIGHT
---	EXISTING CONTOUR	⊞	SURVEY MONUMENT AS NOTED
---	NEW CONTOUR	⊞	SPOT ELEV. (EXIST. GRADE)
---	EXISTING CONCRETE	⊞	SPOT ELEV. (NEW GRADE)
---	NEW ASPHALT	⊞	RIGHT-OF-WAY
---	NEW CONCRETE	⊞	RECORDED VALUE
---	NEW RETAINING WALL	⊞	MEASURED VALUE
---	EXISTING CURB	⊞	CALCULATED VALUE
---	EXISTING PAINT STRIPE	⊞	RADIUS
---	NEW CURB	⊞	PAVEMENT (ASPHALT)
---	NEW PAINT STRIPE	⊞	CONCRETE
---	EXISTING UNDERGROUND ELECTRIC	⊞	GUTTER
---	EXISTING SEWER LINE	⊞	TOP OF CURB
---	EXISTING WATER LINE	⊞	FINISHED GRADE
---	EXISTING FIRE SERVICE	⊞	LOW POINT
---	EXISTING GAS LINE	⊞	HIGH POINT
---		⊞	GRADE BREAK
---		⊞	FINISHED FLOOR ELEVATION
---		⊞	PUBLIC UTILITY EASEMENT
---		⊞	LENGTH
---		⊞	SLOPE

PROJECT INFORMATION

- PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF THE REPURPOSING OF THE EXISTING STRUCTURE FOR THE USE OF A NEW RESTAURANT WITH ALL PAVING, GRADING & DRAINAGE, UTILITY AND PARKING IMPROVEMENTS.
- ADDRESS:
10345 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85253
APN: 175-33-090A
- ZONING: C-3
- SITE AREA: 22,502 SF (0.52 AC)

SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PH: 480-991-3985
CONTACT: JERRY D. HEATH JR., R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE BEARING OF N 00°00'00" E, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO THE PLAT OF PARADISE VALLEY PLAZA, RECORDED IN BOOK 94, PAGE 15, MARICOPA COUNTY RECORDS, ARIZONA.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE BRASS CAP IN HANDHOLE WITH ID #3272 AT THE INTERSECTION OF SCOTTSDALE ROAD AND SHEA BOULEVARD WITH AN ELEVATION 1351.26' (NAVD 88).

LEGAL DESCRIPTION

PARCEL NO. 1
TRACT A, OF PARADISE VALLEY PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 94 OF MAPS, PAGE 15.
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AN UNDIVIDED 1/90TH INTEREST IN AND TO TRACTS B AND C, OF PARADISE VALLEY PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 94 OF MAPS, PAGE 15.

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DRAINAGE STATEMENT

-SITE IS IN A SPECIAL FLOOD HAZARD AREA - NO
-OFFSITE FLOWS AFFECT THIS SITE - NO
-RETENTION IS EXISTING AND NO ADDITIONAL RETENTION ANTICIPATED AS PART OF THIS PROJECT
-EXTREME STORM OUTFALLS THE SITE AT THE SOUTHWEST CORNER AT THE ELEVATION OF 1347.14

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 04013C1760L, DATED OCTOBER 16, 2013 THE PARCEL IS LOCATED IN THE ZONE X (SHADED) AREA, WHICH IS DEFINED AS AREAS OF AS AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN, AREAS OF 1% ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1% ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE. INSURANCE PURCHASE IS NOT REQUIRED IN THESE ZONES.

OWNER/DEVELOPER

10435 SCOTTSDALE, LLC
7340 EAST MAIN STREET, #200
SCOTTSDALE, ARIZONA 85251
PH: 480-941-2260
ATTN: TOM FRENKEL

CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT
4450 NORTH 12TH STREET, #228
PHOENIX, ARIZONA 85014
PH: 623-282-2498
ATTN: JEFF HUNT

ARCHITECT

ALINE ARCHITECTURE CONCEPTS
7340 EAST MAIN STREET, #210
SCOTTSDALE, ARIZONA 85251
PH: 480-225-7359
ATTN: BRIAN KROB

UTILITIES

WATER: CITY OF SCOTTSDALE
SEWER: CITY OF SCOTTSDALE
ELECTRIC: SALT RIVER PROJECT
GAS: SOUTHWEST GAS
TELEPHONE: CENTURY LINK
CABLE: COX COMMUNICATIONS

CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

CYPRESS PROJECT NO: 18.124



NO.	DATE	REVISION

PRELIMINARY IMPROVEMENT PLAN for
THE IVY - SCOTTSDALE ROAD
10345 NORTH SCOTTSDALE ROAD SCOTTSDALE, ARIZONA

cover

DEVELOPER

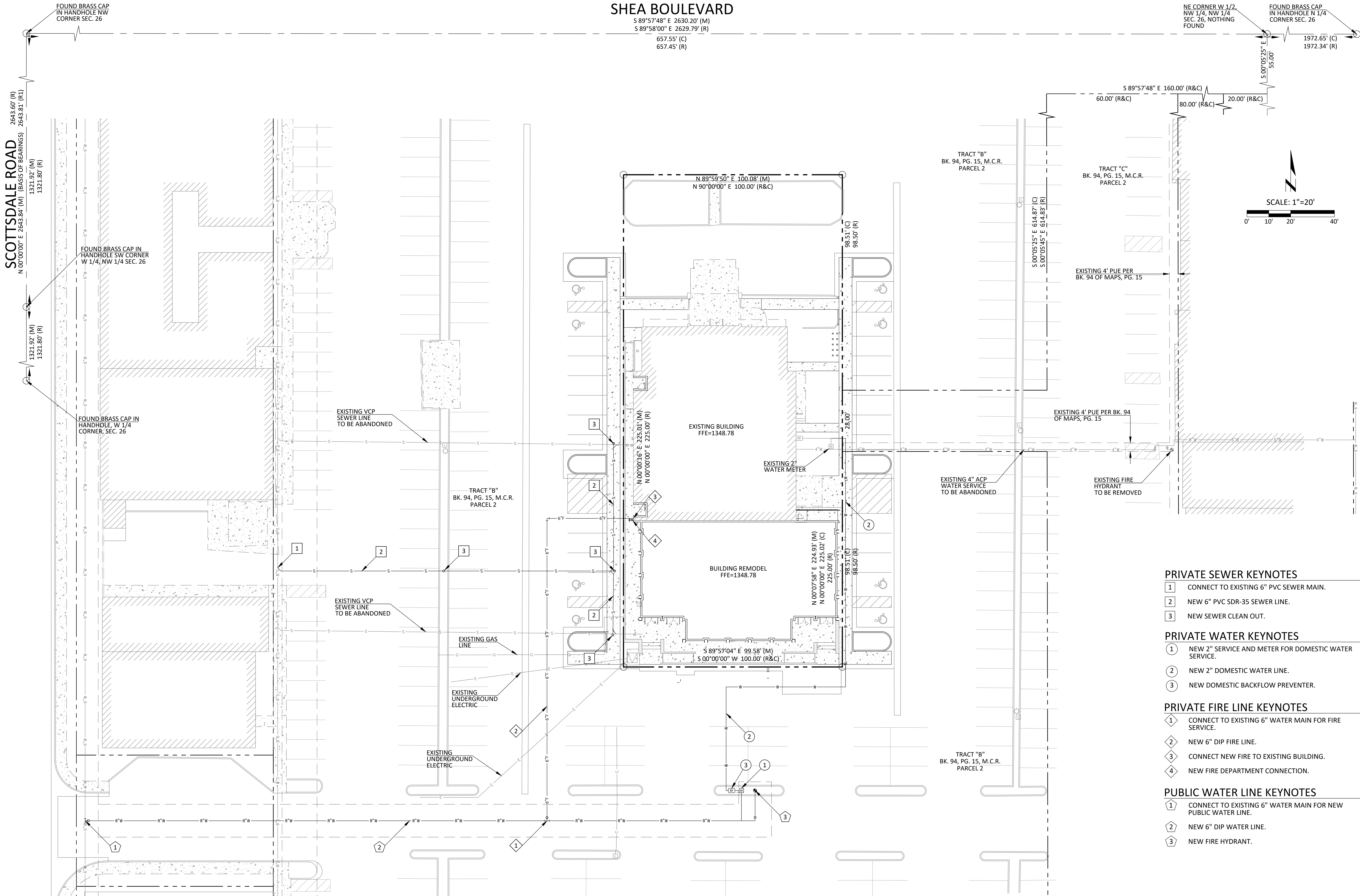
10435 SCOTTSDALE, LLC
7340 EAST MAIN STREET, #200
SCOTTSDALE, ARIZONA 85251
PH: 480-941-2260
ATTN: TOM FRENKEL

SITE ADDRESS

10345 NORTH SCOTTSDALE RD.
SCOTTSDALE, ARIZONA 85253
APN: 175-33-090A

SHEET NUMBER





SHEA BOULEVARD

S 89°57'48" E 2630.20' (M)
S 89°58'00" E 2629.79' (R)
657.55' (C)
657.45' (R)

NE CORNER W 1/2,
NW 1/4, NW 1/4
SEC. 26, NOTHING
FOUND

FOUND BRASS CAP
IN HANDHOLE N 1/4
CORNER SEC. 26

1972.65' (C)
1972.34' (R)

S 00°05'25" E
55.00'

SCALE: 1"=20'

PRIVATE SEWER KEYNOTES

- 1 CONNECT TO EXISTING 6" PVC SEWER MAIN.
- 2 NEW 6" PVC SDR-35 SEWER LINE.
- 3 NEW SEWER CLEAN OUT.

PRIVATE WATER KEYNOTES

- 1 NEW 2" SERVICE AND METER FOR DOMESTIC WATER SERVICE.
- 2 NEW 2" DOMESTIC WATER LINE.
- 3 NEW DOMESTIC BACKFLOW PREVENTER.

PRIVATE FIRE LINE KEYNOTES

- 1 CONNECT TO EXISTING 6" WATER MAIN FOR FIRE SERVICE.
- 2 NEW 6" DIP FIRE LINE.
- 3 CONNECT NEW FIRE TO EXISTING BUILDING.
- 4 NEW FIRE DEPARTMENT CONNECTION.

PUBLIC WATER LINE KEYNOTES

- 1 CONNECT TO EXISTING 6" WATER MAIN FOR NEW PUBLIC WATER LINE.
- 2 NEW 6" DIP WATER LINE.
- 3 NEW FIRE HYDRANT.

CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

CYPRESS PROJECT NO: 18.124



NO.	DATE	REVISION

PRELIMINARY IMPROVEMENT PLAN for
THE IVY - SCOTTSDALE ROAD
10345 NORTH SCOTTSDALE ROAD SCOTTSDALE, ARIZONA
onsite utility plan

DEVELOPER

10435 SCOTTSDALE, LLC
7340 EAST MAIN STREET, #200
SCOTTSDALE, ARIZONA 85251
PH: 480-941-2260
ATTN: TOM FRENKEL

SITE ADDRESS

10345 NORTH SCOTTSDALE RD.
SCOTTSDALE, ARIZONA 85253
APN: 175-33-090A

SHEET NUMBER



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING.

PRELIMINARY SEWER BASIS OF DESIGN REPORT FOR THE IVY - SCOTTSDALE

Scottsdale, Arizona

05 September 2019

PREPARED FOR

Aline Architecture Concepts
7340 East Main Street, #210
Scottsdale, Arizona 85251

DEVELOPER

10435 Scottsdale, LLC
7340 East Main Street, #200
Scottsdale, Arizona 85251

SITE ADDRESS

10345 North Scottsdale Road
Scottsdale, Arizona 85258

PREPARED BY

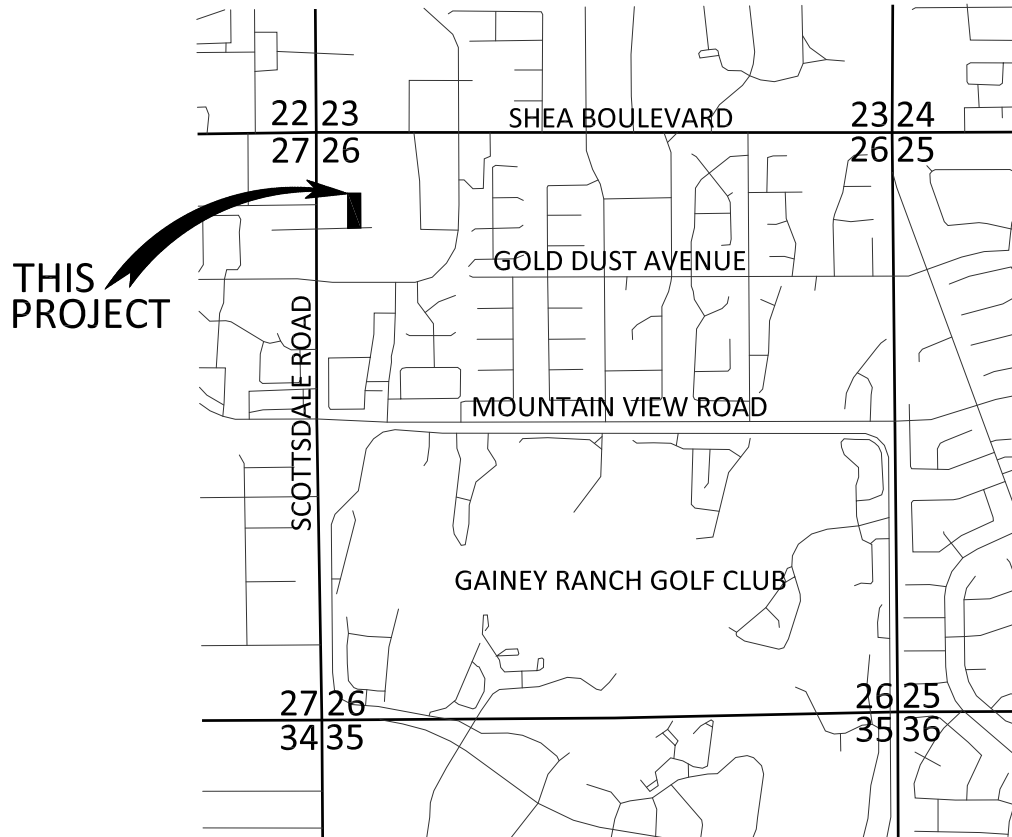
CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

4450 north 12th street, #228

phoenix, arizona 85014

CYPRESS # 18.12





IN THE NW 1/4 OF THE NW 1/4 OF SECTION 26,
T. 3 N., R. 4 E., G.&S.R.M.,
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA

LOCATION MAP

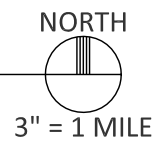


TABLE OF CONTENTS

LOCATION MAP	1
INTRODUCTION	2
EXISTING CONDITIONS	2
PROPOSED CONDITIONS	2
REQUIRED COMPUTATIONS	2
CONCLUSION	3

APPENDICES

- A City of Scottsdale Water & Sewer Quarter Section Map
- B Preliminary Floor Plan
- C Preliminary Improvement Plan

INTRODUCTION: PROJECT DESCRIPTION AND LOCATION

The Project is known as 'The Ivy – Scottsdale' and is located at 10345 North Scottsdale Road in Scottsdale, Arizona. The project is also known as Tract A of Paradise Valley Plaza (herein referred to as the "Development").

The proposed project consists of the redevelopment of a single-story commercial building to contain three suites with the required paved parking, utility and drainage improvements, and amenity landscaping.

The utility provider for sewer facilities is the City of Scottsdale.

EXISTING CONDITIONS

Per available utility maps and as-built records, existing sewer mains are located in Scottsdale Road to the west of the project, within the existing alley east of the project, and within Gold Dust Avenue to the south of the project. An 8" VCP sewer main is tapped from a manhole within Scottsdale Road to the west of the project and supplies sewer service to the interior of the shopping center via laterals from each of the buildings fronting Scottsdale Road. The existing building has two 4" existing service laterals connected to the 8" VCP sewer main. Refer to Appendix A for City of Scottsdale Sewer Quarter Section Map.

PROPOSED CONDITIONS

There is a single existing building intended to be redeveloped onsite to contain three suites – two commercial/retail suites and one office suite. The redeveloped building will have a footprint of 10,911 square feet. 6,457 square feet will be commercial/retail space and 4,454 square feet will be office space. The design team intends to abandon the two existing 4" sewer laterals and install one new 6" service lateral from the 8" main to the buildings with a minimum slope of 1.0%. This 6" line shall branch into two 6" service connections to the buildings. This is anticipated to provide adequate sizing to supply the three suites within the building. Refer to Appendix B for Preliminary Floor Plan and to Appendix C for Preliminary Improvement Plans.

REQUIRED COMPUTATIONS

EXISTING SEWER DEMAND:

Average Day Demand (Commercial/Retail): $0.5 \text{ GPD/SF} \times 15,774 \text{ SF} = 7,887 \text{ GPD}$

Peak Demand: $3 \times 7,887 = 23,661 \text{ GPD}$

PROPOSED SEWER DEMAND:

Average Day Demand

(Commercial/Retail): $0.5 \text{ GPD/SF} \times 6,457 \text{ SF} = 3,228.5 \text{ GPD}$

(Office): $0.5 \text{ GPD/SF} \times 4,454 \text{ SF} = 2,227 \text{ GPD}$

Total: 5,455.5 GPD

Peak Demand: $3 \times 5,455.5 = 16,366.5 \text{ GPD}$

The proposed demand shall be less than the existing demand. Thus, it is expected that the new sewer infrastructure will be sufficient to serve the redeveloped building, as it will size up the existing 4" service to a 6" service.

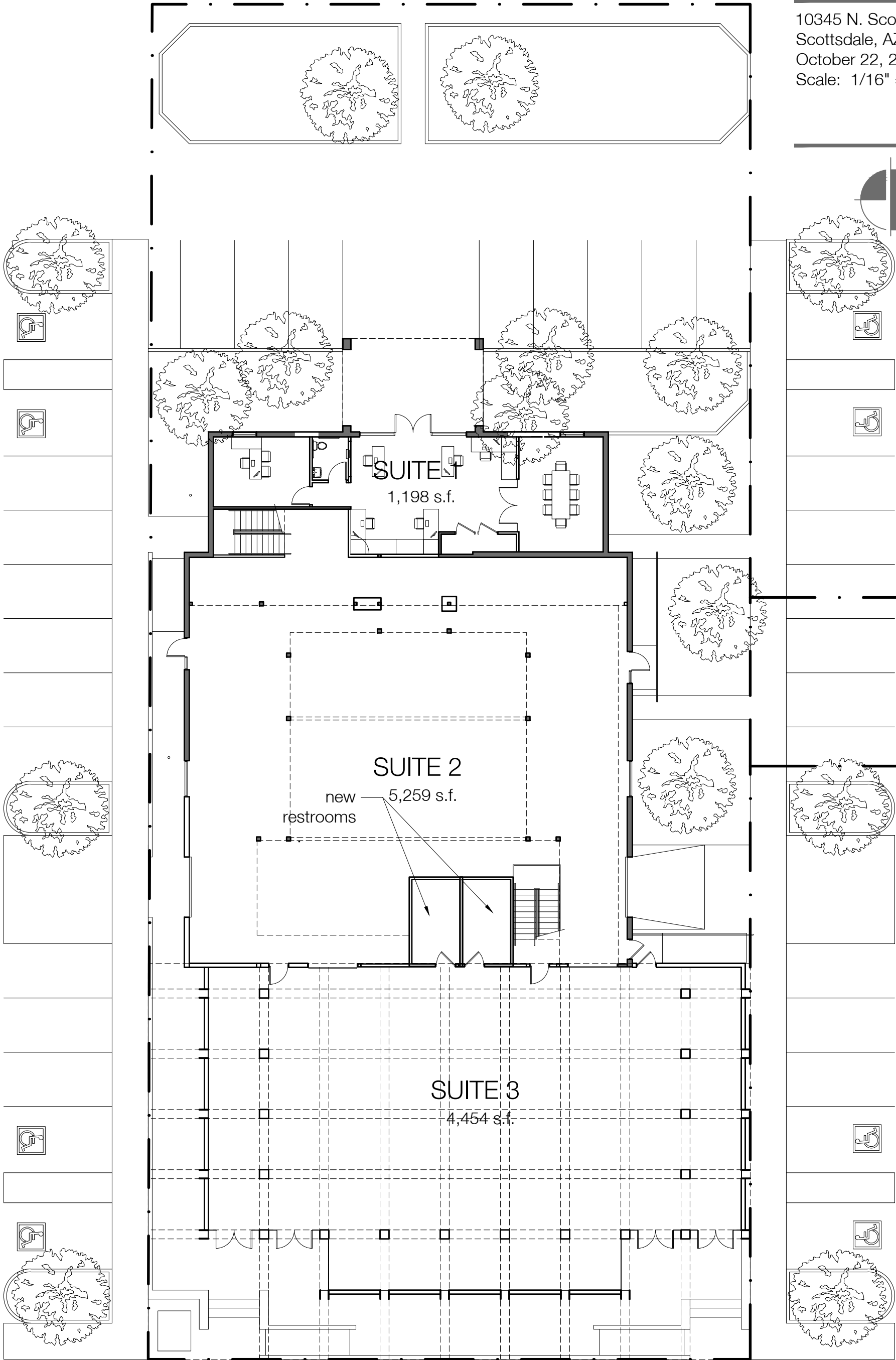
CONCLUSION

CYPRESS respectfully submits this report as the Preliminary Wastewater Design Report for the proposed The Ivy – Scottsdale Development. The proposed wastewater system shall be designed in accordance with ADEQ, International Building Code, and the City of Scottsdale standards.

Appendix A
City of Scottsdale Water & Sewer Quarter Section Map

Appendix B
Preliminary Floor Plan

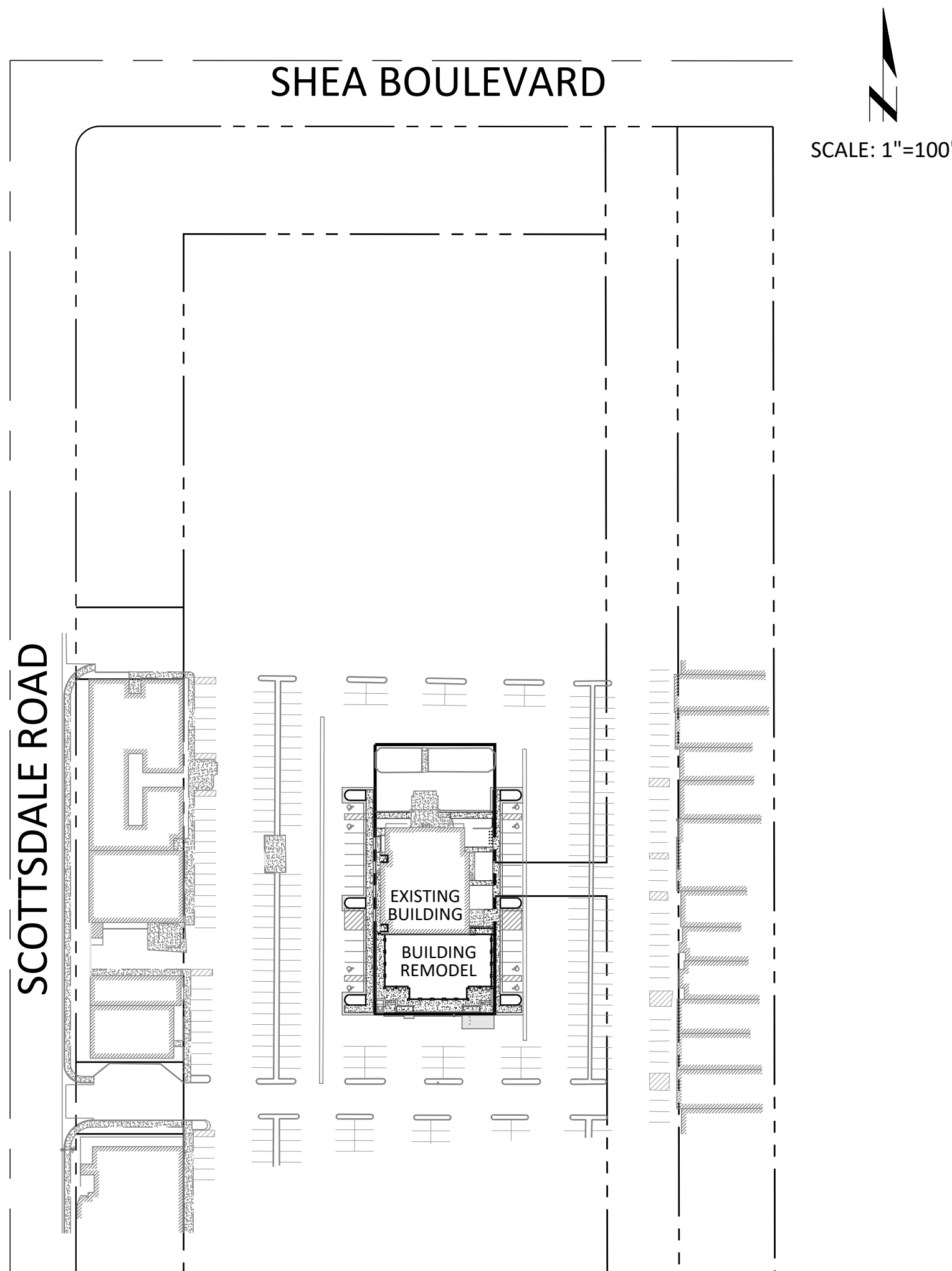
10345 N. Scottsdale Rd.
Scottsdale, AZ 85253
October 22, 2018
Scale: 1/16" = 1'-0"



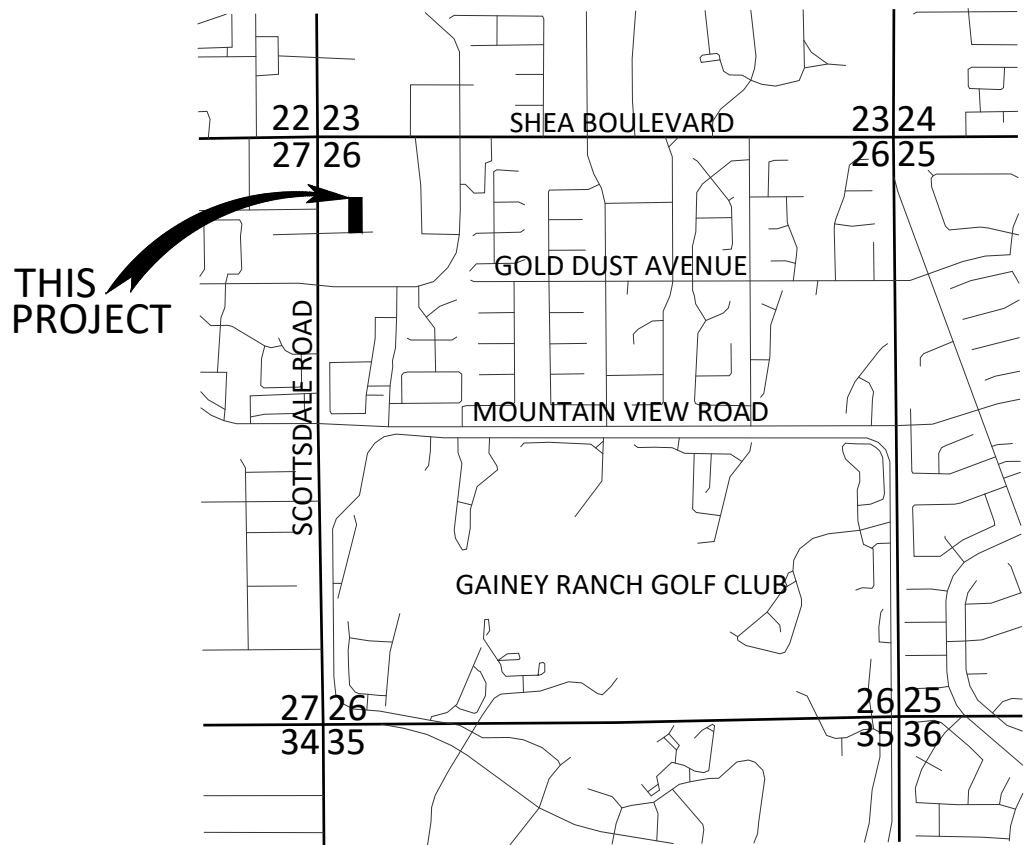
Appendix C
Preliminary Improvement Plan

PRELIMINARY IMPROVEMENT PLAN for THE IVY - SCOTTSDALE ROAD

10345 NORTH SCOTTSDALE ROAD SCOTTSDALE, ARIZONA
A PORTION NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE
GILA AND SALT RIVER MERIDIAN MARICOPA COUNTY, ARIZONA



PROJECT OVERVIEW



IN THE NW 1/4 OF THE NW 1/4 OF SECTION 26,
T. 3 N., R. 4 E., G.&S.R.M.,
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA

LOCATION MAP

LEGEND

---	RIGHT-OF-WAY	⊗	EXISTING SEWER CLEANOUT
---	PROJECT BOUNDARY LINE	⊗	EXISTING WATER VALVE
---	OTHER PARCEL LINE	⊗	EXISTING WATER METER
---	ROADWAY CENTERLINE	⊗	EXISTING FIRE HYDRANT
---	SECTION LINE	⊗	EXISTING FIRE CONNECTION
---	FLOW-LINE	⊗	EXISTING TRANSFORMER
---	EXISTING EASEMENT	⊗	EXISTING SIGN
---	NEW EASEMENT	⊗	EXISTING SITE LIGHT
---	EXISTING CONTOUR	⊗	SURVEY MONUMENT AS NOTED
---	NEW CONTOUR	⊗	SPOT ELEV. (EXIST. GRADE)
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		⊗	GRADE BREAK
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		⊗	LENGTH
		⊗	SLOPE

PROJECT INFORMATION

- PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF THE REPURPOSING OF THE EXISTING STRUCTURE FOR THE USE OF A NEW RESTAURANT WITH ALL PAVING, GRADING & DRAINAGE, UTILITY AND PARKING IMPROVEMENTS.
- ADDRESS:
10345 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85253
APN: 175-33-090A
- ZONING: C-3
- SITE AREA: 22,502 SF (0.52 AC)

SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
HUNTER ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, ARIZONA 85258
PH: 480-991-3985
CONTACT: JERRY D. HEATH JR., R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE BEARING OF N 00°00'00" E, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO THE PLAT OF PARADISE VALLEY PLAZA, RECORDED IN BOOK 94, PAGE 15, MARICOPA COUNTY RECORDS, ARIZONA.
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DRAINAGE STATEMENT

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-OFFSITE FLOWS AFFECT THIS SITE - NO
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OWNER/DEVELOPER

10435 SCOTTSDALE, LLC
7340 EAST MAIN STREET, #200
SCOTTSDALE, ARIZONA 85251
PH: 480-941-2260
ATTN: TOM FRENKEL

CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT
4450 NORTH 12TH STREET, #228
PHOENIX, ARIZONA 85014
PH: 623-282-2498
ATTN: JEFF HUNT

ARCHITECT

ALINE ARCHITECTURE CONCEPTS
7340 EAST MAIN STREET, #210
SCOTTSDALE, ARIZONA 85251
PH: 480-225-7359
ATTN: BRIAN KROB

UTILITIES

WATER:	CITY OF SCOTTSDALE
SEWER:	CITY OF SCOTTSDALE
ELECTRIC:	SALT RIVER PROJECT
GAS:	SOUTHWEST GAS
TELEPHONE:	CENTURY LINK
CABLE:	COX COMMUNICATIONS

CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

CYPRESS PROJECT NO: 18.124



NO.	DATE	REVISION

PRELIMINARY IMPROVEMENT PLAN for
THE IVY - SCOTTSDALE ROAD
10345 NORTH SCOTTSDALE ROAD SCOTTSDALE, ARIZONA
cover

DEVELOPER

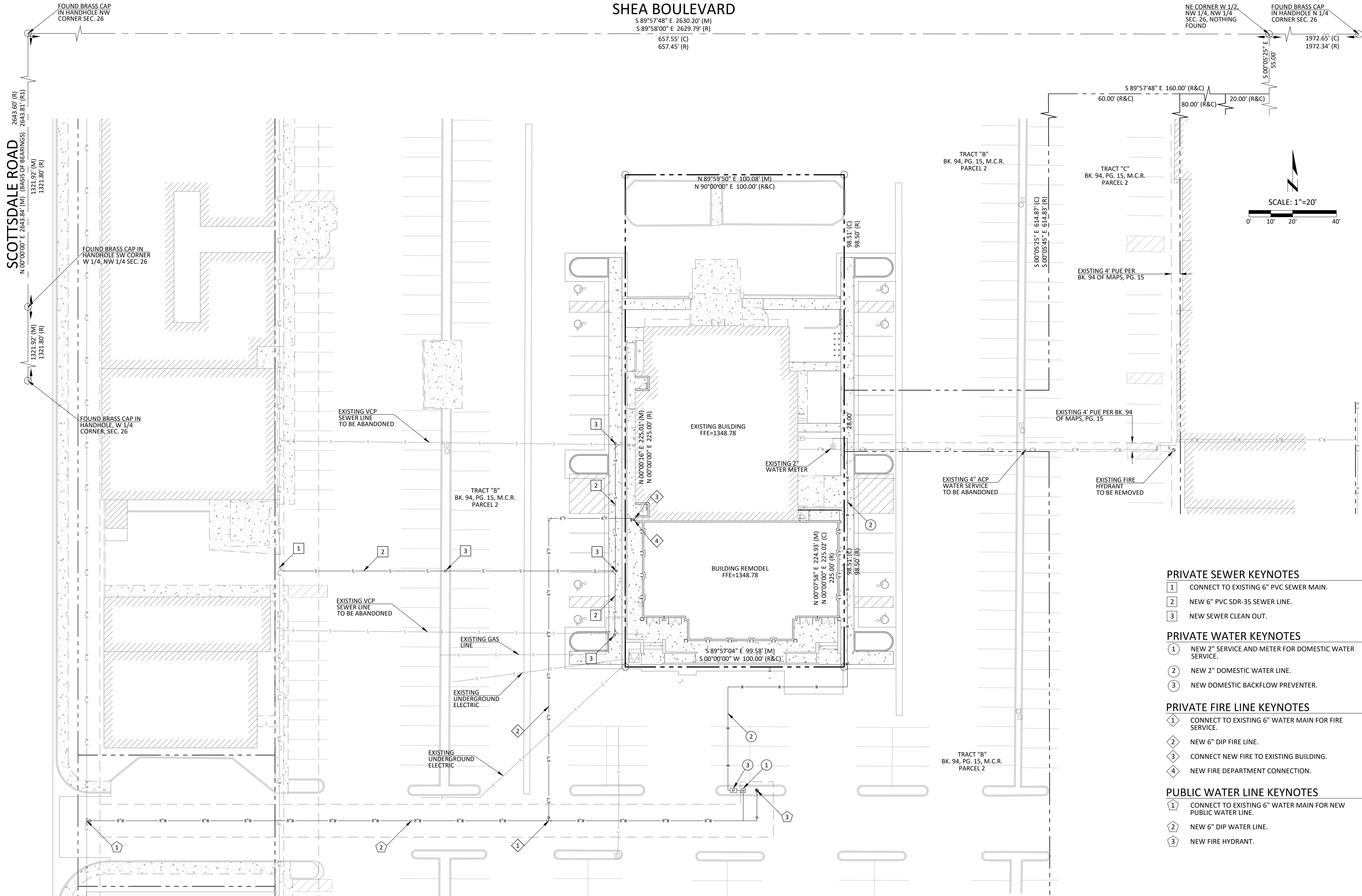
10435 SCOTTSDALE, LLC
7340 EAST MAIN STREET, #200
SCOTTSDALE, ARIZONA 85251
PH: 480-941-2260
ATTN: TOM FRENKEL

SITE ADDRESS

10345 NORTH SCOTTSDALE RD.
SCOTTSDALE, ARIZONA 85253
APN: 175-33-090A

SHEET NUMBER





SHEA BOULEVARD

S 89°57'48" E 2630.20' (M)
S 89°58'00" E 2629.79' (R)
657.55' (C)
657.45' (R)

NE CORNER W 1/2,
NW 1/4, NW 1/4
SEC. 26, NOTHING
FOUND

FOUND BRASS CAP
IN HANDHOLE N 1/4
CORNER SEC. 26

1972.65' (C)
1972.34' (R)

S 00°05'25" E
55.00'

SCALE: 1"=20'
0' 10' 20' 40'

PRIVATE SEWER KEYNOTES

- 1 CONNECT TO EXISTING 6" PVC SEWER MAIN.
- 2 NEW 6" PVC SDR-35 SEWER LINE.
- 3 NEW SEWER CLEAN OUT.

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- 1 NEW 2" SERVICE AND METER FOR DOMESTIC WATER SERVICE.
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CYPRESS
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strength + sustainability

4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

CYPRESS PROJECT NO: 18.124



NO. DATE REVISION

PRELIMINARY IMPROVEMENT PLAN for
THE IVY - SCOTTSDALE ROAD
10345 NORTH SCOTTSDALE ROAD SCOTTSDALE, ARIZONA
onsite utility plan

DEVELOPER

10435 SCOTTSDALE, LLC
7340 EAST MAIN STREET, #200
SCOTTSDALE, ARIZONA 85251
PH: 480-941-2260
ATTN: TOM FRENKEL

SITE ADDRESS

10345 NORTH SCOTTSDALE RD.
SCOTTSDALE, ARIZONA 85253
APN: 175-33-090A

SHEET NUMBER



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING.

Berry, Melissa

From: Jeff Graham <jg@madewithaline.com>
Sent: Thursday, September 26, 2019 4:34 PM
To: Moriarity, Ben
Subject: RE: Increased font size for attached pages
Attachments: l-1.0 landscape plan.pdf; pr-3.1 color elevations.pdf; pr-3.0 elevations.pdf; li-1.0 exterior lighting plan.pdf

⚠ External Email: Please use caution if opening links or attachments!

Ben,

The revised sheets are attached here.

Jeff Graham

Project Manager

480.273.4233

Aline Architecture Concepts

7340 E. Main St. #210, Scottsdale, AZ 85251

madewithaline.com

"This email and any attachments contain confidential and privileged information belonging to the sender. If you are not the intended recipient, you may not disclose, copy, distribute, or use any such information. If this email has been sent to you in error, please reply to inform the sender of the error and then delete this email and any attachments."

-----Original Message-----

From: Moriarity, Ben [mailto:BMoriarity@Scottsdaleaz.gov]
Sent: Thursday, September 26, 2019 3:22 PM
To: Jeff Graham
Subject: RE: Increased font size for attached pages

Jeff,

Yes the site plan notes on the 8.5"x11" print are legible.

Ben Moriarity
Planner
Planning & Development Department

CITY OF SCOTTSDALE

7447 E Indian School Rd.
Scottsdale, AZ. 85251
BMoriarity@ScottsdaleAZ.gov
O: 480-312-2836

-----Original Message-----

From: Jeff Graham <jg@madewithaline.com>
Sent: Thursday, September 26, 2019 3:17 PM
To: Moriarity, Ben <BMoriarity@Scottsdaleaz.gov>
Subject: RE: Increased font size for attached pages

 External Email: Please use caution if opening links or attachments!

Ben,

Should I increase the text to match the site plan?

Jeff Graham

Project Manager

480.273.4233

Aline Architecture Concepts

7340 E. Main St. #210, Scottsdale, AZ 85251

madewithaline.com

"This email and any attachments contain confidential and privileged information belonging to the sender. If you are not the intended recipient, you may not disclose, copy, distribute, or use any such information. If this email has been sent to you in error, please reply to inform the sender of the error and then delete this email and any attachments."

-----Original Message-----

From: Moriarity, Ben [mailto:BMoriarity@Scottsdaleaz.gov]
Sent: Thursday, September 26, 2019 3:13 PM
To: Jeff Graham
Subject: Increased font size for attached pages

Jeff,

Could you please increase the font size for the attached 8.5"x11" sheets? You can email the digital copies and I'll print them and add them to the report.

Thank you,

Ben Moriarity
Planner
Planning & Development Department

CITY OF SCOTTSDALE
7447 E Indian School Rd.
Scottsdale, AZ. 85251
BMoriarity@ScottsdaleAZ.gov
O: 480-312-2836

-----Original Message-----

From: staff@scottsdaleaz.gov <staff@scottsdaleaz.gov>
Sent: Thursday, September 26, 2019 1:32 PM
To: Moriarity, Ben <BMoriarity@Scottsdaleaz.gov>
Subject: Message from "RNP00267396BCA6"

This E-mail was sent from "RNP00267396BCA6" (MP C4503).

Scan Date: 09.26.2019 13:31:32 (-0700)
Queries to: staff@scottsdaleaz.gov

Berry, Melissa

From: Moriarity, Ben
Sent: Friday, May 10, 2019 9:21 AM
To: Sacks, Richard; Jeff Graham; Gue, David
Cc: Brian Krob
Subject: RE: The Ivy Water & Sewer BODs

Jeff,

We will not be able to schedule this case to DRB until the revised water and sewer BODs are accepted by Water Resources.

Below are a couple additional comments and considerations from the 2nd review:

1. To satisfy overall retail center circulation please show the context of how this parcel's parking and access fit into the context of the surrounding retail center. Show how vehicles get to the site and the site's parking spaces.
2. Identify pedestrian circulation and connections from the adjacent parking spaces and buildings to this building's entrances.
3. The font size and legibility of the site plan is good, when DRB 11"x17" packets are requested please plan on increasing the font size on the elevations (particularly the material list and notes) and separate the photometric site plan from the lighting cut sheets in order to increase the scale.

Please consider this email as your 2nd review comment letter.

Submit for a subsequent review:
Revised water and sewer BODs
Pedestrian and vehicular circulation plan

Thank you,

Ben Moriarity
Planner
Planning & Development Department

CITY OF SCOTTSDALE
7447 E Indian School Rd.
Scottsdale, AZ. 85251
BMoriarity@ScottsdaleAZ.gov
O: 480-312-2836

From: Sacks, Richard <RSacks@ScottsdaleAz.Gov>
Sent: Tuesday, May 07, 2019 9:22 AM
To: Jeff Graham <jg@madewithaline.com>; Moriarity, Ben <BMoriarity@Scottsdaleaz.gov>; Gue, David <DGue@Scottsdaleaz.gov>
Cc: Brian Krob <bk@madewithaline.com>
Subject: RE: The Ivy Water & Sewer BODs

Jeff

Thanks for sending the revised BOD's for review. I have attached both the revised water and sewer BODs with comments.

This is an old commercial strip center that currently does not meet our water and sewer design criteria. The existing condition for the water service to the structure you are proposing to modify has a 6" waterline underneath a building slab which we no longer approve. With respect to the fire flow test, the residual pressure must be obtained from a hydrant, not a hose bib with a pressure gauge. I have addressed these issues within the revised BOD.

Sewer laterals from commercial building must be 6" diameter, not 4".

Please contact me if there are questions.

Richard Sacks, P.E.
Senior Water Resources Engineer
City of Scottsdale
9379 E. San Salvador
Scottsdale, AZ 85258
480-312-5673
rsacks@scottsdaleaz.gov



"Water Sustainability through Stewardship, Innovation and People"

From: Jeff Graham <jg@madewithaline.com>
Sent: Friday, May 3, 2019 4:44 PM
To: Moriarity, Ben <BMoriarity@Scottsdaleaz.gov>
Cc: Sacks, Richard <RSacks@ScottsdaleAz.Gov>; Brian Krob <bk@madewithaline.com>
Subject: RE: The Ivy Water & Sewer BODs

Ben,

The updated documents are attached here.

Thank you,



Jeff Graham
Project Manager
480.273.4233
Aline Architecture Concepts
7340 E. Main St. #210, Scottsdale, AZ 85251
madewithaline.com

"This email and any attachments contain confidential and privileged information belonging to the sender. If you are not the intended recipient, you may not disclose, copy, distribute, or use any such information. If this email has been sent to you in error, please reply to inform the sender of the error and then delete this email and any attachments."

From: Moriarity, Ben [<mailto:BMoriarity@Scottsdaleaz.gov>]

Sent: Thursday, May 02, 2019 2:43 PM

To: Jeff Graham

Cc: Sacks, Richard

Subject: The Ivy Water & Sewer BODs

Jeff,

We are working towards scheduling 7-DR-2019 to a DRB hearing, please have the Water and Sewer BODs revised per the following comments:

Policy and Design Related Issues:

1. Need to follow DS & PM Chapters 6 and 7 for the projected demands. <https://www.scottsdaleaz.gov/Assets/ScottsdaleAZ/Design/DSPM/DSPM+2018.pdf>
2. Model system pressures per DS & PM under max day and fire flow conditions.

Technical Corrections to be resolved prior the next application or final plans submittal:

3. Conduct fire flow test.

You may send the revised report via email to expediate the review.

Thank you,

Ben Moriarity

Planner

Planning & Development Department

CITY OF SCOTTSDALE

7447 E Indian School Rd.

Scottsdale, AZ. 85251

BMoriarity@ScottsdaleAZ.gov

O: 480-312-2836



Aline Architecture Concepts
7340 East Main Street, Suite 210
Scottsdale, Arizona 85251

April 18, 2019

Response Letter

The Ivy
10345 North Scottsdale Road
Scottsdale, AZ 85253

Dear Ben Moriarity,

Our responses to your 1st Review Comments are below:

Zoning:

1. COMMENT: "Notes and dimensions on the 24x36-inch plan sheets and material board appear to be 6-point font size, or less. Please revise the notes and dimensions so that they are 12-point font size {1/6th of an inch}. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.305."

RESPONSE: Notes and dimensions increase to 12 pt. font.

2. COMMENT: "Provide Open Space calculation for the site and reference Zoning Administrator's decision memo dated 5/31/2007 regarding Windmill Plaza. Please refer to Zoning Ordinance Section 5.1504.C."

RESPONSE: Open space calculation provided on pr-1.1 site plan

Fire:

3. COMMENT: "Demonstrate minimum drive width of 24 feet on the site plan (Fire Ord 4283 503.2.1)."

RESPONSE: Site plan drawing revised to show more surrounding context – drive aisles dimensioned, and fire truck turn radius added with dimensions.

4. COMMENT: "The location of the Fire Department Connection needs to be revised (Fire Ord. 4283, 912)."

RESPONSE: The FDC location has been moved to the north side of the building on the site wall – fire riser directly south inside a closet of the building.

Site Design:

5. COMMENT: "Show the location and size of the refuse enclosure. Per DSPM Sec. 2-1.309, commercial businesses, the number of enclosures is 1:20,000 square feet. Include any proposed recycling containers."

RESPONSE: Emails from the shopping center association and from Elias San Miguel, Solid Waste Program Representative (quoted below) approve the size and location of the existing refuse enclosure just west of our building for our use. In a phone call to David Gue on 4/12/19, I confirmed that he would approve this location.

"Dave,



Aline Architecture Concepts
7340 East Main Street, Suite 210
Scottsdale, Arizona 85251

April 18, 2019

After looking at these pictures and being familiar with this area and his enclosure there is no issues with capacity here. There used to be 3 containers in that enclosure. A fourth one could fit in there if needed. We are good here.

Thank you,

Elias San Miguel"

6. COMMENT: "Provide property owners association letter of approval for site improvements and design."

RESPONSE: Copy of letter is provided as part of the re-submittal, with approval of the building and site improvements

7. COMMENT: "Provide letter of authorization from the property owners association for improvements to Tract B and Tract C"

RESPONSE: Association letter approves all site improvements proposed.

Lighting Design:

8. COMMENT: "Light fixture SB should only be used under a canopy on the building or directed downward only. Please refer to Zoning Ordinance Section 7.602."

RESPONSE: Note for light fixture SB has been added in the schedule on sheet li-1: "note: fixture to use down light only." Confirmation that this note would suffice was provided by Ben Moriarity in email dated 3/26/19.

Circulation:

9. COMMENT: "Provide documentation of Cross Access and Service Vehicle Access to this site."

RESPONSE: site plan revised to show surrounding parking lot context with cross access to other parcels / tracts.

Fire:

10. COMMENT: "Demonstrate COMMERCIAL turning radii (25' inner/49' Outside /55' Bucket Swing) (DSPM 2-1.303(5))."

RESPONSE: Commercial turning radii added to site plan

11. COMMENT: "Demonstrate the location of the Fire Riser room (DSPM 6-1.504(1))."



Aline Architecture Concepts
7340 East Main Street, Suite 210
Scottsdale, Arizona 85251

April 18, 2019

RESPONSE: fire riser room is located on the west side of building in a closet directly east of FDC located on pr-1.1 site plan.

Technical Corrections:

12. COMMENT: "Revise narrative subject from "Main St Mix Use" to "The Ivy""
RESPONSE: Narrative revised accordingly

13. COMMENT: "Show the location of the Water meter(s) and per DSPM Section 6-1.417 backflow(s) are required."
RESPONSE: backflow and water meter noted on site plan

14. COMMENT: "Show the location of the Sewer Service(s) to the building."
RESPONSE: Sewer lines added to site plan and noted.

15. COMMENT: "Show allowed height as 36 feet on the site plan."
RESPONSE: "allowed height" revised to read 36 feet on the site plan.

Circulation:

16. COMMENT: "Need to show the context of how this parcel's parking and access fit into the context of the surrounding retail center. Show how vehicles get to the site and the site's parking spaces."
RESPONSE: Site plan scale increased to show surrounding context and vehicle access to site. Also visible on the drawing "pr-1.0 context aerial"

17. COMMENT: "Identify pedestrian connections from the adjacent parking spaces and buildings to this building's entrances."
RESPONSE: Note 21 "accessible pedestrian access" added to site plan at sidewalk where accessible parking is located.

Landscaping:

18. COMMENT: "Increase line weights on plan to increase legibility of the plan"
RESPONSE: Line weights of landscape related items increased.

19. COMMENT: "Show all plants on plan in areas noted existing landscape area."
RESPONSE: all existing plants added to landscape plan



Aline Architecture Concepts
7340 East Main Street, Suite 210
Scottsdale, Arizona 85251

April 18, 2019

20. COMMENT: "Clarify how existing palm trees shown over new paving will be treated."

RESPONSE: Note 10 added to show palm trees removed where the new sidewalk is located.

Building Elevations:

21. COMMENT: "On the color elevations, portions of the stucco are called out as note 1 and 7, but appear to be stc-2 material type. Please revise color elevations to show accurately."

RESPONSE: color elevations show stucco colors and locations accurately. Note 7 revised to read "stc-2" instead of "stc-1"

22. COMMENT: "Clarify note 2 vs. note 3 for concrete block."

RESPONSE: Color elevations showed concrete block texture behind windows which appears to have caused confusion about if the material is supposed to be glass or concrete block. Color elevations revised to show gray/blue texture for glass/windows to match notes.

Sincerely,

Jeff Graham
Project Manager
Aline Architecture . Concepts
7340 E. Main St. #210
Scottsdale, AZ 85251
T: 480-273-4233
jg@madewithaline.com

Gue, David

From: Jeff Graham <jg@madewithaline.com>
Sent: Thursday, April 11, 2019 5:03 PM
To: Gue, David
Subject: FW: imagejpeg_0.jpg

David,

I received this today from Tom. All the feedback we're from people familiar with this site is that we're fine on the number of refuse bins. Please send your approval so we can re-submit.

Thank you,



Jeff Graham
Project Manager
480.273.4233
Aline Architecture Concepts
7340 E. Main St. #210, Scottsdale, AZ 85251
madewithaline.com

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From: Tom Frenkel [mailto:tom@claytoncompanies.com]
Sent: Thursday, April 11, 2019 3:03 PM
To: Jeff Graham
Subject: Fwd: imagejpeg_0.jpg

Tom Frenkel
Direct 480.941.2260 x102
Mobile 602.989.7295
Fax 480.423.0689
tom@claytoncompanies.com

Clayton Companies
7340 E. Main Street #200
Scottsdale, AZ 85251
www.claytoncompanies.com



Begin forwarded message:

From: "San Miguel, Elias" <esanmiquel@Scottsdaleaz.Gov>

Subject: RE: imagejpeg_0.jpg

Date: April 11, 2019 at 2:21:42 PM MST

To: "Gue, David" <DGue@Scottsdaleaz.gov>

Cc: "Espinoza, Oscar" <oespinoza@Scottsdaleaz.Gov>, 'Tom Frenkel' <tom@claytoncompanies.com>

Dave,

After looking at these pictures and being familiar with this area and his enclosure there is no issues with capacity here. There used to be 3 containers in that enclosure. A fourth one could fit in there if needed. We are good here.

Thank you,

Elias San Miguel
City of Scottsdale
Solid Waste Program Representative
Office (480) 312-5600
Cell (480) 772-8208
Email esanmiguel@ScottsdaleAZ.gov

“ It’s our goal to make a difference in our customers lives through excellent customer service “

From: Tom Frenkel <tom@claytoncompanies.com>

Sent: Thursday, April 11, 2019 1:53 PM

To: San Miguel, Elias <esanmiguel@Scottsdaleaz.Gov>

Subject: Fwd: imagejpeg_0.jpg

Tom Frenkel
Direct 480.941.2260 x102
Mobile 602.989.7295
Fax 480.423.0689
tom@claytoncompanies.com

Clayton Companies
7340 E. Main Street #200
Scottsdale, AZ 85251
www.claytoncompanies.com



Begin forwarded message:

From: Tom Frenkel <tom@claytoncompanies.com>

Subject: imagejpeg_0.jpg

Date: April 11, 2019 at 12:55:21 PM MST

To: Tom Frenkel <tom@claytoncompanies.com>



Sent from my iPhone



aerial is showing
three bins existing.

showing an existing enclosure
being removed





aerial is showing
three bins existing.

showing an existing enclosure
being removed



**PARADISE VALLEY PLAZA OWNERS ASSOCIATION
10207 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85253**

**TO: Tom Frankel
FROM: Jim Marrion
RE: Plans for new building**

Dear Tom:

The architectural committee of the Paradise Valley Plaza Owners Association has received your request to approve the plans for your new project. The design of the building is excellent and we approved it unanimously.

However, the design includes a new dumpster location that would eliminate a parking space in the lot. The members have a concern about that and will not give up any of the common parking area for the benefit of one owner. The common area is reserved for parking only and it would be a violation of the restrictions to dedicate any part of the common area to one owner. However, the dumpster enclosure to the west of your building was constructed to accommodate 3 dumpsters and there are only 2 in use there currently. You are welcome to use that vacant location in lieu of taking property that belongs to all the owners.

Therefore, I am pleased to inform you that your request has received unanimous approval from the architectural committee if and only if the illegal taking of the dumpster location is eliminated from your request. We wish you the best of luck with this project.

Sincerely,

**James E. Marrion
President**



Planning and Development Services Division

7447 East Indian School Road
Scottsdale, Arizona 85251

Date:

2/11/19

Contact Name:

TOM FRENKEL

Firm Name:

CLAYTON COMPANIES

Address:

City, State, Zip:

RE: Application Accepted for Review.

168 - PA - 2018

Dear MR. FRENKEL:

It has been determined that your Development Application for

THE IVY

has been accepted for review.

Upon completion of the Staff's review of the application material, I will inform you in writing or electronically either: 1) the steps necessary to submit additional information or corrections; 2) the date that your Development Application will be scheduled for a public hearing or, 3) City Staff will issue a written or electronic determination pertaining to this application. If you have any questions, or need further assistance please contact me.

Sincerely,

Name:

BRYAN CLUFF

Title:

SR PLANNER

Phone Number:

(480) 312 - 2258

Email Address:

bcluff

@ScottsdaleAZ.gov

7-DR-2019
02/11/2019



Application Narrative

Main St Mixed Use
7103 E. Main St.
Scottsdale, AZ 85251
65-PA-2017

Dear Development Review Board,

This application entails a renovation and re-construction of an existing two story office and auction sales building located in the center of the Paradise Valley Plaza shopping center. The south portion would be demolished and a new 4,343 s.f. single story building built in its place. The middle and north portions would be re-coated in a smooth finish stucco and new fenestrations and lighting added on the west side.

This application entails a three-story mixed-use commercial / residential building on the hub of Main Street and Marshall way incorporating an existing 1 story structure. The ground floor would utilize the existing retail building on the west end of the lot, while removing the buildings on the east end of the lot. There would be a new infill retail structure facing Main St and Marshall Way. and the southeastern half of the lot would be dedicated to a ten-car parking lot. The existing parking south of the western building would be brought into conformance for one accessible space. The second floor would consist of five residential units: four facing Marshall Way and one facing Main St. Patio areas would serve as balconies for the units as well as shade structures for the walkway below. There would be a central elevator / stair core off the garage that would be accessible from a breezeway to Main St. The southeast corner of the second level would be a semi-public community patio area. The third floor would be for two penthouse units stepped back from all sides to create patios and open space around the units. In the process, the site will need to be rezoned to D/DC-1 DO to achieve a 48' overall height (including mechanical units). This would provide for an 18' floor to floor ground level, and 12' floor to floor for the upper levels. The North West corner of the building will be modified to create a visibility triangle for the roundabout intersection. The design of the structure would take into account the historical context while introducing a new modern desert vernacular, much like the adjacent Museum of the West.

A

This design follows all applicable guidelines and design standards by responding to its suburban shopping center, commercial retail and desert context. It maintains and builds upon the character and quality design features Scottsdale is known for with a carefully considered design that engages the public, and improves the shopping center's character. Our use of timeless materials such as exposed aggregate concrete block site walls and columns, grey solar glass, in addition to painted steel trim accents, and stucco walls that relate it to the adjacent structures, and deep roofs with standing seam metal that provide shade, texture, and depth to the open spaces, and contributes to the shopping center, neighborhood, and broader community. The design responds to the desert climate by providing deep overhangs with carefully located glazing and perimeter patios for shade and natural daylighting, while connecting the indoor and outdoor spaces. Lighting, signage and noise levels are considered with respect to the neighbors and parking lot in an effort to maintain a comfortable environment that feels safe and inviting. The east side of the building replaces parking spaces with landscape to provide shading and a character that feels inviting. The new structure fits within the confines of the property, floor area ratio and overall height restrictions.

a.

This design promotes a desirable relationship between structures, open spaces and topography as well as the neighborhood by maintaining drive aisle standards in the surrounding parking lot, increasing landscape area, and providing a new structure that fits proportionally to the existing building. Using carefully considered architectural features, landscape areas, and generous patios this project engages the public and provides a comfortable work & retail environment. The architecture uses contemporary construction and timeless materials, while keeping the design appropriate for the neighborhood and shopping center context. With the use of outdoor lighting features, landscape areas, shade overhangs, and raised terraces, it softens the scale and texture to the surrounding retail development. . Building heights are kept to within established standards.



b. This design avoids excessive variety and monotonous repetition with a carefully selected palette of materials and design features. The façades and patios are designed with respect to the surrounding structures and parking lot using large patios and deep overhangs. This design is well balanced and proportioned in its use of materials, massing, and overall design.

c. This design strengthens and enhances the character of the area by contributing thoughtful design with materials and landscaping that will age well. These materials include exposed aggregate concrete block site walls and columns, smooth finish stucco, steel, and glass used in proportions appropriate to the character of the desert climate and context of the site. Well-designed projects such as the Scottsdale Quarter, Optima, Kierland Commons and other progressive buildings and developments with classic modern character, are echoed in our design by using clean simple forms that are well proportioned, maintaining variety in texture, color, massing and landscaping. It engages the public with shading patios and overhangs, outdoor lighting and landscaping. Landscaping includes native plants and trees such as arizona ash, baja fairy duster, and gray ice plant to embrace the Sonoran Desert. The architecture and landscaping are designed to age well over the decades and make a strong contribution to the neighborhood.

d. There are no views to any specific environmentally sensitive lands from this site, but the building utilizes shade and patio features that are appropriate to the desert climate. The material palette of exposed aggregate concrete block, and colored stucco in combination with low water plants are appropriate to the Sonoran Desert.

e. This project is not within the Historic Property Overlay District, but does include a range of architectural features that add variety in color, scale, materials and details. This project conforms with the established standards for setbacks, floor area ratio, and height.

3. All ingress/egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways are designed per applicable codes and ordinances (IBC 2015, ADA 2010, & city zoning codes), and promote the overall health and safety of the patrons. All egress doors and paths are illuminated to promote ease of ingress/egress to parking on the site. Grading will conform to ADA standards and will provide an easy path from the ADA parking spot to the entrances.

4. All mechanical equipment/utilities have dedicated patios which are screened by parapet walls integral to the building and maintains the overall architectural character.

5. This project is not within the Downtown Area.

6. This project is not part of the Cultural Improvement Program or Public Art Program.

Respectfully,

Jeff Graham

Project Manager
Aline Architecture . Concepts, LLC
7340 E. Main St. #210
Scottsdale, AZ 85251



March 12, 2019

Tom Frenkel
Clayton Companies
7340 E. Main St., Ste. 200
Scottsdale, AZ 852514477

RE: 7-DR-2019
The Ivy

Dear Mr. Frenkel:

The Planning & Development Services Division has completed the review of the above referenced development application submitted on January 11, 2019. The following **1st Review Comments** represent the review performed by our team, and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

Zoning Ordinance and Scottsdale Revise Code Significant Issues

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

Zoning:

1. Notes and dimensions on the 24x36-inch plan sheets and material board appear to be 6-point font size, or less. Please revise the notes and dimensions so that they are 12-point font size (1/6th of an inch). Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.305.
2. Provide Open Space calculation for the site and reference Zoning Administrator's decision memo dated 5/31/2007 regarding Windmill Plaza. Please refer to Zoning Ordinance Section 5.1504.C.

Fire:

3. Demonstrate minimum drive width of 24 feet on the site plan (Fire Ord 4283 503.2.1).
4. The location of the Fire Department Connection needs to be revised (Fire Ord. 4283, 912).

Significant Policy Related Issues

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Site Design:

5. Show the location and size of the refuse enclosure. Per DSPM Sec. 2-1.309, commercial businesses, the number of enclosures is 1:20,000 square feet. Include any proposed recycling containers.
6. Provide property owners association letter of approval for site improvements and design.
7. Provide letter of authorization from the property owners association for improvements to Tract B and Tract C

Lighting Design:

8. Light fixture SB should only be used under a canopy on the building or directed downward only. Please refer to Zoning Ordinance Section 7.602.

Circulation:

9. Provide documentation of Cross Access and Service Vehicle Access to this site.

Fire:

10. Demonstrate COMMERCIAL turning radii (25' inner/49' Outside /55' Bucket Swing) (DSPM 2-1.303(5)).
11. Demonstrate the location of the Fire Riser room (DSPM 6-1.504(1)).

Technical Corrections

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

12. Revise narrative subject from "Main St Mix Use" to "The Ivy"

Site:

13. Show the location of the Water meter(s) and per DSPM Section 6-1.417 backflow(s) are required.
14. Show the location of the Sewer Service(s) to the building.
15. Show allowed height as 36 feet on the site plan.

Circulation:

16. Need to show the context of how this parcel's parking and access fit into the context of the surrounding retail center. Show how vehicles get to the site and the site's parking spaces.
17. Identify pedestrian connections from the adjacent parking spaces and buildings to this building's entrances.

Landscaping:

18. Increase line weights on plan to increase legibility of the plan.
19. Show all plants on plan in areas noted existing landscape area.
20. Clarify how existing palm trees shown over new paving will be treated.

Building Elevations:

21. On the color elevations, portions of the stucco are called out as note 1 and 7, but appear to be stc-2 material type. Please revise color elevations to show accurately.
22. Clarify note 2 vs. note 3 for concrete block.

Please resubmit the revised application requirements and additional information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional information is necessary.

PLEASE CALL 480-312-7767 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURNED TO THE APPLICANT.

The Planning & Development Services Division has had this application in review for 21 Staff Review Days since the application was determined to be administratively complete.

These **1st Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-2836 or at bmoriarity@ScottsdaleAZ.gov.

Sincerely,



Ben Moriarity
Planner

cc: Case File

ATTACHMENT A
Resubmittal Checklist

Case Number: **7-DR-2019**

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 ½ x11 shall be folded):

Digital submittals shall include one copy of each identified below.

- ☒ One copy: COVER LETTER – Respond to all the issues identified in this 1st Review Comment Letter
- ☒ One copy: Revised CD of submittal (CD/DVD, PDF format)
- ☒ One copy: Revised Narrative for Project

☒ Site Plan:

8 24" x 36" 1 11" x 17" 1 8 ½" x 11"

☒ Elevations:

Color 2 24" x 36" 1 11" x 17" 1 8 ½" x 11"

☒ Perspective(s):

Color 0 24" x 36" 1 11" x 17" 1 8 ½" x 11"

☒ Landscape Plan:

B/W 2 24" x 36" 1 11" x 17" 1 8 ½" x 11"

☒ Lighting Site Plan(s):

2 24" x 36" 1 11" x 17" 1 8 ½" x 11"

☒ Photometric Analysis Plan(s):

2 24" x 36" 1 11" x 17" 1 8 ½" x 11"

☒ Manufacturer Cut Sheets of All Proposed Lighting:

2 24" x 36" 1 11" x 17" 1 8 ½" x 11"

☒ Other Supplemental Materials:

Per comment #15 provide expanded site plans of the plaza:

7 24" x 36" 1 11" x 17" 1 8 ½" x 11"