



Full Size or Largest Size Plans

Site Plan

Landscape Plan

Elevations

A.L.T.A. / A.C.S.M. LAND TITLE SURVEY

OF
A PORTION OF THE NORTHWEST QUARTER OF SECTION 7,
TOWNSHIP 3 NORTH, RANGE 5 EAST OF THE GILA AND
SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY,
ARIZONA

DESCRIPTION

That portion of Government Lot 5, Section 7, Township 3 North, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, lying East of the following described line:

COMMENCING at a brass cap marking the Northwest corner of said Section 7, from which a brass cap marking the Northeast corner of Section 12, Township 3 North, Range 4 East, bears South 00 degrees 02 minutes 02 seconds East 191.59 feet;
Thence along the North line of said Section 7, South 89 degrees 59 minutes 15 seconds East 350.02 feet;
Thence leaving said North line, South 00 degrees 32 minutes 22 seconds West 237.48 feet;
Thence South 05 degrees 44 minutes 10 seconds West 1,184.18 feet;
Thence South 04 degrees 52 minutes 07 seconds West 160.34 feet to a point hereinafter described as "Point A";
Thence continuing South 04 degrees 52 minutes 07 seconds West 1,167.61 feet;
Thence South 51 degrees 13 minutes 07 seconds East 51.95 feet to the existing North right of way line of Raintree Drive and the POINT OF ENDING;

EXCEPT all coal, oil, gas and other minerals deposits as reserved in the Patent; and Excepting all uranium, thorium, or other material which is or may be determined to be peculiarly essential to the production of fissionable materials, whether or not of commercial value, pursuant to the provisions of Act of August 1, 1946 (60 Stat. 755) as set forth in the Patent on said land.

SCHEDULE "B" ITEMS

- 1 Any action that may be taken by the Arizona Department of Transportation to acquire right of way and access for State Highway, as disclosed by Resolution of Establishment recorded in Document No. 850466218. (AFFECTS SUBJECT PROPERTY)
- 2 Any action that may be taken by the Arizona Department of Transportation to acquire right of way and access for State Highway, as disclosed by Resolution of Establishment recorded in Document No. 980626667. (AFFECTS SUBJECT PROPERTY)
- 3 Rights of the grantors, their heirs or assigns, in Deeds recorded in Document Nos. 980635322 and 980635323, to repurchase the property herein described or any portion thereof pursuant to ARS 28-7059. (AFFECTS SUBJECT PROPERTY)

NOTES

- 1) The basis of bearing is the East Right of Way line of Pima Freeway, using a bearing of South 05 degrees 44 minutes 10 seconds West.
- 2) All title information and the description shown is based on a Commitment for Title Insurance issued by Security Title Agency, Inc., Order Number 15022636, dated January 31, 2003.
- 3) There are no striped parking spaces on the subject property.
- 4) The Surveyor has made no attempt and has not obtained any information relating to, and has no knowledge of any proposed right of ways, easements, or dedications that any municipality, individual or governmental agency may have made or may require.
- 5) Use of the information contained in this A.L.T.A./A.C.S.M. Land Title Survey for other than the specific purpose for which it was intended ("title insurance matters") is forbidden unless expressly permitted in writing in advance by Superior Surveying Services, Inc. Superior Surveying Services, Inc. shall have no liability for any such unauthorized use of this information without their written consent.

CERTIFICATION

TO: PIMA COMMERCIAL PROPERTIES, LLC; HOPE PHARMACEUTICALS DEFINED BENEFITS PLAN; JOHNSON BANK; and SECURITY TITLE AGENCY, INC.

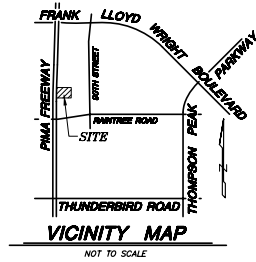
This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for A.L.T.A./A.C.S.M. Land Title Surveys" jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 2, 4, 6 (record only), 8, 9, 10, 11(a), 14, 15 and 16 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

March 26, 2003
G. Bryan Goetzberger
R.L.S. 31020

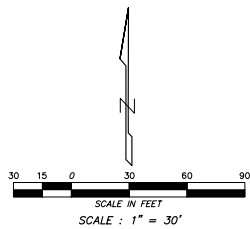


Superior Surveying Services, Inc.
Professional Land Surveying
21415 North 33rd Avenue, Phoenix, Arizona 85027
Phone (602) 859-0223 Fax (602) 859-0728
info@superiorsurveying.com

DATE	DESCRIPTION	DRAFTED BY	CHECKED BY
10/28/04	33' ESMT ROADWAY & PUBLIC UTILITIES	DATE: 3-20-03	
		JOB NO.: 230303	



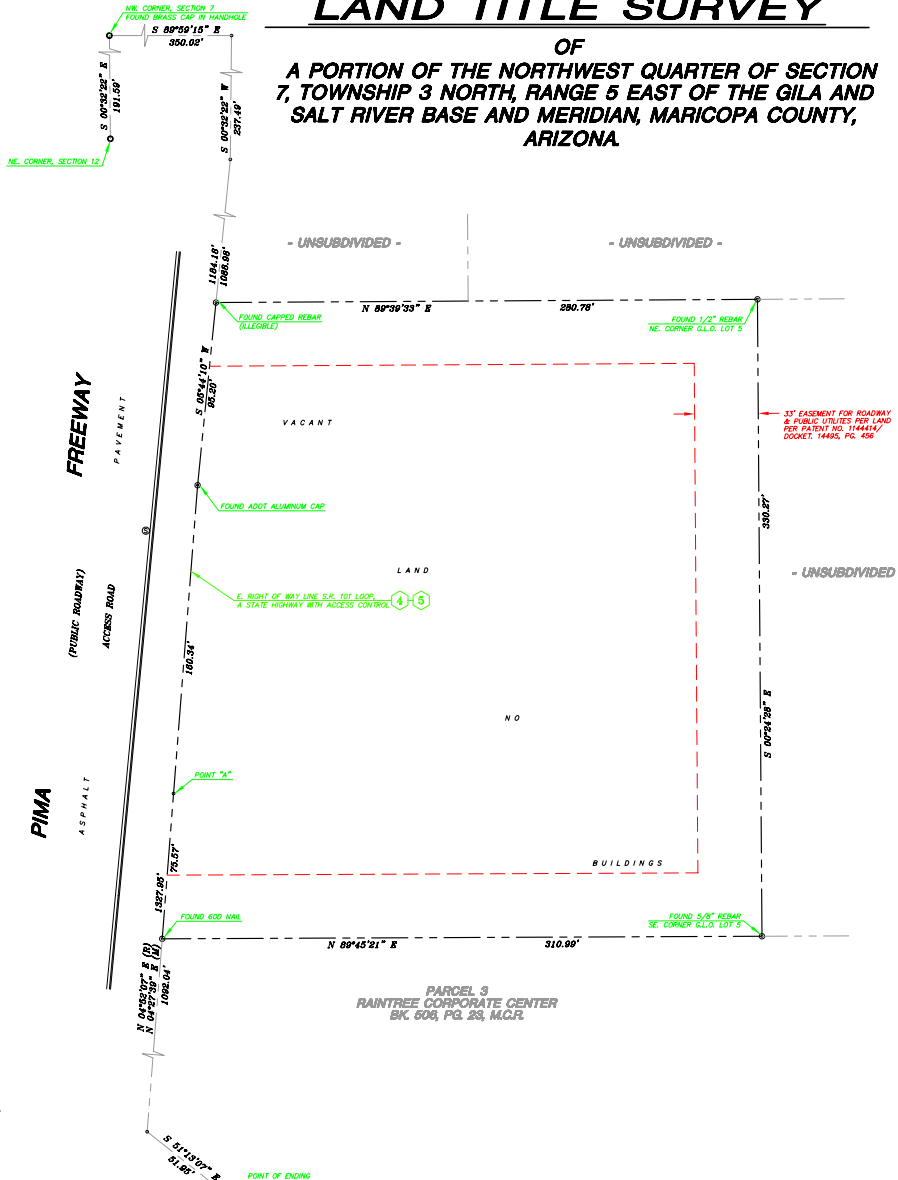
NOT TO SCALE



LEGEND

- PROPERTY CORNER NOTHING FOUND OR SET (UNLESS OTHERWISE NOTED)
- PROPERTY LINE
- 24 INCH VERTICAL CURB & GUTTER
- SEWER MANHOLE
- (R) RECORDED PER DESCRIPTION
- (M) MEASURED

AREA = 2,247.4 ACRES
97,807 SQ. FT.

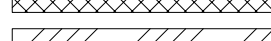
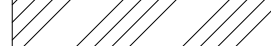
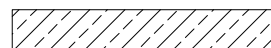


VACANT LAND, NORTHEAST CORNER LOOP 101 AND RAIN TREE ROAD, SCOTTSDALE, ARIZONA



SITE PLAN DATA:	
EXISTING ZONING:	I-1 (INDUSTRIAL PARK)
APN:	217-15-035A
NET SITE AREA:	2.24 ACRES (97,897 S.F.)
PROPOSED BUILDING USE:	INTERNALIZED COMMUNITY STORAGE
OCCUPANCY TYPE:	S-1 (STORAGE) AND B (OFFICE)
BUILDING HEIGHT ALLOWED:	36'-0" FEET MAX
BUILDING HEIGHT PROVIDED:	32'-0" T.O.P.
BUILDING AREA:	
TOTAL AREA:	111,765 S.F. (2 UP/ 1 DOWN)
ALLOWED FAR (0.8 MAX):	78,317 S.F.
PROVIDED FAR (ABOVE GROUND):	74,510 S.F. (0.76)
BUILDING AREA (BELOW GROUND):	37,255 S.F.
SITE COVERAGE:	38%
PARKING CALCULATION:	
REQUIRED PARKING:	30 SPACES
1/2500 S.F. OF ABOVE GRADE	
INTERNALIZED COMMUNITY STORAGE	
74,510 S.F. @ 1/2500 = 30 SPACES	
PROVIDED PARKING:	30 SPACES
REQUIRED ADA PARKING:	2 SPACES
PROVIDED ADA PARKING:	2 SPACES
BIKE PARKING REQUIRED (1/10 VEHICLES):	3 SPACES
BIKE PARKING PROVIDED:	3 SPACES
OPEN SPACE:	
REQUIRED OPEN SPACE (10%)(FIRST 12' BLDG. HEIGHT):	
.10 X 97,897 S.F. = 9,789.7 S.F.	
OPEN SPACE REQUIRED ABOVE 12' OF BUILDING HEIGHT:	
20 X .003 X 97,897 S.F. = 5,874 S.F.	
TOTAL OPEN SPACE REQUIRED:	
9,789.7 S.F. + 5,874 S.F. = 15,663.7 S.F.	
FRONT OPEN SPACE REQUIRED (50%):	
15,663.7 S.F. X .50 = 7,832 S.F.	
FRONT OPEN SPACE PROVIDED:	14,167 S.F.
OTHER OPEN SPACE PROVIDED:	13,128 S.F.
TOTAL OPEN SPACE PROVIDED:	27,295 S.F.
PARKING LOT AREA:	17,726 S.F.
PARKING LOT LANDSCAPING REQUIRED (15%):	2,659 S.F.
PARKING LOT LANDSCAPING PROVIDED:	2,775 S.F.
33% OF PARKING LOT LANDSCAPE AREA MUST BE 7'-0" WIDE	
33% OF LANDSCAPE AREA PROVIDED = 0.33 X 2,775 S.F. = 916 S.F. REQUIRED	
2,604 S.F. PROVIDED	

OPEN SPACE LEGEND:

	FRONT OPEN SPACE
	OTHER OPEN SPACE
	PARKING LOT LANDSCAPING
	PAVING



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CLIENT

1784 | Capital Holdings

PROJECT DESCRIPTION

PROPOSED INTERNALIZED COMMUNITY STORAGE

SCOTTSDALE

ARIZONA

ISSUE DATES

DR	DEVELOPMENT REVIEW #2	10-20-19
DR	DEVELOPMENT REVIEW	05-23-19
MARK	DESCRIPTION	DATE

PROJECT NO:	20191481
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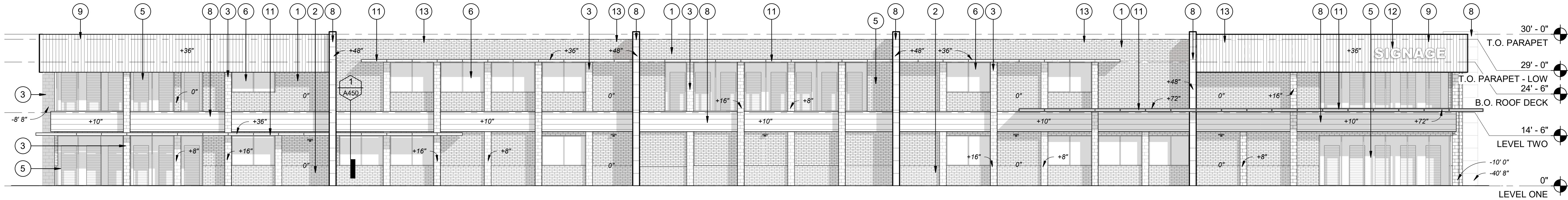
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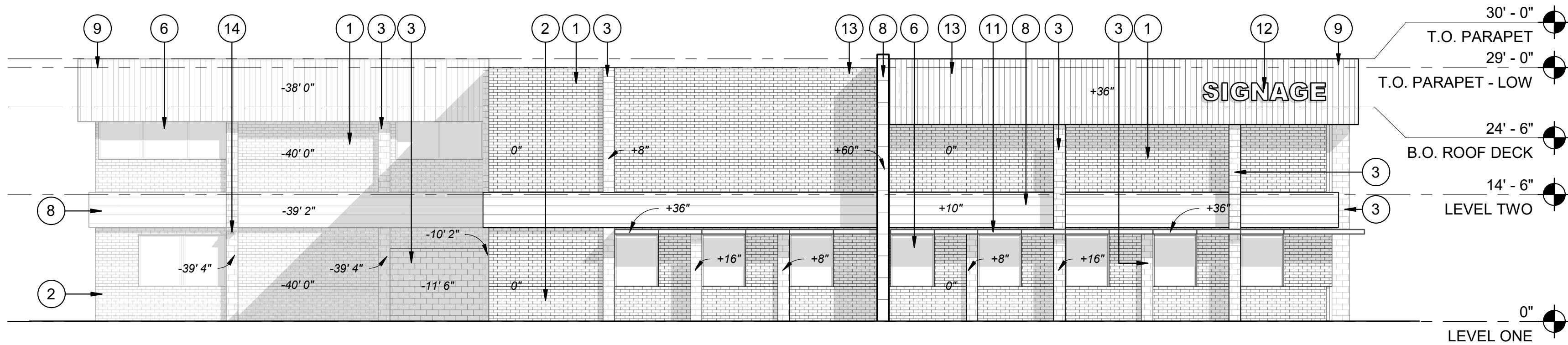
DRAWING TITLE

PRELIMINARY OPEN SPACE PLAN

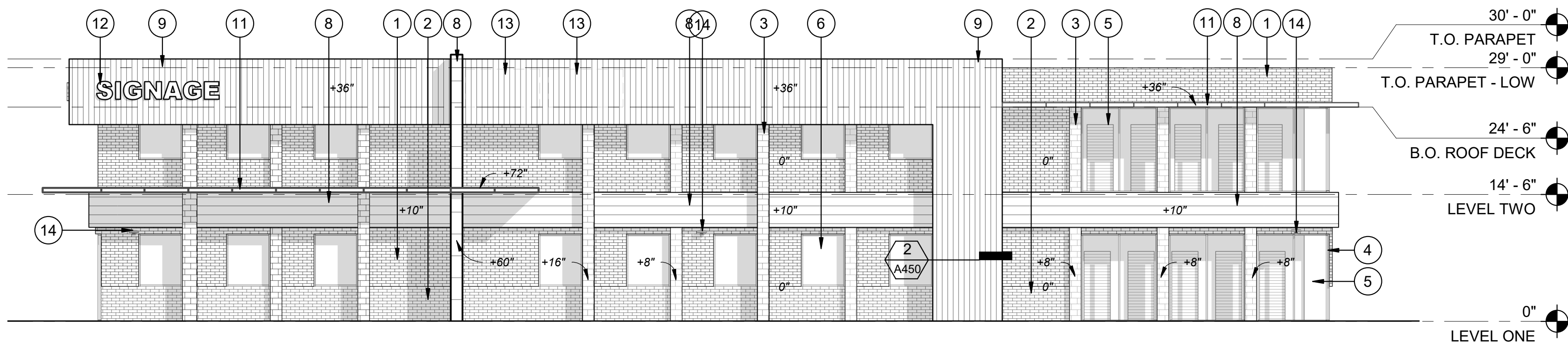
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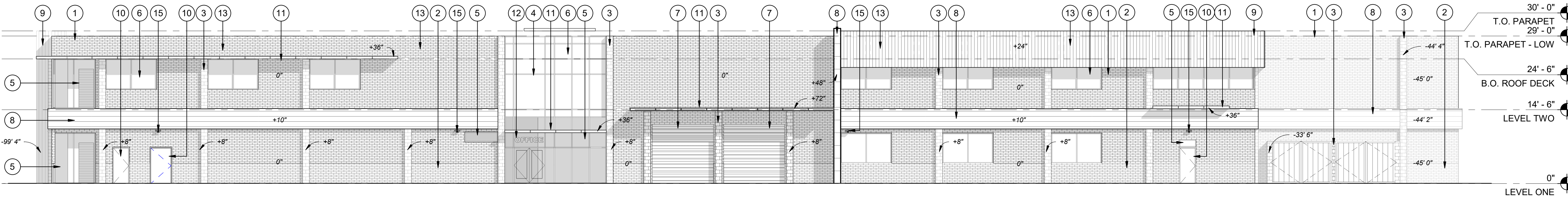
1 ELEVATION - WEST OPT 2
1" = 10'-0"



2 ELEVATION - NORTH OPT 2
1" = 10'-0"



3 ELEVATION - SOUTH OPT 2
1" = 10'-0"



4 ELEVATION - EAST OPT 2
1" = 10'-0"

KEYNOTES OPTION 2

- 1 MASONRY VENEER (ECHELON, QUIK-BRIK TRADITIONAL - SANDALWOOD FLASHED)
- 2 MASONRY VENEER (ECHELON, FOUNDER'S FINISH - DESERT BLEND)
- 3 SMOOTH FACE BLOCK, INTEGRAL COLOR (SUPERLITE - FUEGO RED)
- 4 STOREFRONT (KAWNEER - CHARCOAL)
- 5 INSULATED GLAZING UNIT (GUARDIAN SUNGUARD, SUPERNEUTRAL 68 - CLEAR)
- 6 SPANDREL GLAZING UNIT (ICD, OPACI-COAT-300 - #1-818 BLACK/CLEAR)
- 7 ROLL UP DOOR (JANUS - SILHOUETTE GRAY)
- 8 METAL WALL PANEL, CONCEALED FASTENERS (FIRESTONE - CITYSCAPE)
- 9 METAL WALL PANEL, CONCEALED FASTENERS (FIRESTONE - BURNISHED SLATE)
- 10 METAL DOORS, PAINTED (DUNN EDWARDS - DE6392 MINK)
- 11 LOUVERED METAL SHADE AWNINGS, PAINTED (DUNN EDWARDS - DE6360 FOIL)
- 12 PROPOSED SIGNAGE LOCATION
- 13 ROOF-MOUNTED MECHANICAL EQUIPMENT (4'-4" MAX HEIGHT)
- 14 LIGHTING FIXTURE (SB MOUNTED AT 10'-0" AFF)
- 15 LIGHTING FIXTURE (SC MOUNTED AT 10'-0" AFF)

ELEVATION GENERAL NOTES

1. NUMBER NOTATIONS (+8", +10", +16" ETC.) INDICATE DISTANCES BETWEEN PLANAR SURFACES RELATIVE TO THE EXTERIOR FACE OF GROUND LEVEL EXTERIOR WALL ASSEMBLY INDICATED ON ELEVATIONS AS 0".
2. PARAPET WALLS WILL EXCEED THE HEIGHT OF THE TALLEST ROOF-MOUNTED MECHANICAL EQUIPMENT.

APPROVED

STIPULATION SET
RETAIN FOR RECORDS

1/3/20

DATE

KP

APPROVED BY

CLIENT

1784 CAPITAL
HOLDINGS LLC

PROJECT DESCRIPTION

PIMA/RAINTREE
STORAGE FACILITY

CITY

STATE

ISSUE DATES

SP	SITE PLAN REVIEW	01-02-2020
MARK	DESCRIPTION	DATE

PROJECT NO: 20191481

DRAWN BY: NL

CHECKED BY: MAB

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DRAWING TITLE
EXTERIOR ELEVATIONS
- OPTION 2

A402-B

FREEWAY

(PUBLIC ROADWAY)

PAVEMENT

ACCESS ROAD

SIGHT VISIBILITY: NO SVT ON THIS SITE (ONE WAY NORTH BOUND TRAFFIC)

ASPHALT

PIMA

F.H.

75'-0"
PROTECTED ACCESS
PER SHERMAN EXCESS LAND RELEASE &
ADOT RIGHT OF WAY MAPS

NEW
DRIVEWAY

FUTURE RIGHT TURN LANE
BE CONSTRUCTED BY DEVELOPER
N 04°52'07" E (R)
N 04°27'39" E (M)

LANDSCAPE PLAN

SCALE: 1" = 20'-0"

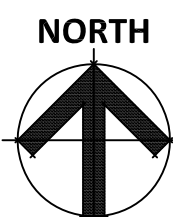
PROPOSED INTERNALIZED
COMMUNITY STORAGE
(2 UP / 1 DOWN)
37,255 S.F.
TOTAL: 111,765 S.F.

APPROVED
STIPULATION SET
RETAIN FOR RECORDS
1/3/20 DATE KP
APPROVED BY

PARCEL 3
RAINTREE CORPORATE CENTER
BK. 506, PG. 23, M.C.R.

ZONED C-2
CENTRAL BUSINESS

0' 10' 20' 40'

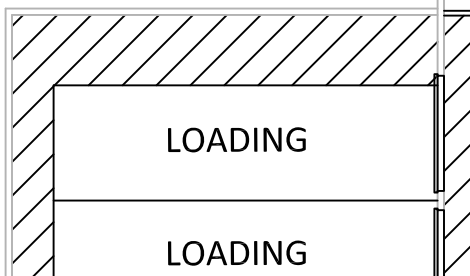
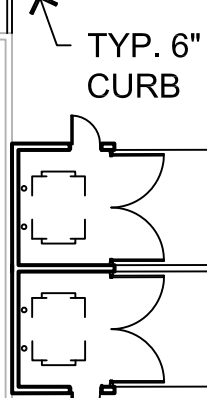


- UNSUBDIVIDED -
ZONED I-1
INDUSTRIAL PARK

- UNSUBDIVIDED -

N 89°39'33" E 280.78'

CONCRETE



OFFICE/
LOBBY

CONCRETE

SES
F.R.

TRANSFORMER

LOW RETAINING WALL,
SEE CIVIL PLANS

CAVAN ACCESS
EASEMENT

COMMERCIAL T-TYPE
EMERGENCY VEHICLE
TURN-AROUND

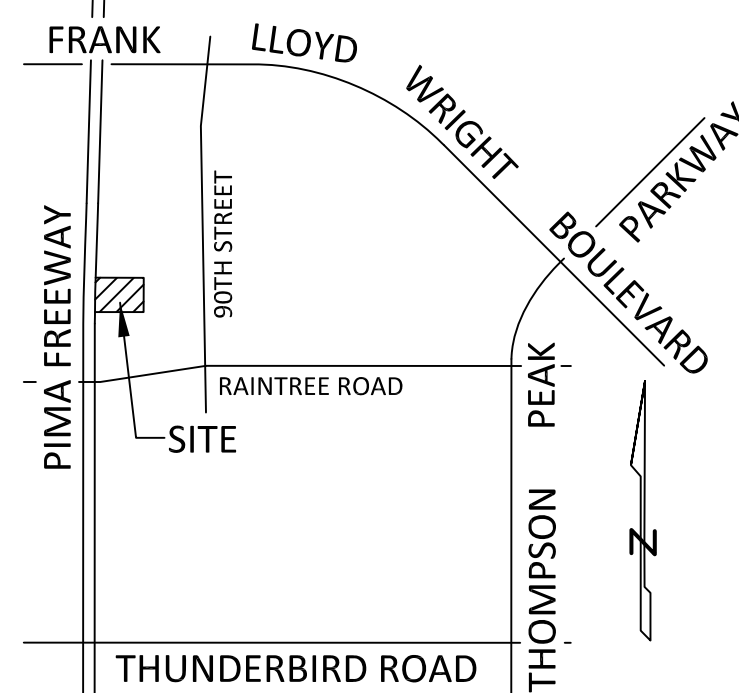
35'-0" FUTURE
EMERGENCY ACCESS
& REFUSE ACCESS
EASEMENT

6' CMU SCREEN
WALL, FIRST 2' TO
BE A RETAINING
WALL

- UNSUBDIVIDED -
ZONED R1-35
SINGLE-FAMILY
RESIDENTIAL

S 00°24'28" E

6' CMU SCREEN
WALL, FIRST 2' TO
BE A RETAINING
WALL



VICINITY MAP

NOT TO SCALE

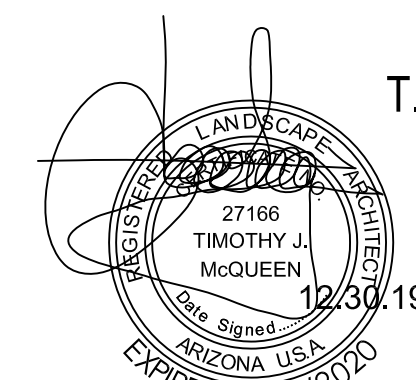
LANDSCAPE LEGEND

- CERCIDIUM 'HYBRID'
DESERT MUSEUM PALO VERDE
24" BOX (16)
- ACACIA SALICINA
WILLOW ACACIA
24" BOX (2)
- PROSOPIS CHILENSIS
CHILEAN MESQUITE (THORNLESS)
24" BOX (8)
- ACACIA ANEURA
MULGA (SRP/APS APPROVED)
24" BOX (13)
- SOPHORA SECUNDIFLORA
TEXAS MOUNTAIN LAUREL
15 GALLON (10)
- RUPELLIA PENINSULARIS
BAJA RUPELLIA
5 GALLON (57)
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON (48)
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON (21)
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (54)
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON (73)
- AGAVE GEMNIFLORA
TWIN FLOWERED AGAVE
5 GALLON (58)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (81)
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON (41)

1/2" SCREENED EXPRESS 'PAINTED DESERT'
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE SUMMARY DATA:

OFF-SITE LANDSCAPE: 5,895 SQ.FT.
ON-SITE LANDSCAPE: 28,039 SQ.FT.
PARKING LOT LANDSCAPE: 1,284 SQ.FT.



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320
EMAIL: timmqueen@tjmla.net



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St. Paul MN Fort Collins CO Phoenix AZ

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CLIENT

PROJECT DESCRIPTION

PROPOSED INTERNALIZED COMMUNITY STORAGE

SCOTTSDALE

ARIZONA

ISSUE DATES

SD	SCHEMATIC DESIGN	12.30.19
MARK	DESCRIPTION	DATE

PROJECT NO: 20191481

DRAWN BY: MAB

CHECKED BY: MAB

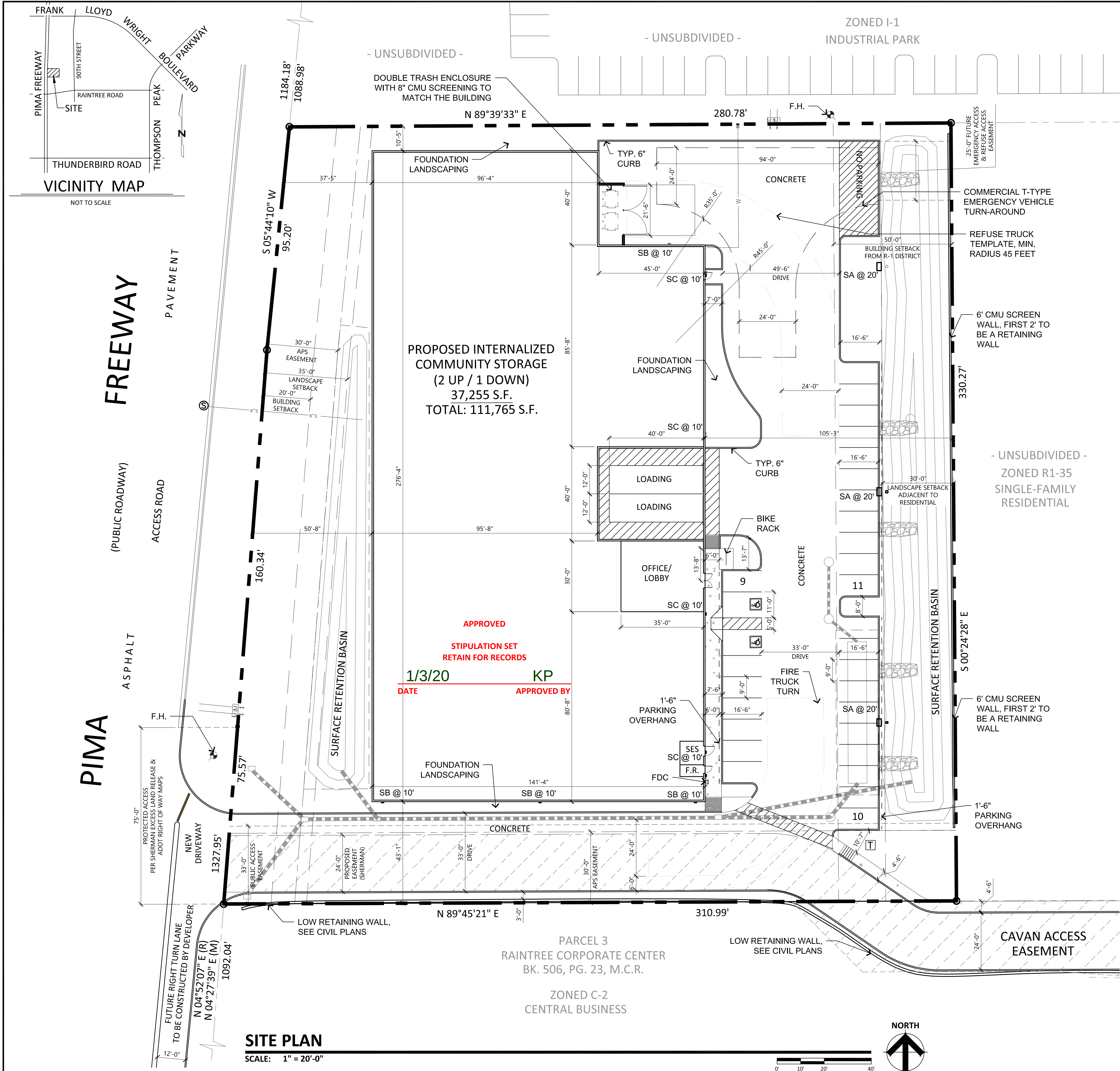
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DRAWING TITLE

LANDSCAPE PLAN

La.01



PROJECT DIRECTORY:

DEVELOPER:

1784 CAPITAL HOLDINGS LLC
8777 NORTH GAINY CENTER DR., SUITE 191
SCOTTSDALE, ARIZONA 85258
POINT OF CONTACT: KELLY MCKONE
PHONE: (602) 885-2552
EMAIL: kmckone@1784holdings.com

SITE PLANNER:

EAPC ARCHITECTS ENGINEERS
901 E. MADISON ST.
PHOENIX, ARIZONA 85034
POINT OF CONTACT: MICHELLE BACH
PHONE: (602) 441-4505
EMAIL: michelle.bach@eapc.net

DESIGN ARCHITECT:

DWL ARCHITECTS + PLANNERS, INC.
2333 N. CENTRAL AVE.
PHOENIX, ARIZONA 85004
POINT OF CONTACT: SEAN WARFIELD
PHONE: (602) 264-9731
EMAIL: swarfield@dwlarchitects.com

CIVIL ENGINEER:

HELIX ENGINEERING, LLC
3240 E. UNION HILLS DR. #112
PHOENIX, ARIZONA 85050
POINT OF CONTACT: STEVE BOWSER
PHONE: (602) 788-2616
EMAIL: sb@hxeng.com

SITE PLAN DATA:

EXISTING ZONING: I-1 (INDUSTRIAL PARK)
APN: 217-15-035A
NET SITE AREA: 2.24 ACRES (97,897 S.F.)

PROPOSED BUILDING USE: INTERNALIZED COMMUNITY STORAGE
OCCUPANCY TYPE: S-1 (STORAGE) AND B (OFFICE)
BUILDING HEIGHT ALLOWED: 36'-0" FEET MAX
BUILDING HEIGHT PROVIDED: 32'-0" T.O.P.

BUILDING AREA:
TOTAL AREA: 111,765 S.F. (2 UP / 1 DOWN)
ALLOWED FAR (0.8 MAX): 78,317 S.F.
PROVIDED FAR (ABOVE GROUND): 74,510 S.F. (0.76)
FAR PERCENTAGE: 76%
BUILDING AREA (BELOW GROUND): 37,255 S.F.
SITE COVERAGE: 38%

PARKING CALCULATION:
REQUIRED PARKING: 30 SPACES
1/2500 S.F. OF ABOVE GRADE
INTERNALIZED COMMUNITY STORAGE
74,510 S.F. @ 1/2500 = 30 SPACES

PROVIDED PARKING: 30 SPACES
REQUIRED ADA PARKING: 2 SPACES
PROVIDED ADA PARKING: 2 SPACES
BIKE PARKING REQUIRED (1/10 VEHICLES): 3 SPACES
BIKE PARKING PROVIDED: 3 SPACES

OPEN SPACE:
REQUIRED OPEN SPACE (10%)(FIRST 12' BLDG. HEIGHT):
10 X 97,897 S.F. = 9,789.7 S.F.
OPEN SPACE REQUIRED ABOVE 12' OF BUILDING HEIGHT:
20 X .003 X 97,897 S.F. = 5,874 S.F.
TOTAL OPEN SPACE REQUIRED:
9,789.7 S.F. + 5,874 S.F. = 15,663.7 S.F.
FRONT OPEN SPACE REQUIRED (50%):
15,663.7 S.F. X .50 = 7,832 S.F.

FRONT OPEN SPACE PROVIDED: 14,046 S.F.
OTHER OPEN SPACE PROVIDED: 13,557 S.F.
TOTAL OPEN SPACE PROVIDED: 27,603 S.F.

PARKING LOT AREA: 17,162 S.F.
PARKING LOT LANDSCAPING REQUIRED (15%): 2,575 S.F.
PARKING LOT LANDSCAPING PROVIDED: 2,663 S.F.

33% OF PARKING LOT LANDSCAPE AREA MUST BE >7'-0" WIDE
33% OF LANDSCAPE AREA PROVIDED = 0.33 X 2,663 S.F. = 879 S.F. REQUIRED
2,118 S.F. PROVIDED

STIPULATIONS FOR CASE 9-ZN-2004:

CIRCULATION

- ACCESS RESTRICTIONS. BEFORE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR THE SITE, THE DEVELOPER SHALL CONSTRUCT THE FOLLOWING ACCESS TO THE SITE:
 - PIMA FREEWAY FRONTAGE ROAD - THERE SHALL BE MAXIMUM OF ONE SITE DRIVEWAY (RIGHT IN, RIGHT OUT) LOCATED IN THE SOUTHWESTERN CORNER OF THE PROPERTY. THE DRIVEWAY DESIGN AND LOCATION SHALL BE SUBJECT TO ARIZONA DEPARTMENT OF TRANSPORTATION APPROVAL.
- AUXILIARY LANE CONSTRUCTION. BEFORE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR THE SITE, THE DEVELOPER SHALL DEDICATE THE NECESSARY RIGHT-OF-WAY, AS DETERMINED BY STAFF, AND CONSTRUCT RIGHT-TURN DECELERATION LANE AT THE SITE ENTRANCE ON PIMA FREEWAY FRONTAGE ROAD, IN CONFORMANCE WITH THE DESIGN STANDARDS AND POLICES MANUAL. THE DESIGN REQUIREMENTS SHALL BE SUBJECT TO CONFORMANCE WITH ARIZONA DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE SUBJECT TO THEIR APPROVAL.
- EASEMENT REQUIREMENTS. BEFORE ANY DEVELOPMENT REVIEW BOARD APPROVAL FOR ANY DEVELOPMENT ON THIS SITE, THE DEVELOPER SHALL DEDICATE AN ACCESS EASEMENT ACROSS THE PARCEL IN A FORM ACCEPTABLE TO CITY STAFF. THE ACCESS EASEMENT SHALL BE DEDICATED TO PROVIDE ACCESS FOR THE ADJACENT PARCEL TO THE SOUTH, ULTIMATELY CONNECTING THE SITE DRIVEWAY ON PIMA FREEWAY FRONTAGE ROAD THROUGH THE SUBJECT PARCEL TO THE ACCESS EASEMENT ON THE PARCEL TO THE SOUTH LABELED "PROPOSED EASEMENT (SHERMAN)" ON THE PROPOSED SHARED ACCESS EXHIBIT DATED NOVEMBER 24, 2004 (STAFF REPORT ATTACHMENT 10). THE DEVELOPER SHALL CONSTRUCT A MINIMUM TWENTY-FOUR (24) FOOT WIDE PAVED DRIVEWAY WITH THE EASEMENT AND WITHIN THE AFOREMENTIONED EASEMENT ON THE PARCEL TO THE SOUTH. THE DESIGN AND LOCATION OF THE EASEMENT SHALL BE COORDINATED WITH THE OWNER/DEVELOPERS OF THE AFOREMENTIONED ADJACENT PARCEL, AND SHALL BE SUBJECT TO STAFF REVIEW AND APPROVAL.

EAPC

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Wind Energy Interior Design Construction

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St. Paul MN Fort Collins CO Phoenix AZ

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PROPOSED INTERNALIZED COMMUNITY STORAGE

SCOTTSDALE

ARIZONA

ISSUE DATES

DR	DEVELOPMENT REVIEW #3	11-26-19
DR	DEVELOPMENT REVIEW #2	10-20-19
DR	DEVELOPMENT REVIEW	06-27-19
MARK	DESCRIPTION	DATE

PROJECT NO: 20191481
DRAWN BY: MAB
CHECKED BY: MAB

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DRAWING TITLE

PRELIMINARY SITE PLAN

SP100