

Simulations
Photos
All Graphics (no plans)

BLK PATIO ADDITION

7301 E. BUTHERUS DRIVE SCOTTSDALE, AZ 85024

EXTOLLO
DESIGN
2122 E. SESAME ST.
TEMPE, AZ 85283
480-488-6566



GENERAL NOTES

- SPECIAL DRAINAGE OR ADAPTATIONS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF EXTOLLO DESIGN LLC AND SHALL NOT BE REPRODUCED, REPRODUCED OR REPRODUCED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF EXTOLLO DESIGN LLC. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED AND CONFLICTS SHALL BE RESOLVED BY THE ARCHITECT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.
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CITY OF SCOTTSDALE FIRE DEPARTMENT NOTES

- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF THE EXISTING FIRE SPRINKLER SYSTEM AND COMPLY WITH ALL LOCAL AND NATIONAL FIRE DEPARTMENT REQUIREMENTS. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
- ALL FIRE PROTECTION SYSTEMS SHALL MEET ALL NATIONAL AND LOCAL CODES AND REQUIREMENTS. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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PROJECT NARRATIVE

THIS PROJECT IS A BLK PATIO ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE. THE PROJECT WILL INCLUDE THE CONSTRUCTION OF A BLK PATIO AND ASSOCIATED STRUCTURES. THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REQUIREMENTS. THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REQUIREMENTS.

CODE INFORMATION

ITEM	DESCRIPTION
APN	218-0408
ADDRESS	7301 E. BUTHERUS DR. SCOTTSDALE, AZ 85024
ZONING	C-2 (COMMERCIAL)
BLK AREA	84,180 SF
FLOOR AREA (GROSS)	67,320 SF (BLK PATIO) (NO GARAGE)
FLOOR AREA (NET)	67,320 SF (BLK PATIO) (NO GARAGE)
MAXIMUM HEIGHT	35 FT (MAXIMUM ALLOWED)
REMARKS	1. FRONT YARD SETBACK SHALL BE 10 FT (MINIMUM). 2. SIDE YARD SETBACK SHALL BE 5 FT (MINIMUM). 3. REAR YARD SETBACK SHALL BE 10 FT (MINIMUM).
NUMBER OF STORIES	1
AGE OF BUILDING	BUILT 1980

SCOTTSDALE BUILDING CODES

- 2012 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL EXISTING BUILDING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE WITH AMENDMENTS
- 2012 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
- 2012 INTERNATIONAL PLUMBING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL FIRE AND ALARM CODE WITH AMENDMENTS
- 2012 INTERNATIONAL ELECTRICAL CODE WITH AMENDMENTS
- 2012 INTERNATIONAL FUEL GAS CODE WITH AMENDMENTS
- 2012 NATIONAL ELECTRIC CODE WITH AMENDMENTS
- 2012 INTERNATIONAL PLUMBING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
- AMERICAN WITH DISABILITIES ACT

CITY OF SCOTTSDALE SITE PLAN PLANNING NOTES

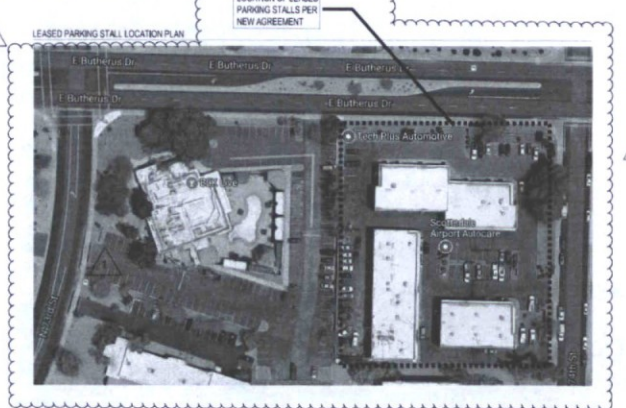
- THE CITY OF SCOTTSDALE HAS REVIEWED THIS SITE PLAN AND FINDS IT TO BE IN SUBSTANTIAL COMPLIANCE WITH THE CITY OF SCOTTSDALE ZONING ORDINANCE AND THE CITY OF SCOTTSDALE SUBDIVISION MAP ACT.
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PROJECT DIRECTORY

- ARCHITECT**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- STRUCTURAL ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- MECHANICAL ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- ELECTRICAL ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- PLUMBING ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- FIRE ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- ENERGY ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- ENVIRONMENTAL ENGINEER**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- LANDSCAPE ARCHITECT**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- PAVING CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- CONCRETE CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- IRONWORK CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- GLASS CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- MECHANICAL CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- ELECTRICAL CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- PLUMBING CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- FIRE CONTRACTOR**
EXTOLLO DESIGN LLC
7301 E. BUTHERUS DRIVE
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PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM
- ENERGY CONTRACTOR**
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- ENVIRONMENTAL CONTRACTOR**
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7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024
PHONE: 480-488-6566
FAX: 480-488-6566
EMAIL: INFO@EXTOLLODESIGN.COM



PARKING CALCULATIONS

PARKING CALCULATIONS
EXISTING ON PROJECT PROPERTY: 110
LEASED PARKING STALLS FROM ADJACENT PROPERTY: 22
TOTAL PARKING STALLS PROVIDED: 132
TOTAL STALLS REQUIRED AFTER REDUCTIONS: 141
TOTAL STALLS BEING PROVIDED: 141

VICINITY MAP



BLK PATIO ADDITION

7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

PROJECT NARRATIVE - PARKING CALCULATIONS

ALL PRODUCTS LISTED BY I.C.C. NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCTS LISTED SHALL HAVE I.C.C. APPROVED EVALUATION REPORTS THAT ARE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES. FIRE SPRINKLER NOTIFICATIONS ARE NOT REQUIRED AS PART OF THIS PROJECT. ANY FIRE SPRINKLER WORK DEEMED REQUIRED BY THE CITY OF SCOTTSDALE SHALL BE DEFINED SEPARATELY BEFORE CONSIDERING ANY WORK ON THE SPRINKLER SYSTEM. PLANS SHALL BE SUBMITTED AND APPROVED BY THE DEPARTMENT OF BUILDING SAFETY.

DRAWN: JTP
JOB NO: 15-001
DATE: 12.9.16
REVISED:
CITY COMMENTS 4.3.17
CITY COMMENTS 10.9.17

G-0.0

12-UP-2018
07/20/18

EXISTING OCCUPANCY CALCULATIONS

OCCUPANCY GROUP: A-2	
BUILDING AREA:	INTERIOR WITH APSES:
INTERIOR EXISTING DINING	1545 SF
INTERIOR EXISTING BAR	213 SF
INTERIOR EXISTING RESTROOMS	408 SF
INTERIOR EXISTING KITCHEN	306 SF
NON-OCCUPANCY STORAGE	393 SF
TOTAL BUILDING FLOOR AREA	2871 SF
PATIO:	
ENCLOSED/COVERED PATIO WITH APSES:	
DINING	300 SF
RESTROOMS	304 SF
KITCHEN	428 SF
TOTAL	1032 SF
EXTERIOR PATIO:	
DINING	7137 SF
(INCLUDING 880 SF OF LANDSCAPE AND 1444 SF OF WATER FEATURES)	
CABANA	1320 SF
BAR	367 SF
TOTAL	9544 SF
TOTAL PATIO	10776 SF
OCCUPANT LOAD:	
INTERIOR:	
ASSEMBLY (WITHOUT EXIST. SEATING)	
TABLES & CHAIRS	1549 / 154
100.6 USE/104	
KITCHENS (COMMERCIAL)	2444 / 200
12.22 USE/19	
TOTAL OCCUPANTS INTERIOR:	117
EXITS PROVIDED INTERIOR:	3
EXITS REQUIRED INTERIOR:	3
EXITS PROVIDED INTERIOR:	1
EXITS REQUIRED INTERIOR:	1
COVERED ENCLOSED PATIO:	
ASSEMBLY (WITHOUT EXIST. SEATING)	
TABLES & CHAIRS (COVERED PATIO)	300 / 150
100.6 USE/150	
TOTAL OCCUPANTS COVERED PATIO:	214
EXITS PROVIDED COVERED PATIO:	2
EXITS REQUIRED COVERED PATIO:	2
EXITS PROVIDED COVERED PATIO:	3
EXTERIOR PATIO:	
ASSEMBLY (WITHOUT EXIST. SEATING)	
TABLES & CHAIRS (EXTERIOR PATIO)	
(1200 SEATING) MAX (LIMITED FOR THIS PLAN BY CITY)	
ASSEMBLY (WITH FOOD SERVICE)	
100.6 SEATING (CABANA) 4 SEATING (1) RESTROOM	
TOTAL OCCUPANTS EXTERIOR PATIO:	100
EXITS PROVIDED EXTERIOR PATIO:	3

PLUMBING CALCULATIONS (OPENING TO 9PM)

NOTE: SEE EXISTING CALCULATIONS ABOVE FOR OCCUPANT COUNT PER AREA.

INTERIOR (EXISTING RESTAURANT) 104 OCCUPANTS TOTAL
 104 = 54 MEN & 50 WOMEN
 WATER CLOSETS = 54 MEN (1) + (1) FEATURE PER GENDER
 LAVATORIES = 50 WOM (1) FEATURE PER GENDER

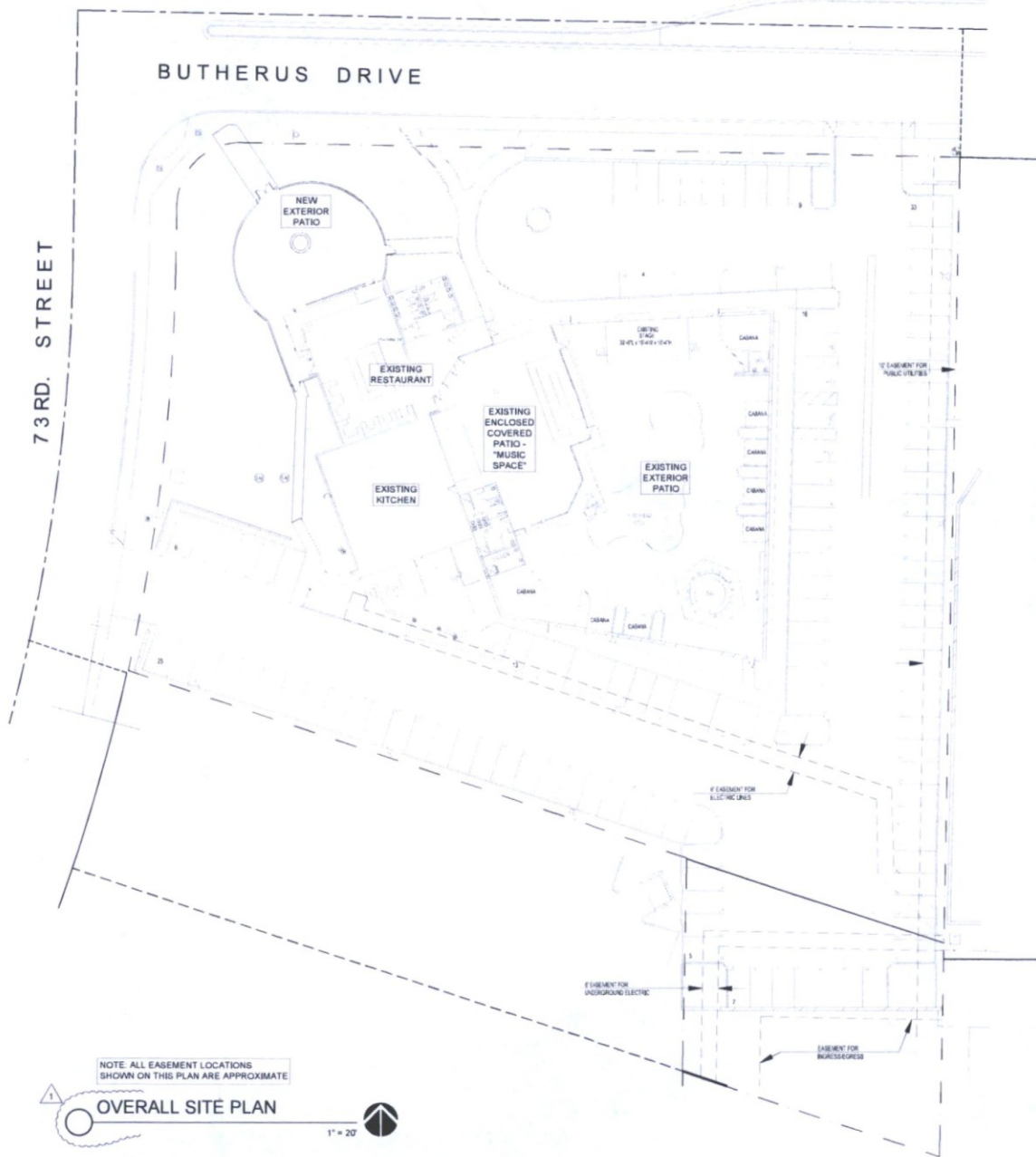
INTERIOR (EXISTING KITCHEN) 19 OCCUPANTS TOTAL
 19 = 7 MEN & 7 WOMEN
 WATER CLOSETS = 7 MEN (1) + (1) FEATURE PER GENDER
 LAVATORIES = 7 WOM (1) FEATURE PER GENDER

NEW EXTERIOR PATIO (SCOPE OF WORK) 2800 8716 = 187 OCCUPANTS TOTAL
 187 = 94 MEN & 94 WOMEN
 WATER CLOSETS = 94 MEN (1) + (1) FEATURE PER GENDER
 LAVATORIES = 94 WOM (1) FEATURE PER GENDER

TOTALS REQUIRED / PROVIDED:
 MEN = 141 (141) REQUIRED THESE HOURS (141) (141) PROVIDED
 WOMEN = 141 (141) REQUIRED THESE HOURS (141) (141) PROVIDED
 MEN = (1) (1) LAVATORIES REQUIRED THESE HOURS (1) (1) PROVIDED
 WOMEN = (1) (1) LAVATORIES REQUIRED THESE HOURS (1) (1) PROVIDED

9PM TO CLOSE

ALL AREAS OPEN DURING THIS TIME PERIOD AND ALL RESTROOMS IN THIS FACILITY ARE EXISTING TO REMAIN. THESE AREAS ARE NOT BEYOND THE SCOPE OF WORK AREA AND THERE HAS BEEN NO CHANGE IN USE. PLUMBING CALCULATIONS ARE NOT REQUIRED. AREAS OPEN DURING THIS TIME PERIOD HAVE BEEN HATCHED HOWEVER, AS REQUESTED BY THE CITY, THE RESTROOMS, KITCHEN AND PATIO ARE OPEN AT ALL TIMES. SEE ATTACHED LETTER FROM OWNER CONFIRMING FUNCTIONS AND OPERATING HOURS.



NOTE: ALL EASEMENT LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE

OVERALL SITE PLAN

1" = 20'

EXTOLLO DESIGN
 2132 E. SEGAR ST.
 TOLSON, AZ 85283
 480-843-6165

BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

OVERALL SITE PLAN

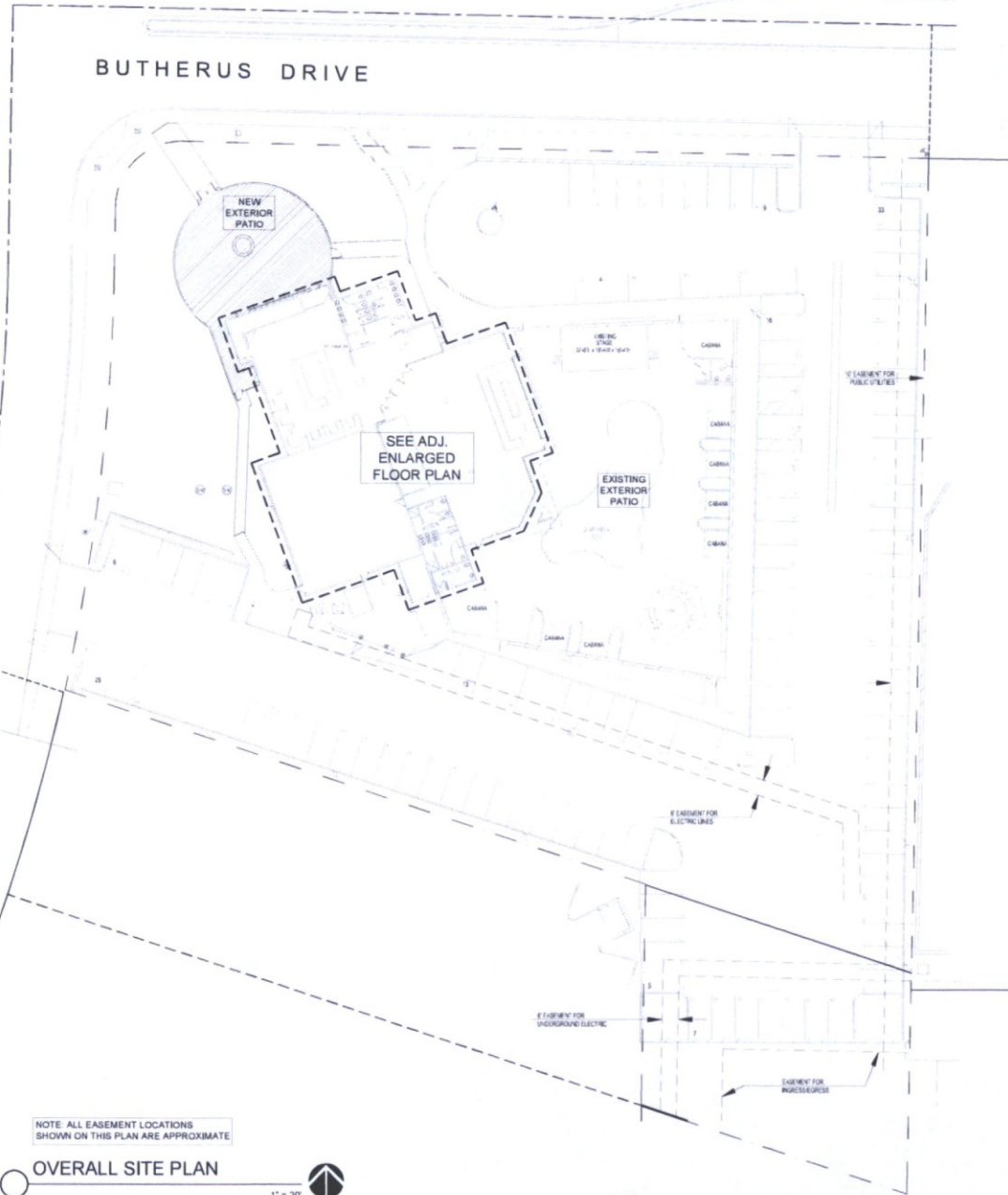
DRAWN: JTP

JOB NO. 15-001
 DATE: 10.12.16
 REVISION:
 CITY COMMENTS 4.3.17

A-1.0

73 RD. STREET

BUTHERUS DRIVE



NOTE: ALL EASEMENT LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE

OVERALL SITE PLAN

1" = 20'

EXISTING RESTAURANT (BLK-3)

NEW EXTERIOR PATIO: 2,500 SF. (SEE ADJACENT SITE PLAN)
 EXISTING RESTAURANT: 1,573 SF.
 EXISTING BAR: 265 SF.
 EXISTING RESTAURANT STORAGE: 253 SF.
 EXISTING KITCHEN: 2,432 SF.
 EXISTING ADJACENT RESTROOMS: 487 SF.
 ONE HALF OF SHARED ENTRY: 273 SF.
 TOTAL AREA: 7,782 SF.

LIVE MUSIC (BLK-LIVE)

EXISTING EXTERIOR PATIO: 8,664 SF. (SEE ADJACENT SITE PLAN)
 EXISTING LIVE MUSIC SPACE: 2,920 SF.
 EXISTING PATIO BAR: 427 SF.
 EXISTING ADJACENT STORAGE: 163 SF.
 EXISTING ADJACENT RESTROOMS: 513 SF.
 ONE HALF OF SHARED ENTRY: 273 SF.
 TOTAL AREA: 12,960 SF.

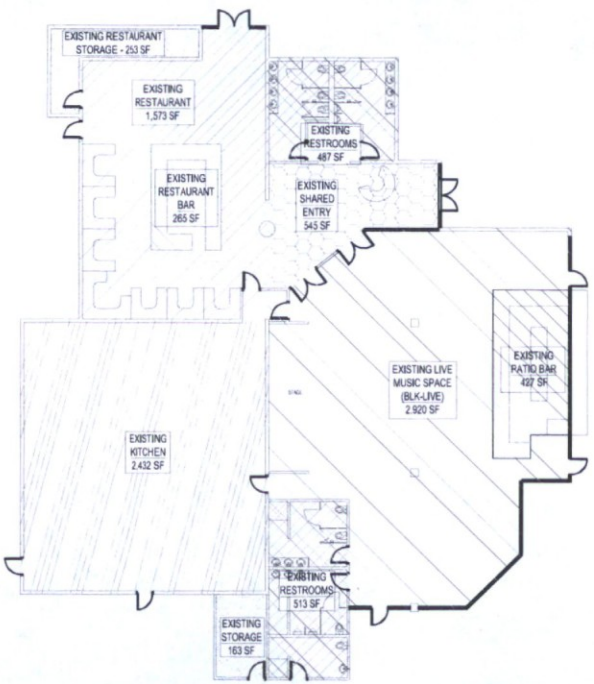
TOTAL AREA: 20,742 SF.

CODE INFORMATION

APN:	215-08-0248
ADDRESS:	7301 E. BUTHERUS DR. SCOTTSDALE, AZ 85248
ZONING:	C-2 (NO CHANGE)
SITE AREA:	46,108 SF.
FLOOR AREA RATIO (FAR):	0.208 SF OF PROVIDED (NO CHANGE) TO BUILDING
OPEN SPACE AREA (OS):	8,664 SF OF PROVIDED
MAXIMUM HEIGHT:	32 FEET (MAXIMUM ALLOWED) OF FIRST EXISTING CHANGE
SETBACKS:	FRONT YIELD: 10% OF OPEN SPACE OR 4.713 SF FRONT PRIVY: 8.438 SF OF BUTHERUS, 1,960 SF (1,490 SF) SIDE: N/A REAR: N/A
NUMBER OF STORES:	1
AGE OF BUILDING:	BUILT IN 1980

PARKING CALCULATIONS

EXIST. RESTAURANT + KITCHEN = 1694-488 = 1206	1206 / 36.83 = 32.75 STALLS REQ.
SHARED ENTRY = 273 SF / 110 = 2.48	
NEW PATIO = 2500 SF / 110 = 22.73	22.73 + 4.25 = 26.98
STORAGE = 253 SF / 110 = 2.30	
MUSIC SPACE (BLK-LIVE) = 2920 SF / 110 = 26.55	
EXISTING PATIO SPACE = 1940 SF / 110 = 17.64	17.64 FOR LANDSCAPING = 200 - 41.24
STORAGE = 163 SF / 110 = 1.48	
SUBTOTAL PARKING STALLS REQUIRED = 146.76	OR 147 STALLS REQUIRED
PARKING STALL REDUCTION = A TOTAL PRODUCTION OF 147 PARKING STALLS FOR EXISTING BUILDING IS EXISTING BUILDING PROVIDED IS TOTAL PARKING STALLS PROVIDED FROM ADJACENT PROPERTY: 118	
TOTAL PARKING STALLS PROVIDED: 141	
TOTAL STALLS REQUIRED AFTER REDUCTIONS: 141	
TOTAL STALLS BEING PROVIDED: 141	



ENLARGED FLOOR PLAN

3/32" = 1'-0"

EXTOLLO DESIGN
 2122 E. DE SABLE ST.
 TEMPE, AZ 85283
 480-486-9095

BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85248

FLOOR PLAN WORKSHEETS

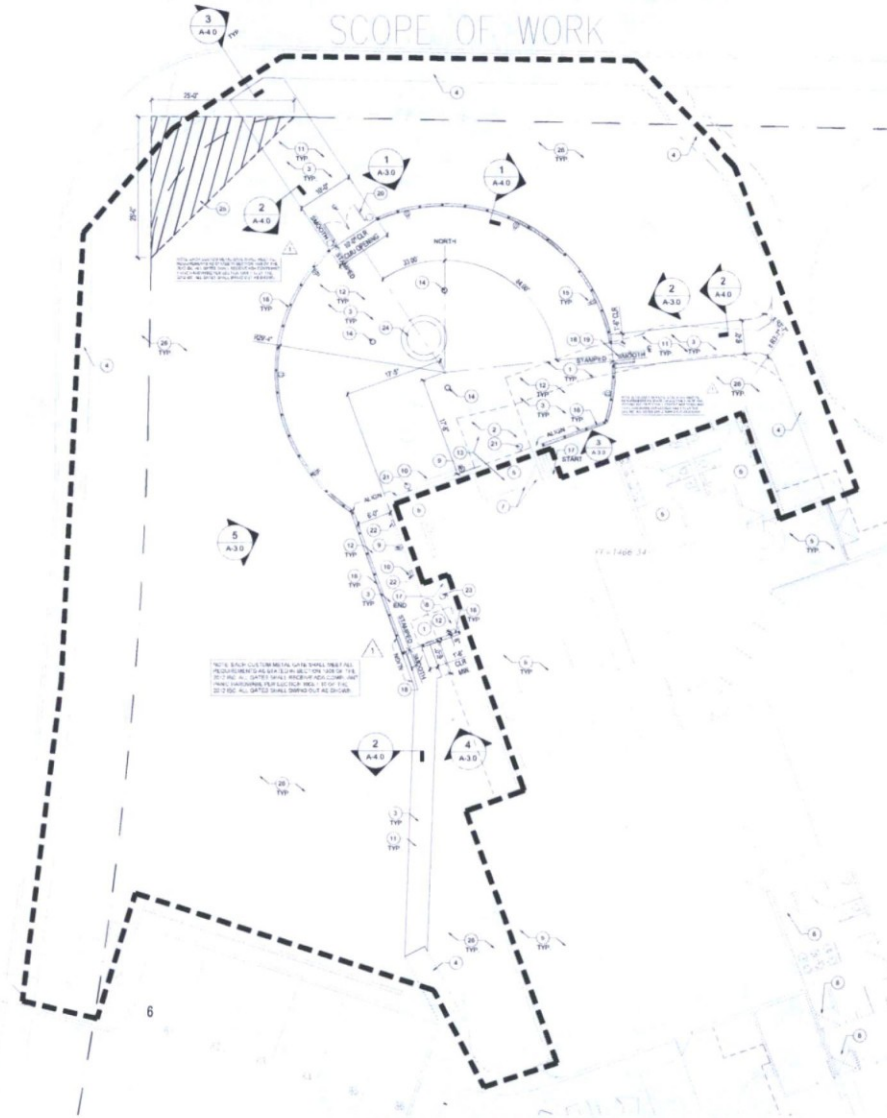
DRAWN: JTP
 JOB NO.: 15-001
 DATE: 7.3.18
 REVISED:

FLOOR PLAN WORKSHEETS

73RD. STREET

BUTHERUS DRIVE

SCOPE OF WORK



ENLARGED SITE PLAN

1" = 20'

ENLARGED SITE PLAN KEYNOTES

1. DASHED LINES REPRESENT EXISTING CONCRETE SLAB TO BE REMOVED
2. DASHED LINES REPRESENT EXISTING BRICK PAVERS TO BE REMOVED
3. EXISTING DECOMPOSED GRANITE TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLAB AND WALKWAYS
4. EXISTING CONCRETE WALKWAY AND CURB, WHERE APPLICABLE, TO REMAIN
5. EXISTING BUILDING INTERIOR, NO WORK, NO WORK ON ROOF
6. EXISTING DIMENS. SHOWN FOR REFERENCE ONLY. SEE PARKING CALCULATIONS
7. EXISTING FOLDING PARTITION WITH INTEGRAL EXIT DOOR TO REMAIN
8. EXISTING EXT. EXIT DOOR ADJACENT TO EXISTING KITCHEN TO REMAIN
9. EXISTING EXTERIOR 1" BOX OUTLET AND CONDUIT TO REMAIN. GENERAL CONTRACTOR TO VERIFY THAT EXISTING DEVICE IS ENERGIZED FOR GENERAL USE
10. EXISTING BUILDING STORAGE TO REMAIN
11. NEW 4" CONCRETE WALKWAY OVER ABC CONCRETE TO MATCH EXISTING EXTERIOR WALKWAYS. VERIFY FINISH. SEE 8.4.1 FOR TYPICAL CONTROL JOINT SECTION
12. NEW 1" MIN. 4" STAMPED CONCRETE EXTERIOR PATIO SLAB WITH 1" AGGREGATE OVER 4" ABC EXACT STAMP DESIGN AND CONCRETE COLOR BY OWNER
13. NEW PATIO SLAB ELEVATION TO BE FLSH WITH EXISTING RESTAURANT INTERIOR SLAB. SEE CIVIL DRAWINGS
14. NEW RECESSED HEAT-WIRE/ROOF ELECTRICAL FLOOR BOXES. THESE SHALL PROVIDE POWER AND GROUND FOR TENANT PROVIDED FIBER/STAINING FLOOR LAMPS. TYP. SEE ELECTRICAL DRAWINGS. VERIFY EXACT LOCATIONS WITH OWNER
15. NEW SURFACE MOUNTED WEATHERPROOF DUPLEX OUTLETS ON DRAINER SWITCH. TYPICAL ELECTRICAL WIRING TO BE WITHIN CMU WALL. SEE ELECTRICAL DRAWINGS
16. NEW 2" 4" PERIMETER STUCCO CLAD 4" CMU WALL WITH AN ADDITIONAL 4" W/ WEATHER PROOF FENCING ABOVE. STUCCO. SEE WALL SECTION WALL TEXTURE TO MATCH EXISTING AND SHALL BE PAINTED TO MATCH ADJACENT SITE WALLS
17. EXISTING "WHITE" PAINTED BRICK EXTERIOR WALL SURFACE TO RECEIVE R.F.I.S. SYSTEM TO MATCH EXISTING AT OTHER PARTS OF EXISTING BUILDING. COLOR TO MATCH EXISTING. SEE PLAN FOR EXACT ANCHORING POINTS
18. NEW ACCESSIBLE CURTAIN SINGLE WROUGHT IRON GATE. PAINT COLOR FINISH TO MATCH EXISTING. GATE OPENING WIDTH TO BE 2' 6" MIN. CLEAR ADJACENT WALL. SEE ADDITIONAL DOOR/HARDWARE NOTES THIS SHEET WITH CURTAIN GATE. SEE CURTAIN GATE. SEE ADDITIONAL DOOR/HARDWARE ACCESSIBLE SINGLE WROUGHT IRON GATE. THIS LOCATION TO MATCH OTHER GATES AT PATIO. GATE HEIGHT SHALL NOT EXCEED HEIGHT OF ADJACENT THROUGH IRON FENCE WALL
19. SEE NEW ACCESSIBLE GATE AT SOUTH-WEST CORNER OF PATIO AREA FOR ALL OPENING SIZES AND REQUIRED CLEARANCES
20. NEW ACCESSIBLE CUSTOM METAL DOUBLE GATE WITH LOCK. METAL CURTAIN GATE INSTALLATION IS COMPLETELY PROHIBITED. TEMPORARY ACCESSIBLE DOUBLE WROUGHT IRON GATE. THIS LOCATION TO MATCH OTHER GATES AT PATIO. SEE CONSTRUCTION GATE SPECIFICATIONS SHEET SA-4.0
21. NEW EXTERIOR WALL SCENE AT 8' 0" OF 4" 4" LIGHTS TO BE SPACED EQUALLY EACH SIDE OF EXISTING SPARGE. LIGHTS TO BE USED DURING MAINTENANCE CLEARING OF THE PATIO ONLY. NOT TO BE USED DURING NORMAL OPERATING HOURS. SEE ELECTRICAL DRAWINGS
22. NEW SURFACE MOUNTED ASLE LIGHTING AT FOOT LEVEL
23. NEW WALL SCENE AT 6' 0" OF 4" 4" CENTER BETWEEN DOOR OPENING AT CORNER
24. NEW FREE STANDING FIRE FEATURE PROVIDED AND INSTALLED BY THE OWNER. NATURAL GAS PERMIT IN PLACE BY OWNER
25. NEW HEIGHT DIMENSIONS TRIANGLE SHOWN FOR REFERENCE ONLY. SEE PLAN FOR DIMENSIONS
26. SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL SITE WORK, TYPICAL

GATE HARDWARE NOTES

1. ALL EXIT GATES SHALL BE MAXIMUM 3' 0" X 8' 0" AND OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND EXIT DOORS SHALL BE CAPABLE OF OPENING 90 DEGREES AND SHALL BE MOUNTED SO THE CLEAR WIDTH OF THE EXIT WAY IS NOT LESS THAN 32" PER 910 I.B.C. CHAPTER 10
2. GATE HARDWARE SHALL ABIDE BY THE FOLLOWING:
 - A. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE GATES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 36 INCHES MIN. WIDE MINIMUM AND 48 INCHES (1200 MM) MINIMUM ABOVE THE FLOOR. WHERE SLOPING GATES ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. ICC A117.1 - 2008, SEC. 504.2.6
 - B. NEW GATES SHALL HAVE LEVER HANDLE HARDWARE
 - C. GATE CLOSERS, GATE CLOSING SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE GATE TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM. ICC A117.1 - 2008, SECTION 404.2.7
 - D. GATE OPENING FORCE, THE FORCE FOR PUSHING OR PULLING OPEN GATES SHALL BE AS FOLLOWS:
 1. HINGED GATES: 5.0 POUNDS (22.2 N) MAXIMUM
 2. SLIDING OR FOLDING GATES: 8.0 POUNDS (35.2 N) MAXIMUM
 THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISengage OTHER DEVICES THAT HOLD THE GATE IN A CLOSED POSITION
 - E. GATES WITH PANIC HARDWARE, THE ACTUATING MEMBER SHALL BE MOUNTED AT A HEIGHT OF NOT LESS THAN 30 INCHES OR MORE THAN 48 INCHES ABOVE THE FLOOR. THE ACTUATING FORCE SHALL NOT EXCEED 15 POUNDS WHEN APPLIED IN THE DIRECTION OF EXIT TRAVEL
 - F. ENTRY GATES SHALL HAVE THE INTERNATIONAL ACCESSIBILITY SYMBOL
3. WIDTH OF GATES, THE MINIMUM WIDTH OF EACH GATE OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) CLEAR OPENINGS OF GATEWAYS WITH BRIDGING GATES SHALL BE MEASURED BETWEEN THE FACE OF THE GATE AND THE STOP, WITH THE GATE OPEN 90 DEGREES (1.57 RAD). WHERE THIS SECTION REQUIRES A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) AND A GATE OPENING INCLUDES TWO GATE LEAVES WITHOUT A MULLION, ONE LEAF SHALL PROVIDE A CLEAR OPENING WIDTH OF 32 INCHES (813 MM). THE MAXIMUM WIDTH OF A BRIDGING GATE LEAF SHALL BE 48 INCHES (1219 MM) NOMINAL. ICC 117.1 - 2008, SECTION 1008.1.1
4. CHANGES IN LEVEL, VERTICAL CHANGES IN LEVEL OF 1/4 INCH (6.4 MM) MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL STEPPED. CHANGES IN LEVEL GREATER THAN 1/4 INCH (6.4 MM) IN HEIGHT AND NOT MORE THAN 12 INCH (305 MM) MAXIMUM IN HEIGHT SHALL BE REVEALED WITH A SLOPE NOT STEEPER THAN 1:2. PER ICC A117.1 - 2008, SECTION 303.2.2 & 303.3

EXTOLLO DESIGN
2122 E. SESAME ST.
TEMPE, AZ 85283
480-866-6566

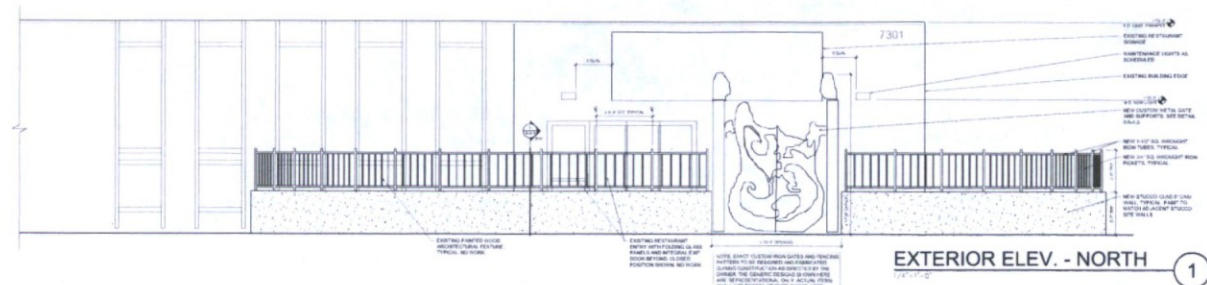


BLK PATIO ADDITION
7301 E BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

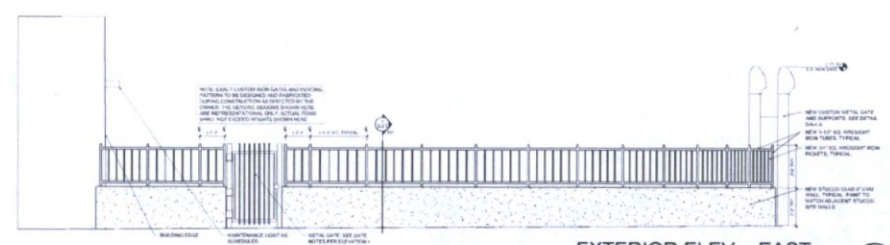
ENLARGED SITE PLAN

DRAWN: JTP
JOB NO: 15-001
DATE: 12.9.16
REVISED:
CITY COMMENTS 4.3.17

A-2.0



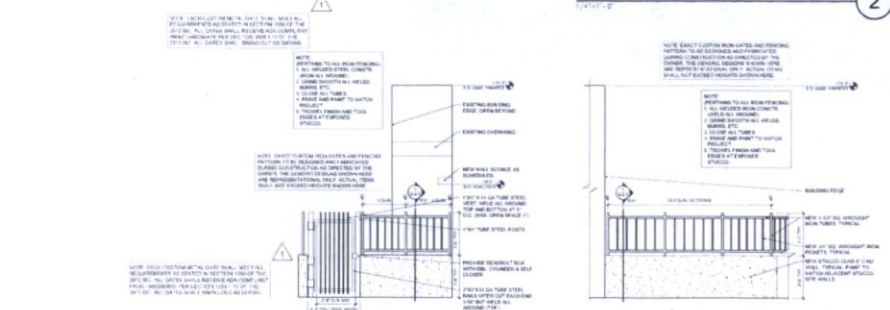
EXTERIOR ELEV. - NORTH 1



EXTERIOR ELEV. - EAST 2

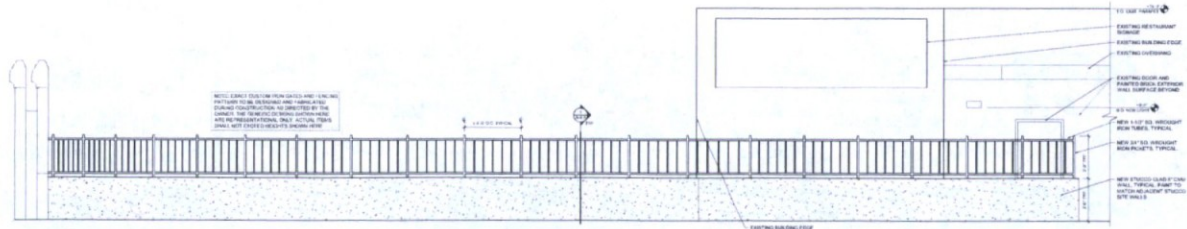
NOTE: ALL STUCCO AND WROUGHT IRON FENCING TO BE PAINTED TO MATCH EXISTING EXTERIOR COLOR. GENERAL CONTRACTOR TO PROVIDE DRAWINGS FOR OWNER REVIEW AND APPROVAL. PAINT TO BE DUMM EDWARDS, NATURAL BRIDGE DESIGN, EVERSHIELD 100% ACRYLIC, UV IN OR EQUAL.

1



EXT. ELEV. - SOUTHWEST 4

EXT. ELEV. - SOUTHEAST 3



EXTERIOR ELEV. - WEST 5

BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

EXTERIOR ELEVATIONS

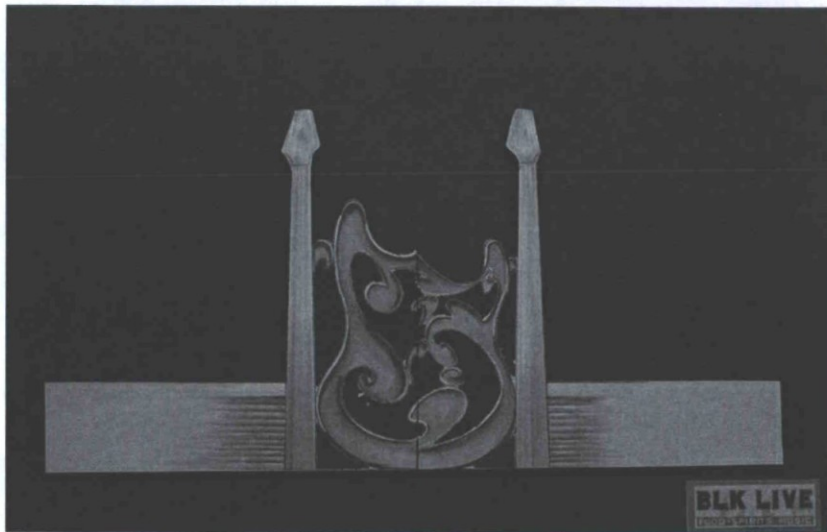
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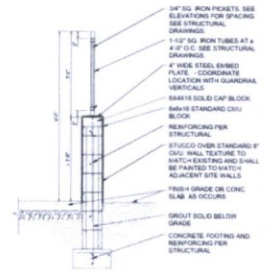
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REVISED:
 CITY COMMENTS 4.3.17

A-3.0



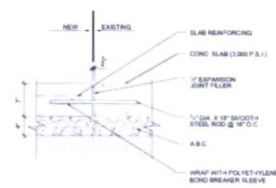
GATE CONCEPTUAL ELEV. ⑤
1/2"=1'-0"



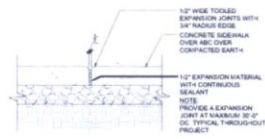
PERIMETER WALL SECTION ①
1/2"=1'-0"



CONCRETE TURNDOWN ②
1/2"=1'-0"



CONC. JOINT AT EXST. SLAB ③
1/2"=1'-0"



TYPICAL CONTROL JOINT ④
1/2"=1'-0"

EXTOLLO DESIGN
2122 E. SESAME ST.
TEMPE, AZ 85283
480-888-6565

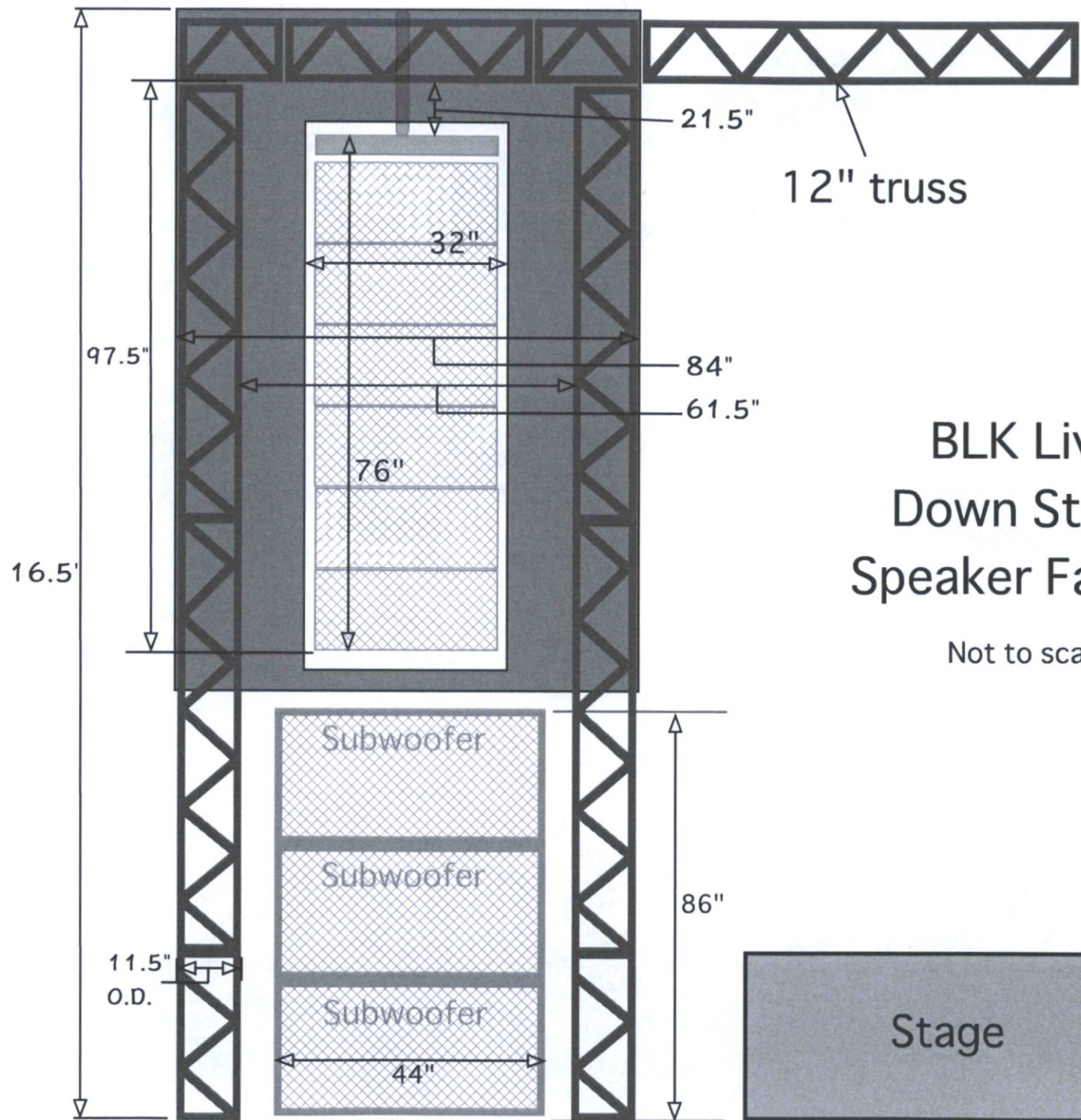


BLK PATIO ADDITION
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

SECTIONS AND DETAILS

DRAWN: JTP
JOB NO. 15-001
DATE: 12.9.16
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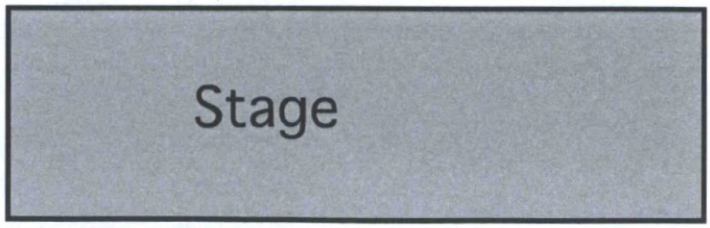
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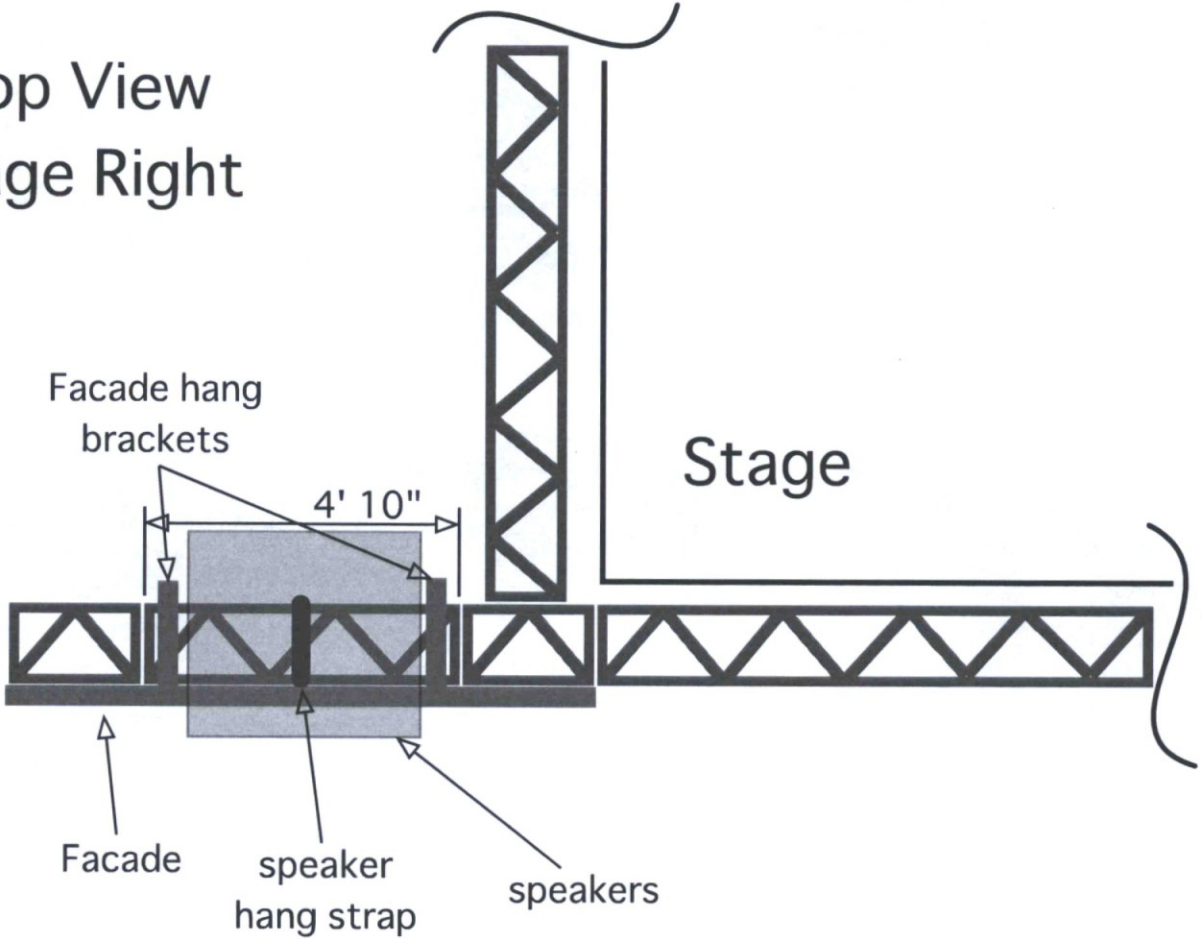
BLK Live
 Down Stage
 Speaker Facade

Not to scale

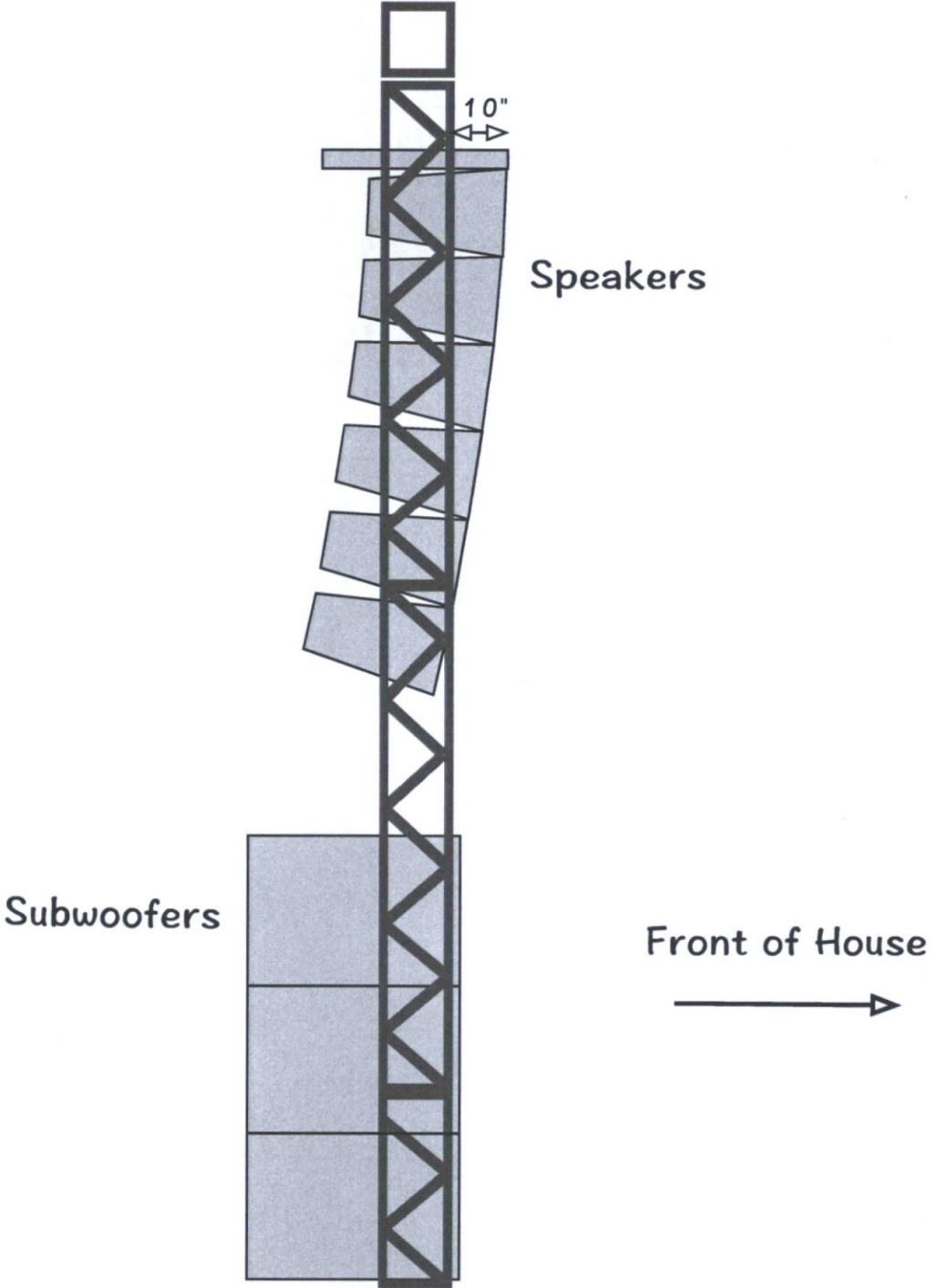
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 07/20/18

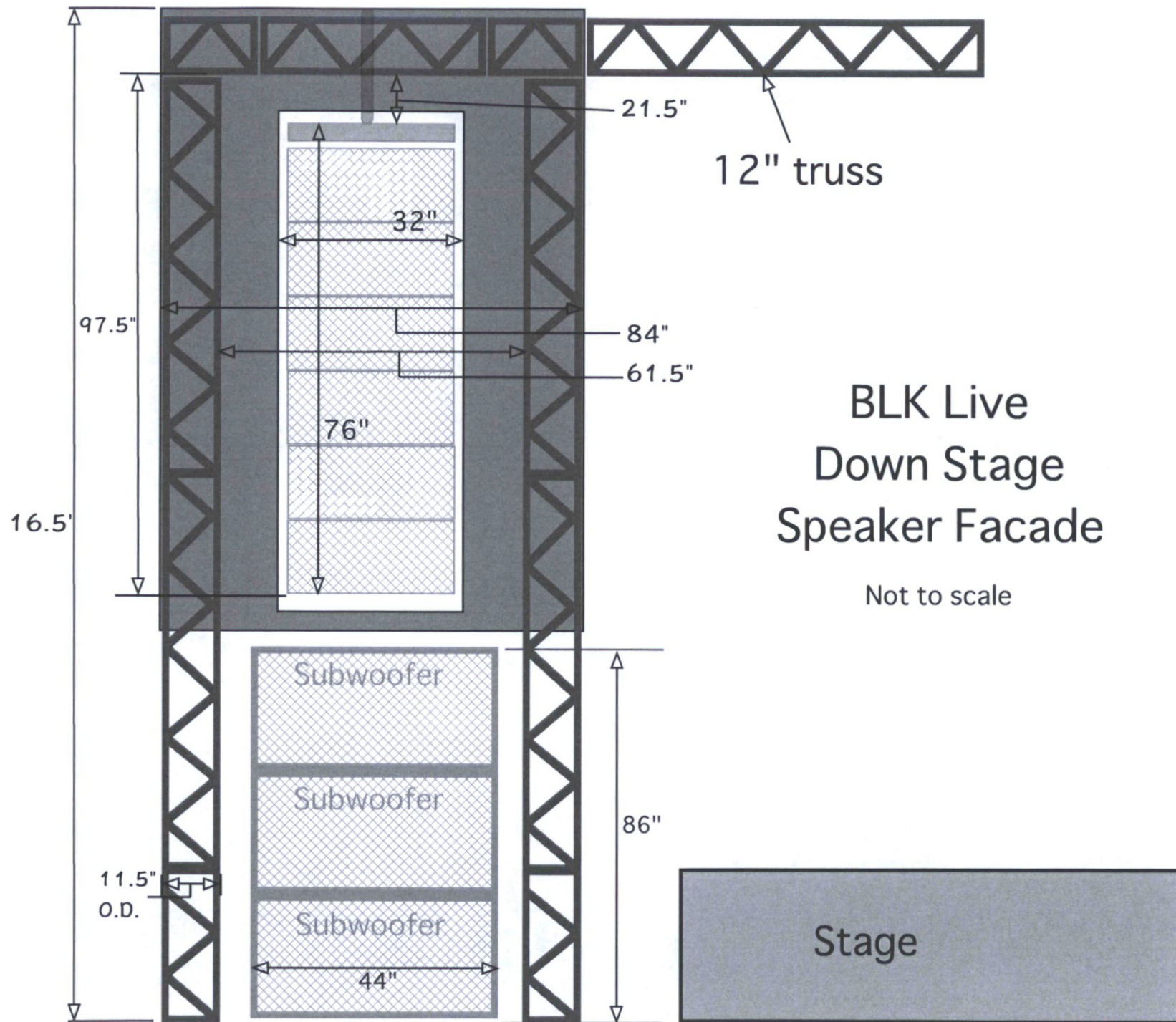


Top View
Stage Right



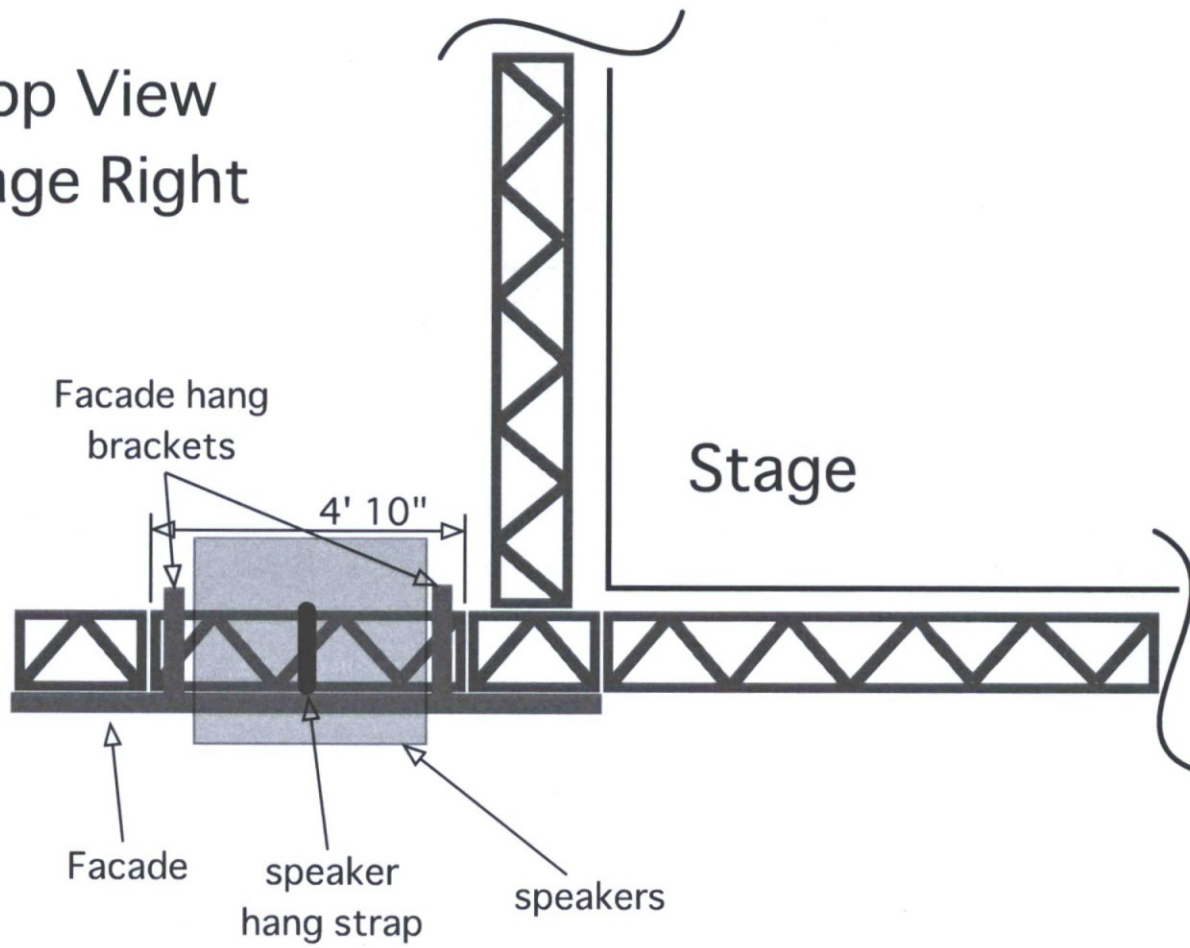
Speaker Tower Side View



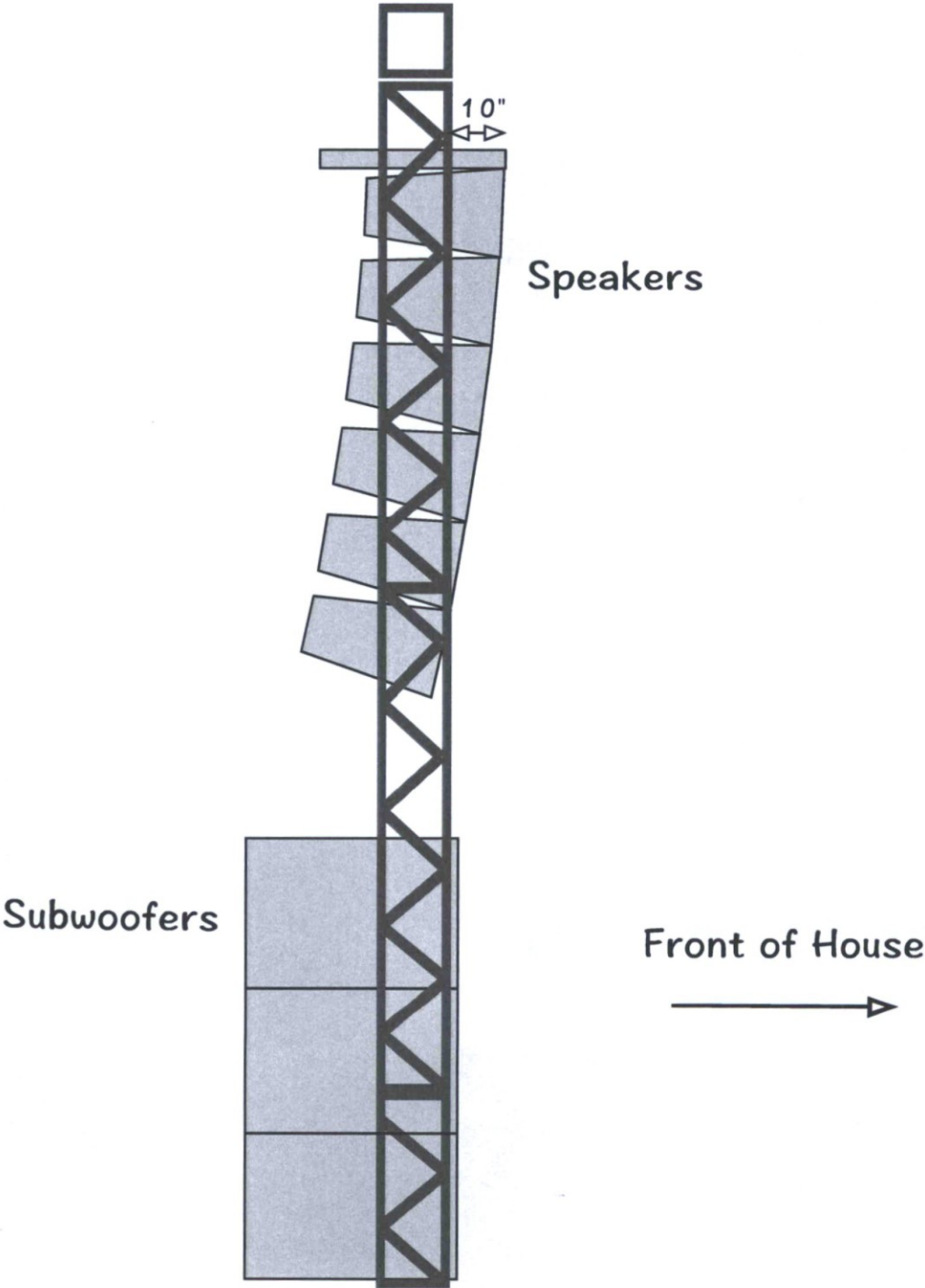


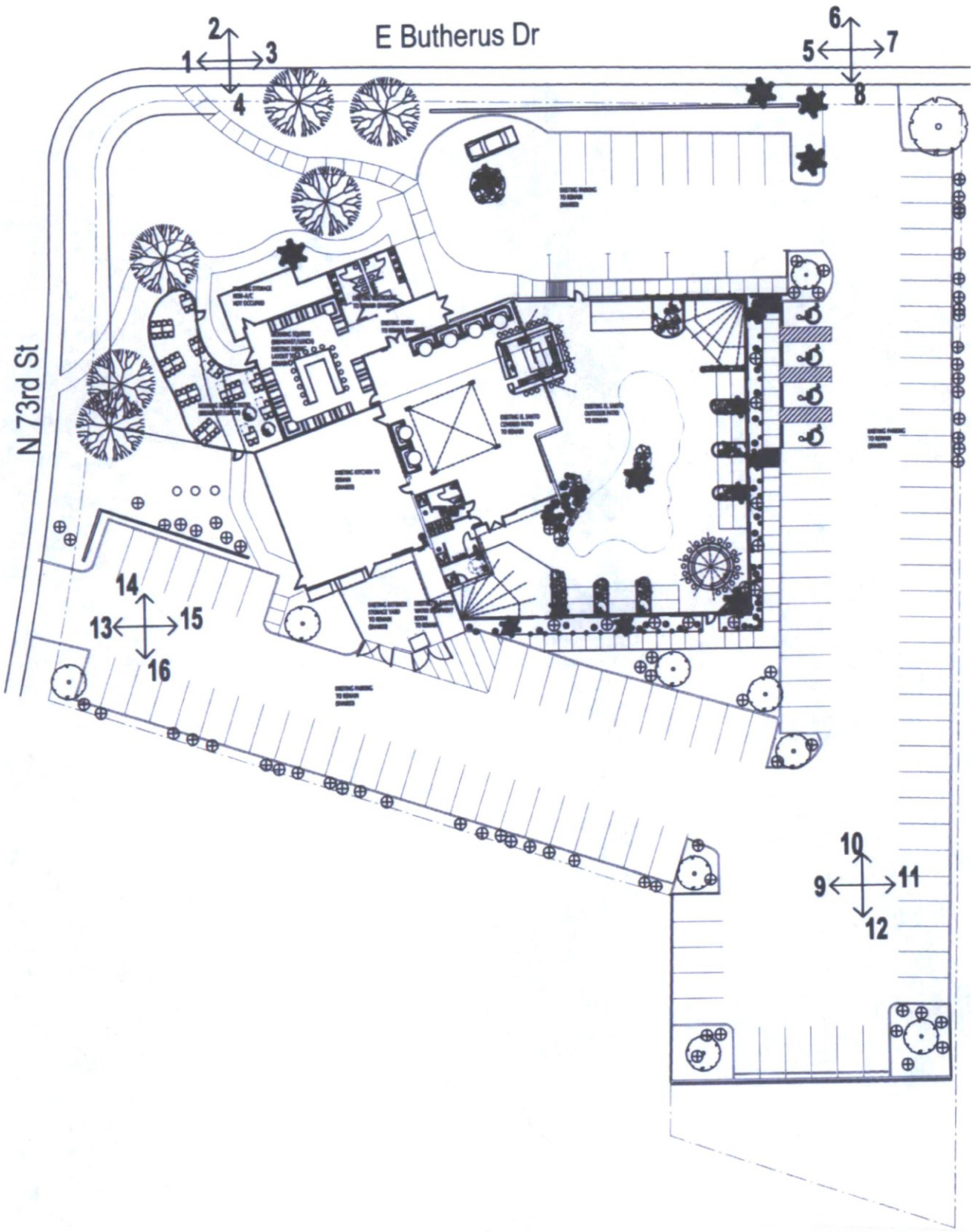
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Top View Stage Right



Speaker Tower Side View





12-UP-2018
07/20/18



1



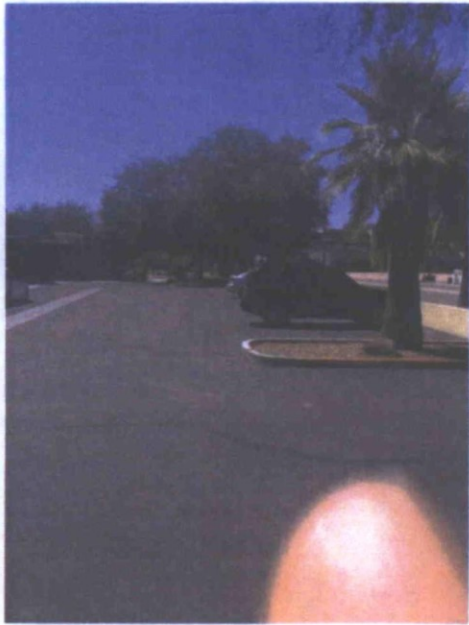
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3



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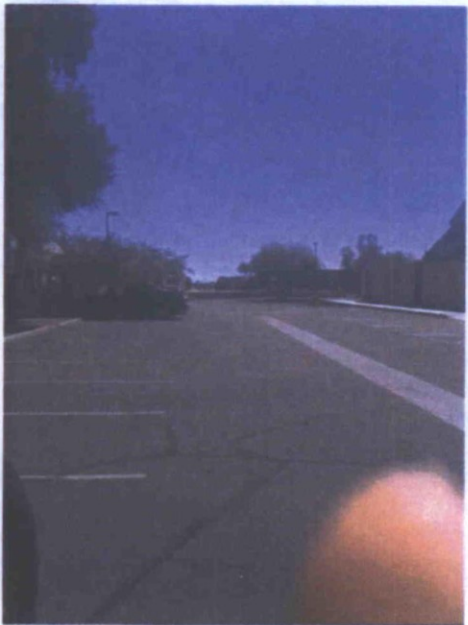
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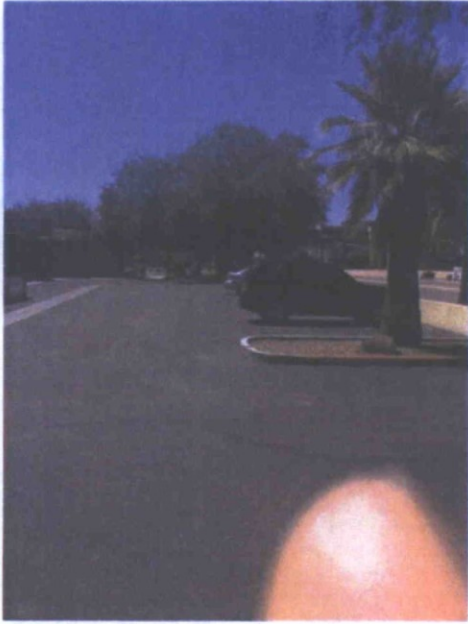
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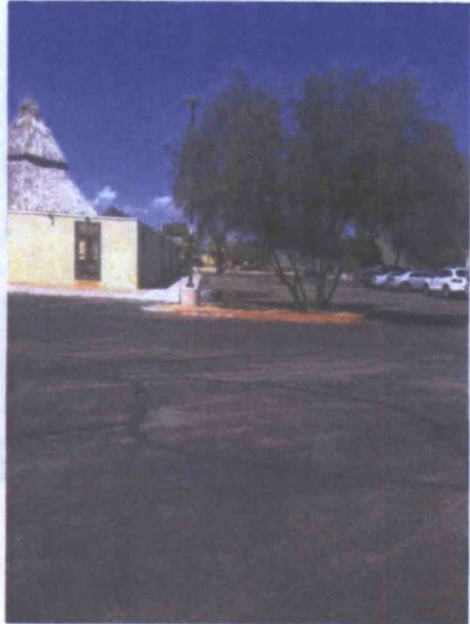
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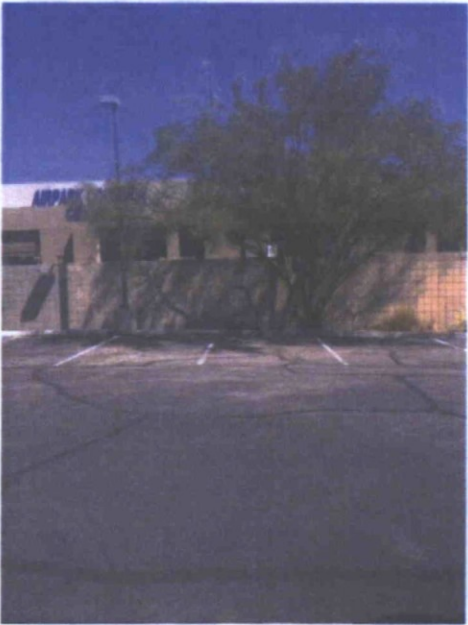
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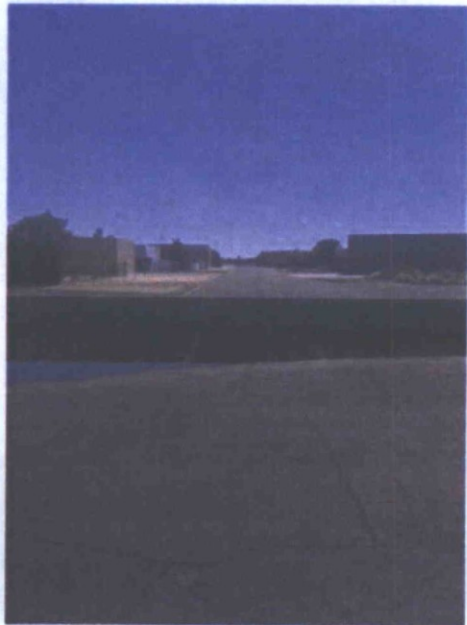
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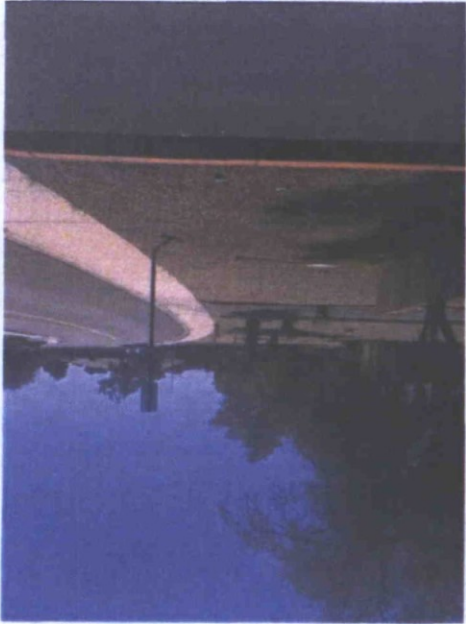


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12

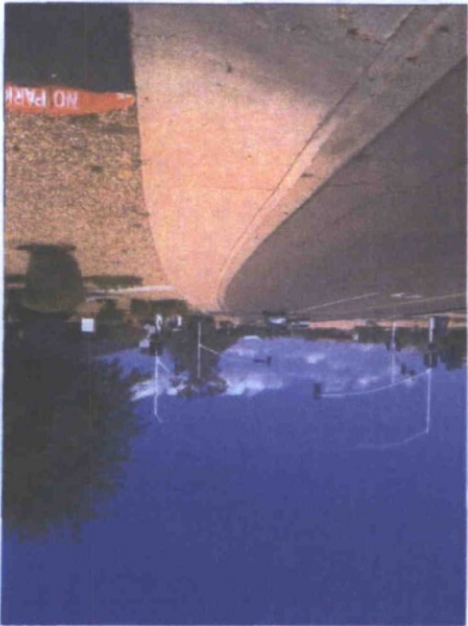
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15



14



13



BLK PATIO ADDITION

7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

EXTOLLO
DESIGN

2122 E. SESAME ST.
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480-888-6565



GENERAL NOTES

- SPECIAL DESIGNS OR ADAPTATIONS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF EXTOLLO DESIGN, LLC. AND SHALL NOT BE REPRODUCED, REORDERED, OFFERED FOR SALE OR USED FOR DISPLAY, WITHOUT THE WRITTEN AUTHORIZATION OF EXTOLLO DESIGN, LLC. ALL SAMPLES, MODELS, DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY EXTOLLO DESIGN, LLC. AND SHOWN IN THESE CONTRACT DOCUMENTS ARE SOLE PROPERTY OF EXTOLLO DESIGN, LLC. THEY SHALL NOT BE USED ON WORK OUTSIDE THE ORIGINAL INTENTION OF THESE CONTRACT DOCUMENTS AND SHALL BE RETURNED TO EXTOLLO DESIGN, LLC. AT THE COMPLETION OF THE WORK. THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY, DEFEND AND HOLD EXTOLLO DESIGN, LLC. AND ITS CONSULTANTS HARMLESS FROM ANY CLAIM, DEMAND, ACTION, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS) ARISING OR ALLEGEDLY ARISING OUT OF ANY REUSE OR MODIFICATION OF THESE CONTRACT DOCUMENTS BY THE CLIENT OR BY ANY PERSON OR ENTITY THAT ACQUIRES OR OBTAINS THESE CONTRACT DOCUMENTS FROM OR THROUGH THE CLIENT.
- DO NOT SCALE THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE, AND BRING ANY DISCREPANCIES, ERRORS OR VARIANCES TO THE ATTENTION OF EXTOLLO DESIGN, LLC. PRIOR TO COMMENCEMENT OF THE WORK.
- LARGE SCALE PLANS SHALL GOVERN OVER SMALL SCALE PLANS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- ANY INFORMATION REQUIRED BY THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS THAT IS NOT SHOWN ON THESE DRAWINGS OR CONTAINED IN OTHER CONTRACT DOCUMENTS SHALL BE REQUESTED BY THE GENERAL CONTRACTOR FROM EXTOLLO DESIGN, LLC. THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH WORK AFFECTED BY SUCH ERRORS, DISCREPANCIES OR OMISSIONS WITHOUT RECEIVING THE NECESSARY CLARIFICATIONS. ADJUSTMENTS INVOLVING SUCH CONDITIONS MADE BY THE GENERAL CONTRACTOR AND/OR THEIR SUBCONTRACTORS WITHOUT PRIOR CLARIFICATION BY EXTOLLO DESIGN, LLC. SHALL BE AT THE GENERAL CONTRACTOR'S OWN RISK. COMPLICATIONS ARISING FROM PROCEEDING WITHOUT THESE CLARIFICATIONS SHALL BE AT THE GENERAL CONTRACTOR'S SOLE EXPENSE.
- THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE DESIGN, DETAILS AND SPECIFICATIONS CONTAINED IN THESE DOCUMENTS. NO DEVIATIONS OR SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM EXTOLLO DESIGN, LLC. ANY WORK DONE OR PRODUCTS INSTALLED NOT CONFORMING TO THESE DOCUMENTS SHALL BE REJECTED BY EXTOLLO DESIGN, LLC. AND SHALL BE REDONE OR REPLACED AT THE GENERAL CONTRACTOR'S SOLE EXPENSE.
- MECHANICAL, PLUMBING AND ELECTRICAL ITEMS ON ARCHITECTURAL DRAWINGS ARE SHOWN FOR LOCATION AND QUANTITY ONLY. REFER TO ENGINEERING DRAWINGS FOR ALL TECHNICAL INFORMATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BETWEEN TRADES. ALL REFERENCES TO THE SCOPE OF WORK INCLUDED IN THESE CONTRACT DOCUMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS.
- THE SCOPE OF WORK INDICATED IN THESE CONTRACT DOCUMENTS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES, REGULATIONS AND ORDINANCES.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN USING THE INDUSTRY STANDARDS FOR THE BEST PRACTICES OF EACH TRADES WORK.
- ALL MATERIALS SHALL BE NEW AND CONTAINED IN ITS ORIGINAL PACKAGING OR CONTAINER WHEN DELIVERED TO THE SITE. ALL MATERIALS SHALL BE PROTECTED FROM DAMAGE BEFORE, DURING CONSTRUCTION AND AT THE TIME THE GENERAL CONTRACTOR RELEASES THE SITE FOR OCCUPANCY.
- THE GENERAL CONTRACTOR SHALL NOT CAUSE INTERRUPTION OF MECHANICAL, PLUMBING, ELECTRICAL AND OTHER UTILITY SERVICES TO THE REMAINING AREAS OF THE EXISTING BUILDING AND PREMISES, INCLUDING AREAS OUTSIDE THE CONSTRUCTION LIMITS OF THE PROJECT. THE GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL REQUIRED INTERRUPTIONS WITH THE CLIENT/ BUILDING OWNER PRIOR TO PERFORMING ANY SHUT DOWNS OR INTERRUPTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORK ENVIRONMENT FOR ALL WORKERS AND BUILDING OCCUPANTS. THE GENERAL CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND FEDERAL SAFETY CODES, REGULATIONS AND ORDINANCES.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN PREMISES FREE OF TRASH AND DEBRIS. THE GENERAL CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING AREAS FROM DAMAGE, SOILING, PAINT OVER SPRAY AND DUST. ALL EXISTING EQUIPMENT, GLAZING, WINDOW TREATMENTS, FLOORS, CEILING AND OTHER BUILDING ELEMENTS, SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY. ANY DAMAGES INCURRED DURING DEMOLITION OR CONSTRUCTION OF THIS SCOPE OF WORK SHALL BE REPAIRED, REPLACED, OR PATCHED AT THE DISCRETION OF THE BUILDING OWNER OR CLIENT. THE GENERAL CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND ANY WORK UNDERTAKEN TO CORRECT IT.
- THE GENERAL CONTRACTOR SHALL PAY FOR ALL NECESSARY FEES AND PERMITS REQUIRED FOR THE SCOPE OF WORK TO BE PERFORMED PRIOR TO COMMENCEMENT OF CONSTRUCTION UNLESS NOTICED OTHERWISE.
- MANUFACTURED MATERIALS, FINISHES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR SAMPLES OF ALL PURCHASED, FABRICATED AND FINISHED ITEMS FOR REVIEW BY EXTOLLO DESIGN, LLC. PRIOR TO PURCHASING OR FABRICATING SUCH MATERIALS. THE GENERAL CONTRACTOR SHALL DELIVER A MINIMUM OF 3 COPIES OF THESE SUBMITTALS TO EXTOLLO DESIGN, LLC.
- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
- MOUNTING HEIGHT FOR TELEPHONE/COMPUTER AND ELECTRICAL OUTLETS SHALL BE 18 INCHES ABOVE THE FINISHED FLOOR TO THE BOTTOM OF THE COVER PLATE UNLESS NOTED OTHERWISE. ELECTRICAL/TELEPHONE OUTLET COMBINATIONS SHALL BE MOUNTED ON EITHER SIDE OF THE SAME STUD.
- MOUNTING HEIGHT FOR LIGHT SWITCHES AND THERMOSTATS SHALL BE 4'-0" ABOVE THE FINISHED FLOOR TO THE TOP OF LIGHT SWITCH AND THERMOSTAT COVERS. THERMOSTATS SHALL NOT BE PLACED IN THE CENTER OF A PARTITION AND SHALL BE LOCATED ADJACENT TO A DOOR, LIGHT SWITCH OR PARTITION OPENING WHERE APPLICABLE.
- THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL EXIT SIGNS, NIGHT OR EMERGENCY LIGHTS, FIRE AND SMOKE DETECTION, AND ALARM SYSTEMS EXTENSIONS INTO THE AREA OF WORK AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES AND THE CITY FIRE MARSHAL.
- ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE REQUIREMENTS OF I.B.C. SECTION 2406. SAFETY GLAZING SHALL BE INSTALLED AS PER 2406.4 INCLUDING (BUT NOT LIMITED TO): ANY GLAZING WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR; AND ANY GLAZING THAT IS GREATER THAN 9 SQUARE FEET, AND WHOSE BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR AND WHOSE TOP EDGE IS MORE THAN 36 INCHES ABOVE THE FLOOR AND IS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE. GLASS SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES. THE FOLLOWING THICKNESSES OF GLASS MAY BE USED IN BUTT GLAZED, FIXED GLASS WINDOWS, WHEN SUPPORTED BY TWO EDGES:
60 INCH SPAN OR LESS: 1/4" THICK
60 INCH SPAN OR LESS: 5/16" THICK
96 INCH SPAN OR LESS: 3/8" THICK

CITY OF SCOTTSDALE FIRE DEPARTMENT NOTES

- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF THE EXISTING FIRE SPRINKLER SYSTEM AND COMPLY WITH NFPA 13 & LOCAL AMENDMENTS. NOTE: EXISTING STANDARD RESPONSE SPRINKLER HEADS IN LIGHT HAZARD OCCUPANCIES WITHIN THE TENANT SPACE SHALL BE CHANGED OUT TO QUICK RESPONSE WHEN WORK HAS BEEN CONTRACTED TO ADD AND/OR RELOCATE 50% OR MORE OF THE SPRINKLER HEADS.
- ALL FIRE PROTECTION SYSTEMS SHALL REMAIN OPERATIONAL AND MODIFIED AS NECESSARY FOR CODE COMPLIANCE.
- MINIMUM 2A-1-BC RATED FIRE EXTINGUISHER(S) IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE AND NFPA 10. FIRE EXTINGUISHER QUANTITY & LOCATION(S) SHALL BE APPROVED BY THE FIRE INSPECTOR.
- EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH CITY ORDINANCE & FC. SEE ELECTRICAL.
- FIRE LANES TO BE ESTABLISHED AND/OR MAINTAINED.
- ESTABLISH & MAINTAIN 20' OF ACCESS TO ALL STRUCTURES FROM THE PUBLIC ROADWAY DURING CONSTRUCTION.
- PROVIDE A NEW KNOX BOX IF ONE DOES NOT EXIST ON BUILDING. MOUNT BY MAIN ENTRANCE 4' - 6' A.F.F. PROVIDE A DOOR KEY FROM TENANT AND PLACE IN KNOX BOX.
- NUMERICAL PREMISES ID MUST BE LEGIBLE FROM STREET OR DRIVE.
- CONTRACTOR TO VERIFY EXISTING AND/OR REQUIRED FIRE HYDRANT(S) INSTALLATION & MARKED WITH BLUE REFLECTOR PRIOR TO CERTIFICATE OF OCCUPANCY.
- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION TO FIRE ALARM SYSTEM (IF EXISTING) & COMPLY WITH NFPA 72 & LOCAL CODES (SEE MECHANICAL SHEETS FOR DETECTOR NOTES).

PROJECT DIRECTORY

- BUILDING OWNER**
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3080 BRISTOL ST.
COSTA MESA, CA 92626
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DESIGN ETHIC
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PROJECT NARRATIVE

THESE CONSTRUCTION DOCUMENTS ARE BASED ON A MINOR STAFF APPROVED DEVELOPMENT REVIEW 480-2A-2018. THE SCOPE OF WORK CONSISTS OF THE ADDITION OF AN EXTERIOR PATIO AND ADJACENT WALKWAYS TO AN EXISTING BUILDING. THE EXISTING BUILDING INCLUDES BLK-3 WHICH IS AN EXISTING RESTAURANT AND BLK-4 WHICH IS AN EXISTING BAR/BEER MUSIC SPACE.

PARKING STALL REQUIREMENTS HAVE ALSO RECEIVED PRE-APPROVAL UNDER THE MINOR STAFF APPROVED DEVELOPMENT REVIEW 480-2A-2018. THE PARKING CALCULATIONS BELOW REFLECT THE ABOVE-UPON TOTAL REQUIRED QUANTITY.

THIS PROPERTY CURRENTLY CONTAINS (1) EXISTING STALLS. THE OWNER HAS LEASED AN ADDITIONAL (2) STALLS DURING NON-WORKING HOURS ONLY (FRIDAY NIGHT, SATURDAY AND SUNDAY) ON THE ADJACENT PROPERTY TO THE EAST (7323 E BUTHERUS DR. SCOTTSDALE 85026). SEE RELEVANT PARKING ASSURANCE AGREEMENT ATTACHED AND CALCULATIONS BELOW. LEASE LIGHT MEETS THE 6-YEAR MINIMUM AND LEASED STALLS ARE WITHIN THE MINIMUM 500 FT FROM THE PROJECT PROPERTY.

THE NEW EXTERIOR PATIO ITSELF IS BEING CONNECTED TO THE EXISTING RESTAURANT AND KITCHEN. THE ENTIRELY PRIMARY CIRCULAR 3-PERSON TABLE, 4-PERSON TABLE, 3 TO 4 SMALL FREESTANDING LIGHTS, AND CIRCULATION SPACE TO ACCOMMODATE 3-3 SEVERE AND EXISTING REQUIREMENTS. THE (2) AREAS LETTERED ABOVE IN ALL THE RESTROOMS WILL BE OPERATING FROM OPEN TO 8PM. THE REMAINDER OF THE FACILITY WILL BE CLOSED DURING THESE HOURS. THE OWNER HAS PROVIDED A LETTER STATING WHICH FUNCTIONS WILL BE OPEN DURING THE DAY SHIFT (OPEN TO 8PM) AND THE NIGHT SHIFT (8PM TO CLOSE). SEE SHEET A.1 FOR A VISUAL BREAKDOWN.

THERE IS NO WORK ON THE ROOF AND NO WORK ON THE INTERIOR OF THE EXISTING BUILDING NOR FOR FILE STORAGE, NO HAZARDOUS CHEMICALS EXCEEDING 140 LBS OF THE 2017 IBC. ANY AND ALL FUTURE STORAGE MODIFICATIONS TO BE SUBMITTED SEPARATELY.

SHEET INDEX

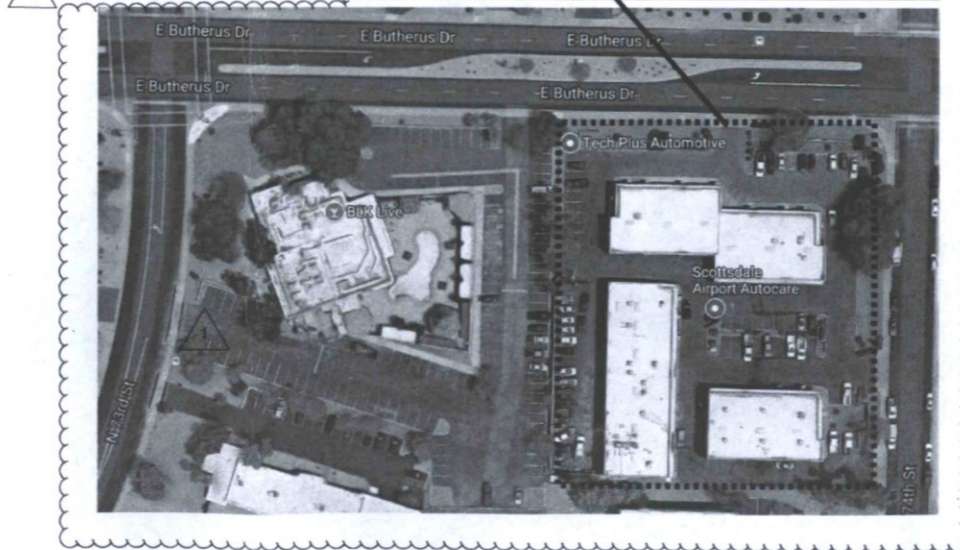
- G-0.0 PROJECT NARRATIVE - PROJECT INFORMATION - PARKING CALCULATIONS
- C-101 IMPROVEMENT PLAN
C-102 GRADING AND DRAINAGE PLAN
- L-01 COVER SHEET AND SITE PLAN
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L-06 IRRIGATION SPECIFICATIONS
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A-2.0 ENLARGED ARCHITECTURAL SITE PLAN
A-3.0 EXTERIOR ELEVATIONS
A-4.0 SECTIONS AND DETAILS
- E-1.0 ELECTRICAL SYMBOLS AND SPECIFICATIONS
E-2.0 ELECTRICAL SITE PLAN
E-3.0 ELECTRICAL CUT SHEETS
- S-1.0 GENERAL STRUCTURAL NOTES
S-1.1 FOUNDATION PLAN AND DETAILS
STRUCTURAL CALCULATIONS (SEPARATE ATTACHMENT)

CITY OF SCOTTSDALE SITE PLAN PLANNING NOTES

SITE PLAN - PLANNING NOTES COMMERCIAL & MULTI-FAMILY

- Please provide the following checked notes on the site plan; additional notes may be required.
- Sight triangles shall be shown on four plans for driveway from commercial sites and any intersections. Along with the safety triangle to be clear of landscaping, signs, or other visible obstructions with a height greater than 1' 6". Trees within the safety triangle shall be single trunk and have a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street level.
 - Temporary/Security Fencing that is required or is optionally provided shall be in accordance with the Zoning Ordinance and the Design Standards and Policies Manual.
 - Non-adjacent property fence location shall not be modified or the temporary security fence shall not be removed without the approval of the Planning and Development Services, Inspection Services Division.
 - All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.
 - All signs require separate permits and approvals.
 - A master sign program shall be subject to the approval of the Development Review Board prior to the issuance of a sign permit for multi-tenant buildings.
 - No exterior vending or display shall be allowed.
 - Signage, if provided, shall be one piece canopy topped.
 - No exterior public address or speaker system shall be allowed.
 - Radio antennas, if provided, shall be hidden and shall not have any extension in the form of signage or logos.
 - All exterior mechanical, utility, and communication equipment shall be screened to the height of the building and to be painted or screened and that matches the architectural color and architectural finish of the building. Ground mounted mechanical, utility, and communication equipment shall be screened to a screen that matches the architectural color and architectural finish of the building, which is a maximum of 1' 0" higher than the highest point of the building. (Details are left required).
 - All equipment, utilities, or other appliances attached to the building shall be an integral part of the building design in terms of form, color and texture.
 - No exterior visible ladders shall be allowed.
 - All pole-mounted lighting shall be a maximum of 20 feet in height.
 - No chain link fencing shall be allowed.
 - No lot areas shall be provided.
 - No irrigation shall be provided to unlandscaped Natural Area Open Space (NAOS) areas.
 - Provide the Natural Area Open Space (NAOS) and Limits of Construction (LOC) Protection Program on the Plans.
- NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM**
- No grading, building, or construction activity shall encroach into areas designated as NAOS, or outside the designated construction envelope.
 - All NAOS and area outside of the LOC shall be protected from damage prior to, and during construction by the following methods:
 - A registered soil surveyor shall state all NAOS and LOC boundaries based on this method.
 - Those areas shall be marked with 1/2" diameter orange survey pins spaced at 10' intervals.
 - The NAOS and LOC, and associated with-pole signage by the contractor prior to any clearing or grading.
 - A sign shall be posted at the City of Scottsdale's nearest plant collection site, adjacent to the lot line of the NAOS and LOC, one shall be posted with a sign facing to prevent damage.
 - The signage, signs, and marking shall be maintained until the completion of the construction activity.
 - The contractor shall remove signage, marking, and bring the matter of the Letter of Acceptance from the City of Scottsdale for all contractor work.

LEASED PARKING STALL LOCATION PLAN



PARKING CALCULATIONS

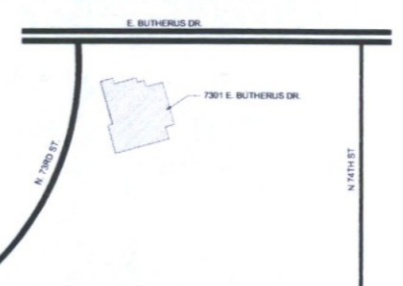
EXIST. RESTAURANT + KITCHEN = 1838+2438+4276 SQFT / 120 = 35.63 STALLS REQ
SHARED ENTRY = 545 SQFT / 120 = 4.54
NEW PATIO = 2500 SQFT = 1000 / 350 = 2.86
STORAGE = 253 SQFT / 800 = 0.31
MUSIC SPACE 3347 SQFT / 60 = 55.78
EXISTING PATIO SPACE = 19400 SQFT = 200 - 892 FOR LANDSCAPING / 200 = 48.04
STORAGE = 163 / 800 = 0.20
SUBTOTAL PARKING STALLS REQUIRED = 146.78 OR 147 STALLS REQUIRED

PARKING STALL REDUCTION = A TOTAL REDUCTION OF (2) PARKING STALLS PER EXISTING SHOWER, (3) EXISTING SHOWERS PROVIDED (8) TOTAL PARKING STALLS REMOVED FROM REQUIRED SUBTOTAL

TOTAL STALLS REMOVED FROM REQUIRED SUBTOTAL: 6

TOTAL PARKING STALLS PROVIDED:
EXISTING ON PROJECT PROPERTY: 119
LEASED PARKING STALLS FROM ADJACENT PROPERTY: 22
TOTAL PARKING STALLS PROVIDED: 141

TOTAL STALLS REQUIRED AFTER REDUCTIONS: 141
TOTAL STALLS BEING PROVIDED: 141



BLK PATIO ADDITION
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

PROJECT NARRATIVE - PROJECT INFORMATION - PARKING CALCULATIONS

DRAWN: JTP

JOB NO. 15-001

DATE: 12.9.16

REVISED:

1 CITY COMMENTS 4.3.17

2 CITY COMMENTS 10.9.17

12-UP-2018
07/20/18

CITY MAP
NO SCALE

G-0.0

EXISTING OCCUPANCY CALCULATIONS

OCCUPANCY GROUP: A-2	
BUILDING AREAS: INTERIOR (WITH AFES)	
INTERIOR EXISTING DINING	1549 SF
INTERIOR EXISTING BAR	215 SF
INTERIOR EXISTING RESTROOMS	408 SF
INTERIOR EXISTING KITCHEN	2484 SF
NON OCCUPATION A/C STORAGE	355 SF
TOTAL (GROSS FLOOR AREA)	5071 SF
PATIO:	
ENCLOSED/COVERED PATIO (WITH AFES):	
DINING	3203 SF
RESTROOMS	504 SF
BAR	422 SF
TOTAL	4129 SF
EXTERIOR PATIO:	
DINING	7137 SF
(INCLUDING 962 SF OF LANDSCAPE AND 1444 SF OF WATER FEATURE)	
CABANAS	1320 SF
BAR	201 SF
TOTAL	8988 SF
TOTAL PATIO:	12787 SF
OCCUPANT LOAD:	
INTERIOR:	
ASSEMBLY (WITHOUT FIXED SEATS) INTERIOR:	
TABLES & CHAIRS: 1549 / 15 =	103.3 USE 104
KITCHENS (COMMERCIAL): 2484 / 200 =	12.42 USE 13
TOTAL OCCUPANTS INTERIOR:	117
EXITS REQUIRED (INTERIOR):	2
EXITS PROVIDED (INTERIOR):	2
EXITS REQUIRED (KITCHEN):	1
EXITS PROVIDED (KITCHEN):	2
COVERED ENCLOSED PATIO:	
ASSEMBLY (WITHOUT FIXED SEATS)	
TABLES & CHAIRS (COVERED PATIO): 3203 / 15 =	213.5 USE 214
TOTAL OCCUPANTS COVERED PATIO:	214
EXITS REQUIRED (COVERED PATIO):	2
EXITS PROVIDED (COVERED PATIO):	2
EXTERIOR PATIO:	
ASSEMBLY (WITHOUT FIXED SEATS)	
TABLES & CHAIRS (EXTERIOR PATIO):	
7137-962(LANDSCAPE)-1444 (WATER FEATURE) = 5131	USE 214
ASSEMBLY (WITH FIXED SEATS)	
FIXED SEATS (CABANAS): 4 SEATS X 10 CABANAS	
TOTAL OCCUPANTS EXTERIOR PATIO:	214
EXITS REQUIRED (EXTERIOR PATIO):	2
EXITS PROVIDED (EXTERIOR PATIO):	2

PLUMBING CALCULATIONS (OPENING TO 9PM)

NOTE: SEE EXISTING CALCULATIONS ABOVE FOR OCCUPANT COUNT PER AREA.

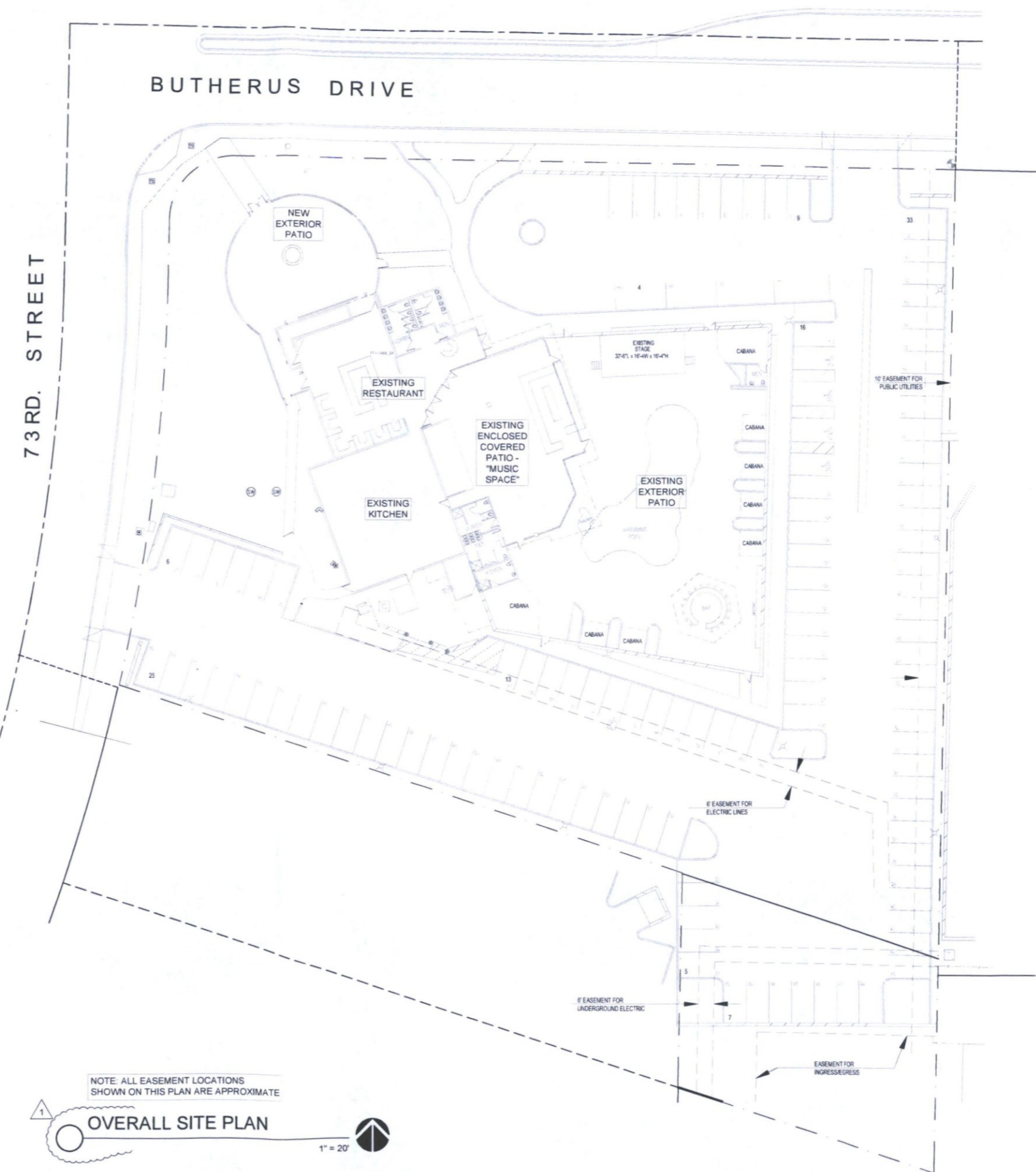
INTERIOR (EXISTING RESTAURANT): 104 OCCUPANTS TOTAL
 104/2 = 52 MEN & 52 WOMEN
 WATER CLOSETS - 52 MW/75 = (1) FIXTURE PER GENDER
 LAVATORIES - 52 MW/200 = (1) FIXTURE PER GENDER

INTERIOR (EXISTING KITCHEN): 13 OCCUPANTS TOTAL
 13/2 = 7 MEN & 7 WOMEN
 WATER CLOSETS - 7 MW/75 = (1) FIXTURE PER GENDER
 LAVATORIES 7 MW/200 = (1) FIXTURE PER GENDER

NEW EXTERIOR PATIO (SCOPE OF WORK): 2500 SF/15 = 167 OCCUPANTS TOTAL
 167/2 = 84 MEN & 84 WOMEN
 WATER CLOSETS - 84 MW/75 = (2) FIXTURES PER GENDER
 LAVATORIES - 84 MW/200 = (1) FIXTURES PER GENDER

TOTALS REQUIRED / PROVIDED:
 MEN = (4) WCs REQUIRED THESE HOURS / (4) WCs & (4) URINALS PROVIDED
 WOMEN (4) WATER CLOSETS REQUIRED THESE HOURS / (7) PROVIDED.
 MEN = (3) LAVATORIES REQUIRED THESE HOURS / (8) PROVIDED.
 WOMEN = (3) LAVATORIES REQUIRED THESE HOURS / (8) PROVIDED.

9PM TO CLOSE
 ALL AREAS OPEN DURING THIS TIME PERIOD AND ALL RESTROOMS IN THIS FACILITY ARE EXISTING TO REMAIN. THESE AREAS ARE NOT WITHIN THE SCOPE OF WORK AREA AND THERE HAS BEEN NO CHANGE IN USE. PLUMBING CALCULATIONS ARE NOT REQUIRED. AREAS OPEN DURING THIS TIME PERIOD HAVE BEEN HATCHED. HOWEVER, AS REQUESTED BY THE CITY, THE RESTROOMS, KITCHEN AND FOYER ARE OPEN AT ALL TIMES. SEE ATTACHED LETTER FROM OWNER CONFIRMING FUNCTIONS AND OPERATING HOURS.



NOTE: ALL EASEMENT LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE

OVERALL SITE PLAN

1" = 20'

EXTOLLO DESIGN
 2122 E. SESAME ST
 TEMPE, AZ 85283
 480-888-6585

BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

OVERALL SITE PLAN

DRAWN: JTP

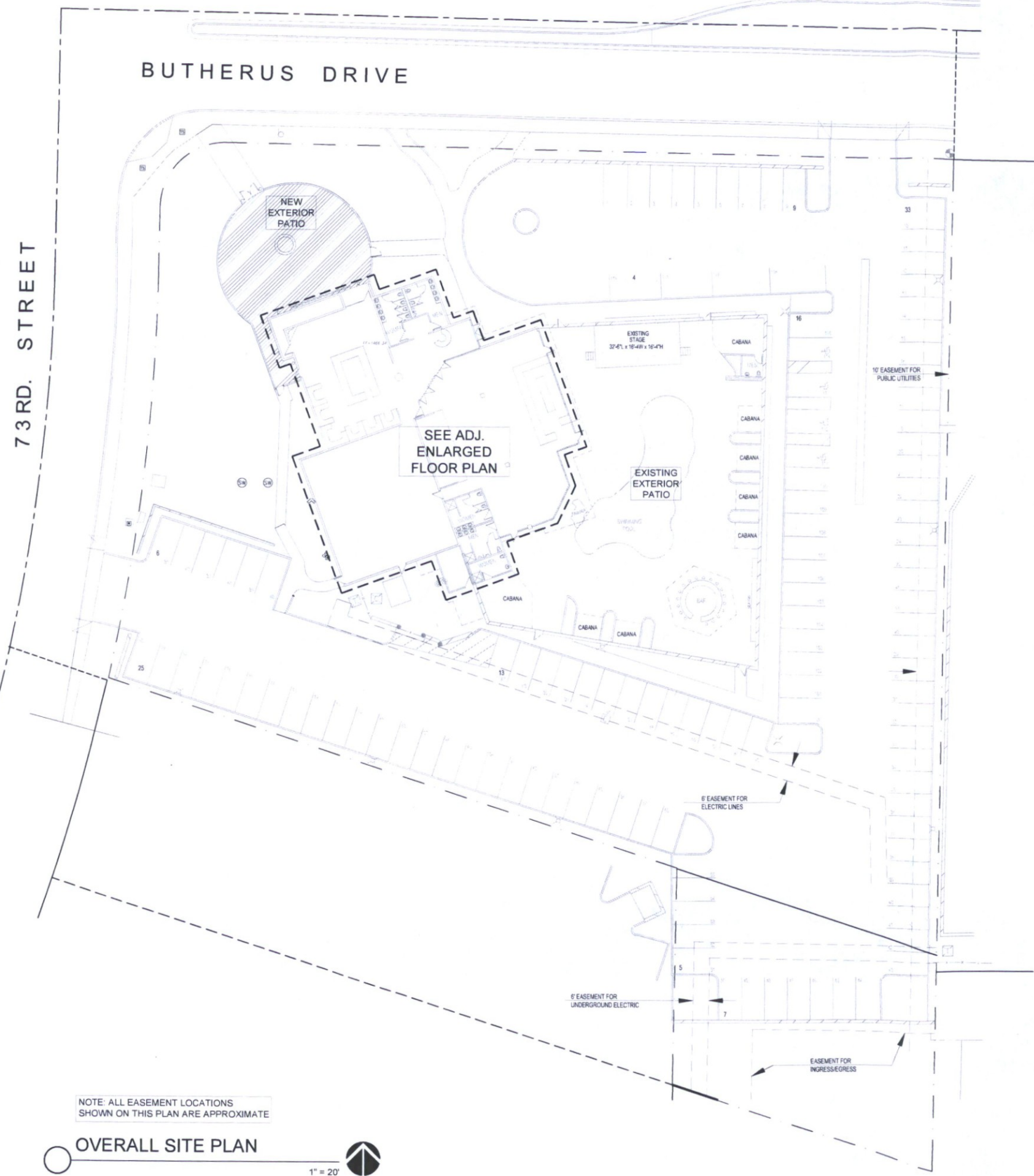
JOB NO. 15-001

DATE: 10.12.16

REVISED:
 1 CITY COMMENTS 4.3.17

A-1.0

*16.10.18
10.10.18
10.10.18*



NOTE: ALL EASEMENT LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE

OVERALL SITE PLAN
1" = 20'

EXISTING RESTAURANT (BLK-3)
NEW EXTERIOR PATIO: 2,500 SF. (SEE ADJACENT SITE PLAN)
EXISTING RESTAURANT: 1,573 SF.
EXISTING BAR: 265 SF.
EXISTING RESTAURANT STORAGE: 253 SF.
EXISTING KITCHEN: 2,432 SF.
EXISTING ADJACENT RESTROOMS: 487 SF.
ONE HALF OF SHARED ENTRY: 272 SF.
TOTAL AREA: 7,782 SF.

LIVE MUSIC (BLK-LIVE)
EXISTING EXTERIOR PATIO: 8,864 SF (SEE ADJACENT SITE PLAN)
EXISTING LIVE MUSIC SPACE: 2,920 SF.
EXISTING PATIO BAR: 427 SF.
EXISTING ADJACENT STORAGE: 163 SF.
EXISTING ADJACENT RESTROOMS: 513 SF.
ONE HALF OF SHARED ENTRY: 273 SF.
TOTAL AREA: 12,960 SF.

TOTAL AREA: 20,742 SF.

CODE INFORMATION

APN:	215-86-0248
ADDRESS:	7301 E. BUTHERUS DR. SCOTTSDALE, AZ 85024
ZONING:	C-2 (NO CHANGE)
SITE AREA:	84,158 S.F.
FLOOR AREA RATIO (F.A.R.):	87,326 SF REQUIRED (NO CHANGE) 8,579 SF PROVIDED (NO CHANGE TO BUILDING)
OPEN SPACE AREA (O.S.):	9,426 SF REQUIRED 12,301 SF PROVIDED
MAXIMUM HEIGHT:	30' FEET (MAXIMUM ALLOWED) 17' FEET EXISTING (NO CHANGE)
SETBACKS:	FRONT REQ. 50% OF OPEN SPACE OR 4.713 SF FRONT PROV. 5.436 SF (BUTHERUS), 3,863 SF (73RD ST.) SIDE: N/A REAR: N/A
NUMBER OF STORIES:	1
AGE OF BUILDING:	BUILT IN 1980

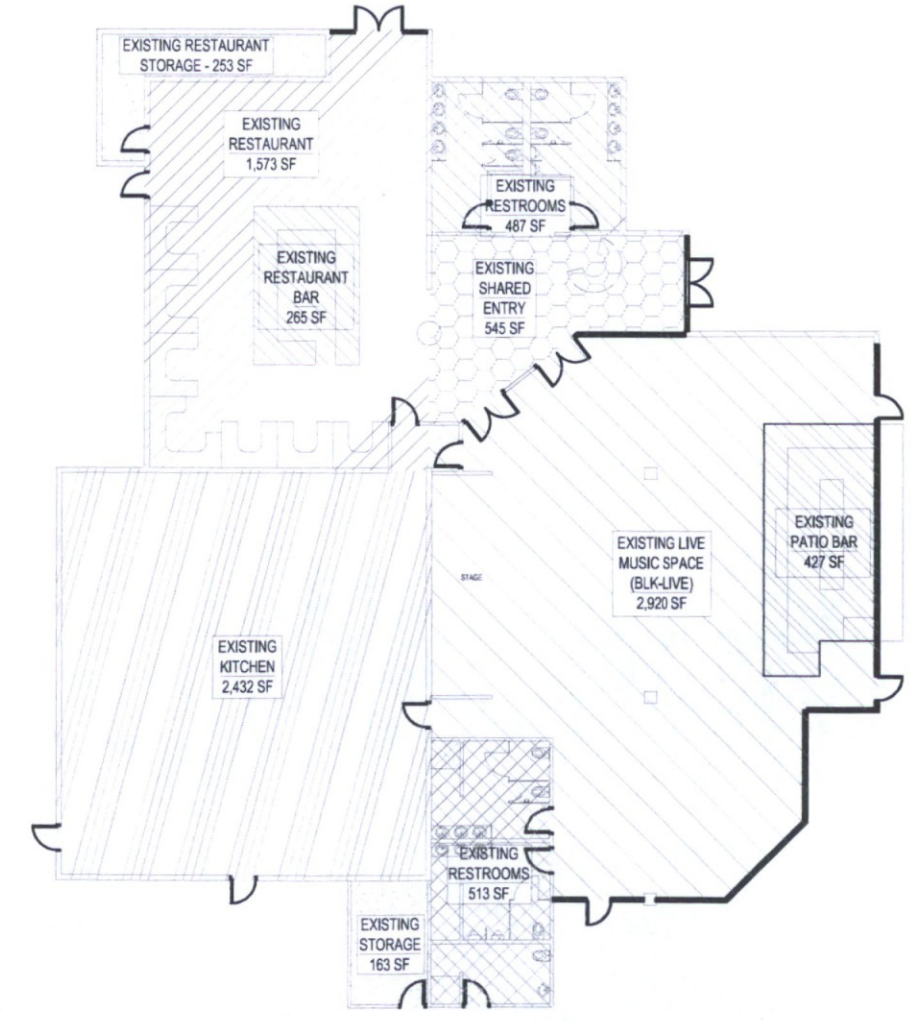
PARKING CALCULATIONS

EXIST. RESTAURANT + KITCHEN = 1838+2432 = 4270 SQFT / 120 = 35.58 STALLS REQ.
SHARED ENTRY = 545 SQFT / 120 = 4.54
NEW PATIO = 2500 SQFT - 1000 / 150 = 4.25
STORAGE = 253 SQFT / 800 = 0.31
MUSIC SPACE 3247 SQFT / 60 = 54.12
EXISTING PATIO SPACE = 19480 SQFT - 200 - 802 FOR LANDSCAPING / 360 = 46.04
STORAGE = 163 / 800 = 0.20
SUBTOTAL PARKING STALLS REQUIRED = 148.78 OR 147 STALLS REQUIRED

PARKING STALL REDUCTION = A TOTAL REDUCTION OF (2) PARKING STALLS PER EXISTING SHOWER, (3) EXISTING SHOWERS PROVIDED / (6) TOTAL PARKING STALLS DERIVED FROM REQUIRED 147 N/A.
TOTAL STALLS REMOVED FROM REQUIRED SUBTOTAL: 0

TOTAL PARKING STALLS PROVIDED:
EXISTING ON PROJECT PROPERTY: 119
LEASED PARKING STALLS FROM ADJACENT PROPERTY: 22
TOTAL PARKING STALLS PROVIDED: 141

TOTAL STALLS REQUIRED AFTER REDUCTIONS: 141
TOTAL STALLS BEING PROVIDED: 141



ENLARGED FLOOR PLAN
3/32" = 1'-0"

BLK PATIO ADDITION
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

FLOOR PLAN WORKSHEETS

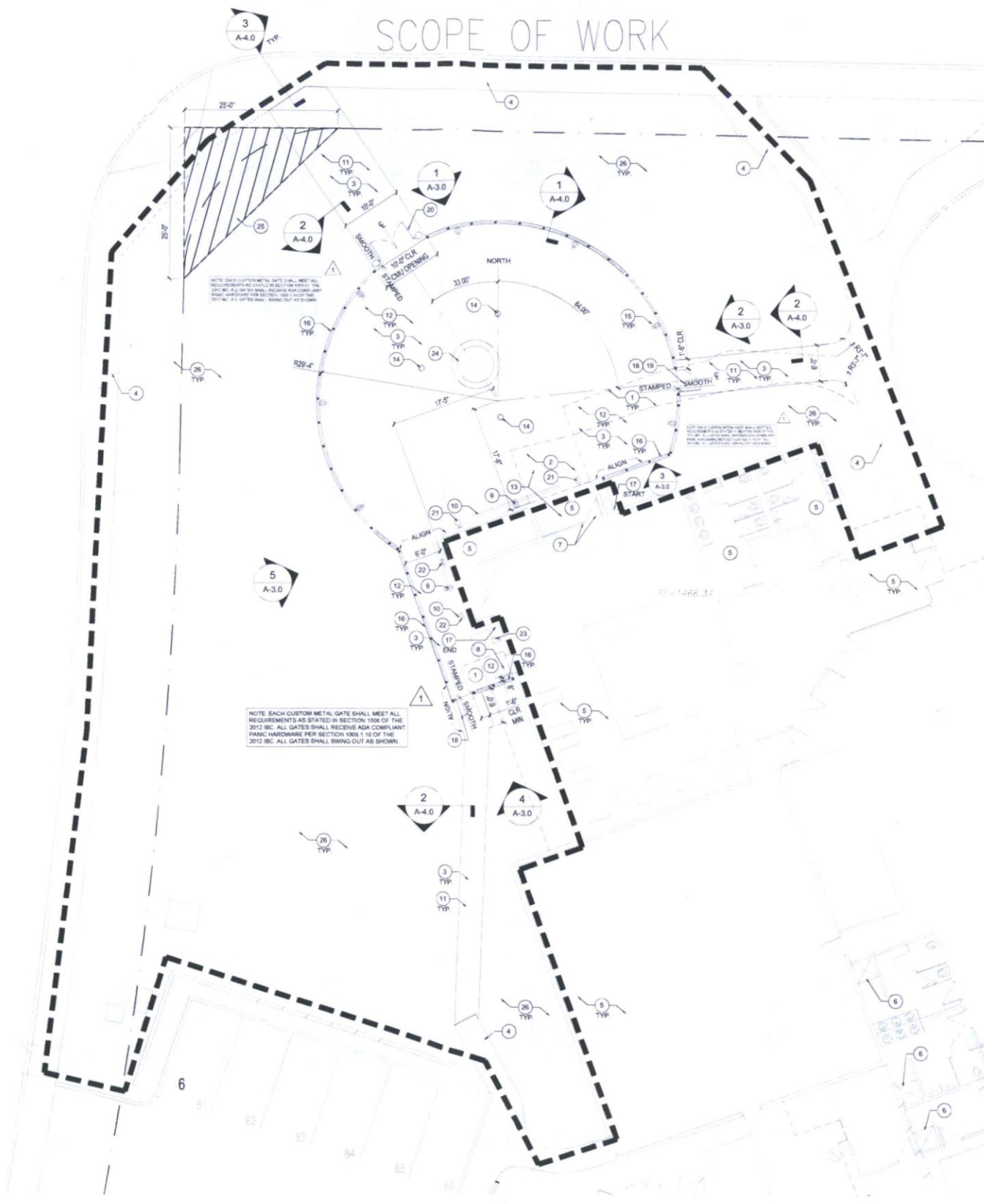
DRAWN: JTP
JOB NO. 15-001
DATE: 7.3.18
REVISED:

**FLOOR PLAN
WORKSHEETS**

BUTHERUS DRIVE

SCOPE OF WORK

73RD. STREET



ENLARGED SITE PLAN

1" = 20'

ENLARGED SITE PLAN KEYNOTES

- 1 DASHED LINES REPRESENT EXISTING CONCRETE SLAB TO BE REMOVED.
- 2 DASHED LINES REPRESENT EXISTING BRICK PAVERS TO BE REMOVED.
- 3 EXISTING DECOMPOSED GRANITE TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLABS AND WALKWAYS.
- 4 EXISTING CONCRETE WALKWAY AND CURBS, WHERE APPLICABLE, TO REMAIN.
- 5 EXISTING BUILDING INTERIOR, NO WORK, NO WORK ON ROOF.
- 6 EXISTING SHOWER SHOWN FOR REFERENCE ONLY. SEE PARKING CALCULATIONS.
- 7 EXISTING FOLDING PARTITION WITH INTEGRAL EXIT DOOR TO REMAIN.
- 8 EXISTING ENTRY/EXIT DOOR ADJACENT TO EXISTING KITCHEN TO REMAIN.
- 9 EXISTING EXTERIOR J-BOX/ OUTLET AND CONDUIT TO REMAIN. GENERAL CONTRACTOR TO VERIFY THAT EXISTING DEVICE IS ENERGIZED FOR GENERAL USE.
- 10 EXISTING BUILDING SIGNAGE TO REMAIN.
- 11 NEW 4" CONCRETE WALKWAY OVER ABC. CONCRETE TO MATCH ADJACENT EXISTING WALKWAYS. WIDTHS VARY. SEE 41A-4.0 FOR TYPICAL CONTROL JOINT SECTION.
- 12 NEW 4,500 PSI, 4" STAMPED CONCRETE EXTERIOR PATIO SLAB WITH 1/2" AGGREGATE OVER 4" ABC. EXACT STAMP DESIGN AND CONCRETE COLOR BY OWNER.
- 13 NEW PATIO SLAB ELEVATION TO BE FLUSH WITH EXISTING RESTAURANT INTERIOR SLAB. SEE CIVIL DRAWINGS.
- 14 NEW RECESSED WEATHERPROOF ELECTRICAL FLOOR BOXES. THESE SHALL PROVIDE POWER AND DIMMING FOR TENANT PROVIDED FREESTANDING FLOOR LAMPS. TYP. SEE ELECTRICAL DRAWINGS. VERIFY EXACT LOCATIONS WITH OWNER.
- 15 NEW SURFACE MOUNTED WEATHERPROOF DUPLEX OUTLETS ON DIMMER SWITCH. TYPICAL ELECTRICAL WIRING TO BE WITHIN CMU WALL. SEE ELECTRICAL DRAWINGS.
- 16 NEW 3'-0" PERIMETER STUCCO CLAD 8" CMU WALL WITH AN ADDITIONAL 3'-0" WROUGHT IRON FENCING ABOVE. TYPICAL SEE WALL SECTION. WALL TEXTURE TO MATCH EXISTING AND SHALL BE PAINTED TO MATCH ADJACENT SITE WALLS.
- 17 EXISTING "WHITE" PAINTED BRICK EXTERIOR WALL SURFACE TO RECEIVE E.F.S. SYSTEM TO MATCH EXISTING AT OTHER PARTS OF EXISTING BUILDING. COLOR TO MATCH EXISTING. SEE PLAN FOR START AND END POINTS.
- 18 NEW ACCESSIBLE CUSTOM SINGLE WROUGHT IRON GATE. PAINT COLOR TO MATCH NEW CMU WALLS. GATE OPENING WIDTH TO BE 2'-4" MIN CLEAR PROVIDE A MINIMUM OF 1' CLEAR ON FULL SIZE HEIGHT TO MATCH ADJACENT WALL. SEE ADDITIONAL DOOR/HARDWARE NOTES THIS SHEET. UNTIL CUSTOM GATE INSTALLATION IS COMPLETE PROVIDE TEMPORARY ACCESSIBLE SINGLE WROUGHT IRON GATE. THIS LOCATION TO MATCH OTHER GATES AT PATIO. GATE HEIGHT SHALL NOT EXCEED HEIGHT OF ADJACENT WROUGHT IRON FENCE/WALL.
- 19 SEE NEW ACCESSIBLE GATE AT SOUTHWEST CORNER OF PATIO AREA FOR ALL OPENING SIZES AND REQUIRED CLEARANCES.
- 20 NEW ACCESSIBLE CUSTOM METAL DOUBLE GATE WITH LOCK. UNTIL CUSTOM GATE INSTALLATION IS COMPLETE PROVIDE TEMPORARY ACCESSIBLE DOUBLE WROUGHT IRON GATE. THIS LOCATION TO MATCH OTHER GATES AT PATIO. SEE CONCEPTUAL GATE SKETCH SHEET SA-4.0.
- 21 NEW EXTERIOR WALL SCONCE AT 10'-0" A.F.F. LIGHTS TO BE SPACED EQUALLY EACH SIDE OF EXISTING SIGNAGE. LIGHTS TO BE USED DURING MAINTENANCE/CLEANING OF THE PATIO ONLY. NOT TO BE USED DURING NORMAL OPERATING HOURS. SEE ELECTRICAL DRAWINGS.
- 22 NEW SURFACE MOUNTED AISLE LIGHTING AT FOOT LEVEL.
- 23 NEW WALL SCONCE AT 8'-0" A.F.F. CENTER BETWEEN DOOR OPENING AT CORNER.
- 24 NEW FREE STANDING FIRE FEATURE PROVIDED AND INSTALLED BY THE OWNER. NATURAL GAS PERMIT IN PLACE BY OWNER.
- 25 NEW SIGHT DISTANCE TRIANGLE SHOWN FOR REFERENCE ONLY. SEE PLAN FOR DIMENSIONS.
- 26 SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL SITE WORK. TYPICAL.

GATE HARDWARE NOTES

- 1 ALL EXIT GATES SHALL BE MINIMUM 3'-0" X 8'-8" AND OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND EXIT DOORS SHALL BE CAPABLE OF OPENING 90 DEGREES AND SHALL BE MOUNTED SO THE CLEAR WIDTH OF THE EXIT WAY IS NOT LESS THAN 32" PER 2012 I.B.C., CHAPTER 10.
- 2 GATE HARDWARE SHALL ABIDE BY THE FOLLOWING:
 - A. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE GATES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (865 MM) MINIMUM AND 48 INCHES (1220 MM) MAXIMUM ABOVE THE FLOOR. WHERE SLIDING GATES ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. (ICC A117.1 - 2009, SEC. 404.2.6)
 - B. NEW GATES SHALL HAVE LEVER HANDLE HARDWARE.
 - C. GATE CLOSERS: GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE GATE TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM. (ICC A117.1 - 2009, SECTION 404.2.7.1)
 - D. GATE-OPENING FORCE: THE FORCE FOR PUSHING OR PULLING OPEN GATES SHALL BE AS FOLLOWS:
 1. HINGED GATES: 5.0 POUNDS (22.2 N) MAXIMUM
 2. SLIDING OR FOLDING GATES: 5.0 POUNDS (22.2 N) MAXIMUM
 THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE GATE IN A CLOSED POSITION.
 - E. GATES WITH PANIC HARDWARE: THE ACTIVATING MEMBER SHALL BE MOUNTED AT A HEIGHT OF NOT LESS THAN 30 INCHES OR MORE THAN 48 INCHES ABOVE THE FLOOR. THE UNLATCHING FORCE SHALL NOT EXCEED 15 POUNDS WHEN APPLIED IN THE DIRECTION OF EXIT TRAVEL.
 - F. ENTRY GATES SHALL HAVE THE INTERNATIONAL ACCESSIBILITY SYMBOL.
3. WIDTH OF GATES: THE MINIMUM WIDTH OF EACH GATE OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM). CLEAR OPENINGS OF GATEWAYS WITH SWINGING GATES SHALL BE MEASURED BETWEEN THE FACE OF THE GATE AND THE STOP. WITH THE GATE OPEN 90 DEGREES (1.57 RAD), WHERE THIS SECTION REQUIRES A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) AND A GATE OPENING INCLUDES TWO GATE LEAVES WITHOUT A MULLION, ONE LEAF SHALL PROVIDE A CLEAR OPENING WIDTH OF 32 INCHES (813 MM). THE MAXIMUM WIDTH OF A SWINGING GATE LEAF SHALL BE 48 INCHES (1219 MM) NOMINAL. (2012 IBC, SECTION 1008.1.1)
4. CHANGES IN LEVEL: VERTICAL CHANGES IN LEVEL OF 1/4 INCH (6.4 MM) MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL BEVELED. CHANGES IN LEVEL GREATER THAN 1/4 INCH (6.4 MM) IN HEIGHT AND NOT MORE THAN 1/2 INCH (13 MM) MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 (PER ICC A117.1 - 2009, SECTION 303.2 & 303.3)

EXTOLLO DESIGN
 2122 E. SESAME ST.
 TEMPE, AZ 85283
 480-888-6565



BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

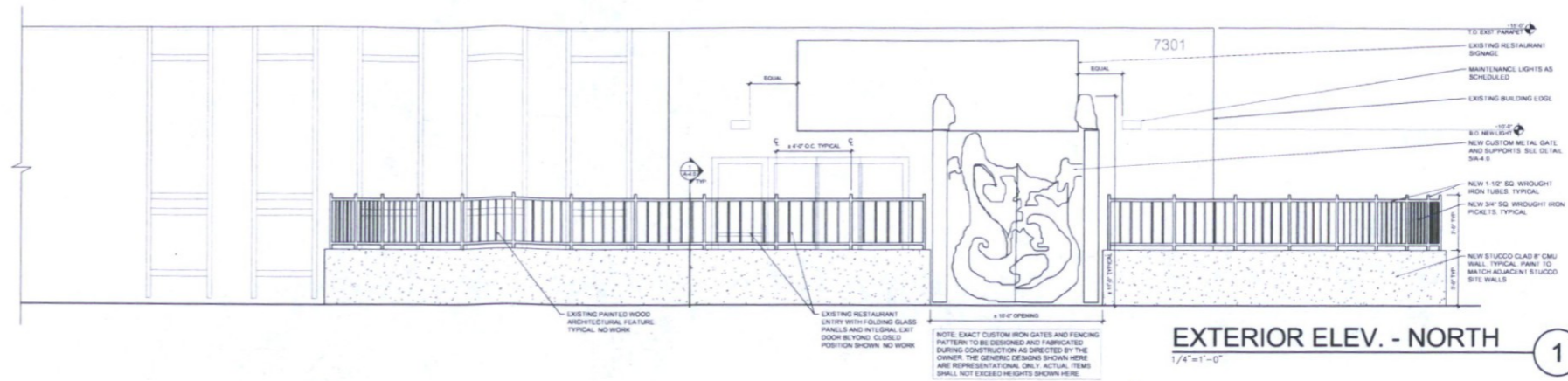
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DRAWN: JTP
 JOB NO: 15-001
 DATE: 12.9.16
 REVISED:
 1 CITY COMMENTS 4.3.17

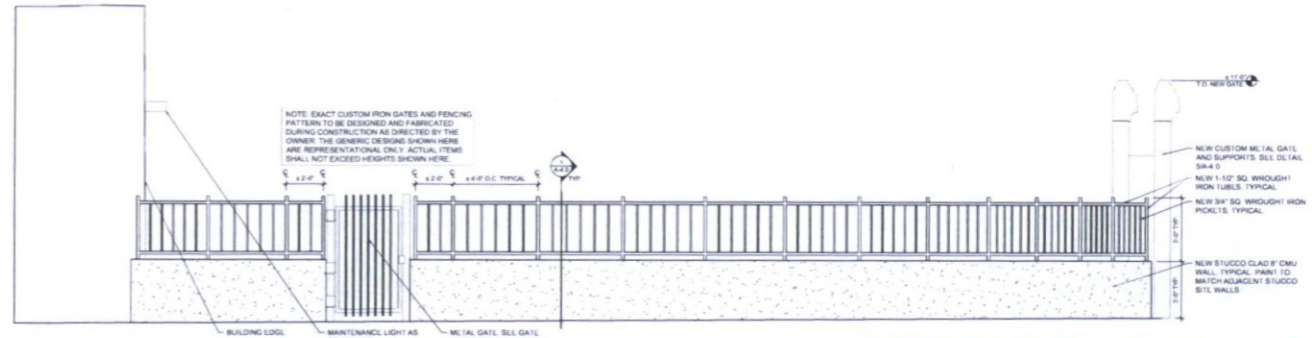
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2-31-19



EXTERIOR ELEV. - NORTH
 1/4"=1'-0" ①



EXTERIOR ELEV. - EAST
 1/4"=1'-0" ②

NOTE: ALL STUCCO AND WROUGHT IRON FENCING TO BE PAINTED TO MATCH EXISTING EXTERIOR COLOR. GENERAL CONTRACTOR TO PROVIDE DRAWINGS FOR OWNER REVIEW AND APPROVAL. PAINT TO BE DUNN EDWARDS, NATURAL BRIDGE DE6194, EVERSHIELD 100% ACRYLIC, (LRV 24) OR EQUAL.

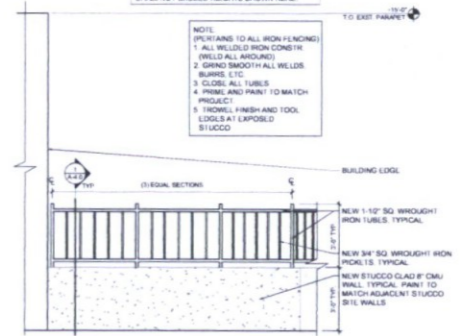
NOTE: EACH CUSTOM METAL GATE SHALL MEET ALL REQUIREMENTS AS STATED IN SECTION 1006 OF THE 2012 IBC. ALL GATES SHALL RECEIVE ADA COMPLIANT FINISH HARDWARE PER SECTION 1008.1.10 OF THE 2012 IBC. ALL GATES SHALL SWING OUT AS SHOWN.

- NOTE: (PERTAINS TO ALL IRON FINISHES)
1. ALL WELDED IRON CONCRETE (WELD ALL AROUND)
 2. GRIND SMOOTH ALL WELDS
 3. CLOSE ALL TUBES
 4. PRIME AND PAINT TO MATCH PROJECT
 5. TROWEL FINISH AND TOOL LOGS AT EXPOSED STUCCO

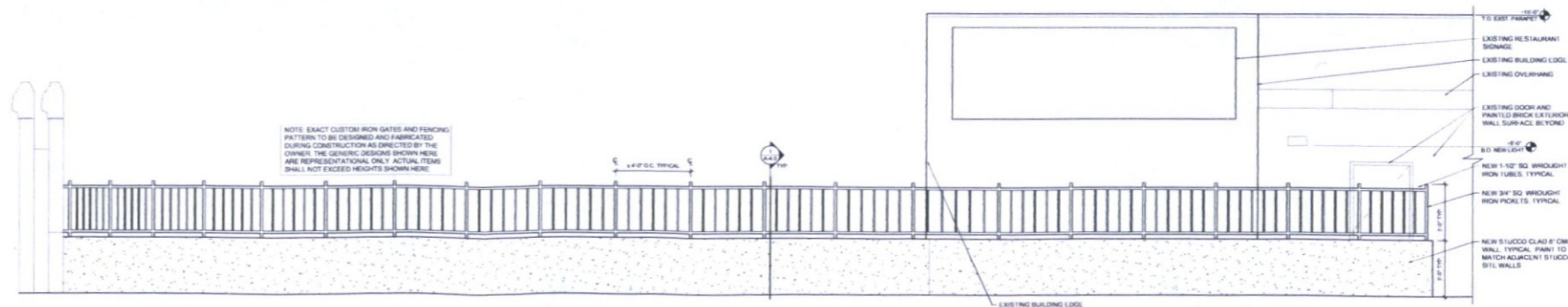
NOTE: EXACT CUSTOM IRON GATES AND FENCING PATTERN TO BE DESIGNED AND FABRICATED DURING CONSTRUCTION AS DIRECTED BY THE OWNER. THE GENERIC DESIGN SHOWN HERE ARE REPRESENTATIONAL ONLY. ACTUAL ITEMS SHALL NOT EXCEED HEIGHTS SHOWN HERE.

NOTE: EACH CUSTOM METAL GATE SHALL MEET ALL REQUIREMENTS AS STATED IN SECTION 1006 OF THE 2012 IBC. ALL GATES SHALL RECEIVE ADA COMPLIANT FINISH HARDWARE PER SECTION 1008.1.10 OF THE 2012 IBC. ALL GATES SHALL SWING OUT AS SHOWN.

EXT. ELEV. - SOUTHWEST
 1/4"=1'-0" ④



EXT. ELEV. - SOUTHEAST
 1/4"=1'-0" ③



EXTERIOR ELEV. - WEST
 1/4"=1'-0" ⑤

BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

EXTERIOR ELEVATIONS

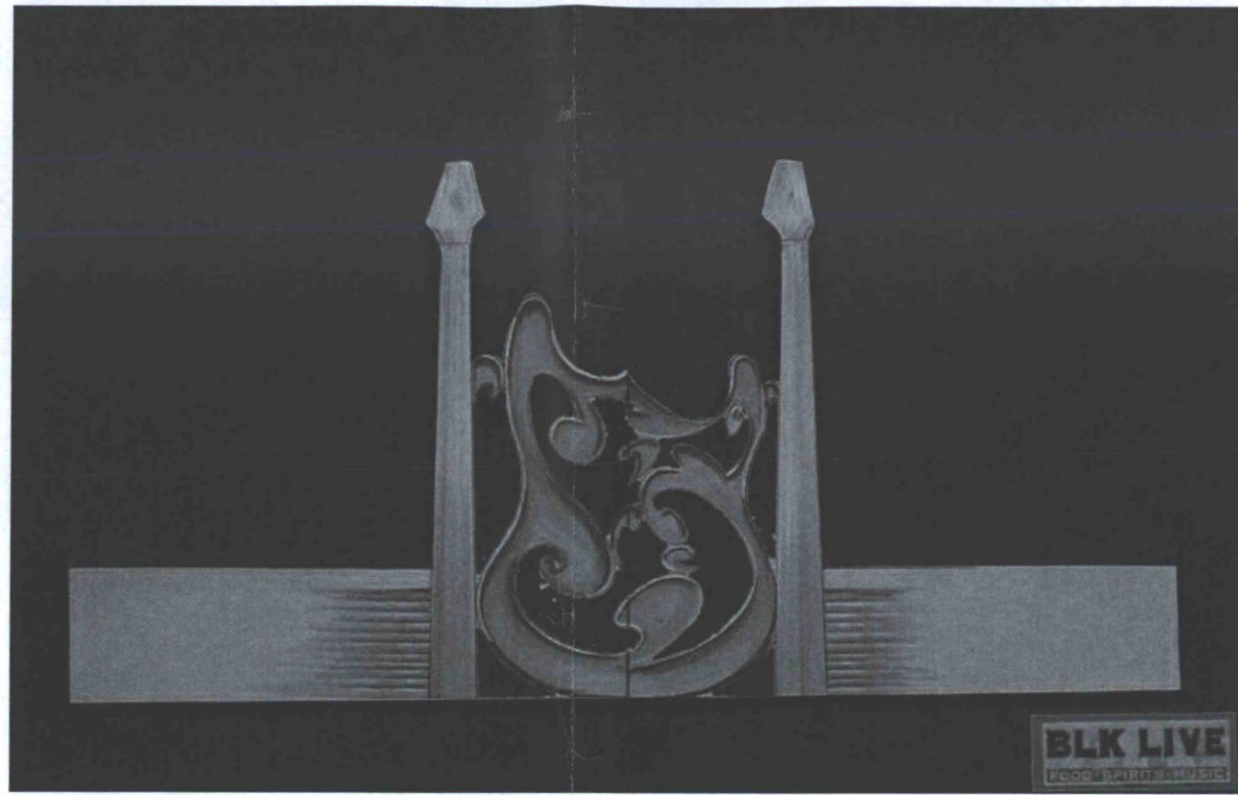
DRAWN: JTP

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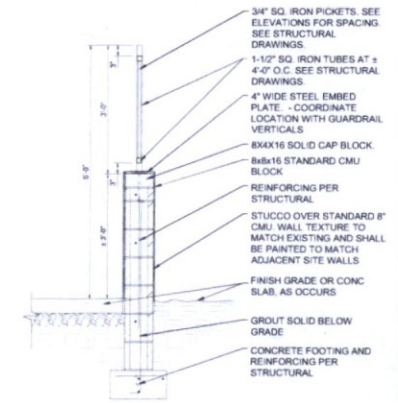
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REVISED: ① CITY COMMENTS 4.3.17

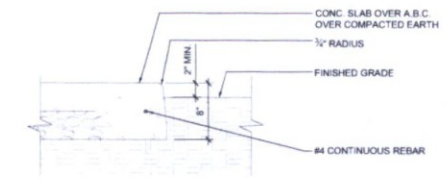
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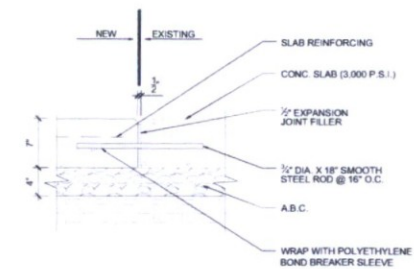
GATE CONCEPTUAL ELEV. 5
N.T.S.



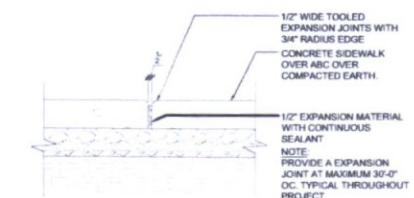
PERIMETER WALL SECTION 1
1/2"=1'-0"



CONCRETE TURNDOWN 2
1"=1'-0"



CONC. JOINT AT EXST. SLAB 3
1"=1'-0"



TYPICAL CONTROL JOINT 4
1"=1'-0"

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SECTIONS AND DETAILS

DRAWN: JTP

JOB NO. 15-001

DATE: 12.9.16

REVISED:

A-4.0