



Marked Agendas

Approved Minutes

Approved Reports

**The February 6, 2020
Development Review
Board Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: February 6, 2020
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

North Scottsdale Self Storage 28-DR-2019

Location: 22001 North Scottsdale Road

Request: Request approval of the site plan, landscape plan, and building elevations for an internalized community storage facility, with approximately 98,430 square feet of building area that is comprised of two floors above grade and two floors below grade, on a 1.43-acre site.

OWNER

North Scottsdale Self Storage
480-220-2280

ARCHITECT/DESIGNER

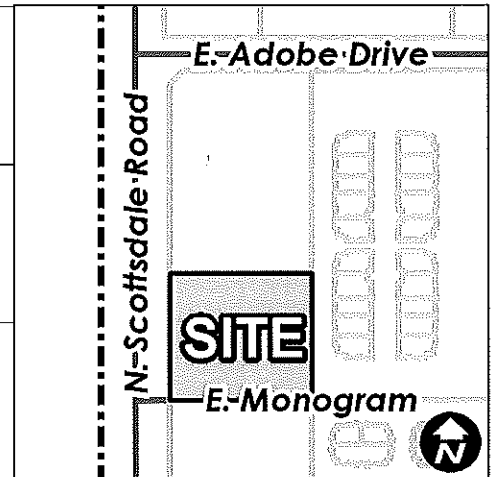
602-441-4505
RKA Architects, Inc.

ENGINEER

Larson Engineering, Inc.
480-212-4200

APPLICANT CONTACT

Larson Engineering
602-441-4505



BACKGROUND

Zoning

The site is zoned Highway Commercial District (C-3), which allows retail, educational, personal care, office, and auto type uses. C-3 zoning is intended to permit most types of commercial activity located along major streets, including shopping and service needs. This district provides high quality development, included on-site and streetscape landscape areas, and standards for an attractive setting for commercial activities and adjacent uses.

Context

The property is located approximately 600 feet north of the northeast corner of N. Scottsdale Road and E. Deer Valley Road within the Scottsdale Ridge commercial center. Located to the north is an existing carwash facility, zoned General Commercial District (C-4), to the east is office/warehouse, zoned General Commercial District (C-4), and to the south is a bank, zoned Commercial Office District (C-O). To the west is the City of Phoenix. Please refer to context graphics attached.

Adjacent Uses and Zoning

- North: General Commercial District, zoned C-4; Chevron/Cobblestone Auto Spa
- South: Commercial Office District, zoned C-O; BMO Harris Bank
- East: General Commercial District, zoned C-4; Scottsdale Ridge Business Center Condos
- West: City of Phoenix; Vacant Property

Key Items for Consideration

- Conformance to 2001 General Plan
- Existing infrastructure is sufficient to support the proposed development
- Scottsdale Road frontage – Scenic Corridor Design Guidelines
- No public comment received by staff

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

This proposal is for an internalized community storage facility, with approximately 98,430 square feet of building area. The proposal includes a building that is comprised of two floors above grade and two floors below grade.

Neighborhood Communication

Property owners within 750 feet of the site have been notified and the site is posted with the required signage. Staff has not received any inquiries or comments in regards to the proposed request.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

The Land Use Element of the General Plan designates this property as Commercial. Properties with this designation supports uses that provide a variety of goods and services, including retail, major single uses, and shopping centers that serve community and regional needs. Community or regional commercial uses are typically located on arterial streets for high visibility and traffic volumes, and tend to function best when they are integrated with other uses in a mixed-use setting.

The 2001 General Plan Land Use element encourages “transition of land uses from more intense regional and citywide activity areas to less intense activity areas within local neighborhoods”, as well as “location of employment uses where impacts on residential neighborhoods is limited and access to available at citywide and regional levels.” The proposed development relates contextually with the projects that make up the Scottsdale Ridge development, and brings diversity of uses to the area while minimizing strain on existing infrastructure.

Access to the site is provided by a shared private driveway, shared with the property located to the north, and off East Monogram Drive. Both shared access drives have an Emergency and Service Vehicle Access Easement dedicated over the entire driveway widths. No direct access to Scottsdale Road is provided or proposed as part of this project.

An existing 60-foot-wide Scenic Corridor on the site includes a six-foot-wide multi-use path and the applicant is proposing a minimum six-foot-wide internal sidewalk that will connect the site to the path in the Scenic Corridor. A pedestrian connection is also provided from the proposed structure, south to the existing sidewalk; and north, to the provided scenic corridor path. The proposed site plan adheres to the Scottsdale Road – Scenic Corridor Guidelines.

The proposed structure provides moderate passive architectural features on the south and north elevations, to avoid solar exposure and resulting heat gain. The features include perforated metal “skin” and shade awnings over the window locations. There are more appropriately proportioned features on the west facade of the building. The west elevation provides windows that have been recessed approximately four inches from the main façade plain. The north elevation provides a covered walkway and parking areas long the first floor of the building. Similar vertical projections are provided on the eastern side of the building. The east elevation up to a twenty-four-foot roof (second floor) overhang. The elevations include materials (i.e. ledgestone, split-face CMU block, and stucco) that are found in surrounding buildings. The elevations introduce a more modern design to the area, while integrating surrounding materials, finishes and colors.

Roof mounted mechanical equipment and elevator doghouse will be fully screened from public view. In addition, the ground mounted mechanical equipment, and refuse containers, will be screened by walls and landscaping materials. All raceways and down-spouts have been integrated into the building and are not visible. The SES panel has also been recessed into the building niche.

Development Information

- Existing Use: Vacant
- Proposed Use: Internal Storage Facility
- Buildings/Description: Two-story building (additional two stories below grade) with surface parking
- Parcel Size: 62,290 square feet (1.43 acres)
- Floor Area Ratio Allowed: 0.80 (50,136 square feet)
- Floor Area Ratio Proposed: 0.71 (44,762 square feet)
- Building Height Allowed: 36 feet
- Building Height Proposed: 32 feet
- Parking Required: 18 spaces
- Parking Provided: 25 spaces
- Open Space Required: 11,280 square feet
- Open Space Provided: 18,169 square feet
- Frontage Open Space: 5,640 square feet
- Frontage Open Space: 13,382 square feet

OTHER BOARDS OR COMMISSIONS

Development Review Board:

The proposed elevations were submitted to the Development Review Board as a Non-Action item at the December 19, 2019 hearing. The Board was solicited for preliminary comments on the proposed elevations. Staff provided comments to the Applicant requesting the proposed elevations to incorporate more materials that were found in existing projects within the surrounding area. Examples of existing buildings were provided to the Applicant in the comment letter.

Staff presented the proposed elevations and the examples of existing buildings that were provided to the Applicant in the comment letter to the Development Review Board. The Applicant also presented updated elevations and their point of view. The Development Review Board stated that the appreciated the applicant's design of the proposed facility and requested that more "surrounding" material examples be integrated into the design.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve the North Scottsdale Storage project per the attached stipulations, finding that the provisions of the General Plan policies and goals and the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Jesus Murillo

Senior Planner

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APPROVED BY



Jesus Murillo, Report Author

1-27-2020
Date



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1/27/2020
Date



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Planning and Development Services
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1/28/20
Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Site Plan
 - 5. Open Space Plan
 - 6. Building Elevations (Black and White)
 - 7. Building Elevations (Color)
 - 8. Building Perspectives (Color)
 - 9. Streetscape Elevations
 - 10. Floor Plans
 - 11. Material and Color Board
 - 12. Landscape Plans
 - 13. Circulation Plan
 - 14. Scenic Corridor Plan
 - 15. Roof Plan
 - 16. Roof Over Topography Plan
 - 17. City Notification Map

**Stipulations for the
Development Review Board Application:
North Scottsdale Self Storage
Case Number: 28-DR-2019**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by EAPC, with a city staff date of January 20, 2020.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by EAPC, with a city staff date of January 20, 2020.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by EAPC, with a city staff date of January 20, 2020.
 - d. The case drainage report submitted by Larson and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report submitted by LARSON and accepted in concept by the Water Resources Department.
 - f. Open Space requirements submitted by EAPC with a city staff date of January 20, 2020.

RELEVANT CASES:

ARCHAEOLOGICAL RESOURCES:

Ordinance

- A. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

DRB Stipulations

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.

LANDSCAPE DESIGN:

Ordinance

- B. The property owner shall obtain approval of a Salvage/Native Plant Plan Application, and obtain a permit to remove any tree.

DRB Stipulations

5. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.

EXTRIOR LIGHTING:

Ordinance

- C. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting.
- D. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward and have an integral lighting shield.
- E. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- F. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.
- G. The initial vertical luminance at 6-foot above grade, along the north, south, east, west, property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

DRB Stipulations

6. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
7. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. The total lumen per luminaire shall not exceed 24,000 lumens.

WATER AND WASTEWATER:

DRB Stipulations

8. Backwater valve shall be added to project development sewer service per the 2015 International Plumbing Code.
9. Water services for non-residential uses shall have a reduced pressure principle backflow preventor for each meter per DSPM Sec. 6-1.417 and COS Standard Detail 2354.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

10. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
11. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.

MULTI-USE TRAILS AND PATHS:

DRB Stipulations

12. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct a minimum eight (8)-foot wide multi-use TRAIL along N. Scottsdale Road frontage. The alignment of the multi-use TRAIL shall be subject to approval by the city's Transportation General Manager or designee and shall be designed in conformance with the Design Standards and Policies Manual. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents. Trail tread shall be four (4)-inches of ¼ inch decomposed granite, Madison Gold or equivalent in color to be wetted and compacted.

EASEMENTS DEDICATIONS:

DRB Stipulations

13. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
 - a. A Emergency and Service Vehicle Access (ESVA) easement over the north driveway connecting to the driveway on the adjacent parcel to the north to the alley drive with a minimum width of twenty-four (24)-feet.
 - b. A Public Motorized Access (PMA) easement over the north driveway connecting to the driveway on the adjacent parcel to the north to the alley drive with a minimum width of twenty-four (24)-feet.
 - c. An updated Public Non-Motorized Access (PNMA) easement over the existing 60-foot Scenic Corridor and Multi-use trail Easement.
 - d. A continuous Vista Corridor Easement to cover any watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100-year – 2-hour rain event. The minimum width of the easement(s) shall be one hundred feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse.



Pinnacle Peak Substation

E. Pinnacle Peak Road

E. Silverstone Drive

N. Miller Road

Vi at Silverstone

E. Williams Drive

Life Storage

USPS

Sunstate Equipment

E. Adobe Drive

Chevron

Commercial

PJ's Performance

Arizona Silverado

Site

Ash Auto Group

BMO Harris Bank

City of Phoenix

Commercial Offices

N. Scottsdale Road

E. Deer Valley Road

E. Overlook Drive

Grayhawk Village 1

E. Fledgling Drive

Q.S.
43-45

Google Earth Pro Imagery



North Scottsdale Self Storage

28-DR-2019



Q.S.
43-45

Google Earth Pro Imagery

BMO Harris Bank



North Scottsdale Self Storage

ATTACHMENT #1A

28-DR-2019



City of
Phoenix

N. Scottsdale Road

Site

C-4(C)

C-3

E. Monogram

C-O

C-2



Q.S.
43-45

2017 GIS Orthophoto

North Scottsdale Self Storage

ATTACHMENT #2

28-DR-2019

August 16, 2019
Pre-App: 965-PA-2018
DR: 28-DR-2019

Internalized Community Storage

Location:

22001 N. Scottsdale Road
NEC Scottsdale Road and Monogram Drive
Scottsdale, Arizona

I. Summary of Request & Background

On the behalf of the property owner and developer, EAPC Architects Engineers, has prepared this Development Review to submit for approval of a two-story with two basement, approximately 97,591 gross square foot, internalized community self-storage facility. The site is located at 22001 N. Scottsdale road near NEC Scottsdale Road and Monogram Drive in Scottsdale. It is approximately 1.43 net acres and is currently zoned C-3 (Highway Commercial); APN: 212-02-967B and 212-02-968.

II. Design & Development Plan Summary

The current site is vacant land. The project consists of a new self-storage facility and associated site improvements. The building will consist of one two-story with two basement levels of climate-controlled building at 97,591 gross square feet. It is the intent to create an attractive, high quality designed facility incorporating a variety of architectural styles. The colors chosen for the project site will be consistent and aesthetically compatible with the neighboring developments. The mechanical equipment will be located on the roof and fully screened from street frontage and pedestrian activity. Screening will be integral to our design of the building.

Site Access & Circulation

Access to the site is from an existing driveway to north off Scottsdale Road. There is a secondary access to the southeast from an existing drive aisle connecting to Monogram. All parking is located on the north and east side of the property. The circulation around the parking area has a

	Phoenix AZ	St. Paul, Bemidji MN	Minot, Bismarck, Fargo, Grand Forks, Williston ND	
	Sioux Falls SD	Fort Collins CO	Norwich VT	Buenos Aires ARG



27'-0" drive aisle on north side and 24'-0" existing drive aisle on the east side. Parking stalls are nine (9) feet by sixteen and a half (16.5) feet with a one and a half (1.5) foot overhang and nine (9) feet by eighteen (18) feet. There are also two additional drive-in garage style loading and unloading stalls in the east side of the building. The parking lot and drive aisles will be paved concrete surface with proper fire truck turning clearance. There is a sidewalk planned to connect both Scottsdale Road and Monogram Drive to the building entrance. The 2nd level of building will project 25' on north side which will also cover parking. The basement below ground will project 25' on North and 15' on the East side.

Landscape/Outdoor Space

It is our intent to provide a naturally pleasing environmentally sensitive design using Sonoran Desert indigenous plant material. The placement of this indigenous plant material will be spaced to match the density of the surrounding natural desert. Plants will be in random grouping as commonly seen in the natural environment. Plant material will be selected to provide seasonal color along with striking dramatic shapes the natural desert provides. Desert accents will also be provided to complement the natural desert environment. The landscape base will consist of flowering shrubs and ground cover on top of natural desert pavement consisting of ¼" minus Madison Gold decomposed granite. Existing desert trees and cactus will be preserved in place where possible and salvaged / replanted on site in accordance with the City of Scottsdale native plant ordinance. The irrigation system will be designed to be a low flow high efficiency drip irrigation system entirely underground. This system will not be visible throughout the landscape areas.

III. Development Review Board Criteria (Sec. 1.904)

A. In considering any application for development, the Development Review Board shall be guided by the following criteria:

- 1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.***



Response: North Scottsdale Internalized Community Storage will comply with the applicable guidelines, development standards, Design Standards & Policies Manual, General Plan and Zoning Ordinance. The Property has a Commercial General Plan Land Use designation and proposal is compliant with this land use designation as well as the C-3 zoning ordinance provisions. The Property is also described as being part of the Suburban/Suburban Desert Character on the Character Type Map in the General Plan. The General Plan specifically identifies the site location as a future Character Area number 9.

The General Plan highlights the City's desire to maintain and expand the diversity of interconnected land uses and pedestrian synergy. The proposed site design maintains a 60' Scenic Corridor and Trail Easement setback along Scottsdale Road, provides low-level screen walls for the parking area, supplements the quantity and quality of landscaping, and enhances the pedestrian realm by improving and sidewalk connections. The proposed development accomplishes a range of goals and policies including the development of an underutilized property, integrating new, contemporary architecture and site planning to the area, and improving the pedestrian experience along Scottsdale Road which provides access to a range of uses in the surrounding area.

2. The architectural character, landscaping and site design of the proposed development shall:

- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;**

Response: The proposed architectural character is respectful of the existing built environment with heights and massing consistent with the surrounding C-3 and C-4 developments. The building design takes on a contemporary aesthetic and is intended to resemble an office building vs. a traditional storage facility.

The open space areas and landscape character of the proposed development include a wide variety of plants that will provide year-round color, shade, and texture for the site. The proposed plant palette incorporates hardy plants known to thrive in the intense heat and sun of the desert climate.

- b. Avoid excessive variety and monotonous repetition;**

Response: As mentioned above, one of the primary design goals was to create visually interesting architecture vs. a static building form typically found with storage buildings. The variety of building materials, architectural accents, metal panels and window placement create movement in the building façade avoiding monotonous repetition.



- c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;*

Response: Please see the Scottsdale Sensitive Design Principle section below.

- d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and*

Response: Not applicable.

- e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.*

Response: Not applicable.

- 3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.**

Response: The Property is accessed via existing curb cut on Scottsdale Road and an existing curb cut on Monogram Drive. The existing access points will remain in place with the redevelopment of this site. Pedestrian access will be enhanced along the street frontage with a scenic corridor landscape buffer and new streetscape vegetation. These pedestrian linkages will provide connectivity to adjacent property uses. The circulation around the parking area has 24'-27' drives. Parking stalls are 9'x 16.5' with a 1.5' overhang and 9'x18' with two enclosed loading bays.

- 4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.**

Response: Rooftop mechanical equipment will be fully screened by parapet walls in conformance with the zoning ordinance requirements. Screening is integral to the design of the building.

- 5. Within the Downtown Area, the building and site design shall:** Not applicable, the project is not located within the Downtown Area.



6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:

- a. Accessibility to the public;*
- b. Location near pedestrian circulation routes consistent with the existing or future development or natural features;*
- c. Location near the primary pedestrian or vehicular entrance of a development;*
- d. Location in conformance with the Design Standards and Policies Manual for locations affection existing utilities, public utility easements, and vehicular sight distance requirements; and*
- e. Location in conformance and to standards for public safety.*

Response: Not applicable.

B. The burden is on the applicant to address all applicable criteria in this section.

Response: Acknowledged above.

IV. Scottsdale Sensitive Design Principles

The Character and Design Element of the General Plan states that "Development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life." The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the Property.

- 1. *The design character of any area should be enhanced and strengthened by new development.***

Response: The architectural character, range of building materials, enhanced pedestrian connectivity, and the quality and amount of new landscaping provide a design that is in harmony with the southwestern character of Scottsdale while drawing from the surrounding context with respect to appropriate scale, massing and setbacks.



2. ***Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.***

Response: The setting of this site is suburban in character and does have natural features such as washes and natural open space along Scottsdale Road, the developer is proposing to enhance the open space on site, predominately along the street frontage and southern property line, providing an improved pedestrian experience along both Scottsdale Road and Monogram Drive and creating a visually pleasing setting for the new building.

3. ***Development should be sensitive to existing topography and landscaping.***

Response: The property is a new development site on an underutilized vacant parcel. All landscaping will consist of low-water use desert appropriate landscaping materials. See Landscape Plan.

4. ***Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.***

Response: The proposed development will preserve and restore natural habitats and ecological processes through the inclusion of additional desert appropriate landscaping. Additional landscaping will contribute to the suburban habitat for wildlife and improved air quality. Also, desert appropriate plants will be able to withstand the variations of the local climate and as they mature they will become self-sustaining relative to water demand. See Landscape Plan.

5. ***The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.***

Response: The site falls within the Natural Streetscape per the Streetscape Map in the General Plan. The proposed landscape setting is consistent with the Natural Streetscape plant palette. The pedestrian experience along the perimeter and internal to the site will be enhanced with the development as numerous retail and office uses are within walking distances from this site.

6. ***Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.***



Response: The site is located along Scottsdale Road, a major arterial and north of Deer Valley Road, a minor arterial. The Scottsdale Road corridor is flanked with commercial development, which provide both a local and regional draw to the south of our site. This Property is nestled between commercial uses on the north, east and south, and open Arizona State Land on the west. Bicycle racks will be provided onsite in conformance to City Code.

7. ***Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.***

Response: The proposed development will incorporate design elements that respect human-scale, providing shade and relief through building, site and landscape design. Pedestrian linkages internal to the site and along the street frontage will provide connectivity to adjacent retail and office establishments and residential neighborhoods around the Property.

8. ***Buildings should be designed with a logical hierarchy of masses.***

Response: The proposed architectural character is respectful of the surrounding built environment with heights and massing consistent with the surrounding C-3, C-4 and C-O developments. The building design takes on a contemporary aesthetic and is intended to resemble an office building vs. a traditional storage facility.

9. ***The design of the built environment should respond to the desert environment.***

Response: The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwestern climate.

10. ***Developments should strive to incorporate sustainable and healthy building practices and products.***

Response: Sustainable strategies and building techniques, which minimize environmental impact and reduce energy consumption, will be emphasized.

11. ***Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.***



Response: Context appropriate, arid-region plant materials will be utilized with the proposed development. The desert character will be upheld through the careful selection of plant materials in terms of scale, density, and arrangement. See Landscape plan.

- 12. *Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.***

Response: The proposed development will maintain a low-water use plant palette. Context appropriate desert plant materials will be utilized with the development of the Property, consistent with the established vegetative pattern in the area.

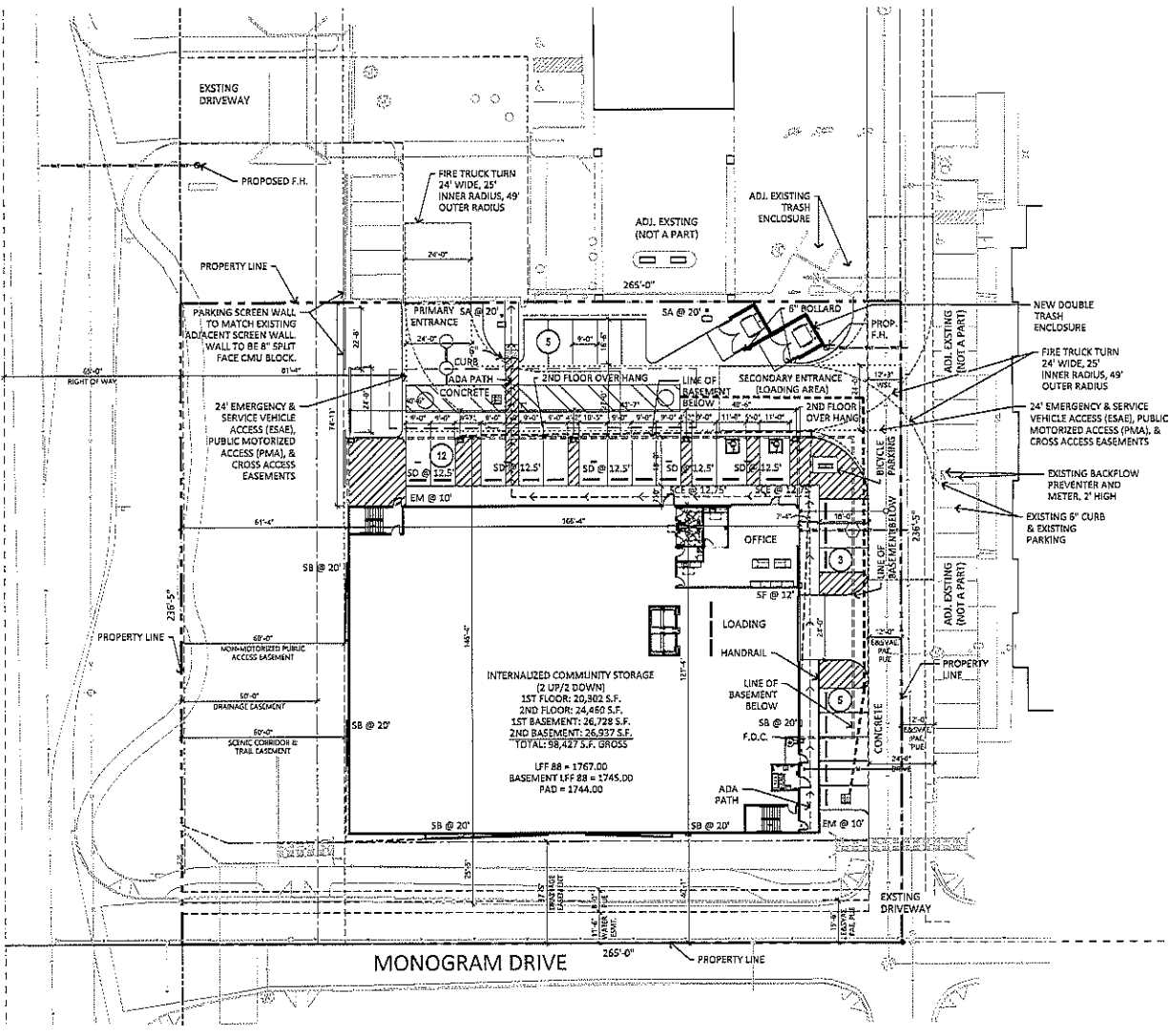
- 13. *The extent and quality of lighting should be integrally designed as part of the built environment.***

Response: Lighting has been designed in a manner that is respectful of the surrounding context while maintaining safety for future residents. See Photometric Plan.

- 14. *Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.***

Response: Signage will be respectful of the surrounding context in terms of size, color and location and will be consistent with the City's sign code.

SCOTTSDALE ROAD



SITE PLAN
SCALE: 1" = 20'-0"

PROJECT DIRECTORY

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LANDSCAPE ARCHITECT
T.J. MCQUEEN & ASSOCIATES INC.
1900 N. 19TH ST., SUITE 100
SCOTTSDALE, ARIZONA 85258
POINT OF CONTACT: TIM MCQUEEN
PHONE: (602) 267-0320
EMAIL: tim@mcqueen20.com

SITE PLAN DATA

EXISTING ZONING:	C-1 HIGHWAY COMMERCIAL
APN:	212-02-0670 AND 212-02-0678
NET SITE AREA:	1.431 ACRES (302,070 S.F.)
GROSS SITE AREA:	1.75 ACRES (390,712 S.F.)
PROPOSED BUILDING USE:	INTERNALIZED COMMUNITY STORAGE
OCCUPANCY FPK:	S-1 STORAGE AND B OFFICE
BUILDING HEIGHT ALLOWED:	36'-0" FEET MAX
BUILDING HEIGHT PROVIDED:	37'-0" T.O.P.
	25'-4" ROOF LINE
BUILDING AREA:	98,427 S.F. (2 LP/2 DOWN)
TOTAL AREA:	50,738 S.F. (BPP)
ALLOWED FAR (GUB MAX):	44,762 S.F. (71.4%)
PROVIDED FAR (ABOVE GROUND):	53,845 S.F.
BUILDING AREA (BELOW GROUND):	37%
PARKING CALCULATION:	18 SPACES
REQUIRED (BY CODE):	
1/2000 S.F. OF ABOVE GRADE	
INTERNALIZED COMMUNITY STORAGE	
44,762 S.F. @ 1/2500 = 18 SPACES	
PROVIDED PARKING:	25 SPACES
REQUIRED ADA PARKING:	2 SPACES
PROVIDED ADA PARKING:	3 SPACES
BIC PARKING REQUIRED (15/10 VEHICLES):	3 SPACES
BIC PARKING PROVIDED:	3 SPACES
PARKING LOT AREA:	14,424 S.F.
PARKING LOT LANDSCAPING REQUIRED (25%):	2,564 S.F.
PARKING LOT LANDSCAPING PROVIDED:	1,629 S.F.
33% OF PARKING LOT LANDSCAPE AREA MUST BE +7'-0" WIDE	
33% OF LANDSCAPE AREA PROVIDED = 8.33 X 2,184 S.F. = 721 S.F. REQUIRED	
1,629 S.F. PROVIDED	

- SITE NOTES**
- TRASH ENCLOSURES @ 1/200,000 S.F. = 3 ENCLOSURES
 - TRASH ENCLOSURES ARE ONLY USED BY EMPLOYEES AND LOCATED FROM CUSTOMER USE. 71,052 S.F. OF 98,427 S.F. IS AVAILABLE SPACE
 - 98,427 S.F. - 71,052 S.F. = 27,375 S.F. = 2 ENCLOSURES
 - DEDICATE A 24-FOOT-WIDE CROSS ACCESS EASEMENT, 24-FOOT-WIDE EMERGENCY AND SERVICE VEHICLE ACCESS EASEMENT AND A PUBLIC ACCESS EASEMENT OVER THE LARGE-WEST DRIVE ON THE NORTH SIDE OF THE SITE.
 - DEDICATE A 60-FOOT NON-MOTORIZED PUBLIC ACCESS EASEMENT ALONG SCOTTSDALE ROAD OVER THE EXISTING 60-FOOT SCENIC CORRIDOR EASEMENT.
 - FIRE LANE SURFACES SHALL BE DESIGNATED FOR ALL WEATHER USE AND WILL SUPPORT 20,000 LB O/W, IN ACCORDANCE WITH THE SCENIC ZONING & POLICIES MANUAL, SECTION 2-1.802.3.
 - ALL BACK FLOW PREVENTERS ARE TO BE PER COS 2354
 - GATES ON DOUBLE REFUSE ENCLOSURE WILL BE LOCKED FROM PUBLIC USE



1784 Capital Holdings
1784 Capital Holdings LLC
8777 North Gannett Center Dr., Suite 101
Scottsdale, Arizona 85258
Phone: (602) 400-2222
Email: kmoynic@1784holdings.com

CLIENT
1784 Capital Holdings

PROJECT DESCRIPTION
PROPOSED INTERNALIZED COMMUNITY STORAGE

SCOTTSDALE
ARIZONA

ISSUE DATES

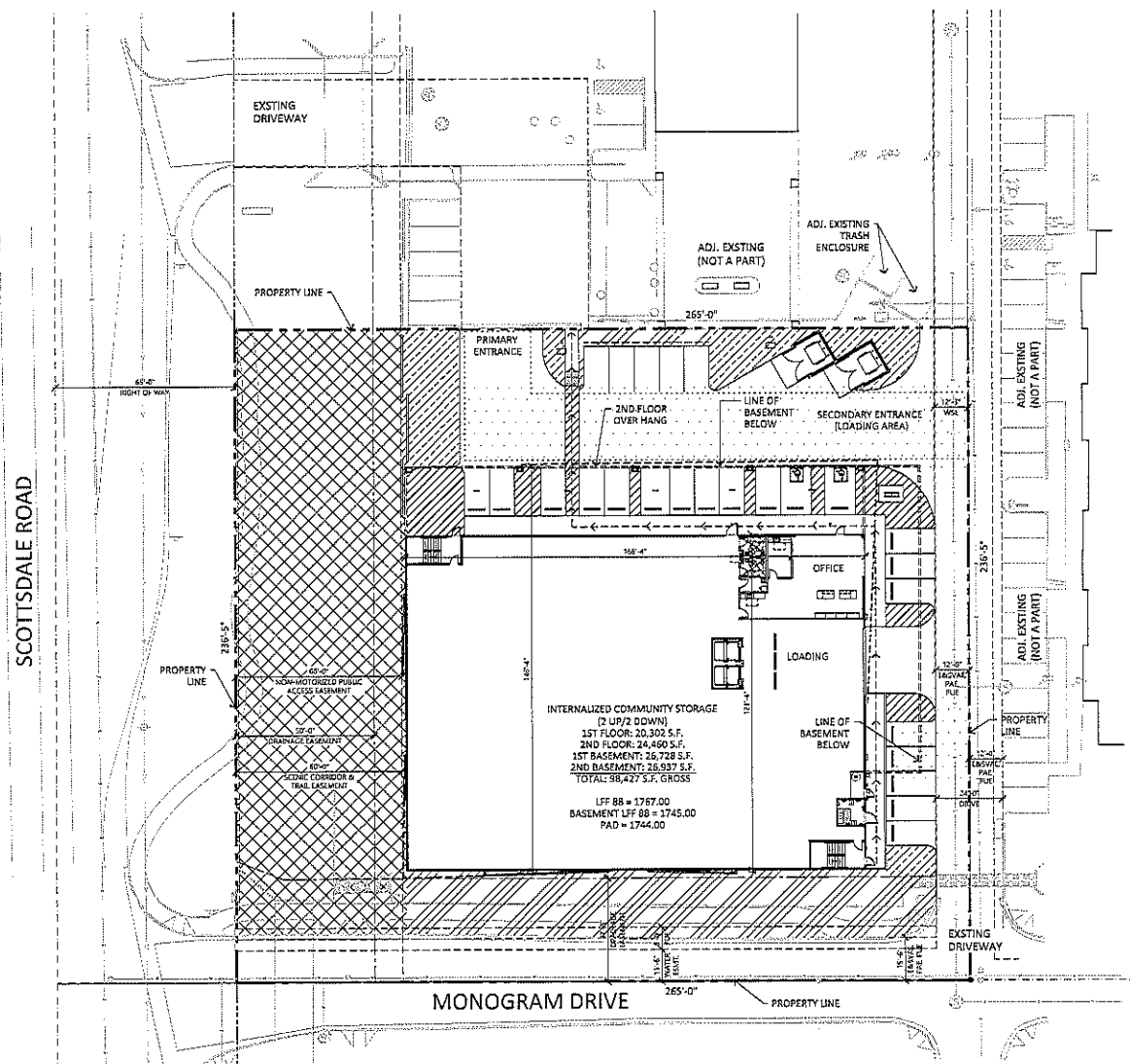
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20	DESIGN DEVELOPMENT #2	08-13-19
20	DESIGN DEVELOPMENT #1	05-20-19
MARK	DESCRIPTION	DATE

PROJECT NO: 20192780
DRAWN BY: MAB
CHECKED BY: MAB

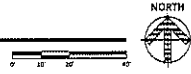
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DRAWING TITLE
PRELIMINARY SITE PLAN

SP100



OPEN SPACE PLAN
SCALE: 1" = 20'-0"



PROJECT DIRECTORY

DEVELOPER:
1784 CAPITAL HOLDINGS LLC
8771 NORTH GAINLY CENTER DR., SUITE 101
SCOTTSDALE, ARIZONA 85268
POINT OF CONTACT: KELLY MCKINNE
PHONE: (602) 441-4500
EMAIL: kmc@capitalholdings.com

SITE PLANNER:
EAPC ARCHITECTS ENGINEERS
901 E. MADISON ST.
PHOENIX, ARIZONA 85004
POINT OF CONTACT: MICHELLE BACH
PHONE: (602) 441-4500
EMAIL: mbach@eapc.com

DESIGN ARCHITECTS:
DNE ARCHITECTS + PLANNING, INC.
2333 N. CENTRAL AVE.
PHOENIX, ARIZONA 85004
POINT OF CONTACT: SEAN WAIRFIELD
PHONE: (602) 264-9731
EMAIL: sean@dnearchitects.com

SITE PLAN DATA:

EXISTING ZONING:	C-3 (HIGHWAY COMMERCIAL)
APN:	210-00-0018 AND 210-00-0019
NET SITE AREA:	1.438 ACRES (62,970 S.F.)
CROSS SITE AREA:	
PROPOSED BUILDING USE:	INTERNALIZED COMMUNITY STORAGE
OCCUPANCY TYPE:	C-1 (STORAGE) AND B (OFFICE)
BUILDING HEIGHT ALLOWED:	30'-0" FEET MAX
BUILDING HEIGHT PROVIDED:	25'-0" TO 25'-4" ROOF LINE
BUILDING AREA:	
TOTAL AREA:	90,427 S.F. (2.1072 DOWN)
ALLOWED FAR (0.8 MAX):	53,176 S.F. (80%)
PROVIDED FAR (ABOVE GROUND):	44,742 S.F. (71.4%)
BUILDING AREA (BELOW GROUND):	3,160 S.F.
SITE COVERAGE:	33%
PARKING CALCULATION:	
REQUIRED PARKING:	18 SPACES
10,000 S.F. OF ABOVE GRADE:	
INTERNALIZED COMMUNITY STORAGE:	
44,742 S.F. @ 10,000 = 18 SPACES	
PROVIDED PARKING:	25 SPACES
REQUIRED ADA PARKING:	2 SPACES
PROVIDED ADA PARKING:	2 SPACES
BIKE PARKING REQUIRED (1/10 VEHICLES):	3 SPACES
BIKE PARKING PROVIDED:	3 SPACES
OPEN SPACE:	
REQUIRED OPEN SPACE (MINIMUM 12' WIDE HEIGHT)	
10' X 6,410 S.F. = 6,410 S.F.	
OPEN SPACE REQUIRED ABOVE LOT OF BUILDING HEIGHT:	
10' X 2,084 X 2,078 S.F. = 4,216 S.F.	
TOTAL OPEN SPACE REQUIRED:	6,297 S.F. = 5,013 S.F. = 11,288 S.F.
FRONT OPEN SPACE PROVIDED:	11,288 S.F. @ 30' X 2,084 S.F.
FRONT OPEN SPACE PROVIDED:	13,385 S.F.
OTHER OPEN SPACE PROVIDED:	4,787 S.F.
TOTAL OPEN SPACE PROVIDED:	18,172 S.F.
PARKING LOT AREA:	14,434 S.F.
PARKING LOT LANDSCAPING REQUIRED (10%):	1,443 S.F.
PARKING LOT LANDSCAPING PROVIDED:	1,765 S.F.
32% OF PARKING LOT LANDSCAPING AREA MUST BE 17'-0" WIDE	
32% OF LANDSCAPING AREA PROVIDED = 0.33 X 2,165 S.F. = 711 S.F. REQUIRED	
1,639 S.F. PROVIDED	

OPEN SPACE LEGEND:

- FRONT OPEN SPACE
- OTHER OPEN SPACE
- PARKING LOT LANDSCAPING
- PARKING



PROJECT DIRECTORY

Architecture **Contractors** **Interior**

1784 Capital Holdings

Tel: 602.441.4500 Fax: 601 E. Madison St., Phoenix, AZ 85004

Drawn By: MAB Date: 08/15/18
Checked By: MAB Date: 08/15/18
Scale: 1" = 20'-0"

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CLIENT

1784 Capital Holdings

PROJECT DESCRIPTION

PROPOSED INTERNALIZED COMMUNITY STORAGE

SCOTTSDALE

ARIZONA

ISSUE DATES

ID	DESIGN DEVELOPMENT #1	10/04/18
02	DESIGN DEVELOPMENT #2	08/15/18
03	DESIGN DEVELOPMENT #1	05/18/18
MARK	DESCRIPTION	DATE

PROJECT NO: 20192780

DRAWN BY: MAB

CHECKED BY: MAB

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DRAWING TITLE

PRELIMINARY OPEN SPACE PLAN

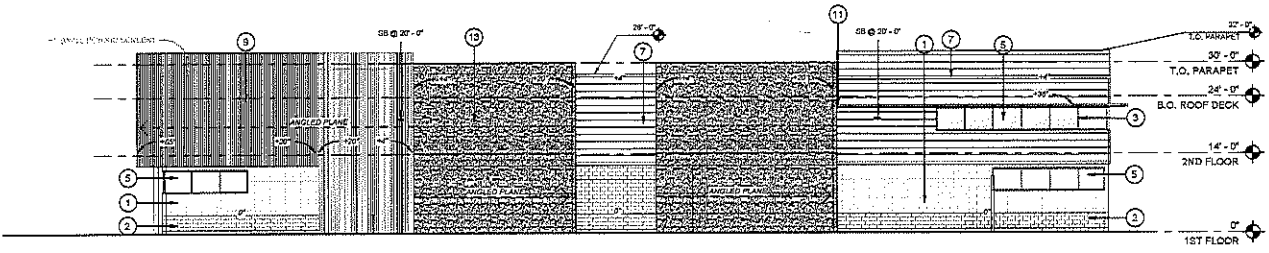
OSP100

ELEVATION GENERAL NOTES

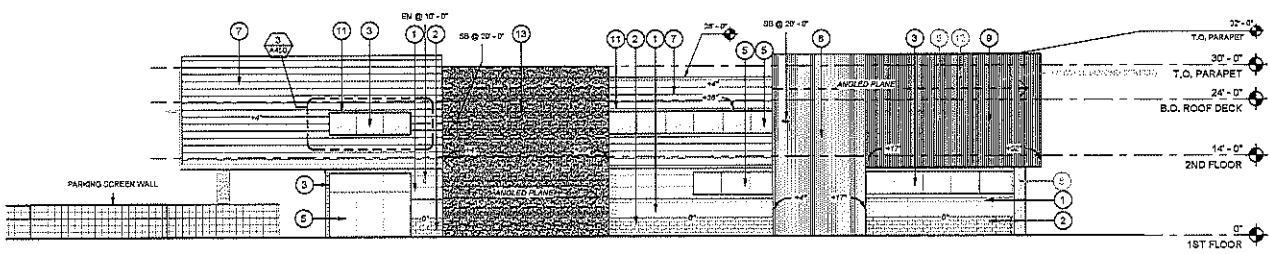
1. NUMBER NOTATIONS (+8" +10" +16" ETC.) INDICATE DISTANCES BETWEEN PLANAR SURFACES RELATIVE TO THE EXTERIOR FACE OF GROUND LEVEL EXTERIOR WALL ASSEMBLY INDICATED ON ELEVATIONS AS 0".

MATERIALS

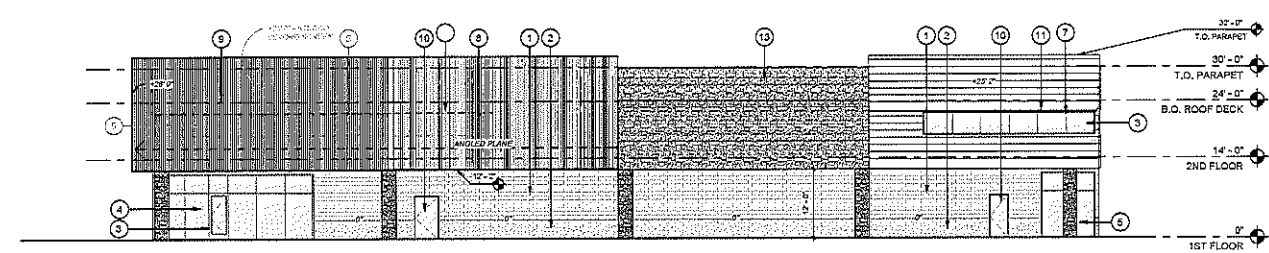
- SMOOTH FACE BLOCK (SUPERLITE, INTEGRAL COLOR- PURPLE HART)
- SPLIT FACE BLOCK (SUPERLITE, INTEGRAL COLOR- BLACK MOUNTAIN)
- STOREFRONT (KAWNEER-CHARCOAL)
- INSULATED GLAZING UNIT-VISION
- INSULATED GLAZING UNIT- SPANDREL, BLACK
- ROLL UP DOOR (JANUS-AG GALVALUME)
- METAL WALL PANEL W/ CONCEALED FASTENERS (AEP SPAN- SILVERSMITH)
- METAL WALL PANEL W/ CONCEALED FASTENERS (AEP SPAN- METALLIC COPPER)
- PERFORATED METAL WALL, PANEL W/ CONCEALED FASTENERS (AEP SPAN- METALLIC COPPER)
- METAL DOORS, PAINTED (DUNN EDWARDS- DE6384 IRON FIXTURE)
- METAL SHADE AWNINGS, PAINTED (DUNN EDWARDS- DE6384 IRON FIXTURE)
- FINE FINISH STUCCO, PAINTED (DUNN EDWARDS- DE6124 DE6076 WANDERING ROAD)
- LEDGE STONE (ELDORADO STONE, EUROPEAN LEDGE, IRONMILL)



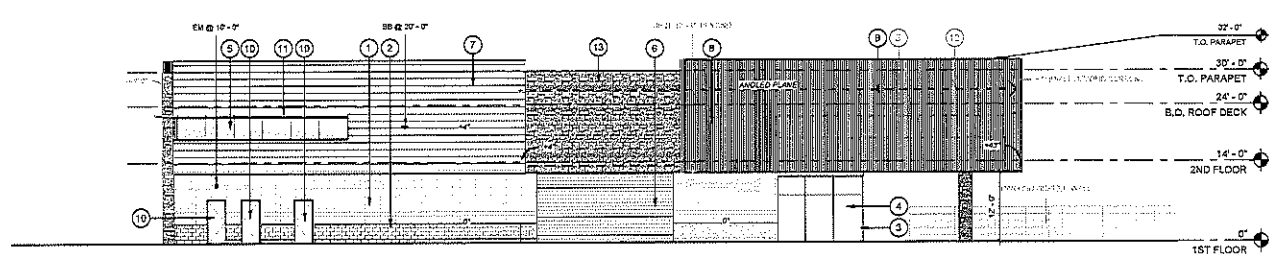
ELEVATION - SOUTH
1" = 10'-0"



ELEVATION - WEST
1" = 10'-0"



ELEVATION - NORTH
1" = 10'-0"



ELEVATION - EAST
1" = 10'-0"

CITY: SCOTTSDALE
STATE: ARIZONA

ISSUE DATES

DATE	DESCRIPTION	DATE

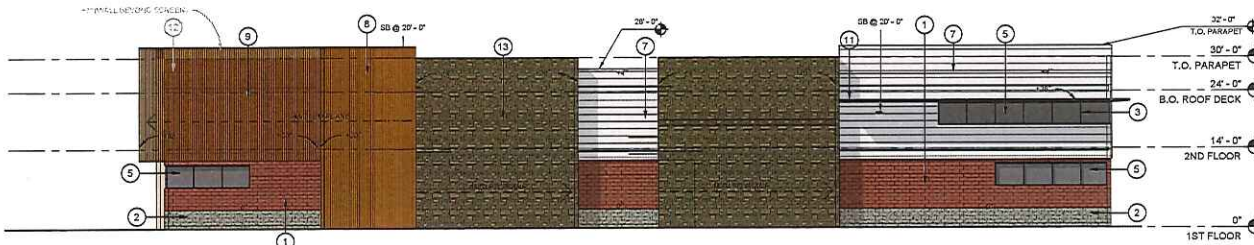
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MARK	DESCRIPTION	DATE

PROJECT NO: 20192780
DRAWN BY: MAB/SD
CHECKED BY: SWS

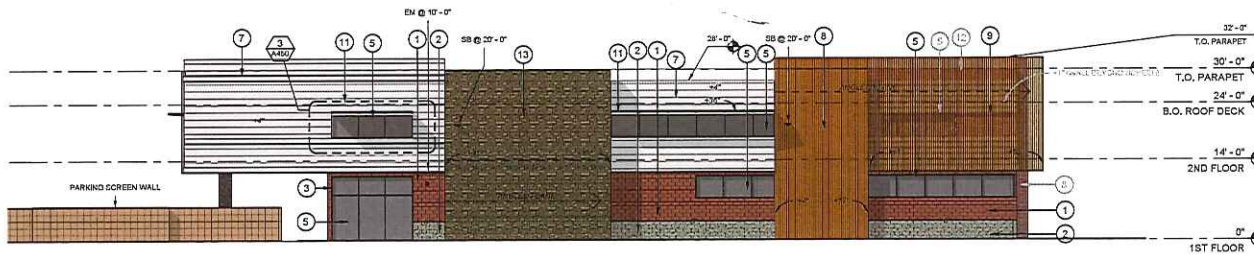
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DRAWING TITLE
EXTERIOR ELEVATIONS

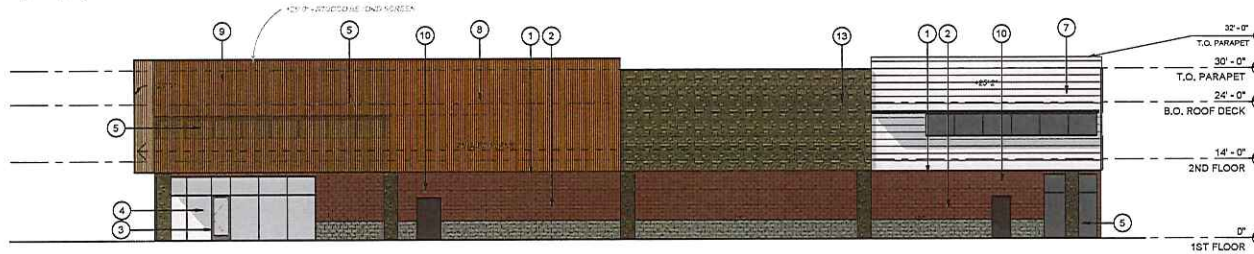
A401



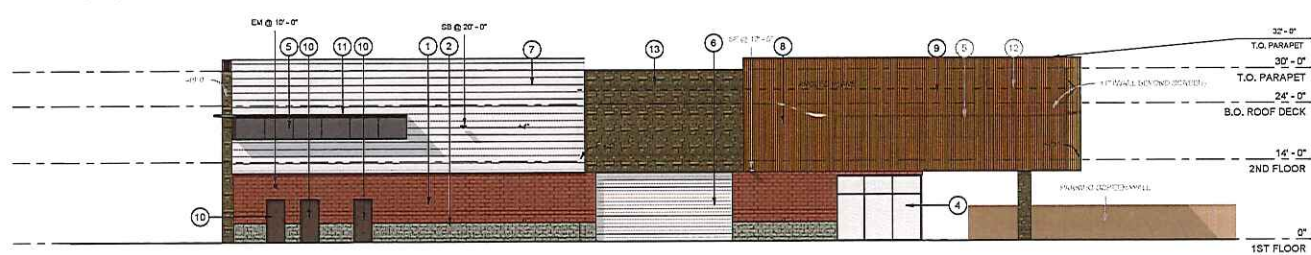
1" = 10'-0"



1" = 10'-0"



1" = 10'-0"



1" = 10'-0"

ELEVATION GENERAL NOTES

1. NUMBER NOTATIONS (+8", +10", +16" ETC.) INDICATE DISTANCES BETWEEN PLANAR SURFACES RELATIVE TO THE EXTERIOR FACE OF GROUND LEVEL EXTERIOR WALL ASSEMBLY INDICATED ON ELEVATIONS AS 0".

MATERIALS

- SMOOTH FACE BLOCK (SUPERLITE, INTEGRAL COLOR- PURPLE HART)
- SPLIT FACE BLOCK (SUPERLITE, INTEGRAL COLOR- BLACK MOUNTAIN)
- STOREFRONT (KAWNEER-CHARCOAL)
- INSULATED GLAZING UNIT-VISION
- INSULATED GLAZING UNIT- SPANDREL, BLACK
- ROLL UP DOOR (JANUS-AG GALVALUME)
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- METAL WALL PANEL W/ CONCEALED FASTENERS (AEP SPAN- METALLIC COPPER)
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- LEDGE STONE (ELDORADO STONE, EUROPEAN LEDGE, IRONMILL)



Architecture	Engineering	Planning
Interior Design	Construction	

TEL: 601.441.4505 FAX
801 E. Madison St., Phoenix, AZ 85034

David Fisher MS
Vickiann MS
K. Paul MS

Paul MS
Gerald MS
Robert MS
Paul MS

Shannon MS
Amanda MS
Heath MS
Phyllis MS

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CLIENT

1784 CAPITAL HOLDINGS

PROJECT DESCRIPTION

NORTH SCOTTSDALE STORAGE FACILITY

CITY SCOTTSDALE

STATE ARIZONA

ISSUE DATES

DIR	DESIGN REVIEW	01/14/2020
MARK	DESCRIPTION	DATE

PROJECT NO: 20192780

DRAWN BY: MAB/SD

CHECKED BY: SWS

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DRAWING TITLE
COLOR ELEVATIONS

A402

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801 E Madison St. Phoenix, AZ 85024

David P. Hays, PE Principal 16, Pinal St. Phoenix, AZ	Gregory M. Hays, PE Principal 16, Pinal St. Phoenix, AZ	Thomas J. Hays, PE Principal 16, Pinal St. Phoenix, AZ
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CLIENT
1784 CAPITAL HOLDINGS

PROJECT DESCRIPTION
NORTH SCOTTSDALE STORAGE FACILITY

CITY SCOTTSDALE
STATE ARIZONA

ISSUE DATES

DR	DESIGN REVIEW	01/14/2020
MARK	DESCRIPTION	DATE

PROJECT NO: 20192780
DRAWN BY: MAB/SD
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DRAWING TITLE
PERSPECTIVE VIEW

A901



PERSPECTIVE VIEW LOOKING NORTHEAST



PERSPECTIVE VIEW LOOKING SOUTHWEST



Architecture | Engineering | Interior
 MEP/Energy | Interior Design | Construction

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 801 E. Madison St., Phoenix, AZ 85034

David Cook, P.E. Vice President 44, P.O. Box 540	Frigo, P.E. Senior P.E. Phoenix, AZ	Thomas P.E. Senior P.E. Phoenix, AZ
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1784 CAPITAL HOLDINGS

PROJECT DESCRIPTION

NORTH SCOTTSDALE STORAGE FACILITY

CITY SCOTTSDALE

STATE ARIZONA

ISSUE DATES

DR	DESIGN REVIEW	01/14/2023
MARK	DESCRIPTION	DATE

PROJECT NO: 20192780
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DRAWING TITLE
 PERSPECTIVE VIEW

A902

PHOTO COURTESY OF EAPC



STREETSCAPE ELEVATION- MONOGRAM DRIVE

1" = 10'-0"



STREETSCAPE ELEVATION - SCOTTSDALE ROAD

1" = 10'-0"



STREETSCAPE ELEVATION - NORTH PARKING LOT

1" = 10'-0"



STREETSCAPE ELEVATION - EAST PARKING LOT

1" = 10'-0"



Architecture | Engineering | Interiors
 3D Modeling | Interior Design | Construction

TELE: 601.441.4505 FAX
 901 E. Madison St, Phoenix, AZ 85034

David Gales MD
 William MD
 Nancy MD
 St. Paul MD

Faraj MD
 Vinod MD
 Kumaresh MD
 First Class Co

Samuel MD
 Howard MD
 Elmer MD
 Phoenix AZ

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CLIENT

1784 CAPITAL HOLDINGS

PROJECT DESCRIPTION

NORTH SCOTTSDALE STORAGE FACILITY

CITY

SCOTTSDALE

STATE

ARIZONA

ISSUE DATES

REV	DESCRIPTION	DATE
01	DESIGN REVIEW	01/11/2020
02	MARK DESCRIPTION	DATE

PROJECT NO: 20192780

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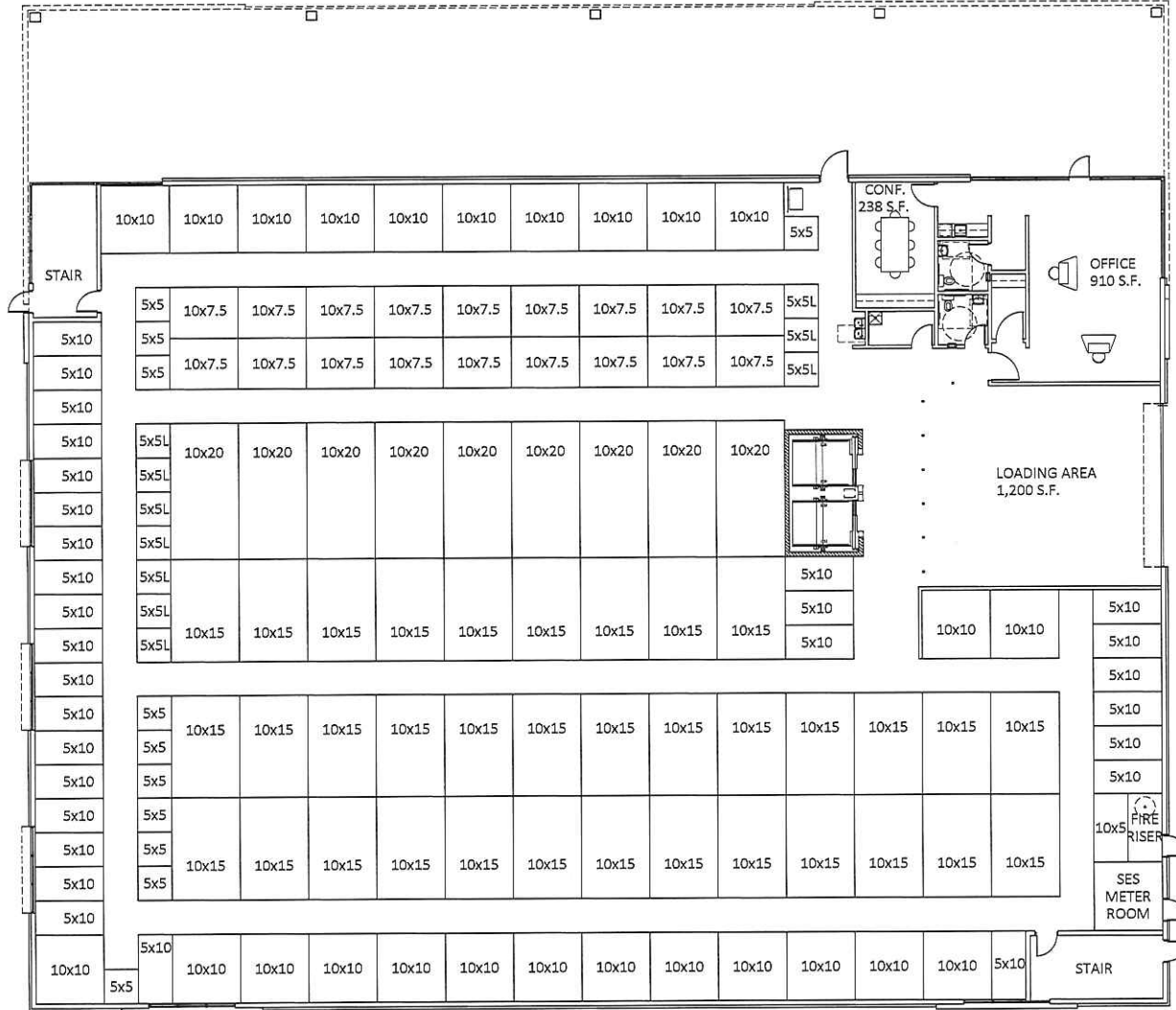
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DRAWING TITLE

STREETSCAPE ELEVATIONS

A403



FIRST FLOOR
SCALE: 1/8" = 1'-0"



SCOTTSDALE STORAGE
22001 N SCOTTSDALE ROAD
SCOTTSDALE ARIZONA 85255
DATE:02-14-2019 (PRELIMINARY)

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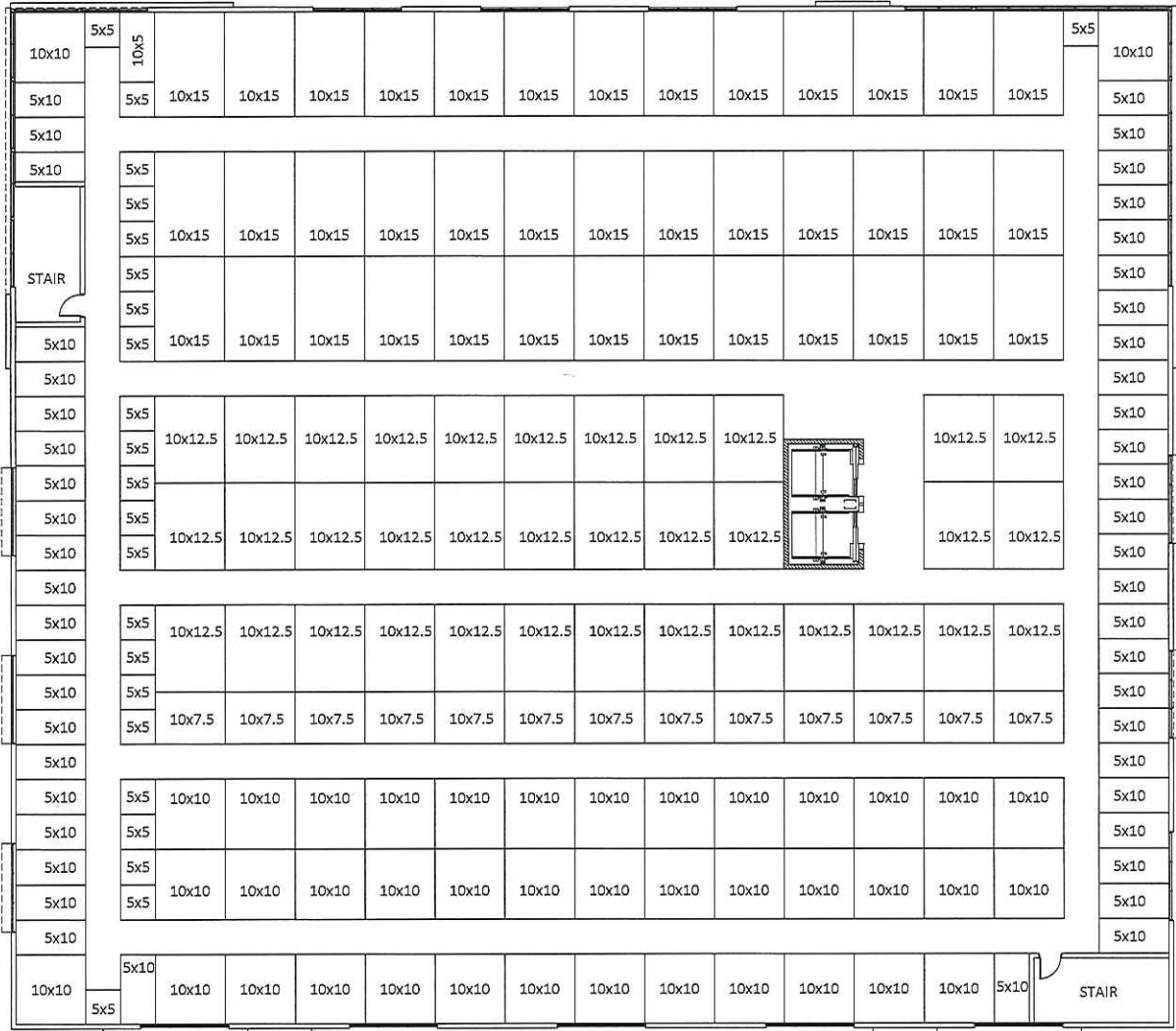
FP-1

RKAA# 18270.00

FIRST FLOOR UNIT MIX			
G.S.F. = 20,182 S.F.			
L.S.F. = 22,775 S.F.			
63%			
CLIMATE CONTROLLED UNIT MIX SUMMARY			
UNIT SIZE	TOTAL	S.F. PER	AREA
5x5L	10	25	250
5x5	11	25	275
5x10	30	50	1500
10x5	1	50	50
10x7.5	18	75	1350
10x10	25	100	2500
10x15	35	150	5250
10x20	8	200	1600
TOTAL	136		12775

OVERALL UNIT MIX			
G.S.F. = 97,592 S.F.			
L.S.F. = 70,875 S.F.			
72.6%			
CLIMATE CONTROLLED UNIT MIX SUMMARY			
UNIT SIZE	TOTAL	S.F. PER	AREA
5x5L	10	25	250
5x5	172	25	3050
5x10	177	50	8850
10x5	3	50	150
10x7.5	113	75	8475
10x10	209	100	20900
10x12.5	61	125	7625
10x15	116	150	17400
10x20	22	200	4400
TOTAL	833		71100





SECOND FLOOR UNIT MIX			
G.S.F. = 24,340 S.F.			
L.S.F. = 18,375 S.F.			
70%			
CLIMATE CONTROLLED UNIT MIX SUMMARY			
UNIT SIZE	TOTAL	S.F. PER	AREA
5x5	23	25	575
5x10	47	50	2350
10x5	2	50	100
10x7.5	13	75	975
10x10	41	100	4100
10x12.5	35	125	4375
10x15	39	150	5850
TOTAL	200		18325

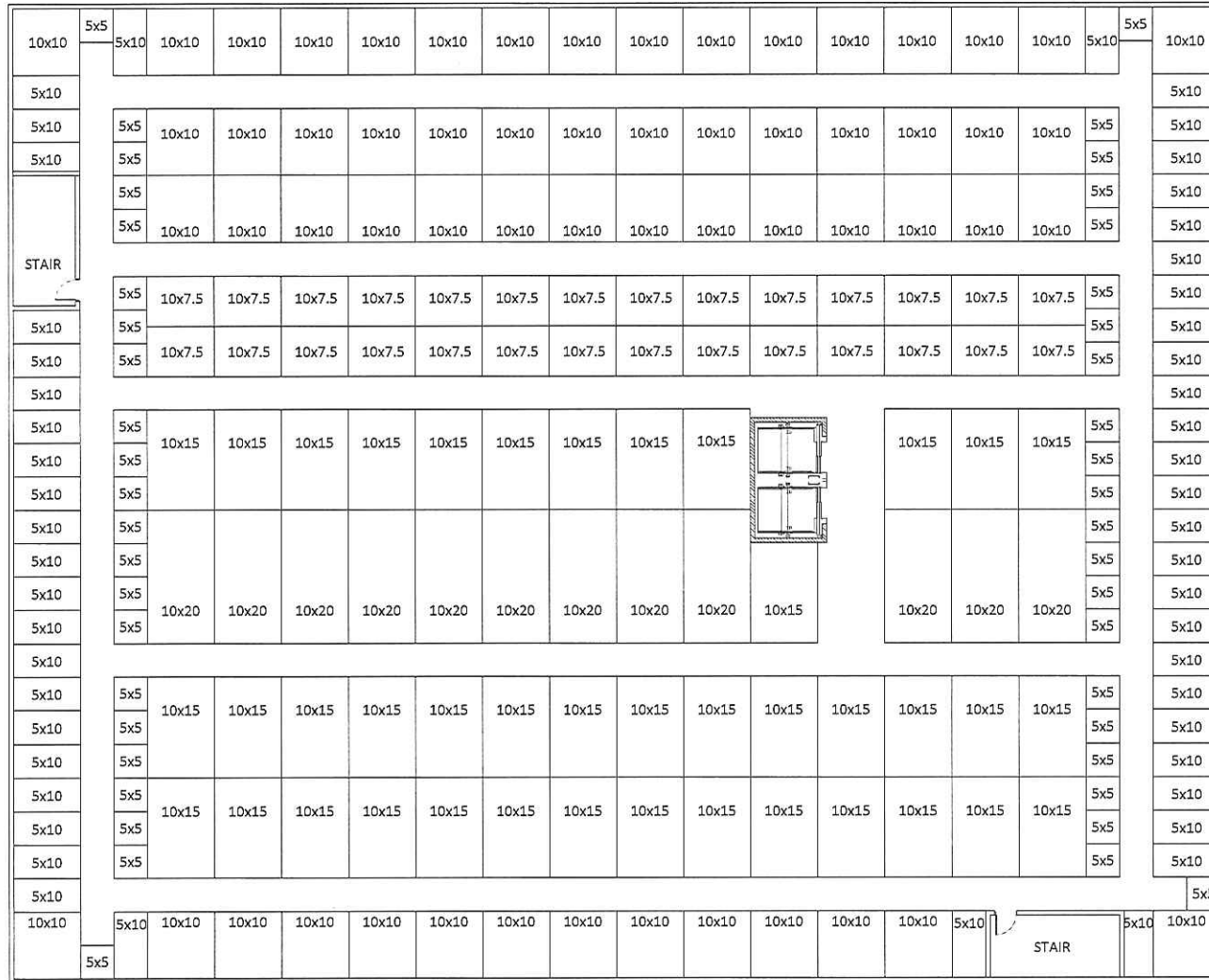
SECOND FLOOR
SCALE: 1/8" = 1'-0"



SCOTTSDALE STORAGE
22001 N SCOTTSDALE ROAD
SCOTTSDALE ARIZONA 85255
DATE: 02-14-2019 (PRELIMINARY)

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FP-2
R.K.A.A.# 18270.00





BASEMENT #1 UNIT MIX			
G.S.F. = 26,535 S.F.			
L.S.F. = 20,050 S.F.			
76%			
CLIMATE CONTROLLED UNIT MIX SUMMARY			
UNIT SIZE	TOTAL	S.F. PER	AREA
5x5	44	25	1100
5x10	50	50	2500
10x7.5	28	75	2100
10x10	58	100	5800
10x15	41	150	6150
10x20	12	200	2400
TOTAL	233		20050

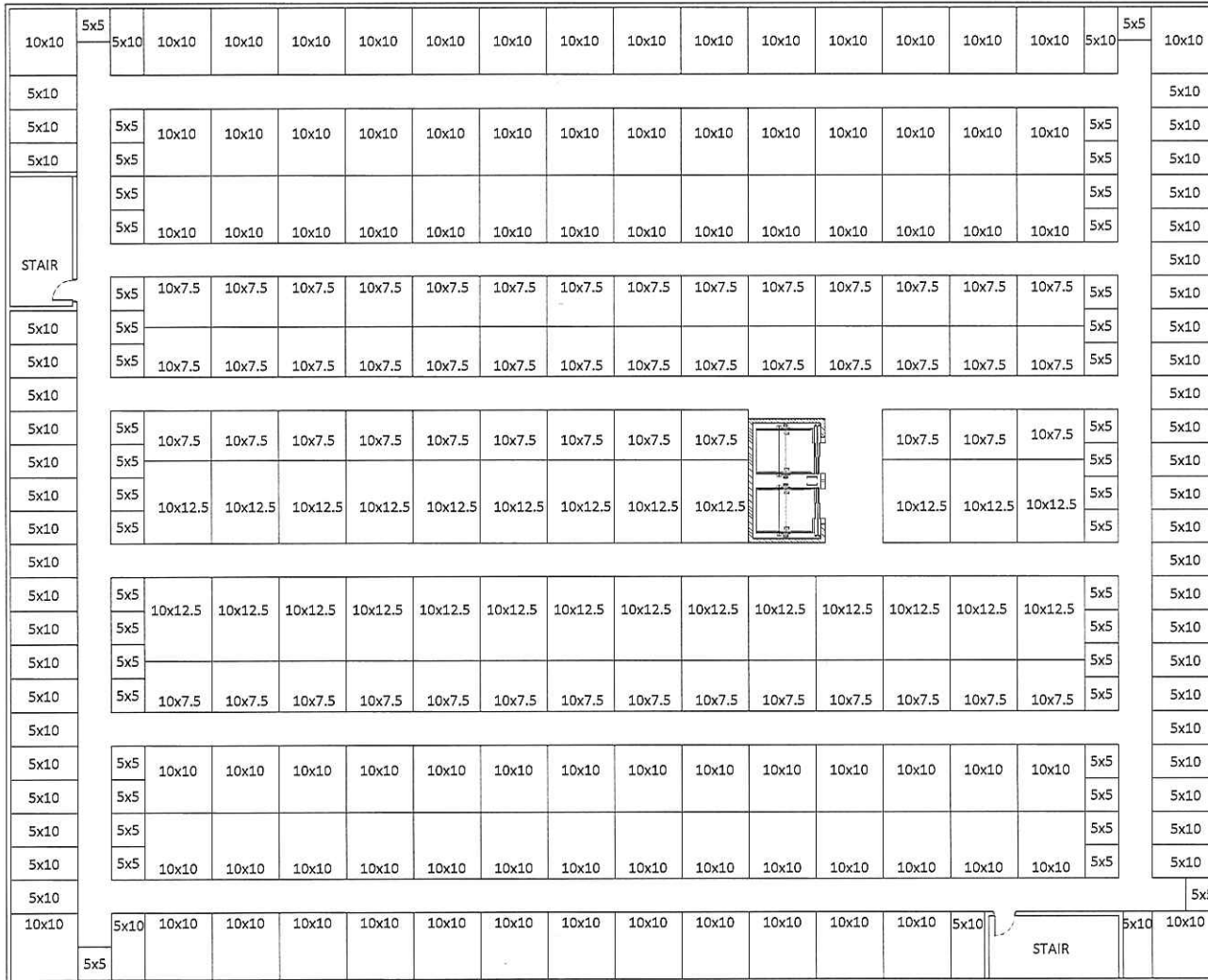
BASEMENT 1
SCALE: 1/8"=1'-0"



SCOTTSDALE STORAGE
22001 N SCOTTSDALE ROAD
SCOTTSDALE ARIZONA 85255
DATE: 08-09-2019 (PRELIMINARY)

BSMT 1
R.K.A.A. ARCHITECTS, INC.
1800 N. CENTRAL AVENUE
SUITE 100
PHOENIX, AZ 85004
TEL: 602.955.1111
WWW.RKAA.COM
R.K.A.A. ARCHITECTS, INC.
REGISTERED ARCHITECTS
IN THE STATE OF ARIZONA
RCAA# 18270.00





BASEMENT #2 UNIT MIX			
G.S.F. = 26,535 S.F.			
L.S.F. = 19,450 S.F.			
73%			
CLIMATE CONTROLLED UNIT MIX SUMMARY			
UNIT SIZE	TOTAL	S.F. PER	AREA
5x5	42	25	1050
5x10	50	50	2500
10x7.5	54	75	4050
10x10	86	100	8600
10x12.5	26	125	3250
TOTAL	258		19450

BASEMENT 2
SCALE: 1/8" = 1'-0"



SCOTTSDALE STORAGE
22001 N SCOTTSDALE ROAD
SCOTTSDALE ARIZONA 85255
DATE: 08-09-2019 (PRELIMINARY)

BSMT 2
R. J. B. R. A. A.
ARCHITECTS, INC.
REGISTERED ARCHITECTS
SINCE 1968
1500 N. GILBERT ROAD
SUITE 100
SCOTTSDALE, AZ 85255
PH: 480.948.8888
WWW.RJBARA.COM

RKAA# 18270.00





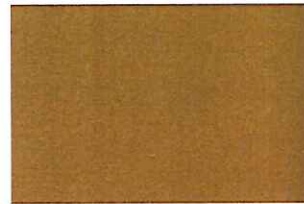
SMOOTH FACE INTEGRAL COLOR CMU BLOCK
HORIZ. RAKED JOINT, VERT. FLUSH JOINT
SUPERLITE
PURPLE HART



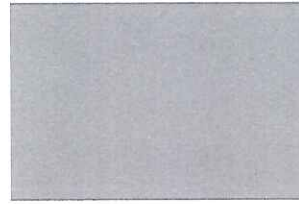
LEDGE STONE
ELDORADO STONE
EUROPEAN LEDGE
IRON MILL



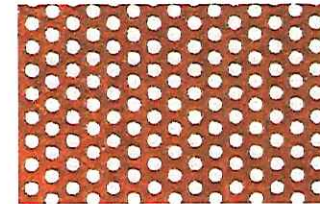
SPLIT FACE INTEGRAL COLOR CMU BLOCK
SUPERLITE
BLACK MOUNTAIN



METAL WALL PANEL W/
CONCEALED FASTENERS
AEP SPAN
METALLIC COPPER



METAL WALL PANEL W/
CONCEALED FASTENERS
AEP SPAN
SILVERSMITH



PERFORATED METAL WALL PANEL
W/ CONCEALED FASTENERS
AEP SPAN
METALLIC COPPER



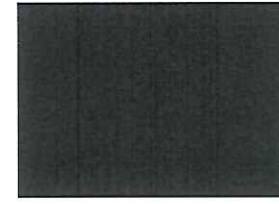
FINE FINISH STUCCO, PAINTED
DUNN EDWARDS
DE6076 WANDERING ROAD



METAL SHADE AWNINGS,
METAL DOOR, PAINTED
DUNN EDWARDS
DE6384 IRON FIXTURE



ROLL UP DOOR
JANUS
AG GALVALUME



STOREFRONT GLAZING SYSTEM
W/ BLACK SPANDREL GLASS
KAWNEER
CHARCOAL

MATERIALS BOARD

NORTH SCOTTSDALE STORAGE FACILITY

1784 CAPITAL HOLDINGS

**22001 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85255**



Estimate	Engineering	Insulation
Energy	Interior Design	Construction

301.441.4505
E Madison St, Phoenix, AZ 85034

SHEET NUMBER:

A451

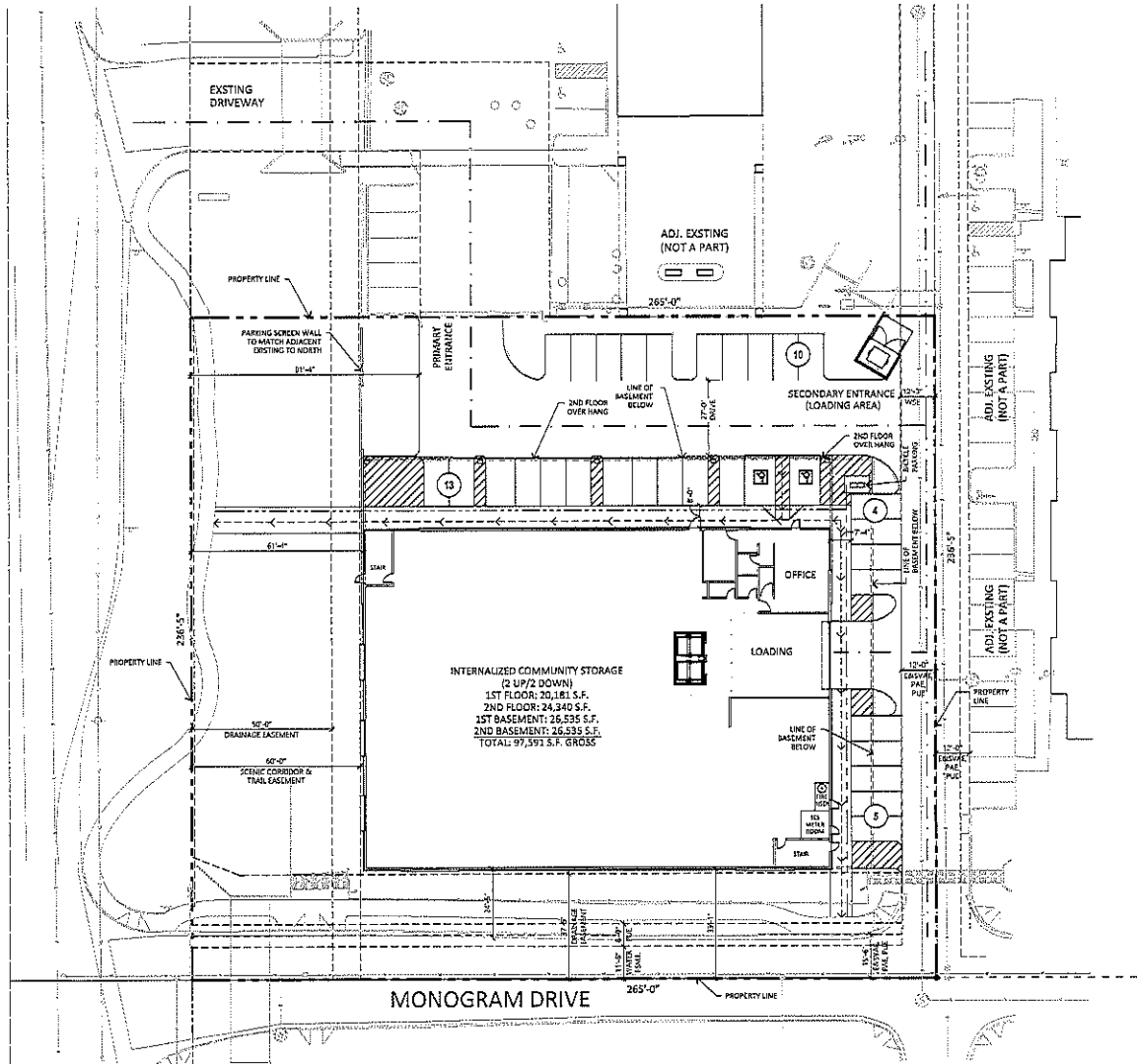
PROJECT NUMBER:

20192780

DATE:

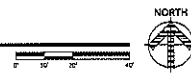
01/14/2020

SCOTTSDALE ROAD



CIRCULATION PLAN

SCALE: 1" = 20'-0"



SITE PLAN DATA	
EXISTING ZONING:	O-3 (HIGHWAY COMMERCIAL)
APR#:	2-0-2019-0958 AND 2-10-2019-0960
NET SITE AREA:	1,439 ACRES (62,870 S.F.)
CROSS SITE AREA:	
PROPOSED BUILDING USE:	INTERNALIZED COMMUNITY STORAGE
OCCUPANCY TYPE:	O-1 (STORAGE) AND B (OFFICE)
BUILDING HEIGHT ALLOWED:	38'-0" FEET MAX
BUILDING HEIGHT PROVIDED:	25'-0" TO 25'-4" ROOF LINE
BUILDING AREA:	
TOTAL AREA:	97,591 S.F. (2 UP/2 DOWN)
ALLOWED FAR (BL MAX):	50,138 S.F.
PROVIDED FAR (AVG/C GROUND):	44,821 S.F.
BUILDING AREA (BELOW GROUND):	15,009 S.F.
SITE COVERAGE:	30 %
PARKING CALCULATION:	
REQUIRED PARKING:	18 SPACES
INTERNALIZED COMMUNITY STORAGE:	44,821 S.F. @ 1/2500 = 18 SPACES
PROVIDED PARKING:	32 SPACES
REQUIRED ADA PARKING:	2 SPACES
PROVIDED ADA PARKING:	2 SPACES
BIKE PARKING REQUIRED (1/10 VEHICLES):	4 SPACES
BIKE PARKING PROVIDED:	4 SPACES
PARKING LOT AREA:	
TOTAL LOT AREA:	7,416 S.F.
PARKING LOT LANDSCAPING REQUIRED (15%):	1,112 S.F.
PARKING LOT LANDSCAPING PROVIDED:	2,348 S.F.
30% OF PARKING LOT LANDSCAPE AREA MUST BE 7'-0" WIDE:	
30% OF LANDSCAPE AREA PROVIDED = 9.33 X 2,348 SF = 21,828 S.F. REQUIRED:	1,312 S.F. PROVIDED
SITE CIRCULATION LEGEND:	
--->--->--->	PEDESTRIAN CIRCULATION
- - - - -	VEHICULAR CIRCULATION
---	BIKE CIRCULATION



1111 E. McDowell St., Phoenix, AZ 85004
 602.441.4905 FAX
 801 E. McDowell St., Phoenix, AZ 85004
 David Parks MD | Feng Li | Stewart MO
 William CO | Mark NG | Steven WY
 Daniel HW | Sharon A | Chad PD
 St. Paul HW | Peri CO | CD | Phoenix AZ
 www.eapc.net

CLIENT
1784 Capital Holdings

PROJECT DESCRIPTION
**PROPOSED
 INTERNALIZED
 COMMUNITY STORAGE**

SCOTTSDALE
 ARIZONA

ISSUE DATES

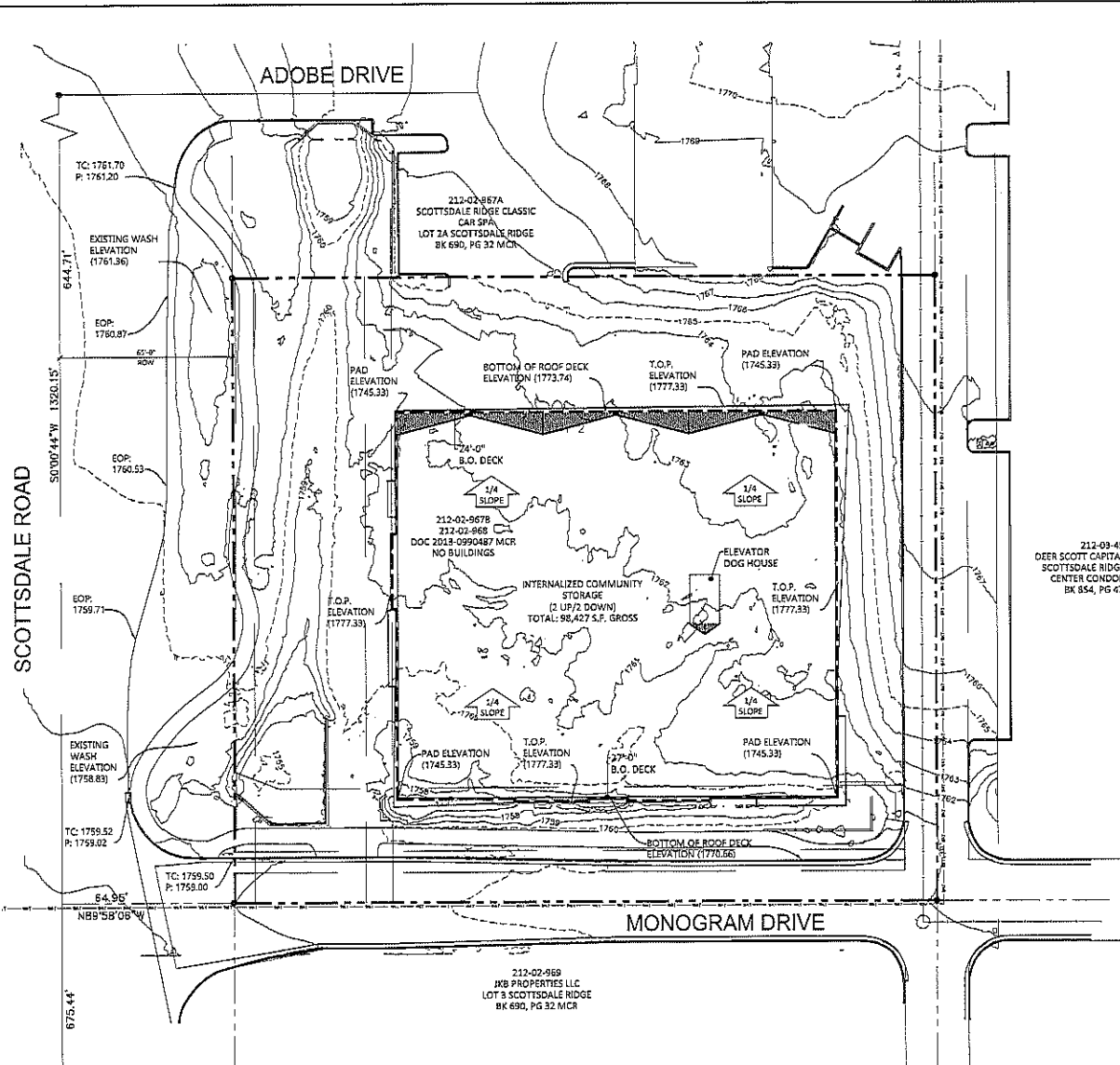
ID	SCHEMATIC DESIGN	05-21-19
MARK	DESCRIPTION	DATE

PROJECT NO.: 20192780
 DRAWN BY: MAB
 CHECKED BY: MAB

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DRAWING TITLE
**PRELIMINARY
 CIRCULATION PLAN**

CP100



SITE PLAN
SCALE: 1" = 39'-0"

PROJECT DIRECTORY:

DEVELOPER:
1784 CAPITAL HOLDINGS LLC
8774 NORTH GRANBY CENTER DR., SUITE 101
SCOTTSDALE, ARIZONA 85258
POINT OF CONTACT: KELLY MCCOY
PHONE: (602) 950-2522
EMAIL: kmccoy@1784holdings.com

OFF PLANNER:
EAPC ARCHITECTS ENGINEERS
501 E. MADISON ST.
PHOENIX, ARIZONA 85034
POINT OF CONTACT: MICHELLE BACCI
PHONE: (602) 441-4855
EMAIL: mbacchi@eapc.net

DESIGN ARCHITECT:
DVAL ARCHITECTS + PLANNERS INC.
3333 N. CENTRAL AVE.
PHOENIX, ARIZONA 85018
POINT OF CONTACT: SEAN WATFIELD
PHONE: (602) 546-9771
EMAIL: swatfield@valeriacorp.com

ARCHITECT OF RECORD:
REAA ARCHITECTS, INC.
2223 E. THOMAS RD.
PHOENIX, ARIZONA 85016
POINT OF CONTACT: ROBERT KUBICKI
PHONE: (602) 955-7900
EMAIL: Arobk@reaa.com

CIVIL ENGINEER:
LARSON ENGINEERING, INC.
6700 E. THOMAS RD., SUITE 300
SCOTTSDALE, ARIZONA 85251
POINT OF CONTACT: LAUREN HIRSH
PHONE: (480) 212-4210
EMAIL: mh@larsoneg.com

LANDSCAPE ARCHITECT:
T.J. MCQUEEN & ASSOCIATES INC.
10650 N. 74TH ST., SUITE 120
SCOTTSDALE, ARIZONA 85258
POINT OF CONTACT: TIM MCCURRY
PHONE: (602) 956-0300
EMAIL: timmccurry@tjma.net

212-09-494
DEER SCOTT CAPITAL GROUP LLC
SCOTTSDALE RIDGE BUSINESS
CENTER CONDOMINIUMS
BK 854, PG 47 MCR

SITE PLAN DATA:

EXISTING ZONING:	C-3 (HIGHWAY COMMERCIAL)
APN:	212-02-967B AND 212-02-958
NET SITE AREA:	1.439 ACRES (62,676 S.F.)
CREW: SITE AREA:	1.138 ACRES (50,177 S.F.)
PROPOSED BUILDING USE:	INTERNALIZED COMMUNITY STORAGE
OCCUPANCY TYPE:	S-1 (STORAGE) AND B (OFFICE)
BUILDING HEIGHT ALLOWED:	35'-0" FEET MAX.
BUILDING HEIGHT PROVIDED:	32'-0" T.O.P.
	25'-4" ROOF UNL.
BUILDING AREA:	
TOTAL AREA:	98,427 S.F. (2 LRV 2 DOWN)
ALLOWED FAR (PER MAP):	50,136 S.F.
PROVIDED FAR ABOVE GROUND:	44,792 S.F.
BUILDING AREA BELOW GROUND:	53,665 S.F.
SITE COVERAGE:	89%



TEL: 602-441-4855 FAX:
101 E. Madison St., Phoenix, AZ 85004

David Farris MD
Michael K...
D. Paul M...

Page 10
EAPC Logo
David Farris MD
Michael K...
D. Paul M...

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CLIENT
1784 Capital Holdings

PROJECT DESCRIPTION
PROPOSED INTERNALIZED COMMUNITY STORAGE

SCOTTSDALE
ARIZONA

ISSUE DATES

DD	DESIGN DEVELOPMENT #3	10-08-19
ED	DESIGN DEVELOPMENT #2	06-15-19
ED	DESIGN DEVELOPMENT #1	05-03-19
MARK	DESCRIPTION	DATE

PROJECT NO: 20192780
DRAWN BY: MAB
CHECKED BY: MAB

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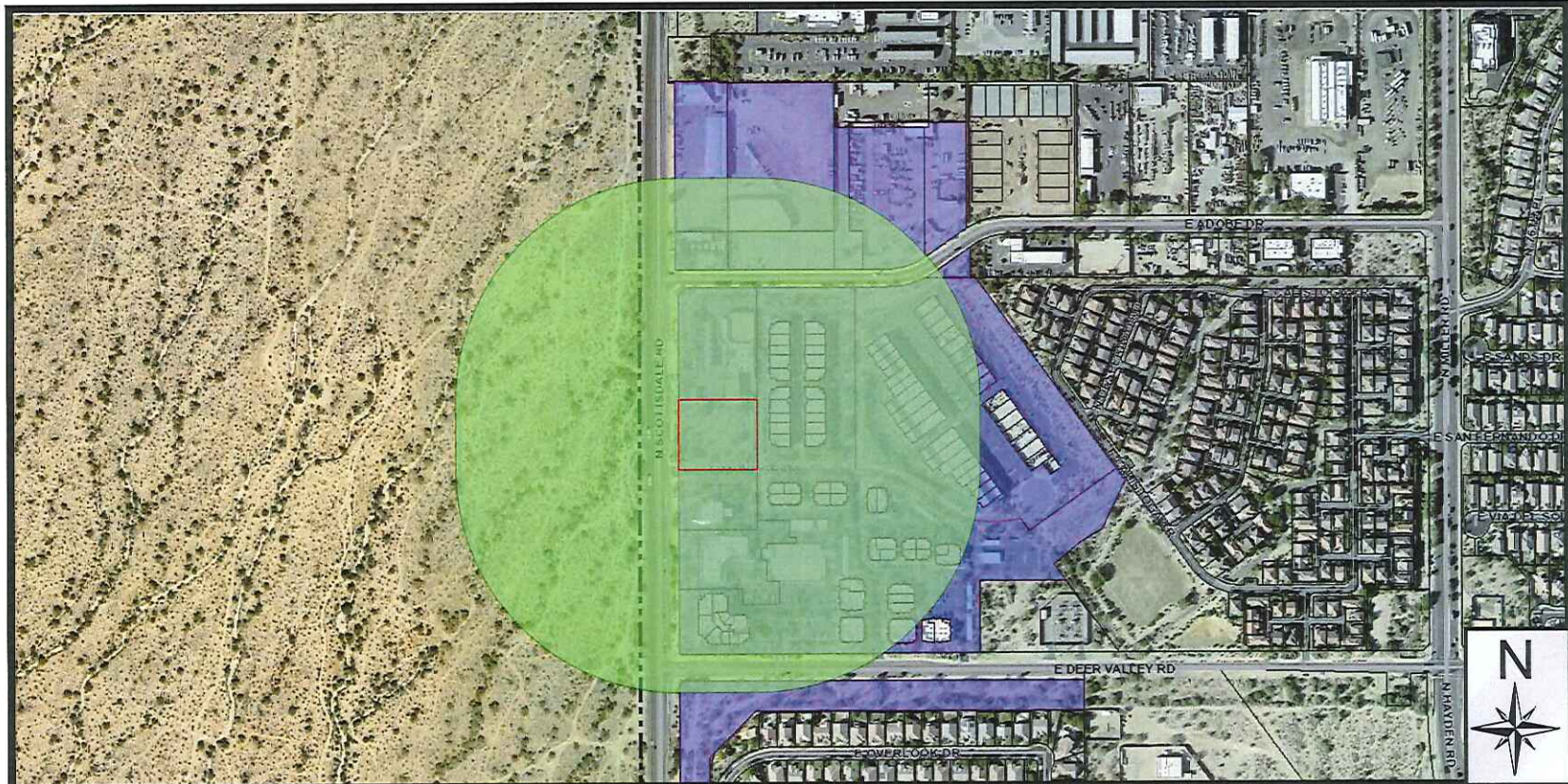
DRAWING TITLE
ROOF OVER TOPO PLAN

RT100

City Notifications – Mailing List Selection Map

North Scottsdale Self Storage

ATTACHMENT #17



Additional Notifications:

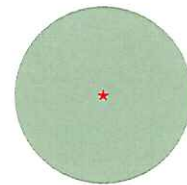
- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

Pulled Labels
May 28, 2019

Map Legend:



Site Boundary



Properties within 750-foot

Postcards: 144

28-DR-2019