



Marked Agendas

Approved Minutes

Approved Reports

**The January 17, 2019  
Development Review Board  
Meeting Agenda and  
Minutes can be found at**

**<http://www.scottsdaleaz.gov/boards/development-review-board>**

# DEVELOPMENT REVIEW BOARD REPORT

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Meeting Date: January 17, 2019 Item No. 3  
General Plan Element: *Public Services and Facilities*  
General Plan Goal: *Encourage provision of power and communication systems that match the character of Scottsdale and provide reliable, efficient, service for Scottsdale citizens, visitors, and businesses.*

## **ACTION**

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### **AT&T AZL04814 SRP Rio Verde R.O.W. - LTE 51-DR-2018**

**Location:** Northeast corner of East Rio Verde Drive and North 136th Street

**Request:** Request approval for a new Type 3 wireless communication facility (WCF) co-located on top of a replacement utility pole within the public right-of-way along the north side of East Rio Verde Drive east of North 136th Street, with associated screened ground mounted equipment.

## **OWNER**

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City of Scottsdale  
480-312-2953

## **ARCHITECT/DESIGNER**

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Clear Blue Services

## **ENGINEER**

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Clear Blue Services

## **APPLICANT CONTACT**

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Matthew Ludick  
Salt River Project  
(602) 236-2844

## **BACKGROUND**

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### **Zoning**

The site is zoned Single-family Residential, Environmentally Sensitive Lands (R1-43 ESL).

### **Context**

The subject utility pole is located within the East Rio Verde Drive right-of-way along the north side of East Rio Verde Drive, approximately 310 feet east of North 136<sup>th</sup> Street.

## **Adjacent Uses and Zoning**

Action Taken \_\_\_\_\_

- North: Equestrian facility with covered arena within unincorporated Maricopa County, zoned County Rural-43
- South: Undeveloped land, zoned R1-70 ESL.
- East: Undeveloped land within right-of-way, zoned R1-43 ESL.
- West: Undeveloped land within the right-of-way, zoned R1-43 ESL.

**Key Items for Consideration**

- The Zoning Ordinance encourages the co-locating of wireless communication facilities on existing vertical elements, such as utility poles.

**DEVELOPMENT PROPOSAL**

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**Goal/Purpose of Request**

SRP Telecom on behalf of AT&T is requesting approval to construct a new wireless communication facility (WCF) co-located on top of a replacement 46-foot-tall utility pole along the north side of East Rio Verde Drive, approximately 310-feet east of North 136<sup>th</sup> Street. Location and height requirements for WCFs are determined by the coverage objective for the area, existing topography, capacity requirements dictated by the permanent, transient population (passing traffic and time of day usage) and the distance between adjacent WCFs within the network. The nearest existing AT&T WCFs are located approximately 3.25 miles to the west, mounted on a building near the southwest corner of East Dynamite Blvd. and North Alma School Parkway, 3.5 miles to the east near the intersection of 165<sup>th</sup> Street and East Rio Verde Drive, and approximately 2.25 miles to the northeast co-located on a utility lattice tower near the intersection of East Lone Mountain Road and North 147<sup>th</sup> Street. The Zoning Ordinance encourages the co-locating of wireless communication facilities on existing vertical elements, such as utility poles.

The existing 38-foot-tall wood utility pole will be replaced with a 46-foot-tall cor-ten steel utility pole. Six antennas, approximately 5-foot-tall by 20-inch-wide, will be placed at the top of the pole; two antennas will face north, two antennas will face southwest, and two antennas will face southeast. Antennas, tower mounted amplifiers, and mounting hardware, will be painted to match the color of the utility poles. All associated cables will be located inside the utility pole. Shrouds will be attached to the bottom of the antennas to screen the jumper cables that connect the bottom of the antennas with the port hole in the pole.

Associated ground-mounted radio equipment will be installed within an 18-foot by 12-foot enclosed platform located approximately 20-feet east of the utility pole. The equipment will be screened by 8-foot-tall decorative metal panels/gates with a rust finish.

**Neighborhood Communication**

October 2, 2018: Applicant mailed project notification letters along with a site plan and elevation to property owners within 750 feet.

November 20, 2018: City Planning staff mailed postcard notifications to property owners within 750-feet, as well as the City interested parties list, letting residents know there had been a new DRB application submitted to the City.

As of the drafting of this report, the applicant or City staff has not received any comments.

### STAFF RECOMMENDATION

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#### Recommended Approach:

Staff recommends that the Development Review Board approve Case 51-DR-2018 per the attached stipulations.

### RESPONSIBLE DEPARTMENT

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Planning and Development Services  
Current Planning Services

### STAFF CONTACT

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Keith Niederer  
Senior Planner  
480-312-2953  
E-mail: kniederer@ScottsdaleAZ.gov

### APPROVED BY

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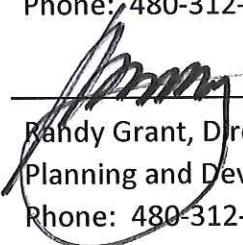
Keith Niederer, Report Author

1-7-2019  
Date



Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

1/7/19  
Date



Randy Grant, Director  
Planning and Development Services  
Phone: 480-312-2664 E-mail: rgrant@scottsdaleaz.gov

1/8/19  
Date

### ATTACHMENTS

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## ATTACHMENTS

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- A. Stipulations/Zoning Ordinance Requirements
  - 1. Context Aerial
  - 1A. Close-Up Aerial
  - 2. Zoning Map
  - 3. Applicant's Narrative
  - 4. Photo Simulation
  - 5. Plans
  - 6. Neighborhood Involvement Letter
  - 7. City Notification Postcard and Map

**Stipulations for the  
Development Review Board Application:  
AT&T AZL04814 SRP Rio Verde R.O.W. - LTE  
Case Number: 51-DR-2018**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:

1. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Clear Blue Services, Bechtel and AT&T, with a date of 9/21/2018.
  - a. The location and configuration of all site improvements shall be consistent with the site plan submitted by Clear Blue Services, Bechtel and AT&T, with a date of 9/21/2018.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- A. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. Antennas, radio equipment and mounting hardware shall be painted to match replacement utility pole.
3. Antenna pipe mounts shall be trimmed to match the height and length of antennas.
4. If antennas will have cables bottom fed, cables shall be concealed with shrouds that are painted to match antennas.

**ADDITIONAL ITEMS:**

**DRB Stipulations**

5. With the construction drawing submittal, verify the benchmark on plans. They appear to be approximately 2-foot higher in elevation than the City GIS is indicating.
6. Prior to the issuance of permits, the developer shall submit a signed Antenna Right-of-Way License Agreement (ARLA) to the City's Telecom Policy Coordinator. Rent will be due to the City at time of ARLA execution.

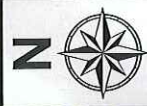
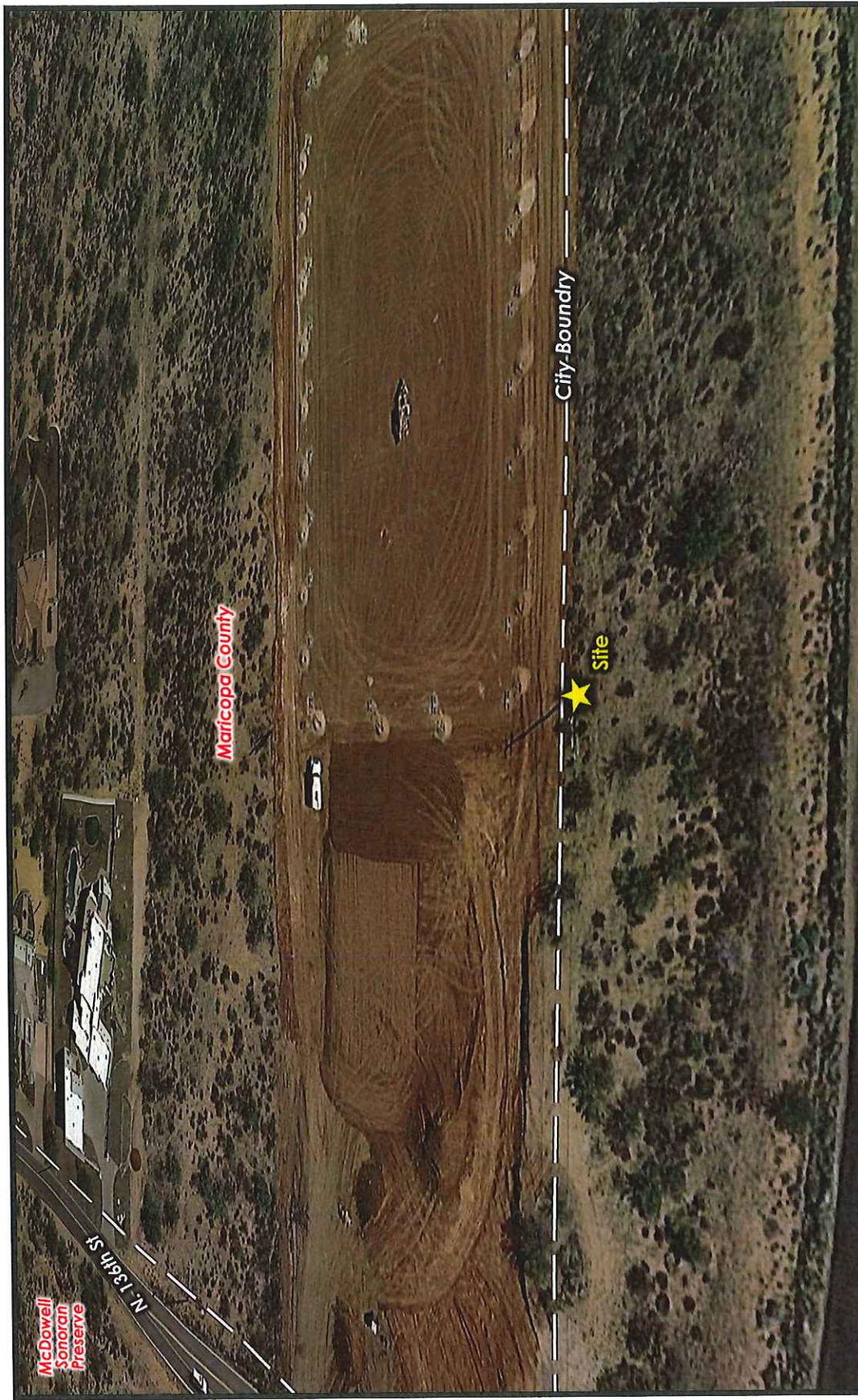


Google Earth Pro Imagery

Q.S.  
50-60

51-DR-2018

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE



E. Rio Verde Dr

Q.S.  
50-60

Google Earth Pro Imagery

51-DR-2018

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE



Q.S.  
50-60

2017 Zoning Aerial

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE

51-DR-2018



## **PROJECT NARRATIVE**

### **I. Introduction**

The purpose of this application is to request approval of the installation of an AT&T antenna array on a replaced 12kV electric pole along with the ground equipment in the City of Scottsdale right-of-way. The subject site is proposed east of the northeast corner of 136<sup>th</sup> Street and Rio Verde Dr.

### **II. Description of Site Development**

SRP owns and operates electrical infrastructure in the Rio Verde area of unincorporated Maricopa County and the City of Scottsdale. The poles that provide the above ground electric grid are generally the only existing vertically in the rural area. The existing poles in the area are mostly wood which is not suitable for collocation of wireless antennas. The subject pole would be replaced with a steel pole to support the addition of the antennas. The request includes the allowed increase of eight (8) feet to allow the antennas above conductor.

The antenna array is three (3) sectors of two (2) antennas per sector for a total of 6' antennas. The antennas proposed are approximately five (5) feet long and are bottom fed. The bottom fed antennas will have shrouds to obscure the rain loops from view. All antennas and the shrouds will be painted SRP boot brown to approximately match the rusted steel pole. The ground equipment is proposed east of the pole in the City of Scottsdale right-of-way. The equipment will be surrounded by rusted steel decorative panels. No equipment will be visible from outside the compound.

### **III. Parking and Access**

Access to the site will occur from 136<sup>th</sup> Street. AT&T will improve the access with gravel. Parking is provided adjacent to the ground equipment and would be accessed approximately one time per month.

### **IV. Compatibility**

There is single family residential zoning north and northeast of the proposed location in Maricopa County with a designation of R-43. There are a mix of developed and undeveloped parcels. Northwest of 136<sup>th</sup> Street and Rio Verde Drive is City of Scottsdale preserve. The southwest corner of 136<sup>th</sup> Street and Rio Verde Drive was approved for resort residences in R-4R ESL. The land southeast of 136<sup>th</sup> Street and Rio Verde Drive is zoned R1-70 ESL, and currently undeveloped. The proposed facility utilizes the only existing verticality in the area while trying to minimize additional visual impact. The increased pole height is within the City of Scottsdale

established guidelines and attempts to maintain the size, height, and color of the other utility poles to the extent possible while providing the wireless services.

ATTACHMENT 4

PREPARED 9/23/18 BY:



EXISTING VIEW  
LOOKING EAST

NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ

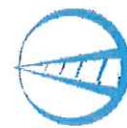
PREPARED FOR:



VIEW ORIENTATION MAP



PREPARED 9/23/18 BY:



Clear Blue

Services

4814 S. 35TH ST.  
PHOENIX, AZ 85040

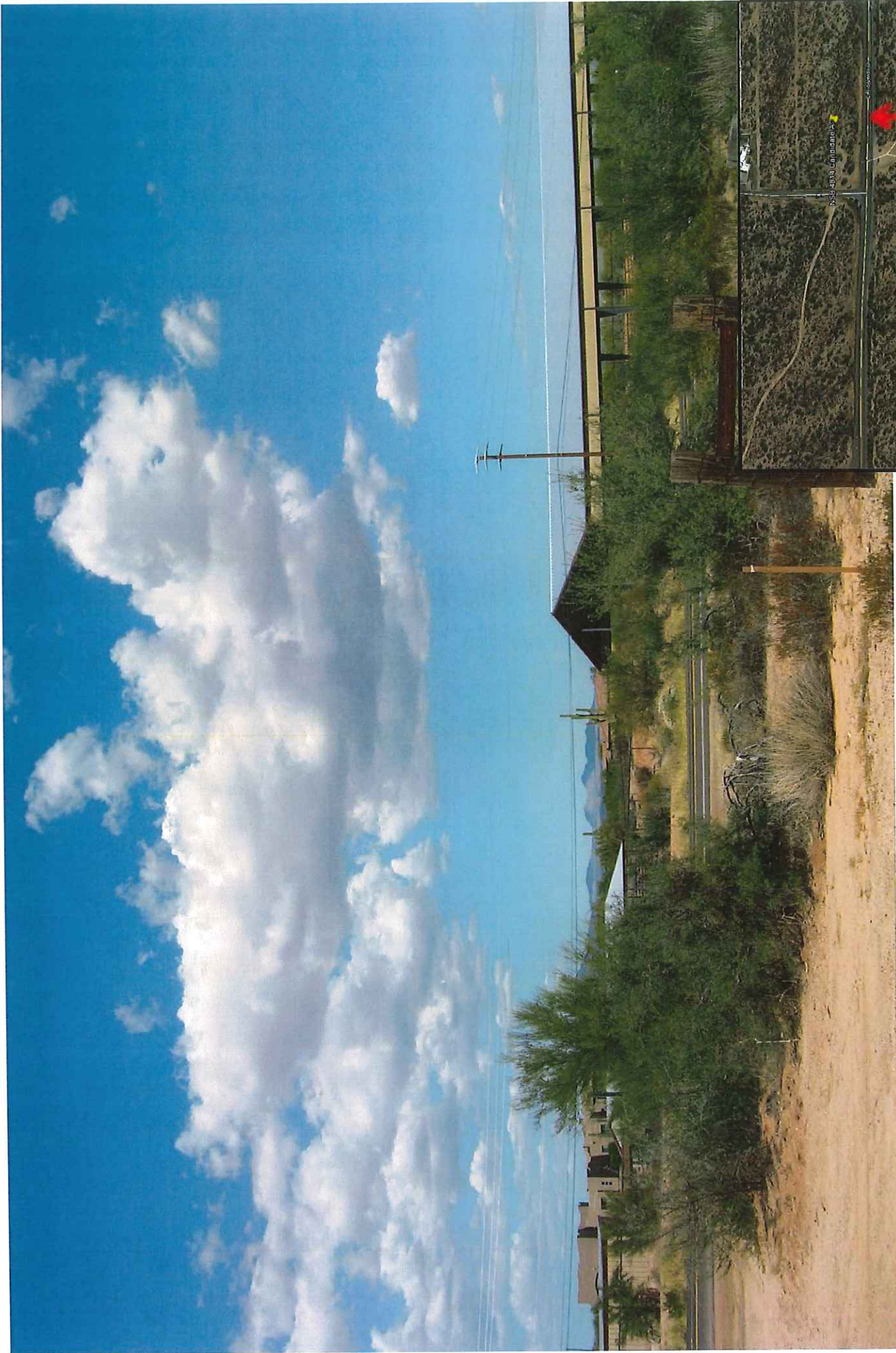
PROPOSED VIEW  
LOOKING EAST

NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ

PREPARED FOR:



VIEW ORIENTATION MAP



**PREPARED 9/23/18 BY:**



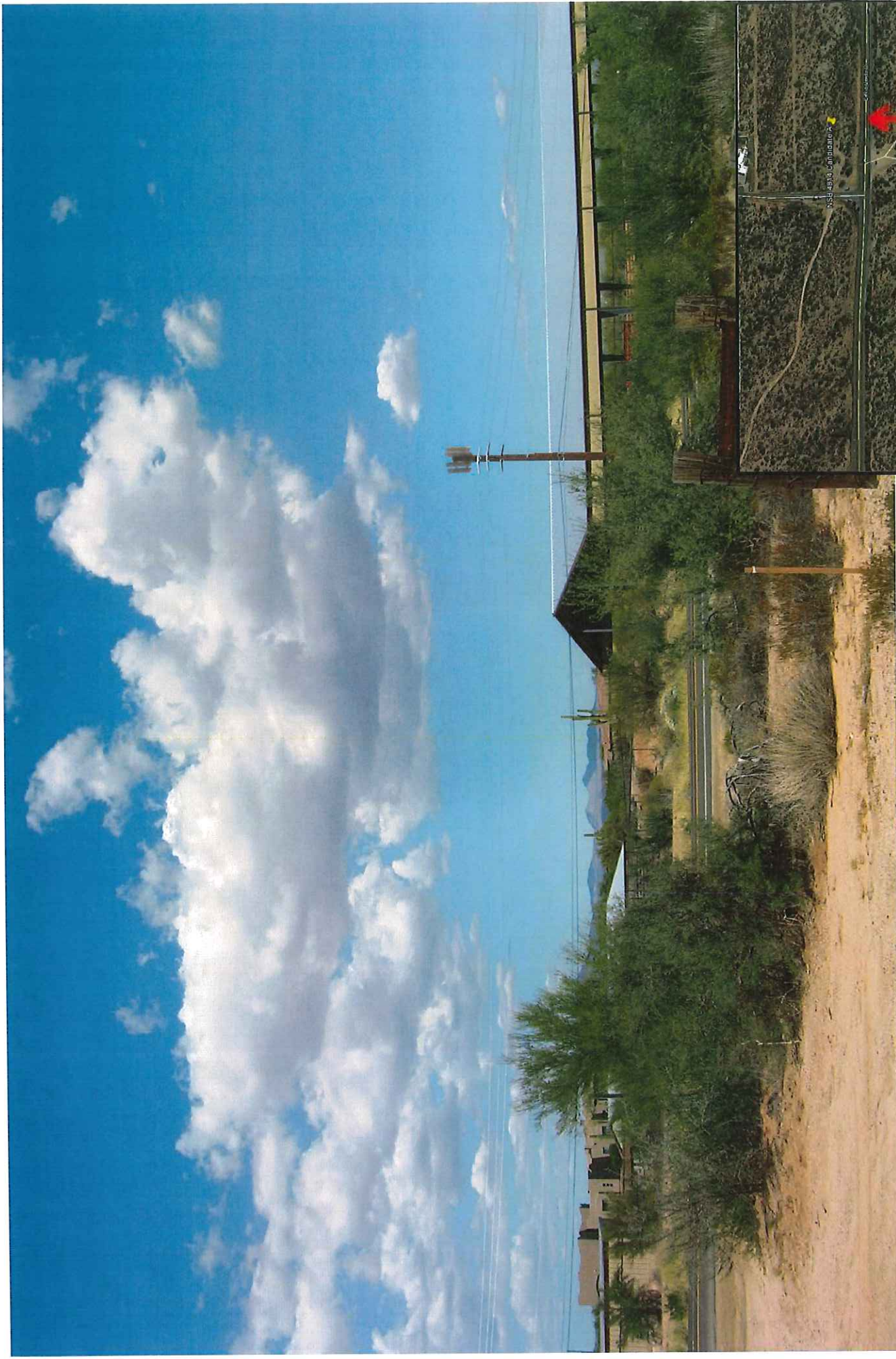
**EXISTING VIEW  
LOOKING NORTH**

**NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ**

**PREPARED FOR:**  
 **BECHTEL INFRASTRUCTURE  
AND POWER CORPORATION**



**VIEW ORIENTATION MAP**



**PREPARED 9/23/18 BY:**



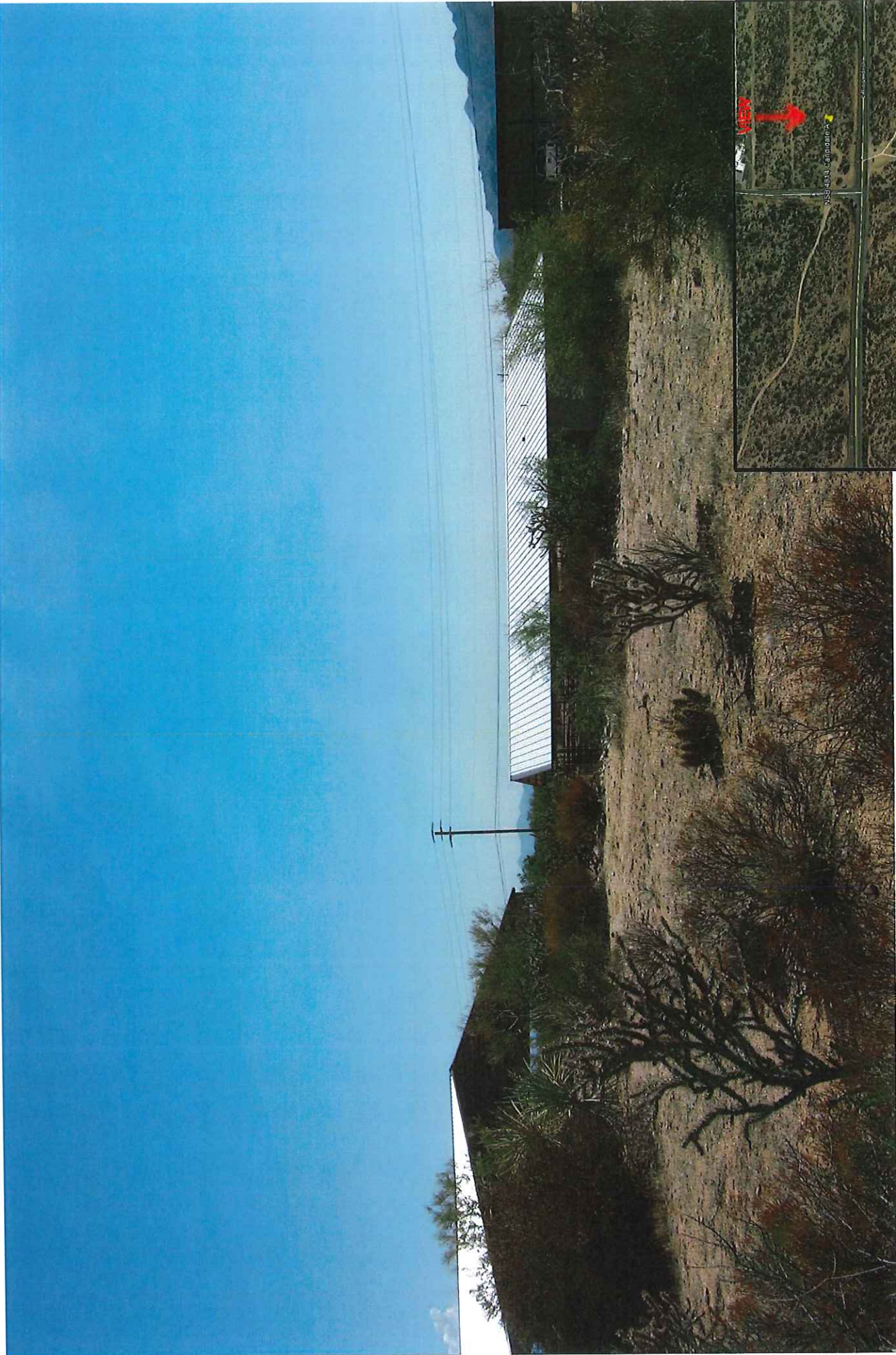
**PROPOSED VIEW  
LOOKING NORTH**

**NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ**

**PREPARED FOR:**



VIEW ORIENTATION MAP



PREPARED 9/23/18 BY:



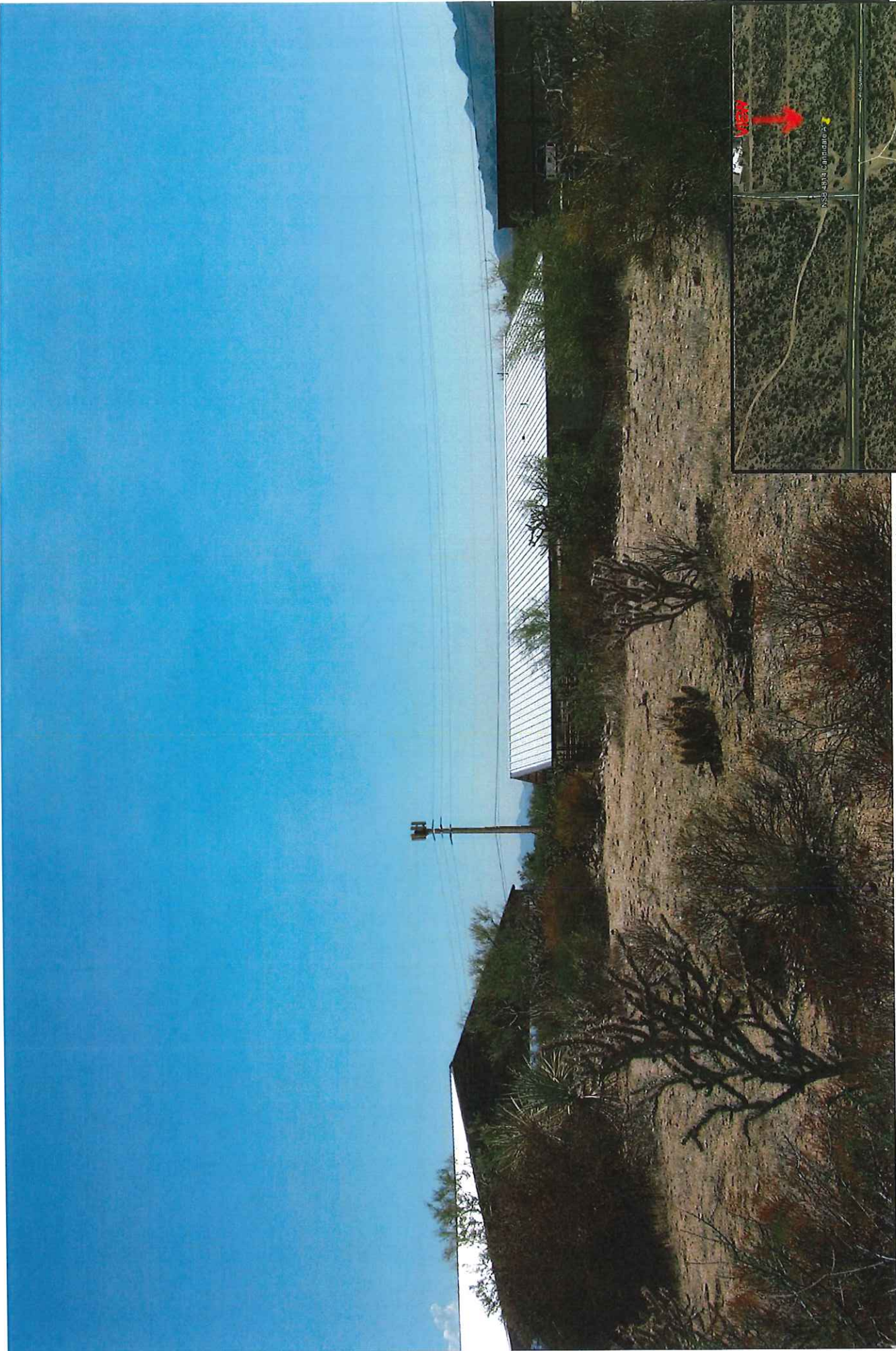
EXISTING VIEW  
LOOKING SOUTH

NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ

PREPARED FOR:



VIEW ORIENTATION MAP



**PREPARED 9/23/18 BY:**



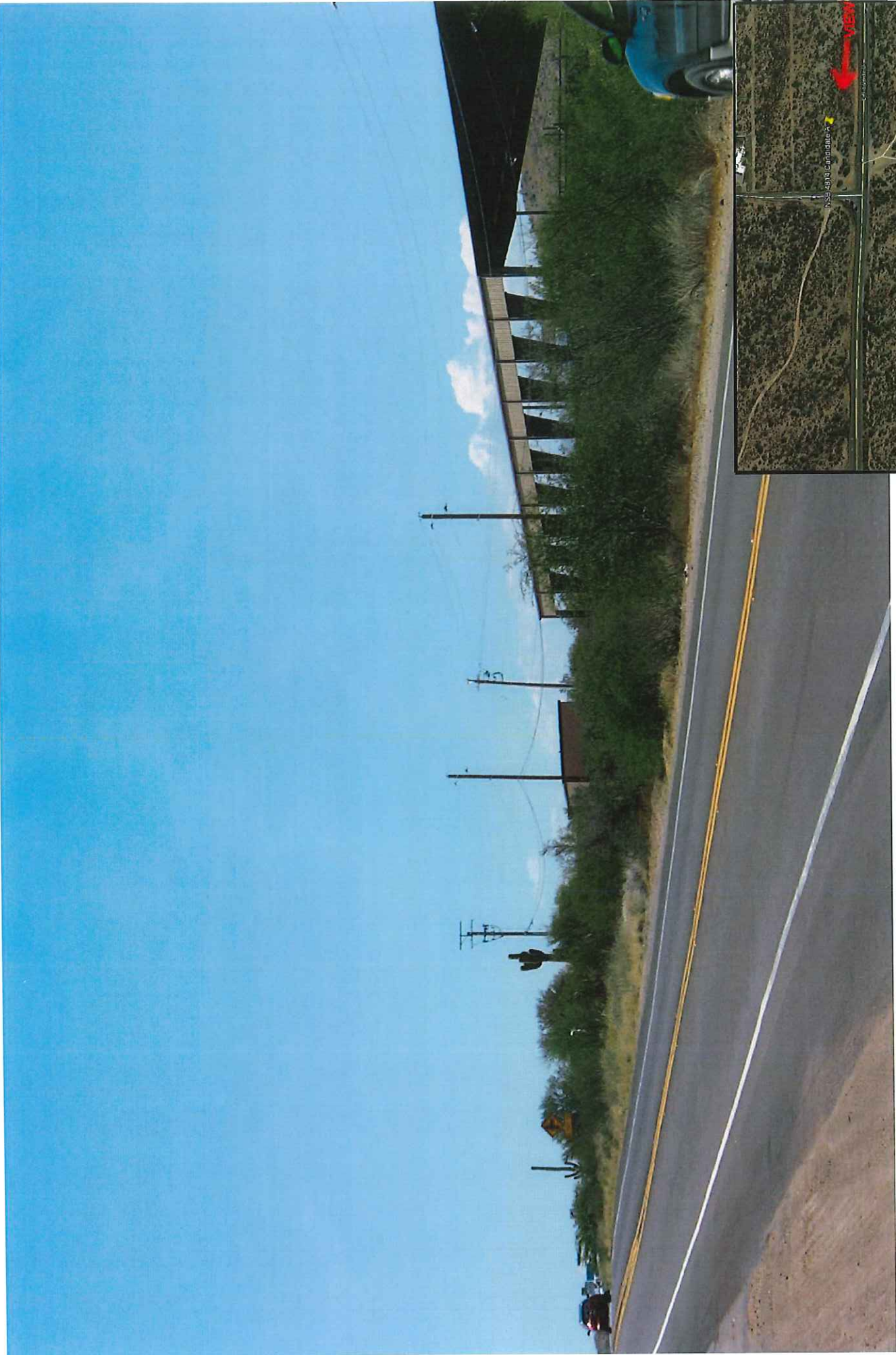
**PROPOSED VIEW  
LOOKING SOUTH**

**NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ**

**PREPARED FOR:**



**VIEW ORIENTATION MAP**



**PREPARED 9/23/18 BY:**



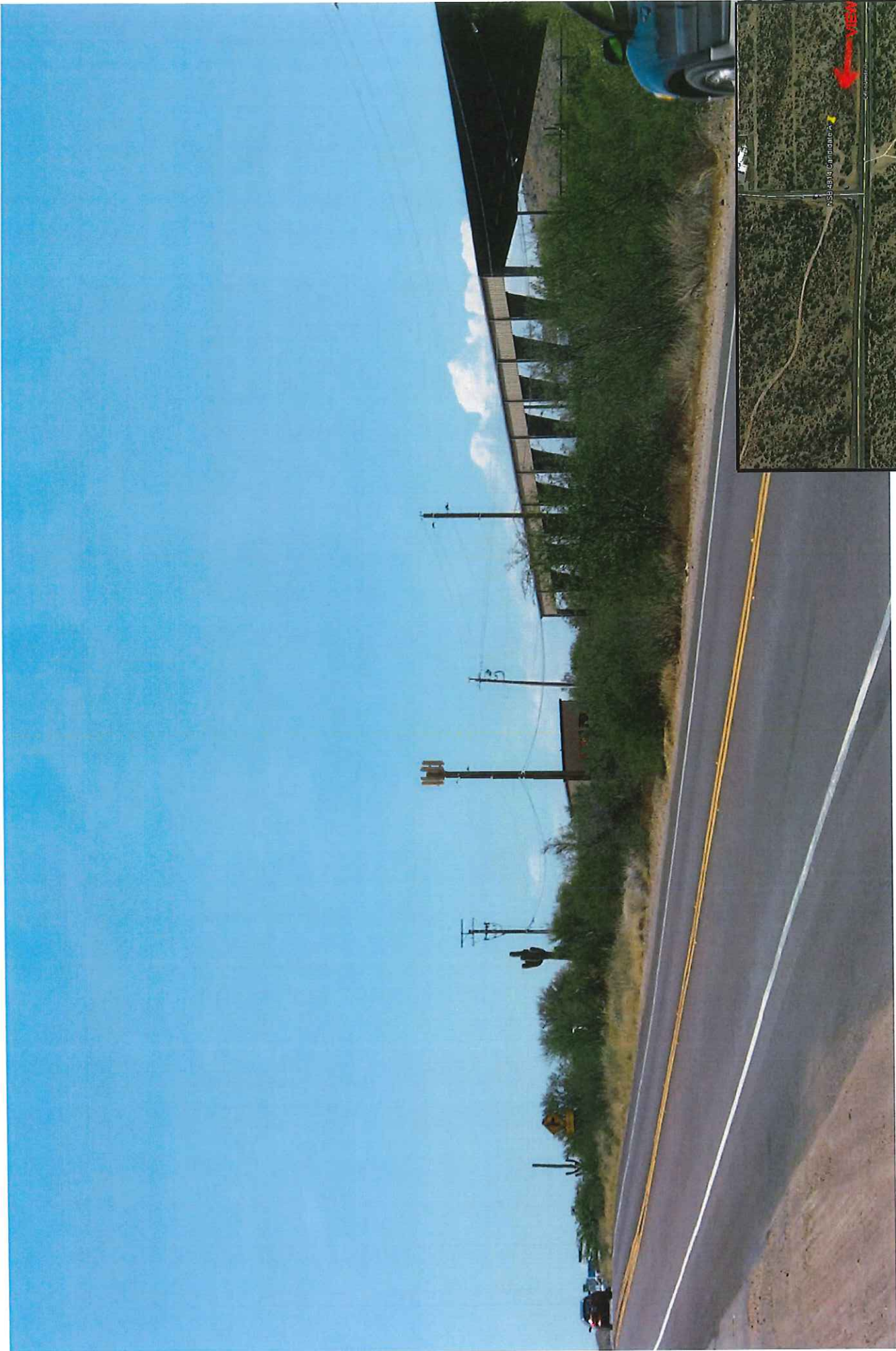
**EXISTING VIEW  
LOOKING WEST**

**NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ**

**PREPARED FOR:**



**VIEW ORIENTATION MAP**



PREPARED 9/23/18 BY:



Clear Blue

Services

4814 S. 35TH ST.  
PHOENIX, AZ 85040

# PROPOSED VIEW LOOKING WEST

NSB-4814  
RIO VERDE RD.  
SCOTTSDALE, AZ

PREPARED FOR:



VIEW ORIENTATION MAP



## DRIVING DIRECTIONS

**DIRECTIONS:**  
DEPARTING THE AT&T OFFICE AT 1355 W. UNIVERSITY IN MESA GO LEFT ONTO UNIVERSITY HEADING WEST TO THE DEPARTING THE 101, TAKE A RIGHT ONTO PRICE RD./LOOP 101 FRONTAGE ROAD NORTH AND PROCEED TO MERGE ONTO LOOP 101. CONTINUE ON THE 101 NORTH TO PINA ROAD EXT AND FOLLOW FRONTAGE ROAD N. PINA ROAD TO DYNAMITE ROAD, TAKE RIGHT ONTO DYNAMITE ROAD AND PROCEED ABOUT 8 MILES, DYNAMITE RD. WILL TRANSITION INTO RIO VERDE DR., CONTINUE ON RIO VERDE DR. TO 136TH ST., SITE WILL BE ON THE NE CORNER OF RIO VERDE DR. & 136TH ST.

[illegible]

DESIGN PACKAGE BASED ON RF DATA SHEET  
 REF ID: A1204435  
 FILE: C:\N-AR\NAR\A1204811-17-A-Sub-Int-Program\_v3.00\_A1204811-17-AR\NAR\A1204811-17-A-Sub-Int-Program\_v3.00  
 PERSON: 5.00  
 DATE: 6/18/2018  
 BY: 6/18/2018  
 TIME: 4:35:48 PM

**SUMMARY OF EQUIPMENT:**

NUMBER OF SECTORS	2
NUMBER OF ANTENNAE	6
NUMBER OF TRANSMITTERS	6
NUMBER OF FRN'S	6
NUMBER OF FEED OPTIC CABLES	0
NUMBER OF FEED FIBER CABLES	0
NUMBER OF COAX CABLES	12
NUMBER OF FIBER CABLES	0
NUMBER OF INDUCTORS	12

GLOBAL SENSITIVATING  
BECHTEL INFRASTRUCTURE & POWER CORPORATION  
13133 N. 13TH AVENUE  
TOLSON, AZ 85354  
CONTACT: STEVE OLSEN  
PHONE (480) 442-5004

PROJECT WINNER  
1585 WILSON  
UNIVERSITY DR.  
MESA, AZ 85207  
CONTACT: BOB HOFMEISTER  
PHONE (480) 444-4881  
E-MAIL RH131@COM.COM

PROPERTY OWNER  
CITY OF SCOTTSDALE  
1500 N. 19TH AVENUE  
7447 E. INDIAN SCHOOL RD.  
SCOTTSDALE, AZ 85262  
PHONE (480) 312-2263  
E-MAIL KNEIDER@SCOTTSDALE.az.gov

A.B.E.  
BLUE SERVICES  
4814 S. 10TH ST  
CONTACT: STEVEN D'AMICO  
PHONE (480) 936-0000  
WWW.BLUELABORATORIES.COM

CONTRACTOR, A SPECIFIC TYPE, MAKE, OR ASSET CONSTRUCTION STANDARDS/REQUIREMENTS AS SPECIFIED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE OWNER'S EMPLOYEES, WORKMEN, AND ALL THINGS DURING CONSTRUCTION OF THE PROJECT.

THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR ALL NECESSARY PERMITS AND/OR FEES IN CONNECTION WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES AND THE CONTRACTOR SHALL OBTAIN PERMIT AND MAKE THE NECESSARY PAYMENTS FOR SAID DOCUMENT.

AT-0405 GO TO VERIFY ALL MEASUREMENTS FOR FIELD RUN AND ANY POWER RUNS.

DO NOT SCALE DRAWINGS.

CITY OF SCOTTSDALE	AT&T UTILITY	STEEL UTILITY POLE (REPLACE EXISTING)	EXISTING ELEVATION:	NO CHANGE	UTILITY POLE / UNWANNED TELECOMMUNICATIONS FACILITY
7447 E. NEWAN SCHOOL RD.	NEHA AZ 85001	WOOD UTILITY POLE	EXISTING ZONE:	II	UTILITY POLE
SCOTTSDALE, AZ 85261	POSTOFFICE CENTER		CONSTRUCTION TYPE:		
TEL: 480.352.5253	(480) 444-4488		EXISTING PROJECT AREA:		
E-MAIL: KNAEGER@CITYOFSCOTTSDALE.AZ.GOV	E-MAIL: NHI16@ATT.COM		PROPOSED OCCUPANCY:		
			EXISTING OCCUPANCY:		
			JURISDICTION:	SBP / CITY OF SCOTTSDALE	
			PRE-APP NUMBER:	SBP-PA-2016	
			ELECTRICAL PROVIDER:	SPB	

AT&T (RF): \_\_\_\_\_ DATE: \_\_\_\_\_

AT&T (CONST.): \_\_\_\_\_ DATE: \_\_\_\_\_

AT&T (S.A.): \_\_\_\_\_ DATE: \_\_\_\_\_

LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

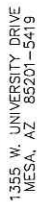
LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

[illegible]

EQUIPMENT ITEM	AREA	HEIGHT	VOLUME
LTE FLEXI-STACK	3.17 SF	3.0 FT.	3.09x3.17=9.53 CF
DUAL STACK	4.45 SF	4.5 FT.	3.33x4.45=14.99 CF
POWER CABINET	7.30 SF	6.0 FT.	7.40x5.0=44.24 CF
PC12	2.48 SF	4.4 FT.	1.90x2.48=10.90 CF
DDC	1.58 SF	2.0 FT.	1.58x2.0=3.0 CF
DISC	0.5 SF	1.0 FT.	0.5x1.0=0.5 CF
RHS DISC	0.6x2.0 (6)	2.0 FT.	1.2x2.0=2.0 CF
TRANSFORMER	6.25 SF	2.5 FT.	6.25x2.5=15.63 CF
TOTAL EQUIPMENT	VOLUME = 112.94 CF	< 150 ALLOWED = OK	

SHT.	DESCRIPTION	REV
10-1A	TITLE SHEET	0
10-1B	SURVEY	0
10-1C	OVERALL SITE PLAN	0
10-1D	ENLARGED COMPOUND PLAN	0
10-1E	A-2 EXISTING & NEW SOUTH ELEVATIONS	0
10-1F	A-3 EXISTING & NEW SOUTH ELEVATIONS	0
10-1G	A-3.1 EXISTING & NEW WEST ELEVATIONS	0
10-1H	A-4 ANTENNA LAYOUT & DETAILS	0

PRE-APP NUMBER: 6729A-2018



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS  
IS PROPRIETARY & CONFIDENTIAL TO AT&T WIRELESS  
ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES  
TO AT&T WIRELESS IS STRICTLY PROHIBITED



PROJECT: NEW SITE BUILD  
SITE NO.: AZL04814  
SITE NAME: SRP  
RIO VERDE-R.O.W.  
FA CODE: 14341433  
USID: 193321  
N.E. CORNER 136TH ST.  
& RIO VERDE RD.  
SCOTTSDALE, AZ 85262

DATE	DESCRIPTION	STATUS
08/02/18	ZONING COMMENTS	S.D.
08/02/18	ADD POLE DIAMETER	S.D.
08/15/18	SRP & CLIENT CHANGES	S.D.
07/13/18	SRP & CLIENT CHANGES	TB
06/26/18	CLIENT CHANGE RIDS UPDATE	TB
06/14/18	CLIENT CHANGE RIDS UPDATE	TB
04/17/18	CLIENT CHANGE RIDS UPDATE	TB
03/19/18	CLIENT CHANGE	TB

PROFESSIONAL SEAL -



—

**OFFICE OF THE ATTORNEY GENERAL**

TITLE SHEET

**SHEET NUMBER**

T-1A







1355 W. UNIVERSITY DRIVE  
MESA, AZ 85201-5419

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**TEL INFRASTRUCTURE  
POWER CORPORATION**  
Pinnacle Peak Rd, Suite 110  
Phoenix, AZ 85027  
Phone: (623) 282-3084



**Clear Blue**  
**Services**  
4814 E. 35TH ST.  
PHOENIX, AZ 85040 602-236-6633

PROJECT: NEW SITE BUILD  
SITE NO.: AZL04814  
SITE NAME: SRP  
RIO VERDE-R.O.W.  
FA CODE: 14341433  
USID: 193321  
N.E. CORNER 136TH ST.  
& RIO VERDE RD.  
SCOTTSDALE, AZ 85262

	8	7	6	5	4	3	2	1
02/21/18								
06/27/18								
06/15/18								
07/13/18								
06/26/18								
06/11/18								
04/17/18								
03/19/18								



THIS DOCUMENT CONTAINS AN ELECTRONIC SIGNATURE PURSUANT TO A.R.S. TITLE 41, CHAPTER 44. IT IS A VIOLATION FOR ANY PERSON, UNLESS UNDER THE DIRECT SUPERVISION OF THE REGISTRAR, TO REPRODUCE THIS DOCUMENT IN ANY MANNER.

INTERNATIONAL JOURNAL OF

6116-01-00 20000

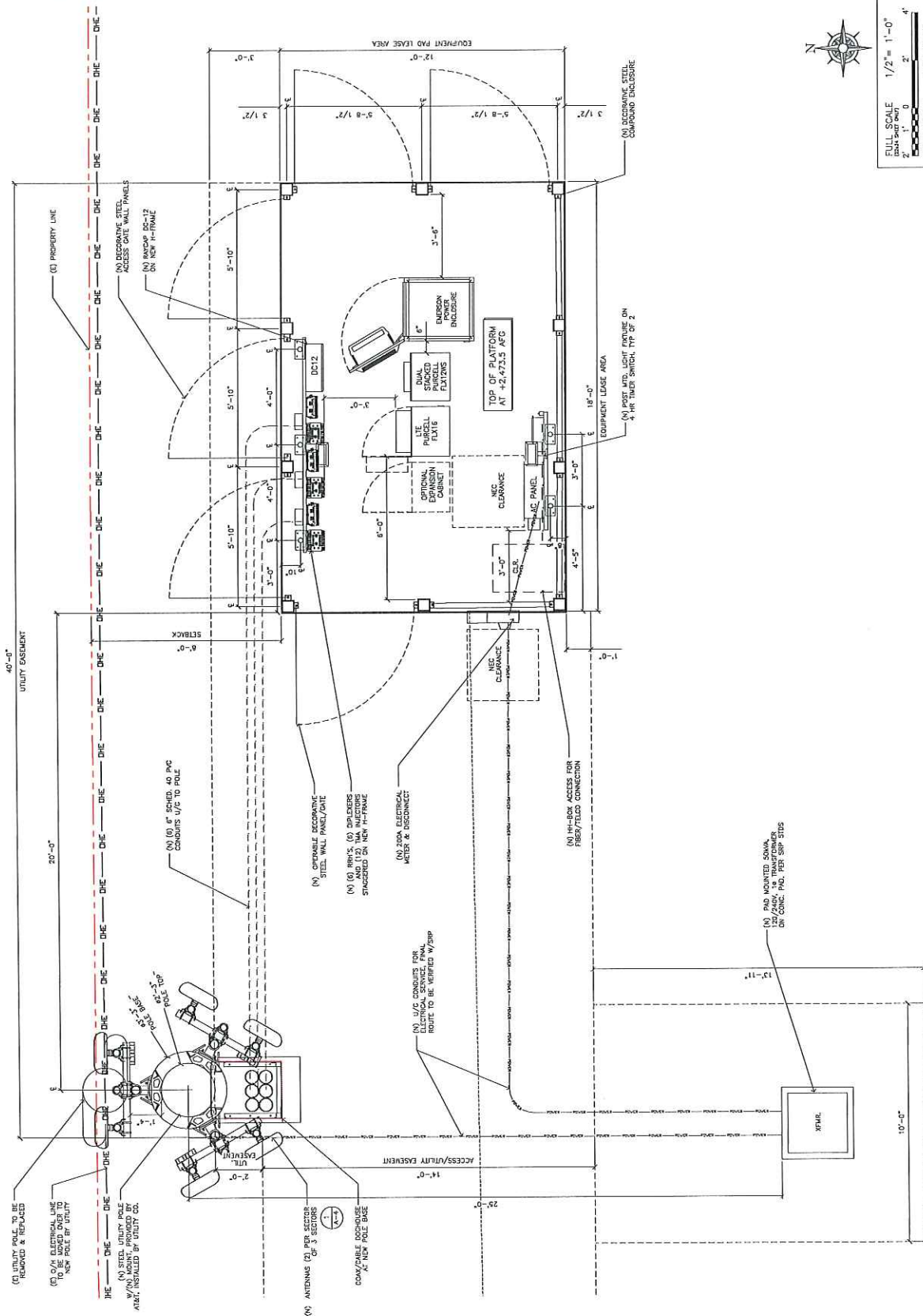
NO

HEET TITLE-

ENLARGED EQUIPMENT  
COMPOUND PLAN

SHEET NUMBER -

A-2



ENLARGED EQUIPMENT COMPOUND PLAN

SCALE: 1/2" = 1'-0"

Diagram illustrating the relationship between Full Scale and Half Scale for a 1' - 0" length.

**Full Scale:** 1' - 0" (2' - 0" only)

**Half Scale:** 1/4" = 1' - 0"



THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T WIRELESS ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED



**BECHTEL INFRASTRUCTURE  
AND POWER CORPORATION**  
2075 W Pinnacle Peak Rd, Suite 110  
Phoenix, AZ 85027  
Phone: (602) 282-3084



**Clear Blue**  
**Services**  
4814 S. 20TH ST.  
PHOENIX, AZ 85024 602-258-6622

PROJECT: NEW SITE BUILD  
SITE NO.: AZLO4814  
SITE NAME: SRP  
RIO VERDE-R.O.W.  
FA CODE: 14341433  
USID: 193321  
N.E. CORNER 136TH ST.  
& RIO VERDE RD.  
SCOTTSDALE, AZ 85262

	ZONING COMMENTS	S.D.	E.S.
8	09/27/18		
7	08/27/18	AQ POLE DIAMETER	E.S.
6	08/15/18	SPP & CLIENT CHANGES	E.S.
5	07/13/18	SPP & CLIENT CHANGES	TB
4	06/26/18	CLIENT RAMPAGE RIDE UPDATE	TB
3	06/11/18	CLIENT RAMPAGE QUEST UPDATE	TB
2	04/17/18	CLIENT RAMPAGE RIDE UPDATE	TB
1	03/19/18	CLIENT RAMPAGE INTERVALS	TB



PRELIMINARY UNCLASSIFIED

PRELIMINARY UNCLASSIFIED

6136-01-3 Subject

NC

## ELEVATIONS

**SHEET NUMBER -**

A-3





1355 W. UNIVERSITY DRIVE  
MESA, AZ 85201-5419

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED.



**BECHTEL INFRASTRUCTURE  
AND POWER CORPORATION**  
2075 W PINNACLE PEAK RD, SUITE 110  
PHOENIX, AZ 85027  
PHONE: (602) 282-3084



**Clear Blue**  
**Services**  
4814 E. 20TH ST.  
DENVER, CO 80202 (303) 733-0000

PROJECT: NEW SITE BUILD  
SITE NO.: AZL04814  
SITE NAME: SRP  
RIO VERDE-R.O.W.  
FA CODE: 14341433  
USID: 193321  
N.E. CORNER 136TH ST.  
& RIO VERDE RD.  
SCOTTSDALE, AZ 85262

ES	S.D	ZONING COMMENTS	ES	S.D
8	05/21/18		7	05/22/18
7	05/22/18	ADD POLE DIAMETER	6	05/15/18
6	05/15/18	SRP & CLIENT CHANGES	5	07/13/18
5	07/13/18	SRP & CLIENT CHANGES	4	09/26/18
4	09/26/18	CLIENT CHANGE PREDS UPDATE	3	09/14/18
3	09/14/18	CLIENT CHANGE PREDS UPDATE	2	04/17/18
2	04/17/18	CLIENT CHANGE PREDS UPDATE	1	03/19/18
1	03/19/18	CLIENT CHANGE ANTENNAS		



THIS DOCUMENT CONTAINS AN ELECTRONIC  
SIGNATURE PURSUANT TO A.S.S. TITLE 41  
AND TITLE 46. IT IS A VIOLATION FOR  
ANY PERSON, UNLESS UNDER THE DIRECT  
SUPERVISION OF THE REGISTAR, TO  
MODIFY THIS DOCUMENT IN ANY WAY.

PRELIMINARY UNLESS NOTED

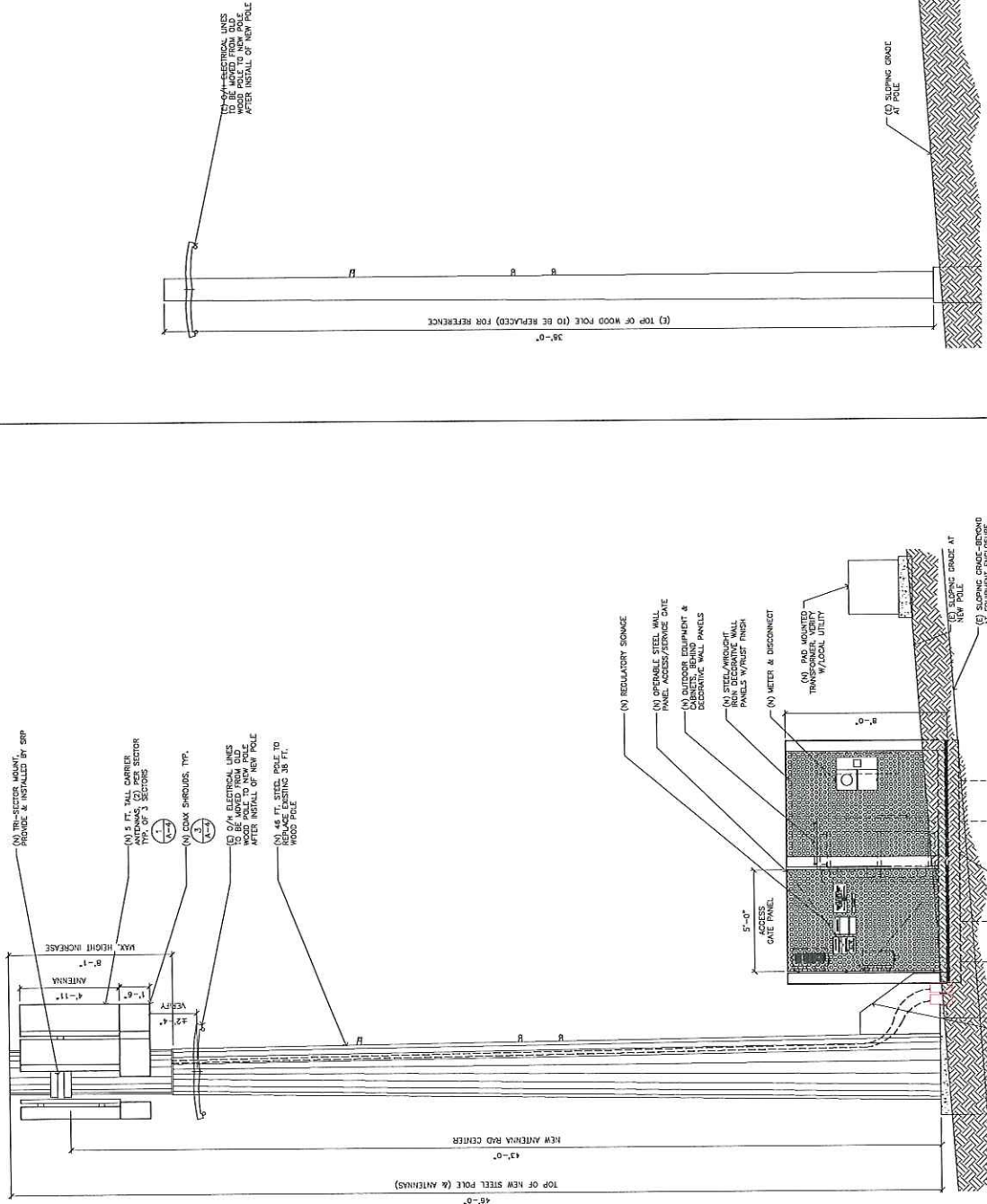
DATE 6-10-2019

-50N-

## ELEVATIONS

SHEET NUMBER

## A-3.1



FULL SCALE  
(220A 240T ONLY)  
3' 2' 1' 0' 1' 2' 3' 6"  
3/8" = 1'-0"

HALF SCALE  
3/16" = 1'-0"

SCALE: 3/8" = 1'-0"	1
---------------------	---

EXISTING WEST ELEVATION

SCALE: 3/8" = 1'-0"	2
---------------------	---

NEW WEST ELEVATION



1355 W. UNIVERSITY DRIVE  
MESA, AZ 85201-5419

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS  
IS PROPRIETARY & CONFIDENTIAL TO A.T.&T. UNLESS  
ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES



**BECHTEL INFRASTRUCTURE  
AND POWER CORPORATION**  
2075 W PINNACLE PEAK RD, SUITE 110  
PHOENIX, AZ 85027  
PHONE: (602) 282-3084



**Clear Blue**  
**Services**  
4814 E. 25TH ST.  
PHOENIX, AZ 85040 602-456-6528

PROJECT: NEW SITE BUILD  
SITE NO.: AZL04814  
SITE NAME: SRP  
RIO VERDE-R.O.W.  
FA CODE: 14341433  
USID: 193321  
N.E. CORNER 136TH ST.  
& RIO VERDE RD.  
SCOTTSDALE, AZ 85262

6	02/21/18	ZONING COMMODITY	SJD	EST
7	06/27/18	ACR POLE DIAMETER	SJD	EST
6	09/15/18	SRP & CLIENT CHANGES	SJD	EST
5	07/31/18	SRP & CLIENT CHANGES	SJD	TR
4	06/26/18	CLIENT CHANGE RPOS UPDATE	SJD	TR
3	06/14/18	CLIENT CHANGE RPOS UPDATE	SJD	TR
2	04/17/18	CLIENT CHANGE RPOS UPDATE	SJD	TR
1	02/19/18	CLIENT CHANGE ANTENNAS	SJD	TR



DPRIS 9-30-2019

[illegible]

## ANTENNA LAYOUT & DETAILS

## A-4

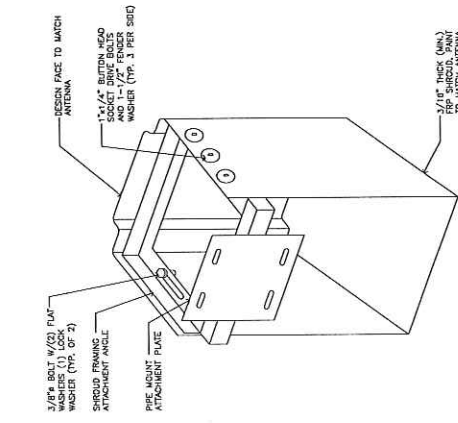
## NEW ANTENNA CONFIGURATION TABLE

POSITION (# of N/A)	1	2	3	4
ANTENNA	(N) KARENEN 85.818b (50°40'57.4E, 5°) 1.105FT CD-Ax	(N) KARENEN 85.818a (50°40'57.4E, 5°) 1.105FT CD-Ax		
FEEDER LENGTH	0'	0'		
RAD CENTER	43.0'	43.0'		
TECHNOLOGY	OTHER	LITE 1800, LITE 700		
TWA	N/A	(2) IMAPDIPRESVNC12A A852/165 320W (A/N/A) B12/714 320W (A/N/A) RRH1416 320W (A/LBA)		
RRH				
ANTENNA	(N) KARENEN 85.818a (50°40'57.4E, 5°) 1.105FT CD-Ax	(N) KARENEN 85.818b (50°40'57.4E, 5°) 1.105FT CD-Ax		
FEEDER LENGTH	120'	120'		
RAD CENTER	43.0'	43.0'		
TECHNOLOGY	OTHER	LITE 1800, LITE 700		
TWA	N/A	(2) IMAPDIPRESVNC12A A852/165 320W (A/N/A) B12/714 320W (A/N/A) RRH1416 320W (A/LBA)		
RRH				
FEEDER LENGTH	(N) KARENEN 85.818a (50°40'57.4E, 5°) 1.105FT CD-Ax	(N) KARENEN 85.818b (50°40'57.4E, 5°) 1.105FT CD-Ax		
RAD CENTER	43.0'	43.0'		
TECHNOLOGY	OTHER	LITE 1800, LITE 700		
TWA	N/A	(2) IMAPDIPRESVNC12A A852/165 320W (A/N/A) B12/714 320W (A/N/A) RRH1416 320W (A/LBA)		
RRH				
FEEDER LENGTH	(N) KARENEN 85.818a (50°40'57.4E, 5°) 1.105FT CD-Ax	(N) KARENEN 85.818b (50°40'57.4E, 5°) 1.105FT CD-Ax		
RAD CENTER	43.0'	43.0'		
TECHNOLOGY	OTHER	LITE 1800, LITE 700		
TWA	N/A	(2) IMAPDIPRESVNC12A A852/165 320W (A/N/A) B12/714 320W (A/N/A) RRH1416 320W (A/LBA)		
RRH				

NOTE: FOR AIRSCALE DUAL B25/D6 RRH'S UNUSED RF PORT CONNECTORS MUST HAVE A MIN. OF 2-WATT LOAD TERMINATOR INSTALLED WHICH ARE NOT PROVIDED WITH THE RADIO CEC'S, IF NEEDED, THEY MUST BE ORDERED SEPARATELY.

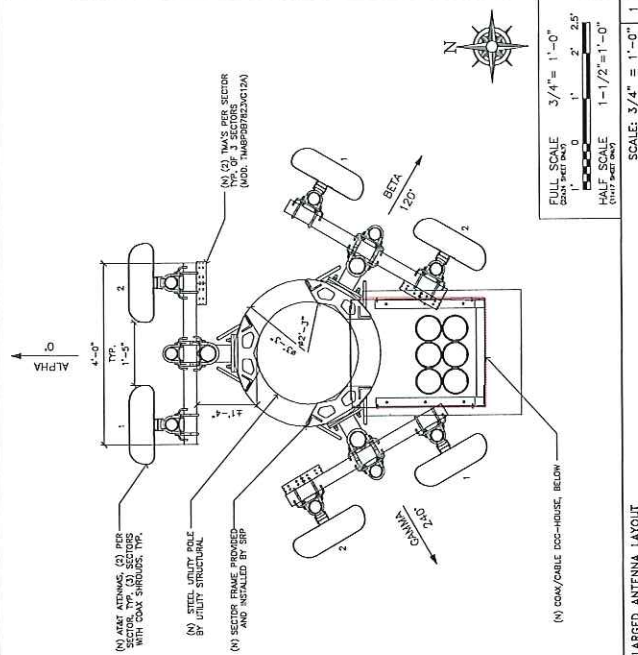
ANTENNA CONFIGURATION TABLE	
	N.T.S.
2	

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[illegible]

### ANTENNA CONFIGURATION TABLE

5	COAX SHROUD DETAIL	N.T.S.
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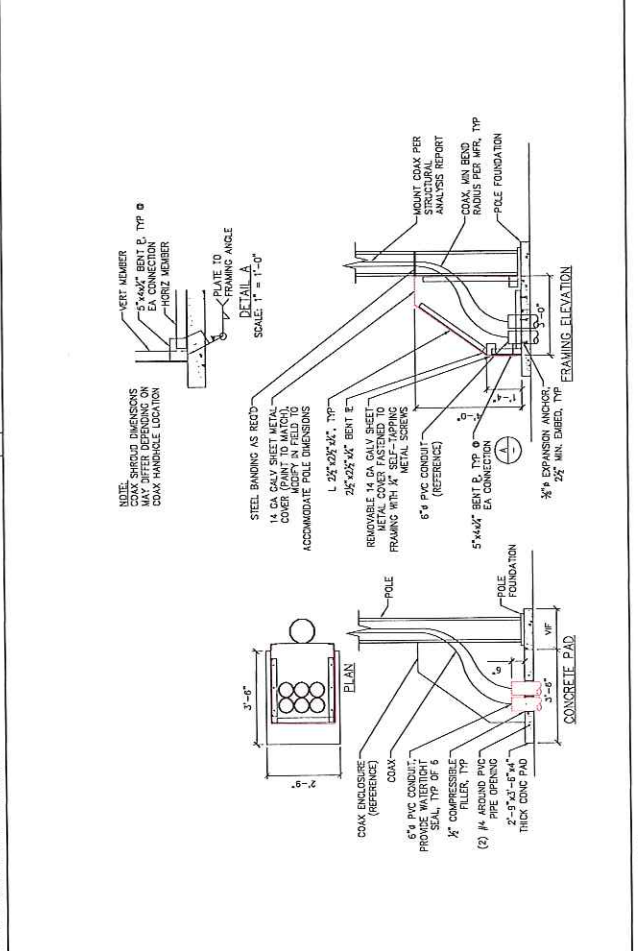


**FULL SCALE**  
3/4" = 1'-0"  
0 1' 2' 2.5'

**HALF SCALE**  
1-1/2" = 1'-0"

## LARGED ANTENNA LAYOUT

## N.T.S.



### DOG HOUSE DETAIL



Salt River Project  
Telecom Wireless  
Mail Station ISB198  
Phoenix, AZ 85072-2025

October 2, 2018

Reference: Notice for new AT&T wireless facility on utility pole

Dear Property Owner:

This letter is to inform you that Salt River Project "SRP", will be filing an application with the City of Scottsdale (Project Number 672-PA-2018) on behalf of AT&T to allow antennas attached to a utility pole. The wood pole will be replaced with a steel pole to support the equipment. The existing wood pole is located approximately 300 feet east of 136<sup>th</sup> Street on the north side of Rio Verde Drive in the City of Scottsdale's right-of-way.

The proposal is detailed in the drawings included for reference. The new pole is weathered steel and the collocated antennas and shrouds will be brown to match. AT&T's ground equipment will be concealed behind rustic steel solid screening. All equipment including SRP's pole is in the right-of-way.

If you have any questions or concerns regarding this project, please contact me directly at (602) 236-2844 or [matthew.ludick@srpnet.com](mailto:matthew.ludick@srpnet.com). You may also contact Keith Niederer with the City of Scottsdale Planning Department at (480) 312-7000 or [kniederer@scottsdaleaz.gov](mailto:kniederer@scottsdaleaz.gov). Please reference Project Number 672-PA-2018.

Respectfully,

Matthew Ludick  
SRP Telecom  
602-236-2844

## **Neighborhood Notification Report**

Notification of adjacent properties was completed per the checklist requirements by City of Scottsdale. A list of adjacent property owners was generated (please see attached list). A letter was mailed to the addresses on October 2, 2018 informing recipients about the proposed project with a brief description, site plan, and contact information for additional information and/or feedback. No comments or feedback has been received as of November 1, 2018.

Please see attached items to complete this Neighborhood Notification report:

- a map showing mailing area
- list of owners for mailing
- copy of letter and site plan mailed

POSTCARD DATE: NOVEMBER 20, 2018

## KEEPING YOU INFORMED



Dear Property Owner:  
Case Objective\*

• New wireless communication facility (WCF)  
This is to inform you of a request approval for a new wireless communication facility (WCF) co-located on top of a replacement utility pole within the public right-of-way along the north side of E. Rio Verde Drive east of N. 136th Street with associated screened ground mounted equipment.

### Site Location:

NE Corner of 136<sup>th</sup> Street & Rio Verde Drive

Applicant contact: Matthew Ludick, 602-236-2844  
City contact: Keith Niederer, 480-312-2953

### Case Name:

AT&T AZL04814 SRP Rio Verde R.O.W. - LTE

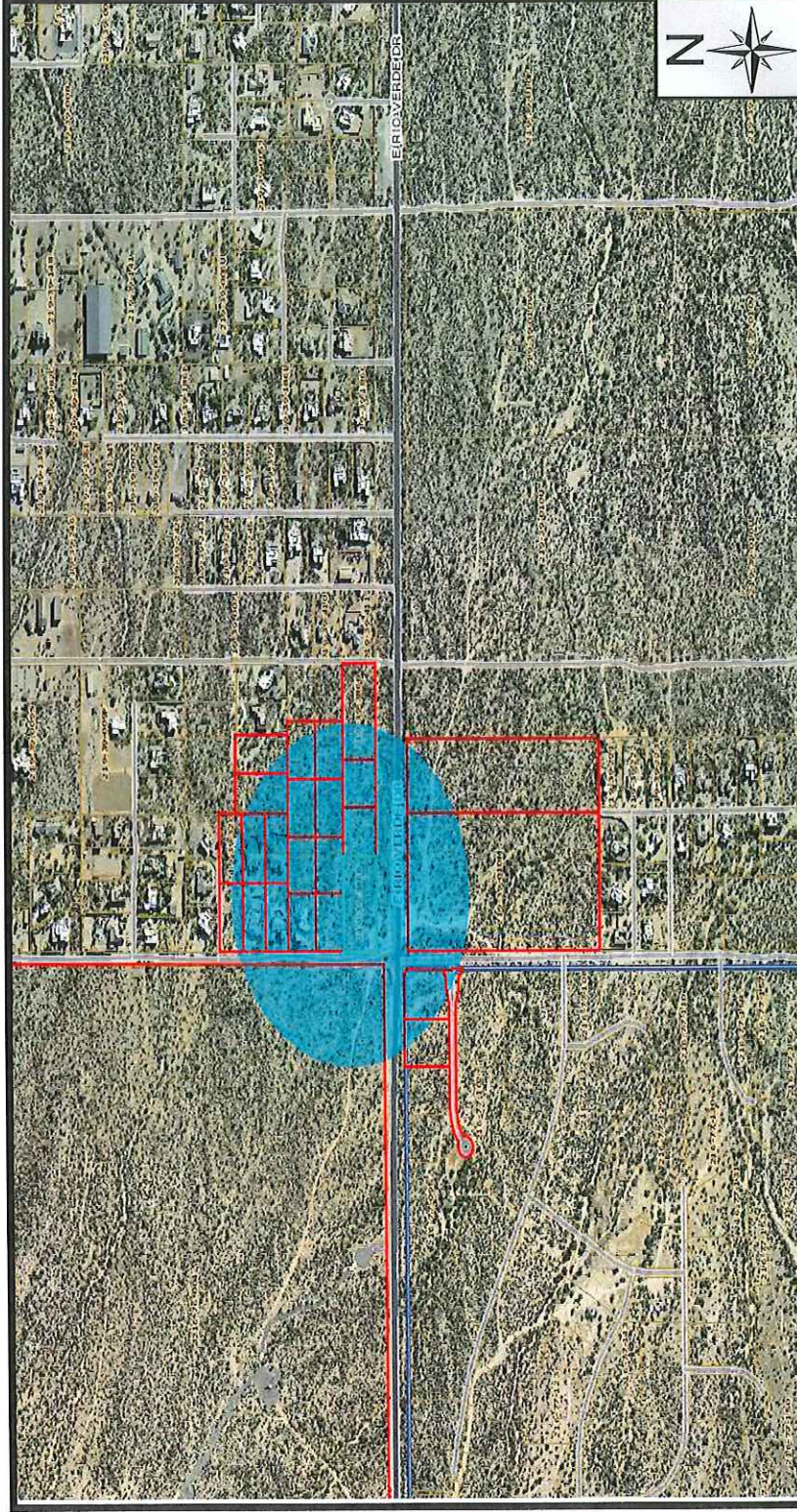
Case Number: 51-DR-2018

\*For more information enter case number at:

<https://eservices.scottsdaleaz.gov/bldgresources/Cases>  
or to comment, e-mail [projectinput@scottsdaleaz.gov](mailto:projectinput@scottsdaleaz.gov). The entire case file may be viewed at Current Planning, 7447 E Indian School Road, Suite 105

Scottsdale P & Z Link - An email bulletin to keep residents and merchants informed about upcoming projects.  
Subscribe at <https://eservices.scottsdaleaz.gov/listserve/default.asp>

# City Notifications – Mailing List Selection Map



## Map Legend:

Site Boundary

Properties within 750-foot

Postcards: 95

51-DR-2018

Pulled Labels

November 06, 2018

## Additional Notifications:

Interested Parties List

Adjacent HOA's

P&Z E-Newsletter

Facebook

Twitter

Nextdoor.com

City Website-Projects in the hearing process