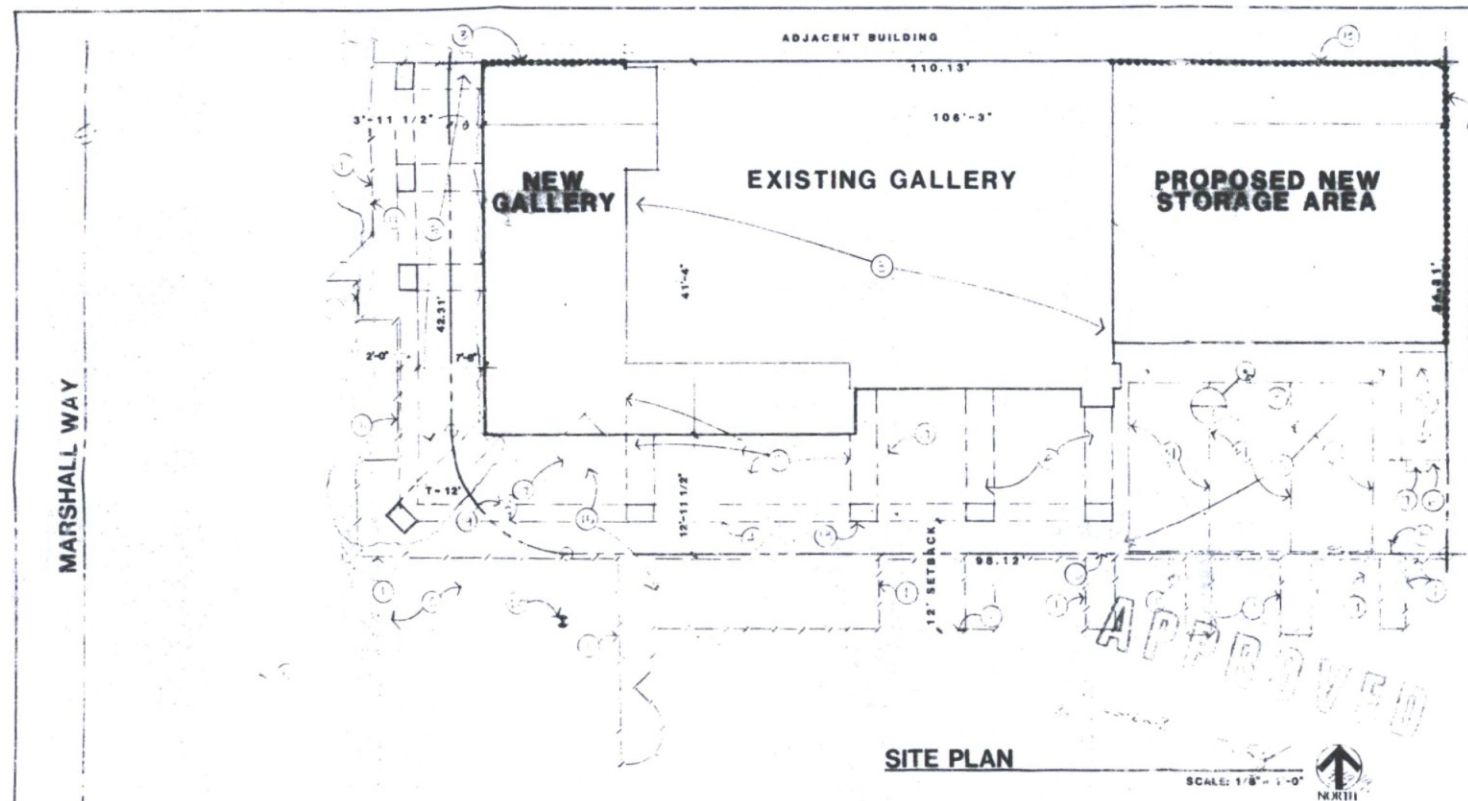


Case Research

REMODEL & ADDITION BENTLEY TOMLINSON GALLERY



NOTE: IN LIEU OF PROVIDING: ONSITE STORMWATER RETENTION,
A CONTRIBUTION OF \$2515.33 WILL BE MADE

TRASH REMOVAL IS ACCOMMODATED BY SHARING THE REFUSE
FACILITY WITH THE ADJACENT BUILDING (4167 N. MARSHALL WAY)

SITE PLAN KEY NOTES

- Line of limits of work.
- Exist. Entry Canopy & piers to be removed.
- Prepare surfaces for new construction.
- Exist. Gallery to remain.
- Line of spanners above.
- Exist. Stor. Bldg. to remain.
- Exist. Gas Meter to be abandoned and capped.
- Existing Elect. service entrance section to remain.
- Exist. Power Pole.
- Exist. Water Meter.
- Back 10' curb.
- City of Scottsdale.
- Hardscape - N. 10'.
- See 10' by 10' wall built in driveway line.
- New 16" high steel pipe.
- See 10' by 10' of 3'.
- New landscape see landscape plan - sht. L-1.
- Exist. fire sprinkler control valve.
- Exist. planter to be removed.
- New pier (YRP).
- Exist. Palm Trees to be removed.
- See 10' by 10' wall built in driveway line.

LEGAL DESCRIPTION

Lot 18 HURLEY TRACT, according to Book 82 of Maps, Page 35, Records of Maricopa County, Arizona, except the East 40 feet thereof

VICINITY MAP



GENERAL NOTES

- We certify to the best of our knowledge, information and belief that the design of the project complies with the applicable provisions of the requirements of Sections 14-401 to 14-411 inclusively of the revised statutes of the State of Arizona.
- Contractor shall verify all dimensions and conditions in field, if dimensional error occurs or condition not covered in drawings is encountered Contractor shall notify the Architect before commencing that portion of the work. Dimensions take precedence over scale.
- All work shall comply with all applicable codes and ordinances.
- Contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage throughout construction.
- The Contractor shall pay all fees for permits, etc. necessary for proper completion of the work.
- Slope all grades away from building for positive drainage.
- All work shall be executed in a neat and workmanlike manner acceptable to Owner.
- When work not specifically called out is required to complete the project, it shall be provided and be of the best materials and workmanship.
- Contractor shall guarantee all workmanship and materials for a period of one year from the date of substantial completion (in writing).
- Sub-soil treatment - sub grade at building and slab adjacent to building to be treated against termites. Provide Owner with written guarantee of the effectiveness against infestation for a five year period.
- The starting of work by any Contractor or subcontractor shall be considered prima facie evidence that he has inspected and accepted all conditions involved in his work and finds them satisfactory.
- Contractor shall verify location of existing utilities in utility easements and protect same.
- All components equipment etc. shall be installed per manufacturers written recommendations.
- Contractor shall verify all roof mounted equipment loads and notify the Architect of any changes in size, weight and location or additional load to these indicated on the drawings.
- Door openings not located by dimension are either centered on the wall or are located as follows: stud construction - 3" from finish wall to finish jamb; masonry construction - as near as possible consistent with joints.
- Interior walls to be 2 x 4 wood frame unless noted otherwise.
- Roof insulation: R-19 # exterior frame walls unless noted otherwise. Roof insulation is R-30 batts.
- Finish on all walls to be texture on gypsum board to match existing. Verify all paint colors with owner.
- Portable fire extinguisher shall be placed in accordance with NFPA #10.
- It is the responsibility of the General Contractor to place orders for long lead times so that no time delays occur.
- Contractor shall coordinate with Owner in the "tying in" of the new security system to the existing system.
- See mechanical, plumbing and electrical sheets for further General Notes concerning those disciplines.
- Finish floor of new additions to match finish floor of existing building.
- Gallery will remain in operation during renovation. Contractor is responsible for maintaining a secured condition, including any temporary partitions, if necessary, that will close off new work from existing to maintain a "secured environment".

PROJECT DATA

PROJECT SCOPE: The addition of 1,075 S.F. (net) of storage area, expansion of 803 S.F. (net) of gallery and office space to an existing 1,446 S.F. (net) Art Gallery. Demolition and construction of new parking area, colonnade and hardscape.

PROJECT ADDRESS: 4167 N. Marshall Way, Scottsdale, AZ

OWNER: 3000 N. Camelback Rd., Suite 100, Phoenix, AZ 85018

DESIGNER: 3000 N. Camelback Rd., Suite 100, Phoenix, AZ 85018

DATE: 1988 DEC. 10

TYPE OF CONSTRUCTION: 1.00

OCCUPANCY: 1.00

EXISTANT LOAD: 1.00

ALLOWABLE FLOORING AREA: 1,075 S.F.

EXISTANT AREA: 1,446 S.F.

NEWLY ADDED: 1,075 S.F.

VARIATIONS PROVIDED: 1.00

EXISTANT PROVIDED: 1.00

TOTAL PARKING PROVIDED: 1.00

PROJECT TEAM

ARCHITECT: Reid & Associates Architects & Planners, Inc. 1000 S. W. Ave., Suite 100, Tempe, AZ 85281. Phone: (602) 968-1250

STRUCTURAL: Douglas A. Smith & Associates, Inc. 1401 N. 14th St., Suite 100, Scottsdale, AZ 85261. Phone: (602) 421-0000

MECHANICAL/ELECTRICAL: Thomas J. W. Engineering Consulting Engineers 211 E. McDowell Ave., Suite 211, Phoenix, AZ 85004. Phone: (602) 944-7771

ELECTRICAL: Thomas J. W. Engineering Consulting Engineers 211 E. McDowell Ave., Suite 211, Phoenix, AZ 85004. Phone: (602) 944-7771

LANDSCAPE ARCHITECT: David Pratt, ASLA 100 E. McDowell Ave., Suite 211, Phoenix, AZ 85004. Phone: (602) 944-7771

SHEET INDEX

ARCHITECTURAL: A-1 Site Plan, Project Data; A-2 Floor Plan, Roof Plan & Finish Schedule; A-3 Building Elevations & Sections; A-4 Detailed Ceiling Plan; A-5 Architectural Details

STRUCTURAL: S-1 General Structural Notes & Typ. Struct. Details; S-2 Foundation Plan & Details; S-3 Roof Framing Plan & Schedules; S-4 Structural Details; S-5 Structural Details

MECHANICAL: M-1 Mechanical & Plumbing Plan & Schedules

ELECTRICAL: E-1 Power & Lighting Plan; E-2 Schedules & Diagrams

LANDSCAPE & HARDSCAPE: L-1 Landscape Landscape Plan; L-2 Specifications & Details

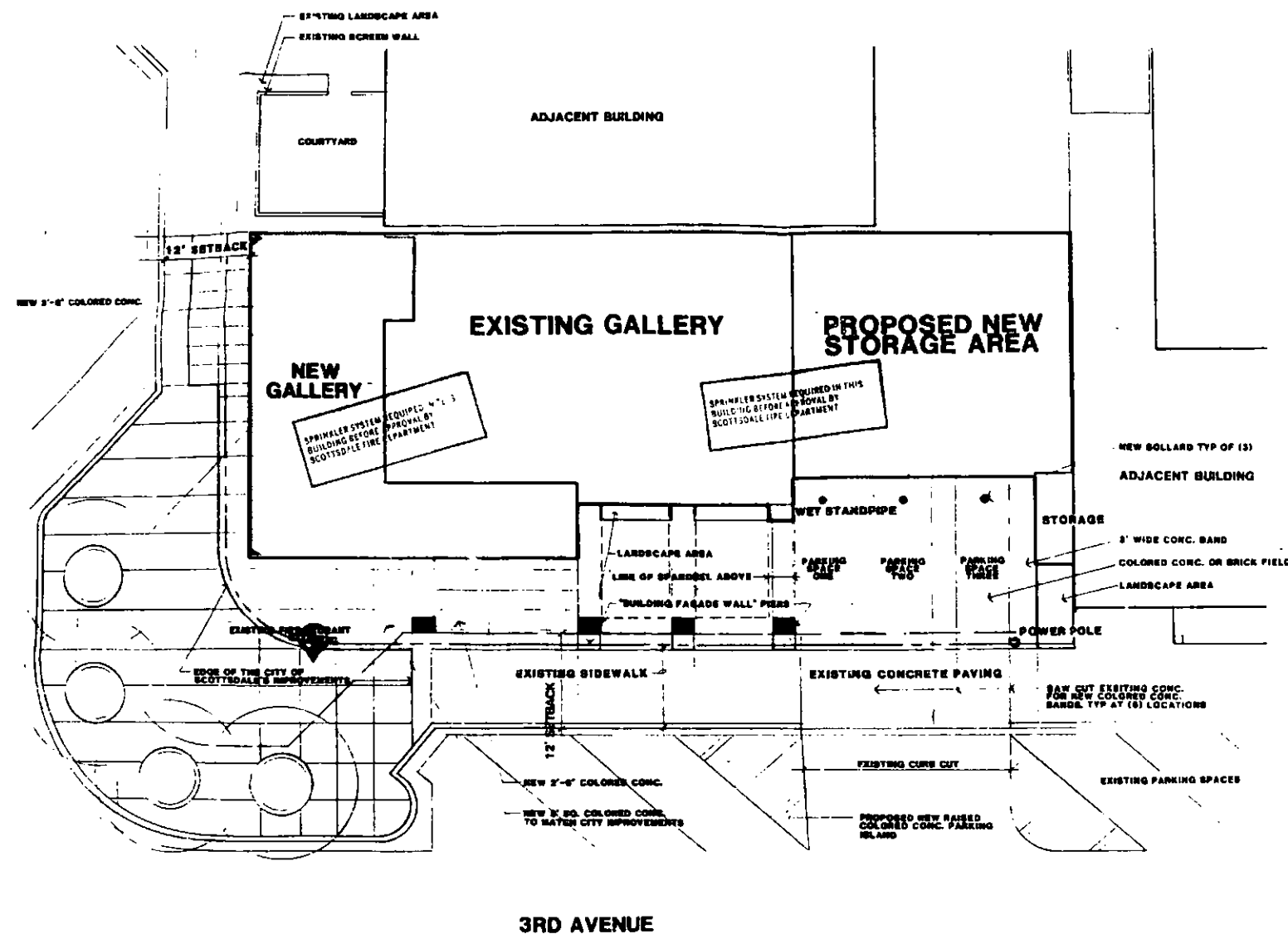
81028
A-1
1/8" = 1'-0"

REID & ASSOCIATES ARCHITECTS & PLANNERS, INC.
2020 South Mill Avenue, Suite 100, Tempe, Arizona 85282 (602) 968-5250

BENTLEY TOMLINSON GALLERY
4167 N. MARSHALL WAY, SCOTTSDALE, AZ

A-1

MARSHALL WAY



PROPOSED SITE PLAN / HARDSCAPE PLAN

PARKING REQUIREMENTS

PROPOSED NEW OFFICE	144 SQ. FT.	+ 222 = .86
EXISTING GALLERY SPACE:	1,692.1 SQ. FT.	+ 400 = 4.23
NEW GALLERY SPACE:	713 SQ. FT.	+ 400 = 1.73
NEW STORAGE SPACE:	1,075.5 SQ. FT.	+ 800 = 1.34

SPACES REQUIRED: 8.00
SPACES PROVIDED: 8.00

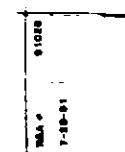
3 ON SITE & OFF SITE
TOTAL NET SQ. FT. = 3,824
TOTAL GROSS SQ. FT. = 3,700

PLANS APPROVED BY FIRE
DEPT. TO BE ON JOB SITE
AT ALL TIMES.

ALL NEW TYPE FIRE EXTINGUISHERS
TO BE MAINTAINED
PER CITY CODES
CITY OF SCOTTSDALE
FIRE DEPARTMENT
VIEW
CHECKED BY
DATE



52-DR91
SITE
8-1-91



REID & ASSOCIATES ARCHITECTS & PLANNERS, INC.
2020 South Mill Avenue Suite 100 Tempe, Arizona 85282 (602) 968-5250

BENTLEY TOMLINSON GALLERY
4161 N. MARSHALL WAY
SCOTTSDALE ARIZONA



City of Scottsdale

PROJECT APPLICATION
PLANNING AND ZONING DEPARTMENT
7447 E. INDIAN SCHOOL ROAD
SCOTTSDALE, AZ 85251

☐ REZONING
☐ USE PERMIT
☐ VARIANCE
☒ DEVELOPMENT REVIEW
☐ S.3NS

☐ PRELIMINARY PLAT
☐ LOT SPLIT
☐ ABANDONMENT
☐ MASTER PLAN
☐ BLDG. ADVISORY BOARD OF APPEALS

CASE # 52 DR 91
Q.S. _____
PROJECT # 228 - 91

PROJECT NAME: Bentley-Tomlinson Gallery
PROJECT LOCATION (ADDRESS): 4161 N. Marshall Way

PROPOSED USE OR REQUEST: Development Review Board approval of architecture and site plan.
CURRENT ZONING: C-2

PARCEL IN ACRES: NET .137 GROSS .325
BUILDING CODE CLASSIFICATIONS: OCCUPANCY GROUP B-2
TYPE OF CONSTRUCTION: Type III
BOOK, MAP, PARCEL: 173-50-50C

CLIENT OWNER: R & R Investments
ADDRESS (STREET, CITY, STATE, ZIP): 4101 Marlton Pike, Pennsauken, NJ
DEVELOPER: 08109

NAME: Same as owner
ADDRESS (STREET, CITY, STATE, ZIP): _____
PHONE NO.: _____

ARCHITECT: Reid & Associates
ADDRESS (STREET, CITY, STATE, ZIP): 2020 South Mill Ave., Ste. 100, Tempe
PHONE NO.: 668-5250

ENGINEER: Arizona 85282
NAME: Not applicable
ADDRESS (STREET, CITY, STATE, ZIP): _____
PHONE NO.: _____

The owner shall designate either himself, his architect, engineer or agent as the coordinator for the project. This person will attend pre-application conferences, receive agenda, recommendations, ordinances and minutes for the public hearings. All contacts will be made for this project through the person named as coordinator below.

NAME: Beus, Gilbert & Morrill
ADDRESS (STREET, CITY, STATE, ZIP): 3200 North Central Ave., Suite 1000 Phoenix, AZ 85012
PHONE NO.: 234-5871

OWNER'S SIGNATURE: [Signature]
PRINT NAME: B. Bentley Terrace
REPRESENTING: R & R Investments

APPLICANT SIGNATURE: [Signature]
PRINT NAME: Beus, Gilbert & Morrill
REPRESENTING: _____

YOUR STAFF COORDINATOR: McLille
THIS APPLICATION NEEDS A ☒ NEW # OR ☐ OLD PROJECT #

(602) 994-2367 PRE-APP DATE: 6-26
C002099-9-90

CITY OF SCOTTSDALE

PROJECT DATA SHEET
RESIDENTIAL/COMMERCIAL
PLANNING AND ZONING DEPARTMENT
PROJECT REVIEW

1
STOP SHOP

D.R. NO. 52-DR 91 DATE August 1, 1991 ZONE D/RS-1

PROPOSED USE Art Gallery
ADDRESS/LEGAL DESCRIPTION 4161 N. Marshall Way

TO BE COMPLETED BY APPLICANT:	CALCULATIONS	TO BE COMPLETED BY CITY:
XXXXXX	NET LOT AREA	.137 AC.
XXXXXX	GROSS LOT AREA	
XXXXXX	GROSS FLOOR AREA ALLOWED	5% NET LOT
XXXXXX	GROSS FLOOR AREA PROVIDED	OK
XXXXXX	BUILDING VOLUME ALLOWED	
XXXXXX	BUILDING VOLUME PROVIDED	
XXXXXX	NUMBER OF UNITS OR LOTS	
XXXXXX	DENSITY ALLOWED	
XXXXXX	DENSITY PROVIDED	
XXXXXX	MINIMUM LOT SIZE ALLOWED	
XXXXXX	MINIMUM LOT SIZE PROVIDED	
26'	BUILDING HEIGHT ALLOWED	OK
24'	BUILDING HEIGHT PROVIDED	OK
3,624 sq	NET FLOOR AREA	NA
8	PARKING SPACES REQUIRED	OK
3	PARKING PROVIDED ON-SITE	
5	PARKING PROVIDED OFF-SITE	
8	TOTAL PARKING PROVIDED	
	OPEN SPACE REQUIRED	
	OPEN SPACE PROVIDED	
	FRONT OPEN SPACE REQUIRED	
	FRONT OPEN SPACE PROVIDED	

REQUIRED	PROVIDED	(INDICATE N.S.E.W.)	REQUIRED	PROVIDED
12 ft	12 ft	FRONT (W)	12	OK
0 ft	0 ft	REAR (E)	0	
0 ft	0 ft	LEFT SIDE (N)	0	
12 ft	12 ft	RIGHT SIDE (S)	12	
8 spaces	8 spaces	PARKING	NA	

INSPECTOR: [Signature] DATE: 8-8-91

7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251 602 994-7080
CD02156 (4-90)

CITY OF SCOTTSDALE

DATE: 9/1/91

RECEIVED FROM: _____ NAME: _____ ADDRESS: _____

TO HAVE METER SET - CALL 391
WHITE - 1.5" YELLOW - 2.5" RED - 3.5"

DESCRIPTION:

1. PRELIMINARY REVIEW APPL.
2. PRELIMINARY APPLICATION
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