

Simulations
Photos
All Graphics (no plans)

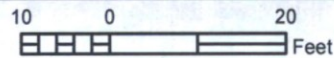
2013



21
(7301)

N.S.

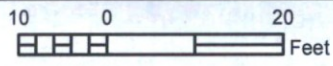
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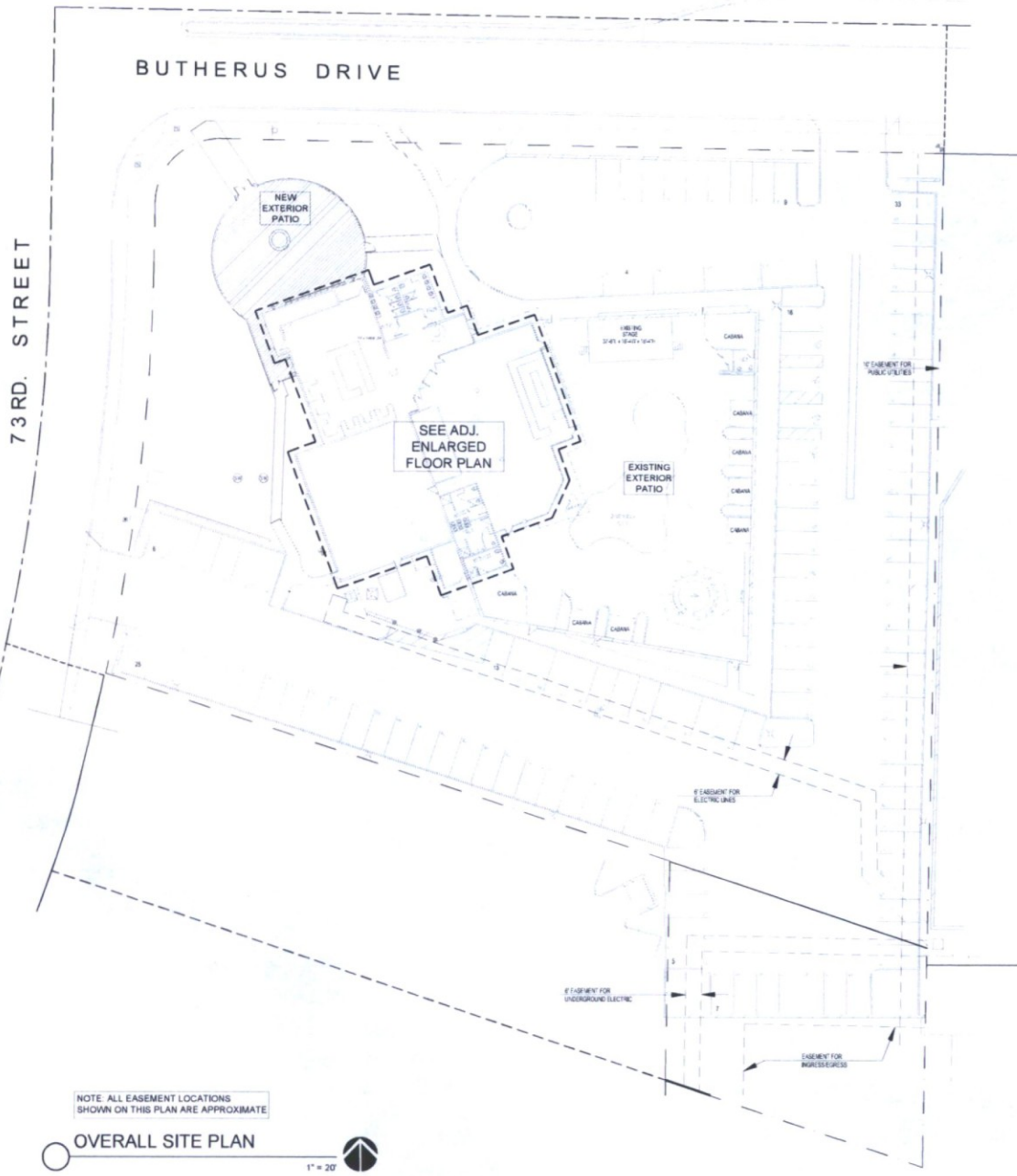


2016



21
(7301)
N.S.
01/864238





NOTE: ALL EASEMENT LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE

OVERALL SITE PLAN

1" = 20'

EXISTING RESTAURANT (BLK-3)

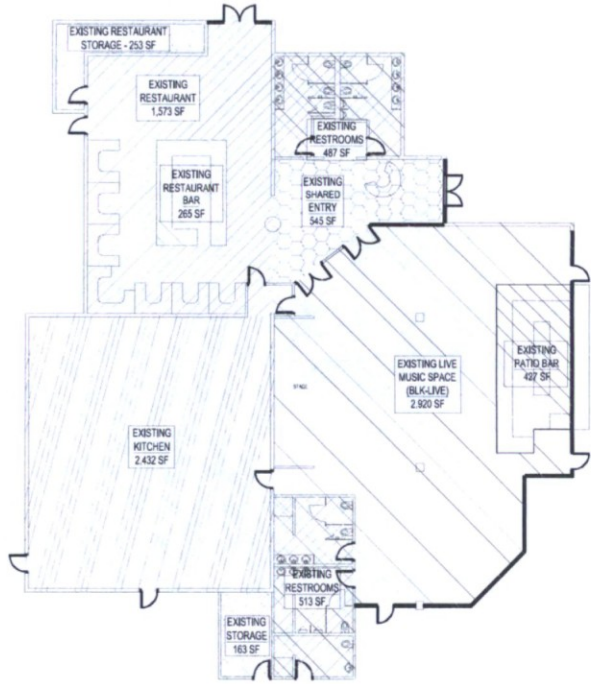
NEW EXTERIOR PATIO: 2,500 SF. (SEE ADJACENT SITE PLAN)
 EXISTING RESTAURANT: 1,573 SF.
 EXISTING BAR: 265 SF.
 EXISTING RESTAURANT STORAGE: 253 SF.
 EXISTING KITCHEN: 2,432 SF.
 EXISTING ADJACENT RESTROOMS: 487 SF.
 ONE HALF OF SHARED ENTRY: 273 SF.
 TOTAL AREA: 7,782 SF.

LIVE MUSIC (BLK-LIVE)

EXISTING EXTERIOR PATIO: 8,864 SF. (SEE ADJACENT SITE PLAN)
 EXISTING LIVE MUSIC SPACE: 2,920 SF.
 EXISTING PATIO BAR: 427 SF.
 EXISTING ADJACENT STORAGE: 163 SF.
 EXISTING ADJACENT RESTROOMS: 513 SF.
 ONE HALF OF SHARED ENTRY: 273 SF.
 TOTAL AREA: 12,960 SF.

TOTAL AREA: 20,742 SF.

CODE INFORMATION	
APR:	2016-01-01
ADDRESS:	7301 E. BUTHERUS DR., SCOTTSDALE, AZ 85024
OWNER:	C/O JNO CHAMBERLAIN
SITE AREA:	84,168 S.F.
FLOOR AREA RATIO (FAR):	87,328 SF REQUIRED (NO CHANGE); 8,878 SF PROVIDED (NO CHANGE TO BUILDING)
OPEN SPACE AREA (S.F.):	8,438 SF PROVIDED (NO CHANGE); 12,381 SF PROVIDED
MAXIMUM HEIGHT:	35 FEET (MAXIMUM ALLOWED); 35 FEET EXISTING (NO CHANGE)
REMARKS:	FRONT REAR, SIDE OF OPEN SPACE OR 4.713 SF OF FRONT FRONT 0.448 SF (BUTHERUS, 3.863 SF (73RD ST)) SIDE, N/A REAR, N/A
NUMBER OF STORES:	1
AGE OF BUILDING:	BUILT IN 1980
PARKING CALCULATIONS	
EXIST. RESTAURANT + KITCHEN = 1910 SQ FT = 1910/130 = 14.7 STALLS REQ'D	
SHARED ENTRY = 265 SQ FT = 265/130 = 2.0 STALLS REQ'D	
NEW PATIO = 2088 SQ FT = 2088/260 = 8.0 STALLS REQ'D	
STORAGE = 253 SQ FT = 253/130 = 2.0 STALLS REQ'D	
MUSIC SPACE AND REST = 6130 SQ FT = 6130/130 = 47.1 STALLS REQ'D	
EXISTING PATIO SPACE = 8864 SQ FT = 8864/130 = 68.2 STALLS REQ'D	
TOTAL STALLS REQUIRED FROM REQUIRED SUBTOTAL: 8	
SUBTOTAL PARKING STALLS REQUIRED = 148.76 OR 149 STALLS REQUIRED	
PARKING DETAIL REDUCTIONS = A TOTAL REDUCTION OF 42 PARKING STALLS PER EXISTING SHOWER, 35 EXISTING SHOWER PROVIDED / 65 TOTAL PARKING STALLS REQUIRED FROM REQUIRED SUBTOTAL	
TOTAL STALLS REMAINED FROM REQUIRED SUBTOTAL: 8	
TOTAL PARKING STALLS PROVIDED = 149	
LEASED PARKING STALLS FROM ADJACENT PROPERTY: 32	
TOTAL PARKING STALLS PROVIDED: 181	
TOTAL STALLS REQUIRED AFTER REDUCTIONS: 141	
TOTAL STALLS BEING PROVIDED: 181	



ENLARGED FLOOR PLAN

3/32" = 1'-0"

EXTOLLO DESIGN

2122 E. SEAVILLE ST.
 TULSA, OK 74104
 405-366-6505

BLK PATIO ADDITION

7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

FLOOR PLAN WORKSHEETS

DRAWN: JTP

JOB NO.: 15-001

DATE: 7.3.18

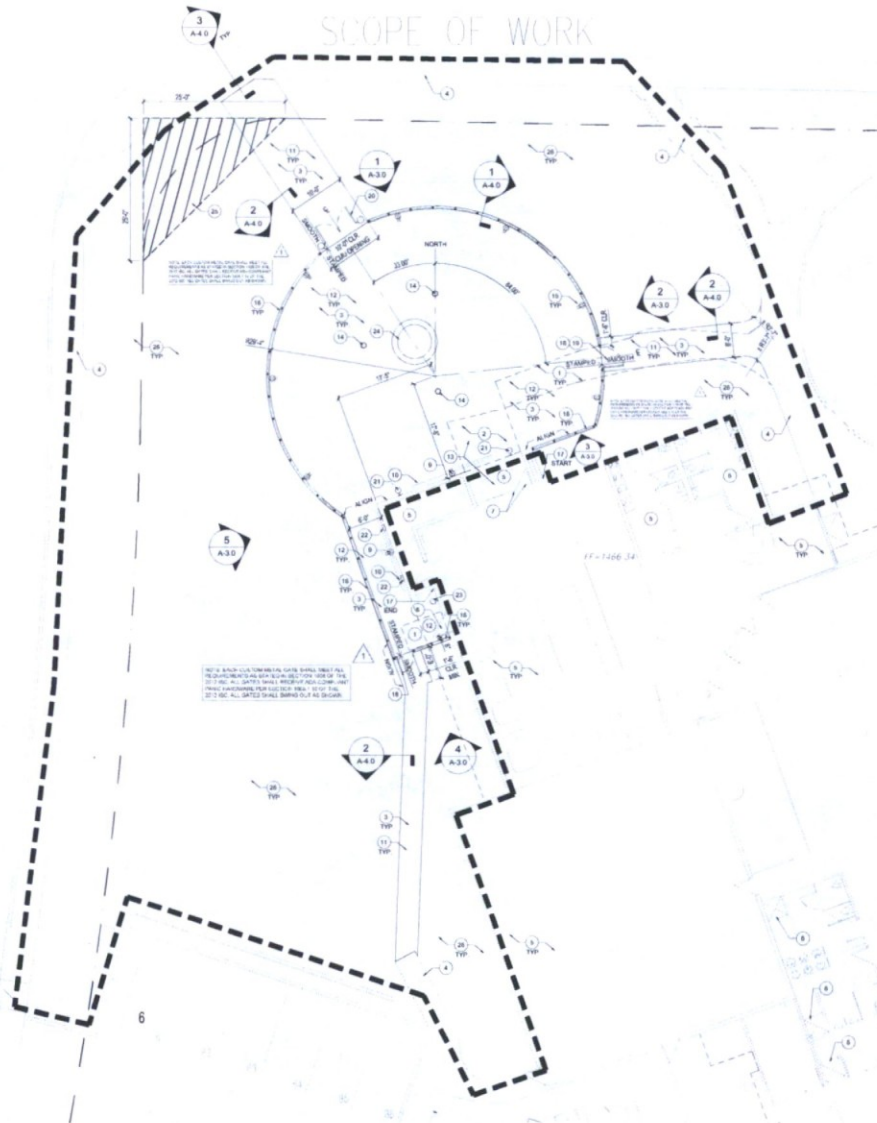
REVISED:

FLOOR PLAN WORKSHEETS

73 RD. STREET

BUTHERUS DRIVE

SCOPE OF WORK



ENLARGED SITE PLAN

1" = 20'

ENLARGED SITE PLAN KEYNOTES

- 1 DASHED LINES REPRESENT EXISTING CONCRETE SLAB TO BE REMOVED
- 2 DASHED LINES REPRESENT EXISTING BRICK FINISHES TO BE REMOVED
- 3 EXISTING DESCRIBED GRANITE TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLABS AND WALKWAYS
- 4 EXISTING CONCRETE WALKWAY AND CURBS, WHERE APPLICABLE, TO REMAIN
- 5 EXISTING BUILDING INTERIOR, NO WORK, NO WORK ON ROOF
- 6 EXISTING S-HOWER SHOWN FOR REFERENCE ONLY, SEE PARKING CALCULATIONS
- 7 EXISTING HOLDING PARTITION WITH PHYSICAL EXIT DOOR TO REMAIN
- 8 EXISTING EXTERIOR DOOR ADJUSTMENT TO EXISTING LATCHES TO REMAIN
- 9 EXISTING EXTERIOR JBOX OUTLET AND CONDUIT TO REMAIN, GENERAL CONTRACTOR TO VERIFY THAT EXISTING DEVICE IS ENERGIZED FOR GENERAL USE
- 10 EXISTING BUILDING SIGNAGE TO REMAIN
- 11 NEW 4" CONCRETE WALKWAY OVER ABC CONCRETE TO MATCH ADJACENT EXISTING WALKWAYS, WIDTHS VARY, SEE 4.4.3 FOR TYPICAL CONTROL JOINT SECTION
- 12 NEW 4" STAMPED CONCRETE EXTERIOR PATIO SLAB WITH 4" TOP AGGREGATE OVER 4" ABC, EXACT STAMP DESIGN AND CONCRETE COLOR BY OWNER
- 13 NEW PATIO SLAB ELEVATION TO BE FLUSH WITH EXISTING RESTAURANT INTERIOR SLAB, SEE CIVIL DRAWINGS
- 14 NEW RECESSED HEAT-RESISTANT ELECTRICAL FLOOR BOXES, THESE SHALL PROVIDE POWER AND CIRCUITING FOR TENANT PROVIDED, FRESHWORK FLOOR, SEE TYP. SEE ELECTRICAL DRAWINGS, VERIFY EXACT LOCATIONS WITH OWNER
- 15 NEW SURFACE MOUNTED HEAT-RESISTANT OUTLET OR DIMMER SWITCH, TYPICAL, ELECTRICAL WIRING TO BE WITH OWNERS, SEE ELECTRICAL DRAWINGS
- 16 NEW 7" x 6" FRAMELESS STUCCO CLAD 4" CMU WALL WITH AN ADDITIONAL 2" x 6" REBAR, 10'-0" TO EXISTING ABOVE, TYPICAL, SEE SECTION WALL, TYPICAL, 10'-0" TO EXISTING AND SHALL BE PAINTED TO MATCH ADJACENT SIDE WALLS
- 17 EXISTING "WHITE" PAINTED BRICK EXTERIOR WALL SURFACE TO REMAIN, 8' x 8' SYSTEM TO MATCH EXISTING AT OTHER PARTS OF EXISTING BUILDING, COLOR TO MATCH EXISTING, SEE PLAN FOR START AND END POINTS
- 18 NEW ACCESSIBLE CUSTOM SINGLE WROUGHT IRON GATE, PAINT COLOR TO MATCH NEW CMU WALLS, GATE OPENING NETH TO BE 2' 4" MIN CLEAR, PROVIDE A MINIMUM OF 1" CLEARANCE, SEE KEYNOTE TO MATCH ADJACENT WALL, SEE ADDITIONAL DOOR-HARDWARE NOTES THIS SHEET UNTIL CUSTOM GATE INSTALLATION IS COMPLETE, PROVIDE TEMPORARY ACCESSIBLE SINGLE WROUGHT IRON GATE, THIS LOCATION TO MATCH OTHER GATES AT PATIO, GATE HEIGHT SHALL NOT EXCEED HEIGHT OF ADJACENT WROUGHT IRON FENCE WALL
- 19 SEE NEW ACCESSIBLE GATE AT SOUTH WEST CORNER OF PATIO AREA FOR ALL OPENING SIZES AND REQUIRED CLEARANCES
- 20 NEW ACCESSIBLE CUSTOM METAL DOUBLE GATE WITH LOCK UNTIL CUSTOM GATE INSTALLATION IS COMPLETE, PROVIDE TEMPORARY ACCESSIBLE DOUBLE WROUGHT IRON GATE, THIS LOCATION TO MATCH OTHER GATES AT PATIO, SEE CONCEPTUAL GATE MATCH SHEET 4.4.3
- 21 NEW EXTERIOR WALL SCENE AT 10'-0" x 7'-0" LIGHTS TO BE SPACED EQUALLY EACH SIDE OF EXISTING SIGNAGE, LIGHTS TO BE USED DURING MAINTENANCE/CLEANING OF THE PATIO ONLY, NOT TO BE USED DURING NORMAL OPERATING HOURS, SEE ELECTRICAL DRAWINGS
- 22 NEW SURFACE MOUNTED ABLE LIGHTING AT FOOT LEVEL
- 23 NEW WALL SCENE AT 9'-0" x 7'-0" CENTER BETWEEN DOOR OPENING AT CORNER
- 24 NEW FREE STANDING PRE-FAB FEATURE PROVIDED AND INSTALLED BY THE OWNER, VERTICAL GAS FINISH BY OWNER
- 25 NEW SIGN DISTANCE TRIANGLES SHOWN FOR REFERENCE ONLY, SEE PLAN FOR DIMENSIONS
- 26 SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL SITE WORK, TYPICAL

GATE HARDWARE NOTES

- 1 ALL EXIT GATES SHALL BE MINIMUM 7'0" X 6'0" AND OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL TOOL, HANDLE AND EXIT DOORS SHALL BE CAPABLE OF OPENING IN DEGREES AND SHALL BE MOUNTED SO THE CLEAR WIDTH OF THE EXIT WAY IS NOT LESS THAN 32" PER 2012 I.B.C. CHAPTER 10
- 2 GATE HARDWARE SHALL ABIDE BY THE FOLLOWING:
 - A HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE GATES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRIPPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (889 MM) MINIMUM AND 4 INCHES (101.6 MM) MAXIMUM ABOVE THE FLOOR, WHERE BULGING GATES ARE IN THE FULLY OPEN POSITION, OPERABLE HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES (ICC A117.1, 2008, SEC. 504.2.6)
 - B NEW GATES SHALL HAVE LEVER HANDLE HARDWARE
 - C GATE CLOSING: GATE CLOSING SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE GATE TO AN OPEN POSITION OF 12 DEGREES SHALL BE 3 SECONDS MAXIMUM (ICC A117.1, 2008, SECTION 404.2.7.1)
 - D GATE OPENING FORCE: THE FORCE FOR PUSHING OR PULLING OPEN GATES SHALL BE AS FOLLOWS:
 - 1 HINGED GATES: 5.0 POUNDS (22.7 N) MAXIMUM
 - 2 SLIDING OR FOLDING GATES: 5.0 POUNDS (22.7 N) MAXIMUM
 THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH MECHS OR DISengage OTHER DEVICES THAT HOLD THE GATE IN A CLOSED POSITION
 - E GATES WITH PINNAC HARDWARE: THE ACTIVATING MEMBER SHALL BE MOUNTED AT A HEIGHT OF NOT LESS THAN 36 INCHES OR MORE THAN 48 INCHES ABOVE THE FLOOR. THE ACTIVATING FORCE SHALL NOT EXCEED 15 POUNDS WHEN APPLIED IN THE DIRECTION OF EXIT TRAVEL.
 - F ENTRY GATES SHALL HAVE THE INTERNATIONAL ACCESSIBILITY SYMBOL.
- 3 WIDTH OF GATES: THE MINIMUM WIDTH OF EACH GATE OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT, LONG THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM), CLEAR OPENINGS OF GATEWAYS WITH SLIDING GATES SHALL BE MEASURED BETWEEN THE FACE OF THE GATE AND THE STOP, WITH A GATE OPENING INCLUDES THE WIDTH OF LEAF WITHOUT A HINGE, ONE LEAF SHALL PROVIDE A CLEAR OPENING WIDTH OF 32 INCHES (813 MM), THE MINIMUM WIDTH OF A SLIDING GATE LEAF SHALL BE 48 INCHES (1219 MM) NOMINAL, 2012 I.B.C. SECTION 1008.11
- 4 CHANGES IN LEVEL: VERTICAL CHANGES IN LEVEL OF 1/4 INCH (6.4 MM) MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL, BEVELED CHANGES IN LEVEL GREATER THAN 1/4 INCH (6.4 MM) IN HEIGHT AND NOT MORE THAN 12 INCH (305 MM) MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 (PER ICC A117.1, 2008, SECTION 303.2.4 & 303.3)

EXTOLLO DESIGN
2122 E. SESAME ST.
TEMPE, AZ 85283
480-888-6565



BLK PATIO ADDITION
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

ENLARGED SITE PLAN

DRAWN: JTP

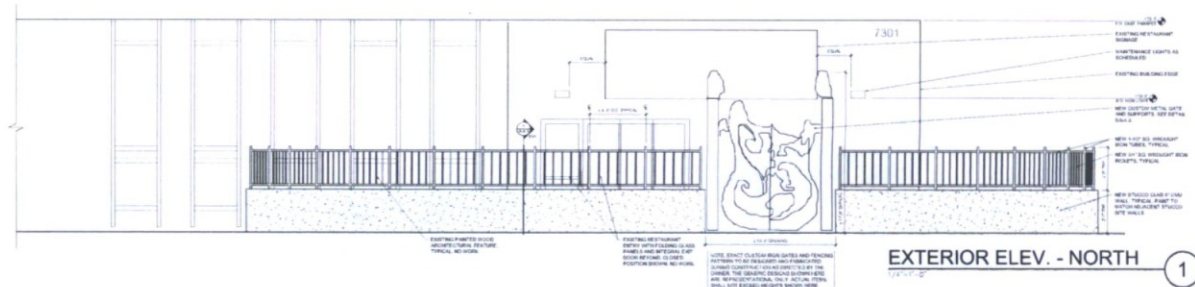
JOB NO.: 15-001

DATE: 12.9.16

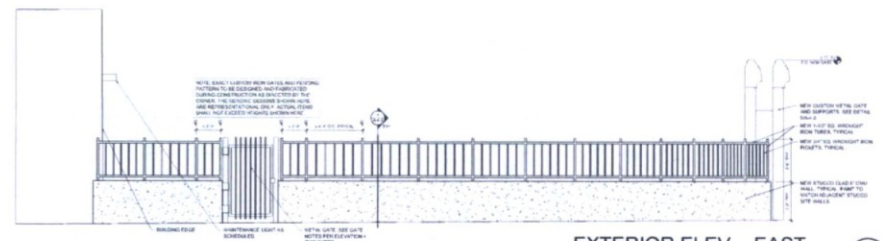
REVISED:

CITY COMMENTS 4.3.17

A-2.0



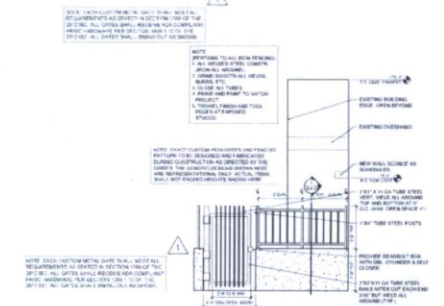
EXTERIOR ELEV. - NORTH ①



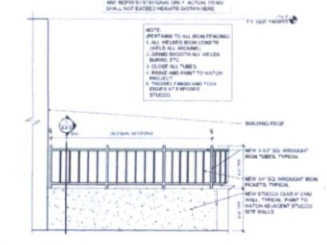
EXTERIOR ELEV. - EAST ②

NOTE: ALL STUCCO AND WROUGHT IRON FENCING TO BE PAINTED TO MATCH EXISTING EXTERIOR COLOR. GENERAL CONTRACTOR TO PROVIDE DRAWINGS FOR OWNER REVIEW AND APPROVAL. PAINT TO BE DURN EDWARDS, NATURAL BRIDGE DEB184, EVERSHIELD 100% ACRYLIC, LEVY 2H OR EQUAL.

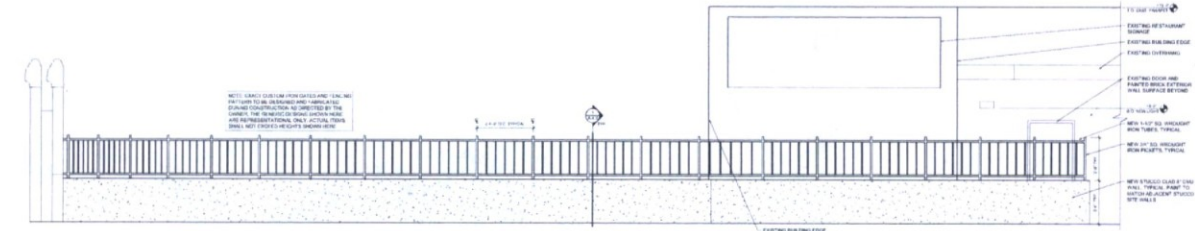
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EXT. ELEV. - SOUTHWEST ④



EXT. ELEV. - SOUTHEAST ③



EXTERIOR ELEV. - WEST ⑤

BLK PATIO ADDITION
 7301 E. RUTHERFORD DRIVE
 SCOTTSDALE, AZ 85224

EXTERIOR ELEVATIONS

DRAWN: JTP
 JOB NO: 15-001
 DATE: 12.9.16
 REVISED:
 CITY COMMENTS 4.3.17

A-3.0

BLK PATIO ADDITION

7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

EXTOLLO
DESIGN

2122 E. SESAME ST.
TEMPE, AZ 85283
480-888-6565



GENERAL NOTES

- SPECIAL DESIGNS OR ADAPTATIONS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF EXTOLLO DESIGN, LLC. AND SHALL NOT BE REPRODUCED, REORDERED, OFFERED FOR SALE OR USED FOR DISPLAY, WITHOUT THE WRITTEN AUTHORIZATION OF EXTOLLO DESIGN, LLC. ALL SAMPLES, MODELS, DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY EXTOLLO DESIGN, LLC. AND SHOWN IN THESE CONTRACT DOCUMENTS ARE SOLE PROPERTY OF EXTOLLO DESIGN, LLC. THEY SHALL NOT BE USED ON WORK OUTSIDE THE ORIGINAL INTENTION OF THESE CONTRACT DOCUMENTS AND SHALL BE RETURNED TO EXTOLLO DESIGN, LLC. AT THE COMPLETION OF THE WORK. THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD EXTOLLO DESIGN, LLC. AND ITS CONSULTANTS HARMLESS FROM ANY CLAIM, DEMAND, ACTION, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS) ARISING OR ALLEGEDLY ARISING OUT OF ANY REUSE OR MODIFICATION OF THESE CONTRACT DOCUMENTS BY THE CLIENT OR BY ANY PERSON OR ENTITY THAT ACQUIRES OR OBTAINS THESE CONTRACT DOCUMENTS FROM OR THROUGH THE CLIENT.
- DO NOT SCALE THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE, AND BRING ANY DISCREPANCIES, ERRORS OR VARIANCES TO THE ATTENTION OF EXTOLLO DESIGN, LLC. PRIOR TO COMMENCEMENT OF THE WORK.
- LARGE SCALE PLANS SHALL GOVERN OVER SMALL SCALE PLANS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- ANY INFORMATION REQUIRED BY THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS THAT IS NOT SHOWN ON THESE DRAWINGS OR CONTAINED IN OTHER CONTRACT DOCUMENTS SHALL BE REQUESTED BY THE GENERAL CONTRACTOR FROM EXTOLLO DESIGN, LLC. THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH WORK AFFECTED BY SUCH ERRORS, DISCREPANCIES OR OMISSIONS WITHOUT RECEIVING THE NECESSARY CLARIFICATIONS. ADJUSTMENTS INVOLVING SUCH CONDITIONS MADE BY THE GENERAL CONTRACTOR AND/OR THEIR SUBCONTRACTORS WITHOUT PRIOR CLARIFICATION BY EXTOLLO DESIGN, LLC. SHALL BE AT THE GENERAL CONTRACTOR'S OWN RISK. COMPLICATIONS ARISING FROM PROCEEDING WITHOUT THESE CLARIFICATIONS SHALL BE AT THE GENERAL CONTRACTOR'S SOLE EXPENSE.
- THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE DESIGN, DETAILS AND SPECIFICATIONS CONTAINED IN THESE DOCUMENTS. NO DEVIATIONS OR SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM EXTOLLO DESIGN, LLC. ANY WORK DONE OR PRODUCTS INSTALLED NOT CONFORMING TO THESE DOCUMENTS SHALL BE REJECTED BY EXTOLLO DESIGN, LLC. AND SHALL BE REDONE OR REPLACED AT THE GENERAL CONTRACTOR'S SOLE EXPENSE.
- MECHANICAL, PLUMBING AND ELECTRICAL ITEMS ON ARCHITECTURAL DRAWINGS ARE SHOWN FOR LOCATION AND QUANTITY ONLY. REFER TO ENGINEERING DRAWINGS FOR ALL TECHNICAL INFORMATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BETWEEN TRADES. ALL REFERENCES TO THE SCOPE OF WORK INCLUDED IN THESE CONTRACT DOCUMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS.
- THE SCOPE OF WORK INDICATED IN THESE CONTRACT DOCUMENTS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES, REGULATIONS AND ORDINANCES.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN USING THE INDUSTRY STANDARDS FOR THE BEST PRACTICES OF EACH TRADES WORK.
- ALL MATERIALS SHALL BE NEW AND CONTAINED IN ITS ORIGINAL PACKAGING OR CONTAINER WHEN DELIVERED TO THE SITE. ALL MATERIALS SHALL BE PROTECTED FROM DAMAGE BEFORE, DURING CONSTRUCTION AND AT THE TIME THE GENERAL CONTRACTOR RELEASES THE SITE FOR OCCUPANCY.
- THE GENERAL CONTRACTOR SHALL NOT CAUSE INTERRUPTION OF MECHANICAL, PLUMBING, ELECTRICAL AND OTHER UTILITY SERVICES TO THE REMAINING AREAS OF THE EXISTING BUILDING AND PREMISES, INCLUDING AREAS OUTSIDE THE CONSTRUCTION LIMITS OF THE PROJECT. THE GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL REQUIRED INTERRUPTIONS WITH THE CLIENT/ BUILDING OWNER PRIOR TO PERFORMING ANY SHUT DOWNS OR INTERRUPTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORK ENVIRONMENT FOR ALL WORKERS AND BUILDING OCCUPANTS. THE GENERAL CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND FEDERAL SAFETY CODES, REGULATIONS AND ORDINANCES.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN PREMISES FREE OF TRASH AND DEBRIS. THE GENERAL CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING AREAS FROM DAMAGE, SOILING, PAINT OVER SPRAY AND DUST. ALL FIXTURES, EQUIPMENT, GLAZING, WINDOW TREATMENTS, FLOORS, CEILING AND OTHER BUILDING ELEMENTS, SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY. ANY DAMAGES INCURRED DURING DEMOLITION OR CONSTRUCTION OF THIS SCOPE OF WORK SHALL BE REPAIRED, REPLACED, OR PATCHED AT THE DISCRETION OF THE BUILDING OWNER OR CLIENT. THE GENERAL CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND ANY WORK UNDERTAKEN TO CORRECT IT.
- THE GENERAL CONTRACTOR SHALL PAY FOR ALL NECESSARY FEES AND PERMITS REQUIRED FOR THE SCOPE OF WORK TO BE PERFORMED PRIOR TO COMMENCEMENT OF CONSTRUCTION UNLESS NOTIFIED OR DIRECTED OTHERWISE.
- MANUFACTURED MATERIALS, FINISHES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR SAMPLES OF ALL PURCHASED, FABRICATED AND FINISH ITEMS FOR REVIEW BY EXTOLLO DESIGN, LLC. PRIOR TO PURCHASING OR FABRICATING SUCH MATERIALS. THE GENERAL CONTRACTOR SHALL DELIVER A MINIMUM OF 3 COPIES OF THESE SUBMITTALS TO EXTOLLO DESIGN, LLC.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
- MOUNTING HEIGHT FOR TELEPHONE/COMPUTER AND ELECTRICAL OUTLETS SHALL BE 15 INCHES ABOVE TO THE FINISHED FLOOR TO THE BOTTOM OF THE COVER PLATE UNLESS NOTED OTHERWISE. ELECTRICAL/TELEPHONE OUTLET COMBINATIONS SHALL BE MOUNTED ON EITHER SIDE OF THE SAME STUD.
- MOUNTING HEIGHT FOR LIGHT SWITCHES AND THERMOSTATS SHALL BE 4'-0" ABOVE THE FINISHED FLOOR TO THE TOP OF LIGHT SWITCH AND THERMOSTAT COVERS. THERMOSTATS SHALL NOT BE PLACED IN THE CENTER OF A PARTITION AND SHALL BE LOCATED ADJACENT TO A DOOR, LIGHT SWITCH OR PARTITION OPENING WHERE APPLICABLE.
- THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL EXIT SIGNS, NIGHT OR EMERGENCY LIGHTS, FIRE AND SMOKE DETECTION, AND ALARM SYSTEMS EXTENSIONS INTO THE AREA OF WORK AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES AND THE CITY FIRE MARSHAL.
- ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE REQUIREMENTS OF I.B.C. SECTION 2406. SAFETY GLAZING SHALL BE INSTALLED AS PER 2406.4 INCLUDING (BUT NOT LIMITED TO) ANY GLAZING WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ANY GLAZING THAT IS GREATER THAN 9 SQUARE FEET AND WHOSE BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FLOOR AND WHOSE TOP EDGE IS MORE THAN 36 INCHES ABOVE THE FLOOR AND IS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE. GLASS SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES. THE FOLLOWING THICKNESSES OF GLASS MAY BE USED IN BUTT GLAZED, FIXED GLASS WINDOWS, WHEN SUPPORTED BY TWO EDGES:
60 INCH SPAN OR LESS: 1/4" THICK
60 INCH SPAN OR LESS: 5/16" THICK
96 INCH SPAN OR LESS: 3/8" THICK

CITY OF SCOTTSDALE FIRE DEPARTMENT NOTES

- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF THE EXISTING FIRE SPRINKLER SYSTEM AND COMPLY WITH NFPA 13 & LOCAL AMENDMENTS. NOTE: EXISTING STANDARD RESPONSE SPRINKLER HEADS IN LIGHT HAZARD OCCUPANCIES WITHIN THE TENANT SPACE SHALL BE CHANGED OUT TO QUICK RESPONSE WHEN WORK HAS BEEN CONTRACTED TO ADD AND/OR RELOCATE 50% OR MORE OF THE SPRINKLER HEADS.
- ALL FIRE PROTECTION SYSTEMS SHALL REMAIN OPERATIONAL AND MODIFIED AS NECESSARY FOR CODE COMPLIANCE.
- MOUNT MINIMUM 2-A-10 BC RATED FIRE EXTINGUISHER(S) IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE AND NFPA 10. FIRE EXTINGUISHER QUANTITY & LOCATIONS SHALL BE APPROVED BY THE FIRE INSPECTOR.
- EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH CITY ORDINANCE & IFC SEE ELECTRICAL.
- FIRE LANES TO BE ESTABLISHED AND/OR MAINTAINED.
- ESTABLISH & MAINTAIN 20' OF ACCESS TO ALL STRUCTURES FROM THE PUBLIC ROADWAY DURING CONSTRUCTION.
- PROVIDE A NEW KNOX BOX IF ONE DOES NOT EXIST ON BUILDING. MOUNT BY MAIN ENTRANCE - 4' - 6' A.F.F. PROVIDE A DOOR KEY FROM TENANT AND PLACE IN KNOX BOX.
- NUMERICAL PREMISES ID MUST BE LEGIBLE FROM STREET OR DRIVE.
- CONTRACTOR TO VERIFY EXISTING AND/OR REQUIRED FIRE HYDRANTS/ INSTALLATION & MARKED WITH BLUE REFLECTOR PRIOR TO CERTIFICATE OF OCCUPANCY.
- SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION TO FIRE ALARM SYSTEM (IF EXISTING) & COMPLY WITH NFPA 72 & LOCAL CODES (SEE MECHANICAL SHEETS FOR DETECTOR NOTES).

PROJECT DIRECTORY

- BUILDING OWNER**
JEFFREY S. BENICE
3080 BRISTOL ST.
COSTA MESA, CA 92626
CONTACT: JEFF BENICE
PHONE: 714 641 3600 X221
FAX: 714 641 3605
EMAIL: -
- ARCHITECT**
CW ARCHITECTURE
6514 E. ASTER DR.
SCOTTSDALE, ARIZONA 85254
CONTACT: CORY WEBERS
PHONE: 480 264 7273
FAX: 480 264 7873
EMAIL: CORY@CWARCHITECTURE.NET
- DESIGNER**
EXTOLLO DESIGN, LLC
2122 E. SESAME ST.
TEMPE, ARIZONA 85283
CONTACT: JEFF PELAGE
PHONE: 480 888 6565
EMAIL: JPELAGE@PMGMAIL.COM
- STRUCTURAL ENGINEER**
STRUKTUR STUDIO
1525 N. GRANITE REEF ROAD
SCOTTSDALE, ARIZONA 85257
CONTACT: DAVID LUMENG
PHONE: 480 425 2250
FAX: 480 425 2257
EMAIL: DAVID@STRUKTURSTUDIO.COM
- CIVIL ENGINEER**
3 ENGINEERING
2929 E. CAMELBACK RD.
PHOENIX, ARIZONA 85016
CONTACT: DAN MANE
PHONE: 602 334 4387
FAX: 602 490 3230
EMAIL: DAN@3ENGINEERING.COM
- LANDSCAPE ARCHITECT**
DESIGN ETHIC
7201 E. CAMELBACK RD.
PHOENIX, AZ 85251
CONTACT: BRANCOON PAUL
PHONE: 480 225 7077
EMAIL: BPAUL@DESIGNETHIC.NET

PROJECT NARRATIVE

THESE CONSTRUCTION DOCUMENTS ARE BASED ON A MINOR STAFF APPROVED DEVELOPMENT REVIEW 408-SA-2018. THE SCOPE OF WORK CONSISTS OF THE ADDITION OF AN EXTERIOR PATIO AND ADJACENT WALKWAYS TO AN EXISTING BUILDING. THE EXISTING BUILDING INCLUDES BLK-3 WHICH IS AN EXISTING RESTAURANT AND BLK-4 WHICH IS AN EXISTING BAR/NE MUSIC SPACE.

PARKING STALL REQUIREMENTS HAVE ALSO RECEIVED PRE-APPROVAL UNDER THE MINOR STAFF APPROVED DEVELOPMENT REVIEW 408-SA-2018. THE PARKING CALCULATIONS BELOW REFLECT THE AGREED UPON TOTAL REQUIRED QUANTITY.

THIS PROPERTY CURRENTLY CONTAINS (1) EXISTING STALLS. THE OWNER HAS LEASED AN ADDITIONAL (2) STALLS DURING NON-WORKING HOURS ONLY (EVENING, SATURDAY AND SUNDAY) ON THE ADJACENT PROPERTY TO THE EAST (7333 E BUTHERUS DR. SCOTTSDALE 85286). SEE REVEALED PARKING AGREEMENT ATTACHED AND CALCULATIONS BELOW. LEASE LIGHT MEETS THE 1-1/2 HOUR MINIMUM AND LEASED STALLS ARE WITHIN THE MINIMUM 800 FT FROM THE PROJECT PROPERTY.

THE NEW EXTERIOR PATIO IS BEING CONNECTED TO THE EXISTING RESTAURANT AND KITCHEN. THE PATIO WILL PRIMARILY CONTAIN SUPPER TABLES, BAR/NE TABLES 3 TO 4 SMALL FREESTANDING LIGHTS AND CIRCULATION SPACE TO ACCOMMODATE 3-3 SERVERS AND EXISTING REQUIREMENTS THE (2) AREAS LETT ABOVE PLUS ALL THE RESTROOMS WILL BE OPERATING FROM OPEN TO 10PM. THE REMAINDER OF THE FACILITY WILL BE CLOSED DURING THESE HOURS. THE OWNER HAS PROVIDED A LETTER STATING WHICH FUNCTIONS WILL BE OPEN DURING THE DAY SHIFT OPEN TO 10PM AND THE NIGHT SHIFT OPEN TO 10PM. SEE SHEET A.1 FOR A VISUAL BREAKDOWN.

THERE IS NO WORK ON THE ROOF AND NO WORK ON THE INTERIOR OF THE EXISTING BUILDING. NO HOV PILE STORAGE. NO HAZARDOUS CHEMICALS EXCEEDING TABLE 307 OF THE 2010 IBC. ANY AND ALL FUTURE STORAGE MODIFICATIONS TO BE SUBMITTED SEPARATELY.

SHEET INDEX

- G-0.0 PROJECT NARRATIVE - PROJECT INFORMATION - PARKING CALCULATIONS
- C-101 IMPROVEMENT PLAN
C-102 GRADING AND DRAINAGE PLAN
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E-2.0 ELECTRICAL SITE PLAN
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S-1.2 STRUCTURAL CALCULATIONS (SEPARATE ATTACHMENT)

CODE INFORMATION

APN:	215-56-0248
ADDRESS:	7301 E. BUTHERUS DR. SCOTTSDALE, AZ 85024
ZONING:	C-2 (NO CHANGE)
SITE AREA:	84,158 S.F.
FLOOR AREA RATIO (FAR):	67,326 SF REQUIRED (NO CHANGE) 9,579 SF PROVIDED (NO CHANGE TO BUILDING)
OPEN SPACE AREA (O.S.):	9,426 SF REQUIRED 12,301 SF PROVIDED
MAXIMUM HEIGHT:	36 FEET (MAXIMUM ALLOWED) 15 FEET EXISTING (NO CHANGE)
SETBACKS:	FRONT REQ. 50% OF OPEN SPACE OR 4.713 SF FRONT PROV. 8.438 SF (BUTHERUS); 3.863 SF (73RD ST.) SIDE: N/A REAR: N/A
NUMBER OF STORIES:	1
AGE OF BUILDING:	BUILT IN 1980

SCOTTSDALE BUILDING CODES (WITH CITY OF SCOTTSDALE AMENDMENTS)

- 2012 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL EXISTING BUILDING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE WITH AMENDMENTS
- 2012 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
- 2012 INTERNATIONAL FUEL GAS CODE WITH AMENDMENTS
- 2012 INTERNATIONAL GREEN CONSTRUCTION CODE WITH AMENDMENTS
- 2011 NATIONAL ELECTRIC CODE WITH AMENDMENTS
- 2012 INTERNATIONAL PLUMBING CODE WITH AMENDMENTS
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
- AMERICANS WITH DISABILITIES ACT
- ADAAG

ALL PRODUCTS LISTED BY I.C.C. (NUMBER) SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCT(S) LISTED SHALL ALSO HAVE I.C.C. APPROVED EVALUATION REPORT(S) OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.

FIRE SPRINKLER MODIFICATIONS ARE NOT REQUIRED AS PART OF THIS PROJECT. ANY FIRE SPRINKLER WORK DEEMED REQUIRED BY THE CITY OF SCOTTSDALE SHALL BE DEFERRED SUBMITTALS BEFORE COMMENCING ANY WORK ON THE SPRINKLER SYSTEM. PLANS WILL BE SUBMITTED AND APPROVED BY THE DEPARTMENT OF BUILDING SAFETY.

PARKING CALCULATIONS

EXIST. RESTAURANT + KITCHEN = 1836+2436+4276 SQFT / 120 = 35.63 STALLS REQ.
SHARED ENTRY = 545 SQFT / 120 = 4.54
NEW PATIO = 2500 SQFT = 1000 / 350 = 2.86
STORAGE = 253 SQFT / 800 = 0.31
MUSIC SPACE 3347 SQFT / 60 = 55.78
EXISTING PATIO SPACE = 10400 SQFT = 300 = 982 FOR LANDSCAPING / 200 = 48.04
STORAGE = 193 / 800 = 0.20
SUBTOTAL PARKING STALLS REQUIRED = 146.78 OR 147 STALLS REQUIRED

PARKING STALL REDUCTION = A TOTAL REDUCTION OF (2) PARKING STALLS PER EXISTING SHOWER; (3) EXISTING SHOWERS PROVIDED / (6) TOTAL PARKING STALLS REMOVED FROM REQUIRED SUBTOTAL 6
TOTAL STALLS REMOVED FROM REQUIRED SUBTOTAL 6

TOTAL PARKING STALLS PROVIDED:
EXISTING ON PROJECT PROPERTY: 119
LEASED PARKING STALLS FROM ADJACENT PROPERTY: 22
TOTAL PARKING STALLS PROVIDED: 141

TOTAL STALLS REQUIRED AFTER REDUCTIONS: 141
TOTAL STALLS BEING PROVIDED: 141

CITY OF SCOTTSDALE SITE PLAN PLANNING NOTES

CITY OF SCOTTSDALE
Planning and Development Services
7415 East McDowell Road
Scottsdale, Arizona 85251

SITE PLAN - PLANNING NOTES
COMMERCIAL & MULTI-FAMILY

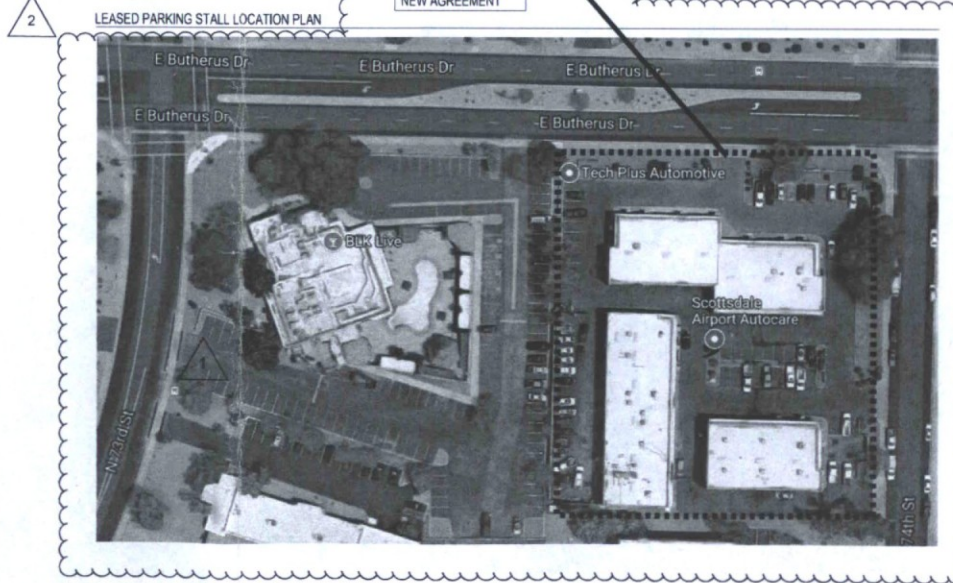
Please provide the following checked notes on the site plan. Additional notes may be required.

- Sight triangles shall be shown on final plans for driveway from commercial sites and any intersections. Areas within the safety triangle to be clear of landscaping, signs, or other visible obstructions with a height greater than 10 feet. Trees within the safety triangle shall be single trunk and have a canopy that begins at 8 feet in height upon installation. All heights are measured from lowest street level elevation.
- Temporary/Security Fencing that is required or is voluntarily provided shall be in accordance with the Zoning Ordinance and the Design Standards and Public Manual.
- The temporary/Security fence location shall not be modified or the temporary/Security fence shall not be removed without the approval of the Planning and Development Services, Inspection Services Division.
- All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.
- All signs require separate permits and approvals.
- A master sign program shall be subject to the approval of the Development Review Board prior to the issuance of a sign permit for multi-story buildings.
- No exterior lighting or display shall be allowed.
- Pigeonholes, if provided, shall be one piece, closed, beaded.
- No exterior public address or speaker system shall be allowed.
- Poles, umbrellas, if provided, shall be solid colors and shall not have any advertising in the form of signage or logos.
- All exterior mechanical, utility, and communication equipment shall be concealed in the height of the subject use to garage or screen wall that matches the architectural color and architectural finish of the building. Ground mounted mechanical, utility, and communication equipment shall be concealed in a screen wall that matches the architectural color and architectural finish of the building, which is a maximum of 1'-0" higher than the highest point of the subject use. (Details are still required).
- All equipment, utilities, or other appliances attached to the building shall be an integral part of the building design in terms of form, color, and texture.
- No exterior roller shades shall be allowed.
- All perimeter lighting shall be a maximum of 20 feet in height.
- No other lighting shall be allowed.
- No turf areas shall be provided.
- No irrigation shall be provided to unlandscaped Natural Area Open Space (NAOS) areas.
- Provide the Natural Area Open Space (NAOS) and Limits of Construction (LOC) Protection Program on the Plans.

NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM

- No building, grading, or construction activity shall encroach into areas designated as NAOS, or outside the designated construction envelope.
- All NAOS and areas outside of the LOC shall be protected from damage prior to and during construction by the following methods:
 - A registered land surveyor shall state all NAOS and LOC dimensions based on this section.
 - Three (3) feet steel sheet piling or City of Scottsdale inspection devices approved earlier, shall be set along the NAOS and LOC, and connected with galvanized by the contractor prior to any clearing or grading.
 - All signs posted by the City of Scottsdale's natural area protection directly adjacent within the feet of the NAOS and LOC line shall be removed with care following to prevent damage.
 - The clearing, grading, and leveling shall be completed by the contractor during the duration of the construction activity.
- The contractor shall remove staking, signage, and timing after receipt of the Letter of Acceptance from the City of Scottsdale for all construction work.

October 2, 2007



13-UP-2018
7/20/2018

VICINITY MAP

NO SCALE



BLK PATIO ADDITION
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

DRAWN: JTP

JOB NO. 15-001

DATE: 12.9.16

REVISED:

1 CITY COMMENTS 4.3.17

2 CITY COMMENTS 10.9.17

G-0.0

PROJECT NARRATIVE - PROJECT INFORMATION - PARKING CALCULATIONS

EXISTING OCCUPANCY CALCULATIONS

BUILDING AREAS: INTERIOR (WITH AFES):		
INTERIOR EXISTING DINING	1548 SF	
INTERIOR EXISTING BAR	215 SF	
INTERIOR EXISTING RESTROOMS	488 SF	
INTERIOR EXISTING KITCHEN	2484 SF	
NON OCCUPIES/NON A/C STORAGE	385 SF	
TOTAL (GROSS FLOOR AREA)	5071 SF	
PATIO:		
ENCLOSED/COVERED PATIO (WITH AFES):		
DINING	3203 SF	
RESTROOMS	604 SF	
BAR	422 SF	
TOTAL	4129 SF	
EXTERIOR PATIO:		
DINING	7137 SF	
(INCLUDING 992 SF OF LANDSCAPE AND 1444 SF OF WATER FEATURE)		
CABANAS	1320 SF	
BAR	201 SF	
TOTAL	8988 SF	
TOTAL PATIO:	12717 SF	
OCCUPANT LOAD:		
INTERIOR:		
ASSEMBLY (WITHOUT FIXED SEATS) INTERIOR:		
TABLES & CHAIRS	1548 / 15=	103.3 USE 104
KITCHENS (COMMERCIAL)	2484 / 200=	12.42 USE 13
TOTAL OCCUPANTS INTERIOR:		117
EXITS REQUIRED (INTERIOR): 2		
EXITS PROVIDED (INTERIOR): 2		
EXITS REQUIRED (KITCHEN): 1		
EXITS PROVIDED (KITCHEN): 2		
COVERED ENCLOSED PATIO:		
ASSEMBLY (WITHOUT FIXED SEATS)		
TABLES & CHAIRS (COVERED PATIO)	3203 / 15=	213.6 USE 214
TOTAL OCCUPANTS COVERED PATIO:		214
EXITS REQUIRED (COVERED PATIO): 2		
EXITS PROVIDED (COVERED PATIO): 2		
EXTERIOR PATIO:		
ASSEMBLY (WITHOUT FIXED SEATS)		
TABLES & CHAIRS (EXTERIOR PATIO)	7137-992(DSCP)-1444 (WATER FEATURE)/15 = 373.4	USE 374
ASSEMBLY (WITH FIXED SEATS)		
FIXED SEATS (CABANAS: 4 SEATS @ 10 SEATS EACH)		40
TOTAL OCCUPANTS EXTERIOR PATIO:		394
EXITS REQUIRED (EXTERIOR PATIO): 2		
EXITS PROVIDED (EXTERIOR PATIO): 2		

PLUMBING CALCULATIONS (OPENING TO 9PM)

NOTE: SEE EXISTING CALCULATIONS ABOVE FOR OCCUPANT COUNT PER AREA.

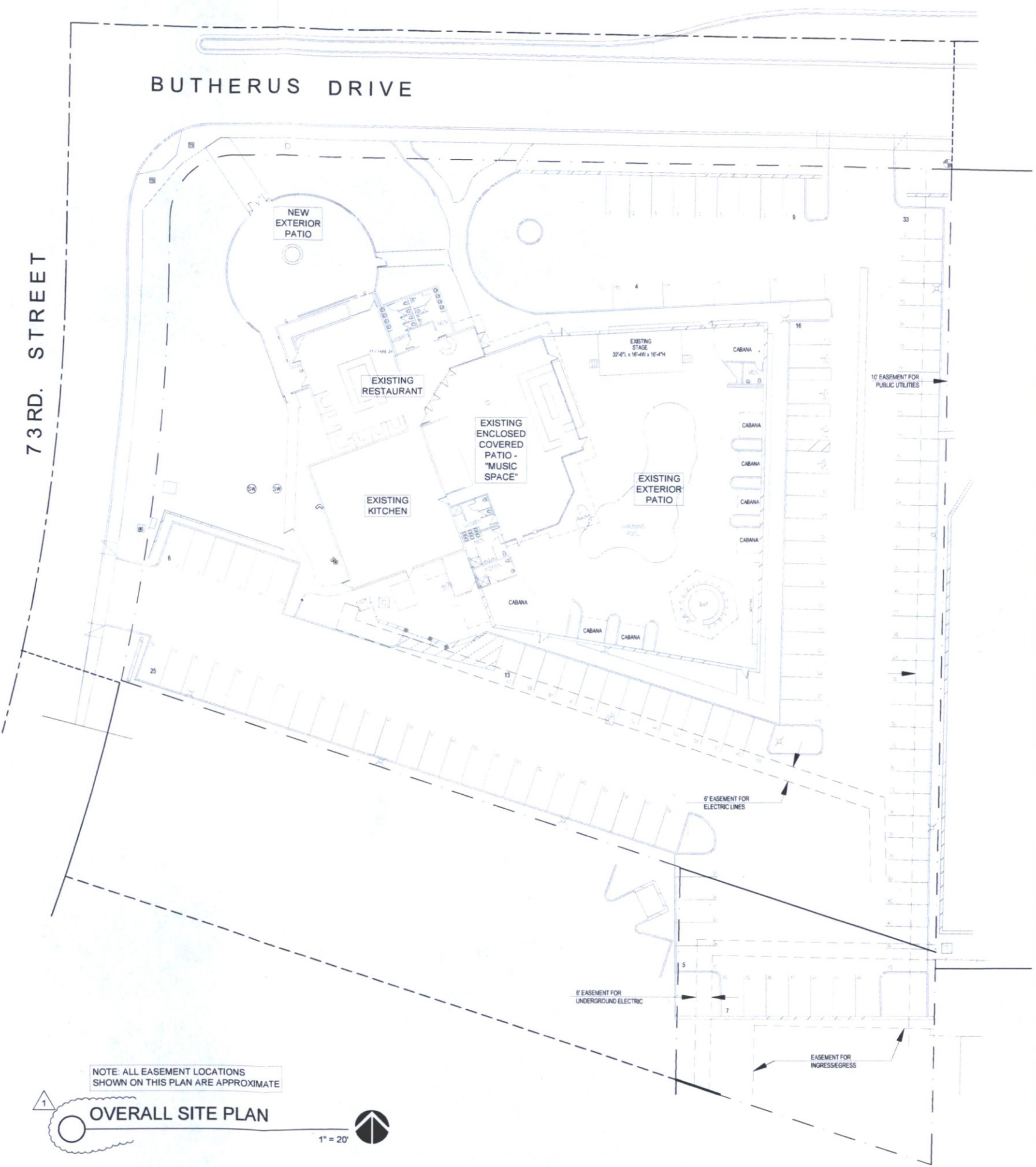
INTERIOR (EXISTING RESTAURANT): 104 OCCUPANTS TOTAL
 104/2 = 52 MEN & 52 WOMEN
 WATER CLOSETS - 52 M/W / 75 = (1) FIXTURE PER GENDER
 LAVATORIES - 52 M/W / 200 = (1) FIXTURE PER GENDER

INTERIOR (EXISTING KITCHEN): 13 OCCUPANTS TOTAL
 13/2 = 7 MEN & 7 WOMEN
 WATER CLOSETS - 7 M/W / 75 = (1) FIXTURE PER GENDER
 LAVATORIES - 7 M/W / 200 = (1) FIXTURE PER GENDER

NEW EXTERIOR PATIO (SCOPE OF WORK): 2500 SF/15 = 167 OCCUPANTS TOTAL
 167/2 = 84 MEN & 84 WOMEN
 WATER CLOSETS - 84 M/W / 75 = (2) FIXTURES PER GENDER
 LAVATORIES - 84 M/W / 200 = (1) FIXTURES PER GENDER

TOTALS REQUIRED / PROVIDED:
 MEN = (4) WCs REQUIRED THESE HOURS / (4) WCs & (4) URNALS PROVIDED
 WOMEN = (4) WATER CLOSETS REQUIRED THESE HOURS / (7) PROVIDED.
 MEN = (3) LAVATORIES REQUIRED THESE HOURS / (8) PROVIDED.
 WOMEN = (3) LAVATORIES REQUIRED THESE HOURS / (8) PROVIDED.

9PM TO CLOSE
 ALL AREAS OPEN DURING THIS TIME PERIOD AND ALL RESTROOMS IN THIS FACILITY ARE EXISTING TO REMAIN. THESE AREAS ARE NOT WITHIN THE SCOPE OF WORK AREA AND THERE HAS BEEN NO CHANGE IN USE. PLUMBING CALCULATIONS ARE NOT REQUIRED. AREAS OPEN DURING THIS TIME PERIOD HAVE BEEN HATCHED, HOWEVER, AS REQUESTED BY THE CITY, THE RESTROOMS, KITCHEN AND FOYER ARE OPEN AT ALL TIMES. SEE ATTACHED LETTER FROM OWNER CONFIRMING FUNCTIONS AND OPERATING HOURS.



NOTE: ALL EASEMENT LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE

OVERALL SITE PLAN

1" = 20'

EXTOLLO DESIGN
 2122 E. SESAME ST
 TEMPE, AZ 85283
 480-885-6565

BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

OVERALL SITE PLAN

DRAWN: JTP

JOB NO. 15-001

DATE: 10.12.16

REVISED:

1 CITY COMMENTS 4.3.17

A-1.0

DRAWN: JTP

JOB NO. 15-001

DATE: 7.3.18

REVISED:

EXISTING RESTAURANT (BLK-3)

NEW EXTERIOR PATIO: 2,500 SF. (SEE ADJACENT SITE PLAN)
EXISTING RESTAURANT: 1,573 SF.
EXISTING BAR: 265 SF.
EXISTING RESTAURANT STORAGE: 253 SF.
EXISTING KITCHEN: 2,432 SF.
EXISTING ADJACENT RESTROOMS: 487 SF.
ONE HALF OF SHARED ENTRY: 272 SF.
TOTAL AREA: 7,782 SF.

LIVE MUSIC (BLK-LIVE)

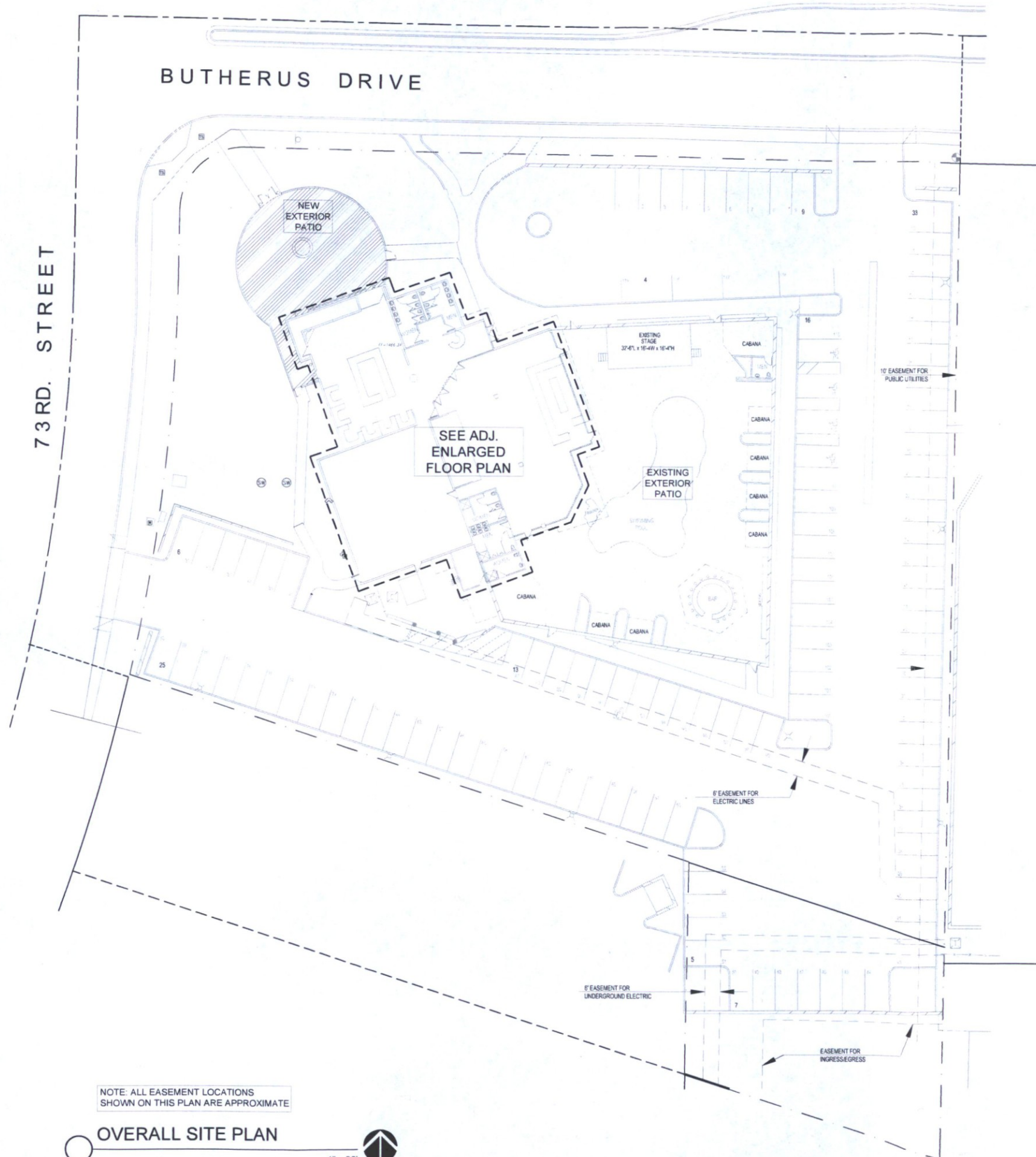
EXISTING EXTERIOR PATIO: 8,664 SF (SEE ADJACENT SITE PLAN)
EXISTING LIVE MUSIC SPACE: 2,920 SF.
EXISTING PATIO BAR: 427 SF.
EXISTING ADJACENT STORAGE: 163 SF.
EXISTING ADJACENT RESTROOMS: 513 SF.
ONE HALF OF SHARED ENTRY: 273 SF.
TOTAL AREA: 12,960 SF.

TOTAL AREA: 20,742 SF.

CODE INFORMATION	
APN:	215-06-0246
ADDRESS:	7301 E. BUTHERUS DR. SCOTTSDALE, AZ 85024
ZONING:	C-2 (NO CHANGE)
SITE AREA:	94,198 S.F.
FLOOR AREA RATIO (F.A.R.):	87,328 SF REQUIRED (NO CHANGE); 9,579 SF PROVIDED (NO CHANGE TO BUILDING)
OPEN SPACE AREA (O.S.):	9,426 SF REQUIRED; 12,301 SF PROVIDED
MAXIMUM HEIGHT:	30 FEET (MAXIMUM ALLOWED); 15 FEET EXISTING (NO CHANGE)
SETBACKS:	FRONT REQ. 50% OF OPEN SPACE OR 4,713 SF FRONT PROV. 8,436 SF (BUTHERUS), 3,883 SF (73RD ST.) SIDE: N/A REAR: N/A
NUMBER OF STORES:	1
AGE OF BUILDING:	BUILT IN 1980

PARKING CALCULATIONS	
EXIST. RESTAURANT + KITCHEN =	1836+2436=4272 SQFT / 120 = 35.60 STALLS REQ.
SHARED ENTRY =	545 SQFT / 120 = 4.54
NEW PATIO =	2500 SQFT - 1500 / 300 = 4.28
STORAGE =	253 SQFT / 600 = 0.23
MUSIC SPACE 2920 SQFT / 80 =	36.50
EXISTING PATIO SPACE =	10400 SQFT - 200 - 900 FOR LANDSCAPING / 200 = 46.50
STORAGE =	163 / 300 = 0.20
SUBTOTAL PARKING STALLS REQUIRED =	146.78 OR 147 STALLS REQUIRED
PARKING STALL REDUCTION = A TOTAL REDUCTION OF (2) PARKING STALLS PER EXISTING SHOWER, (3) EXISTING SHOWERS PROVIDED / (6) TOTAL PARKING STALLS REMOVED FROM REQUIRED TOTAL	
TOTAL STALLS REMOVED FROM REQUIRED SUBTOTAL:	6

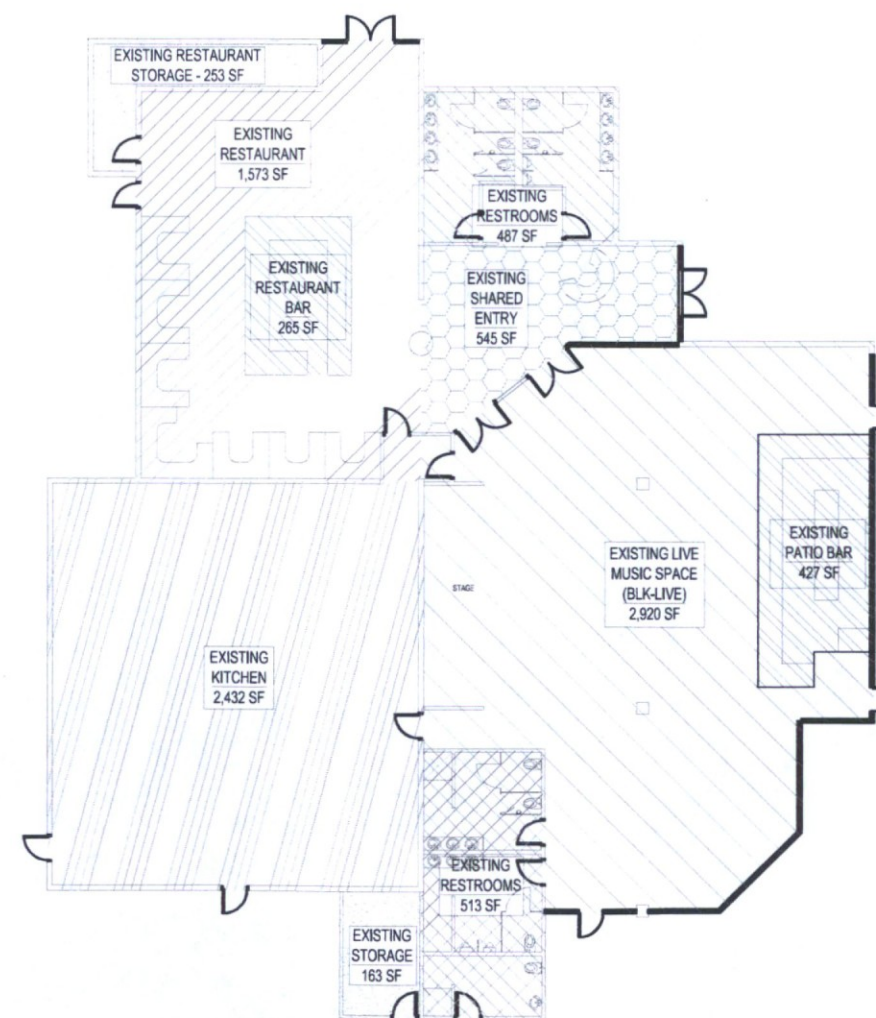
2	TOTAL PARKING STALLS PROVIDED: EXISTING ON PROJECT PROPERTY: 119 LEASED PARKING STALLS FROM ADJACENT PROPERTY: 22 TOTAL PARKING STALLS PROVIDED: 141	1
TOTAL STALLS REQUIRED AFTER REDUCTIONS: 141		
TOTAL STALLS BEING PROVIDED: 141		



NOTE: ALL EASEMENT LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE

OVERALL SITE PLAN

1" = 20'



ENLARGED FLOOR PLAN

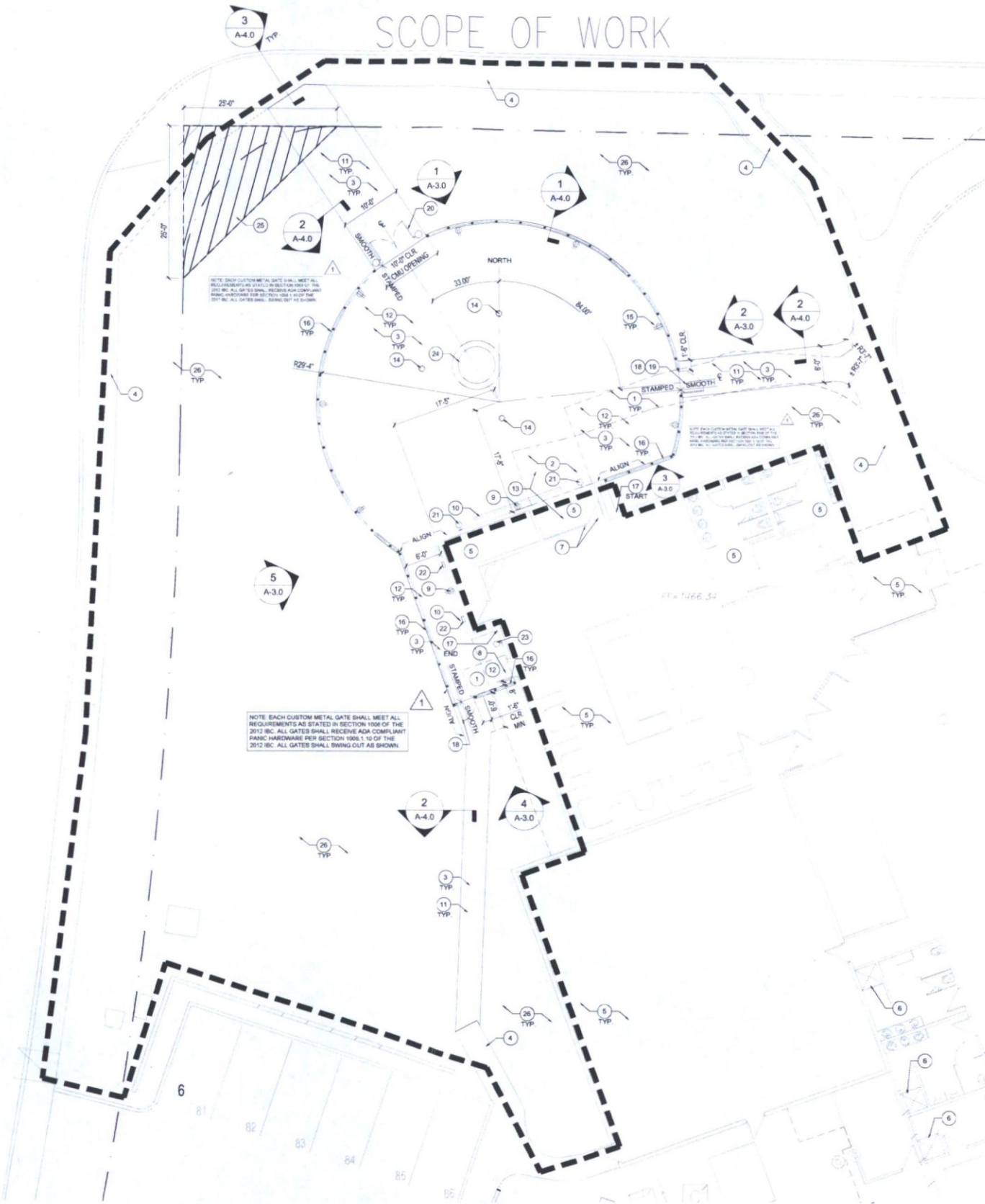
3/32" = 1'-0"



BUTHERUS DRIVE

SCOPE OF WORK

73RD. STREET



ENLARGED SITE PLAN

1" = 20'

ENLARGED SITE PLAN KEYNOTES

- 1 DASHED LINES REPRESENT EXISTING CONCRETE SLAB TO BE REMOVED
- 2 DASHED LINES REPRESENT EXISTING BRICK PAVERS TO BE REMOVED
- 3 EXISTING DECOMPOSED GRANITE TO BE REMOVED TO ACCOMMODATE NEW CONCRETE SLABS AND WALKWAYS
- 4 EXISTING CONCRETE WALKWAY AND CURBS, WHERE APPLICABLE, TO REMAIN
- 5 EXISTING BUILDING INTERIOR, NO WORK, NO WORK ON ROOF
- 6 EXISTING SHOWER SHOWN FOR REFERENCE ONLY, SEE PARKING CALCULATIONS
- 7 EXISTING FOLDING PARTITION WITH INTEGRAL EXIT DOOR TO REMAIN
- 8 EXISTING ENTRY/EXIT DOOR ADJACENT TO EXISTING KITCHEN TO REMAIN
- 9 EXISTING EXTERIOR J-BOX, OUTLET AND CONDUIT TO REMAIN, GENERAL CONTRACTOR TO VERIFY THAT EXISTING DEVICE IS ENERGIZED FOR GENERAL USE
- 10 EXISTING BUILDING SIGNAGE TO REMAIN
- 11 NEW 4" CONCRETE WALKWAY OVER ABC, CONCRETE TO MATCH ADJACENT EXISTING WALKWAYS, WIDTHS VARY, SEE 4A-4.0 FOR TYPICAL CONTROL JOINT SECTION
- 12 NEW 4500 PSI, 4" STAMPED CONCRETE EXTERIOR PATIO SLAB WITH 1/2" AGGREGATE OVER 4" ABC, EXACT STAMP DESIGN AND CONCRETE COLOR BY OWNER
- 13 NEW PATIO SLAB ELEVATION TO BE FLUSH WITH EXISTING RESTAURANT INTERIOR SLAB, SEE CIVIL DRAWINGS
- 14 NEW RECESSED WEATHERPROOF ELECTRICAL FLOOR BOXES, THESE SHALL PROVIDE POWER AND DIMMING FOR TENANT PROVIDED FREESTANDING FLOOR LAMPS, TYP. SEE ELECTRICAL DRAWINGS, VERIFY EXACT LOCATIONS WITH OWNER
- 15 NEW SURFACE MOUNTED WEATHERPROOF DUPLEX OUTLETS ON DIMMER SWITCH, TYPICAL, ELECTRICAL WIRING TO BE WITHIN CMU WALL, SEE ELECTRICAL DRAWINGS
- 16 NEW 3-0TH PERIMETER STUCCO CLAD 8" CMU WALL WITH AN ADDITIONAL 3-0TH WROUGHT IRON FENCING ABOVE, TYPICAL, SEE WALL SECTION, WALL TEXTURE TO MATCH EXISTING AND SHALL BE PAINTED TO MATCH ADJACENT SITE WALLS
- 17 EXISTING "WHITE" PAINTED BRICK EXTERIOR WALL SURFACE TO RECEIVE E.F.F.S. SYSTEM TO MATCH EXISTING AT OTHER PARTS OF EXISTING BUILDING, COLOR TO MATCH EXISTING, SEE PLAN FOR START AND END POINTS
- 18 NEW ACCESSIBLE CUSTOM SINGLE WROUGHT IRON GATE, PAINT COLOR TO MATCH NEW CMU WALLS, GATE OPENING WIDTH TO BE 2'-8" MIN CLEAR, PROVIDE A MINIMUM OF 18" CLEAR ON FULL SIDE HEIGHT TO MATCH ADJACENT WALL, SEE ADDITIONAL DOOR/HARDWARE NOTES THIS SHEET UNTIL CUSTOM GATE INSTALLATION IS COMPLETE PROVIDE TEMPORARY ACCESSIBLE SINGLE WROUGHT IRON GATE, THIS LOCATION TO MATCH OTHER GATES AT PATIO, GATE HEIGHT SHALL NOT EXCEED HEIGHT OF ADJACENT WROUGHT IRON FENCE/WALL
- 19 SEE NEW ACCESSIBLE GATE AT SOUTHWEST CORNER OF PATIO AREA FOR ALL OPENING SIZES AND REQUIRED CLEARANCES
- 20 NEW ACCESSIBLE CUSTOM METAL DOUBLE GATE WITH LOCK, UNTIL CUSTOM GATE INSTALLATION IS COMPLETE PROVIDE TEMPORARY ACCESSIBLE DOUBLE WROUGHT IRON GATE, THIS LOCATION TO MATCH OTHER GATES AT PATIO, SEE CONCEPTUAL GATE SKETCH SHEET 5A-4.0
- 21 NEW EXTERIOR WALL SCOSCE AT 10'-0" A.F.F. LIGHTS TO BE SPACED EQUALLY EACH SIDE OF EXISTING SIGNAGE, LIGHTS TO BE USED DURING MAINTENANCE/CLEANING OF THE PATIO ONLY, NOT TO BE USED DURING NORMAL OPERATING HOURS, SEE ELECTRICAL DRAWINGS
- 22 NEW SURFACE MOUNTED AISLE LIGHTING AT FOOT LEVEL
- 23 NEW WALL SCOSCE AT 8'-0" A.F.F. CENTER BETWEEN DOOR OPENING AT CORNER
- 24 NEW FREE STANDING FIRE FEATURE PROVIDED AND INSTALLED BY THE OWNER, NATURAL GAS PERMIT IN PLACE BY OWNER
- 25 NEW SIGHT DISTANCE TRIANGLE SHOWN FOR REFERENCE ONLY, SEE PLAN FOR DIMENSIONS
- 26 SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL SITE WORK, TYPICAL

GATE HARDWARE NOTES

- 1 ALL EXIT GATES SHALL BE MINIMUM 3'-0" X 6'-8" AND OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND EXIT DOORS SHALL BE CAPABLE OF OPENING 90 DEGREES AND SHALL BE MOUNTED SO THE CLEAR WIDTH OF THE EXIT WAY IS NOT LESS THAN 32" PER 2012 I.B.C., CHAPTER 10
- 2 GATE HARDWARE SHALL ABIDE BY THE FOLLOWING:
 - A HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE GATES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (865 MM) MINIMUM AND 48 INCHES (1220 MM) MAXIMUM ABOVE THE FLOOR, WHERE SLIDING GATES ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. (ICC A117.1 - 2009, SEC. 404.2.6)
 - B NEW GATES SHALL HAVE LEVER HANDLE HARDWARE.
 - C GATE CLOSERS, GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE GATE TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM. (ICC A117.1 - 2009, SECTION 404.2.7.1)
 - D GATE OPENING FORCE, THE FORCE FOR PUSHING OR PULLING OPEN GATES SHALL BE AS FOLLOWS:
 - 1 HINGED GATES: 5.0 POUNDS (22.2 N) MAXIMUM
 - 2 SLIDING OR FOLDING GATES: 5.0 POUNDS (22.2 N) MAXIMUM
 THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE GATE IN A CLOSED POSITION.
 - E GATES WITH PANIC HARDWARE, THE ACTIVATING MEMBER SHALL BE MOUNTED AT A HEIGHT OF NOT LESS THAN 30 INCHES OR MORE THAN 44 INCHES ABOVE THE FLOOR, THE UNLATCHING FORCE SHALL NOT EXCEED 15 POUNDS WHEN APPLIED IN THE DIRECTION OF EXIT TRAVEL.
 - F ENTRY GATES SHALL HAVE THE INTERNATIONAL ACCESSIBILITY SYMBOL.
- 3 WIDTH OF GATES - THE MINIMUM WIDTH OF EACH GATE OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM), CLEAR OPENINGS OF GATEWAYS WITH SWINGING GATES SHALL BE MEASURED BETWEEN THE FACE OF THE GATE AND THE STOP, WITH THE GATE OPEN 90 DEGREES (1.57 RAD), WHERE THIS SECTION REQUIRES A MINIMUM CLEAR WIDTH OF 32 INCHES (813 MM) AND A GATE OPENING INCLUDES TWO GATE LEAVES WITHOUT A MULLION, ONE LEAF SHALL PROVIDE A CLEAR OPENING WIDTH OF 32 INCHES (813 MM), THE MAXIMUM WIDTH OF A SWINGING GATE LEAF SHALL BE 48 INCHES (1219 MM) NOMINAL. (2012 IBC, SECTION 1008.1.1)
- 4 CHANGES IN LEVEL - VERTICAL CHANGES IN LEVEL OF 1/4 INCH (6.4 MM) MAXIMUM IN HEIGHT SHALL BE PERMITTED TO BE VERTICAL, BEVELED, CHANGES IN LEVEL GREATER THAN 1/4 INCH (6.4 MM) IN HEIGHT AND NOT MORE THAN 1/2 INCH (13 MM) MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. (PER ICC A117.1 - 2009, SECTION 303.2 & 303.3)

EXTOLLO
DESIGN
2122 E. SESAME ST.
TEMPE, AZ 85283
480-888-6565



BLK PATIO ADDITION
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

ENLARGED SITE PLAN

DRAWN: JTP

JOB NO. 15-001

DATE: 12.9.16

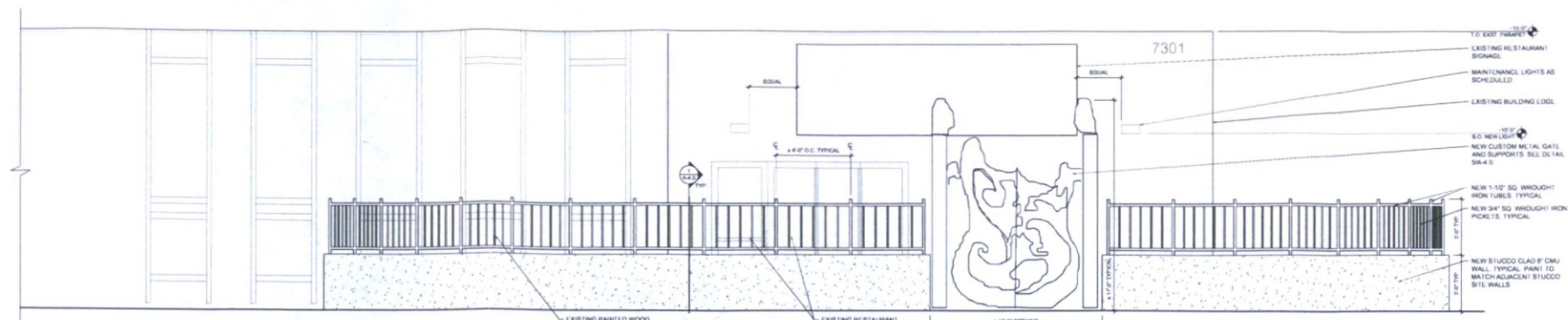
REVISED:

1 CITY COMMENTS 4.3.17

A-2.0

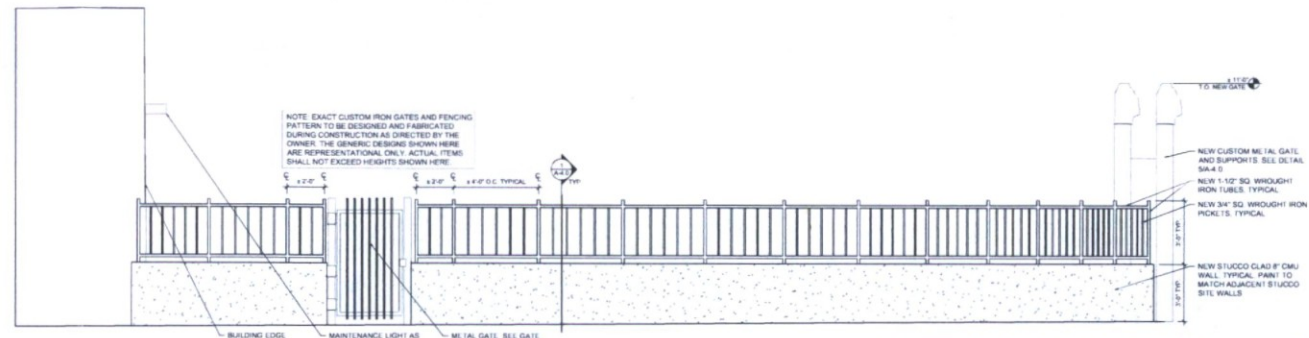


2-31-19



EXTERIOR ELEV. - NORTH
1/4"=1'-0"

1



EXTERIOR ELEV. - EAST
1/4"=1'-0"

2

NOTE: ALL STUCCO AND WROUGHT IRON FENCING TO BE PAINTED TO MATCH EXISTING EXTERIOR COLOR. GENERAL CONTRACTOR TO PROVIDE DRAWDOWNS FOR OWNER REVIEW AND APPROVAL. PAINT TO BE DUNN EDWARDS, NATURAL BRIDGE DE6194, EVERSHIELD 100% ACRYLIC, (LRV 24) OR EQUAL.

NOTE: EACH CUSTOM METAL GATE SHALL MEET ALL REQUIREMENTS AS STATED IN SECTION 1008 OF THE 2012 IBC. ALL GATES SHALL RECEIVE ADA COMPLIANT FINISH HARDWARE PER SECTION 1061.1.5 OF THE 2012 IBC. ALL GATES SHALL SWING OUT AS SHOWN.

NOTE: EXACT CUSTOM IRON GATES AND FENCING PATTERN TO BE DESIGNED AND FABRICATED DURING CONSTRUCTION AS DIRECTED BY THE OWNER. THE GENERIC DESIGN SHOWN HERE ARE REPRESENTATIONAL ONLY. ACTUAL ITEMS SHALL NOT EXCEED HEIGHTS SHOWN HERE.

- NOTE: (PERMANENT TO ALL IRON FINISHES)
1. ALL WELDS SHALL CONFORM (WELD ALL AROUND)
2. GRIND SMOOTH ALL WELDS, BURRS, ETC.
3. CLOSE ALL TUBES
4. PRIME AND PAINT TO MATCH PROJECT
5. TROWEL FINISH AND TOOL EDGES AT EXPOSED STUCCO

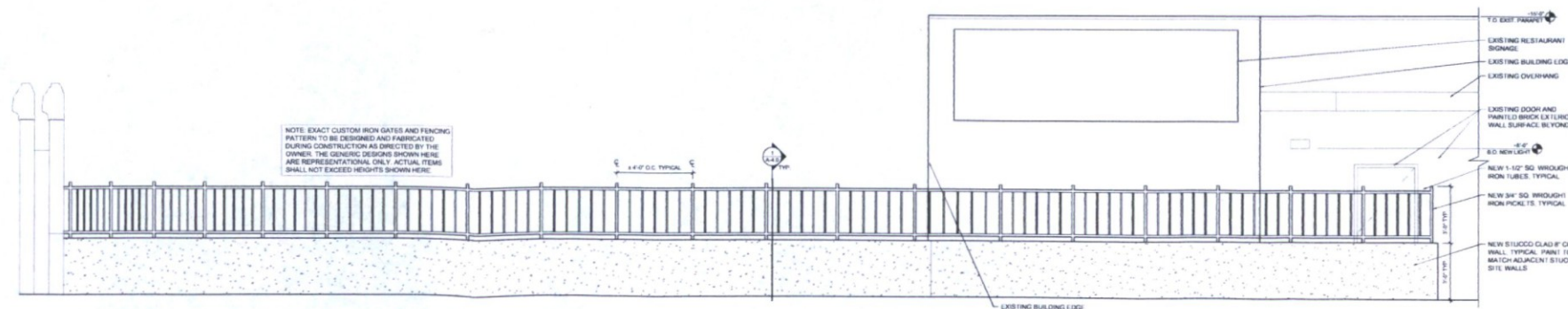
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EXT. ELEV. - SOUTHWEST
1/4"=1'-0"

EXT. ELEV. - SOUTHEAST
1/4"=1'-0"

3



EXTERIOR ELEV. - WEST
1/4"=1'-0"

5

BLK PATIO ADDITION
7301 E. BUTHERUS DRIVE
SCOTTSDALE, AZ 85024

EXTERIOR ELEVATIONS

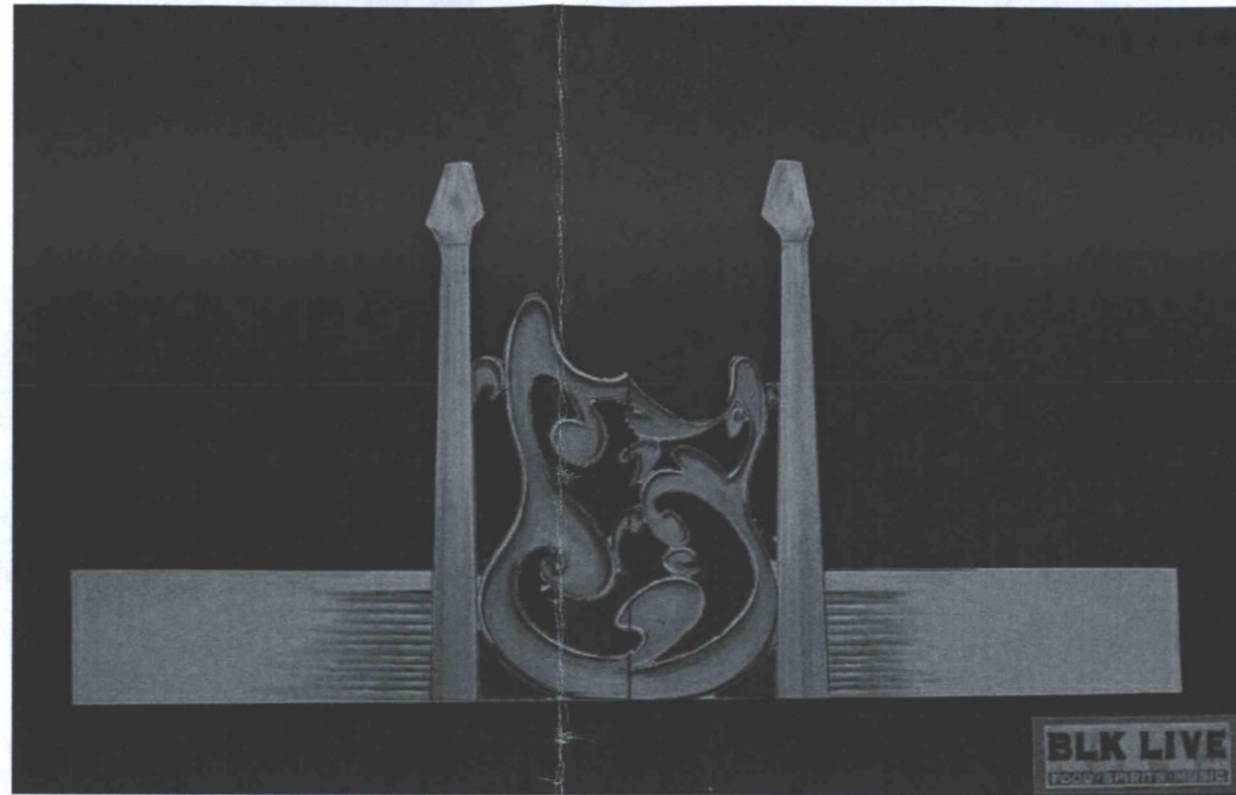
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JOB NO. 15-001

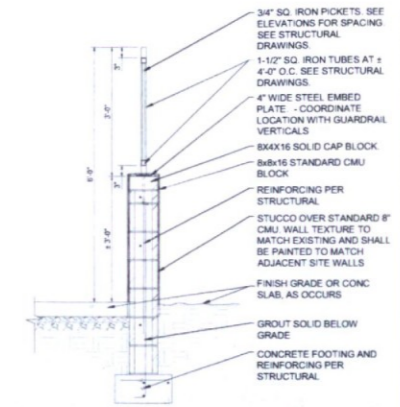
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REVISED:
1 CITY COMMENTS 4.3.17

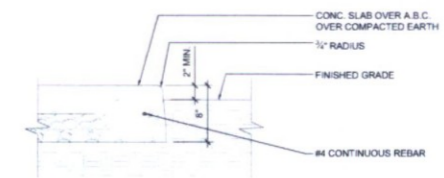
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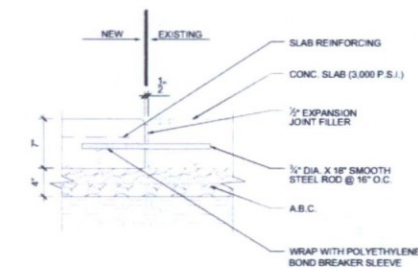
GATE CONCEPTUAL ELEV. 5
N.T.S.



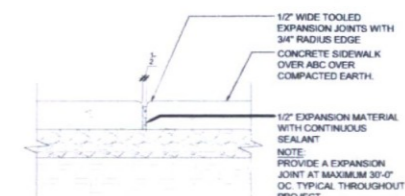
PERIMETER WALL SECTION 1
1/2"=1'-0"



CONCRETE TURNDOWN 2
1"=1'-0"



CONC. JOINT AT EXST. SLAB 3
1"=1'-0"



TYPICAL CONTROL JOINT 4
1"=1'-0"

EXTOLLO DESIGN
 2122 E. SESAME ST.
 TEMPE, AZ 85283
 480-888-6565



BLK PATIO ADDITION
 7301 E. BUTHERUS DRIVE
 SCOTTSDALE, AZ 85024

SECTIONS AND DETAILS

DRAWN: JTP

JOB NO. 15-001

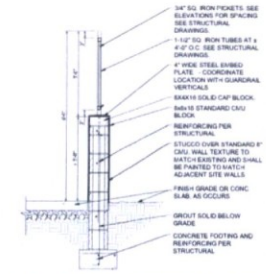
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REVISED:

A-4.0



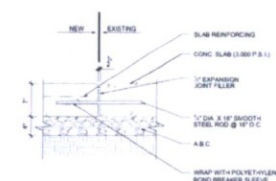
GATE CONCEPTUAL ELEV. 5



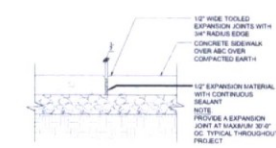
PERIMETER WALL SECTION 1



CONCRETE TURNDOWN 2



CONC. JOINT AT EXST. SLAB 3



TYPICAL CONTROL JOINT 4

EXTOLLO DESIGN
2122 E. SESAME ST.
TEMPE, AZ 85283
480-888-6565



BLK PATIO ADDITION
7301 E. RUTHERFORD DRIVE
SCOTTSDALE, AZ 85024

SECTIONS AND DETAILS

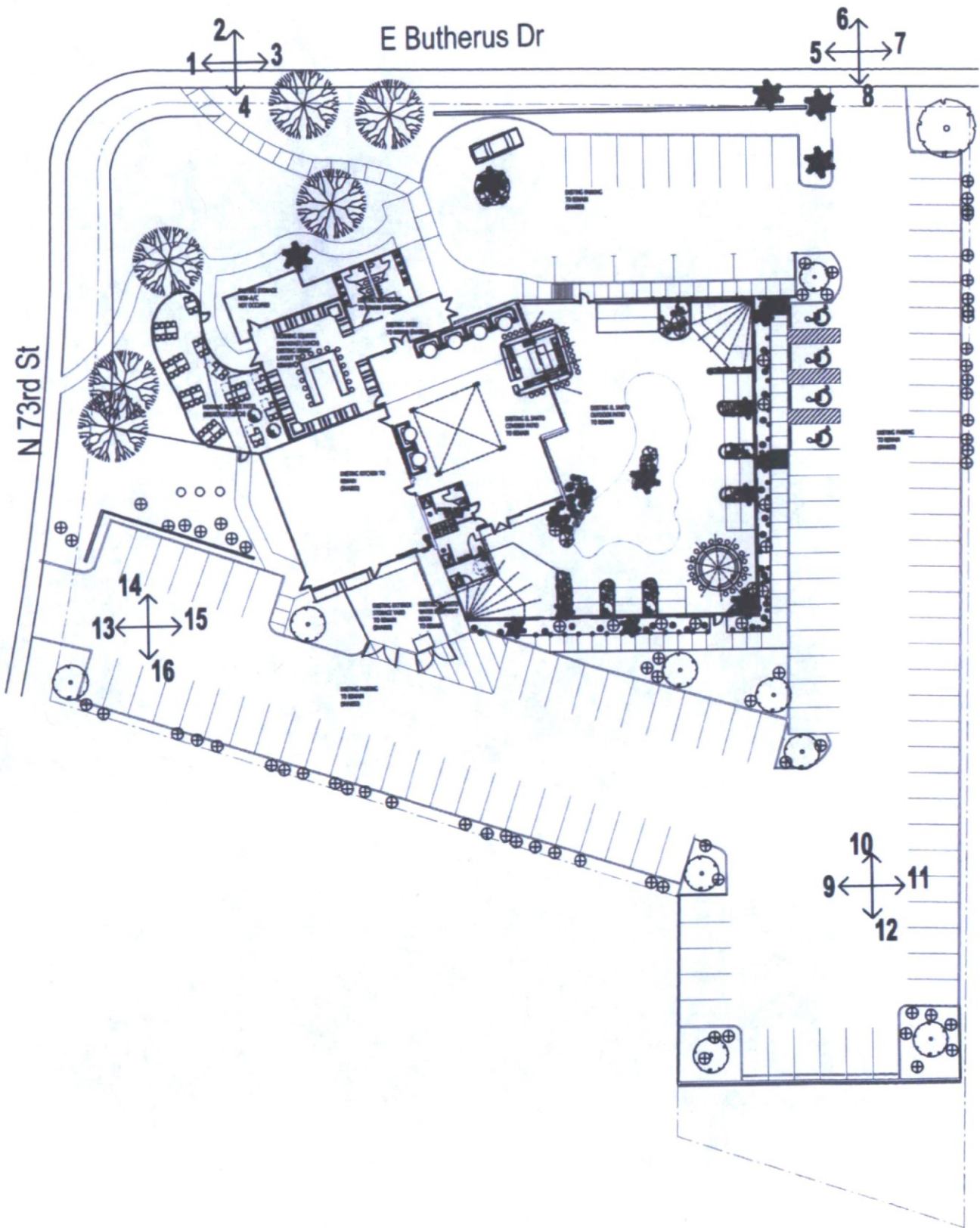
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JOB NO: 15-001

DATE: 12.9.16

REVISED:

A-4.0



13-UP-2018
7/20/2018



1



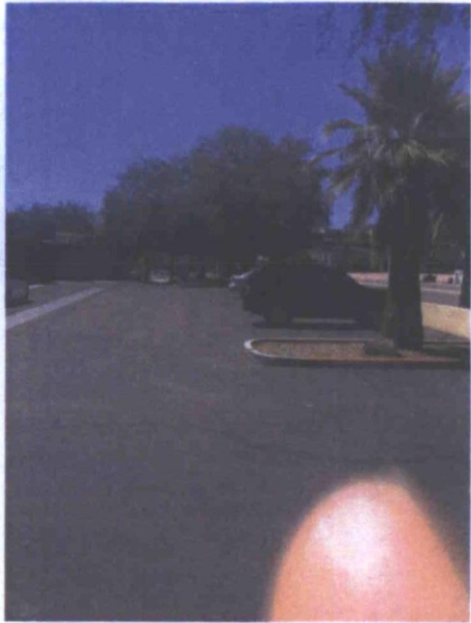
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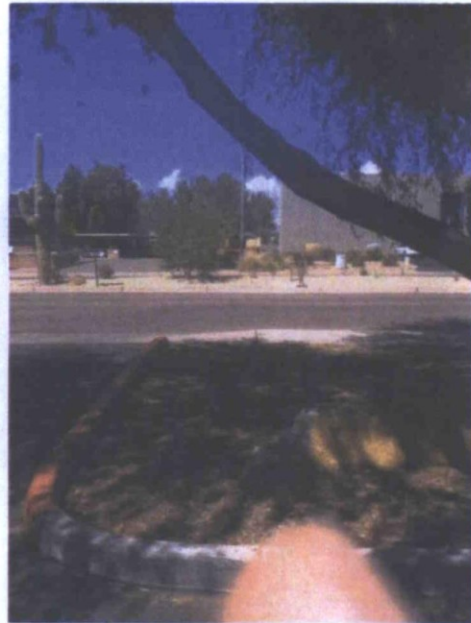
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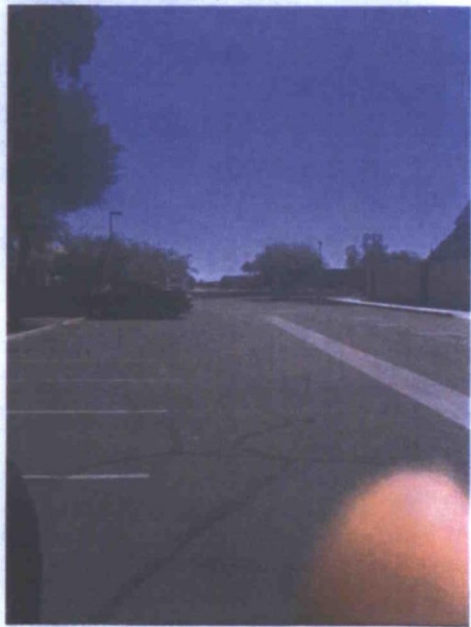
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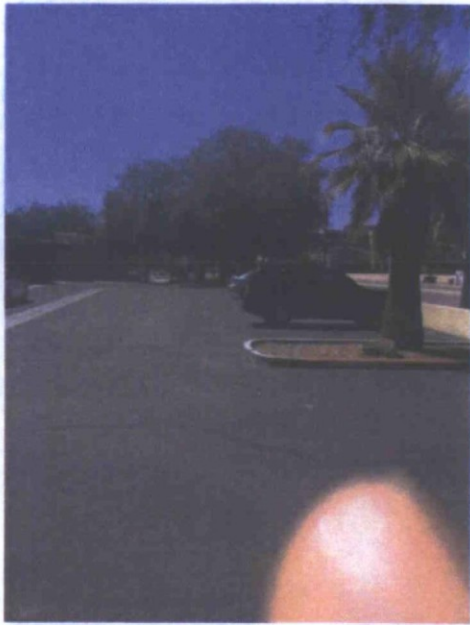
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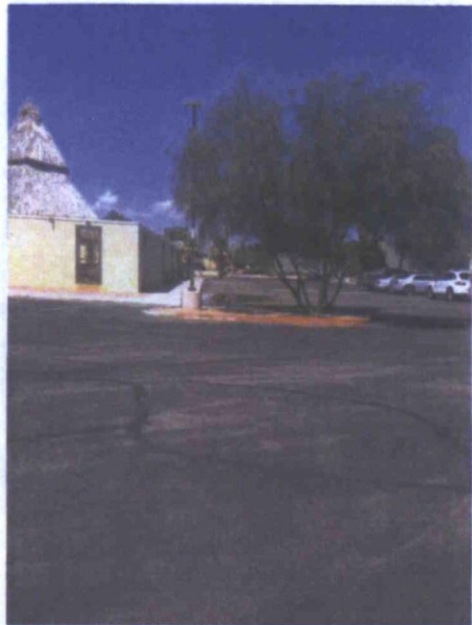
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8



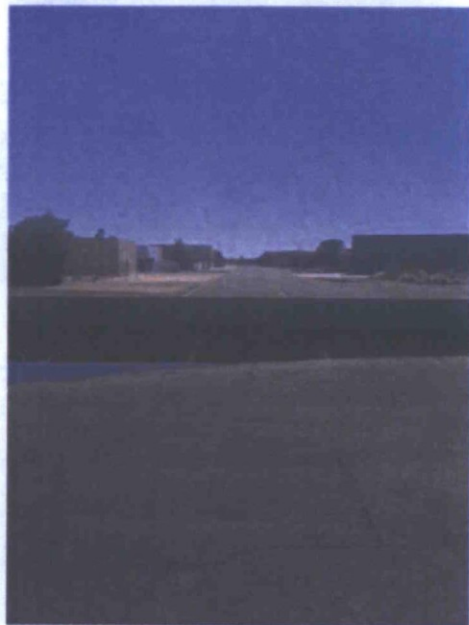
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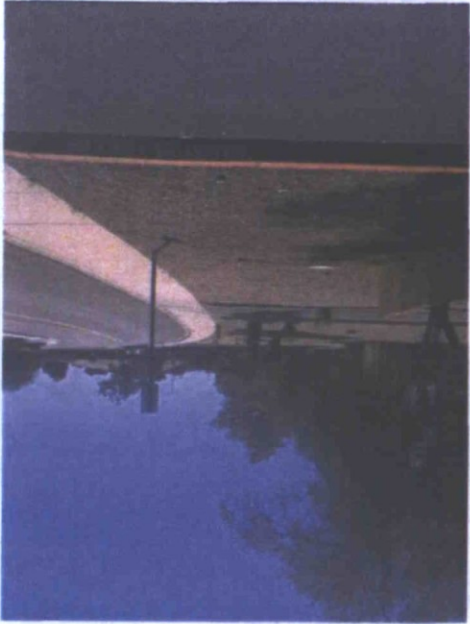


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12

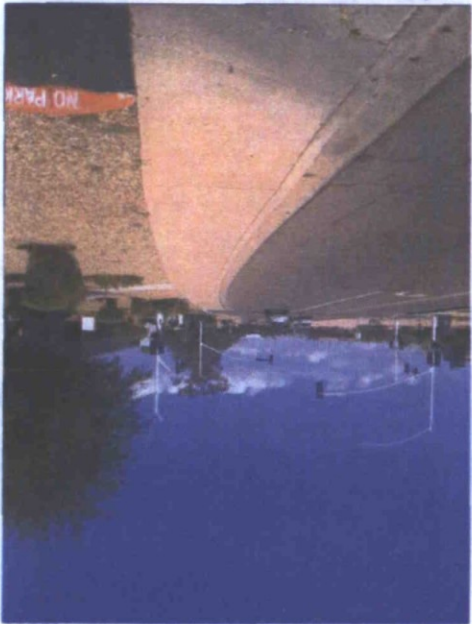
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51



14



13

