

From: [Janeen Dutcher](#)
To: [Mayo, Desirae](#)
Cc: [Posler, Kathryn](#); [Carr, Brad](#); [David Noe](#); [Alan Fernandez](#)
Subject: 15-BA-2019 Withdraw Request
Date: Wednesday, December 11, 2019 9:50:20 AM

External Email: Please use caution if opening links or attachments!

Hi Desirae,

Good Morning! Hope you are enjoying your Wednesday. Per your suggestion and email from 12/10/2019 @ 2:11pm, AJF would like to officially request withdraw of BOA #15-BA-2019 for the house and our current submittal for the wall as well.

Project location is:

ADDRESS: 29398 N. 74th Street, Scottsdale AZ 85266
LOT: Lot 13
PARCEL: 216-69-029B

If you need further information or have any questions, please feel free to reach out to our office at any time.

--

Thank-you!

Janeen Dutcher
Administrative Assistant, etc.
AJF Custom Homes, LLC.
P.O. Box 27705
Scottsdale, AZ 85255
Ph: 623-434-1916
Fx: 623-434-4663
Office Hours: Mon-Fri 7am-3pm
janeenajf@gmail.com

Request for Site Visits and/or Inspections

Construction Document Application



This request concerns all property identified in the construction document (plan review) application.


Project Name: 74 Street
Project Address: 29398 N. 74th Street, Scottsdale AZ 85262

STATEMENT OF AUTHORITY:

1. I am the owner of the property, or I am the duly and lawfully appointed agent of the property and have the authority from the owner to sign this request on the owner's behalf. If the land has more than one owner, then I am the agent for all owners, and the word "owner" refer to them all.
2. I have the authority from the owner to act for the owner before the City of Scottsdale regarding any and all development application regulatory or related matter of every description involving all property identified in the construction document.

STATEMENT OF REQUEST FOR SITE VISITS AND/OR INSPECTIONS

1. I hereby request that the City of Scottsdale's staff conduct site visits and/or inspections of the property identified in the construction document in order to efficiently process the application.
2. I understand that even though I have requested the City of Scottsdale's staff conduct site visits and/or inspections, city staff may determine that a site visit and/or an inspection is not necessary, and may opt not to perform the site visit and/or an inspection.

Property owner /Property owner's agent: Alan Fernandez / CEO

Print Name
Signature

City Use Only:	
Submittal Date: _____	Plan review number: _____
Planning and Development Services 7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ www.ScottsdaleAZ.gov	



WARNING & DISCLAIMER OF LIABILITY

The Drainage and Floodplain Regulations and Ordinances of the City of Scottsdale are intended to "minimize the occurrence of losses, hazards and conditions adversely affecting the public health, safety and general welfare which might result from flooding caused by the surface runoff of rainfall" (Scottsdale Revised Code §37-16).

As defined in S.R.C. §37-17, a flood plain or "Special flood hazard area means an area having flood and/or flood related erosion hazards as shown on a FHBM or FIRM as zone A, AO, A1-30, AE, A99, AH, or E, and those areas identified as such by the floodplain administrator, delineated in accordance with subsection 37-18(b) and adopted by the floodplain board." It is possible that a property could be inundated by greater frequency flood events or by a flood greater in magnitude than a 100-year flood. Additionally, much of the Scottsdale area is a dynamic flood area; that is, the floodplains may shift from one location to another, over time, due to natural processes.

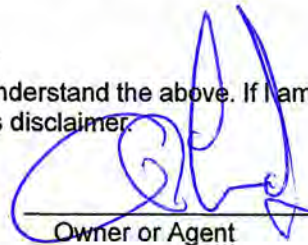
WARNING AND DISCLAIMER OF LIABILITY PURSUANT TO S.R.C §37-22

"The degree of flood protection provided by the requirements in this article is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. Floods larger than the base flood can and will occur on rare occasions. Floodwater heights may be increased by man-made or natural causes. This article (Chapter 37, Article II) shall not create liability on the part of the city, any officer or employee thereof, or the federal government for any flood damages that result from reliance on this article or any administrative decision lawfully made thereunder."

Compliance with Drainage and Floodplain Regulations and Ordinances does not insure complete protection from flooding. The Floodplain Regulations and Ordinances meet established local and federal standards for floodplain management, but neither this review nor the Regulations and Ordinances take into account such flood related problems as natural erosion, streambed meander or man-made obstructions and diversions, all of which may have an adverse affect in the event of a flood. You are advised to consult your own engineer or other expert regarding these considerations.

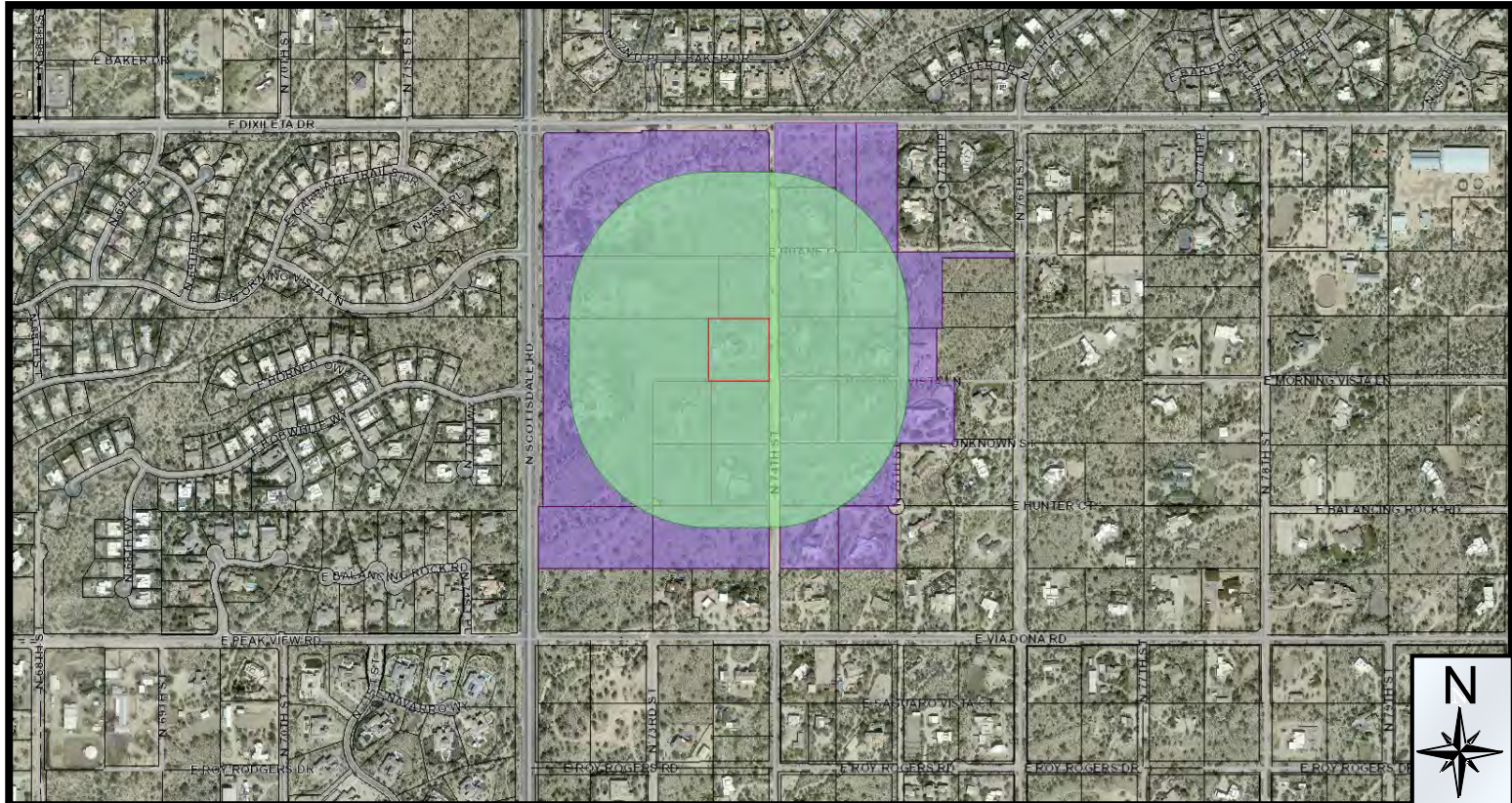
I have read and understand the above. If I am an agent for an owner I have made the owner aware of and explained this disclaimer.

5677-19
Plan Check No.


Owner or Agent

11/19/19
Date

City Notifications – Mailing List Selection Map



Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Nextdoor.com
- City Website-Projects in the hearing process

Pulled Labels
November 21, 2019

Map Legend:



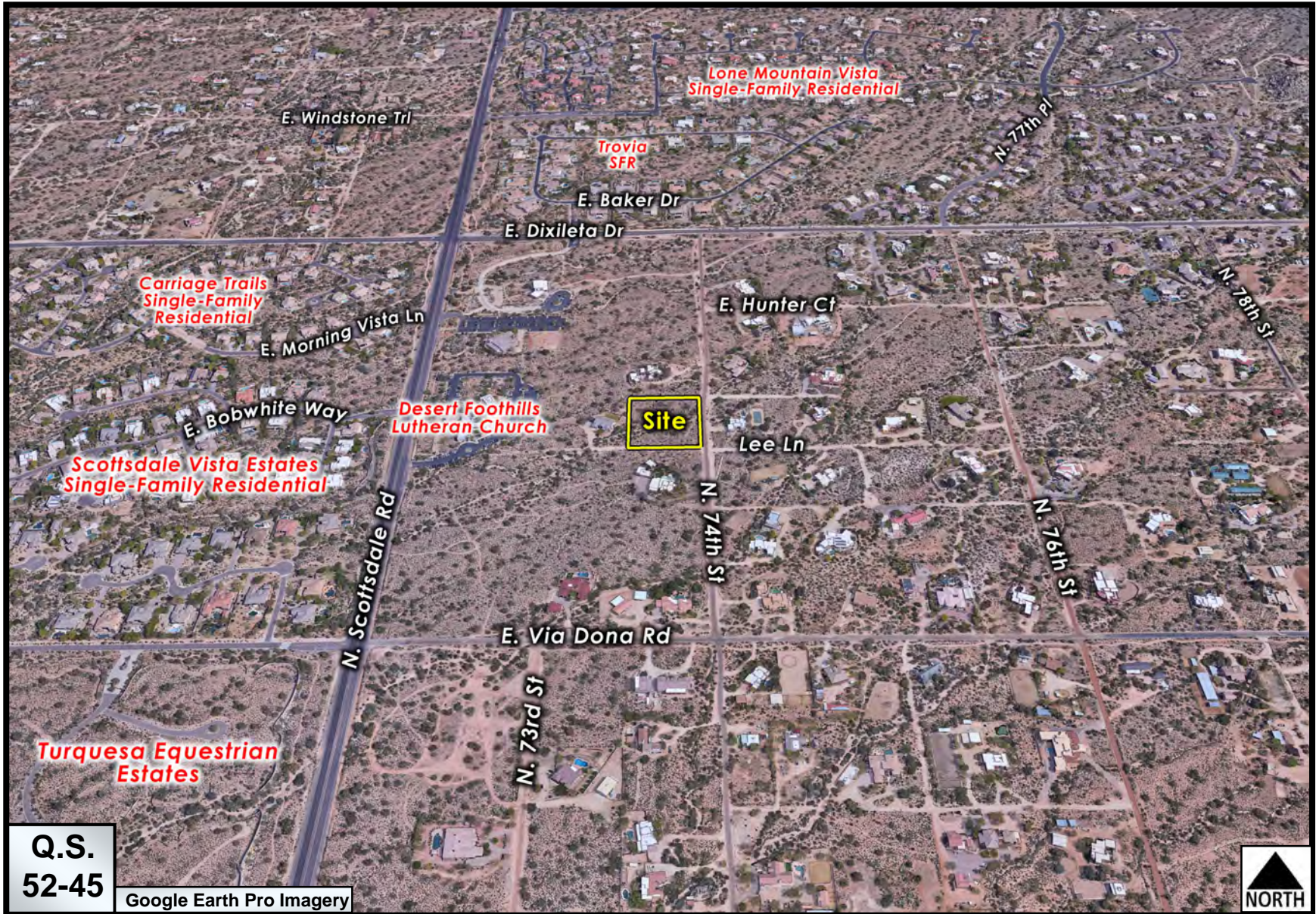
Site Boundary



Properties within 750-foot

Postcards: 97

15-BA-2019



Q.S.
52-45

Google Earth Pro Imagery



Context Aerial

15-BA-2019



Site

E. Morning Visa Ln

N. 74th St

Lee Ln

Q.S.
52-45

Google Earth Pro Imagery



Close-up Aerial

15-BA-2019



Q.S.
52-45

Aerial

Zoning Aerial

15-BA-2019

R1-70 ESLFO
Site

N. 74th Street

E. Morning Vista Lane

Q.S.
52-45

Zoning Graphic



Existing Zoning

15-BA-2019

SITE PLAN

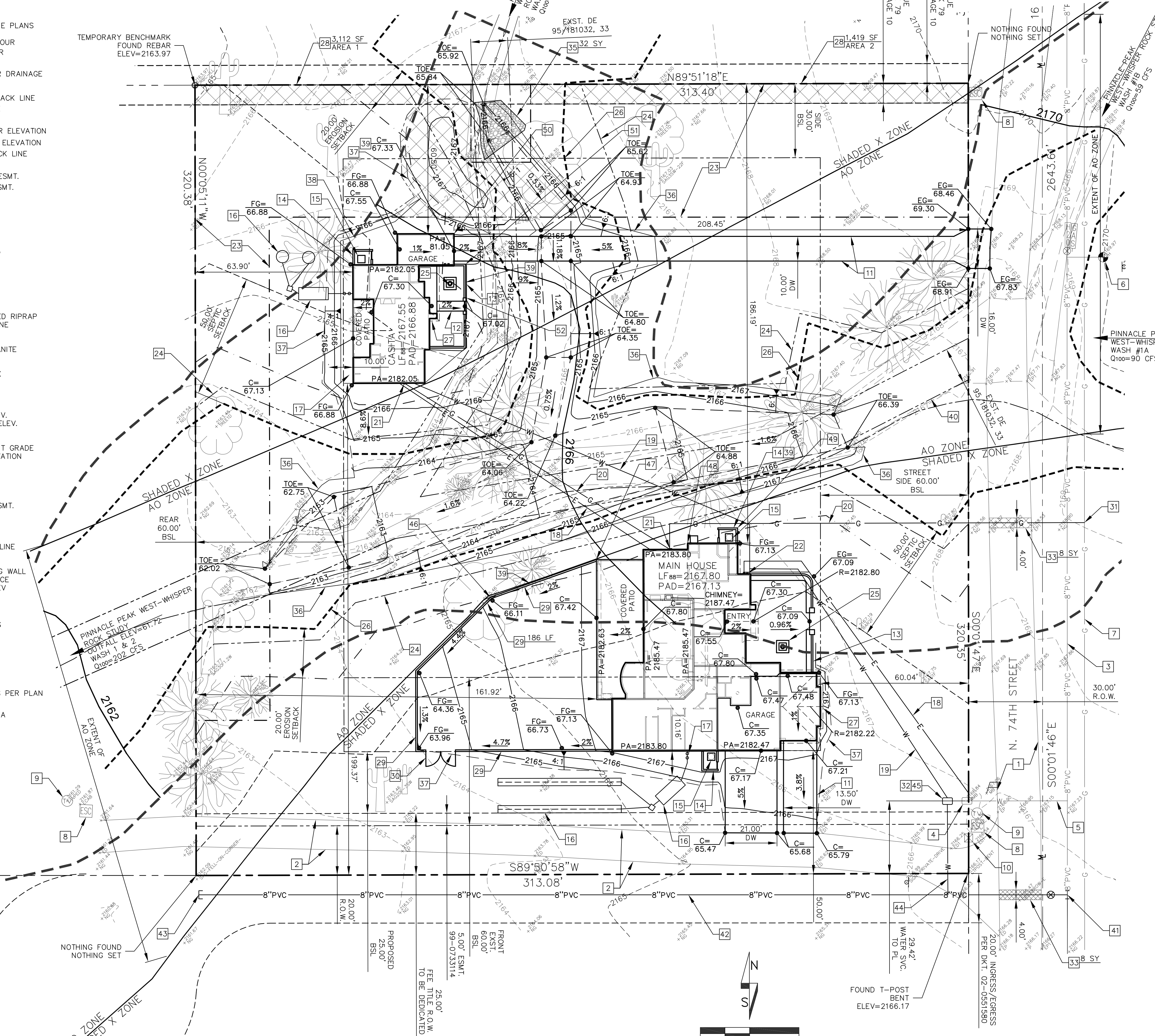
29398 N. 74TH STREET, SCOTTSDALE, AZ



NOENGINEERING
 706 E. Bell Road
 Suite 108
 Phoenix, AZ 85022
 Tel. (602) 368-8489
 Fax (602) 368-8389

LEGEND:
 NOT ALL ITEMS ARE SHOWN ON THE PLANS

- 2165--- EXISTING 5' CONTOUR
- 2166--- EXISTING CONTOUR
- 2166--- NEW CONTOUR
- DITCH, SWALE, OR DRAINAGE
- PROPERTY LINE
- EASEMENT/SET-BACK LINE
- ROAD CENTERLINE
- LIMITS OF NAOS
- EXST. HIGH WATER ELEVATION
- NEW HIGH WATER ELEVATION
- EROSION SET-BACK LINE
- SEPTIC SETBACK
- EXST. DRAINAGE ESMT.
- NEW DRAINAGE ESMT.
- AO FLOOD ZONE
- NEW ELEV.
- EXISTING ELEV.
- FOUND BRASSCAP
- FOUND REBAR
- DRAINAGE FLOW
- CUT/FILL SLOPE
- BC BACK OF CURB
- BR BOTTOM OF BURIED RIPRAP
--- BSL BLDG SETBACK LINE
- BW BOTTOM OF WALL
- C CONCRETE ELEV.
- CG DECOMPOSED GRANITE
- DW DRIVEWAY
- ELEV ELEVATION
- ESB EROSION SETBACK
- ESMT EASEMENT
- ETC DRY UTILITIES
- EXST EXISTING
- FB FREEBOARD
- FF FINISH FLOOR ELEV.
- FG FINISHED GRADE ELEV.
- G GUTTER ELEV.
- GB GRADE BREAK
- HAC HIGHEST ADJACENT GRADE
- HWE HIGH WATER ELEVATION
- ML MONUMENT LINE
- NG NATURAL GRADE
- PA PARAPET ELEV.
- P PAVEMENT ELEV.
- PL PROPERTY LINE
- PUE PUBLIC UTILITY ESMT.
- R RIDGE ELEVATION
- ROW RIGHT-OF-WAY
- SS SCOUR DEPTH
- SD SANITARY SEWER
- SCL SEPTIC SETBACK LINE
- TC TOP OF CURB
- TF TOP OF FOOTING
- TRW TOP OF RETAINING WALL
- TVF TOP OF VIEW FENCE
- TW TOP OF WALL ELEV.
- BARREL CACTUS
- SAGUARO CACTUS
- PALO VERDE
- TREE
- RIP RAP, DETAILS PER PLAN
- NAOS REVEG AREA



SITE KEY NOTES, cont'd:

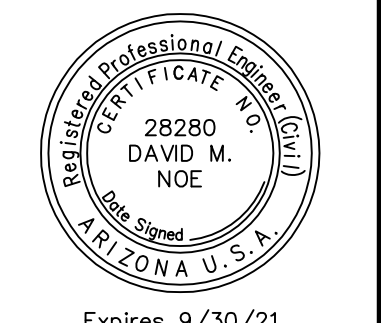
- 34 NEW TOE OF REGRADED WASH. WIDTH WILL VARY.
- 35 INSTALL D50=6", LOOSE AND NATIVE STONE RIPRAP PER DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.504.B, HAND PLACED 12" DEEP OVER AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE FILTER FABRIC FOR EROSION PROTECTION. PORTION TO BE BURIED. AREA PER PLAN. DETAIL ON SHEET C-3.
- 36 TOP OF NEW CUT SLOPE.
- 37 TOE OF NEW FILL SLOPE.
- 38 TOP OF NEW FILL SLOPE.
- 39 INSTALL 3' DEEP FOOTINGS BEHIND EROSION SETBACK LINE.
- 40 EXST. DRAINAGE EASEMENT TO BE RELEASED.
- 41 INSTALL TAPPING SLEEVE AND VALVE PER MAG STD. DETAIL 340.
- 42 INSTALL 352 LF 6" PVC WATER MAIN.
- 43 INSTALL WATER MAIN END CAP.
- 44 INSTALL WATER SERVICE LINE.
- 45 INSTALL NEW WATER METER BOX.
- 46 INSTALL 5" HIGH, 8" WIDE, CMU SITE WALL. TW=71.11 TRW=68.11 FL=63.44 SCOUR=58.94
- 47 INSTALL 5" HIGH, 8" WIDE, CMU SITE WALL. TW=72.42 TRW=67.42 FL=64.16 SCOUR=59.66
- 48 INSTALL EXTENDED BUILDING WALL. DETAIL PER BUILDING PLANS. FF=67.80 FL=64.75 SCOUR=60.25
- 49 INSTALL EQUIPMENT SCREEN WALL. TW=71.63 TRW=67.13 FL=64.94 SCOUR=60.44
- 50 INSTALL EXTENDED BUILDING WALL. DETAIL PER BUILDING PLANS. FF=67.33 FL=65.72 SCOUR=61.22
- 51 INSTALL 33" HIGH SCREEN WALL. TW=69.77 TRW=67.02 FL=65.65 SCOUR=61.15
- 52 INSTALL 33" HIGH SCREEN WALL. TW=69.77 TRW=67.02 FL=64.64 SCOUR=60.14
- 53 SAWCUT 8 SY PER PAVEMENT REPLACEMENT COS DETAIL 2200 AND 2201.
- ** SITE KEY NOTES CONTINUED ABOVE

SITE KEY NOTES:

- 1 EXST. PAVED ROADWAY.
- 2 EXST. DIRT ROAD.
- 3 EXST. 6" PVC WATER MAIN.
- 4 EXST. WATER METER BOX.
- 5 EXST. WATER SERVICE LINE.
- 6 EXST. FIRE HYDRANT.
- 7 EXST. 2" PE GAS MAIN PER SOUTHWEST GAS AS-BUILT PLANS. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
- 8 EXST. ELECTRIC CABINET.
- 9 EXST. CATV RISER.
- 10 EXST. TELEPHONE RISER.
- 11 INSTALL PAVER DRIVEWAY TO SUPPORT 83,000 LBS; GRADE PER PLAN.
- 12 INSTALL PAVER WALKWAY.
- 13 INSTALL 33" HIGH SCREEN WALL WITH DRAINAGE OPENINGS AND 43" HIGH COLUMN. DETAIL PER BUILDING PLANS. DETAILS 14 AND 15 ON SHEET 10.
- 14 INSTALL EQUIPMENT SCREEN WALL TO BE A MIN. OF 12" ABOVE EQUIPMENT AND A MAX OF 6" HIGH. DETAIL ON SHEET C-1.
- 15 INSTALL A/C PAD ON GRADE.
- 16 INSTALL SEPTIC SYSTEM PER SEPARATE PERMIT.
- 17 INSTALL SEWER CLEAN OUT PER MAD STD. DETAIL 440-2.
- 18 INSTALL BURIED ELECTRIC LINE.
- 19 INSTALL 1" PVC, SCHED. 40 DOMESTIC WATER LINE.
- 20 INSTALL GAS SERVICE LINE.
- 21 INSTALL GAS METER PER BUILDING PLANS.
- 22 INSTALL 400 AMP ELECTRIC SERVICE PANEL PER BUILDING PLANS.
- 23 EXTENT OF NAOS TO BE DEDICATED PER SEPARATE INSTRUMENT. AREA PER PLAN.
- 24 EXTENT OF DRAINAGE EASEMENT TO BE DEDICATED PER SEPARATE INSTRUMENT.
- 25 FIRE PIT PER BUILDING PLANS.
- 26 EXTENT OF NEW HIGH WATER ELEVATION.
- 27 EDGE OF ROOF OVERHANG.
- 28 NAOS REVEG AREA.
- 29 INSTALL 5" HIGH, 8" WIDE, CMU SITE WALL. DETAIL ON SHEET C-1. LENGTH PER PLAN. DETAIL PER BUILDING PLANS SHEET 10, DETAIL 14.
- 30 INSTALL 5" HIGH, 12" WIDE DOUBLE GATE. DETAIL ON SHEET C-1.
- 31 INSTALL GAS CONNECTION TO EXST. GAS MAIN.
- 32 INSTALL 1" WATER METER.
- 33 SAWCUT 8 SY PER PAVEMENT REPLACEMENT COS DETAIL 2200 AND 2201.

11-12-19 BD OF ADJUSTMENT APPROVAL
 REV DATE ISSUED FOR

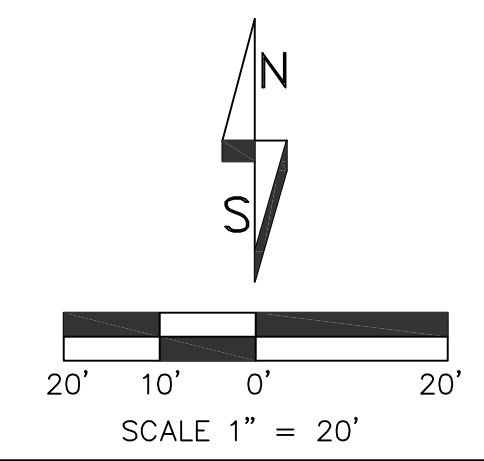
Job No: 2017-0505
 Scale: 1"=20'
 Engineer: D. NOE
 Designer: C. DEAN
 Checked By:
 Expires 9/30/21



Client/Project
CUSTOM RESIDENCE
 29398 N. 74TH STREET
 SCOTTSDALE, AZ

Title
SITE PLAN
 SCALE 1"=20'

Drawing No.
C-2
 of 2



PLAN CHECK #5677-19 29398 N. 74TH STREET QS#52-45

P:\NOENGINEERING\PROJECTS\2017\2017-0505-AJF-21665029\DWG\BASEFILE-030119.DWG
 PLOT DATE: TUESDAY, 12 NOVEMBER 2015 AT 11:04AM

Development Application



Development Application Type:
Please check the appropriate box of the Type(s) of Application(s) you are requesting

Zoning	Development Review	Signs
<input type="checkbox"/> Text Amendment (TA)	<input type="checkbox"/> Development Review (Major) (DR)	<input type="checkbox"/> Master Sign Program (MS)
<input type="checkbox"/> Rezoning (ZN)	<input type="checkbox"/> Development Review (Minor) (SA)	<input type="checkbox"/> Community Sign District (MS)
<input type="checkbox"/> In-fill Incentive (II)	<input type="checkbox"/> Wash Modification (WM)	Other:
<input type="checkbox"/> Conditional Use Permit (UP)	<input type="checkbox"/> Historic Property (HP)	<input type="checkbox"/> Annexation/De-annexation (AN)
Exemptions to the Zoning Ordinance	Land Divisions (PP)	<input type="checkbox"/> General Plan Amendment (GP)
<input type="checkbox"/> Hardship Exemption (HE)	<input type="checkbox"/> Subdivisions	<input type="checkbox"/> In-Lieu Parking (IP)
<input type="checkbox"/> Special Exception (SX)	<input type="checkbox"/> Condominium Conversion	<input type="checkbox"/> Abandonment (AB)
<input checked="" type="checkbox"/> Variance (BA)	<input type="checkbox"/> Perimeter Exceptions	Other Application Type Not Listed
<input type="checkbox"/> Minor Amendment (MA)	<input type="checkbox"/> Plat Correction/Revision	<input type="checkbox"/>

Project Name:

Property's Address:

Property's Current Zoning District Designation:

The property owner shall designate an agent/applicant for the Development Application. This person shall be the owner's contact for the City regarding this Development Application. The agent/applicant shall be responsible for communicating all City information to the owner and the owner application team.

Owner: Alan Fernandez	Agent/Applicant: Alan Fernandez
Company: AJF Custom Homes, LLC.	Company: AJF Custom Homes, LLC.
Address: P.O. Box 27705 , Scottsdale AZ 85255	Address:
Phone: 623-434-1916 Fax: 623-434-4663	Phone: Fax:
E-mail: janeenajf@gmail.com	E-mail:
Designer:	Engineer: Dave Noe
Company:	Company: Noe Engineering
Address:	Address: 706 e. Bell Road, Ste #108 Phoenix AZ 85022
Phone: Fax:	Phone: 602-368-8508 Fax:
E-mail:	E-mail: dnoe@noeeng.com

Please indicate in the checkbox below the requested review methodology (please see the descriptions on page 2).
 • This is not required for the following Development Application types: AN, AB, BA, II, GP, TA, PE and ZN. These applications¹ will be reviewed in a format similar to the Enhanced Application Review methodology.

- Enhanced Application Review:** I hereby authorize the City of Scottsdale to review this application utilizing the Enhanced Application Review methodology.
- Standard Application Review:** I hereby authorize the City of Scottsdale to review this application utilizing the Standard Application Review methodology.



 Owner Signature Agent/Applicant Signature

Official Use Only Submittal Date: Development Application No.:

GRADING AND DRAINAGE PLAN

29398 N. 74TH STREET, SCOTTSDALE, AZ

OWNER/CONTRACTOR:

ALAN FERNANDEZ
AJF CUSTOM HOMES
412 E. CAREFREE HIGHWAY
PHOENIX, AZ 85085
(623) 434-1916
alanajf@cox.net



DESIGNER:

DAN LEESLEY
DESERT VIEW DESIGN & DRAFTING, INC.
9405 E. PAMPA AVE.
MESA, AZ 85212
(480) 491-8248 PH
(480) 347-4185 FAX
dleesley@yahoo.com

CIVIL ENGINEER:

NOENGINEERING
DAVID M. NOE, P.E.
706 E. BELL RD.
SUITE 108
PHOENIX, AZ 85022
(602) 368-8489 PH
(602) 368-8389 FAX
dnoe@noeng.com

PARCEL DATA:

ADDRESS 29398 N. 74TH STREET
APN 216-69-029B
ZONING R1-70 ESL FO
QS# 52-45
AREA 2.2 ACRES (94,089.45 SF)
LANDFORM LOWER DESERT

LEGAL DESCRIPTION:

THE EAST HALF OF LOT 13 OF PINNACLE PEAK PARADISE, ACCORDING TO BOOK 79 OF MAPS, PAGE 13, RECORDS OF MARICOPA COUNTY, ARIZONA. EXCEPT ALL OIL, GAS, MINERALS AND OTHER VOLATILE SUBSTANCE AS RECORDED IN BOOK 331 OF DEEDS, PAGE 330.

BUILDING SETBACKS:

FRONT 60 FT
REAR 60 FT
SIDE 30 FT
STREET SIDE 60 FT

CUT/FILL QUANTITIES:

NOTE: FOR ESTIMATING PURPOSES ONLY; ENGINEER MAKES NO WARRANTY OF ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT QUANTITIES BASED ON THE PLANS. QUANTITIES DO NOT INCLUDE ANY TOPSOIL REMOVAL; ANY SHRINKAGE OR EXPANSION/SWELLING OF THE SOIL; OR WHETHER SOIL CAN BE REUSED ON-SITE. ASSUMED 4" CONCRETE SLAB AND 4" ABC ARE NOT INCLUDED IN VOLUME QUANTITIES.

CUT 330 CY
FILL 822 CY
NET 492 CY FILL

BENCHMARK:

BC IN HANDHOLE AT INTERSECTION OF N. SCOTTSDALE ROAD AND DIXLETA DRIVE. ELEVATION = 2161.33 NAVD88

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK PROVIDED ABOVE.

TEMPORARY BENCHMARK:

FOUND REBAR AT THE NORTHWEST PROPERTY CORNER. ELEV=2163.97 NAVD88

SURVEY:

FIELD SURVEY CONDUCTED BY BARNETT LAND SURVEYING, LLC ON 5-29-2017.

ENGINEER'S CERTIFICATION:

THE LOWEST FLOOR ELEVATION AND/OR FLOOD PROOFING ELEVATION(S) FOR THE LIVABLE ADDITIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

David M. Noe
DAVID M. NOE, P.E.

7/22/19
DATE

SHEET INDEX:

- C-1 COVER SHEET
- C-2 GRADING AND DRAINAGE PLAN, SCALE 1"=20'
- C-3 CROSS-SECTIONS AND DETAILS
- C-4 HEC-RAS RIVER STATIONS AND HWE

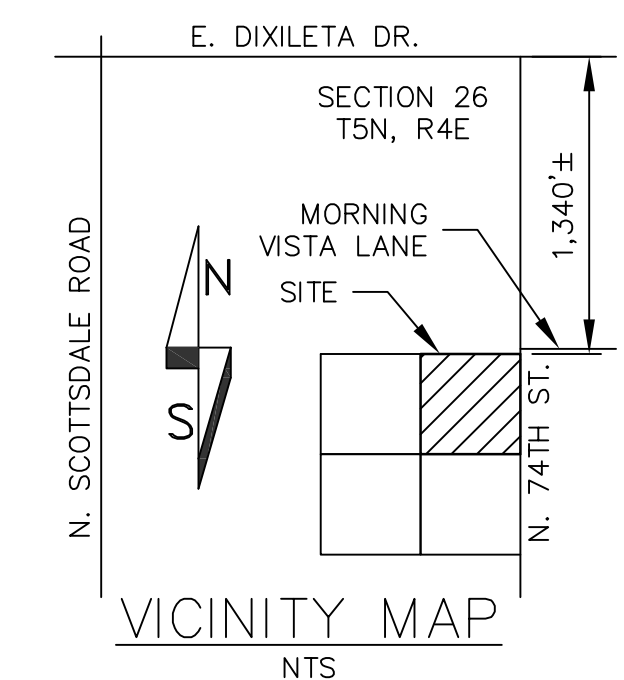
ENGINEER'S FEMA CERTIFICATION:
THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
COMMUNITY NUMBER	MAP NUMBER	DATED	SUFFIX	ZONE	DATE OF FIRM INDEX	BASE FLOOD ELEVATION
045012	04013C0895L	10/16/13	L	SHADED "X" AO	11/04/15	1 FOOT - V=6 FPS

SCOTTSDALE FIRE DEPARTMENT ACCESS GRADES FROM 0 TO 12% FOR ONE SINGLE FAMILY RESIDENCE						
DRIVE LENGTH	DRIVE WIDTH	DRIVE SURFACE	TURN-A-ROUND REQUIRED	HOSE LAY	SPRINKLER MOD-13D	
LESS THAN 200'	12	AW	NO	LESS THAN 200'	YES	

NOENGINEERING

706 E. Bell Road
Suite 108
Phoenix, AZ 85022
Tel. (602) 368-8489
Fax (602) 368-8389



SITE & BUILDING INFO:

STRUCTURE	AREA
HOUSE	
LIVABLE AREA	3,537.0 SF
GARAGES	1,120.8 SF
COVERED PATIO	949.8 SF
COVERED ENTRY	130.7 SF
MECHANICAL ROOM	14.7 SF
CASITA	
LIVABLE AREA	1,206.0 SF
GARAGE	297.3 SF
COVERED PATIO	187.6 SF
COVERED ENTRY/MECH	126.6 SF
TOTAL HOUSE UNDER ROOF	5,753 SF
TOTAL CASITA UNDER ROOF	1,817.5 SF
TOTAL UNDER ROOF	7,570.5 SF
TOTAL LOT AREA	94,089.45 SF
LOT COVERAGE	8.0 %

WALL QUANTITY:

SCREEN WALLS 48 LF
SITE WALLS 186 LF

SECTION 6.1004.B.3:

NET LOT AREA	94,089.45 SF
ENCLOSED AREA CASITA	2,297.36 SF
ENCLOSED AREA HOUSE	11,410.15 SF
TOTAL ENCLOSED AREA	13,707.51 SF
PERCENT OF ENCLOSED AREA	14.6 %

07-23-19 CITY OF SCOTTSDALE APPROVAL
REV DATE ISSUED FOR

Job No: 2017-0505
Scale: AS NOTED
Engineer: D. NOE
Designer: C. HIGAN
Checked By: *[Signature]*



Client/Project
CUSTOM RESIDENCE
APN 216-69-029B
29398 N. 74TH STREET
SCOTTSDALE, AZ

Title
COVER SHEET

Drawing No.
C-1
of 4

POOL NOTES:

1. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
2. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.

POOL ENCLOSURES:

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVE GROUND OR ON-GROUND POOL, HOT-TUB OR SPA SHALL BE PROVIDED WITH A BARRIER MEETING THE REQUIREMENTS OF SCOTTSDALE ORDINANCE #3096, ADOPTED BY THE SCOTTSDALE CITY COUNCIL ON MARCH 18, 1998. POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE PERMIT.

E.S.L. NOTES:

1. EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 6 AS INDICATED IN THE MUNSEL BOOK OF COLOR ON FILE IN THE CITY OF SCOTTSDALE'S PLANNING & DEVELOPMENT DEPARTMENT. THE CITY MAY REQUIRE COLOR SAMPLES TO VERIFY COMPLIANCE.
2. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
3. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
4. PLANT MATERIALS NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE FROM A LOWER ELEVATION.
5. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
6. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNTARNISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A MATTE OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY.
7. MIRRORING SURFACES OR ANY TREATMENTS WHICH CHANGE ORDINARY GLASS INTO A MIRRORING SURFACE ARE PROHIBITED.
8. THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND SCALE, FORM AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT DEPARTMENT.
9. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE CITY OF SCOTTSDALE REVISED CODE.
10. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS.
11. ALL EXTERIOR LIGHTING BELOW 3 FEET IN HEIGHT SHALL BE FULLY SHIELDED. ALL EXTERIOR LIGHTING ABOVE 3 FEET IN HEIGHT SHALL CONSIST OF HORIZONTAL FULL-CUTOFF FIXTURES AND DIRECTED DOWNWARD, EXCEPT LIGHTS UTILIZED FOR SECURITY PURPOSES.
12. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENT IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF).
13. WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SURFACE SHALL BE A VIEW FENCE.
14. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
15. IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DEFINED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN.
16. NO PAINT COLOR SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35%.

GUEST HOUSE NOTE:

1. A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT.
2. A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING.

MECHANICAL EQUIPMENT NOTE:

ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF ONE (1) FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAN.

FOOTHILL OVERLAY NOTES:

1. SITE WALLS MUST BE SETBACK 15 FEET FROM SIDE AND REAR PROPERTY LINES. THIS APPLIES ONLY TO RESIDENTIAL PARCELS CONTAINING AN AREA OF 35,000 SQ FT OR LARGER.
2. WASHES OF 50 CFS OR GREATER FLOW SHALL BE IDENTIFIED AND WATERCOURSE(S) SHALL BE UNALTERED. IF WATERCOURSE(S) ARE ALTERED, PROVIDE A COPY OF THE WASH MODIFICATION APPROVAL LETTER AND REFERENCE THE CASE NUMBER ON THE SITE PLAN.
3. APPLICATIONS THAT HAVE RECEIVED A HARSHIP EXEMPTION SHALL PROVIDE THE CASE NUMBER ON THE SITE PLAN.
4. SITE WALLS SHALL NOT BE PROVIDED IN NAOS AREAS OR DISRUPT THE CONTINUITY OF NAOS CORRIDORS.
5. IDENTIFY THE SPECIFIC LOCATION OF THE CONSTRUCTION ENVELOPE ON SITE PLAN. THE CONSTRUCTION ENVELOPE CONSISTS OF AN AREA ENCLOSED BY A LINE EXTENDING 15 FEET OUT FROM ALL DISTURBANCES ON LOT.

GENERAL NOTES:

1. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE HOUSE PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY
2. THIS PLAN IS DESIGNED TO SHOW THE GRADING AND DRAINAGE ONLY.
3. THIS PLAN IS NOT A BOUNDARY SURVEY.
4. BEARINGS AND DISTANCES ARE RECORD PER PLAT OR TITLE REPORT UNLESS OTHERWISE NOTED.
5. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
6. ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUESTAKE @ 602-263-1100.
7. ALL FINISH FLOOR ELEVATIONS ARE AT LEAST 8" HIGHER THAN THE FINISH GRADES DIRECTLY OUTSIDE ANY BUILDING.
8. FINISH GRADE SLOPES AT LEAST 5% AWAY FROM FINISH FLOOR EXPOSED FOUNDATIONS WITHIN THE FIRST 10 FEET. WHERE THIS IS NOT POSSIBLE, DRAINS OR SWALES ARE PROVIDED AS PER THE GRADING PLAN.
9. FILL WILL BE PLACED, COMPACTED, AND TESTED IN ACCORDANCE WITH MAG SECTION 211. FILL WILL BE PROTECTED FROM EROSION.
10. REQUIREMENTS FOR CITY OF SCOTTSDALE FOR SLOPE STABILIZATION AND RESTORATION WILL BE MET.
11. ALL GRADING TO BE PER 2015 I.B.C. SECTION 1804, UNLESS NOTED PER PLAN.
12. THIS DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH CITY OF SCOTTSDALE DRAINAGE REGULATIONS AND THE DRAINAGE POLICIES AND STANDARDS MANUAL.
13. FINISH FLOORS OF A BUILDING ARE ELEVATED A MINIMUM OF 12" ABOVE THE HIGH WATER ELEVATION ADJACENT TO THE BUILDING.
14. CURRENT BUILDING CODES - 2015 IRC, 2015 IBC, 2014 NEC, 2015 IMC, 2015 IPC & 2015 IFGC (ALL AS AMENDED PER THE MARICOPA COUNTY LOCAL ADDITIONS AND ADDENDA).

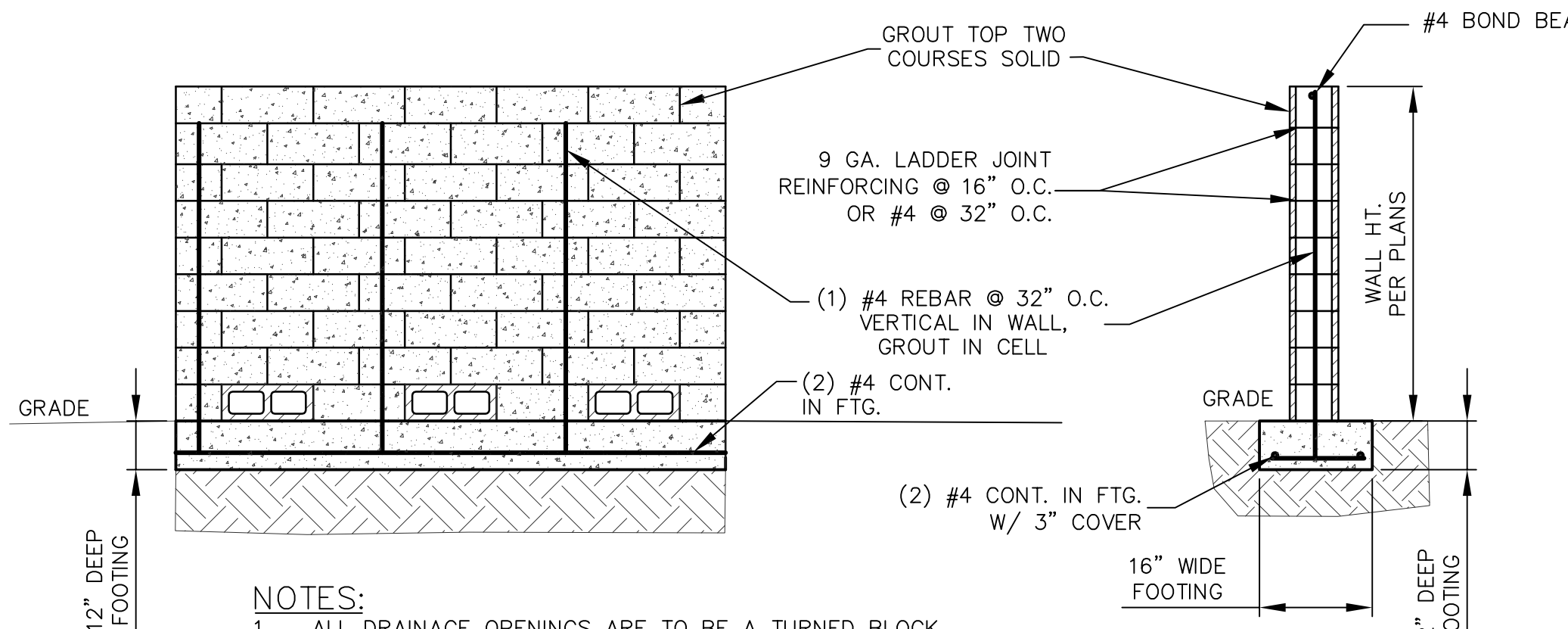
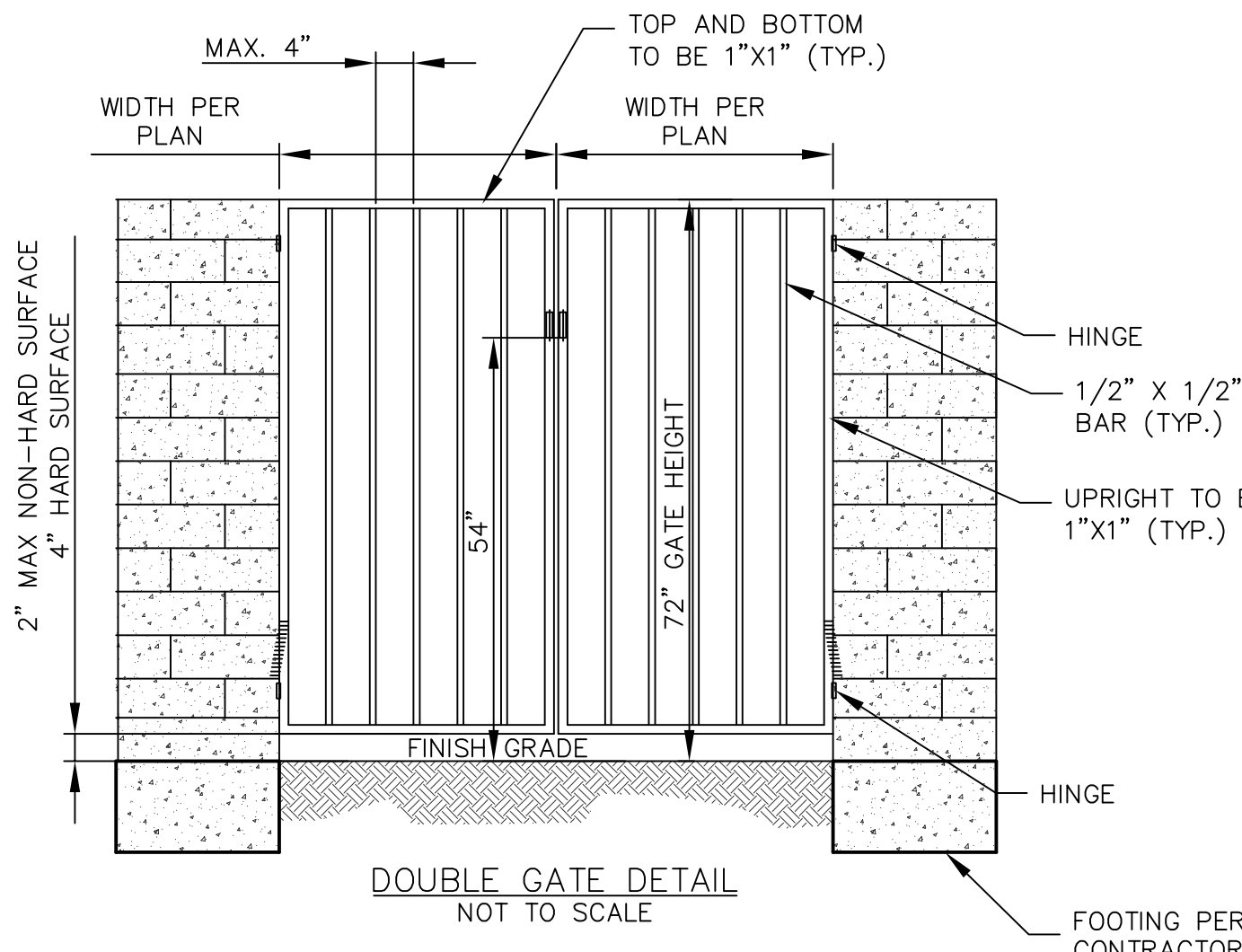
N.A.O.S. DATA:

LOT AREA:	94,089.45 SF
N.A.O.S. REQUIRED:	22,208.05 SF
NAOS AREA 1 UNDISTURBED:	17,717.47 SF
RE-VEGETATED AREA:	4,530.50 SF
(100% CREDIT) % RE-VEG:	20.4 %
TOTAL NAOS PROVIDED:	22,247.97 SF

LOWER DESERT NAOS ANALYSIS:

SLOPE RANGE	PERCENT REQUIRED	A (SF)	SUBTOTAL
0 TO 2%	20%	36,480.37	7,296.07
OVER 2 TO 5%	25%	47,415.05	11,853.76
OVER 5 TO 10%	30%	3,048.17	914.45
OVER 10 TO 15%	30%	1,057.85	317.36
OVER 15 TO 25%	30%	3,464.77	1,039.43
OVER 25%	30%	2,623.24	786.97
TOTAL		94,089.45	22,208.05
PERCENT			23.6%

MINIMUM NAOS LOWER 15%



NOTES:

1. ALL DRAINAGE OPENINGS ARE TO BE A TURNED BLOCK EVERY OTHER BLOCK AT BASE COURSE AT NATURAL GRADE.
2. ALL BLOCK WEEP HOLES TO BE AT NATURAL GRADE.
3. NO DECORATIVE BLOCKS ARE TO BE USED FOR DRAINAGE OPENINGS.
4. IF BLOCK WALL REINFORCEMENT IS SET 4-FOOT ON CENTER AND TWO BLOCKS NEXT TO EACH OTHER ARE NOT TURNED, TWO TURNED BLOCKS NEXT TO EACH OTHER MUST THEN FOLLOW.

BLOCK WALL DETAIL
NTS

29398 N. 74TH STREET
QS#52-45
PLAN CHECK #TBD
P:\NOENGINEERING\PROJECTS\2017\2017-0505-AJF-21669029\DWG\BASEFILE-030119.DWG
PLOT DATE: TUESDAY, 23 JULY 2019 AT 09:50AM

GRADING AND DRAINAGE PLAN

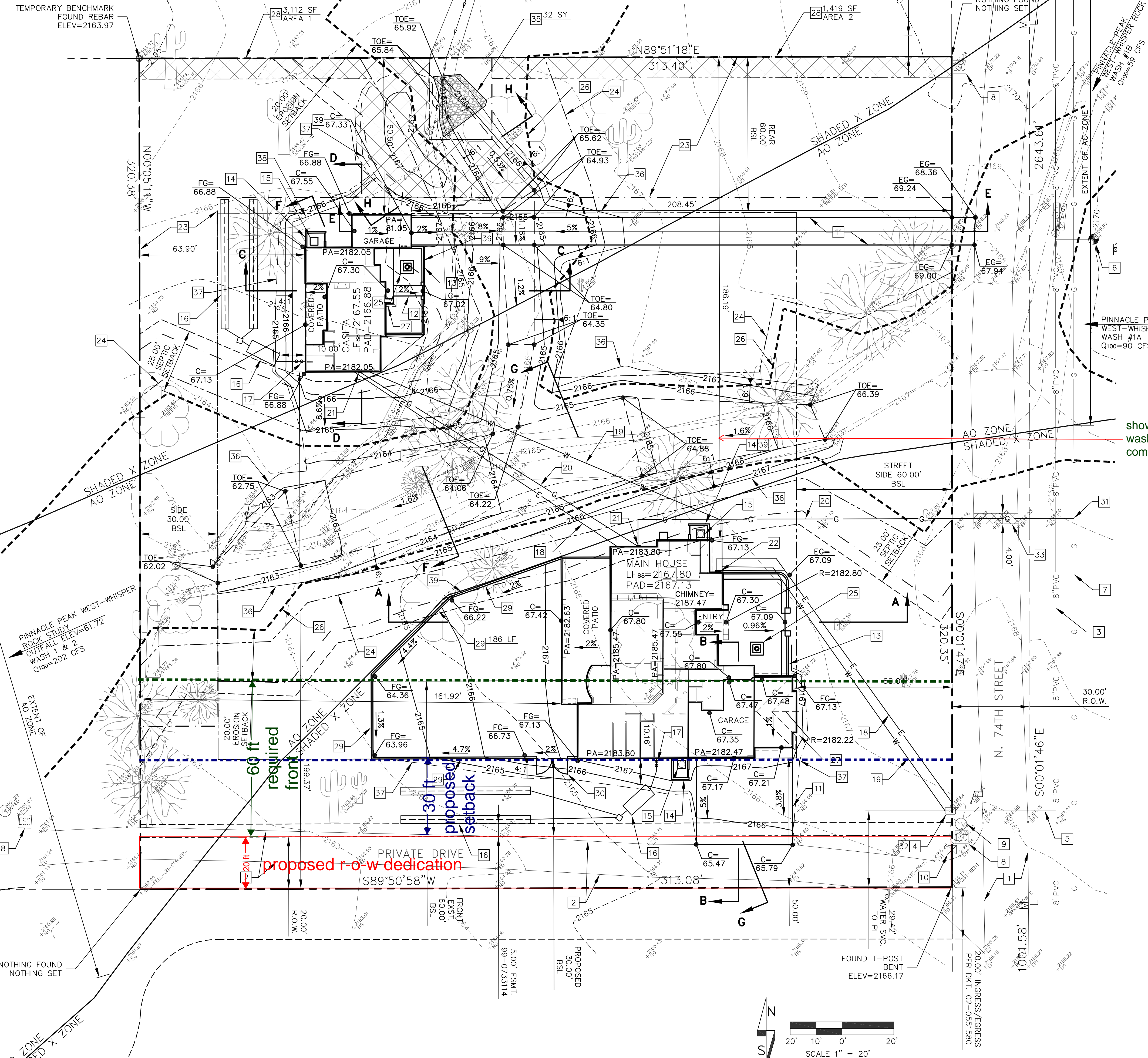
29398 N. 74TH STREET, SCOTTSDALE, AZ



NOENGINEERING
 706 E. Bell Road
 Suite 108
 Phoenix, AZ 85022
 Tel. (602) 368-8489
 Fax (602) 368-8389

LEGEND:

- NOT ALL ITEMS ARE SHOWN ON THE PLANS
- 1260--- EXISTING 5' CONTOUR
 - 1259--- EXISTING CONTOUR
 - 1258--- NEW CONTOUR
 - - - - - DITCH, SWALE, OR DRAINAGE
 - — — — — PROPERTY LINE
 - - - - - EASEMENT/SET-BACK LINE
 - — — — — ROAD CENTERLINE
 - - - - - LIMITS OF NAOS
 - - - - - EXST. HIGH WATER ELEVATION
 - - - - - NEW HIGH WATER ELEVATION
 - - - - - EROSION SET-BACK LINE
 - - - - - SEPTIC SETBACK
 - - - - - DRAINAGE ESMT.
 - - - - - FLOOD ZONE AO
 - C=20.19 NEW ELEV.
 - EXISTING ELEV.
 - FOUND BRASSCAP
 - FOUND REBAR
 - DRAINAGE FLOW
 - CUT/FILL SLOPE
 - BC BACK OF CURB
 - BR BOTTOM OF BURIED RIPRAP
 - BSL BLDG SETBACK LINE
 - BW BOTTOM OF WALL
 - C CONCRETE ELEV.
 - DG DECOMPOSED GRANITE
 - DW DRIVEWAY
 - ELEV ELEVATION
 - ESB EROSION SETBACK
 - ESMT EASEMENT
 - ETC DRY UTILITIES
 - EXST EXISTING
 - FB FREEBOARD
 - FF FINISH FLOOR ELEV.
 - FG FINISHED GRADE ELEV.
 - G GUTTER ELEV.
 - GB GRADE BREAK
 - HAG HIGHEST ADJACENT GRADE
 - HWE HIGH WATER ELEVATION
 - ML MONUMENT LINE
 - NG NATURAL GRADE
 - PA PARAPET ELEV.
 - P PAVEMENT ELEV.
 - PL PROPERTY LINE
 - PUE PUBLIC UTILITY ESMT.
 - R RIDGE ELEVATION
 - ROW RIGHT-OF-WAY
 - SD SCOUR DEPTH
 - SS SANITARY SEWER
 - SSL SEPTIC SETBACK LINE
 - TC TOP OF CURB
 - TF TOP OF FOOTING
 - TRW TOP OF RETAINING WALL
 - TWF TOP OF VIEW FENCE
 - TW TOP OF WALL ELEV.
 - BARREL CACTUS
 - SAGUARO CACTUS
 - PALO VERDE
 - TREE
 - RIP RAP, DETAILS PER PLAN
 - NAOS REVEG AREA



- SITE KEY NOTES, cont'd:**
- 34 NEW TOE OF REGRADED WASH. WIDTH WILL VARY.
 - 35 INSTALL D50=6", LOOSE AND NATIVE STONE RIPRAP PER DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.504.B, HAND PLACED 12" DEEP OVER AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE FILTER FABRIC FOR EROSION PROTECTION. PORTION TO BE BURIED. AREA PER PLAN. DETAIL ON SHEET C-3.
 - 36 TOP OF NEW CUT SLOPE.
 - 37 TOE OF NEW FILL SLOPE.
 - 38 TOP OF NEW FILL SLOPE.
 - 39 INSTALL 3' DEEP FOOTINGS BEHIND EROSION SETBACK LINE.

- SITE KEY NOTES:**
- 1 EXST. PAVED ROADWAY.
 - 2 EXST. DIRT ROAD.
 - 3 EXST. 6"Ø PVC WATER MAIN.
 - 4 EXST. WATER METER BOX.
 - 5 EXST. WATER SERVICE LINE.
 - 6 EXST. FIRE HYDRANT.
 - 7 EXST. 2" PE GAS MAIN PER SOUTHWEST GAS AS-BUILT PLANS. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
 - 8 EXST. ELECTRIC CABINET.
 - 9 EXST. CATV RISER.
 - 10 EXST. TELEPHONE RISER.
 - 11 INSTALL PAVER DRIVEWAY; GRADE PER PLAN.
 - 12 INSTALL PAVER WALKWAY.
 - 13 INSTALL 33" HIGH SCREEN WALL WITH DRAINAGE OPENINGS AND 43" HIGH COLUMN. DETAIL PER BUILDING PLANS DETAILS 14 AND 15 ON SHEET 10.
 - 14 INSTALL EQUIPMENT SCREEN WALL TO BE A MIN. OF 12" ABOVE EQUIPMENT AND A MAX OF 6" HIGH. DETAIL ON SHEET C-1.
 - 15 INSTALL A/C PAD ON GRADE.
 - 16 INSTALL SEPTIC SYSTEM PER SEPARATE PERMIT.
 - 17 INSTALL SEWER CLEAN OUT PER MAD STD. DETAIL 440-2.
 - 18 INSTALL BURIED ELECTRIC LINE.
 - 19 INSTALL 1" PVC, SCHED. 40 DOMESTIC WATER LINE.
 - 20 INSTALL GAS SERVICE LINE.
 - 21 INSTALL GAS METER PER BUILDING PLANS.
 - 22 INSTALL 400 AMP ELECTRIC SERVICE PANEL PER BUILDING PLANS.
 - 23 EXTENT OF NAOS TO BE DEDICATED PER SEPARATE INSTRUMENT. AREA PER PLAN.
 - 24 EXTENT OF DRAINAGE EASEMENT TO BE DEDICATED PER SEPARATE INSTRUMENT.
 - 25 FIRE PIT PER BUILDING PLANS.
 - 26 EXTENT OF NEW HIGH WATER ELEVATION.
 - 27 EDGE OF ROOF OVERHANG.
 - 28 NAOS REVEG AREA.
 - 29 INSTALL 5' HIGH, 8" WIDE, CMU SITE WALL. DETAIL ON SHEET C-1. LENGTH PER PLAN. DETAIL PER BUILDING PLANS SHEET 10, DETAIL 14.
 - 30 INSTALL 5' HIGH, 12" WIDE DOUBLE GATE. DETAIL ON SHEET C-1.
 - 31 INSTALL GAS CONNECTION TO EXST. GAS MAIN.
 - 32 INSTALL 1" WATER METER.
 - 33 SAWCUT 8 SY PER PAVEMENT REPLACEMENT COS DETAIL 2200.
- ** SITE KEY NOTES CONTINUED ABOVE

show grading in wash, how come?

60 ft required front setback
 30 ft proposed setback
 proposed r-o-w dedication

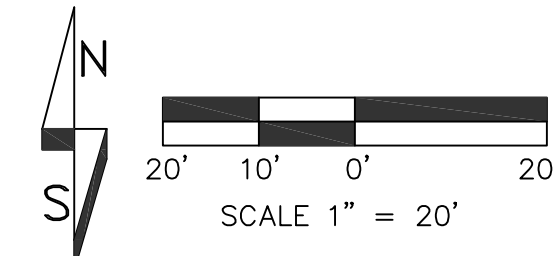
07-23-19 CITY OF SCOTTSDALE APPROVAL

Job No: 2017-0505
 Scale: 1"=20'
 Engineer: D. NOE
 Designer: C. HIGAN
 Checked By: [Signature]
 Expires: 9/30/18

Client/Project
CUSTOM RESIDENCE
 APN 216-69-029B
 29398 N. 74TH STREET
 SCOTTSDALE, AZ

GRADING AND DRAINAGE PLAN
 SCALE 1"=20'

Drawing No.
C-2
 of 4



PLAN CHECK #TBD QS#52-45 29398 N. 74TH STREET

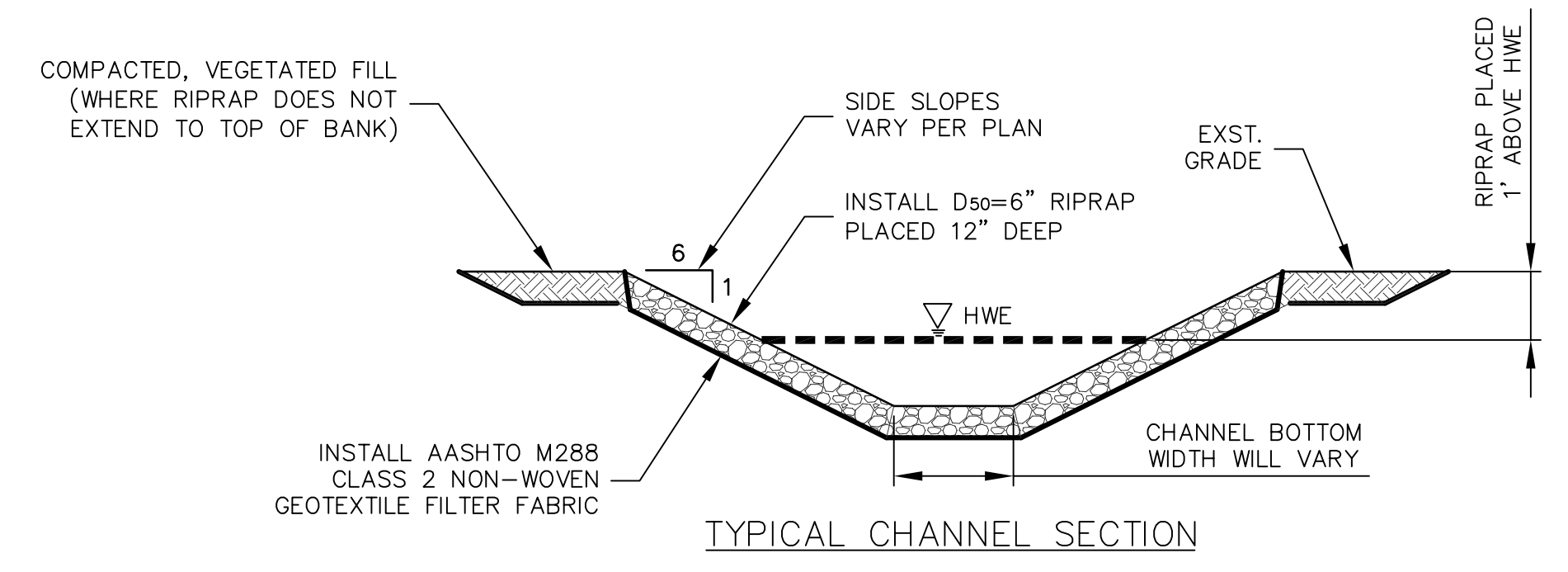
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 PLOT DATE: TUESDAY, 23 JULY 2019 AT 09:50AM

GRADING AND DRAINAGE PLAN

29398 N. 74TH STREET, SCOTTSDALE, AZ



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 Fax (602) 368-8389



BANK AND FOUNDATION PREPARATION:

CHANNEL BANKS SHOULD BE GRADED TO A UNIFORM SLOPE. ALL BLUNT OR SHARP OBJECTS (SUCH AS ROCKS OR TREE ROOTS) PROTRUDING FROM THE GRADED SURFACE SHOULD BE REMOVED. LARGE BOULDERS NEAR THE OUTER EDGE OF THE TOE AND APRON SHOULD BE REMOVED.

RIPRAP GRADATION AND STONE SHAPE:

THE GRADATION OF ROCK RIPRAP SHOULD FOLLOW A SMOOTH CURVE. THE RATIO OF THE LARGEST SIZE ROCK TO D50 SHOULD BE ABOUT TWO, AND THE RATIO OF D20 TO D50 SHOULD BE ABOUT ONE-HALF. THE STONE SHOULD BE HARD, DENSE AND DURABLE AND SHOULD BE RESISTANT TO WEATHERING AND FRACTURING.

THE SHAPE OF THE RIPRAP STONE SHOULD BE "ANGULAR" OR "BLOCKY," RATHER THAN ELONGATED. MORE NEARLY CUBIC STONES "NEST" TOGETHER, AND ARE MORE RESISTANT TO MOVEMENT. ALSO, STONES WITH SHARP, CLEAN EDGES AND RELATIVELY FLAT FACES WILL FORM A RIPRAP MASS HAVING AN ANGLE OF INTERNAL FRICTION GREATER THAN ROUNDED STONES, AND THEREFORE WILL BE LESS SUSCEPTIBLE TO SLOPE FAILURES. THE FOLLOWING SHAPE SPECIFICATIONS ARE SUGGESTED FOR RIPRAP OBTAINED FROM QUARRY OPERATIONS:

1. THE STONE SHALL BE PREDOMINANTLY ANGULAR IN SHAPE. WHERE ANGULAR STONE IS NOT AVAILABLE, SIDE SLOPES SHOULD BE NO STEEPER THAN 3H:1V.
2. NOT MORE THAN 25 PERCENT OF THE STONES REASONABLY DISTRIBUTED THROUGHOUT THE GRADATION SHALL HAVE A LENGTH MORE THAN 2.5 TIMES THE BREADTH OR THICKNESS.
3. NO STONE SHALL HAVE A LENGTH EXCEEDING 3.0 TIMES ITS BREADTH OR THICKNESS.

RIPRAP FILTER FABRIC:

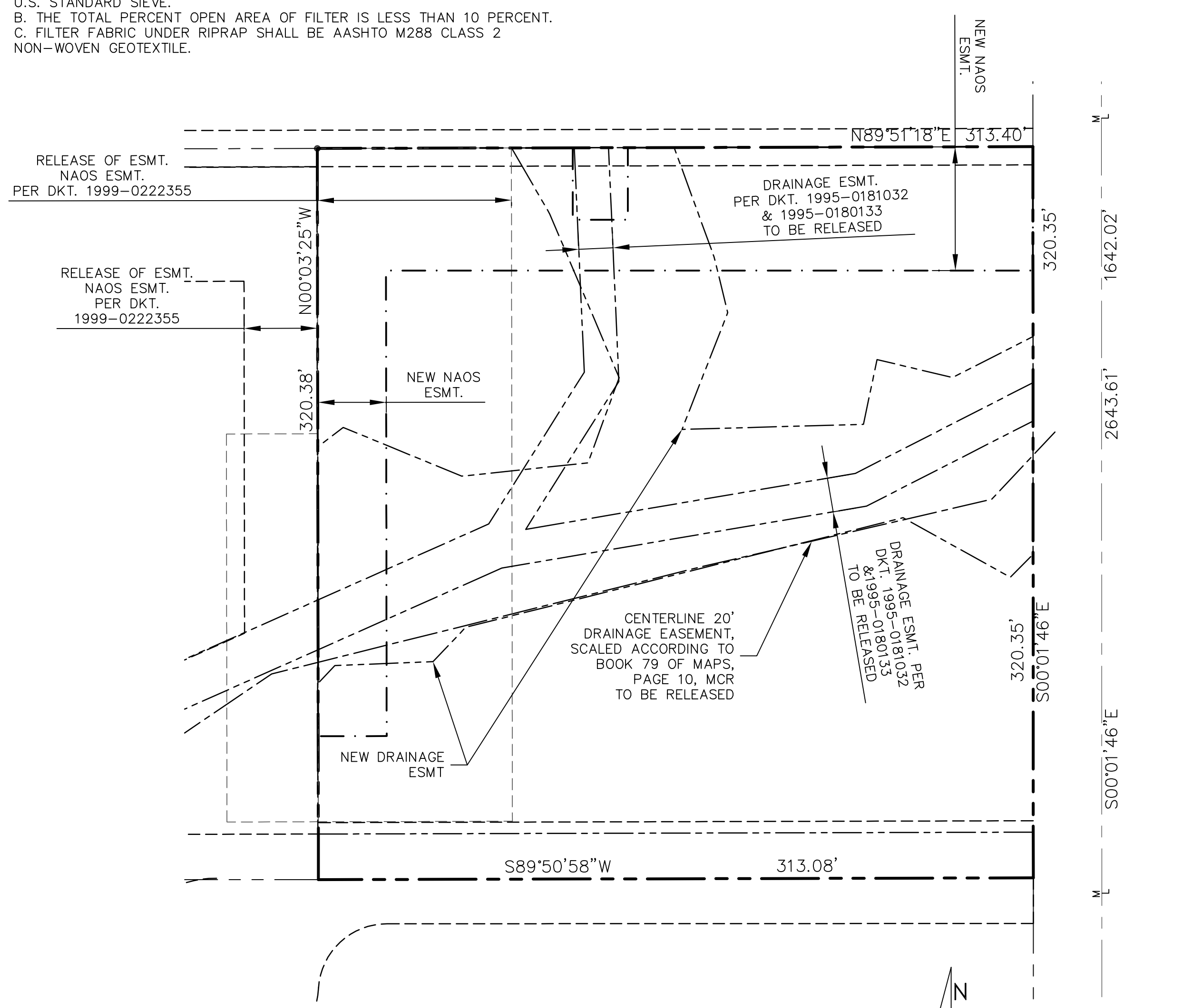
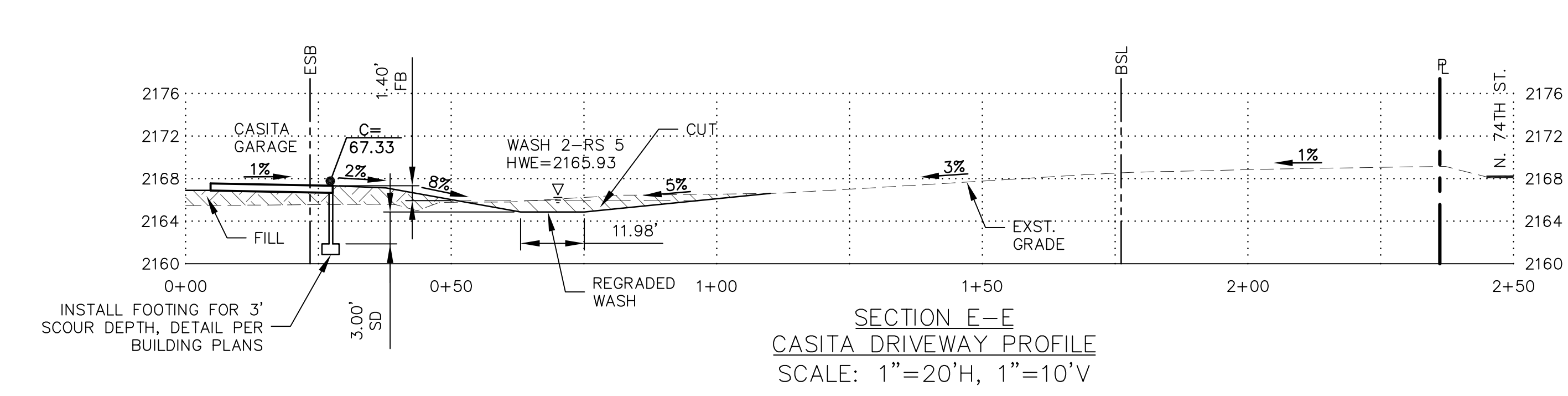
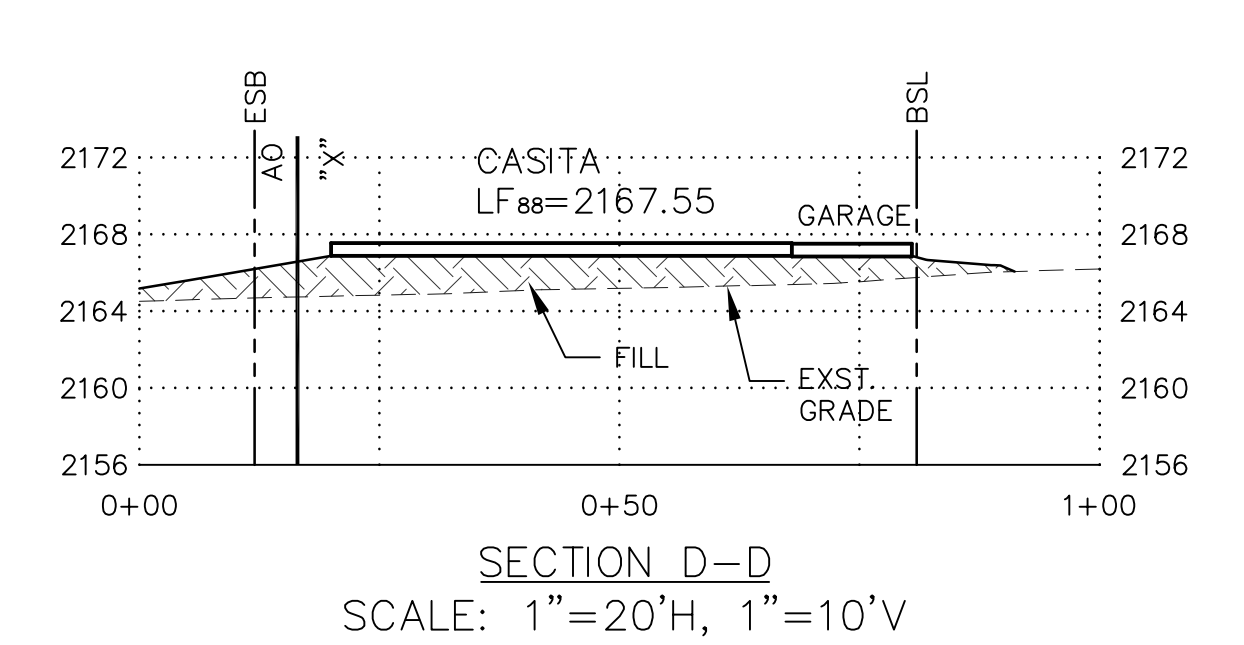
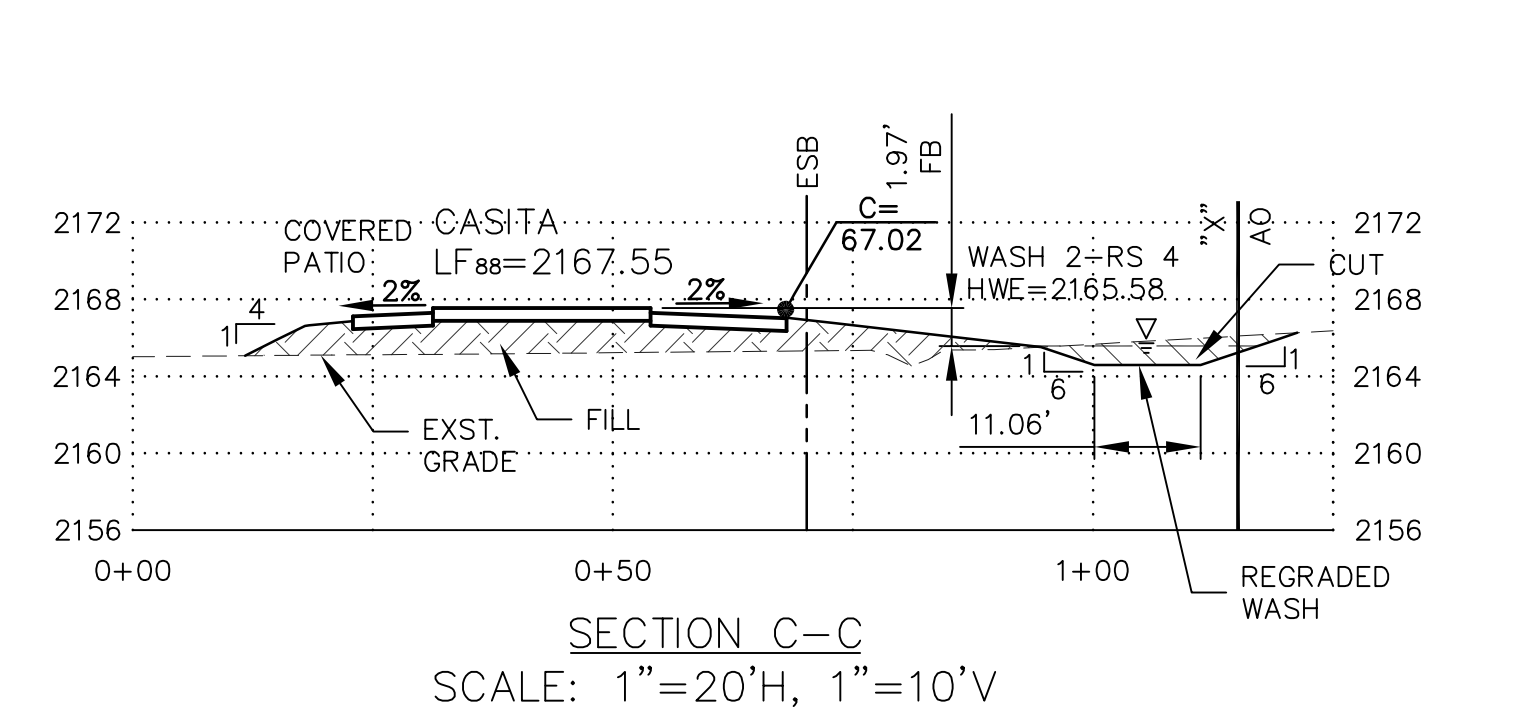
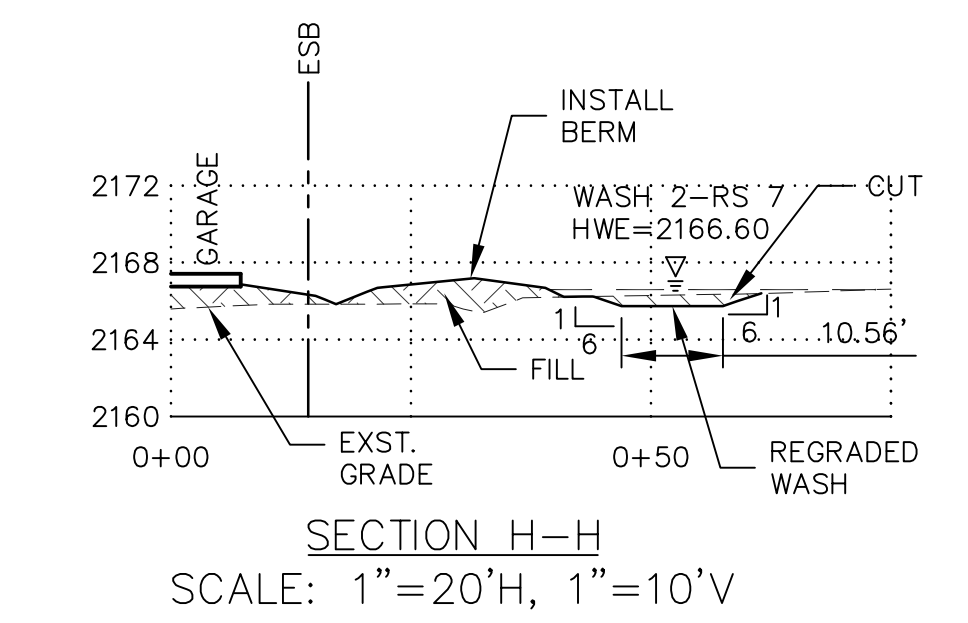
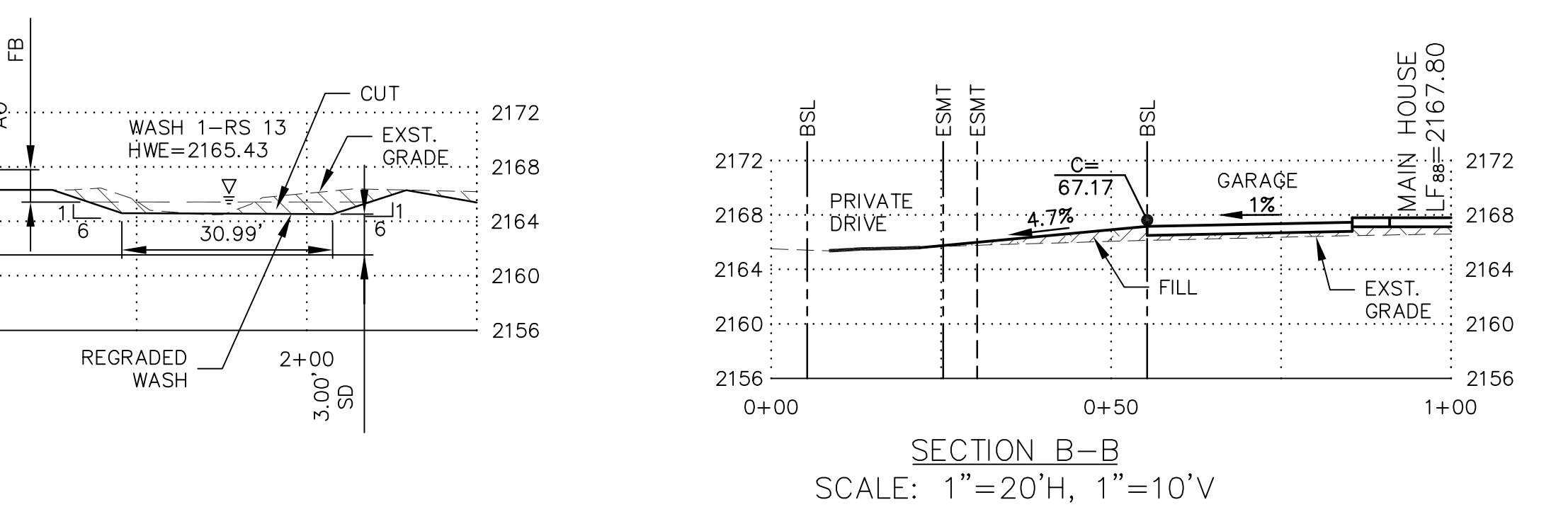
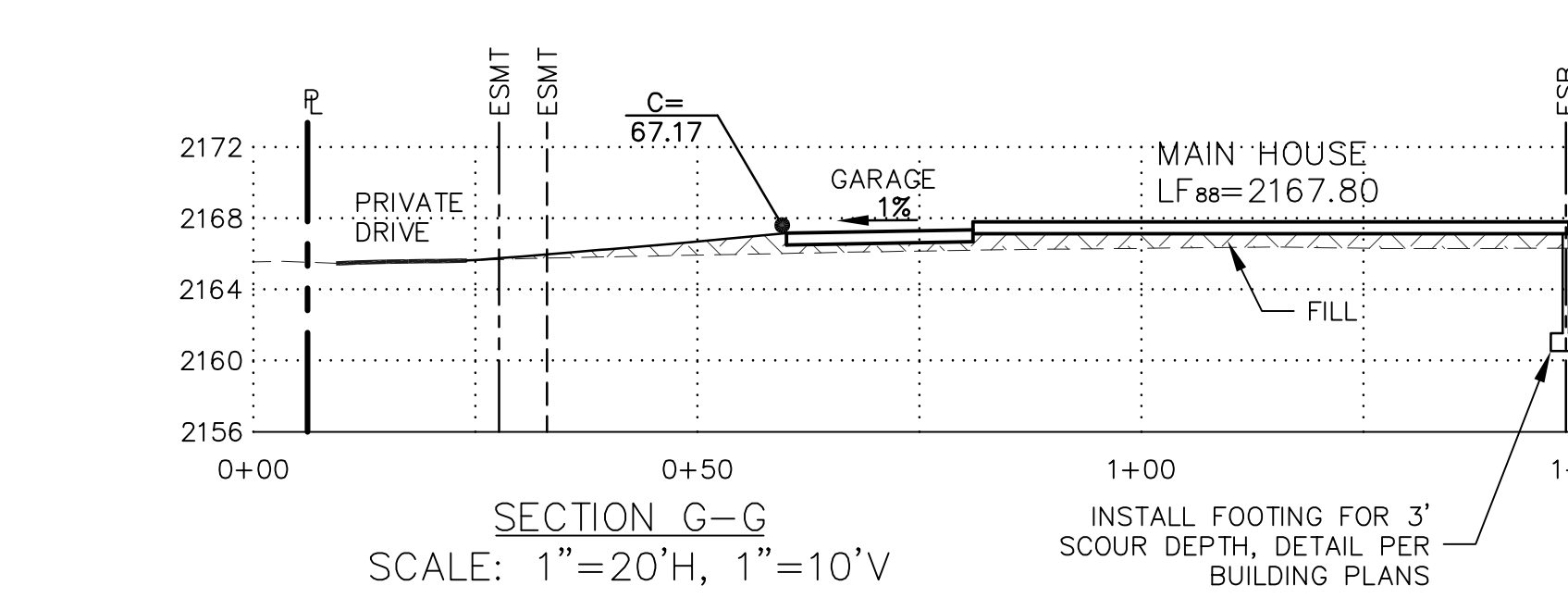
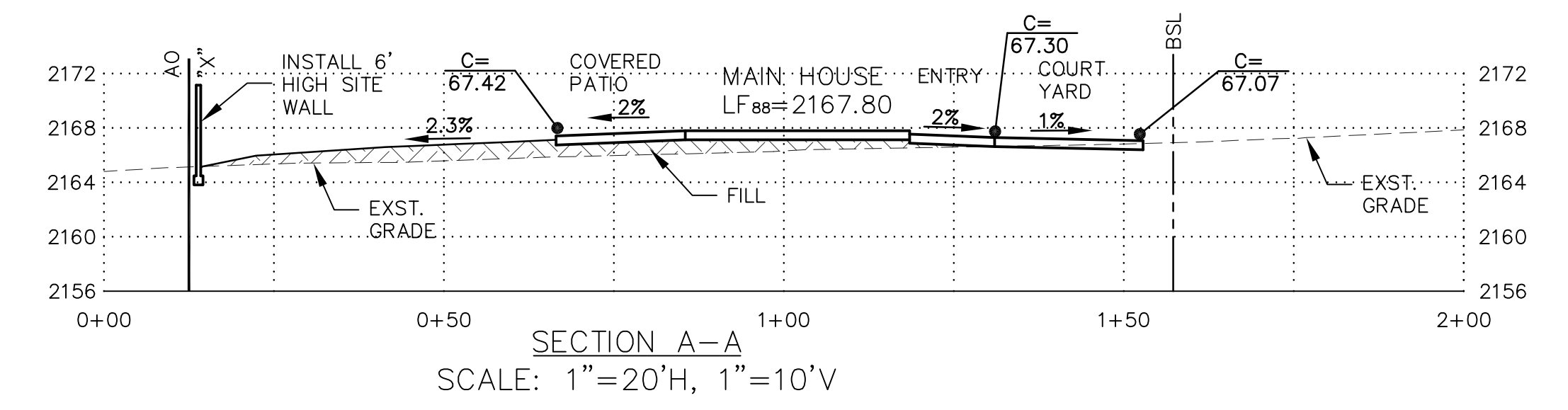
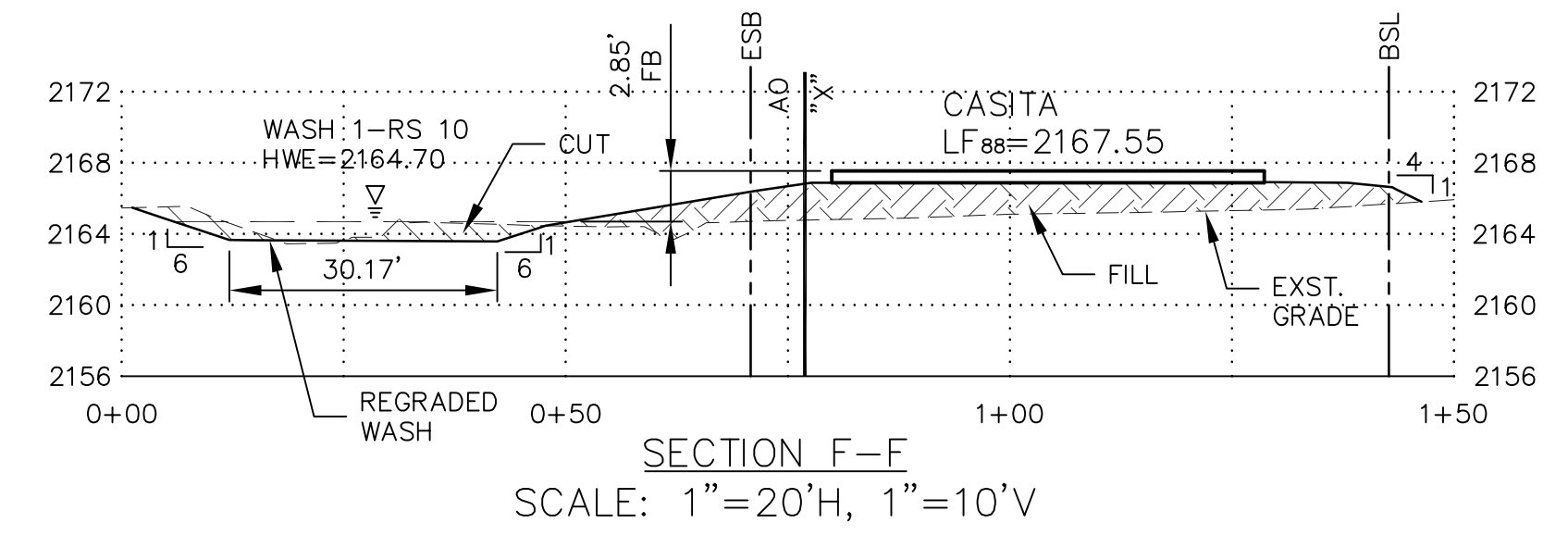
- A. THE FILTER FABRIC FOR USE UNDER RIPRAP SHALL BE MONOFILAMENT, POLYPROPYLENE NON-WOVEN FABRIC MEETING THE SPECIFICATIONS AS ESTABLISHED BY TASK FORCE 25 FOR THE FEDERAL HIGHWAY ADMINISTRATION. THE FILTER FABRIC SHALL HAVE AN APPARENT OPENING SIZE (AOS) OF 70 U.S. STANDARD SIEVE.
- B. THE TOTAL PERCENT OPEN AREA OF FILTER IS LESS THAN 10 PERCENT.
- C. FILTER FABRIC UNDER RIPRAP SHALL BE AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE.

RIPRAP CONSTRUCTION:

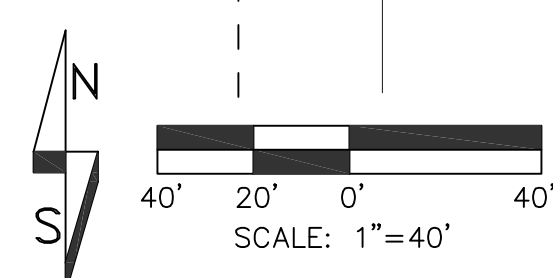
1. MATERIALS FURNISHED FOR RIPRAP SHALL CONFORM TO THE REQUIREMENTS OF SECTION 703.
2. THE BED FOR THE RIPRAP SHALL BE SHAPED AND TRIMMED TO PROVIDE EVEN SURFACES. A FOOTING TRENCH SHALL BE EXCAVATED ALONG THE TOE OF THE SLOPE AS SHOWN ON THE PLANS. RIPRAP SHOULD BE LAID WITH THE TOP OF THE RIPRAP MATCHING ADJACENT FINISHED GRADE.
3. WHEN THE REQUIRED RIPRAP IS LESS THAN 20 INCHES IN DEPTH, STONE SHALL BE PLACED BY HAND. STONE SHALL BE PLACED TO PROVIDE A MINIMUM OF VOIDS. THE LARGER STONE SHALL BE PLACED IN THE TOE TRENCH, FOUNDATION COURSE, AND ON THE OUTER SURFACE OF THE RIPRAP. THE FINISHED SURFACE SHALL BE EVEN AND TIGHT AND SHALL NOT VARY FROM THE PLANNED SURFACE BY MORE THAN 3 INCHES PER FOOT OF DEPTH.

RIPRAP NOTE:

INSTALL D50=12" LOOSE AND NATIVE STONE RIPRAP PER DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.504.B, HAND PLACED 12" DEEP OVER AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE FILTER FABRIC FOR EROSION PROTECTION.



EASEMENTS TO BE DEDICATED AND TO BE RELEASED



07-23-19 CITY OF SCOTTSDALE APPROVAL REV DATE ISSUED FOR	
Job No: 2017-0505 Scale: AS NOTED Engineer: D. NOE Designer: C. BEGAN Checked By: <i>[Signature]</i>	
Client/Project CUSTOM RESIDENCE APN 216-69-029B 29398 N. 74TH STREET SCOTTSDALE, AZ	
Title CROSS-SECTIONS AND DETAILS	
Drawing No. C-3 of 4	

PLAN CHECK #TBD
 29398 N. 74TH STREET
 QS#52-45
 P:\NOENGINEERING\PROJECTS\2017\2017-0505-AJF-21669029\DWG\CROSSFILE-050119.DWG
 PLOT DATE: TUESDAY, 23 JULY 2019 AT 09:50AM

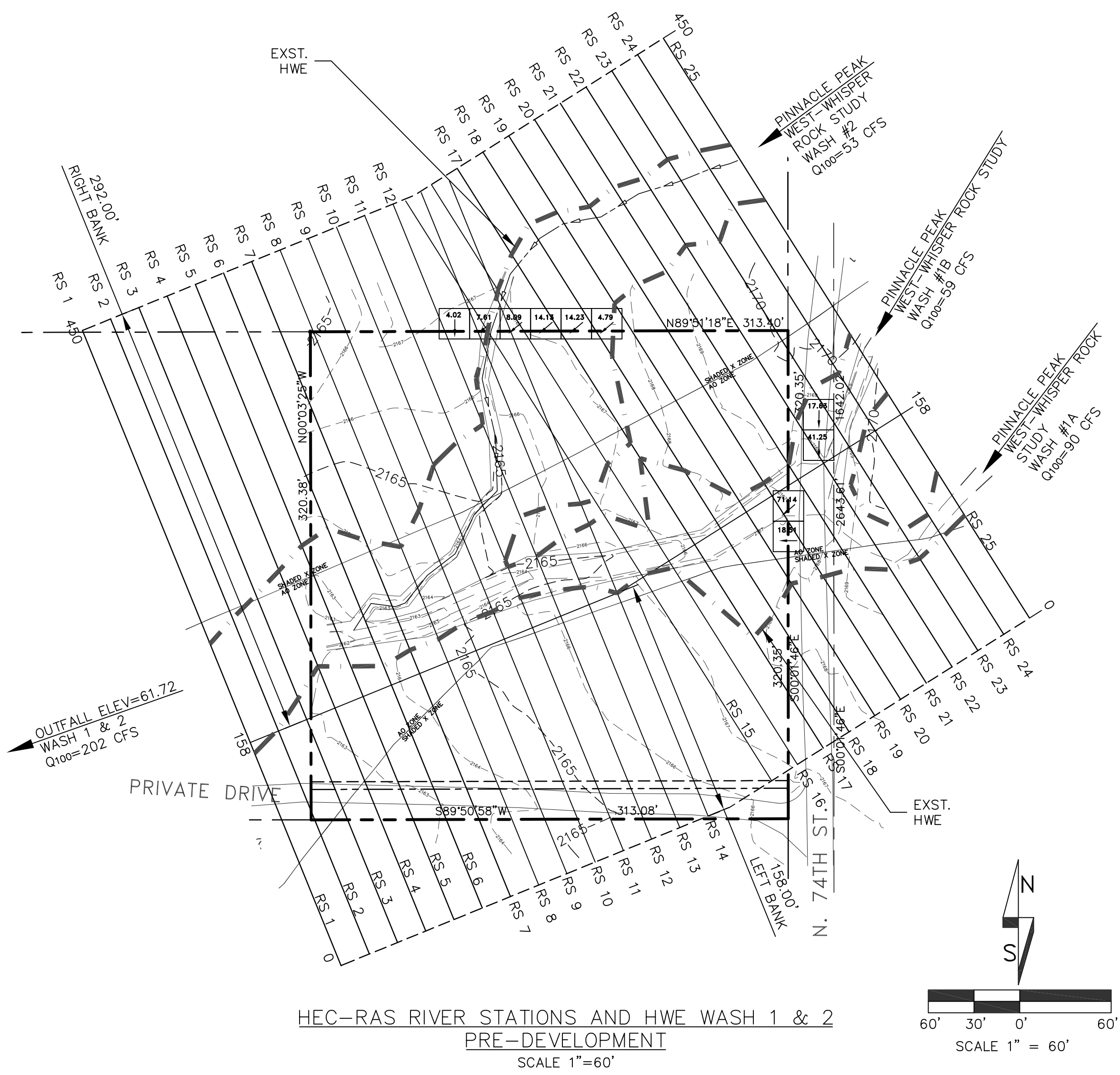
GRADING AND DRAINAGE PLAN

29398 N. 74TH STREET, SCOTTSDALE, AZ



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 706 E. Bell Road
 Suite 108
 Phoenix, AZ 85022
 Tel. (602) 368-8489
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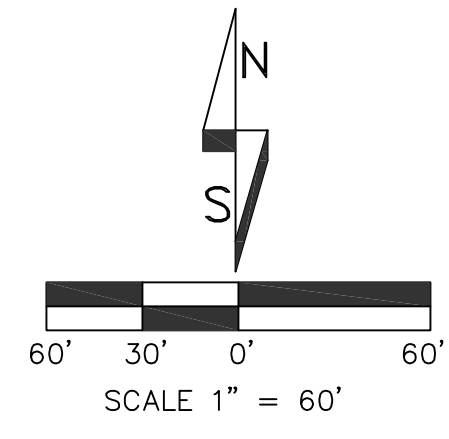
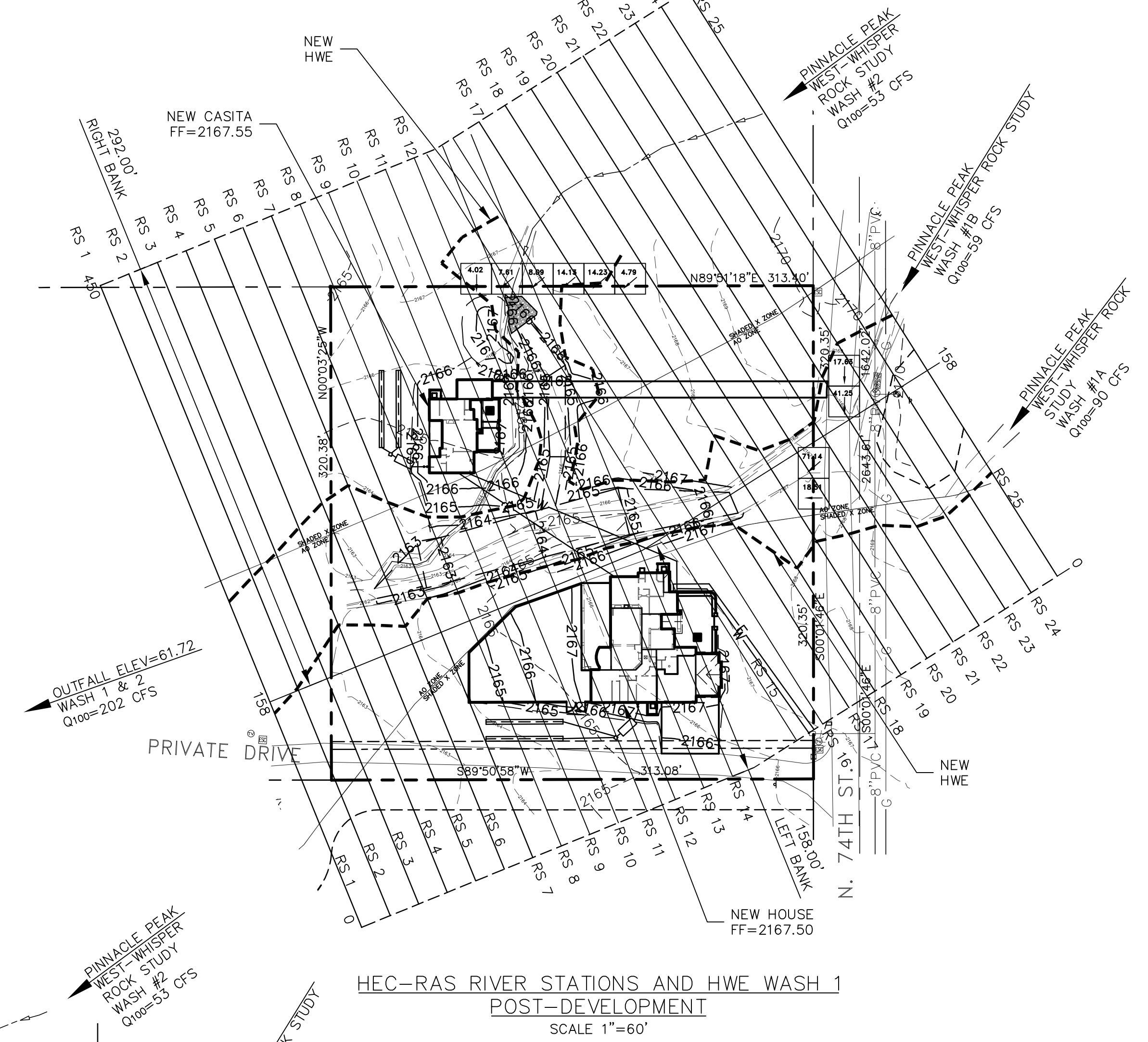
LEGEND:
 - - - - - PROPERTY LINE
 - - - - - EXST. HWE
 0.1 FLOW QUANTITY
 → FLOW DIRECTION



HEC-RAS HWE WASH 1
POST-DEVELOPMENT

RS 25	2170.19
RS 24	2169.69
RS 23	2169.15
RS 22	2168.74
RS 21	2168.30
RS 20	2168.20
RS 19	2168.14
RS 18	2167.89
RS 17	2167.31
RS 16	2166.48
RS 15	2166.02
RS 14	2165.82
RS 13	2165.43
RS 12	2165.45
RS 11	2165.02
RS 10	2164.70
RS 9	2164.44
RS 8	2164.29
RS 7	2164.04
RS 6	2163.86
RS 5	2163.46
RS 4	2162.86
RS 3	2162.43
RS 2	2162.12
RS 1	2161.83

LEGEND:
 - - - - - PROPERTY LINE
 - - - - - NEW HWE
 0.1 FLOW QUANTITY
 → FLOW DIRECTION

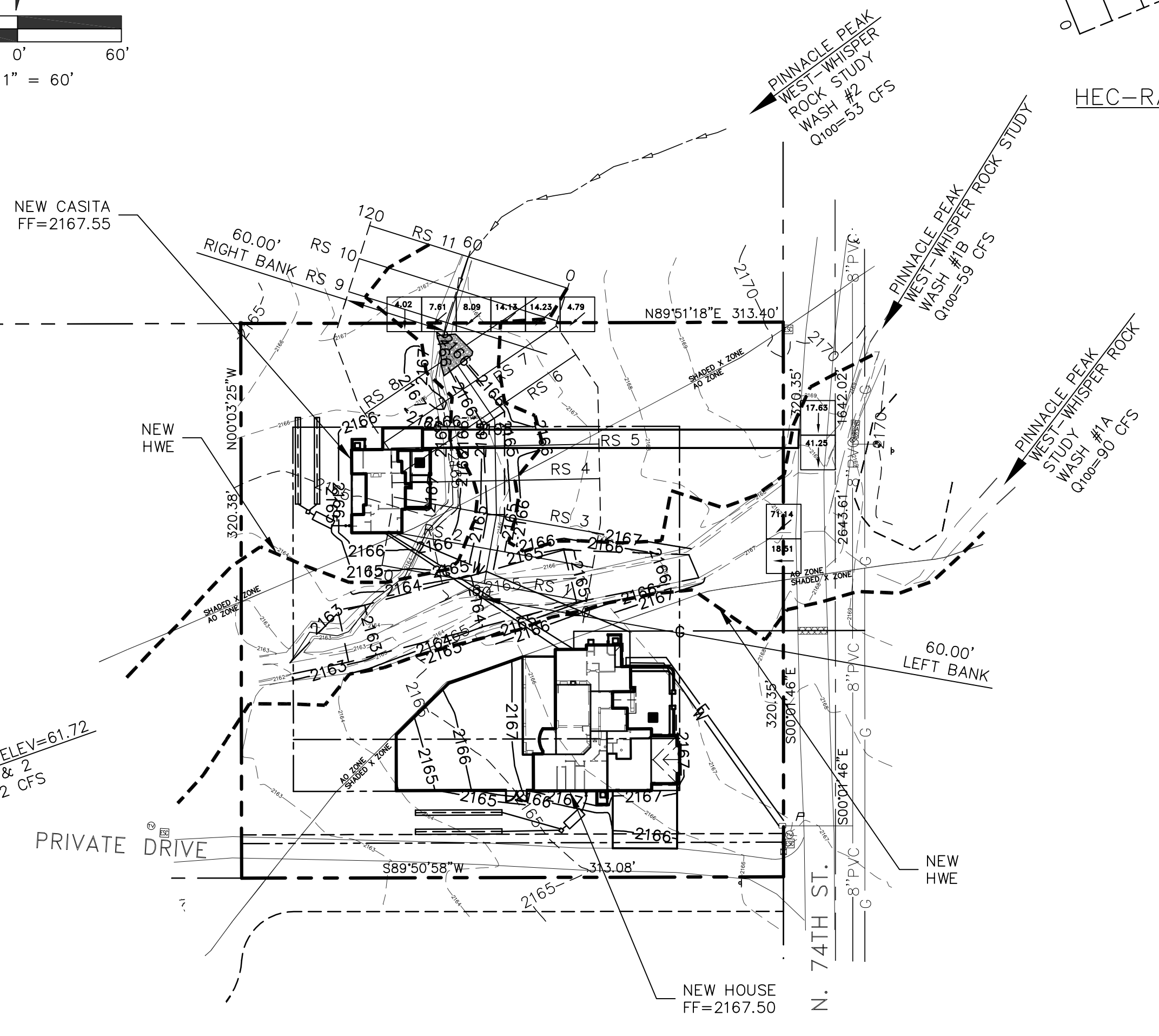


HEC-RAS HWE WASH 1
PRE-DEVELOPMENT

RS 25	2170.19
RS 24	2169.70
RS 23	2169.16
RS 22	2168.77
RS 21	2168.33
RS 20	2168.20
RS 19	2168.14
RS 18	2168.00
RS 17	2167.72
RS 16	2166.97
RS 15	2166.86
RS 14	2166.62
RS 13	2166.37
RS 12	2165.83
RS 11	2165.31
RS 10	2165.20
RS 9	2164.80
RS 8	2164.50
RS 7	2164.12
RS 6	2163.85
RS 5	2163.45
RS 4	2162.85
RS 3	2162.44
RS 2	2162.14
RS 1	2160.25

HEC-RAS HWE WASH 2
PRE-DEVELOPMENT

RS 25	2169.57
RS 24	2169.44
RS 23	2169.24
RS 22	2168.88
RS 21	2168.55
RS 20	2168.10
RS 19	2167.70
RS 18	2167.57
RS 17	2167.27
RS 16	2166.93
RS 15	2166.89
RS 14	2166.68
RS 13	2166.17
RS 12	2165.72
RS 11	2165.43
RS 10	2165.20
RS 9	2164.80
RS 8	2164.50
RS 7	2164.12
RS 6	2163.85
RS 5	2163.45
RS 4	2162.85
RS 3	2162.44
RS 2	2162.14
RS 1	2161.80



HEC-RAS HWE WASH 2
POST-DEVELOPMENT

RS 11	2167.56
RS 10	2167.36
RS 9	2167.25
RS 8	2167.08
RS 7	2166.60
RS 6	2166.19
RS 5	2165.93
RS 4	2165.58
RS 3	2165.44
RS 2	2165.03
RS 1	2164.44

07-23-19 CITY OF SCOTTSDALE APPROVAL
 REV DATE ISSUED FOR

Job No: 2017-0505
 Scale: AS NOTED
 Engineer: D. NOE
 Designer: C. HIGAN
 Checked By: [Signature]
 28280 DAVID M. NOE
 Expires: 9/30/18

Client/Project
CUSTOM RESIDENCE
 APN 216-69-029B
 29398 N. 74TH STREET
 SCOTTSDALE, AZ

Title
HEC-RAS RIVER STATIONS AND HWE

Drawing No.
C-4
 of 4

PLAN CHECK # TBD
 29398 N. 74TH STREET
 QS#52-45
 P:\NOENGINEERING\PROJECTS\2017\2017-0505-AF-21669029B\DWG\BASEFILE-030119.DWG
 PLOT DATE: TUESDAY, 23 JULY 2019 AT 09:50AM

GRADING AND DRAINAGE PLAN

29398 N. 74TH STREET, SCOTTSDALE, AZ

OWNER/CONTRACTOR:

ALAN FERNANDEZ
AJF CUSTOM HOMES
412 E. CAREFREE HIGHWAY
PHOENIX, AZ 85085
(623) 434-1916
alanajf@cox.net



DESIGNER:

DAN LEESLEY
DESERT VIEW DESIGN & DRAFTING, INC.
9405 E. PAMPA AVE.
MESA, AZ 85212
(480) 491-8248 PH
(480) 347-4185 FAX
dleesley@yahoo.com

CIVIL ENGINEER:

NOENGINEERING
DAVID M. NOE, P.E.
706 E. BELL RD.
SUITE 108
PHOENIX, AZ 85022
(602) 368-8489 PH
(602) 368-8389 FAX
dnoe@noeng.com

PARCEL DATA:

ADDRESS 29398 N. 74TH STREET
APN 216-69-029B
ZONING R1-70 ESL FO
QS# 52-45
AREA 2.2 ACRES (94,089.45 SF)
LANDFORM LOWER DESERT

LEGAL DESCRIPTION:

THE EAST HALF OF LOT 13 OF PINNACLE PEAK PARADISE, ACCORDING TO BOOK 79 OF MAPS, PAGE 13, RECORDS OF MARICOPA COUNTY, ARIZONA. EXCEPT ALL OIL, GAS, MINERALS AND OTHER VOLATILE SUBSTANCE AS RECORDED IN BOOK 331 OF DEEDS, PAGE 330.

BUILDING SETBACKS:

FRONT 60 FT
REAR 60 FT
SIDE 30 FT
STREET SIDE 60 FT

CUT/FILL QUANTITIES:

NOTE: FOR ESTIMATING PURPOSES ONLY; ENGINEER MAKES NO WARRANTY OF ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT QUANTITIES BASED ON THE PLANS. QUANTITIES DO NOT INCLUDE ANY TOPSOIL REMOVAL; ANY SHRINKAGE OR EXPANSION/SWELLING OF THE SOIL; OR WHETHER SOIL CAN BE REUSED ON-SITE. ASSUMED 4" CONCRETE SLAB AND 4" ABC ARE NOT INCLUDED IN VOLUME QUANTITIES.

CUT 330 CY
FILL 822 CY
NET 492 CY FILL

BENCHMARK:

BC IN HANDHOLE AT INTERSECTION OF N. SCOTTSDALE ROAD AND DIXLETA DRIVE. ELEVATION = 2161.33 NAVD88

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK PROVIDED ABOVE.

TEMPORARY BENCHMARK:

FOUND REBAR AT THE NORTHWEST PROPERTY CORNER. ELEV=2163.97 NAVD88

SURVEY:

FIELD SURVEY CONDUCTED BY BARNETT LAND SURVEYING, LLC ON 5-29-2017.

ENGINEER'S CERTIFICATION:

THE LOWEST FLOOR ELEVATION AND/OR FLOOD PROOFING ELEVATION(S) FOR THE LIVABLE ADDITIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

David M. Noe
DAVID M. NOE, P.E.

7/22/19
DATE

SHEET INDEX:

- C-1 COVER SHEET
- C-2 GRADING AND DRAINAGE PLAN, SCALE 1"=20'
- C-3 CROSS-SECTIONS AND DETAILS
- C-4 HEC-RAS RIVER STATIONS AND HWE

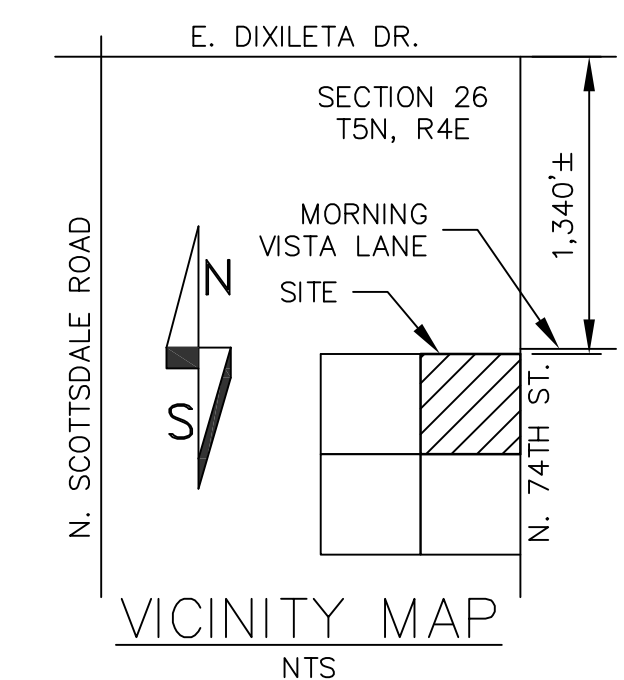
ENGINEER'S FEMA CERTIFICATION:
THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
COMMUNITY NUMBER	MAP NUMBER	DATED	SUFFIX	ZONE	DATE OF FIRM INDEX	BASE FLOOD ELEVATION
045012	04013C0895L	10/16/13	L	SHADED "X" AO	11/04/15	1 FOOT - V=6 FPS

SCOTTSDALE FIRE DEPARTMENT ACCESS GRADES FROM 0 TO 12% FOR ONE SINGLE FAMILY RESIDENCE						
DRIVE LENGTH	DRIVE WIDTH	DRIVE SURFACE	TURN-A-ROUND REQUIRED	HOSE LAY	SPRINKLER MOD-13D	
LESS THAN 200'	12	AW	NO	LESS THAN 200'	YES	

NOENGINEERING

706 E. Bell Road
Suite 108
Phoenix, AZ 85022
Tel. (602) 368-8489
Fax (602) 368-8389



SITE & BUILDING INFO:

STRUCTURE	AREA
HOUSE	
LIVABLE AREA	3,537.0 SF
GARAGES	1,120.8 SF
COVERED PATIO	949.8 SF
COVERED ENTRY	130.7 SF
MECHANICAL ROOM	14.7 SF
CASITA	
LIVABLE AREA	1,206.0 SF
GARAGE	297.3 SF
COVERED PATIO	187.6 SF
COVERED ENTRY/MECH	126.6 SF
TOTAL HOUSE UNDER ROOF	5,753 SF
TOTAL CASITA UNDER ROOF	1,817.5 SF
TOTAL UNDER ROOF	7,570.5 SF
TOTAL LOT AREA	94,089.45 SF
LOT COVERAGE	8.0 %

WALL QUANTITY:

SCREEN WALLS 48 LF
SITE WALLS 186 LF

SECTION 6.1004.B.3:

NET LOT AREA	94,089.45 SF
ENCLOSED AREA CASITA	2,297.36 SF
ENCLOSED AREA HOUSE	11,410.15 SF
TOTAL ENCLOSED AREA	13,707.51 SF
PERCENT OF ENCLOSED AREA	14.6 %

07-23-19 CITY OF SCOTTSDALE APPROVAL
REV DATE ISSUED FOR

Job No: 2017-0505
Scale: AS NOTED
Engineer: D. NOE
Designer: C. HIGAN
Checked By: *[Signature]*



Client/Project
CUSTOM RESIDENCE
APN 216-69-029B
29398 N. 74TH STREET
SCOTTSDALE, AZ

COVER SHEET

Drawing No.
C-1
of 4

POOL NOTES:

1. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
2. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND.

POOL ENCLOSURES:

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVE GROUND OR ON-GROUND POOL, HOT-TUB OR SPA SHALL BE PROVIDED WITH A BARRIER MEETING THE REQUIREMENTS OF SCOTTSDALE ORDINANCE #3096, ADOPTED BY THE SCOTTSDALE CITY COUNCIL ON MARCH 18, 1998. POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE PERMIT.

E.S.L. NOTES:

1. EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 6 AS INDICATED IN THE MUNSEL BOOK OF COLOR ON FILE IN THE CITY OF SCOTTSDALE'S PLANNING & DEVELOPMENT DEPARTMENT. THE CITY MAY REQUIRE COLOR SAMPLES TO VERIFY COMPLIANCE.
2. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
3. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
4. PLANT MATERIALS NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE FROM A LOWER ELEVATION.
5. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
6. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNTARNISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A MATTE OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY.
7. MIRRORING SURFACES OR ANY TREATMENTS WHICH CHANGE ORDINARY GLASS INTO A MIRRORING SURFACE ARE PROHIBITED.
8. THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND SCALE, FORM AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT DEPARTMENT.
9. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE CITY OF SCOTTSDALE REVISED CODE.
10. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS.
11. ALL EXTERIOR LIGHTING BELOW 3 FEET IN HEIGHT SHALL BE FULLY SHIELDED. ALL EXTERIOR LIGHTING ABOVE 3 FEET IN HEIGHT SHALL CONSIST OF HORIZONTAL FULL-CUTOFF FIXTURES AND DIRECTED DOWNWARD, EXCEPT LIGHTS UTILIZED FOR SECURITY PURPOSES.
12. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENT IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF).
13. WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SURFACE SHALL BE A VIEW FENCE.
14. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
15. IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DEFINED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN.
16. NO PAINT COLOR SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35%.

GUEST HOUSE NOTE:

1. A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT.
2. A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING.

MECHANICAL EQUIPMENT NOTE:

ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF ONE (1) FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAN.

FOOTHILL OVERLAY NOTES:

1. SITE WALLS MUST BE SETBACK 15 FEET FROM SIDE AND REAR PROPERTY LINES. THIS APPLIES ONLY TO RESIDENTIAL PARCELS CONTAINING AN AREA OF 35,000 SQ FT OR LARGER.
2. WASHES OF 50 CFS OR GREATER FLOW SHALL BE IDENTIFIED AND WATERCOURSE(S) SHALL BE UNALTERED. IF WATERCOURSE(S) ARE ALTERED, PROVIDE A COPY OF THE WASH MODIFICATION APPROVAL LETTER AND REFERENCE THE CASE NUMBER ON THE SITE PLAN.
3. APPLICATIONS THAT HAVE RECEIVED A HARSHIP EXEMPTION SHALL PROVIDE THE CASE NUMBER ON THE SITE PLAN.
4. SITE WALLS SHALL NOT BE PROVIDED IN NAOS AREAS OR DISRUPT THE CONTINUITY OF NAOS CORRIDORS.
5. IDENTIFY THE SPECIFIC LOCATION OF THE CONSTRUCTION ENVELOPE ON SITE PLAN. THE CONSTRUCTION ENVELOPE CONSISTS OF AN AREA ENCLOSED BY A LINE EXTENDING 15 FEET OUT FROM ALL DISTURBANCES ON LOT.

GENERAL NOTES:

1. IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE HOUSE PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY
2. THIS PLAN IS DESIGNED TO SHOW THE GRADING AND DRAINAGE ONLY.
3. THIS PLAN IS NOT A BOUNDARY SURVEY.
4. BEARINGS AND DISTANCES ARE RECORD PER PLAT OR TITLE REPORT UNLESS OTHERWISE NOTED.
5. ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
6. ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUESTAKE @ 602-263-1100.
7. ALL FINISH FLOOR ELEVATIONS ARE AT LEAST 8" HIGHER THAN THE FINISH GRADES DIRECTLY OUTSIDE ANY BUILDING.
8. FINISH GRADE SLOPES AT LEAST 5% AWAY FROM FINISH FLOOR EXPOSED FOUNDATIONS WITHIN THE FIRST 10 FEET. WHERE THIS IS NOT POSSIBLE, DRAINS OR SWALES ARE PROVIDED AS PER THE GRADING PLAN.
9. FILL WILL BE PLACED, COMPACTED, AND TESTED IN ACCORDANCE WITH MAG SECTION 211. FILL WILL BE PROTECTED FROM EROSION.
10. REQUIREMENTS FOR CITY OF SCOTTSDALE FOR SLOPE STABILIZATION AND RESTORATION WILL BE MET.
11. ALL GRADING TO BE PER 2015 I.B.C. SECTION 1804, UNLESS NOTED PER PLAN.
12. THIS DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH CITY OF SCOTTSDALE DRAINAGE REGULATIONS AND THE DRAINAGE POLICIES AND STANDARDS MANUAL.
13. FINISH FLOORS OF A BUILDING ARE ELEVATED A MINIMUM OF 12" ABOVE THE HIGH WATER ELEVATION ADJACENT TO THE BUILDING.
14. CURRENT BUILDING CODES - 2015 IRC, 2015 IBC, 2014 NEC, 2015 IMC, 2015 IPC & 2015 IFGC (ALL AS AMENDED PER THE MARICOPA COUNTY LOCAL ADDITIONS AND ADDENDA).

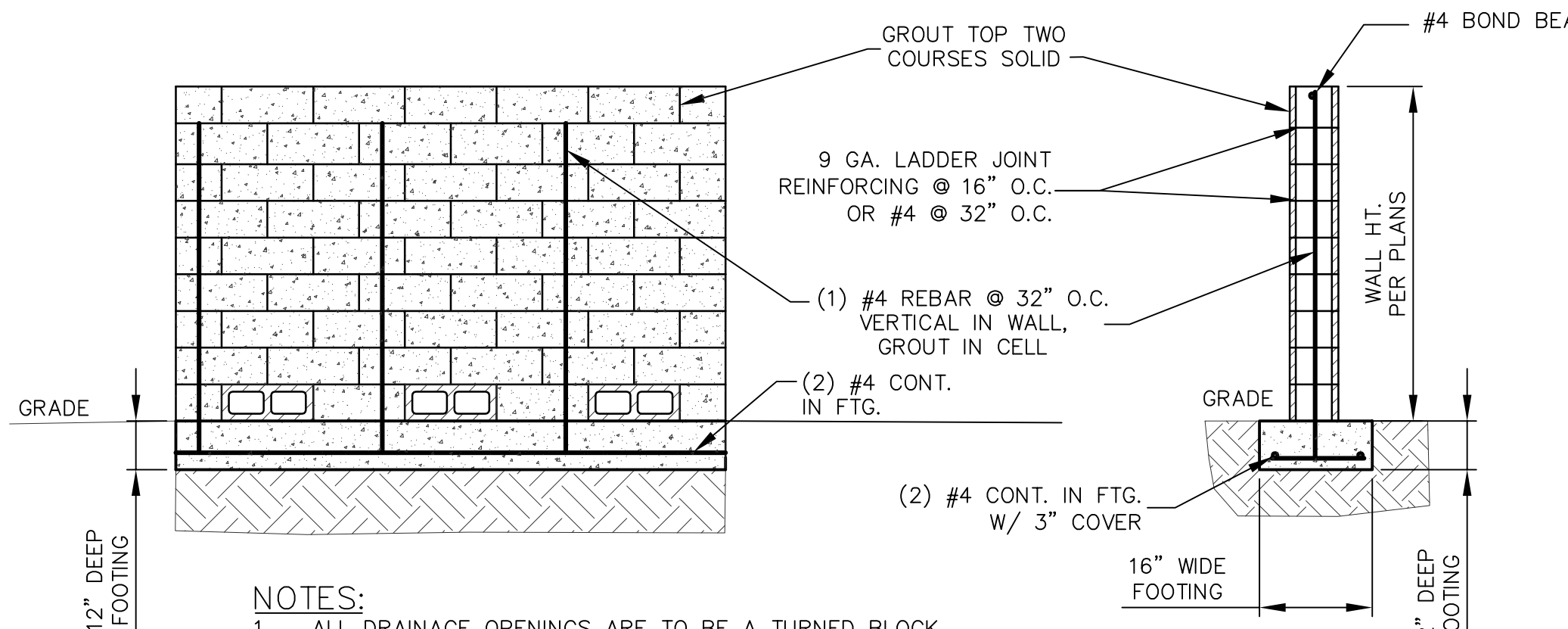
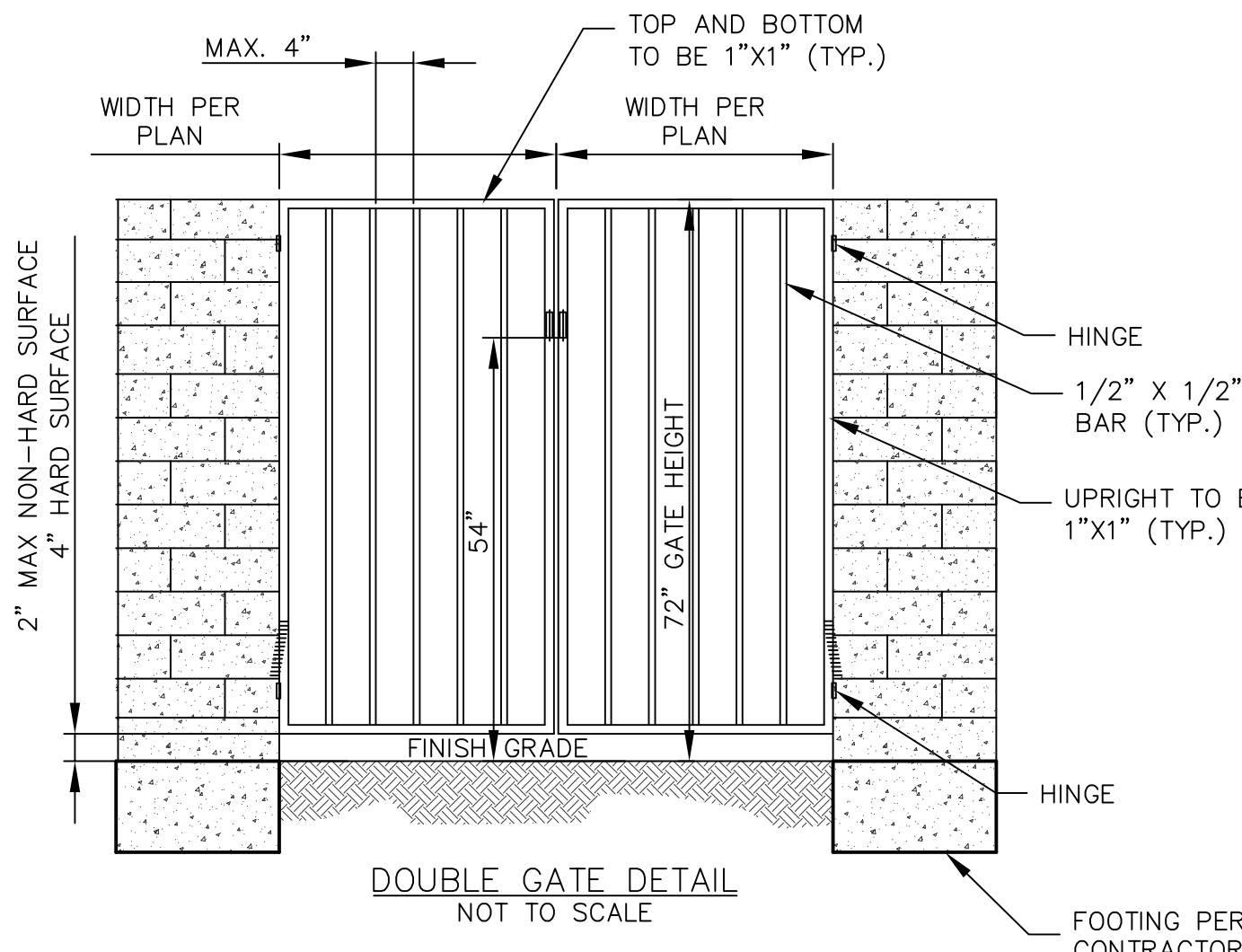
N.A.O.S. DATA:

LOT AREA:	94,089.45 SF
N.A.O.S. REQUIRED:	22,208.05 SF
NAOS AREA 1 UNDISTURBED:	17,717.47 SF
RE-VEGETATED AREA:	4,530.50 SF
(100% CREDIT) % RE-VEG:	20.4 %
TOTAL NAOS PROVIDED:	22,247.97 SF

LOWER DESERT NAOS ANALYSIS:

SLOPE RANGE	PERCENT REQUIRED	A (SF)	SUBTOTAL
0 TO 2%	20%	36,480.37	7,296.07
OVER 2 TO 5%	25%	47,415.05	11,853.76
OVER 5 TO 10%	30%	3,048.17	914.45
OVER 10 TO 15%	30%	1,057.85	317.36
OVER 15 TO 25%	30%	3,464.77	1,039.43
OVER 25%	30%	2,623.24	786.97
TOTAL		94,089.45	22,208.05
PERCENT			23.6%

MINIMUM NAOS LOWER 15%



NOTES:

1. ALL DRAINAGE OPENINGS ARE TO BE A TURNED BLOCK EVERY OTHER BLOCK AT BASE COURSE AT NATURAL GRADE.
2. ALL BLOCK WEEP HOLES TO BE AT NATURAL GRADE.
3. NO DECORATIVE BLOCKS ARE TO BE USED FOR DRAINAGE OPENINGS.
4. IF BLOCK WALL REINFORCEMENT IS SET 4-FOOT ON CENTER AND TWO BLOCKS NEXT TO EACH OTHER ARE NOT TURNED, TWO TURNED BLOCKS NEXT TO EACH OTHER MUST THEN FOLLOW.

BLOCK WALL DETAIL
NTS

29398 N. 74TH STREET
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PLAN CHECK #TBD

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GRADING AND DRAINAGE PLAN

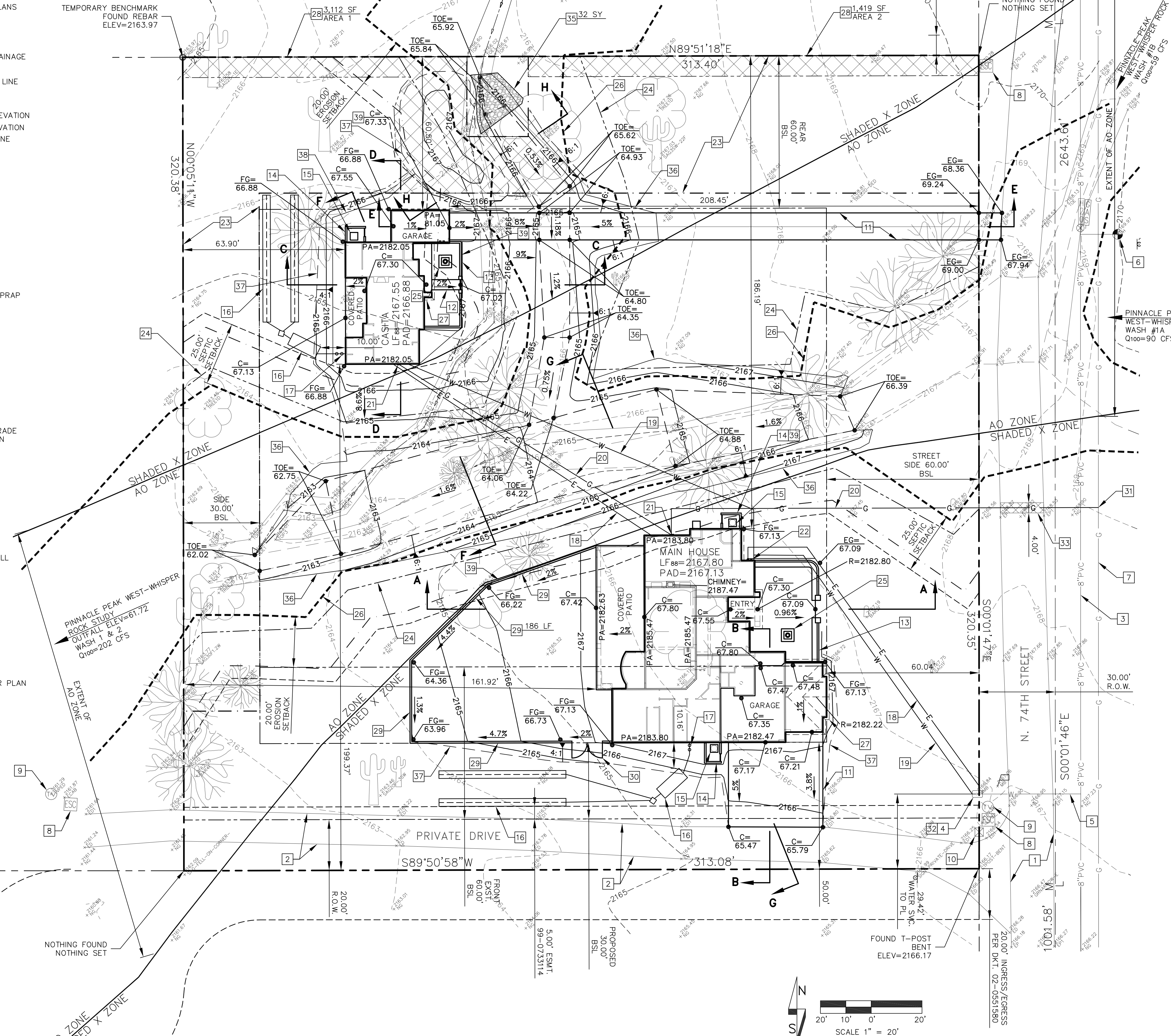
29398 N. 74TH STREET, SCOTTSDALE, AZ



NOENGINEERING
 706 E. Bell Road
 Suite 108
 Phoenix, AZ 85022
 Tel. (602) 368-8489
 Fax (602) 368-8389

LEGEND:

- NOT ALL ITEMS ARE SHOWN ON THE PLANS
- 1260--- EXISTING 5' CONTOUR
 - 1259--- EXISTING CONTOUR
 - 1258--- NEW CONTOUR
 - - - - - DITCH, SWALE, OR DRAINAGE
 - — — — — PROPERTY LINE
 - - - - - EASEMENT/SET-BACK LINE
 - — — — — ROAD CENTERLINE
 - - - - - LIMITS OF NAOS
 - - - - - EXST. HIGH WATER ELEVATION
 - - - - - NEW HIGH WATER ELEVATION
 - - - - - EROSION SET-BACK LINE
 - - - - - SEPTIC SETBACK
 - - - - - DRAINAGE ESMT.
 - - - - - FLOOD ZONE AO
 - C=20.19 NEW ELEV.
 - EXISTING ELEV.
 - FOUND BRASSCAP
 - FOUND REBAR
 - DRAINAGE FLOW
 - CUT/FILL SLOPE
 - BC BACK OF CURB
 - BR BOTTOM OF BURIED RIPRAP
 - BSL BLDG SETBACK LINE
 - BW BOTTOM OF WALL
 - C CONCRETE ELEV.
 - DG DECOMPOSED GRANITE
 - DW DRIVEWAY
 - ELEV ELEVATION
 - ESB EROSION SETBACK
 - ESMT EASEMENT
 - ETC DRY UTILITIES
 - EXST EXISTING
 - FB FREEBOARD
 - FF FINISH FLOOR ELEV.
 - FG FINISHED GRADE ELEV.
 - G GUTTER ELEV.
 - GB GRADE BREAK
 - HAG HIGHEST ADJACENT GRADE
 - HWE HIGH WATER ELEVATION
 - ML MONUMENT LINE
 - NG NATURAL GRADE
 - PA PARAPET ELEV.
 - P PAVEMENT ELEV.
 - PL PROPERTY LINE
 - PUE PUBLIC UTILITY ESMT.
 - R RIDGE ELEVATION
 - ROW RIGHT-OF-WAY
 - SD SCOUR DEPTH
 - SS SANITARY SEWER
 - SSL SEPTIC SETBACK LINE
 - TC TOP OF CURB
 - TF TOP OF FOOTING
 - TRW TOP OF RETAINING WALL
 - TWF TOP OF VIEW FENCE
 - TW TOP OF WALL ELEV.
 - BARREL CACTUS
 - SAGUARO CACTUS
 - PALO VERDE
 - TREE
 - RIP RAP, DETAILS PER PLAN
 - NAOS REVEG AREA



- SITE KEY NOTES, cont'd:**
- 34 NEW TOE OF REGRADED WASH. WIDTH WILL VARY.
 - 35 INSTALL D50=6", LOOSE AND NATIVE STONE RIPRAP PER DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.504.B, HAND PLACED 12" DEEP OVER AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE FILTER FABRIC FOR EROSION PROTECTION. PORTION TO BE BURIED. AREA PER PLAN. DETAIL ON SHEET C-3.
 - 36 TOP OF NEW CUT SLOPE.
 - 37 TOE OF NEW FILL SLOPE.
 - 38 TOP OF NEW FILL SLOPE.
 - 39 INSTALL 3' DEEP FOOTINGS BEHIND EROSION SETBACK LINE.

- SITE KEY NOTES:**
- 1 EXST. PAVED ROADWAY.
 - 2 EXST. DIRT ROAD.
 - 3 EXST. 6"Ø PVC WATER MAIN.
 - 4 EXST. WATER METER BOX.
 - 5 EXST. WATER SERVICE LINE.
 - 6 EXST. FIRE HYDRANT.
 - 7 EXST. 2" PE GAS MAIN PER SOUTHWEST GAS AS-BUILT PLANS. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
 - 8 EXST. ELECTRIC CABINET.
 - 9 EXST. CATV RISER.
 - 10 EXST. TELEPHONE RISER.
 - 11 INSTALL PAVER DRIVEWAY; GRADE PER PLAN.
 - 12 INSTALL PAVER WALKWAY.
 - 13 INSTALL 33" HIGH SCREEN WALL WITH DRAINAGE OPENINGS AND 43" HIGH COLUMN. DETAIL PER BUILDING PLANS DETAILS 14 AND 15 ON SHEET 10.
 - 14 INSTALL EQUIPMENT SCREEN WALL TO BE A MIN. OF 12" ABOVE EQUIPMENT AND A MAX OF 6" HIGH. DETAIL ON SHEET C-1.
 - 15 INSTALL A/C PAD ON GRADE.
 - 16 INSTALL SEPTIC SYSTEM PER SEPARATE PERMIT.
 - 17 INSTALL SEWER CLEAN OUT PER MAD STD. DETAIL 440-2.
 - 18 INSTALL BURIED ELECTRIC LINE.
 - 19 INSTALL 1" PVC, SCHED. 40 DOMESTIC WATER LINE.
 - 20 INSTALL GAS SERVICE LINE.
 - 21 INSTALL GAS METER PER BUILDING PLANS.
 - 22 INSTALL 400 AMP ELECTRIC SERVICE PANEL PER BUILDING PLANS.
 - 23 EXTENT OF NAOS TO BE DEDICATED PER SEPARATE INSTRUMENT. AREA PER PLAN.
 - 24 EXTENT OF DRAINAGE EASEMENT TO BE DEDICATED PER SEPARATE INSTRUMENT.
 - 25 FIRE PIT PER BUILDING PLANS.
 - 26 EXTENT OF NEW HIGH WATER ELEVATION.
 - 27 EDGE OF ROOF OVERHANG.
 - 28 NAOS REVEG AREA.
 - 29 INSTALL 5' HIGH, 8" WIDE, CMU SITE WALL. DETAIL ON SHEET C-1. LENGTH PER PLAN. DETAIL PER BUILDING PLANS SHEET 10, DETAIL 14.
 - 30 INSTALL 5' HIGH, 12' WIDE DOUBLE GATE. DETAIL ON SHEET C-1.
 - 31 INSTALL GAS CONNECTION TO EXST. GAS MAIN.
 - 32 INSTALL 1" WATER METER.
 - 33 SAWCUT 8 SY PER PAVEMENT REPLACEMENT COS DETAIL 2200.
- ** SITE KEY NOTES CONTINUED ABOVE

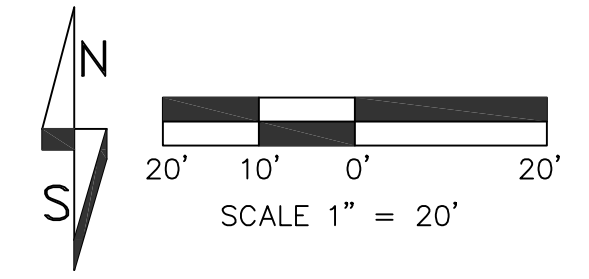
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 Designer: C. HIGAN
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 Expires: 9/30/18

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Title
GRADING AND DRAINAGE PLAN
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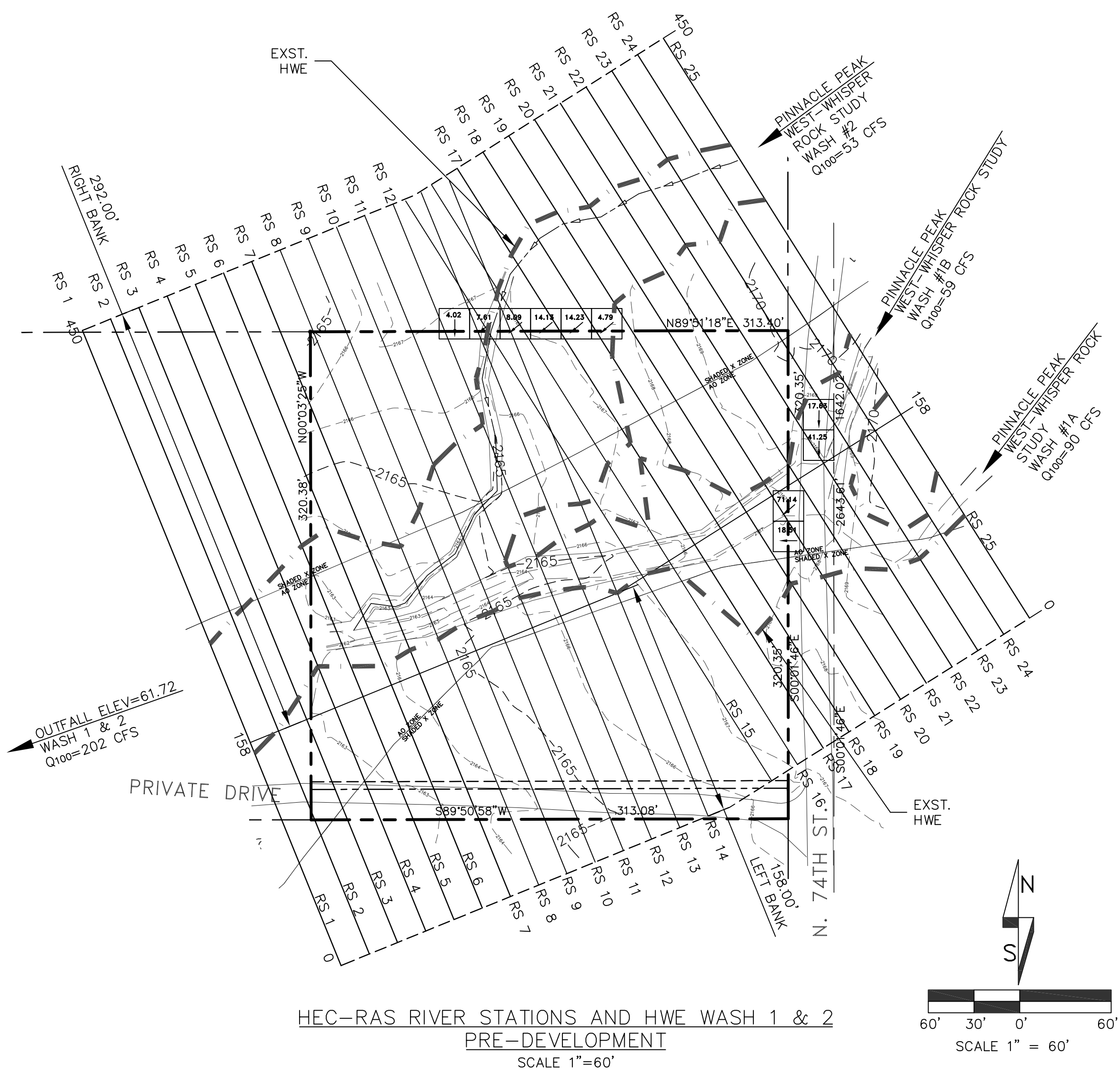
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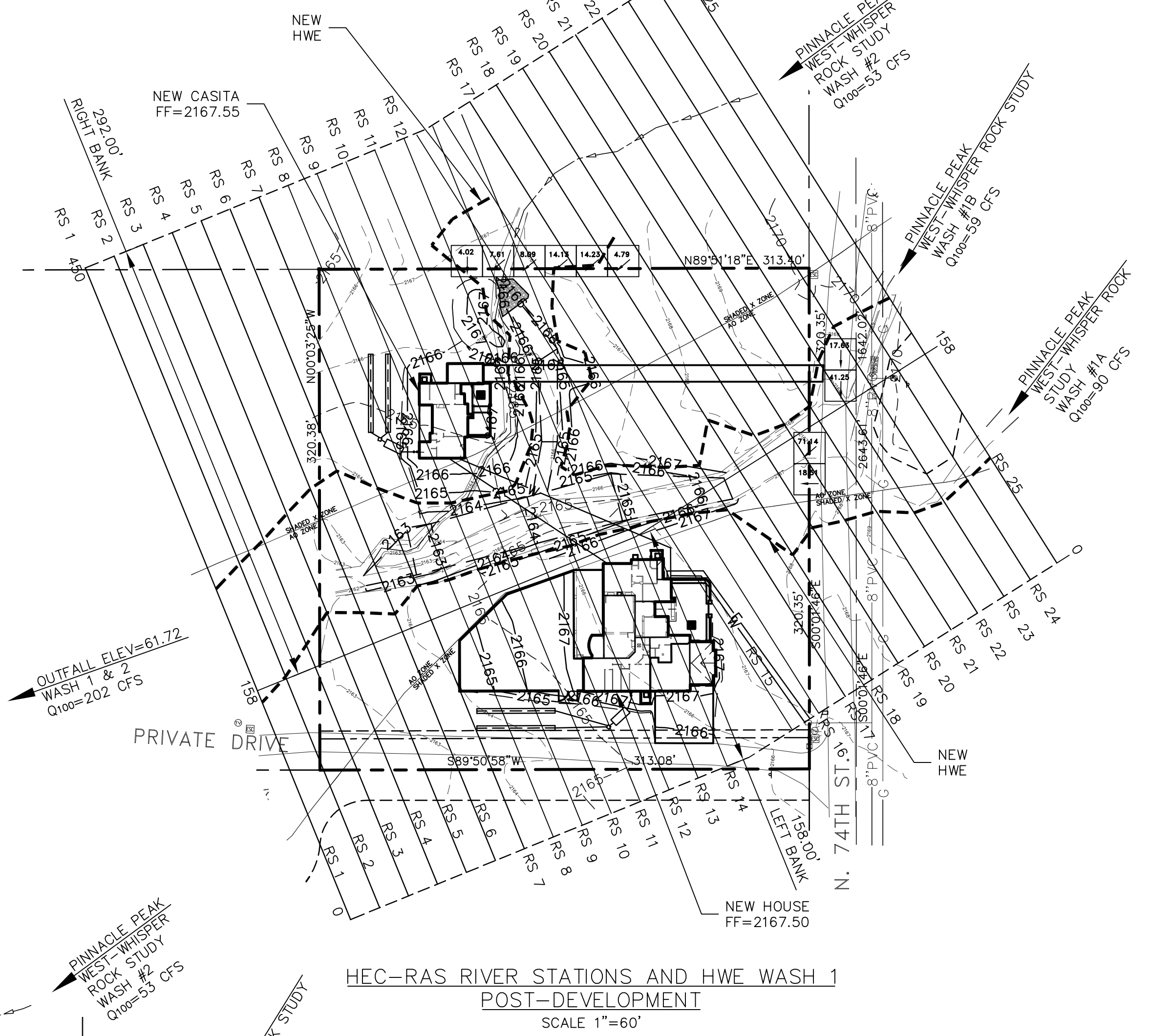
LEGEND:

- PROPERTY LINE
- EXST. HWE
- NEW HWE
- 0.1 FLOW QUANTITY
- FLOW DIRECTION



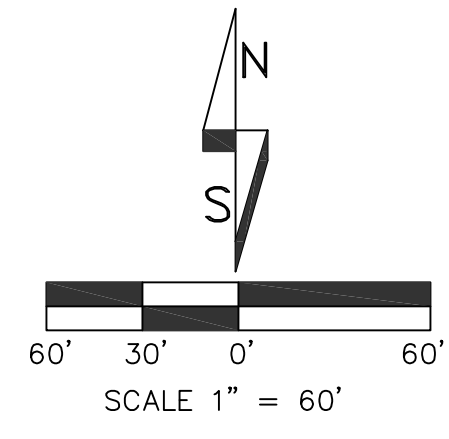
HEC-RAS HWE WASH 1
POST-DEVELOPMENT

RS 25	2170.19
RS 24	2169.69
RS 23	2169.15
RS 22	2168.74
RS 21	2168.30
RS 20	2168.20
RS 19	2168.14
RS 18	2167.89
RS 17	2167.31
RS 16	2166.48
RS 15	2166.02
RS 14	2165.82
RS 13	2165.43
RS 12	2165.45
RS 11	2165.02
RS 10	2164.70
RS 9	2164.44
RS 8	2164.29
RS 7	2164.04
RS 6	2163.86
RS 5	2163.46
RS 4	2162.86
RS 3	2162.43
RS 2	2162.12
RS 1	2161.83



LEGEND:

- PROPERTY LINE
- NEW HWE
- 0.1 FLOW QUANTITY
- FLOW DIRECTION

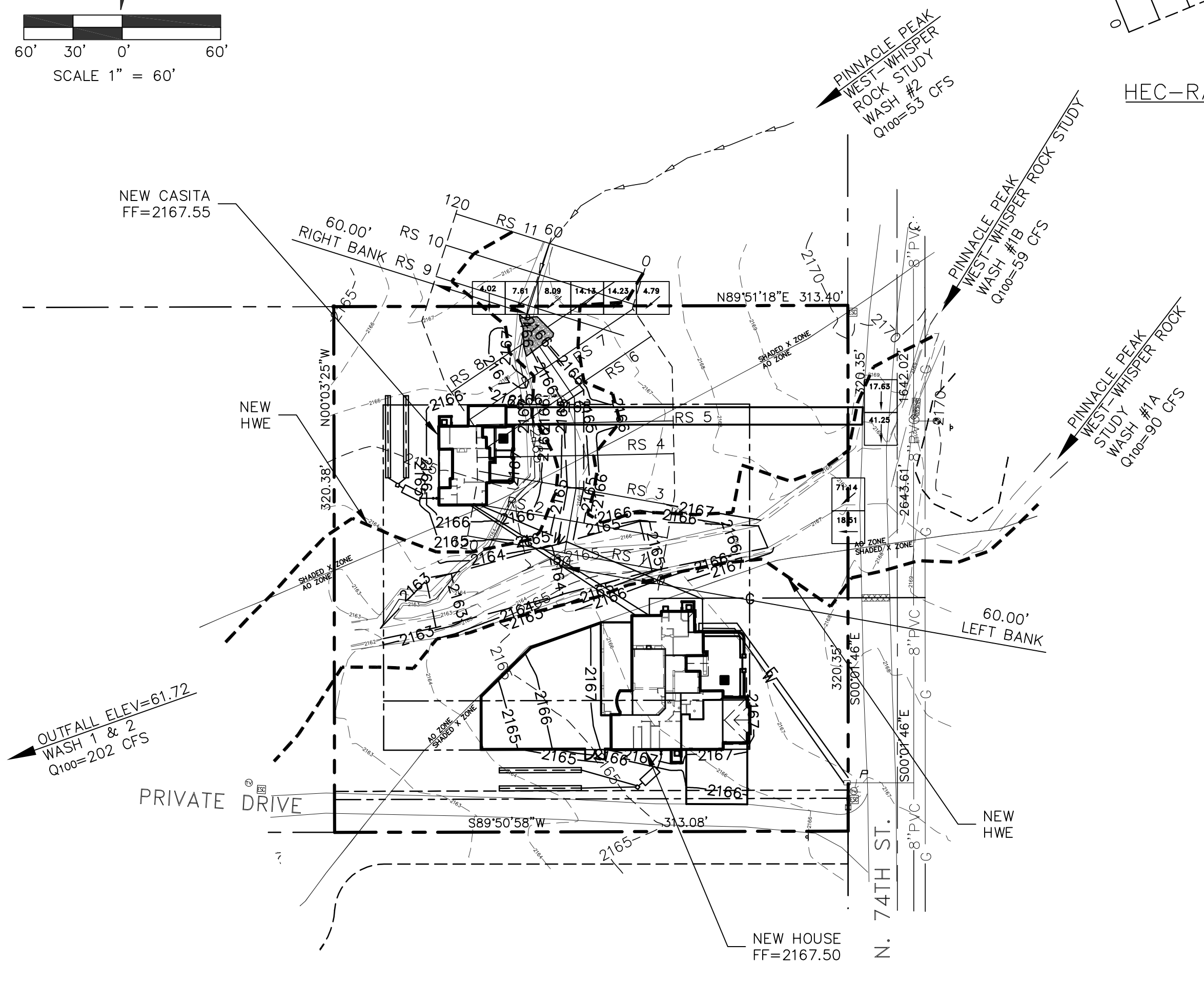


HEC-RAS HWE WASH 1
PRE-DEVELOPMENT

RS 25	2170.19
RS 24	2169.70
RS 23	2169.16
RS 22	2168.77
RS 21	2168.33
RS 20	2168.20
RS 19	2168.14
RS 18	2168.00
RS 17	2167.72
RS 16	2166.97
RS 15	2166.86
RS 14	2166.62
RS 13	2166.37
RS 12	2165.83
RS 11	2165.31
RS 10	2165.20
RS 9	2164.80
RS 8	2164.50
RS 7	2164.12
RS 6	2163.85
RS 5	2163.45
RS 4	2162.85
RS 3	2162.44
RS 2	2162.14
RS 1	2160.25

HEC-RAS HWE WASH 2
PRE-DEVELOPMENT

RS 25	2169.57
RS 24	2169.44
RS 23	2169.24
RS 22	2168.88
RS 21	2168.55
RS 20	2168.10
RS 19	2167.70
RS 18	2167.57
RS 17	2167.27
RS 16	2166.93
RS 15	2166.89
RS 14	2166.68
RS 13	2166.17
RS 12	2165.72
RS 11	2165.43
RS 10	2165.20
RS 9	2164.80
RS 8	2164.50
RS 7	2164.12
RS 6	2163.85
RS 5	2163.45
RS 4	2162.85
RS 3	2162.44
RS 2	2162.14
RS 1	2161.80

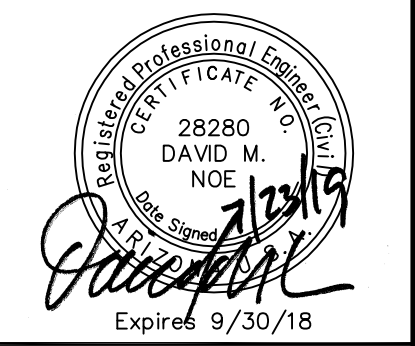


HEC-RAS HWE WASH 2
POST-DEVELOPMENT

RS 11	2167.56
RS 10	2167.36
RS 9	2167.25
RS 8	2167.08
RS 7	2166.60
RS 6	2166.19
RS 5	2165.93
RS 4	2165.58
RS 3	2165.44
RS 2	2165.03
RS 1	2164.44

07-23-19 CITY OF SCOTTSDALE APPROVAL
 REV DATE ISSUED FOR

Job No: 2017-0505
 Scale: AS NOTED
 Engineer: D. NOE
 Designer: C. HIGAN
 Checked By: [Signature]
 Expires: 9/30/18



Client/Project
CUSTOM RESIDENCE
 APN 216-69-029B
 29398 N. 74TH STREET
 SCOTTSDALE, AZ

Title
HEC-RAS RIVER STATIONS AND HWE

Drawing No.
C-4
 of 4

PLAN CHECK # TBD
 QS#52-45
 29398 N. 74TH STREET
 P:\NOENGINEERING\PROJECTS\2017\2017-0505-AF-21669029B\DWG\BASEFILE-030119.DWG
 PLOT DATE: TUESDAY, 23 JULY 2019 AT 09:50AM

AERIAL AND SITE IMPROVEMENTS

29398 N. 74TH STREET, SCOTTSDALE, AZ



NOENGINEERING
 706 E. Bell Road
 Suite 108
 Phoenix, AZ 85022
 Tel. (602) 368-8489
 Fax (602) 368-8389

LEGEND:

- NOT ALL ITEMS ARE SHOWN ON THE PLANS
- 2165--- EXISTING 5' CONTOUR
 - 2166--- EXISTING CONTOUR
 - 2166--- NEW CONTOUR
 - DITCH, SWALE, OR DRAINAGE
 - PROPERTY LINE
 - EASEMENT/SET-BACK LINE
 - ROAD CENTERLINE
 - LIMITS OF NAOS
 - EXST. HIGH WATER ELEVATION
 - NEW HIGH WATER ELEVATION
 - EROSION SET-BACK LINE
 - SEPTIC SETBACK
 - EXST. DRAINAGE ESMT.
 - NEW DRAINAGE ESMT.
 - AO FLOOD ZONE
- C=20.19 NEW ELEV.
- EXISTING ELEV.
- FOUND BRASSCAP
- FOUND REBAR
- DRAINAGE FLOW
- CUT/FILL SLOPE
- BC BACK OF CURB
- BR BOTTOM OF BURIED RIPRAP
- BSL BLDG SETBACK LINE
- BW BOTTOM OF WALL
- C CONCRETE ELEV.
- DG DECOMPOSED GRANITE
- DW DRIVEWAY
- ELEV ELEVATION
- ESB EROSION SETBACK
- ESMT EASEMENT
- ETC DRY UTILITIES
- EXST EXISTING
- FB FREEBOARD
- FF FINISH FLOOR ELEV.
- FG FINISHED GRADE ELEV.
- G GUTTER ELEV.
- GB GRADE BREAK
- HAG HIGHEST ADJACENT GRADE
- HWE HIGH WATER ELEVATION
- ML MONUMENT LINE
- NG NATURAL GRADE
- PA PARAPET ELEV.
- P PAVEMENT ELEV.
- PL PROPERTY LINE
- PUE PUBLIC UTILITY ESMT.
- R RIDGE ELEVATION
- ROW RIGHT-OF-WAY
- SS SCOUR DEPTH
- SS SANITARY SEWER
- SSL SEPTIC SETBACK LINE
- TC TOP OF CURB
- TF TOP OF FOOTING
- TRW TOP OF RETAINING WALL
- TVF TOP OF VIEW FENCE
- TW TOP OF WALL ELEV
- BARREL CACTUS
- SAGUARO CACTUS
- PALO VERDE
- TREE
- RIP RAP, DETAILS PER PLAN
- NAOS REVEG AREA



SITE KEY NOTES, cont'd:

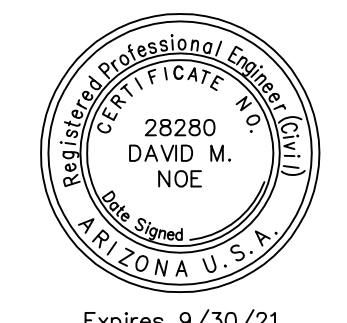
- 34 NEW TOE OF REGRADED WASH. WIDTH WILL VARY.
 - 35 INSTALL D50=6", LOOSE AND NATIVE STONE RIPRAP PER DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.504.B, HAND PLACED 12" DEEP OVER AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE FILTER FABRIC FOR EROSION PROTECTION. PORTION TO BE BURIED. AREA PER PLAN. DETAIL ON SHEET C-3.
 - 36 TOP OF NEW CUT SLOPE.
 - 37 TOE OF NEW FILL SLOPE.
 - 38 TOP OF NEW FILL SLOPE.
 - 39 INSTALL 3' DEEP FOOTINGS BEHIND EROSION SETBACK LINE.
 - 40 EXST. DRAINAGE EASEMENT TO BE RELEASED.
 - 41 INSTALL TAPPING SLEEVE AND VALVE PER MAG STD. DETAIL 340.
 - 42 INSTALL 352 LF 6" PVC WATER MAIN.
 - 43 INSTALL WATER MAIN END CAP.
 - 44 INSTALL WATER SERVICE LINE.
 - 45 INSTALL NEW WATER METER BOX.
 - 46 INSTALL 5' HIGH, 8" WIDE, CMU SITE WALL. TW=71.11 TRW=68.11 FL=63.44 SCOUR=58.94
 - 47 INSTALL 5' HIGH, 8" WIDE, CMU SITE WALL. TW=72.42 TRW=67.42 FL=64.16 SCOUR=59.66
 - 48 INSTALL EXTENDED BUILDING WALL. DETAIL PER BUILDING PLANS. FF=67.80 FL=64.75 SCOUR=60.25
 - 49 INSTALL EQUIPMENT SCREEN WALL. TW=71.63 TRW=67.13 FL=64.94 SCOUR=60.44
 - 50 INSTALL EXTENDED BUILDING WALL. DETAIL PER BUILDING PLANS. FF=67.33 FL=65.72 SCOUR=61.22
 - 51 INSTALL 33" HIGH SCREEN WALL. TW=69.77 TRW=67.02 FL=65.65 SCOUR=61.15
 - 52 INSTALL 33" HIGH SCREEN WALL. TW=69.77 TRW=67.02 FL=64.64 SCOUR=60.14
 - 53 INSTALL 33" HIGH SCREEN WALL WITH DRAINAGE OPENINGS AND 43" HIGH COLUMN. DETAIL PER BUILDING PLANS DETAILS 14 AND 15 ON SHEET 10.
 - 54 INSTALL 400 AMP ELECTRIC SERVICE PANEL PER BUILDING PLANS.
 - 55 EXTENT OF NAOS TO BE DEDICATED PER SEPARATE INSTRUMENT. AREA PER PLAN.
 - 56 EXTENT OF DRAINAGE EASEMENT TO BE DEDICATED PER SEPARATE INSTRUMENT.
 - 57 FIRE PIT PER BUILDING PLANS.
 - 58 EXTENT OF NEW HIGH WATER ELEVATION.
 - 59 EDGE OF ROOF OVERHANG.
 - 60 NAOS REVEG AREA.
 - 61 INSTALL 5' HIGH, 8" WIDE, CMU SITE WALL. DETAIL ON SHEET C-1. LENGTH PER PLAN. DETAIL PER BUILDING PLANS SHEET 10, DETAIL 14.
 - 62 INSTALL 5' HIGH, 12' WIDE DOUBLE GATE. DETAIL ON SHEET C-1.
 - 63 INSTALL GAS CONNECTION TO EXST. GAS MAIN.
 - 64 INSTALL 1" WATER METER.
 - 65 SAWCUT 8 SY PER PAVEMENT REPLACEMENT COS DETAIL 2200 AND 2201.
- ** SITE KEY NOTES CONTINUED ABOVE

SITE KEY NOTES:

- 1 EXST. PAVED ROADWAY.
- 2 EXST. DIRT ROAD.
- 3 EXST. 6" PVC WATER MAIN.
- 4 EXST. WATER METER BOX.
- 5 EXST. WATER SERVICE LINE.
- 6 EXST. FIRE HYDRANT.
- 7 EXST. 2" PE GAS MAIN PER SOUTHWEST GAS AS-BUILT PLANS. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
- 8 EXST. ELECTRIC CABINET.
- 9 EXST. CATV RISER.
- 10 EXST. TELEPHONE RISER.
- 11 INSTALL PAVER DRIVEWAY TO SUPPORT 83,000 LBS; GRADE PER PLAN.
- 12 INSTALL PAVER WALKWAY.
- 13 INSTALL 33" HIGH SCREEN WALL WITH DRAINAGE OPENINGS AND 43" HIGH COLUMN. DETAIL PER BUILDING PLANS DETAILS 14 AND 15 ON SHEET 10.
- 14 INSTALL EQUIPMENT SCREEN WALL TO BE A MIN. OF 12" ABOVE EQUIPMENT AND A MAX OF 6" HIGH. DETAIL ON SHEET C-1.
- 15 INSTALL A/C PAD ON GRADE.
- 16 INSTALL SEPTIC SYSTEM PER SEPARATE PERMIT.
- 17 INSTALL SEWER CLEAN OUT PER MAD STD. DETAIL 440-2.
- 18 INSTALL BURIED ELECTRIC LINE.
- 19 INSTALL 1" PVC, SCHED. 40 DOMESTIC WATER LINE.
- 20 INSTALL GAS SERVICE LINE.
- 21 INSTALL GAS METER PER BUILDING PLANS.
- 22 INSTALL 400 AMP ELECTRIC SERVICE PANEL PER BUILDING PLANS.
- 23 EXTENT OF NAOS TO BE DEDICATED PER SEPARATE INSTRUMENT. AREA PER PLAN.
- 24 EXTENT OF DRAINAGE EASEMENT TO BE DEDICATED PER SEPARATE INSTRUMENT.
- 25 FIRE PIT PER BUILDING PLANS.
- 26 EXTENT OF NEW HIGH WATER ELEVATION.
- 27 EDGE OF ROOF OVERHANG.
- 28 NAOS REVEG AREA.
- 29 INSTALL 5' HIGH, 8" WIDE, CMU SITE WALL. DETAIL ON SHEET C-1. LENGTH PER PLAN. DETAIL PER BUILDING PLANS SHEET 10, DETAIL 14.
- 30 INSTALL 5' HIGH, 12' WIDE DOUBLE GATE. DETAIL ON SHEET C-1.
- 31 INSTALL GAS CONNECTION TO EXST. GAS MAIN.
- 32 INSTALL 1" WATER METER.
- 33 SAWCUT 8 SY PER PAVEMENT REPLACEMENT COS DETAIL 2200 AND 2201.

11-12-19 BD OF ADJUSTMENT APPROVAL
 REV DATE ISSUED FOR

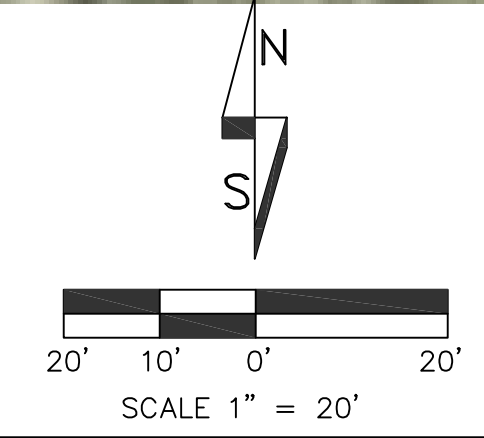
Job No: 2017-0505
 Scale: 1"=20'
 Engineer: D. NOE
 Designer: C. DEAN
 Checked By:
 Expires 9/30/21



Client/Project
CUSTOM RESIDENCE
 29398 N. 74TH STREET
 SCOTTSDALE, AZ

Title
AERIAL AND SITE IMPROVEMENTS
 SCALE 1"=20'

Drawing No.
C-1
 of 2



PLAN CHECK #5677-19
 29398 N. 74TH STREET
 QS#52-45
 FILENAME: P:\NOENGINEERING\2017\2017-0505-AF-2166029\DWG\BASEFILE-03019.DWG
 PLOT DATE: TUESDAY, 12 NOVEMBER 2015 AT 11:04AM
 15-BA-2019
 11/21/2019

Board of Adjustment Zoning Variance Project Narrative



This document will be uploaded to a Case Fact Sheet on the City's website

The Board of Adjustment may not authorize a zoning ordinance variance unless four (4) members affirm that ALL of the following criteria are met. Please provide justification to the four (4) criteria set forth in Section 1.804 of the Zoning Ordinance; you may attach a separate sheet if you need more room.

Type of variance requested, section(s) of the Zoning Ordinance to be varied:

1. That because of special circumstances applicable to the property including its size, shape, topography, location, or surroundings, the strict application of the zoning ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district:

2. That the authorization of the variance is necessary for the preservation of privileges and rights enjoyed by other property of the same classification in the same zoning district, and does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located:

3. That the special circumstances applicable to the property were not self-imposed or created by the owner or applicant:

4. That authorization of the variance will not be materially detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood or to the public welfare in general:

Planning and Development Services

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ www.ScottsdaleAZ.gov

Affidavit of Authorization to Act for Property Owner



1. This affidavit concerns the following parcel of land:
 - a. Street Address: 29398 N. 74th Street, Scottsdale AZ 85262
 - b. County Tax Assessor's Parcel Number: 216-69-029B
 - c. General Location: N. 74th Street & E. Via Dona
 - d. Parcel Size: 773778
 - e. Legal Description: 216-69-029B
 (If the land is a platted lot, then write the lot number, subdivision name, and the plat's recording number and date. Otherwise, write "see attached legal description" and attach a legal description.)
2. I am the owner of the land or I am the duly and lawfully appointed agent of the owner of the land and have authority from the owner to sign this affidavit on the owner's behalf. If the land has more than one owner, then I am the agent for all of the owners, and the word "owner" in this affidavit refers to all of them.
3. I have authority from the owner to act for the owner before the City of Scottsdale with regard to any and all reviews, zoning map amendments, general plan amendments, development variances, abandonments, plats, lot splits, lot ties, use permits, building permits and other land use regulatory or related matters of every description involving the land, or involving adjacent or nearby lands in which the owner has (or may acquire) an interest, and all applications, dedications, payments, assurances, decisions, agreements, legal documents, commitments, waivers and other matters relating to any of them.
4. The City of Scottsdale is authorized to rely on my authority as described in this affidavit until three work days after the day the owner delivers to the Director of the Scottsdale Planning & Development Services Department a written statement revoking my authority.
5. I will immediately deliver to the Director of the City of Scottsdale Planning & Development Services Department written notice of any change in the ownership of the land or in my authority to act for the owner.
6. If more than one person signs this affidavit, each of them, acting alone, shall have the authority described in this affidavit, and each of them warrant to the City of Scottsdale the authority of the others.
7. Under penalty of perjury, I warrant and represent to the City of Scottsdale that this affidavit is true and complete. I understand that any error or incomplete information in this affidavit or any applications may invalidate approvals or other actions taken by the City of Scottsdale, may otherwise delay or prevent development of the land, and may expose me and the owner to other liability. I understand that people who have not signed this form may be prohibited from speaking for the owner at public meetings or in other city processes.

Name (printed)

Date

Signature

Alan Fernandez / CEO

November 8, 2019

_____, 20__

_____, 20__


_____, 20__

Planning and Development Services

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • www.ScottsdaleAZ.gov

Castro, Lorraine

From: James Stress <jstress@cox.net>
Sent: Monday, December 02, 2019 10:59 AM
To: Projectinput
Cc: garybsolomon@me.com
Subject: Property Variance Objection
Attachments: Rezoning variance Neighbor Lot 2019.pdf

 **External Email: Please use caution if opening links or attachments!**

James Stress
jstress@cox.net
29450 N 74th Street
Scottsdale, AZ 85266
602 549 2764

James W Stress Jr.
29450 N 74th Street
Scottsdale, AZ 85266

December 2, 2019

Project Input
Scottsdale, AZ

Re: Case Number: 15-BA-2019

We have been informed of a request for variance to the City of Scottsdale Zoning Ordinance Section 5.034.E.1.c for the property located at 29398 N 74th Street, which is adjacent to our property.

I am vehemently opposed to this variance and it will severely detract from the character of the neighborhood and value of our property which is occupied by million dollar properties which are located on 5 or 2.5 acre lots.

We the residents of this adjacent location who settled in this area because of the open desert zoning, are opposed to allowing this resident or any other in this area to encroach on our established zoning and open Sonoran Desert feel.

This resident wants to build ANOTHER home on this property for his own personal gain without respect for the residents who preceded him in building our residences according to the open zoning of this area.

Again, I am vehemently opposed to this variance as are many of the adjacent residence whom you will hear from .

Sincerely yours,

James & Diana Stress

29450 N 74th Street

Scottsdale AZ.

Name

RICHARDS GEORGE/JACKSON-RICHARDS DIANE
ROTHWELL DONALD EARL/BARBARA ANN TR
CHIARAMONTE JOSEPH/TERESA MARIA TR
AJF CUSTOM HOMES LLC
CHEZ ADAM D/NEWMAN JONATHAN C
SONRISE COVENANT BAPTIST CHURCH
DESERT FOOTHILLS LUTHERAN CHURCH
JAMES AND DIANA STRESS LIVING TRUST
ZITT LIVING TRUST
OTTEN KORTNEY
WIEGERS JEFFREY G/DEBRA LEE TR
DESERT MISSION UNITED METHODIST CHURCH
AGINS JONATHAN W/DANIELLE E TR
DAVID AND PATRICIA HAYWARD TRUST
THOMPSON EDWARD MICHAEL/LOIS ANNE
SOLOMON CLAIRE
J AND K ARNOLD FAMILY TRUST
WALTON FAMILY TRUST
BROWN JUDITH V
MILTON AND BARBARA LEMBERG LIVING TRUST
KONDRICH PAUL A/CHERYL J
IOAN JOHN AND LIDIA TICA FAMILY TRUST
AKHAVAN MAHMOUD/SADIGHINEJAD MEHRY/ETAL
CLURE PAULA/LYMAN KAREN/WILTBANK EVI TR
CIAPALA BARBARA
APPLICANT/OWNER

Ali Fakh
Annette Petrillo
Audry Villaverde
Bob Griffith
Carla
Chris Schaffner

Christian C. Serena
Community Development Director
Constance Laub
Dan Sommer
David G. Gulino
Solange Whitehead
Director
Dr. Sonnie Kirtley
Ed Toschik, President
Edwin Bull
Eric Gold

Guy Phillips
Guy Phillips
Howard Myers
Jim Funk
Jim Haxby
John Berry/Michele Hammond

John Washington

Kathy Littlefield

Kevin D. Bollinger
Kirste Kowalsky

Larry S. Kush
Leon Spiro
Linda Milhaven
Linda Whitehead
Lori Haye
Maricopa County Superintendent of Schools
Michael Leary
Mike McNeal, Supervisor
Mike Ratzken
Patti Badenoch
Paul Alessio - Chair
Planning & Development Department
Planning & Development Director
Planning & Engineering Section Manager
Planning and Zoning
Planning Department
Planning Department

Prescott Smith
Project Management
Randall P. Brown
Marissa Moore, AICP
Sherry Wagner/Right-of-Way Technician, SR.
Steve Tyrrell
Superintendent
Superintendent
Susan McGarry
Suzanne Klapp
Vickie Falen
Virginia Korte
W.J. Jim Lane - Mayor
Wade Tinant

Maggie Keasler
Renee J. Higgs
Susan Kauffman
Patricia Van Cleave
Andrea Keck
Steve Perone

Company

Address

26878 WEMBLEY CT
 9856 N 67TH ST
 7032 E PRESIDIO RD
 PO BOX 27705
 25425 N 114TH ST
 29505 N SCOTTSDALE RD
 29305 N SCOTTSDALE RD
 29450 N 74TH ST
 29575 N 74TH ST
 29399 N 74TH ST
 29294 N 74TH ST
 7373 E DIXILETA DR
 7444 E MORNING VISTA LN
 29551 N 74TH ST
 29397 N 74TH ST
 29451 N 74TH ST
 29241 N 74TH ST
 29225 N 74TH ST
 PO BOX 13222
 5705 E LITTLE WELLS PASS
 31613 N 66TH ST
 5410 E JUNIPER CANYON DR
 5520 OWENSMOUTH AVE NO 314
 PO BOX 1027
 27307 S E DUTHIE HILL RD
 P.O. Box 27705

Alan Fernandez

City of Scottsdale Planning Commission	8280 E. Gelding Drive, Suite 101
Withey Morris, PLC	1169 E. Clovefield Street 2525 E. Arizona Biltmore Circle; Su 7127 E. Rancho Vista Dr. #4002 3420 N. 78th Street 7346 E. Sunnyside Dr.
City of Scottsdale Planning Commission	6929 North Hayden Road, Ste. C4194
Town of Paradise Valley	6401 E Lincoln Drive 10305 E. Via Linda
	12005 N 84th Street
	5235 N. Woodmere Fairway
City of Scottsdale City Council	3939 N. Drinkwater Blvd.
Arizona Department of Water Resources	1110 W. Washington Street STE 31
COGS	8507 East Highland Avenue
	7657 E Mariposa Grande Dr
Burch & Cracchiolo PA	P.O. Box 16882
	25499 N. 104th Way

	7131 E. Cholla St.
City of Scottsdale City Council	3939 N. Drinkwater Blvd.
	6631 E Horned Owl Trail
Gainey Ranch Community Association	7720 Gainey Ranch Road 7336 E. Sunnyside Dr.
Berry Riddell, LLC	6750 E Camelback Rd, Ste 100
	3518 N. Chambers Court
City of Scottsdale City Council	3939 N. Drinkwater Blvd.
City of Scottsdale Planning Commission	8031 E. Sutton Drive
Withey Morris, PLC	2525 E. Arizona Biltmore Circle, Su
City of Scottsdale Planning Commission	7127 E. Rancho Vista Dr. #1001
	7814 E Oberlin Way
City of Scottsdale City Council	3939 N. Drinkwater Blvd.
	9681 E Chuckwagon Lane
	P.O. Box 426
	4041 N. Central Avenue Suite 1200
Commercial Land Development Consulting	10278 East Hillery Drive
AT&T	1231 W. University Drive
	8725 E. Palo Verde Dr
	5027 N. 71st Pl
City of Scottsdale Planning Commission	7527 E. Tailspin Lane
Maricopa County Planning & Development	501 N. 44th Street, Suite 200
City of Phoenix	200 West Washington Street, 2nd
Arizona State Land Department	1616 W. Adams Street
Town of Carefree	8 Sundial Circle P.O. Box 740
Town of Cave Creek	37622 N Cave Creek Road
SRP-MIC	10005 E Osborn Road
	4350 E. Camelback Rd., Suite G-
City of Scottsdale Planning Commission	200
Arizona Department of Transportation	205 S. 17th Avenue MD 6012E
Spring Creek Development	7144 E. Stetson Dr. #425
Town of Fountain Hills	16705 E. Avenue of the Fountains
Mail Station PAB348	P.O. Box 52025
	7753 E. Catalina Drive
Cave Creek Unified School District	P.O. Box 426
Scottsdale Unified School District	8500 E. Jackrabbit Rd
	8074 E. Theresa Drive
City of Scottsdale City Council	3939 N. Drinkwater Blvd.
	10520 N 117th Pl
City of Scottsdale City Council	3939 N. Drinkwater Blvd.
City of Scottsdale City Council	3939 N. Drinkwater Blvd.
	4614 E. Running Deer Trail
Granite Reef Neighborhood Resource Center	1700 N Granite Reef Road

Gammage & Burnham, PLC
Southwest Gas Corporation

Withey Morris, PLC
Paradise Valley Unified School District
Earl, Curley & Lagarde, P.C.
Arizona Commerce Authority

City of Scottsdale Planning Commission

2 N. Central Avenue, 15th Floor
2200 N. Central Avenue Ste 101
2525 E. Arizona Biltmore Circle;
Suite A-212
15002 N. 32nd Street
3101 N. Central Avenue, Ste. 1000
333 N. Central Avenue, Suite 1900
7127 E. 6th Ave.
15192 N. 104th Way
11334 E. Desert Vista Rd.
11378 E. Cavedale Drive
9719 E. West View Drive
7474 E. Earll Dr. #108

City	State	Zip
FARMINGTON	MI	48331
SCOTTSDALE	AZ	85253
SCOTTSDALE	AZ	85254
SCOTTSDALE	AZ	85255
SCOTTSDALE	AZ	85255
SCOTTSDALE	AZ	85262
SCOTTSDALE	AZ	85262
SCOTTSDALE	AZ	85262
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SCOTTSDALE	AZ	85266
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SCOTTSDALE	AZ	85266
SCOTTSDALE	AZ	85267
CAVE CREEK	AZ	85331
CAVE CREEK	AZ	85331
CAREFREE	AZ	85377
WOODLAND HILLS	CA	91367
SHERWOOD	OR	97140
ISSAQUAH	WA	98027
Scottsdale	AZ	85255
Scottsdale	AZ	85260
Gilbert	AZ	85298
Phoenix	AZ	85016
Scottsdale	AZ	85251
Scottsdale	AZ	85251
Scottsdale	AZ	85260
Scottsdale	AZ	85250
Paradise Valley	AZ	85253
Scottsdale	AZ	85258
Scottsdale	AZ	85260
Scottsdale	AZ	85250
Scottsdale	AZ	85251
Phoenix	AZ	85007
Scottsdale	AZ	85251-1822
Scottsdale	AZ	85255
Phoenix	AZ	85011
Scottsdale	AZ	85255

Scottsdale	AZ	85254
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Phoenix	AZ	85016

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Scottsdale	AZ	85262
Cave Creek	AZ	85327
Phoenix	AZ	85012
Scottsdale	AZ	85255
Mesa	AZ	85201
Scottsdale	AZ	85250
Scottsdale	AZ	85253
Scottsdale	AZ	85255
Phoenix	AZ	85008
Phoenix	AZ	85003
Phoenix	AZ	85007
Carefree	AZ	85377
Cave Creek	AZ	85331
Scottsdale	AZ	85256

Phoenix	AZ	85018
Phoenix	AZ	85007
Scottsdale	AZ	85251
Fountain Hills	AZ	85268
Phoenix	AZ	85072-2025
Scottsdale	AZ	85251
Cave Creek	AZ	85327
Scottsdale	AZ	85250
Scottsdale	AZ	85255
Scottsdale	AZ	85251
Scottsdale	AZ	85259
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Scottsdale	AZ	85251
Cave Creek	AZ	85331
Scottsdale	AZ	85257

Phoenix	AZ	85004
Phoenix	AZ	85004

Phoenix	AZ	85016
Phoenix	AZ	85032
Phoenix	AZ	85012
Phoenix	AZ	85004

Scottsdale	AZ	85251
Scottsdale	AZ	85255
Scottsdale	AZ	85255
Scottsdale	AZ	85262
Scottsdale	AZ	85255
Scottsdale	AZ	85251

Castro, Lorraine

From: Gary Solomon <garybsolomon@me.com>
Sent: Monday, December 02, 2019 12:20 PM
To: Projectinput
Subject: Opposition to request for Variance

⚠ External Email: Please use caution if opening links or attachments!

Gary Solomon
29451 N. 74th St.
Scottsdale, Az. 85266

December 2, 2019

City of Scottsdale

Planning and Development Services
Project Input
Case Number 15-BA-2019

To Whom it may concern:

We are in receipt of the recent notification of a Variation Request for a Setback Reduction for 29398 N. 74th St. as defined by your case number 15-BA-2019.

Be advised, as owners of the property located at 29451 N. 74th st, that we are vehemently opposed to any variance to the present zoning. The character and ambiance of this unique neighborhood must not be changed to satisfy any individual, investor or developer. The property valuations of residences in this distinct community will be in jeopardy if we, as current owners, allow for any departure from exiting zoning.

We have chosen to live in the beauty and environment of the open desert. Any change in zoning by variance will dramatically alter and compromise that which we homeowners seek and enjoy; open spaces and the desert beauty.

We are vehemently opposed to any Variance to present zoning and will aggressively seek the denial of such a request, if necessary.

Sincerely,
Gary & Claire Solomon

Contact:

Phone:

773 551 3608

Email:

garybsolomon@me.com

Address:

29451 N. 74th St.

Scottsdale, Az. 85266

From: [Ruenger, Jeffrey](#)
To: [Mayo, Desirae](#); [Berry, Melissa](#)
Subject: FW: Case 15-BA-2019
Date: Tuesday, December 3, 2019 1:30:39 PM

-----Original Message-----

From: Joanne Walton <jojomill1@icloud.com>
Sent: Friday, November 29, 2019 5:11 PM
To: Projectinput <Projectinput@Scottsdaleaz.gov>
Subject: Case 15-BA-2019

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I live on 74th street 3 properties from subject property. I strongly believe the value of OUR properties is the consistent adherence to our zoning Laws. We love the setback rules and open feel of our horse property. I do not want to see homes squeezed into small lots and look into someone's front windows as we walk by. If you approve for one—others will follow. You know that. In our community, you have consistently sold us out for new commercial properties and other zoning rule violations. A rule is a rule. That is why we bought here. What's next? Gas stations and apartments? You cannot keep selling us out. Would you please enforce the laws we as a community have set. As with child raising— you just say NO. Stay within laws written or get voted out.

Joanne Walton
480-247-6211

Sent from my iPad

From: [Zimmer, Christopher](#)
To: [Tonnemacher, Nathan](#)
Cc: [Berry, Melissa](#)
Subject: FW: variance request 15-BA-2019
Date: Tuesday, December 3, 2019 10:41:03 AM

FYI

From: edloisthompson@cox.net <edloisthompson@cox.net>
Sent: Tuesday, December 3, 2019 10:10 AM
To: Zimmer, Christopher <CZimmer@Scottsdaleaz.gov>
Subject: variance request 15-BA-2019

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[City of Scottsdale](#)



There are several reasons that this variance request should be denied. The builder, Alan Fernandez, listed the frontage on 78th street and I believe it is actually 74th street. 1. All of the houses in Pinnacle Peak Paradise have followed the set backs to maintain the open spaces between houses. The house directly to the south was built many years ago and this variance would bring the new building much closer. 2. The wash could be deepened. 3. The existing driveway could be used. -- sent by Lois Drinkwater Thompson (case# 15-BA-2019)