



Full Size or Largest Size Plans

Site Plan

Landscape Plan

Elevations

**PROJECT DATA:**

PROJECT ADDRESS: 15822 N 77TH STREET  
SCOTTSDALE, AZ, 85260

OWNER: EVANS FAMILY REAL ESTATE HOLDINGS, LLC  
6011 EAST THUNDERBIRD ROAD  
SCOTTSDALE, ARIZONA 85254

DEVELOPER: LGE DESIGN BUILD  
740 NORTH 52ND STREET  
PHOENIX, AZ, 85008

ARCHITECT: BEN McRAE  
LGE DESIGN GROUP  
740 NORTH 52ND STREET  
PHOENIX, AZ, 85008  
PHONE: 480-966-4001  
E-MAIL: benm@lgedesigngroup.com

PROJECT SCOPE: OFFICE / WAREHOUSE  
ASSESSOR PARCEL NO.: 215-47-061  
CURRENT ZONING: I-1  
SITE AREA: 45,568 S.F. (1.05 ACRES)  
F.A.R.: 0.34 (MAX 0.80)  
STORIES: SINGLE STORY  
BUILDING AREA (GROSS): 15,699 S.F.  
OCCUPANCY: B/S-1  
CONSTRUCTION TYPE: V-B W/ A.F.E.S.  
SPRINKLERS: YES/FULLY SPRINKLED  
BUILDING HEIGHT: 33'-4"

VEHICULAR PARKING CALCS:  
PARKING REQUIRED

USE	SQUARE FT.	FACTOR	TOTAL
OFFICE	2,508 S.F.	1 / 300 S.F.	9 SPACES
WAREHOUSE	13,191 S.F.	1 / 800 S.F.	17 SPACES
TOTAL PARKING REQUIRED:			26 SPACES

PARKING PROVIDED  
TOTAL SPACES: 29 SPACES

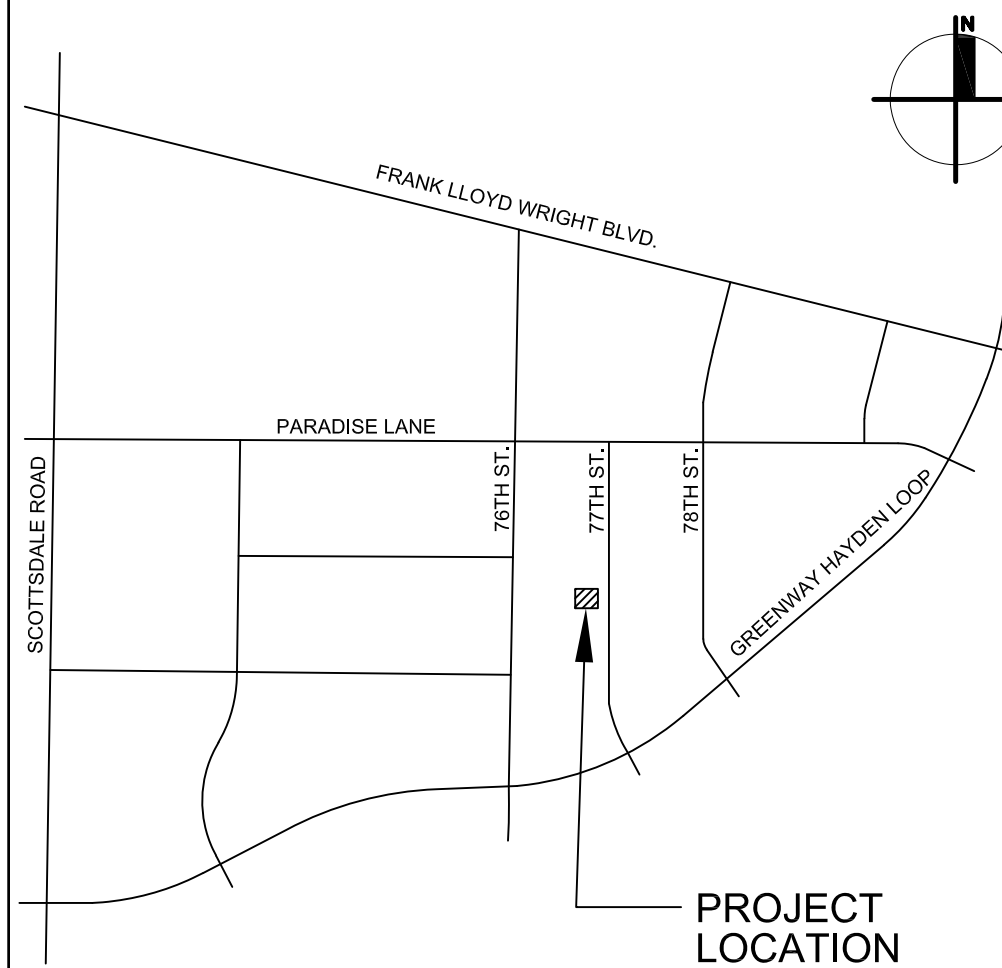
ACCESSIBLE PARKING CALCS:  
TOTAL PARKING OF 26 TO 50 SPACES REQUIRES 2 ACCESSIBLE SPACES  
REQUIRED: 2 SPACES  
PROVIDED: 2 SPACES

PARKING/BUILDING RATIO: 1.91 CARS PER 1,000 S.F.

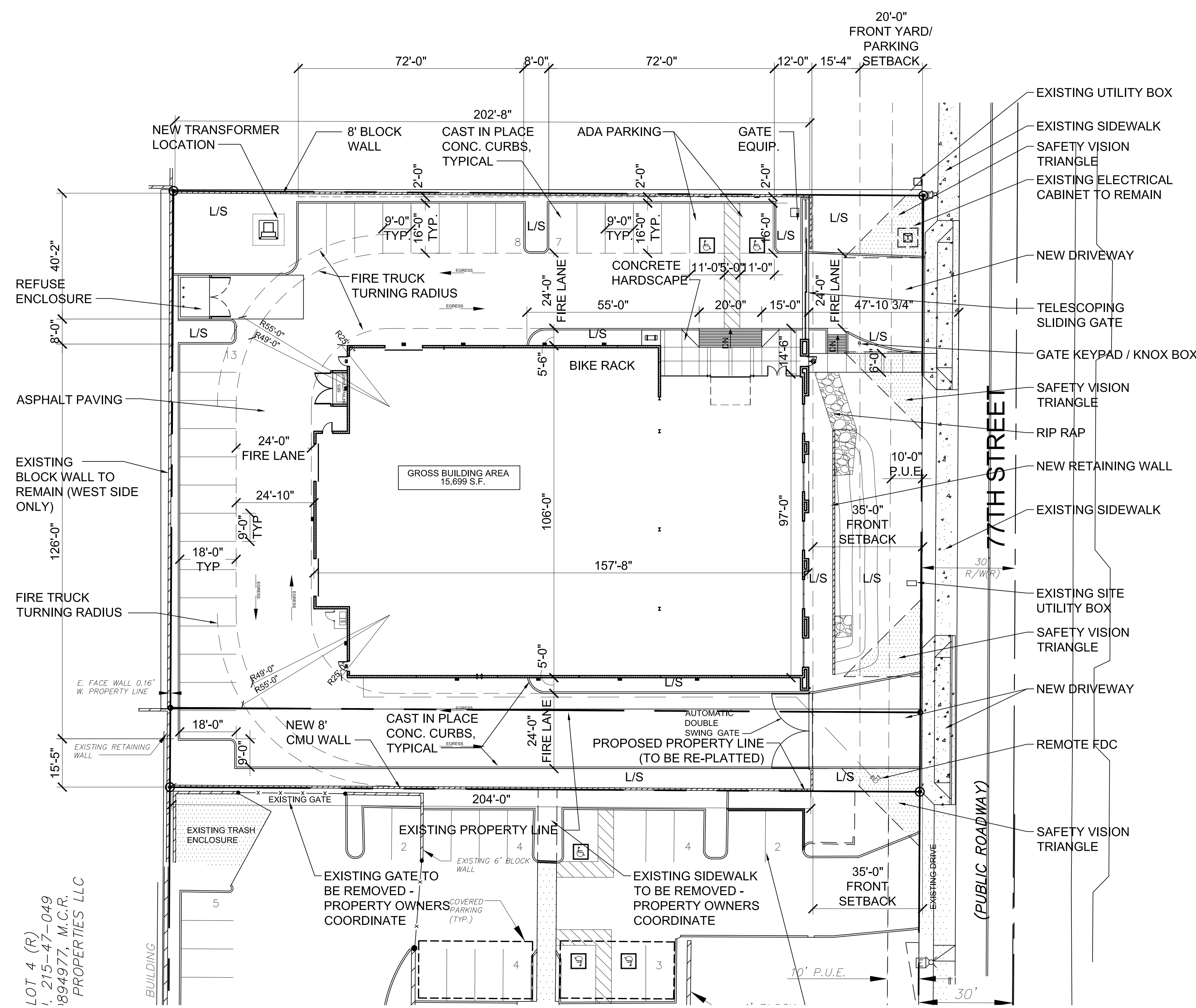
**PROJECT DESCRIPTION:**  
THIS PROJECT IS A NEW 15,699 SQUARE FOOT, 1-STORY OFFICE / WAREHOUSE BUILDING WITH SITE IMPROVEMENTS ON A 0.91 ACRE PARCEL.

**LEGAL DESCRIPTION:**  
LOT 16, NORTH SCOTTSDALE AIRPARK UNIT 5, ACCORDING TO THE PLAT RECORDED IN BOOK 388 OF MAPS, PAGE 25, RECORDS OF MARICOPA COUNTY, ARIZONA

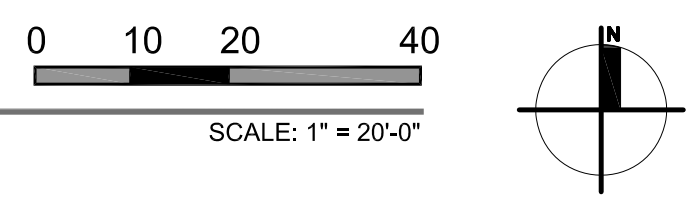
**VICINITY MAP:**



NOTE:  
ALL EXISTING SITE PARKING  
SCREEN WALLS ALONG 77TH  
STREET FRONTING THIS PARCEL  
WILL BE REMOVED



**SITE PLAN**



LOT 4 (R)  
I, 215-47-049  
1894977, M.C.R.  
PROPERTIES LLC

NUMBER	REVISION	DATE

SHEET TITLE: SITE PLAN  
ISSUE DATE: 09-10-2019  
DRAWN BY: JMO  
CHECKED BY: JMO  
PROJECT No.:  
SHEET:

**A1.1.1**

# LEGEND

- Property Corner (See Monument Table)
- Property Line
- Fnd Survey Monument (See Monument Table)
- (See Monument Table)
- Schedule "B" Item
- 24 inch Vertical Curb & Gutter
- 6 inch Concrete Curb
- Indicates Driveway (means of access)
- Concrete Surface
- Fence
- Wall
- Back Flow Preventer
- Electric Box
- Electric Cabinet
- Electric Transformer
- Guard Post or Gate Post
- Light Pole
- Metal Cover
- Metal Grate
- Sewer Clean Out
- Sewer Manhole
- Sprinkler Hook-Up (fire department)
- Telephone Riser
- Water Meter
- Gas Meter
- (R) See Reference Documents
- (M) Measured
- Physical Access To & From Adjoining Property
- P.U.E. Public Utility Easement

LINE	BEARING	DISTANCE
L1	S 89°39'31" E	30.00'
L2	S 89°38'56" E	30.24'

MONUMENT TABLE	
①	CEN. OF SEC. 2 - FND BRASS CAP IN HANDHOLE
②	FND BRASS CAP FLUSH
③	W. 1/4 COR. SEC. 2 - FND BRASS CAP IN HANDHOLE
④	NO MONUMENT FND OR SET - CALC'D POSITION PER (R)
⑤	FND 1/2" REBAR W/CAP L.S. 19857 PER (R)
⑥	FND 1/2" REBAR W/CAP L.S. 53160 PER (R6)
⑦	FND EPOXIED TAG L.S. 53160 ON TOP OF WALL PER (R6)

## SITE INFORMATION

ADDRESS: 15790, 15836 & 15882 N. 77th STREET, SCOTTSDALE, ARIZONA

A.P.N.: 215-47-061, 215-47-062, 215-47-063

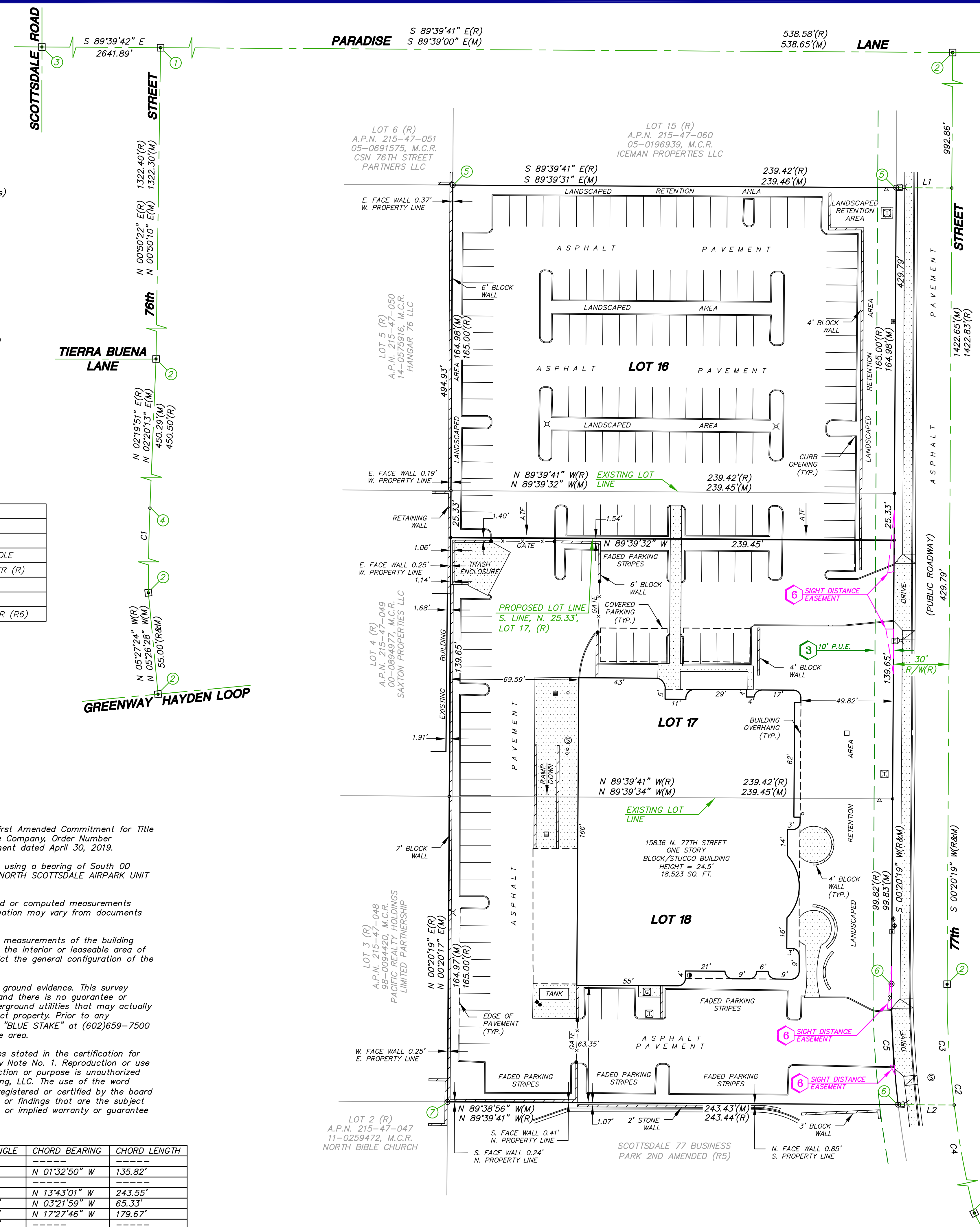
LAND AREA:  
2.723 ACRES - 118,604 SQ. FT.

STRIPED PARKING SPACE TABULATION:  
Regular: 162  
Disabled: 0  
Total: 162

## SURVEY NOTES

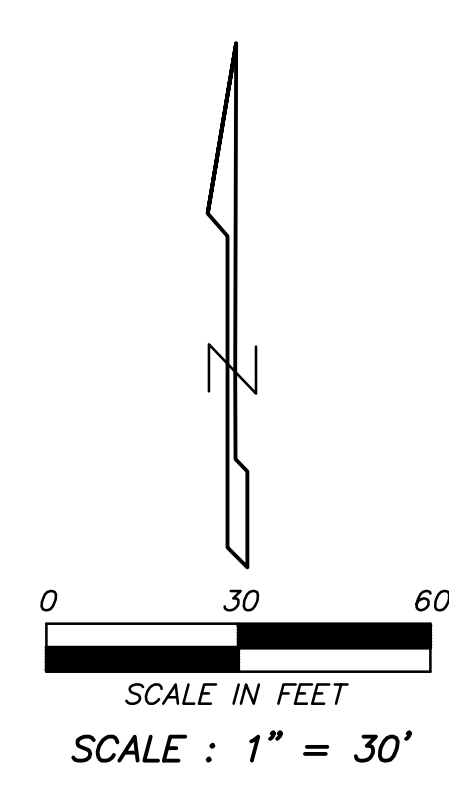
- This survey and the description used are based on a First Amended Commitment for Title Insurance issued by Commonwealth Land Title Insurance Company, Order Number 19000266-040-KG-RLC, dated April 22, 2019, Amendment dated April 30, 2019.
- BASIS OF BEARING:** The monument line of 77th Street, using a bearing of South 00 degrees 20 minutes 19 seconds West, per the Plat of NORTH SCOTTSDALE AIRPARK UNIT 5, recorded in Book 388, Page 25, M.C.R.
- The bearings and distances depicted indicate actual field or computed measurements performed during the course of this survey. This information may vary from documents of record used for this survey.
- The building square footage shown is based on exterior measurements of the building footprint at ground level and is not intended to reflect the interior or leaseable area of any building. The building footprint and dimensions depict the general configuration of the building(s).
- The utility information shown is limited to visible above ground evidence. This survey makes no attempt to depict any underground utilities and there is no guarantee or warranty to the exact location or presence of any underground utilities that may actually exist adjacent to or within the boundaries of the subject property. Prior to any excavation please call an underground utility locator or "BLUE STAKE" at (602)659-7500 for the precise location and extent of all utilities in the area.
- This Survey has been prepared exclusively for the parties stated in the certification for use in conjunction with the escrow referenced in Survey Note No. 1. Reproduction or use of this survey by any other party for any other transaction or purpose is unauthorized without written authorization from Alliance Land Surveying, LLC. The use of the word "certify" or "certification" by a person or firm that is registered or certified by the board is an expression of professional opinion regarding facts or findings that are the subject of the certification and does not constitute an express or implied warranty or guarantee (A.R.S. 32-151).

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1(R)	1000.00'	135.92'	07°47'15"		
C1(M)	1000.00'	135.92'	07°47'16"	N 01°32'50" W	135.82'
C2(R)	500.00'	245.99'	28°11'17"		
C2(M)	500.00'	246.03'	28°11'33"	N 13°43'01" W	243.55'
C3	500.00'	65.38'	07°29'30"	N 03°21'59" W	65.33'
C4	500.00'	180.65'	20°42'03"	N 17°27'46" W	179.67'
C5(R)	530.00'	65.34'	07°03'50"		
C5(M)	530.00'	65.35'	07°03'53"	N 03°09'19" W	65.31'



# ALTA / N.S.P.S. LAND TITLE SURVEY

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



## PARCEL DESCRIPTION

Lots 16, 17 and 18, NORTH SCOTTSDALE AIRPARK UNIT 5, according to the plat recorded in Book 388 of Maps, page 25, records of Maricopa County, Arizona.

## SCHEDULE "B" ITEMS

- Easements, covenants, conditions and restrictions as set forth on the recorded plat of NORTH SCOTTSDALE AIRPARK UNIT 5, recorded December 19, 1994 in Book 388 of Maps, page 25. (PLOTTABLE MATTERS SHOWN HEREON)
- Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document Recorded: January 11, 1995 in Recording No. 95-0016136 (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)
- Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Arizona Public Service Company  
Purpose: electric lines and appurtenant facilities  
Recording Date: May 16, 1996  
Recording No: 96-339327 (DOES NOT AFFECT SUBJECT PROPERTY - AFFECTS LOT 32, BK. 388, PG. 25, M.C.R.)
- Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: City of Scottsdale  
Purpose: sight distance  
Recording Date: October 18, 1996  
Recording No: 96-0741904 (PLOTTABLE MATTERS SHOWN HEREON)
- Matters shown on the Record of Survey:  
Recorded: October 10, 2018 in Book 1417 of Maps, page 7 (DOCUMENT IS A RECORD OF SURVEY AND DOES NOT CREATE ANY PLOTTABLE EASEMENTS OVER THE SUBJECT PROPERTY)

## REFERENCE DOCUMENTS

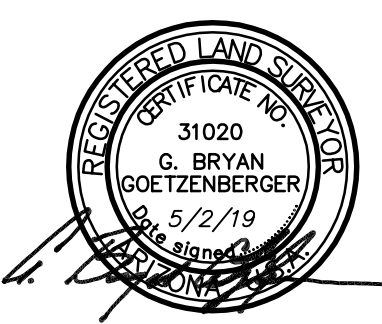
- (R) PLAT PER BOOK 388, PAGE 25, M.C.R.
- (R1) R.O.S. PER BOOK 1212, PAGE 4, M.C.R.
- (R2) R.O.S. PER BOOK 852, PAGE 16, M.C.R.
- (R3) R.O.S. PER BOOK 1031, PAGE 50, M.C.R.
- (R4) R.O.S. PER BOOK 1070, PAGE 32, M.C.R.
- (R5) PLAT PER BOOK 444, PAGE 22, M.C.R.
- (R6) R.O.S. PER BOOK 1417, PAGE 7, M.C.R.

## CERTIFICATION

TO:  
City of Scottsdale; Tranquil, LLC, a Delaware limited liability company, and Commonwealth Land Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 4, 7(a), 7(b)(1), 7(c), 8, 9, 13, and 14 of Table A thereof. The fieldwork was completed on April 30, 2019.

May 2, 2019  
G. Bryan Goetzenberger  
R.L.S. 31020



15790, 15836 & 15882 N.  
77th STREET, SCOTTSDALE, ARIZONA

**ALLIANCE**  
LAND SURVEYING LLC

7900 N. 70th AVENUE, SUITE 104  
GLENDALE, AZ 85303  
Phone: (623) 972-2200  
contact@alliancelandsurveying.com  
www.alliancelandsurveying.com

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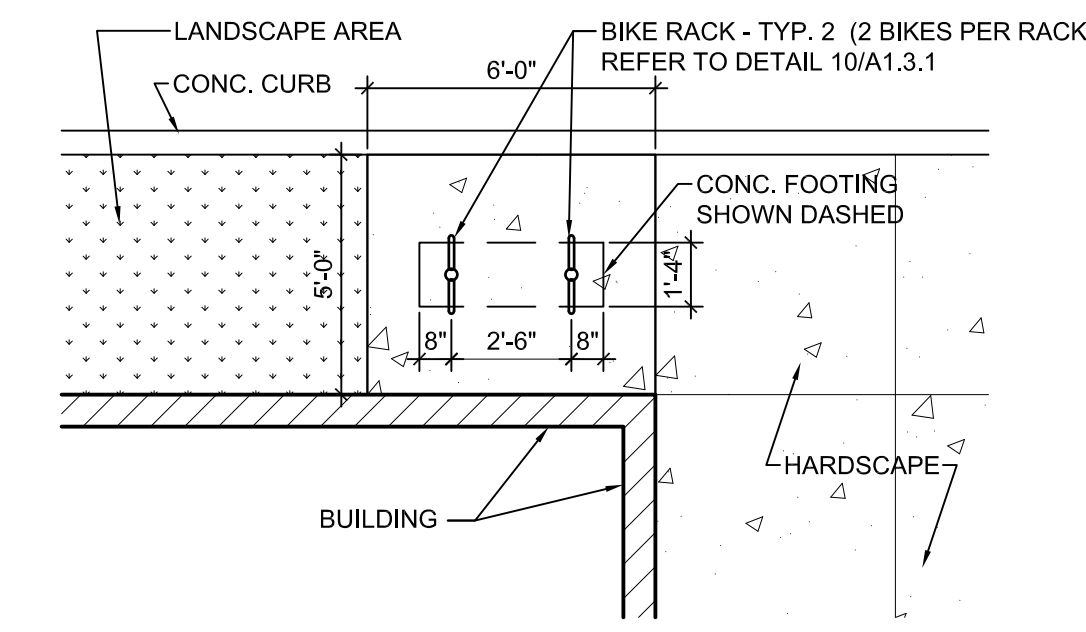
NOTES:  
 1. AT THE BEGINNING AND END OF THE FIRE LANE, THE SIGN SHALL HAVE A SINGLE HEADED ARROW POINTING IN THE DIRECTION THE REGULATION IS IN EFFECT. THE INTERMEDIATE SIGNS SHALL HAVE DOUBLE HEADED ARROWS POINTING IN BOTH DIRECTIONS.  
 2. THE MAXIMUM SPACING OF THE SIGNS SHALL BE 100', CONTINGENT UPON TRAFFIC ENGINEERING'S REVIEW AND APPROVAL.  
 3. THE SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° WITH THE CURB OR LINE OF TRAFFIC FLOW  
 4. THE CLEARANCE TO THE BOTTOM OF THE SIGN SHALL BE 7 FEET. THERE SHALL BE NO OTHER SIGNS ATTACHED TO THE SIGN OR THE SIGN POLE.  
 5. THE SIGN SUBSTRATE SHALL BE A MINIMUM OF 12" X 18" TREATED ALUMINUM WITH A THICKNESS OF 0.080".  
 6. THE SIGN FACE SHALL HAVE A WHITE, ASTM TYPE IV REFLECTIVE BACKGROUND WITH A RED SCREEN PRINTED OR TRANSLUCENT ACRYLIC EC OVERLAY FILM REFLECTIVE LEGEND. USE THE STANDARD SIGN FACE NUMBER R7-32 OR EQUIVALENT INCORPORATING ADDITIONAL INFORMATION TO COMPLETE THE SIGN AS SHOWN.

13 C.O.S. FIRE LANE SIGN

SCALE: 1 1/2" = 1'-0" (PER CITY OF SCOTTSDALE DETAIL 2365)

09 BICYCLE RACK PLAN

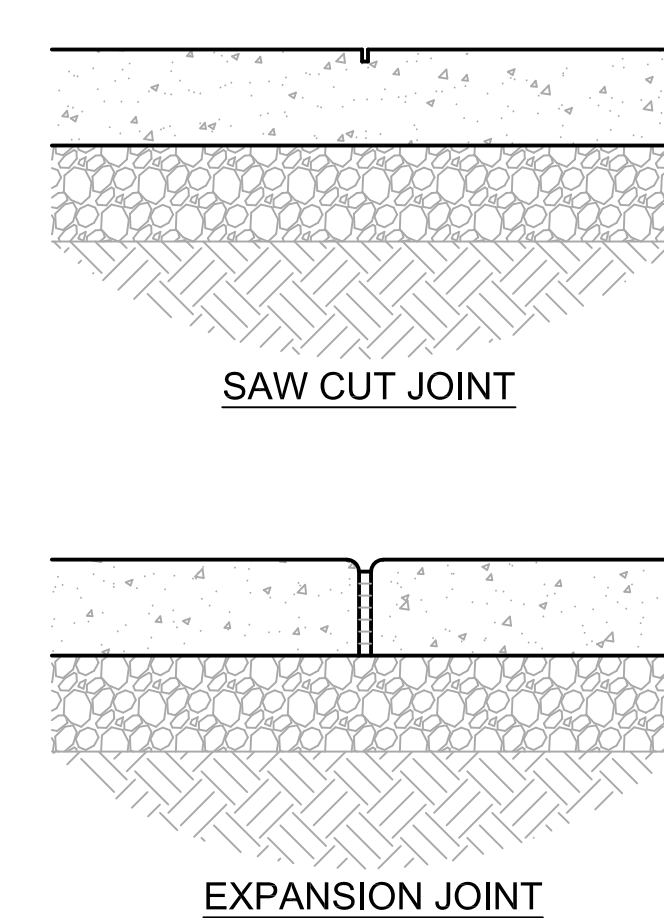
SCALE: 1/4" = 1'-0"



LANDSCAPE AREA  
 CONC. CURB  
 BIKE RACK - TYP. 2 (2 BIKES PER RACK) REFER TO DETAIL 10/A1.3.1  
 CONC. FOOTING SHOWN DASHED  
 BUILDING  
 HARDSCAPE

05 TYPICAL HARDSCAPE JOINTS

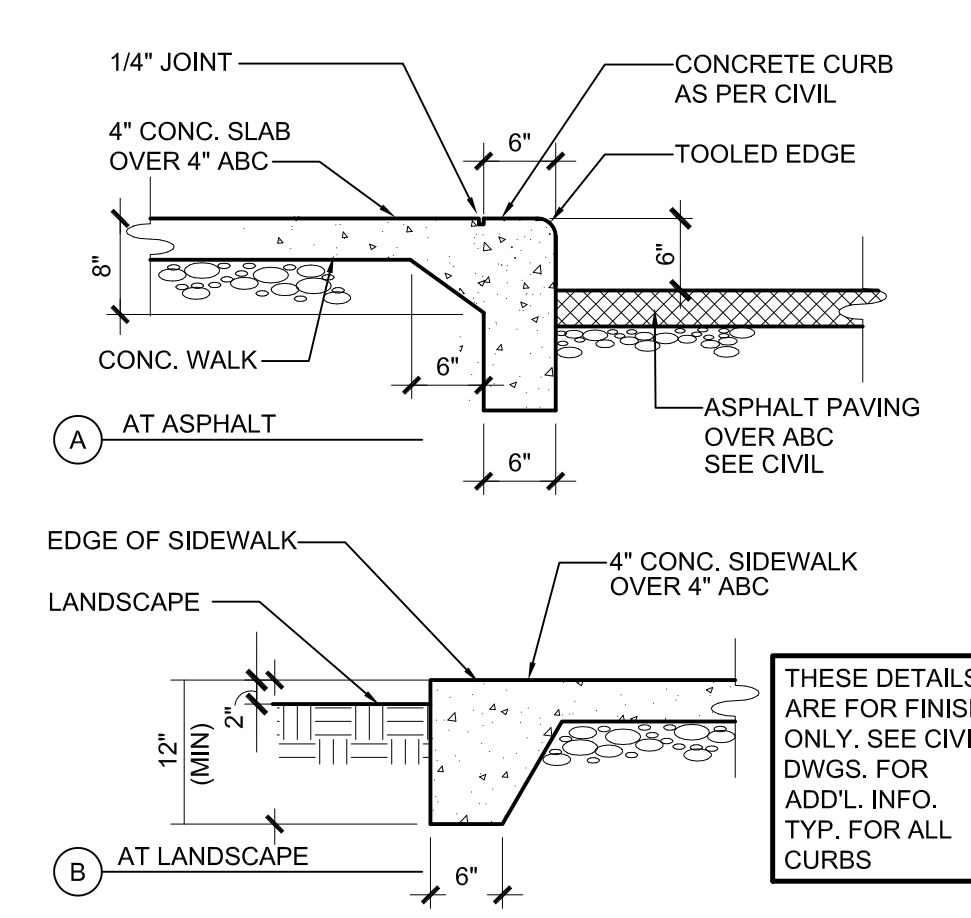
SCALE: 1 1/2" = 1'-0"



HARDSCAPE FINISH: CONCRETE WITH SALT FINISH U.N.O.  
 SAW CUT JOINTS: 1/4" WIDE X 3/8" DEEP SAWCUT CONTROL JOINTS EVERY 5-FEET O.C. EACH WAY U.N.O. TYPICAL.  
 EXPANSION JOINTS: 1/2" EXPANSION JOINT MATERIAL AND CAULKED AT 16-FEET O.C. MAX. EACH WAY U.N.O. TYPICAL.  
 SEE SITE/HARDSCAPE PLANS FOR ADD'L JOINT AND FINISH INFORMATION. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.

01 TYPICAL CURB @ SIDEWALK

SCALE: 3/4" = 1'-0"



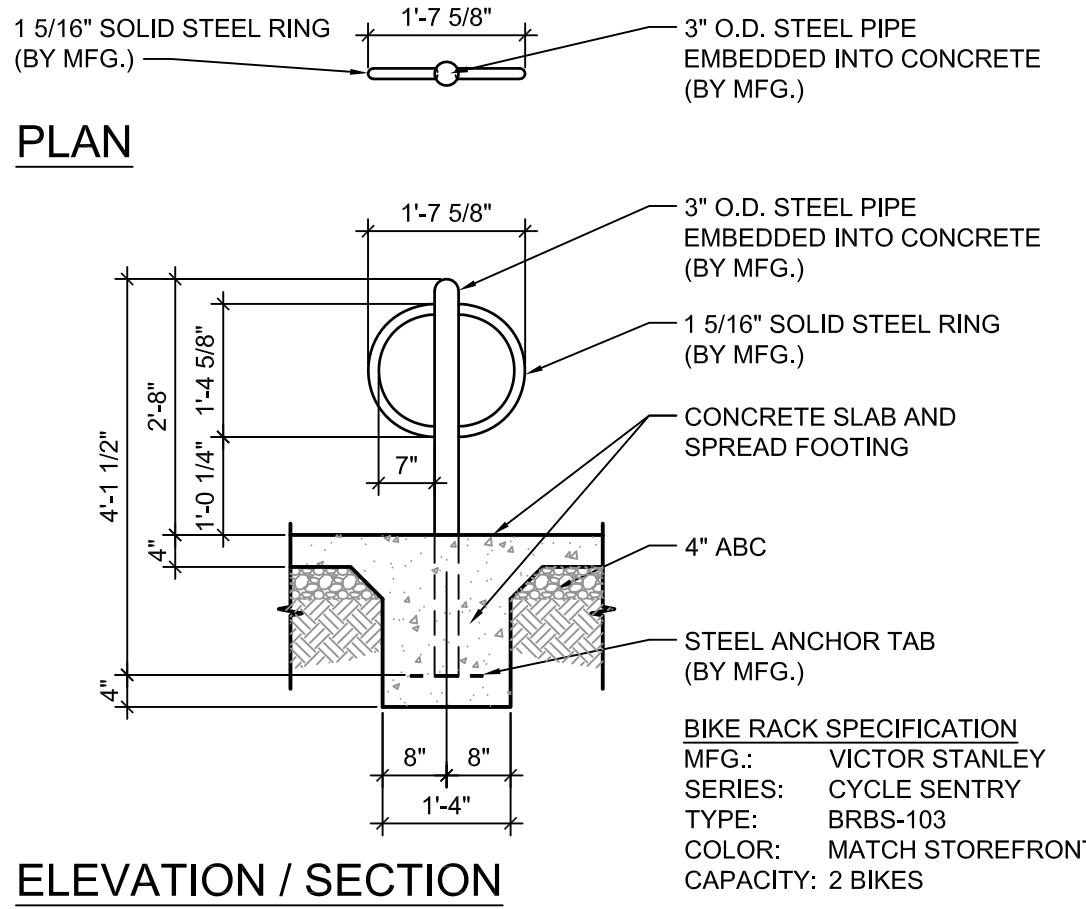
1/4" JOINT  
 4" CONC. SLAB OVER 4" ABC  
 6" TOOLED EDGE  
 CONC. WALK  
 6" ASPHALT PAVING OVER ABC SEE CIVIL  
 AT ASPHALT  
 EDGE OF SIDEWALK  
 LANDSCAPE  
 4" CONC. SIDEWALK OVER 4" ABC  
 AT LANDSCAPE  
 12" (MIN) RADIUS  
 THESE DETAILS ARE FOR FINISH ONLY. SEE CIVIL DWGS. FOR ADD'L INFO. TYP. FOR ALL CURBS

18

14

10 BIKE RACK

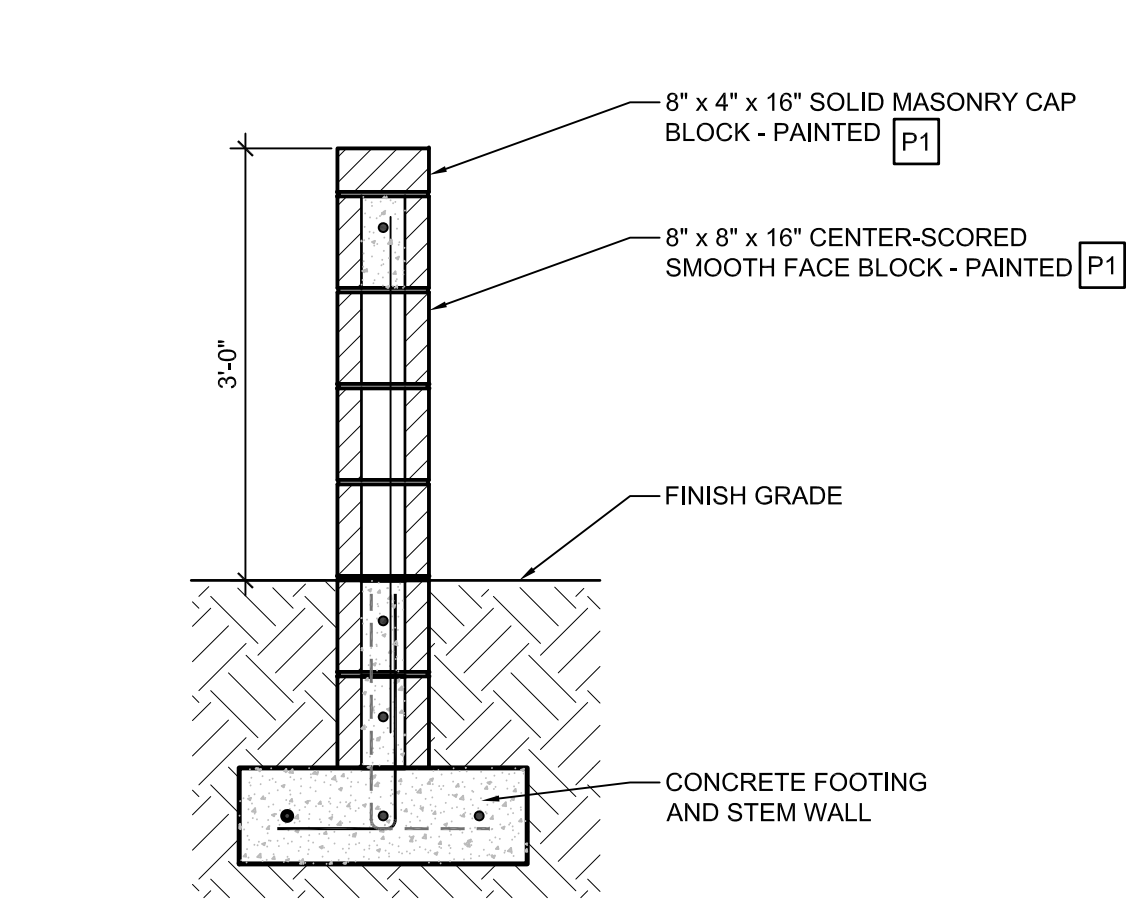
SCALE: 1/2" = 1'-0"



1 5/16" SOLID STEEL RING (BY MFG.)  
 1-7 5/8"  
 3" O.D. STEEL PIPE EMBEDDED INTO CONCRETE (BY MFG.)  
 PLAN  
 1-7 5/8"  
 3" O.D. STEEL PIPE EMBEDDED INTO CONCRETE (BY MFG.)  
 1 5/16" SOLID STEEL RING (BY MFG.)  
 2'-5"  
 1-0 1/4"  
 1-4 5/8"  
 7"  
 4'-1 1/2"  
 4"  
 8"  
 8"  
 1'-4"  
 CONCRETE SLAB AND SPREAD FOOTING  
 4" ABC  
 STEEL ANCHOR TAB (BY MFG.)  
 BIKE RACK SPECIFICATION  
 MFG.: VICTOR STANLEY  
 SERIES: CYCLE ENTRY  
 TYPE: BRBS-103  
 COLOR: MATCH STOREFRONT  
 CAPACITY: 2 BIKES

06 PARKING SCREEN WALL SECTION

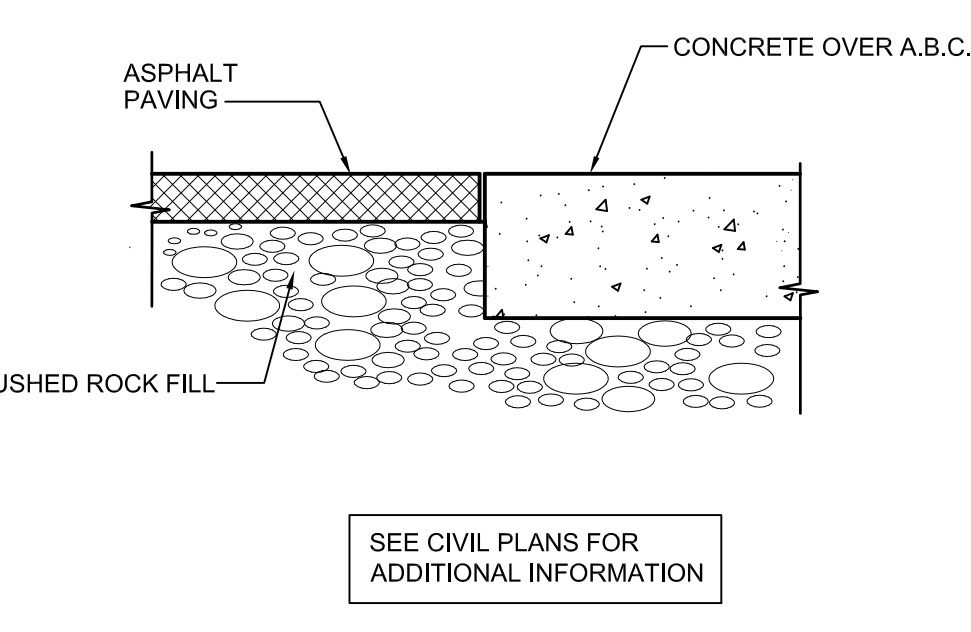
SCALE: 3/4" = 1'-0"



8" x 4" x 16" SOLID MASONRY CAP BLOCK - PAINTED [P1]  
 8" x 8" x 16" CENTER-SCORED SMOOTH FACE BLOCK - PAINTED [P1]  
 3'-0"  
 FINISH GRADE  
 CONCRETE FOOTING AND STEM WALL

02 CONC. TO ASPHALT

SCALE: 1 1/2" = 1'-0"



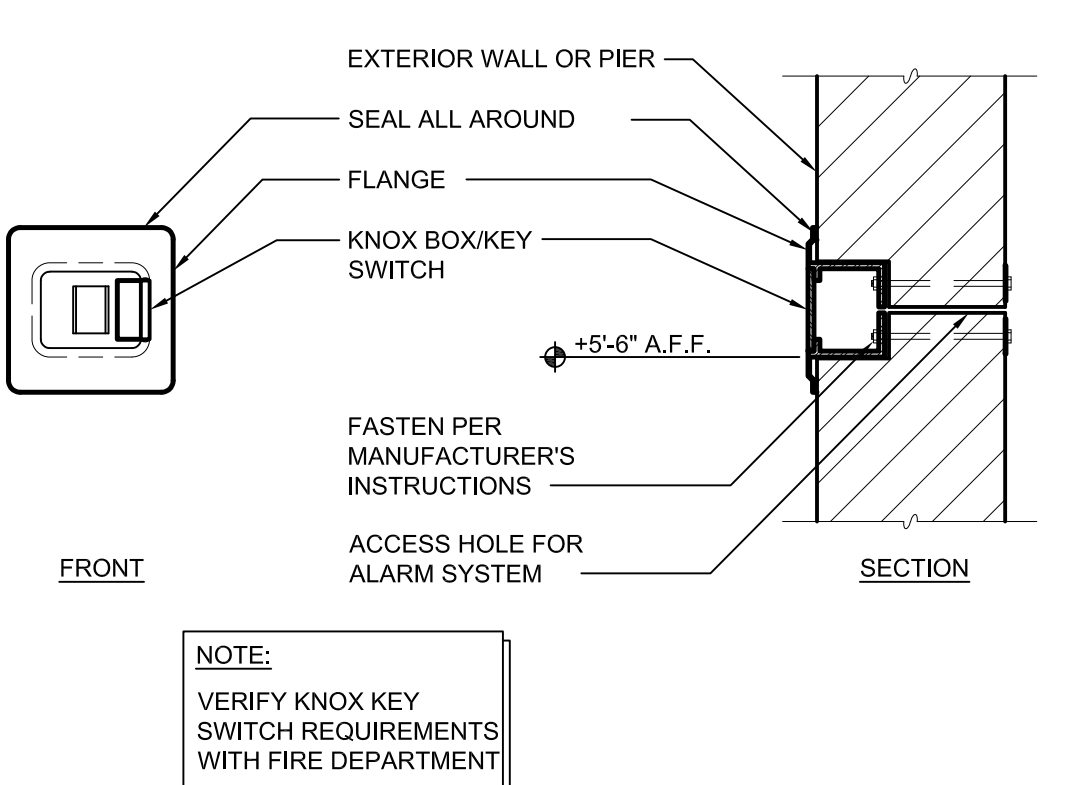
ASPHALT PAVING  
 CONCRETE OVER A.B.C.  
 CRUSHED ROCK FILL  
 SEE CIVIL PLANS FOR ADDITIONAL INFORMATION

19

15

11 KNOX BOX

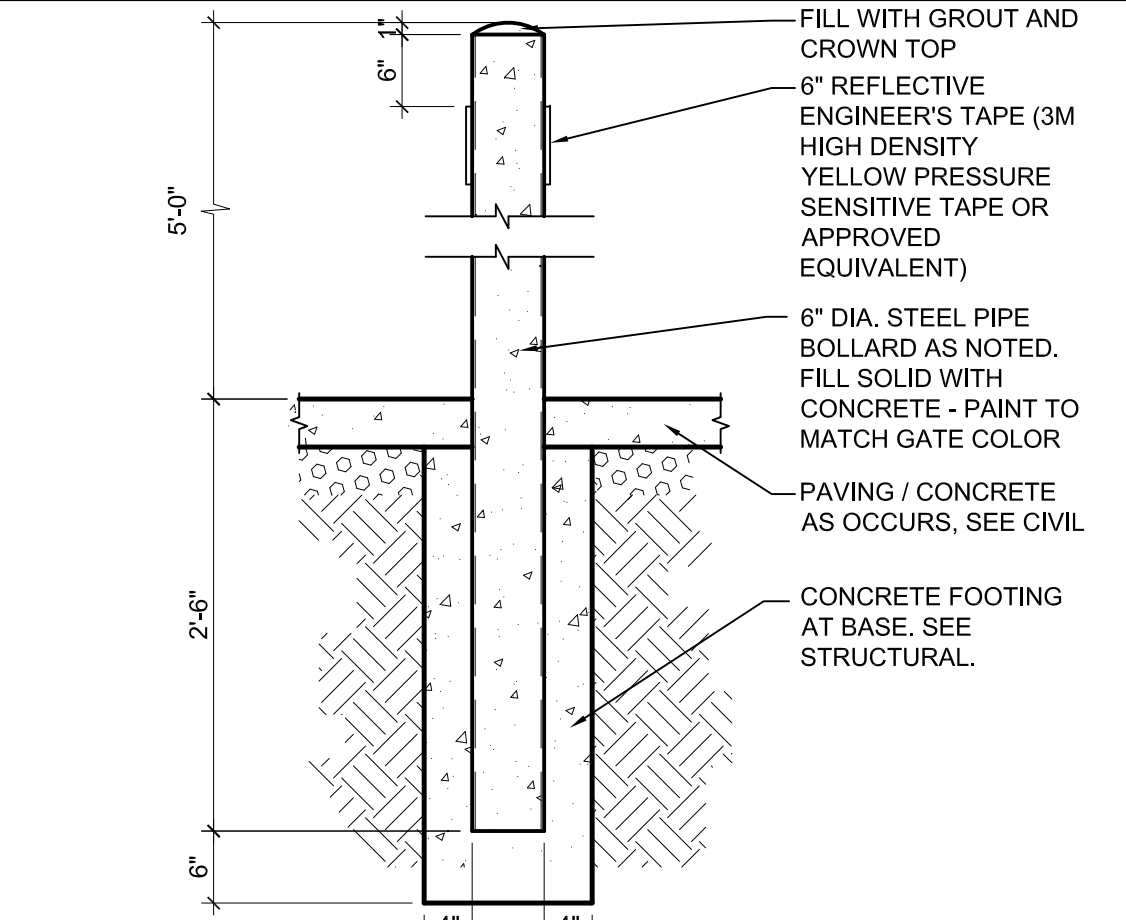
SCALE: 1 1/2" = 1'-0"



EXTERIOR WALL OR PIER  
 SEAL ALL AROUND  
 FLANGE  
 KNOX BOX/KEY SWITCH  
 FASTEN PER MANUFACTURER'S INSTRUCTIONS  
 ACCESS HOLE FOR ALARM SYSTEM  
 FRONT  
 SECTION  
 +5'-6" A.F.F.  
 NOTE:  
 VERIFY KNOX KEY SWITCH REQUIREMENTS WITH FIRE DEPARTMENT

07 PIPE BOLLARD DETAIL

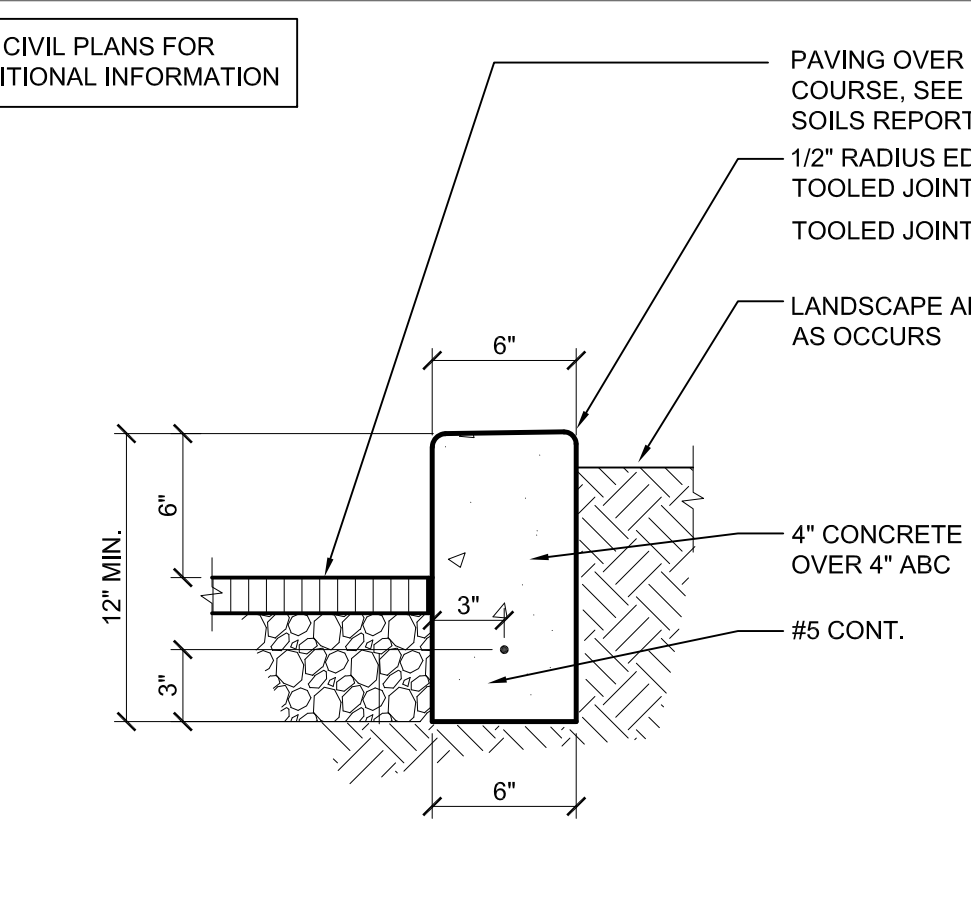
SCALE: 3/4" = 1'-0"



6" REFLECTIVE ENGINEER'S TAPE (3M HIGH DENSITY YELLOW PRESSURE SENSITIVE TAPE OR APPROVED EQUIVALENT)  
 6" DIA. STEEL PIPE BOLLARD AS NOTED. FILL SOLID WITH CONCRETE - PAINT TO MATCH GATE COLOR  
 PAVING / CONCRETE AS OCCURS. SEE CIVIL  
 5'-0"  
 2'-5"  
 6"  
 6"  
 4"  
 4"  
 CONCRETE FOOTING AT BASE. SEE STRUCTURAL.  
 NOTE: SEE ROOF & PLUMBING PLANS FOR MORE ROOF DRAIN AND OVERFLOW INFORMATION.

03 TYPICAL CAST-IN-PLACE CURB

SCALE: 1 1/2" = 1'-0"



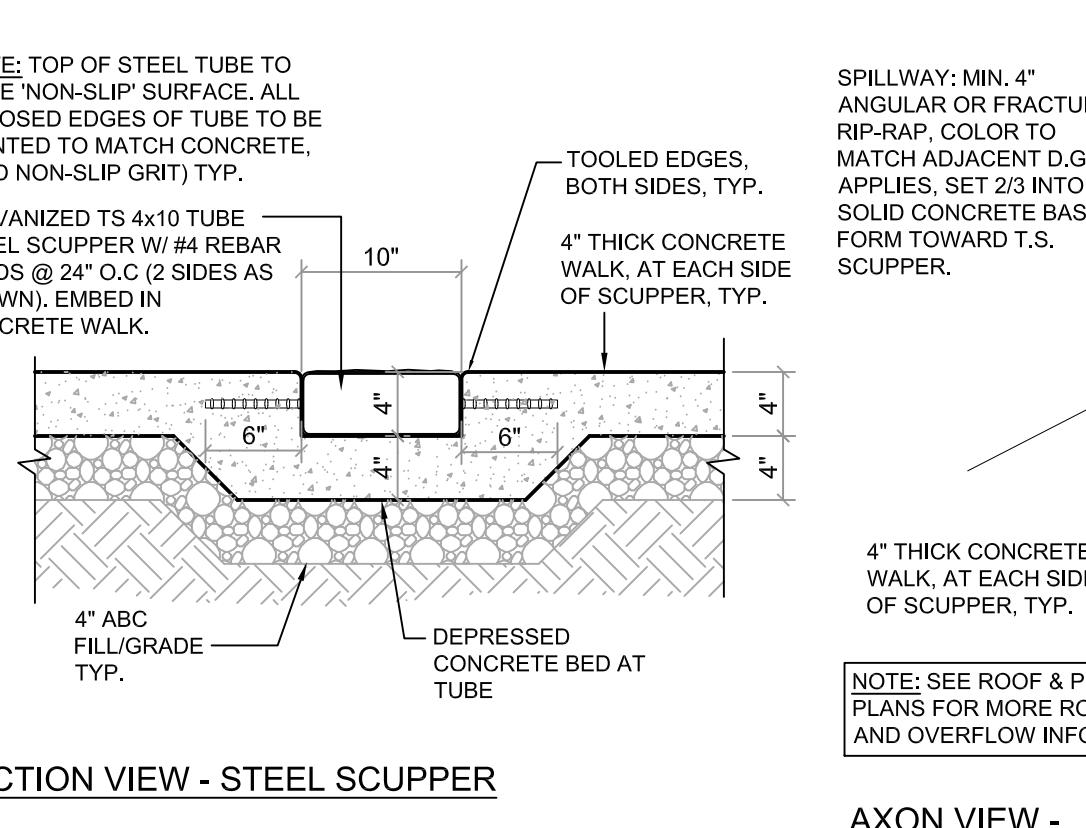
SEE CIVIL PLANS FOR ADDITIONAL INFORMATION  
 PAVING OVER BASE COURSE. SEE CIVIL SOILS REPORT  
 1/2" RADIUS EDGE TOOLED JOINT  
 TOOLED JOINT  
 LANDSCAPE AREA AS OCCURS  
 6"  
 4" CONCRETE OVER 4" ABC  
 #5 CONT.  
 12" MIN. RADIUS  
 6"  
 3"  
 6"  
 SEE CIVIL PLANS FOR ADDITIONAL INFORMATION

20

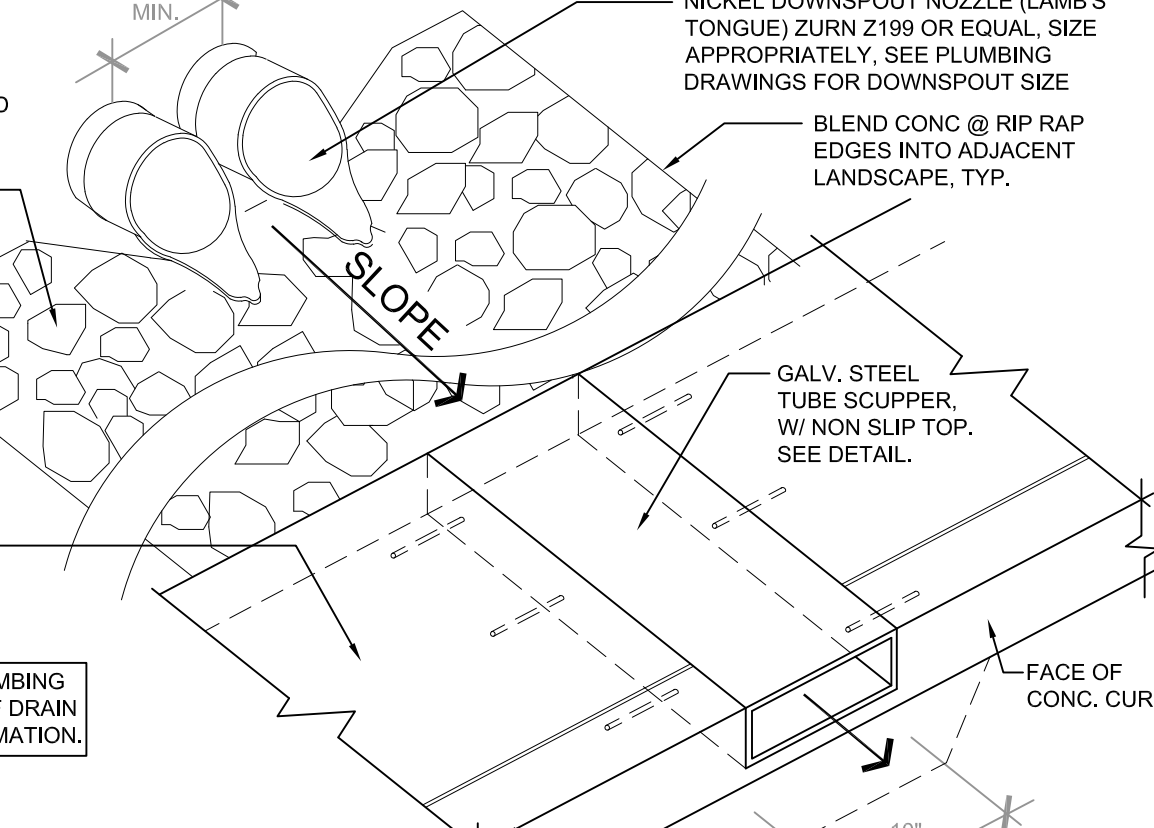
16

12 SCUPPER SPILLWAY @ SIDEWALK PASS THRU

SCALE: 1" = 1'-0"



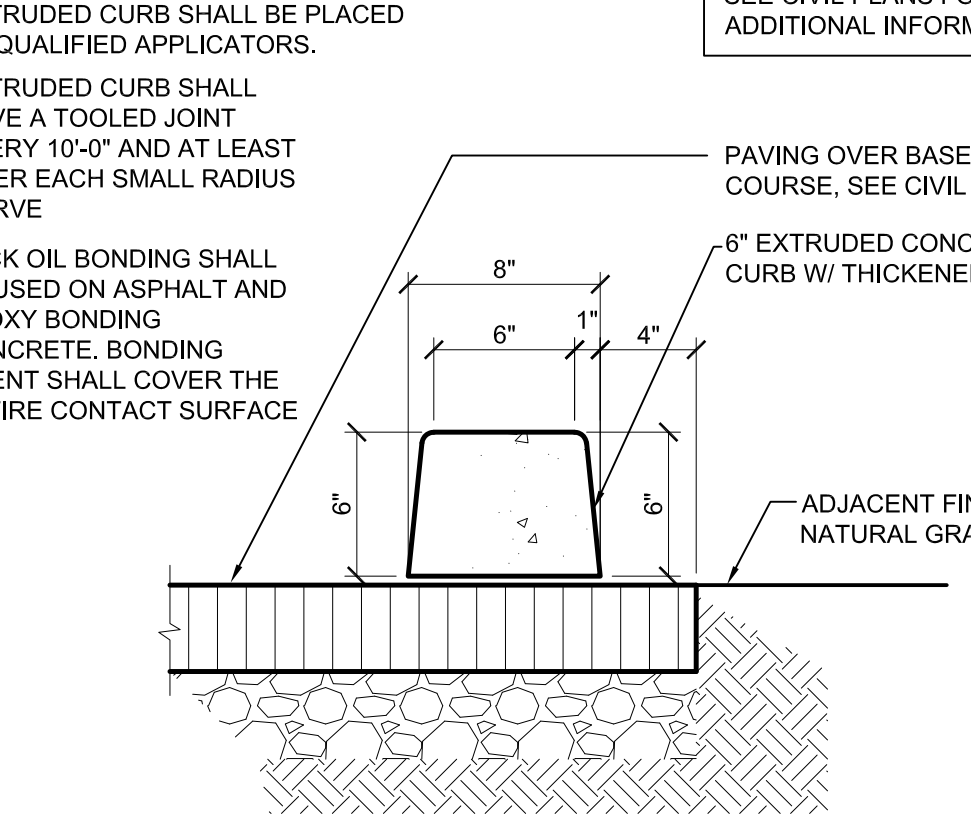
NOTE: TOP OF STEEL TUBE TO HAVE NON-SLIP SURFACE. ALL EXPOSED EDGES OF TUBE TO BE PAINTED TO MATCH CONCRETE. (ADD NON-SLIP GRIT) TYP.  
 GALVANIZED TS 4x10 TUBE STEEL SCUPPER W/ #4 REBAR STUDS @ 24" O.C. (2 SIDES AS SHOWN). EMBED IN CONCRETE WALK.  
 TOOLED EDGES, BOTH SIDES, TYP.  
 4" THICK CONCRETE WALK, AT EACH SIDE OF SCUPPER, TYP.  
 4" ABC FILL/GRADE TYP.  
 10"  
 6"  
 4"  
 4"  
 4"  
 4"  
 SECTION VIEW - STEEL SCUPPER



12" MIN. SLOPE  
 NICKEL DOWNSPOUT NOZZLE (LAMB'S TONGUE) ZURN 2199 OR EQUAL. SIZE APPROPRIATELY. SEE PLUMBING DRAWINGS FOR DOWNSPOUT SIZE  
 BLEND CONC @ RIP RAP EDGES INTO ADJACENT LANDSCAPE, TYP.  
 4" THICK CONCRETE WALK, AT EACH SIDE OF SCUPPER, TYP.  
 4" THICK CONCRETE BED AT TUBE  
 4" ABC FILL/GRADE TYP.  
 10"  
 6"  
 4"  
 4"  
 4"  
 4"  
 AXON VIEW - T.S. SCUPPER AT WALKWAY  
 NOTE: SEE ROOF & PLUMBING PLANS FOR MORE ROOF DRAIN AND OVERFLOW INFORMATION.

04 TYPICAL EXTRUDED CURB

SCALE: 1 1/2" = 1'-0"



SEE CIVIL PLANS FOR ADDITIONAL INFORMATION  
 PAVING OVER BASE COURSE. SEE CIVIL  
 6" EXTRUDED CONCRETE CURB W/ THICKENED BASE  
 4" CONCRETE OVER 4" ABC  
 #5 CONT.  
 12" MIN. RADIUS  
 6"  
 3"  
 6"  
 SEE CIVIL PLANS FOR ADDITIONAL INFORMATION

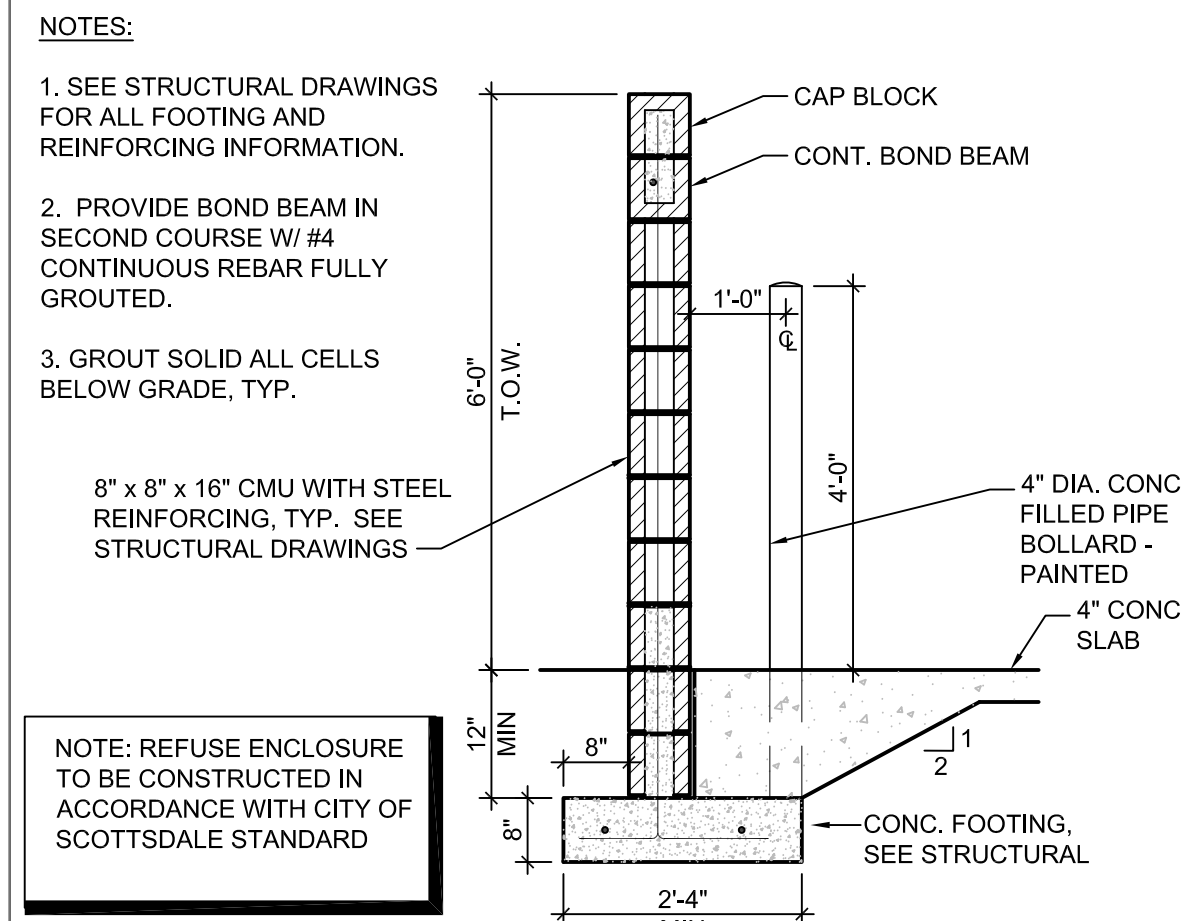
NOTE: POLES IN LANDSCAPE AREAS TO BE PLACED OUT OF 2'-0" CAR OVERHANG  
 PROVIDE WEATHER TIGHT POLE CAP PER MFR. SPECS.  
 LIGHT FIXTURE PER ELECTRICAL SITE PLAN  
 SEE SITE PLAN FOR DOUBLE LIGHT FIXTURE LOCATIONS  
 LIGHT POLE AND BASE CONNECTION PER FIXTURE MFR. - PAINTED [P4]  
 3" x 5" HANDHOLE W/ COVER  
 LIGHT POLE BASE COVER  
 NO SHRINK GROUT W/ BASE PLATE AND DOUBLE SETTING NUTS AND BOLTS PER ELEC.  
 1" CHAMFER AT BASE EDGES  
 P1  
 PAVING  
 ELEC. CONDUIT, SEE ELECTRICAL DWGS.  
 CONC. BASE PER STRUCTURAL DWGS.  
 2'-0" DIA. F.V. (MATCH EXISTING)

NUMBER	REVISION	DATE

SHEET TITLE:	A1.3.1
SITE DETAILS:	
ISSUE DATE:	09-10-2019
DRAWN BY:	JMO
CHECKED BY:	JMO
PROJECT No.:	
SHEET:	



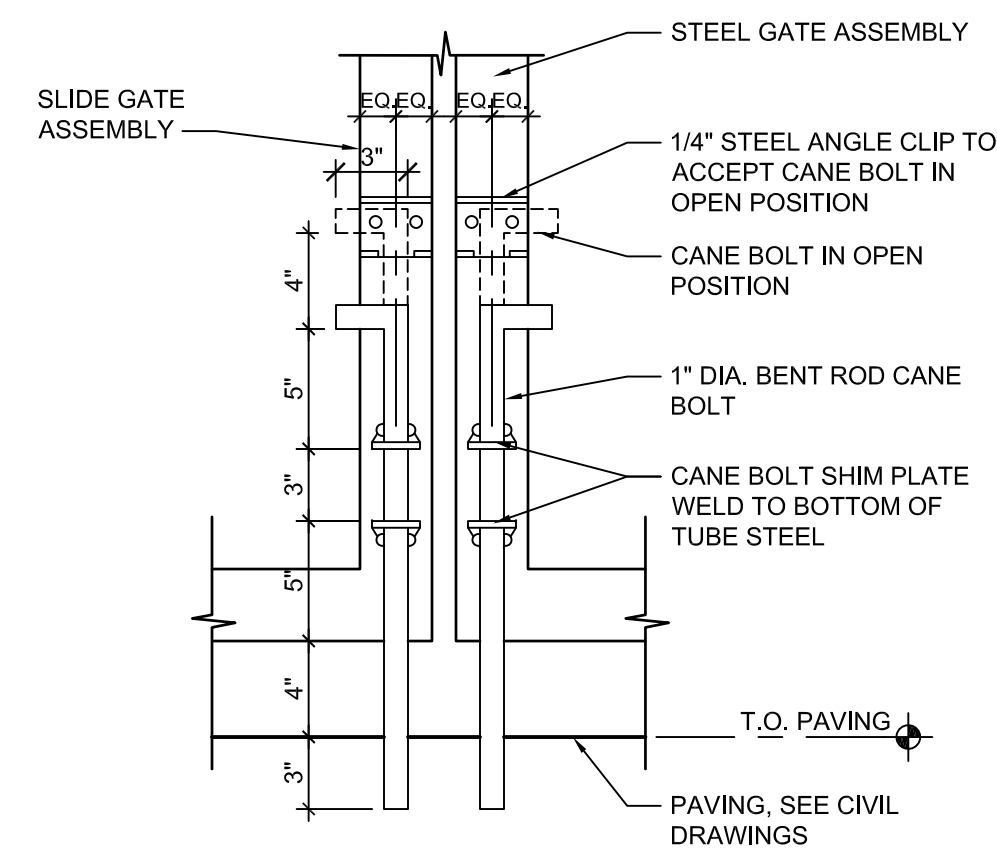
17



13 6-FOOT REFUSE MASONRY WALL

SCALE: 1/2" = 1'-0"

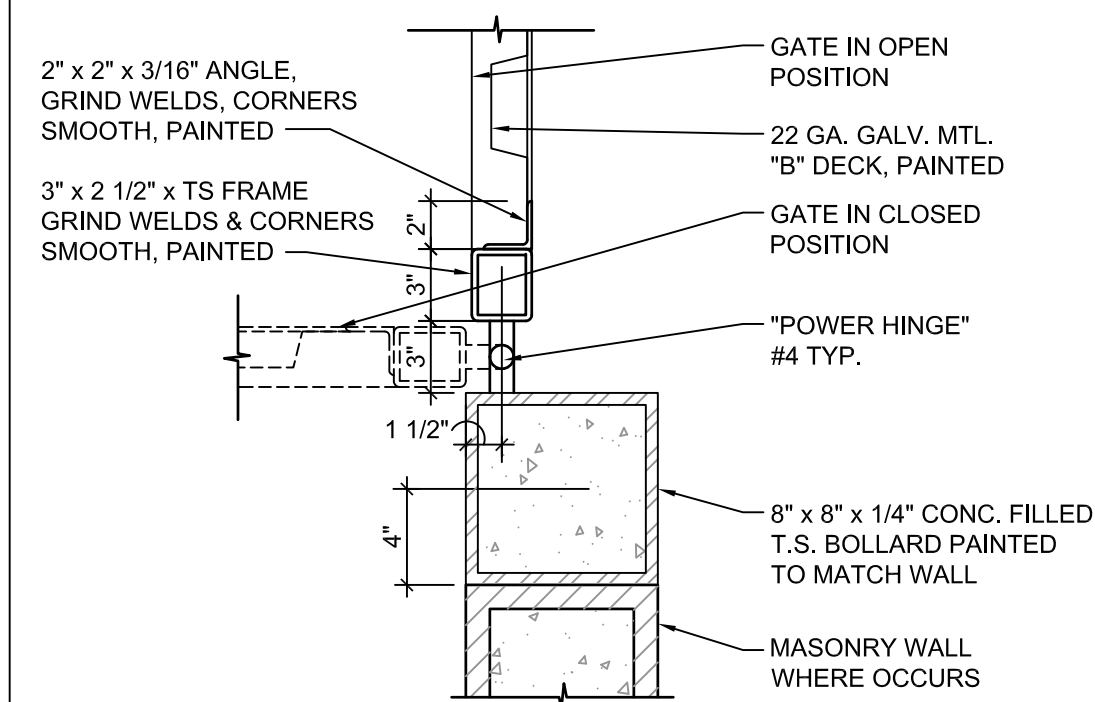
18



14 SWING GATE CANE BOLT

SCALE: 1 1/2" = 1'-0"

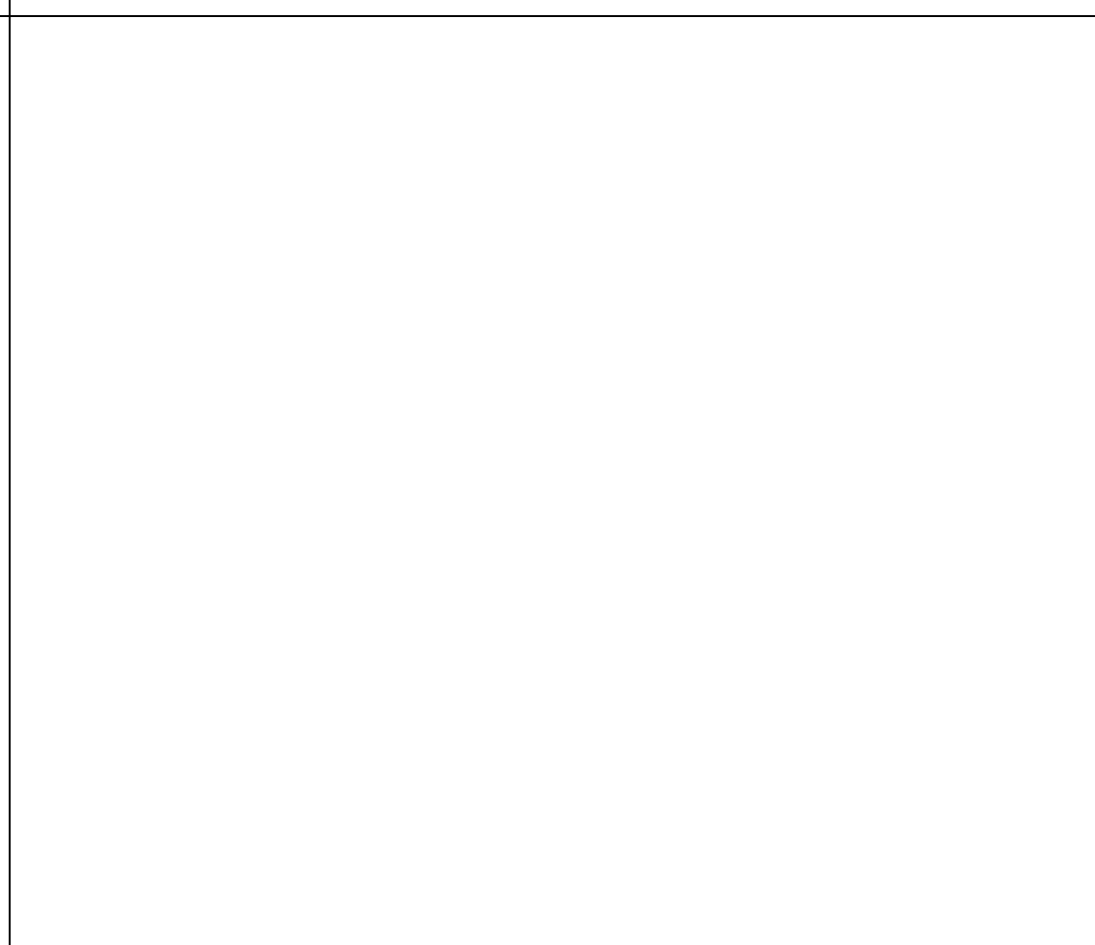
19



15 TRASH GATE HINGE DETAIL

SCALE: 1 1/2" = 1'-0"

20



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11 TRASH ENCLOSURE PLAN

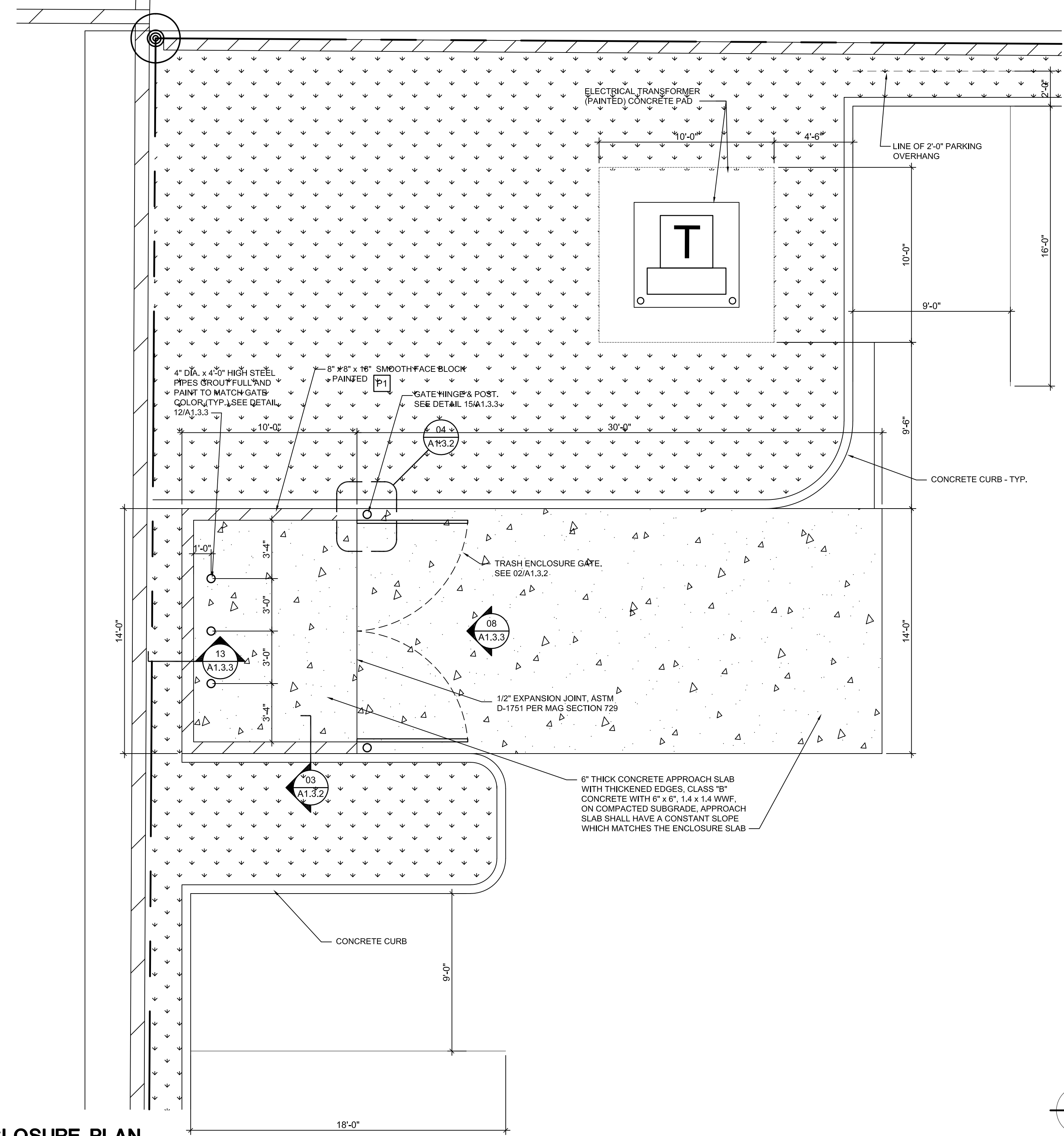
SCALE: 1/4" = 1'-0"

12 PIPE BOLLARD DETAIL

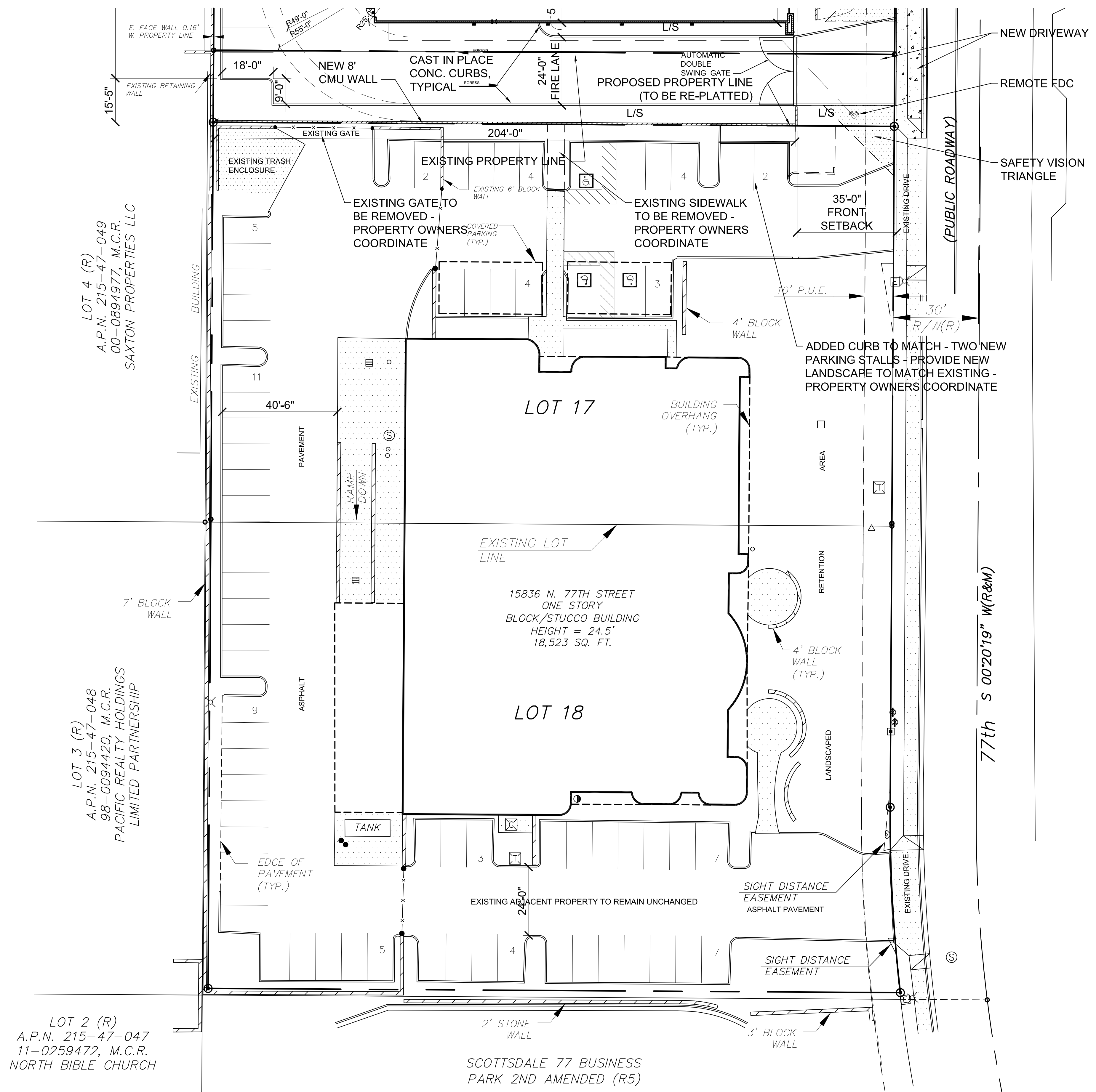
SCALE: 3/4" = 1'-0"

08 TRASH ENCLOSURE GATE ELEVATION

SCALE: 1/4" = 1'-0"







LOT 4 (R)  
A.P.N. 215-47-049  
00-0894977, M.C.R.  
SAXTON PROPERTIES LLC

LOT 3 (R)  
A.P.N. 215-47-048  
98-0094420, M.C.R.  
PACIFIC REALTY HOLDINGS  
LIMITED PARTNERSHIP

LOT 2 (R)  
A.P.N. 215-47-047  
11-0259472, M.C.R.  
NORTH BIBLE CHURCH

**SITE PLAN - AIDANT FIRE & SECURITY**

**PROJECT DATA:**

PROJECT ADDRESS: 15836 N 77TH STREET  
SCOTTSDALE, AZ, 85260

OWNER: TRANQUIL LLC  
200 S 6TH ST SUITE 4000  
MINNEAPOLIS, MN 55402

ASSESSOR PARCEL NO.: 215-47-062  
CURRENT ZONING: I-1  
SITE AREA: 73,022 S.F. (1.68 ACRES)  
STORIES: SINGLE STORY  
BUILDING AREA (GROSS): 18,523 S.F.  
BUILDING HEIGHT: 24' - 5"

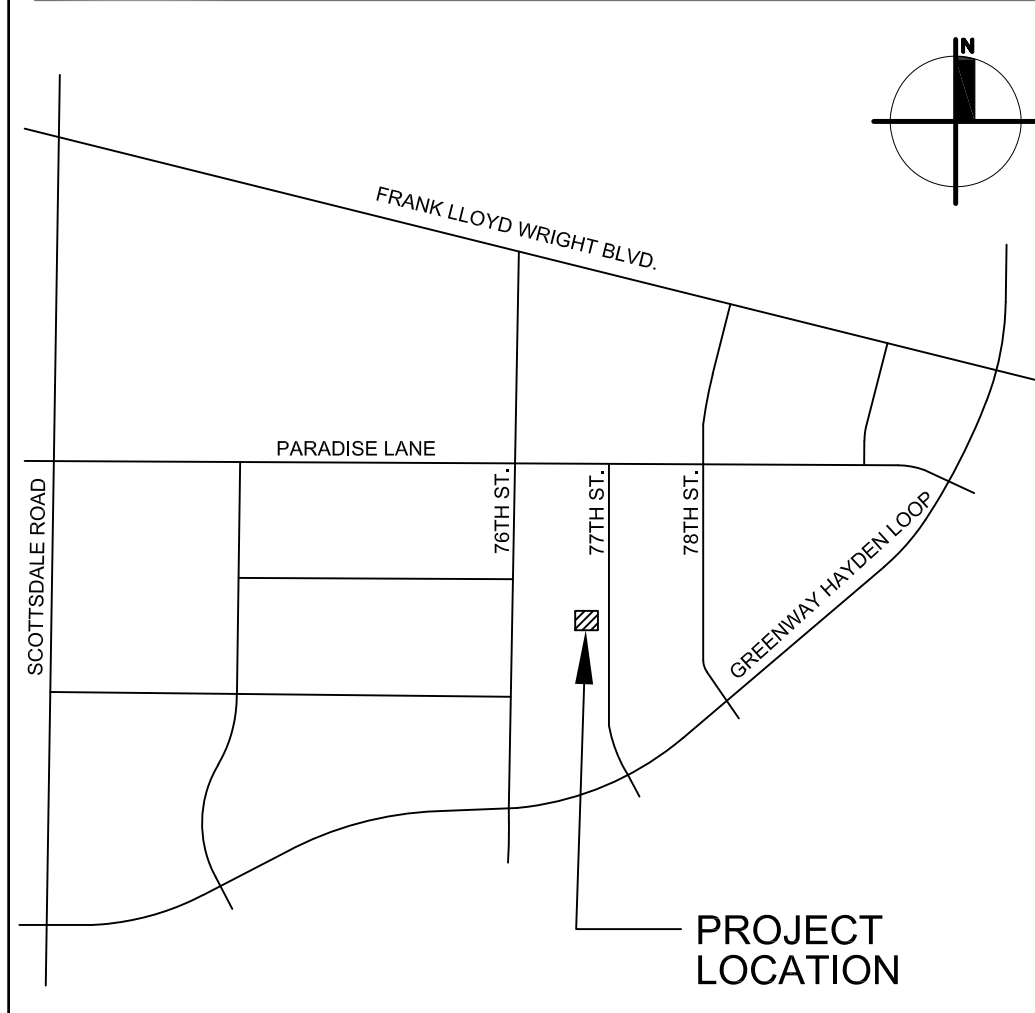
**VEHICULAR PARKING CALCS:**

USE	SQUARE FT.	FACTOR	TOTAL
OFFICE	6,112 S.F.	1 / 300 S.F.	21 SPACES
WAREHOUSE	12,411 S.F.	1 / 800 S.F.	16 SPACES
TOTAL PARKING REQUIRED:			37 SPACES
PARKING PROVIDED			70 SPACES
TOTAL SPACES			70 SPACES
PARKING/BUILDING RATIO:			3.78 CARS PER 1,000 S.F.

**LEGAL DESCRIPTION:**

LOTS 16, 17 AND 18, NORTH SCOTTSDALE AIRPARK UNIT 5, ACCORDING TO THE PLAT RECORDED IN BOOK 388 OF MAPS, PAGE 25, RECORDS OF MARICOPA COUNTY, ARIZONA.

**VICINITY MAP:**



**AIDANT FIRE & SECURITY**

**LGE DESIGNBUILD**

NUMBER	REVISION	DATE

SHEET TITLE: SITE PLAN - AIDANT FIRE & SECURITY  
ISSUE DATE: 09-10-2019  
DRAWN BY: JMO  
CHECKED BY: JMO  
PROJECT No.:

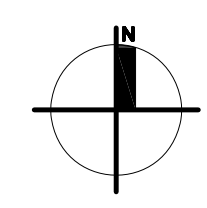
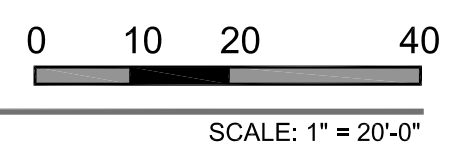
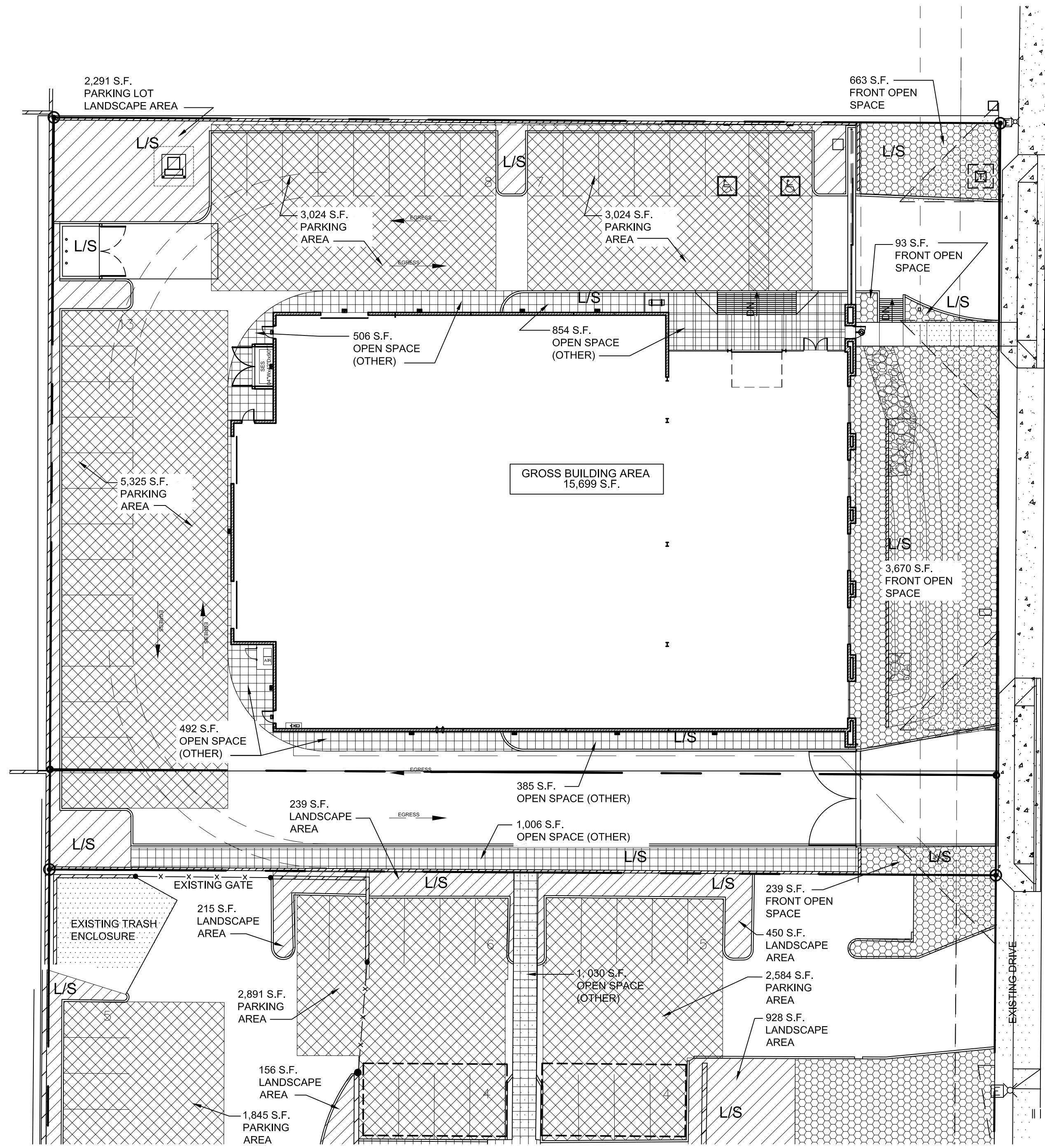
**A1.1.1**

**LGE DESIGNGROUP**  
1200 N. 52nd Street ■ Phoenix, AZ ■ 85008  
P: 480.966.4001

15836 NORTH 77TH STREET  
SCOTTSDALE, ARIZONA 85260

LOT 4 (R)  
 I. 215-47-049  
 1894977, M.C.R.  
 PROPERTIES LLC

**SITE PLAN**



**PROJECT DATA:**

PROJECT ADDRESS: N 77TH ST & GREENWAY HAYDEN LOOP  
 SCOTTSDALE, AZ

OWNER: EVANS FAMILY REAL ESTATE HOLDINGS, LLC  
 6011 EAST THUNDERBIRD ROAD  
 SCOTTSDALE, ARIZONA 85254

DEVELOPER: LGE DESIGN BUILD  
 740 NORTH 52ND STREET  
 PHOENIX, AZ. 85008

ARCHITECT: BEN McRAE  
 LGE DESIGN GROUP  
 740 NORTH 52ND STREET  
 PHOENIX, AZ. 85008  
 PHONE: 480-966-4001  
 E-MAIL: benm@lgedesigngroup.com

PROJECT SCOPE: OFFICE / WAREHOUSE

ASSESSOR PARCEL NO.: 215-47-061

CURRENT ZONING: I-1

SITE AREA: 45,568 S.F. (0.91 ACRES)

F.A.R.: 0.34 (MAX 0.80)

STORIES: SINGLE STORY

BUILDING AREA (GROSS): 15,699 S.F.

OCCUPANCY: B/S-1

CONSTRUCTION TYPE: V-B W/ A.F.E.S.

SPRINKLERS: YES/FULLY SPRINKLED

BUILDING HEIGHT: 32'-8"

**OPEN SPACE CALCULATIONS:**

OPEN SPACE REQUIRED (5.1804)  
 BUILDING HEIGHT = 32'-8" (36' ALLOWED)

FIRST 12'-0" OF HEIGHT = 10% OF NET LOT AREA  
 = 0.10 X 45,568 = 4,556.8 S.F.

NEXT 20'-8" OF HEIGHT = 20.666" X 0.003 X 45,568 = 2,825.13 S.F.

TOTAL OPEN SPACE REQUIRED (NOT INCLUDING PARKING LOT LANDSCAPING)  
 = 4,556.8 + 2,825.13 = 7,381.93 S.F.  
 (7,381.93 / 45,568 = 16.2%)

OPEN SPACE PROVIDED = 4,665 S.F.

FRONT OPEN SPACE = 4,665 S.F.

OTHER OPEN SPACE = 3,243 S.F.

TOTAL OPEN SPACE PROVIDED = 7,918 S.F.  
 (7,918 S.F. > 7,381.9 S.F.)

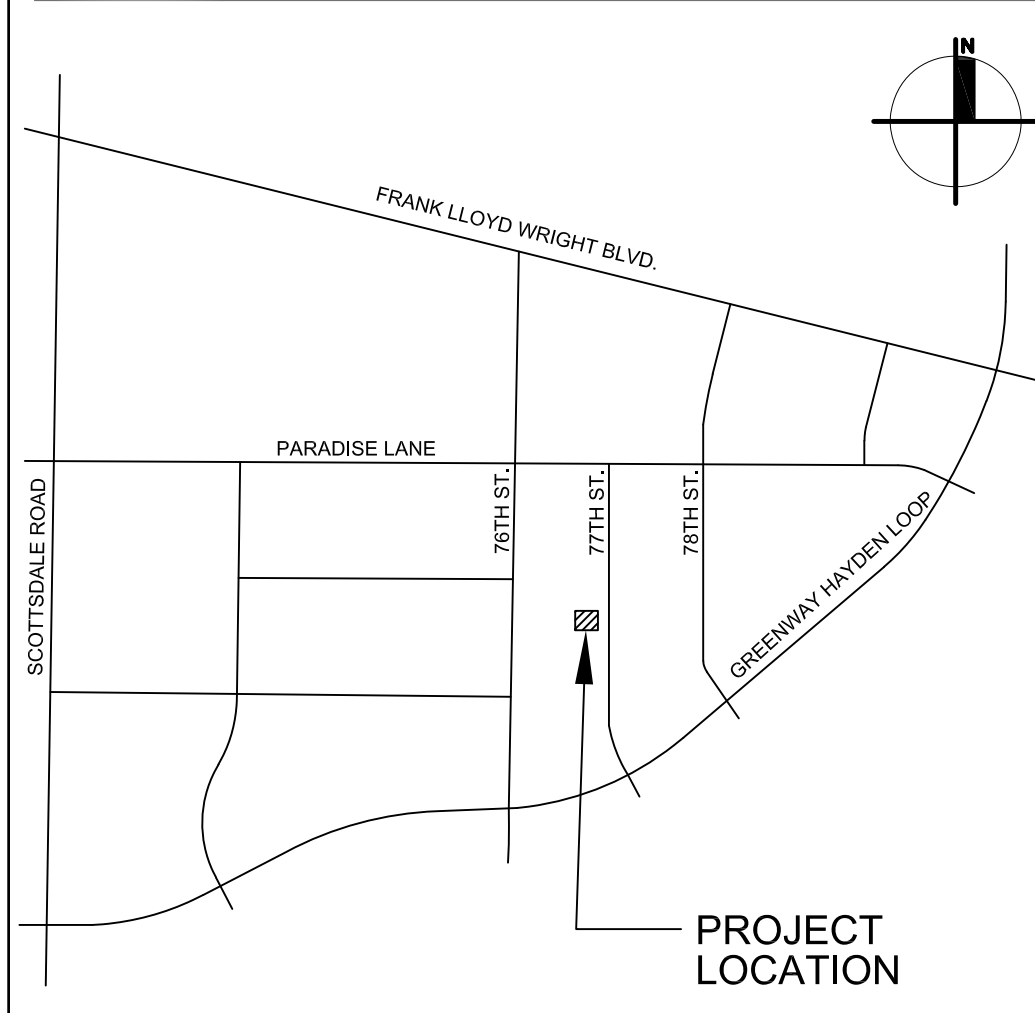
PARKING LOT LANDSCAPING REQUIRED  
 PARKING LOT AREA X 15%  
 11,373 S.F. X 0.15 = 1,705.95 S.F.

PARKING LOT LANDSCAPE PROVIDED = 2,291 S.F.  
 (2,291 S.F. > 1,705.95 S.F.)

**LEGEND**

- DENOTES FRONT OPEN SPACE:  
4,665 S.F.  
(663 S.F. + 93 S.F. + 3,670 S.F. + 239 S.F.)
- DENOTES OPEN SPACE OTHER THAN FRONT OPEN SPACE:  
3,243 S.F.  
(854 S.F. + 506 S.F. + 492 S.F. + 385 S.F. + 1,006 S.F.)
- DENOTES PARKING LOT LANDSCAPE AREA:  
2,291 S.F.
- PARKING LOT AREA:  
11,373 S.F.  
(3,024 S.F. + 3,024 S.F. + 5,325 S.F.)

**VICINITY MAP:**



**LGE DESIGN GROUP**

1200 N. 52nd Street • Phoenix, AZ • 85008  
 P: 480.966.4001

**EVANS CLASSIC AUTO**

15882 NORTH 77TH STREET  
 SCOTTSDALE, ARIZONA 85260

**LGE DESIGNBUILD**

NUMBER	REVISION	DATE

SHEET TITLE: OPEN SPACE PLAN

ISSUE DATE: 09-10-2019

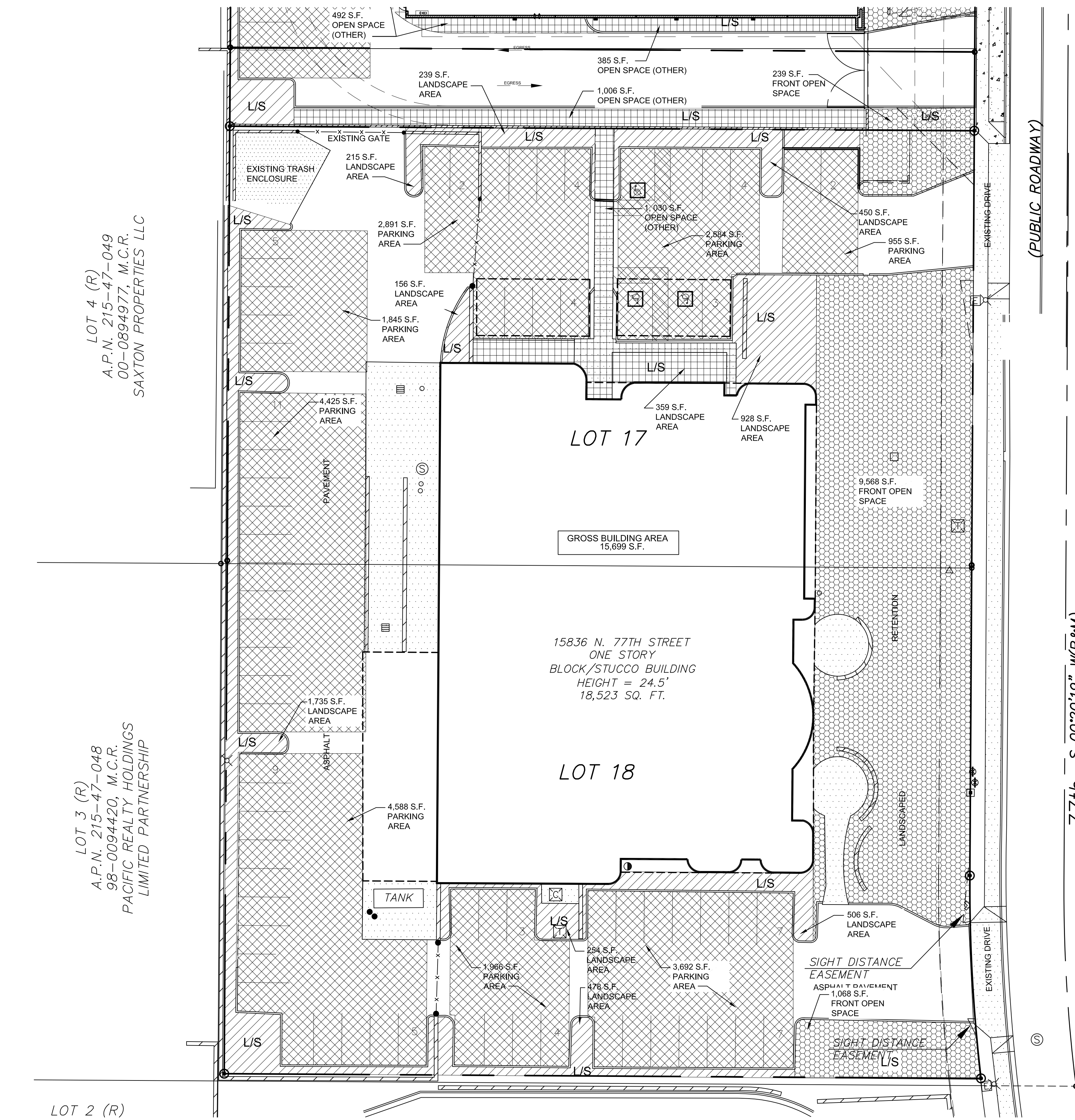
DRAWN BY: JMO

CHECKED BY: JMO

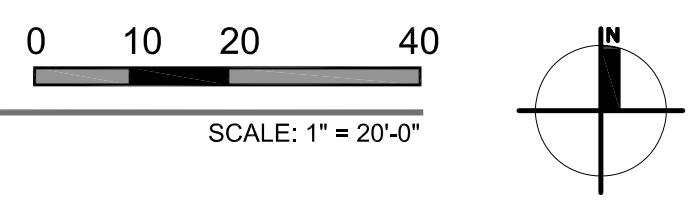
PROJECT No.:

SHEET:

**A1.1.4**



**SITE PLAN**



LOT 4 (R)  
A.P.N. 215-47-049  
00-0894977, M.C.R.  
SAXTON PROPERTIES LLC

LOT 3 (R)  
A.P.N. 215-47-048  
98-0094420, M.C.R.  
PACIFIC REALTY HOLDINGS  
LIMITED PARTNERSHIP

LOT 2 (R)

**PROJECT DATA:**

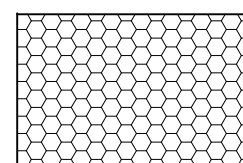
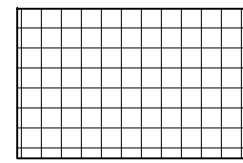
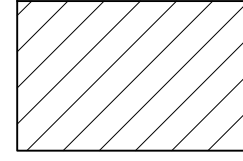
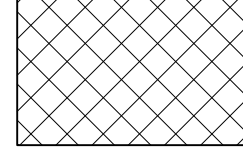
PROJECT ADDRESS: N 77TH ST & GREENWAY HAYDEN LOOP  
SCOTTSDALE, AZ  
OWNER: TRANQUIL LLC (BRUCE JENSEN)  
200 S 8TH STREET, SUITE 400  
MINNEAPOLIS, MN 55402  
DEVELOPER: NONE: EXISTING BUILDING  
ARCHITECT: NONE: EXISTING BUILDING  
MD SUBMITTAL PROVIDING INFORMATION  
LGE DESIGN GROUP  
1200 N 52ND STREET  
PHOENIX, ARIZONA 85008

ASSESSOR PARCEL NO.: 215-47-062  
CURRENT ZONING: I-1  
SITE AREA: 73,022 S.F. (1.68 ACRES)  
F.A.R.: 0.39 (MAX 0.80)  
STORIES: SINGLE STORY  
BUILDING AREA (GROSS): 18,532 S.F.  
BUILDING HEIGHT: 24' - 5"

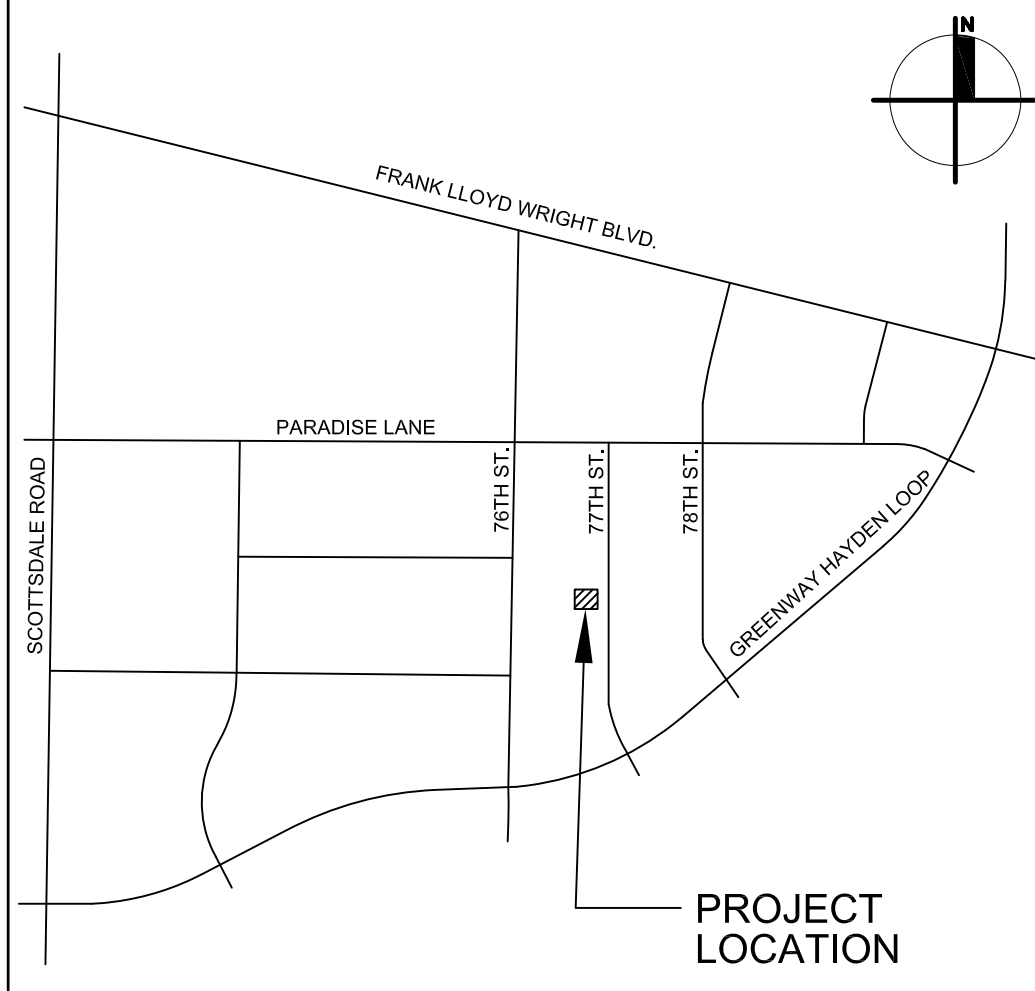
**OPEN SPACE CALCULATIONS:**

OPEN SPACE REQUIRED (5.1804)  
BUILDING HEIGHT = 24'-5" (36' ALLOWED)  
FIRST 12'-0" OF HEIGHT = 10% OF NET LOT AREA  
= 0.10 X 73,022 = 7,302.2 S.F.  
NEXT 12'-5" OF HEIGHT = 12.416" X 0.003 X 73,022 = 2,719.92 S.F.  
TOTAL OPEN SPACE REQUIRED (NOT INCLUDING PARKING LOT LANDSCAPING)  
= 7,302.2 + 2,719.92 = 10,022.12 S.F.  
(10,022.12 / 73,022 = 13.7%)  
OPEN SPACE PROVIDED  
FRONT OPEN SPACE = 11,317 S.F.  
OTHER OPEN SPACE = 1,398 S.F.  
TOTAL OPEN SPACE PROVIDED = 12,706 S.F.  
(12,706 S.F. > 10,022.12 S.F.)  
PARKING LOT LANDSCAPING REQUIRED  
PARKING LOT AREA X 15%  
22,946 S.F. X 0.15 = 3,441.9 S.F.  
PARKING LOT LANDSCAPING PROVIDED = 4,961 S.F.  
(4,961 S.F. > 3,441.9 S.F.)

**LEGEND**

-  DENOTES FRONT OPEN SPACE:  
11,317 S.F.  
(9447 S.F. + 121 S.F. + 681 S.F. + 1068 S.F.)
-  DENOTES OPEN SPACE OTHER THAN FRONT OPEN SPACE:  
1,398 S.F.
-  DENOTES PARKING LOT LANDSCAPE AREA:  
4,961 S.F.  
(904 S.F. + 1,063 S.F. + 1,735 S.F. + 761 S.F. + 478 S.F.)
-  PARKING LOT AREA:  
22,946 S.F.  
(955 S.F. + 2,584 S.F. + 2,891 S.F. + 1,845 S.F. + 4,425 S.F. + 4,588 S.F. + 1,966 S.F. + 3,692 S.F.)

**VICINITY MAP:**

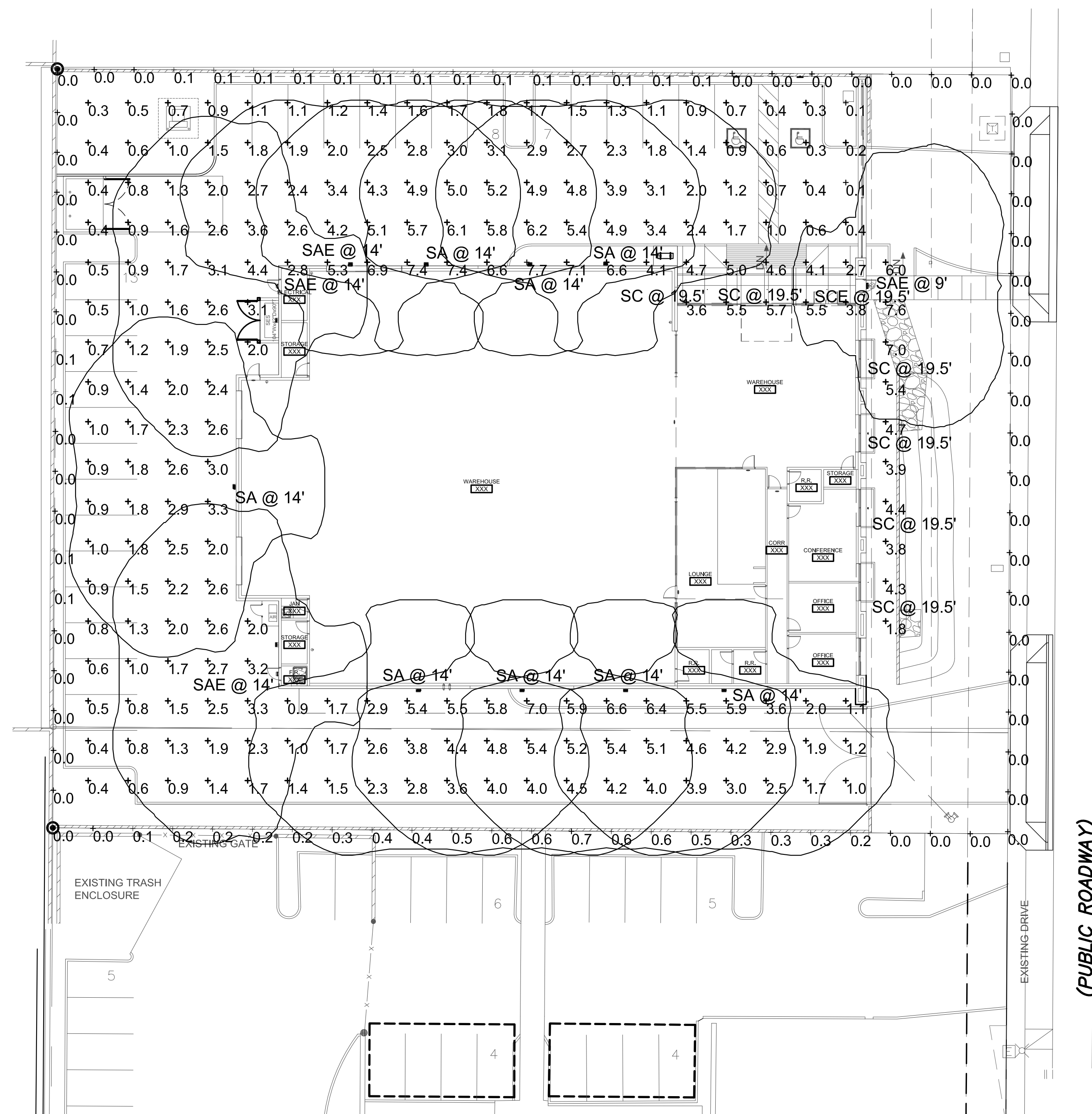


NUMBER	REVISION	DATE

<b>SHEET TITLE:</b>	OPEN SPACE PLAN
<b>ISSUE DATE:</b>	09-10-2019
<b>DRAWN BY:</b>	JMO
<b>CHECKED BY:</b>	JMO
<b>PROJECT No.:</b>	
<b>SHEET:</b>	

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	SA	8	Lithonia Lighting	DSXW1 LED 20C 1000 40K T4M MVOLT (FINISH)	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1000mA.	LED	1	DSXW1_LED_20C_1000_40K_T4M_MVOLT.ies	7420	0.91	73.2
□	SAE	4	Lithonia Lighting	DSXW1 LED 20C 1000 40K T4M MVOLT ELCW (FINISH)	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1000mA.	LED	1	DSXW1_LED_20C_1000_40K_T4M_MVOLT.ies	7420	0.91	73.2
	SC	6	V2 LIGHTING	Q3LM (DRIVER) (DIMMING) W 20 83 40 40 (SHELL COLOR)	"XSM80XX-2000-C with XSA-12 (59deg_70mm Plastic reflector)"	LED	1	QUBE 300 2000lm 80CRI 60deg.IES	2000	0.91	29
	SCE	1	V2 LIGHTING	Q3LM (DRIVER) (DIMMING) W 20 83 40 40 (SHELL COLOR) EM	"XSM80XX-2000-C with XSA-12 (59deg_70mm Plastic reflector)"	LED	1	QUBE 300 2000lm 80CRI 60deg.IES	2000	0.91	29

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE @ 6'	+	0.1 fc	0.7 fc	0.0 fc	N/A	N/A
SITE	+	2.8 fc	7.7 fc	0.1 fc	77.0:1	28.0:1



LOT 4 (R)  
N. 215-47-049  
0894977, M.C.R.  
N PROPERTIES LLC

PHOTOMETRICS SITE PLAN

SCALE: 1" = 20'-0"



**TONY WOO ENGINEERING, INC.**  
1 W. DEER VALLEY RD.  
SUITE 203  
PHOENIX, AZ 85027  
TEL (602) 279-8092  
JOB # 619008  
CONTACT: GREG HAMPTON  
GREG@TWE.PHXCOXMAIL.COM.

SHEET TITLE:  
**PHOTOMETRICS SITE PLAN**  
ISSUE DATE: 09-10-2019  
DRAWN BY: SZ  
CHECKED BY: GHTW  
PROJECT No.:  
SHEET:

PH1

EVANS CLASSIC AUTO

15822 NORTH 77TH STREET  
SCOTTSDALE, AZ 85260

LGE DESIGNBUILD

NUMBER REVISION DATE

MANUFACTURER'S  
SHOP DRAWING  
FOR REFERENCE  
ONLY

DRB SUBMITTAL 09/10/2019

**LGE DESIGNGROUP**  
740 N. 52nd Street ■ Phoenix, AZ 85008  
P: 480.966.4001

**CITY OF SCOTTSDALE  
LANDSCAPE NOTES:**

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED, TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

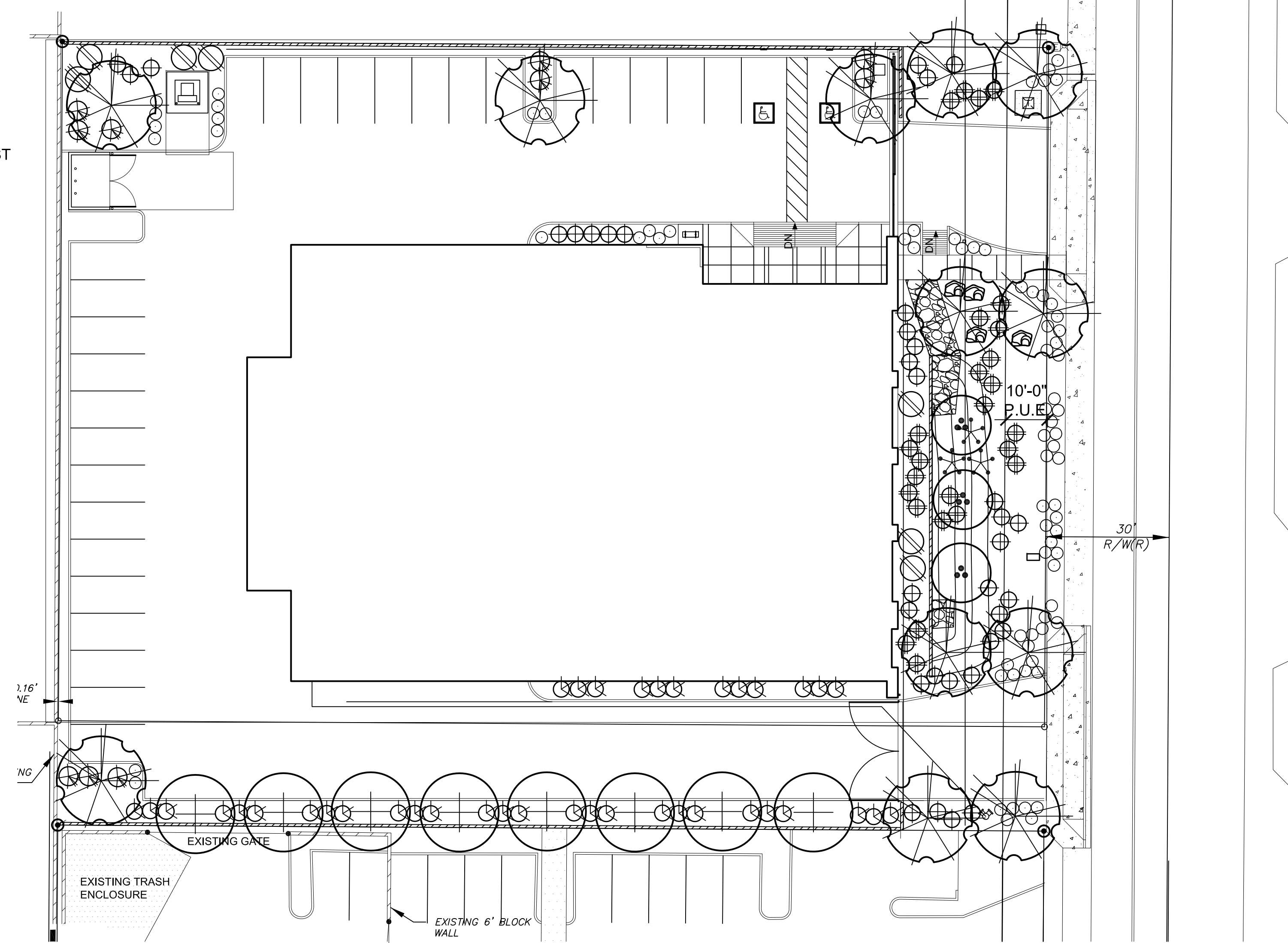
RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

ALL LANDSCAPED AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN THE PUBLIC RIGHT-OF-WAY (INCLUDING MEDIANS), SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, LITTER AND WEED-FREE CONDITION. IN ADDITION TO THE STANDARDS IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL, ANSI A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER  
(Property Owner, Developer or Homeowner's Association)



**LANDSCAPE LEGEND**

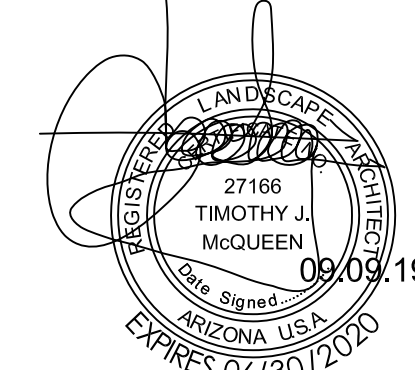
- CERCIDIUM 'HYBRID'  
DESERT MUSEUM PALO VERDE  
24" BOX
- ACACIA SALICINA  
WILLOW ACACIA  
24" BOX
- SOPHORA SECUNDIFLORA  
TEXAS MOUNTAIN LAUREL  
24" BOX
- LEUCOPHYLLUM FRUTESCENS  
'GREEN CLOUD'  
5 GALLON
- CAESALPINIA MEXICANA  
MEXICAN BIRD OF PARADISE  
5 GALLON
- TECOMA 'ORANGE JUBILEE'  
ORANGE JUBILEE  
5 GALLON
- RUELLIA PENINSULARIS  
BAJA RUELLIA  
5 GALLON
- HESPERALOE PARVIFLORA  
RED YUCCA  
5 GALLON
- DASYLIRION WHEELERII  
DESERT SPOON  
5 GALLON
- AGAVE GEMNIFLORA  
TWIN FLOWERED AGAVE  
5 GALLON
- LANTANA MONTEVIDENSIS  
'GOLD MOUND'  
1 GALLON
- LANTANA MONTEVIDENSIS  
TRAILING PURPLE  
1 GALLON
- 3'x3'x3' SURFACE SELECT  
GRANITE BOULDER  
MINIMUM 2000lbs EACH
- 1/2" SCREENED EXPRESS 'PAINTED DESERT'  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE PLAN  
**APPROVED**  
CITY OF SCOTTSDALE

CASE NUMBER \_\_\_\_\_ APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

**Case No: 38 - DR - 2019**

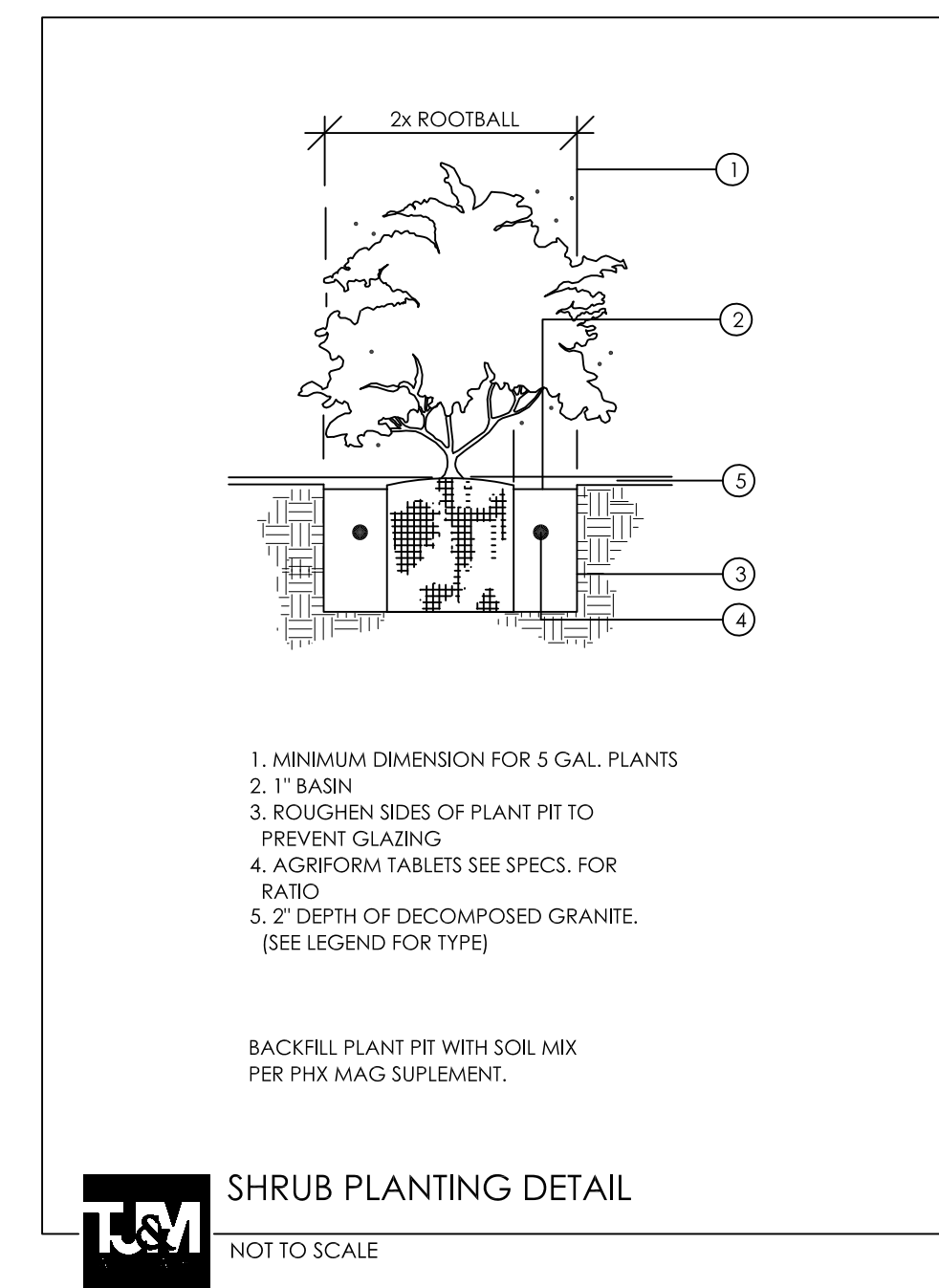
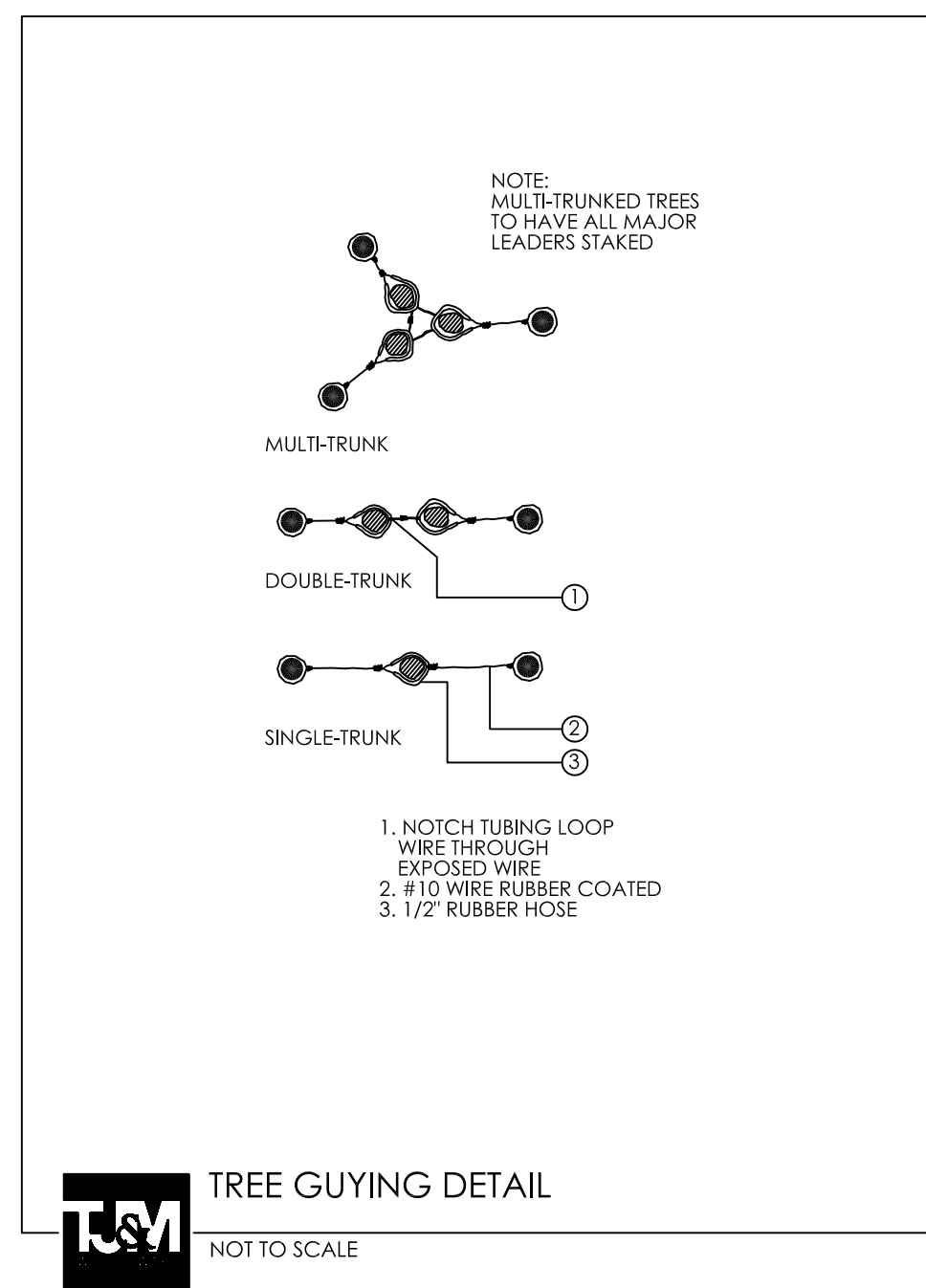
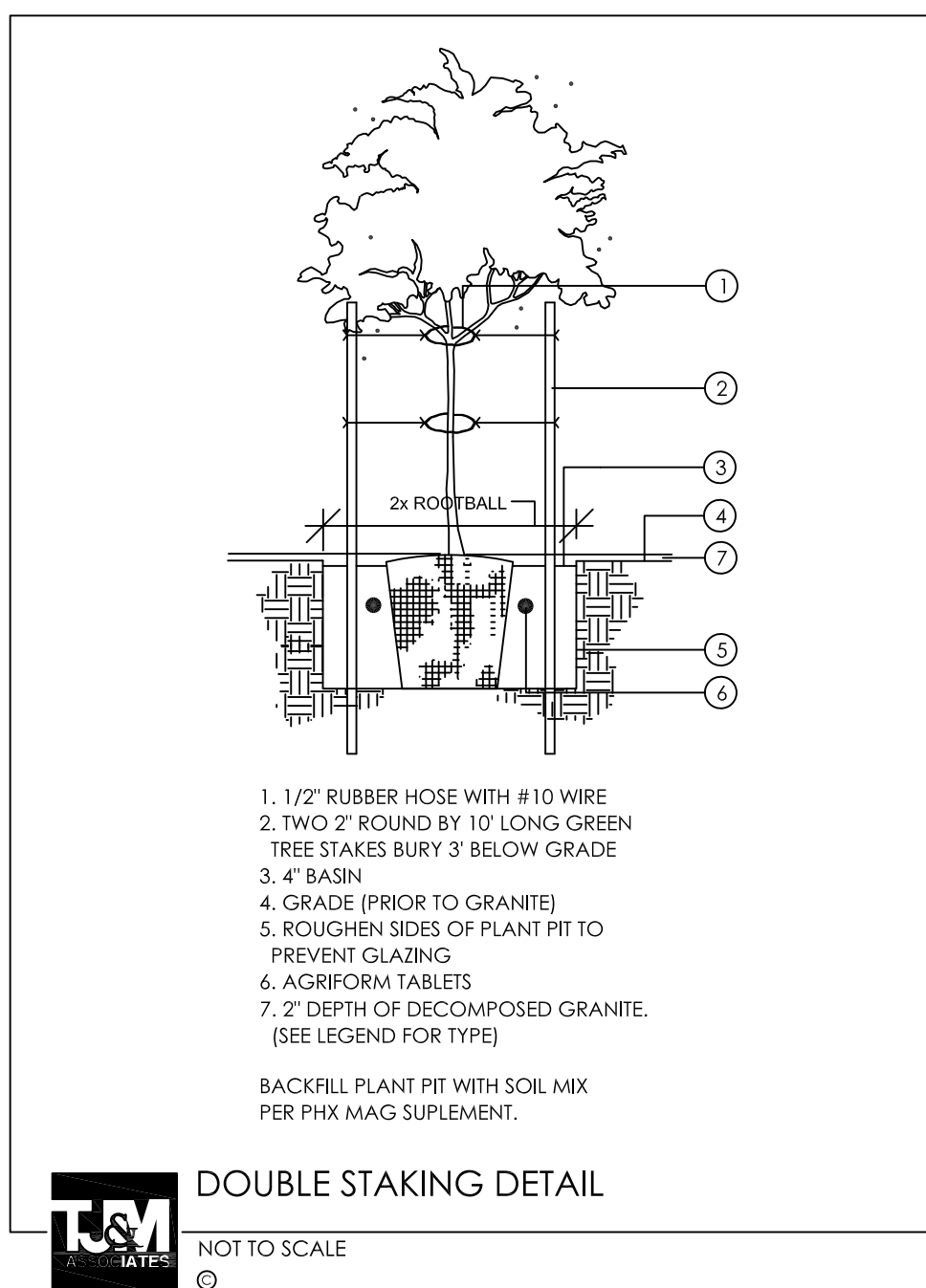


**T.J. McQUEEN & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
10450 N. 74th Street, Suite 120  
Scottsdale, Arizona 85258  
P: (602) 265-0320



EMAIL: [tjmccqueen@tjmla.net](mailto:tjmccqueen@tjmla.net)

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**LANDSCAPE SUMMARY DATA:**

OFF-SITE LANDSCAPE: 451 SQ.FT.  
ON-SITE LANDSCAPE: 12,654 SQ.FT.  
PARKING LOT LANDSCAPE: 2,340 SQ.FT.

**EVANS CLASSIC AUTO**

**LGE | DESIGNBUILD**

NUMBER REVISION DATE

NUMBER	REVISION	DATE

SHEET TITLE:

ISSUE DATE: 09/10/2019

DRAWN BY: JMO

CHECKED BY: JMO

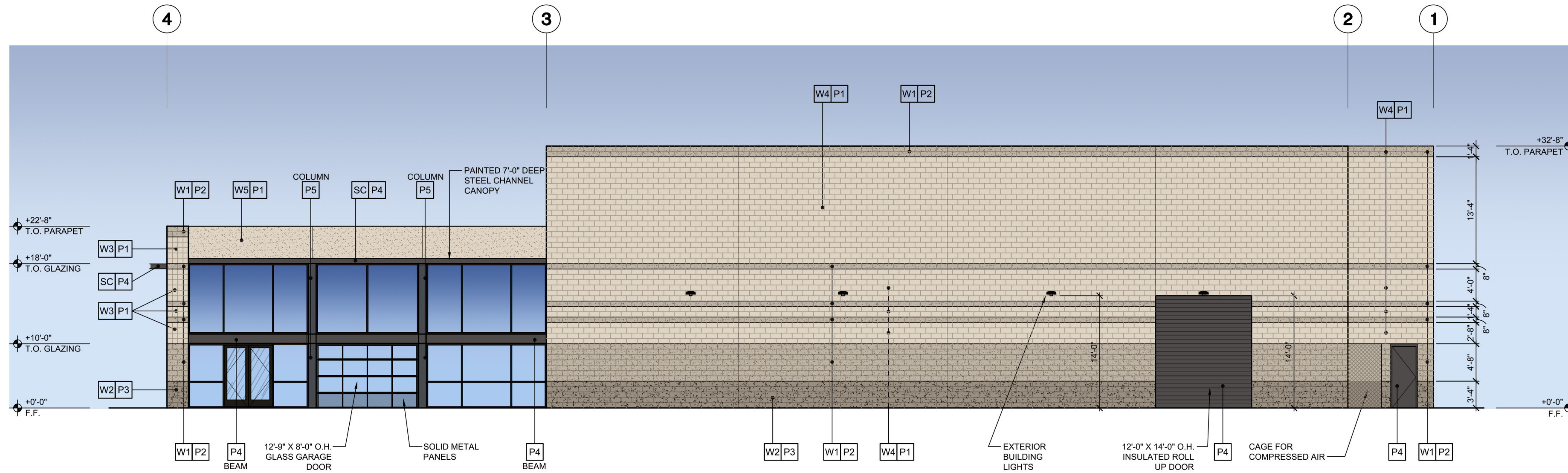
PROJECT No.:

SHEET:

**La.01**

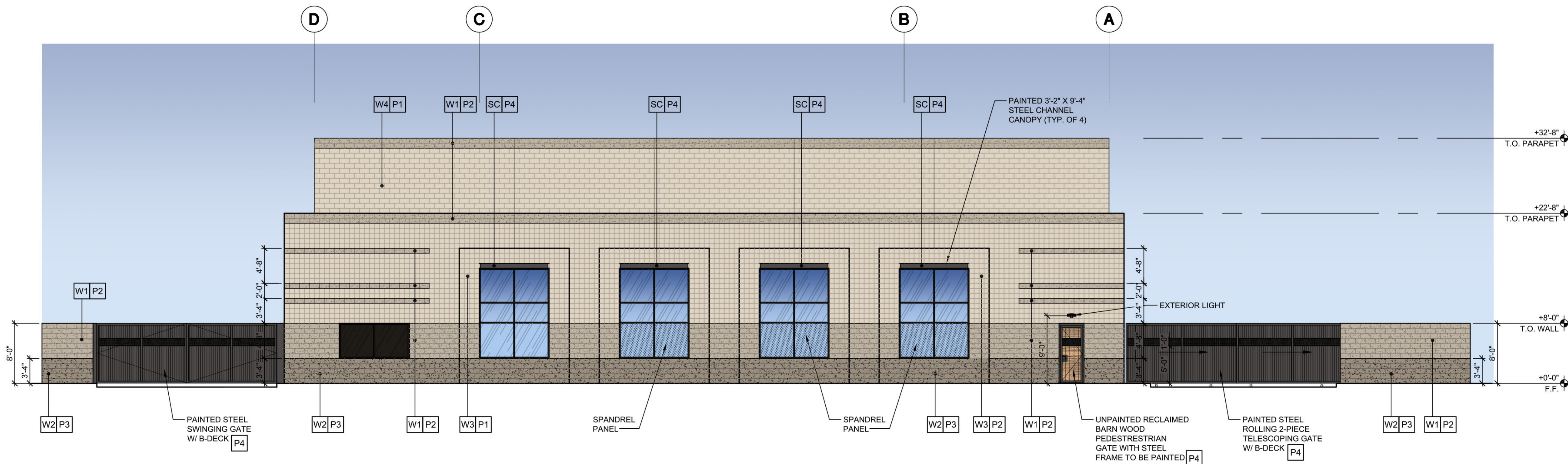
15882 NORTH 77TH STREET  
SCOTTSDALE, ARIZONA 85260

**LGE | DESIGNGROUP**  
740 N. 52nd Street ■ Phoenix, AZ ■ 85008  
P: 480.966.4001



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

**MATERIAL/FINISH SCHEDULE:**

KEY:	DESCRIPTION:
W1	MASONRY- 8"x8"x16" CMU, SPLIT FACE RUNNING BOND PATTERN (MEDIUM TAN)
W2	MASONRY- 8"x8"x16" CMU, SPLIT FACE RUNNING BOND PATTERN (DARK TAN)
W3	MASONRY- 8"x8"x16" CMU, SMOOTH FACE CENTER SCORE RUNNING BOND PATTERN (LIGHT TAN)
W4	MASONRY- 8"x8"x16" CMU, SMOOTH FACE RUNNING BOND PATTERN - PAINTED TO MATCH W3
W5	FRAMED - METAL STUDS W/ 1 1/2" EIFS, PAINTED

**CANOPY KEY:**

KEY:	DESCRIPTION:
SC	STEEL DECK CANOPY WITH STEEL 8" STEEL CHANNEL FRAME (TURNED OUTWARD) - PAINTED.

**GLAZING KEY:**

MATERIAL:	DESCRIPTION:
FRAMES	ALUMINUM STOREFRONT - 4 1/2" (SEALANT JOINT VERTS) DARK BRONZE ANODIZED (AB-7)
EXTERIOR GLAZING	SOLARBAN 60 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE

**PAINT KEY:**

KEY:	DESCRIPTION:
P1	DUNN EDWARDS DEC741 "BONE WHITE" (LRV 69)
P2	DUNN EDWARDS DEC752 "BIRCHWOOD" (LRV 49)
P3	DUNN EDWARDS DEC750 "BISON BEIGE" (LRV 27)
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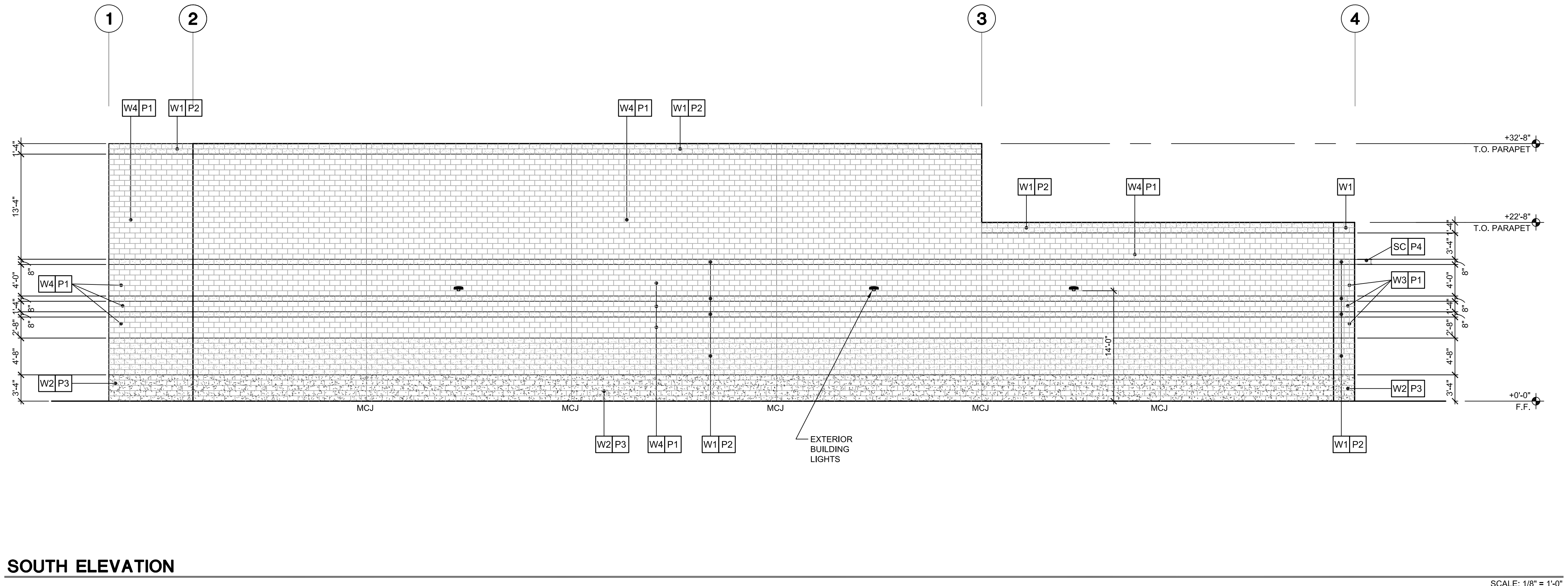
**PAINTING NOTES:**

- SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF-WHITE COLORS.
- PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
- PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.

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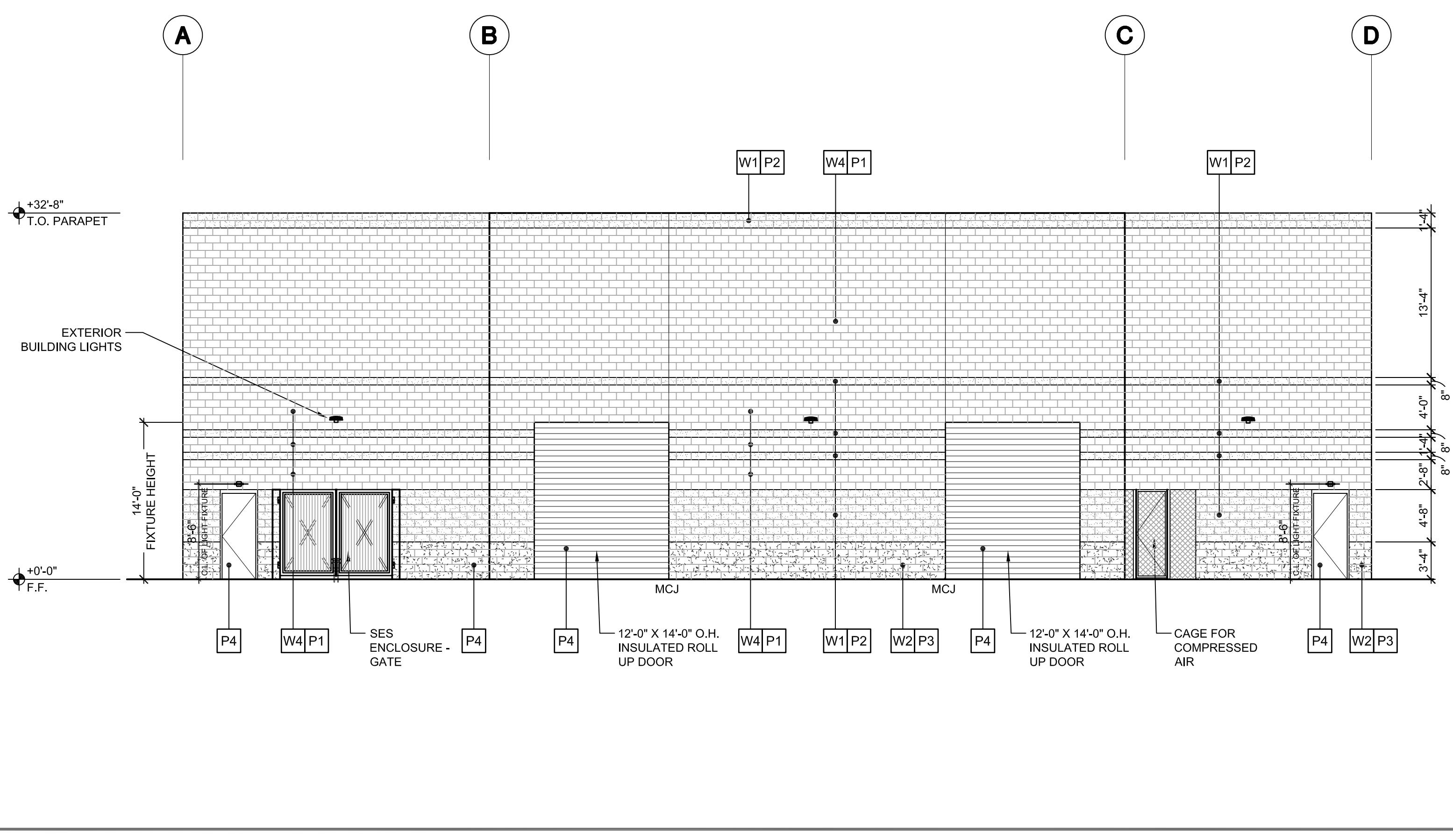
<b>SHEET TITLE:</b>	EXTERIOR ELEVATIONS
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<b>DRAWN BY:</b>	JMO
<b>CHECKED BY:</b>	JMO
<b>PROJECT No.:</b>	
<b>SHEET:</b>	

**A4.1.1**



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

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EXTERIOR GLAZING	SOLARBAN 60 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARBLUE

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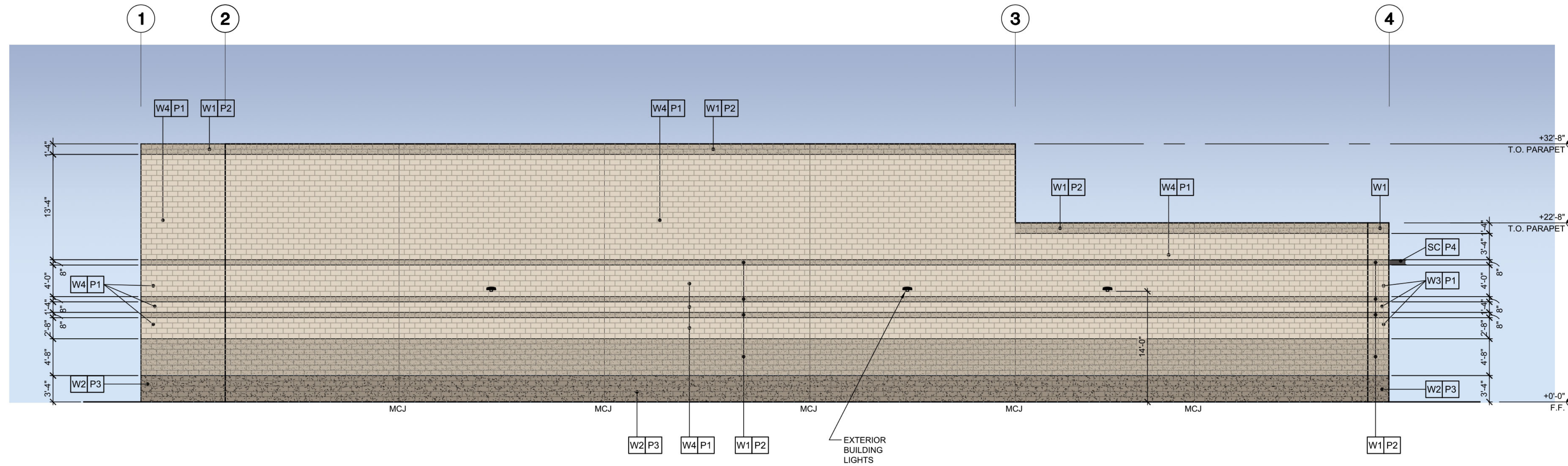
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**PAINTING NOTES:**

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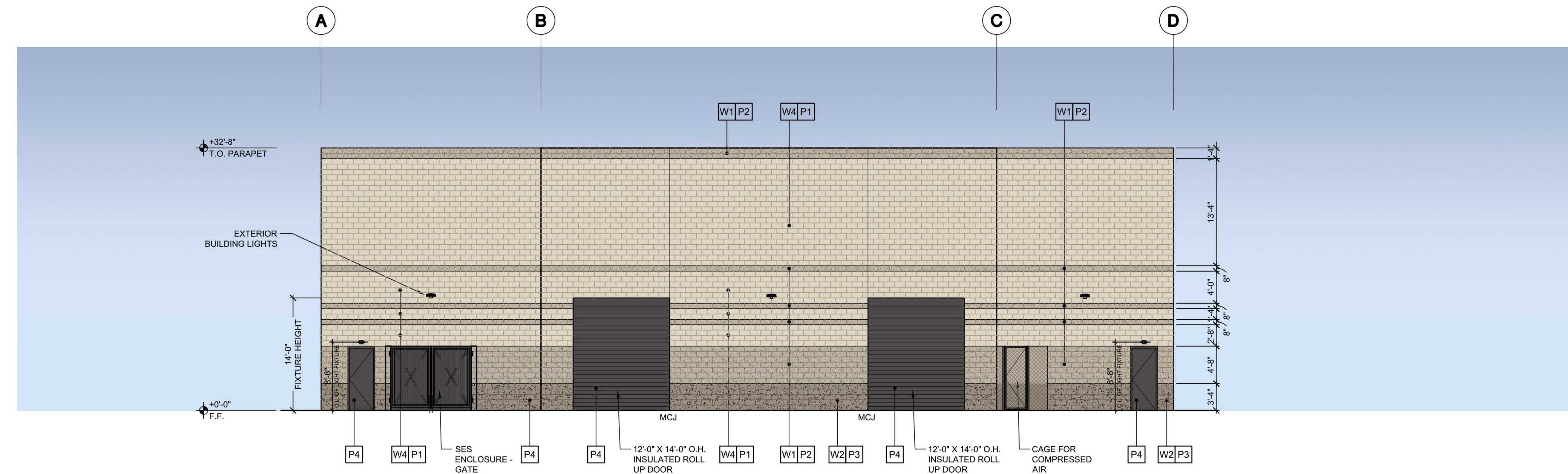
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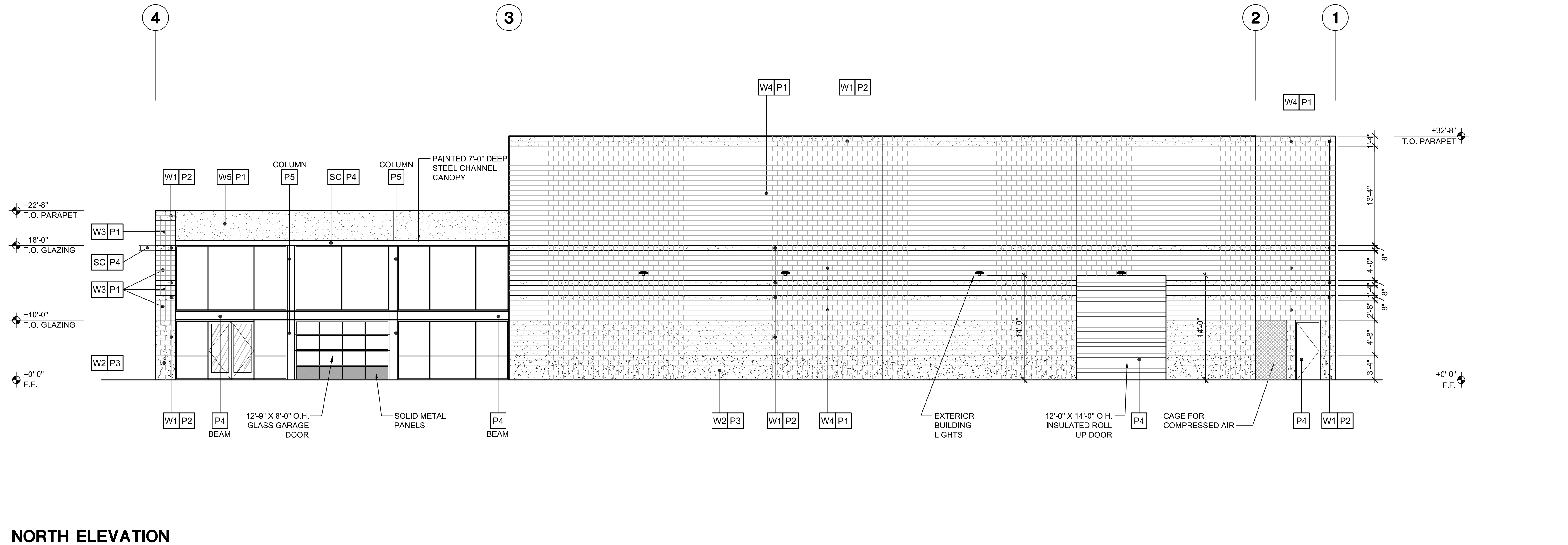
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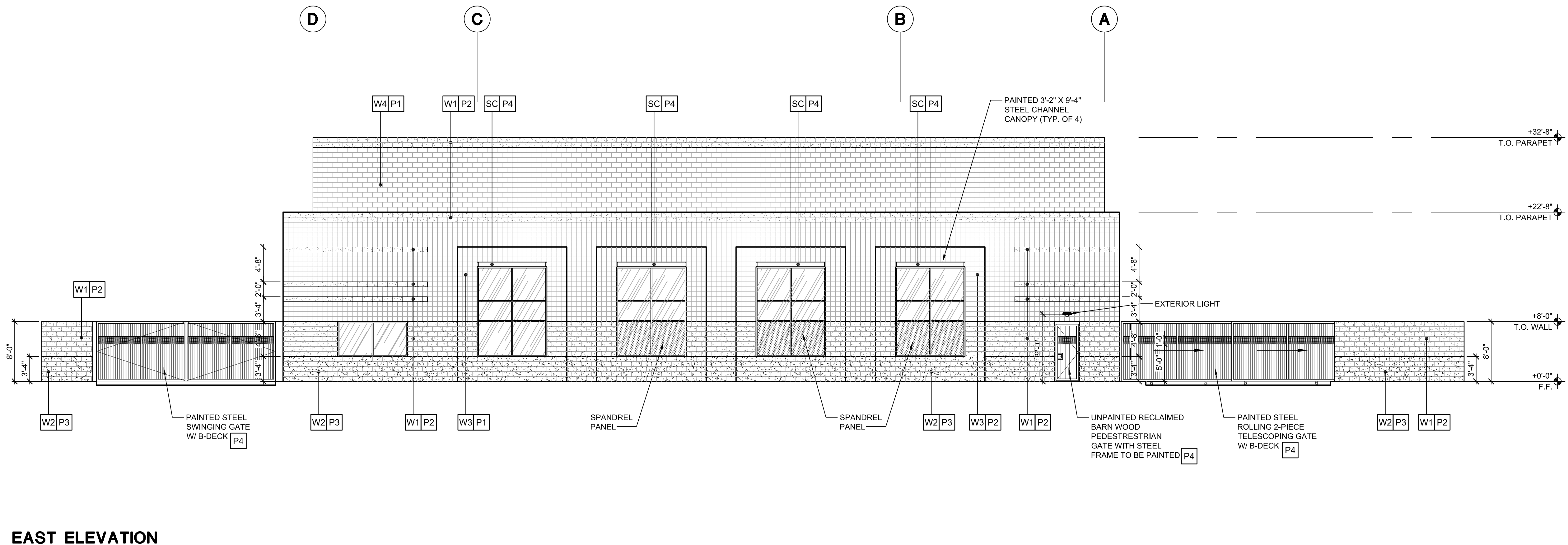
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**A4.1.2**



**NORTH ELEVATION**

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**EAST ELEVATION**

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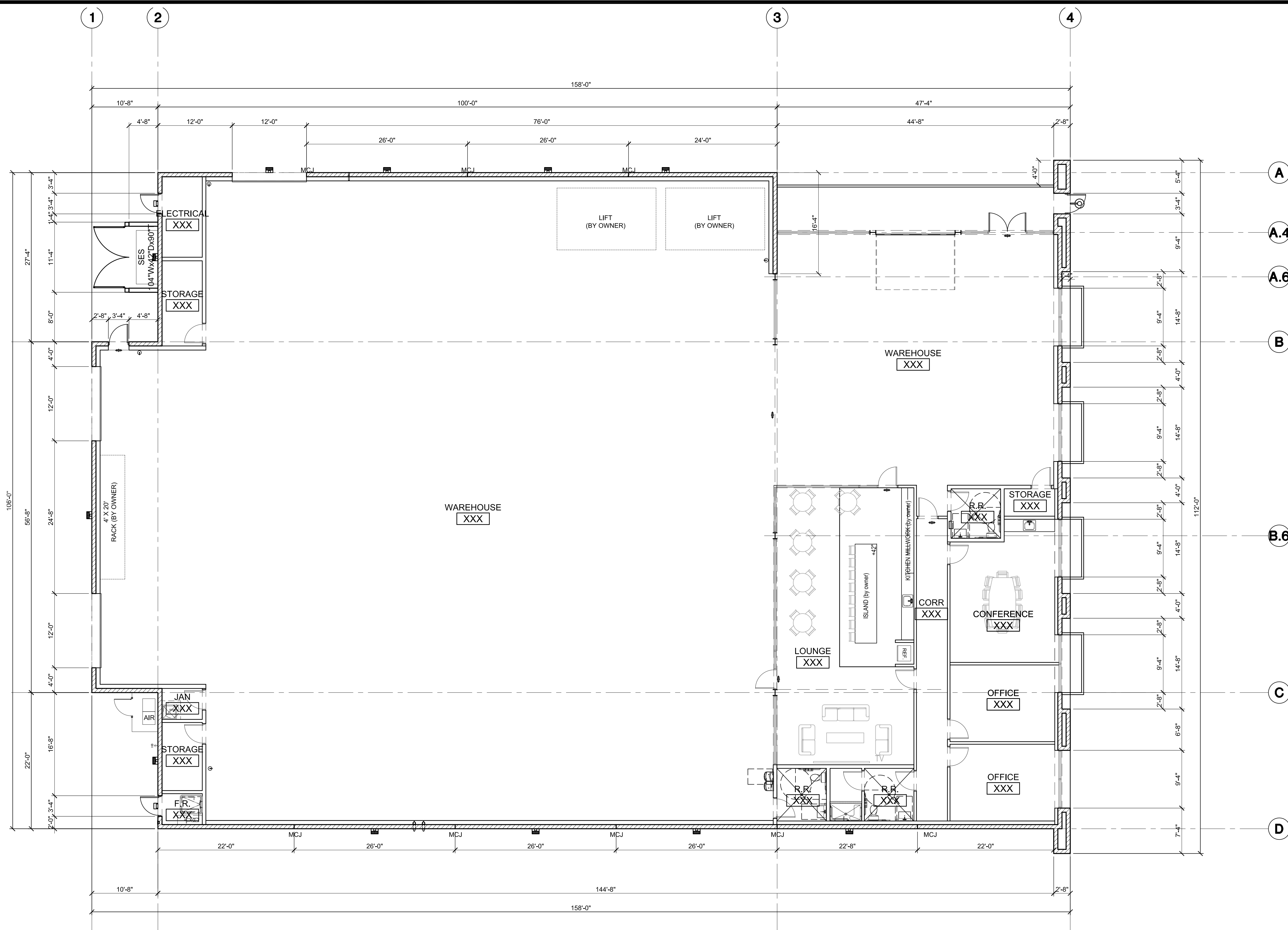
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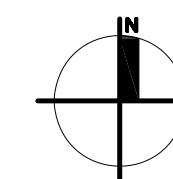
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FLOOR PLAN

SCALE: 1/8" = 1'-0"



**NOTES - WAREHOUSE & EXTERIOR:**

- STRUCTURE:**
- MAIN WAREHOUSE - 56" DHL JOISTS AT 8'-0" OC. (SEE RCP)
  - SLOPED ROOF (1/4"/FT. MINIMUM)
- EXTERIOR WALLS:**
- 8 X 8 X 16 BLOCK WALL (SEE ELEVATIONS).
  - 6" INTERIOR FURRING WALL WITH R-19 BATT INSULATION THROUGHOUT WAREHOUSE AREA, WITH 1/2" GYP. BD. OVER 1/2" PLYWOOD ON 6" METAL STUDS. PLYWOOD PROVIDED THROUGHOUT UP TO 24' AFF. FOR HANGING OF NEON SIGNS.

- FLOORS:**
- HEAVY GROUND CONCRETE SLAB ON GRADE WITH SEALED FINISH, INTEGRAL COLOR, INTENDED COLOR - DARK BROWN, WITH MIX OF LARGE AGGREGATE, HEAVY GRIND. PROVIDE MOCK-UP FOR OWNER APPROVAL. PROVIDE RUBBER BASE AT WAREHOUSE FLOOR. (ALL OTHER ROOMS IN WAREHOUSE AREA TO HAVE REGULAR CONCRETE FLOOR, SEALED.)

- STOREFRONT SYSTEM**
- DARK BRONZE ANODIZED ALUMINUM STOREFRONT
  - SEE ELEVATIONS FOR MULLION LAYOUT

- ROOF SYSTEM (R-38 TOTAL)**
- R-38 BATT INSULATION AT UNDERSIDE OF ROOF STRUCTURE WITH BLACK SCIM (WIRED)
  - PANELIZED ROOF SYSTEM WITH 2X SUB-PURLINS PER STRUCTURAL
  - SHEATHING
  - 1" MINIMUM POLYURETHANE FOAM, CI
  - 10 YEAR FULL SYSTEM WARRANTY
  - MINIMUM SLOPE (1/4" / FT)
  - ACRYLIC TOP ELASTOMERIC BASE COAT W/ #9 SHASTA GROUND MARBLE AGGREGATE @ 40 LBS / 100 SF IN WET BASE COAT ON SPRAYED-ON 3" NOMINAL BASF POLYMERS 2.5 - 3.0 LB DENSITY FOAM TO MEET UL 790
  - CLASS B COMBUSTIBLE
  - ROOFING SHALL MEET ALL APPLICABLE REQUIREMENTS OF UL-790 AND UL-554 APPROVED AND CONFORM TO IBC SECTIONS 1501-1510 AND SHALL MEET UL-1255 CONSTRUCTION METHODS #136, #181 AND #206. ROOFING SYSTEM SHALL MEET UL-1897 OR FM #4470 STANDARD FOR WIND UPLIFT AND UL-2218 OR FM #4470 FOR IMPACT RESISTANCE
  - INSTALL ROOFING PER MANUFACTURER'S AND SFRA GUIDELINE

- DOORS AND WINDOWS**
- EXTERIOR DOORS AT MAIN ENTRY - STOREFRONT SYSTEM, WIDE STYLE.
  - EXTERIOR OVERHEAD DOORS AT MAIN ENTRY - DARK BRONZE ANODIZED ALUMINUM FRAME WITH REFLECTIVE GLASS DOOR, SEE ELEVATION
  - EXTERIOR DOORS AT BOH - HOLLOW METAL DOORS - PAINTED TO MATCH WALL.
  - EXTERIOR WINDOWS - DARK BRONZE ANODIZED ALUMINUM STOREFRONT WITH SOLARBAN 60, LOW-E, BLUE HIGH REFLECTIVE GLASS, PROVIDE SPANDREL GLASS WHERE INDICATED ON ELEVATIONS, HT WARM GRAY TP
  - SINGLE DOME 4'-0" X 8'-0" SKYLIGHTS AS SHOWN (PROVIDE SECURITY BARS) INTEGRAL RELIEF VENT IN CURB, TYPICAL.
  - 10' X 14' O.H. INSULATED COILING DOOR, BASIS OF DESIGN - COOKSON THERMISER. PROVIDE AUTOMATIC OPENER WITH DEADBOLTS

- MECHANICAL / PLUMBING**
- PROVIDE AC CURBS AND UNITS THROUGHOUT ENTIRE BUILDING BASED ON BUILDING SF. PROVIDE EXTERIOR HOSE BIB, MINIMUM 1 PER SIDE AND ONE AT ROOF.
  - CEILING FANS - "BIG ASS FANS", MODEL - "BASIC 6", 16 FT DIAMETER

- ELECTRICAL**
- PROVIDE EXTERIOR LIGHTING ALLOWANCE FOR LED SCONCES
  - PROVIDE INTERIOR LIGHTING ALLOWANCE FOR 3' X 8' LED LIGHTING AT INTERIOR CEILING, MOUNTED TO JOISTS, 24" O.C.
  - PROVIDE INTERIOR LIGHTING ALLOWANCE FOR TRACK LIGHTING ALONG WHERE SHOWN ON RCP TO ILLUMINATE CAR SIGNS.
  - PROVIDE OUTLETS AT 8' OC, AT 2', 8', AND 18' A.F.F., FOR CONNECTING NEON SIGNS
  - SIZE SES PANEL FOR ADDITIONAL ELECTRICAL LOAD FROM NEON SIGNS MOUNTED TO WALL. EACH NEON CAR SIGN DRAWS 5-6 AMPS, EACH SIGN IS ON A 20 AMP BREAKER. APPROXIMATE NUMBER OF NEON SIGNS - 20
  - PROVIDE EXTERIOR LIGHTING ALLOWANCE FOR DOWN LIGHTS AT ENTRY FEATURE
  - PROVIDE ALLOWANCE FOR FLOOR QUAD OUTLETS TO CONNECT COLLECTOR CLASSIC GAS PUMPS, APPROXIMATE NUMBER - 10
  - ALL EXTERIOR LIGHTING TO BE CONTROLLED BY VIA PHOTOCCELL (DUSK/DAWN) OR TIME CLOCK

- PAINT (INTERIOR)**
- PAINT ALL CEILING ELEMENTS BLACK (FLAT FINISH), INCLUDING STRUCTURE AND DUCTWORK.
  - PAINT ALL INTERIOR WALLS "BEHR - SANDSTONE COVE, 730C-2", SEMI-GLOSS FINISH

- MILLWORK / FURNITURE:**
- ALL FURNITURE TO BE SUPPLIED BY OWNER, INCLUDING CAR LIFTS.

**NOTES - OFFICE T.I.**

- FLOORING:**
- OFFICE, OFFICE HALLWAY, AND CONF. ROOM TO BE CARPETED. CARPET TO BE SHAW, STYLE - ECLECTIC #5A164, COLOR - WATER #64485, WITH RUBBER BASE U.N.O.
  - LOUNGE TO HAVE WOOD LOOK VINYL PLANK FLOOR, WITH RUBBER BASE U.N.O.
  - TOILET ROOMS TO BE CERAMIC TILE AND BASE.

- INTERIOR WALLS:**
- OFFICES AND CORRIDORS TO BE 5/8" GYP. BD. OVER FRAMING. SMOOTH FINISHED (TWO COATS LATEX PAINT).
  - TOILET ROOMS TO BE CERAMIC TILE WAINSCOT (+5'-0" A.F.F.) OVER WIRGB "GREENBOARD" AT WET WALL AND ADJACENT WALLS.
  - FURRING WALLS TO OCCUR ALONG EXTERIOR OF BLDG.
  - LOUNGE TO HAVE SOLID SURFACE COUNTERTOPS, TRAVERTINE BACKSPLASH NEAR KITCHEN MILLWORK, HERRINGBONE PATTERN

- DOORS AND WINDOWS**
- INTERIOR DOORS - SOLID CORE WOOD
  - INTERIOR STOREFRONT B.O. D. - DARK BRONZE, ANODIZED ALUMINUM, WESTERN INTEGRATED MATERIALS, WITH 3/8" CLEAR TEMPERED GLASS, BUTT JOINTED VERTICAL SEAMS, 4" WIDE GLASS AT LOUNGE, CONFERENCE AND OFFICES
  - ALL INTERIOR GLASS TO BE CLEAR

- CEILINGS:**
- SEE RCP FOR LOCATIONS AND HEIGHTS
  - OFFICE CEILINGS TO BE ARMSTRONG SECOND LOOK 2' X 4' SUSPENDED CEILING
  - RESTROOM, SHOWER, AND PARTIAL LOUNGE CEILINGS TO BE GYP. BOARD

- ELECTRICAL:**
- PROVIDE INTERIOR LIGHTING ALLOWANCE FOR SUSPENDED PENDANT LIGHTS OVER LOUNGE ISLAND BAR

- MILLWORK**
- ALL MILLWORK BASE AND UPPERS TO HAVE AN ALLOWANCE BY THE CONTRACTOR.

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