

**CITY OF SCOTTSDALE**

- 42. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
  - 43. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, ON TO AN ADJACENT LOT, OR TRACT OF LAND. (ZO SEC. 6.1100.B.1.; AND DS&PM 2-2.501.D.4.C.)
  - 44. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP. ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAN.
  - 45. A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT. (ZO SEC. 5.012.A.6.C. AND SEC. 5.102.A.6.C.)
  - 46. A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING. (ZO SEC. 5.012.A.6.B. AND SEC. 5.102.A.6.B.)
  - 47. EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 6 AS INDICATED IN THE MUNSSEL BOOK OF COLOR ON FILE IN THE CITY OF SCOTTSDALE'S PLANNING & DEVELOPMENT DEPARTMENT. THE CITY MAY REQUIRE COLOR SAMPLES TO VERIFY COMPLIANCE. (ZO SEC. 6.1070.G.1.H.)
  - 48. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH THE SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST. (ZO SEC. 6.1070.G.1.C.)
  - 49. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS. (ZO SEC. 6.1070.G.1.D.)
  - 50. PLANT MATERIALS NOT INDIGENOUS TO THE ESL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE FROM A LOWER ELEVATION. (ZO SEC. 6.1070.G.1.I-J.)
  - 51. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED. (DS&PM 2-2.501.A.2.)
  - 52. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNTARNISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A MATTE OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY. (ZO SEC. 6.1070.G.1.B.)
  - 53. MIRRORING SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORING SURFACE ARE PROHIBITED. (ZO SEC. 6.1070.G.1.A.)
  - 54. THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND IN SCALE, FORM AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT DEPARTMENT. (ZO SEC. 6.1070.G.1.E.)
  - 55. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE. (ZO SEC. 6.1070.G.1.L.)
  - 56. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS. (ZO SEC. 6.1060.A.3-4 AND SEC. 6.1100.B.1.)
  - 57. ALL EXTERIOR LIGHTING BELOW 3 FEET IN HEIGHT SHALL BE FULLY SHIELDED. ALL EXTERIOR LIGHTING ABOVE 3 FEET IN HEIGHT SHALL CONSIST OF HORIZONTAL FULL-CUT OFF FIXTURES AND DIRECTED DOWNWARD, EXCEPT LIGHTS UTILIZED FOR SECURITY PURPOSES. (ZO SEC. 6.1070.G.1.F.)
  - 58. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENTS IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF). (ZO SEC. 6.1070.G.1.F.)
  - 59. WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SURFACE SHALL BE A VIEW FENCE. (DS&PM 2-2.501.B.2.B.)
  - 60. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL. (ZO SEC. 7.700 AND SEC. 6.1071.A.6. AND DS&PM 1-1.407)
  - 61. IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DEFINED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN. (ZO SEC. 6.1070.A.5)
  - 62. NO PAINT COLOR OR SURFACE TREATMENT SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35%. (ZO SEC. 6.1070.G.1.G.&K)
- PROPERTIES THAT ARE EXEMPT FROM THE ESL AREAS IN ACCORDANCE WITH THE 2004 AMENDMENT TO THE ESL OVERLAY (ESL EXEMPTIONS SCHEDULE SEC. 6.1022.B.) SHALL REPLACE # 62 AND # 63 WITH #64 AND #65 RESPECTIVELY.
- 63. A REGISTERED SURVEYOR SHALL STAKE AND ROPE OR FENCE THE NAOS EASEMENT IN ACCORDANCE WITH THE SITE PLAN AND THE EASEMENT LEGAL DESCRIPTION.
  - 64. NO PAINT COLORS SHALL BE USED WHICH HAVE A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 40%.
  - 65. SITE WALLS MUST BE SETBACK 15 FEET FROM SIDE AND REAR PROPERTY LINES. THIS APPLIES ONLY TO RESIDENTIAL PARCELS CONTAINING AN AREA OF 35,000 SQ FT OR LARGER. (SEC. 6.1071.A.4.)
  - 66. WASHES OF 50 CFS OR GREATER FLOW SHALL BE IDENTIFIED AND WATERCOURSE(S) SHALL BE UNALTERED. IF WATERCOURSE(S) ARE ALTERED, PROVIDE A COPY OF THE WASH MODIFICATION APPROVAL LETTER AND REFERENCE THE CASE NUMBER ON THE SITE PLAN. (ZO SEC. 6.1070.G.1.L. AND 6.1091.A.4.B.)
  - 67. APPLICATIONS THAT HAVE RECEIVED A HARDSHIP EXEMPTION SHALL PROVIDE THE CASE NUMBER ON THE SITE PLAN. (ZO SEC. 6.1022.D)
  - 68. SITE WALLS SHALL NOT BE PROVIDED IN NAOS AREAS OR DISRUPT THE CONTINUITY OF NAOS CORRIDORS. (ZO SEC. 6.1071.A.2.A.)
  - 69. IDENTIFY THE SPECIFIC LOCATION OF THE CONSTRUCTION ENVELOPE ON SITE PLAN. THE CONSTRUCTION ENVELOPE CONSISTS OF AN AREA ENCLOSED BY A LINE EXTENDING 15 FEET OUT FROM ALL DISTURBANCES ON LOT. (ZO SEC. 6.1071.A.6. AND SEC. 6.1070.A.3, FIGURE 6.1070.B)

# CIVIL GRADING & DRAINAGE PLAN

## LOT 6 OF EAGLE RIDGE AT FOUNTAIN HILLS

RECORDED IN BOOK 569 OF MAPS, PAGE 11, M.C.R.  
SCOTTSDALE,  
MARICOPA COUNTY, ARIZONA.

**NOTES:**

IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.

THIS SITE PLAN IS NOT A BOUNDARY SURVEY.

BEARINGS AND DISTANCES ARE RECORD PER PLAT UNLESS OTHERWISE NOTED.

ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUE STAKE AT 602-263-1100.

ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.

THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.

ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.

TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).

ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.

ALL STORM DRAINAGE FACILITIES, INCLUDING WASHES, THAT EXIST PRIOR TO CONSTRUCTION MUST REMAIN OPEN AND FUNCTIONAL WITHOUT DIMINISHED CAPACITY FOR THE DURATION OF CONSTRUCTION AND UNTIL FINAL DRAINAGE FEATURES ARE COMPLETED.

HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.

ANY PROPOSED PIPES ON THIS PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

**LEGEND:**

- A/C AIR CONDITIONING EQUIPMENT
- BAR BARREL CACTUS
- BLDR BOULDER
- BJ BOULDER JUMBLE
- BSL BUILDING SETBACK LINE
- CATV CABLE TELEVISION
- CC CAT CLAW
- CFR CHAIN FRUIT CHOLLA
- CFS CUBIC FEET PER SECOND
- CT CRUCIFIXION THORN
- (C) DENOTES CALCULATED
- (M) DENOTES MEASURED
- (R) DENOTES RECORDED
- ← DIRECTION OF DRAINAGE
- DE DRAINAGE EASEMENT
- EDA EDGE OF DISTURBED AREA
- E/P EDGE OF PAVEMENT
- (EXIST) ELECTRIC
- ELEC. ELECTRIC
- 00 EXISTING CONTOUR
- (00.0) EXISTING ELEVATION
- (EXIST) EXISTING FIRE HYDRANT
- FND FOUND
- ◇ FOUND BUILDING ENVELOPE STAKE
- ◇ FOUND MONUMENT
- ◇ GENERAL PURPOSE EASEMENT
- ◇ IRONWOOD
- ◇ IRRIGATION CONTROL VALVE
- ◇ L.F. LOWEST FINISHED FLOOR
- ◇ MCR MARICOPA COUNTY RECORDS
- ◇ MESQ MESQUITE
- ◇ OCO OCOTILLO
- ◇ PV PALO VERDE
- ◇ POWER LINES
- ◇ PROPOSED CONTOUR
- ◇ PROPOSED ELEVATION
- ◇ PUBLIC UTILITIES EASEMENT
- ◇ RECORD MONUMENT
- ◇ ROCK OUTCROP
- ◇ SAGUARO CACTUS
- ◇ TELEPHONE RISER
- T/B/C TOP BACK OF CURB
- TF TOP OF FOOTING
- TR TOP OF RAIL
- TW TOP OF WALL
- TOF TOP OF FENCE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- ⊕ WALL OPENING FOR DRAINAGE (8"x16")
- WATER METER BOX
- WMS WATER METER BOX WITH SERVICE
- WV WATER VALVE

DETAIL #  
SHEET #

**SCOTTSDALE FIRE DEPARTMENT ACCESS REQUIREMENTS:**

ACCESS GRADES FROM 0% TO 12% FOR SINGLE FAMILY RESIDENCE						
DRIVE LENGTH	DRIVE WIDTH	DRIVE SURFACE	TURN-A-ROUND REQUIRED	HOSE LAY	SPRINKLER REQUIREMENTS MOD-13D	ATTIC PILOT HEADS & PATIO SPRINKLERS
LESS THAN 200 FEET	12	AW	NO	< 200 FEET	YES	NO

**FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:**

COMMUNITY NUMBER	PANEL NUMBER AND DATE	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEV (IN AO ZONE, USE DEPTH)
045012	1785 (10/16/13)	L	(11/4/15)	D	N/A

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100 YEAR STORM, AND ARE IN ACCORDANCE SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

**POOL ENCLOSURES:**

AN ABOVE GROUND SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVEGROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE PROVIDED WITH A BARRIER MEETING THE REQUIREMENTS OF SCOTTSDALE ORDINANCE #3096 ADOPTED BY THE SCOTTSDALE CITY COUNCIL ON MARCH 18, 1998. POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE PERMIT.

**GUEST HOUSE NOTE:**

GUEST HOUSE WILL NOT PROVIDE COOKING FACILITIES & WILL NEVER BE OFFERED FOR RENT.

**PLANT SALVAGE NOTE:**

ON-SITE PLANT SALVAGE INFORMATION SHOWN HEREON IS FOR CITY OF SCOTTSDALE PLAN APPROVAL PURPOSES ONLY. ENGINEER ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGE ABILITY, REMOVAL AND/OR RELOCATION OF ON-SITE PLANT MATERIALS. CONTACT SALVAGE CONTRACTOR FOR MORE INFORMATION.

**UTILITIES NOTE:**

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ (602) 263-1100.

**LOT DATA:**

AREA= 38,452 S.F. / 0.8827 AC ±  
SLOPE= PRE-ENGINEERED  
NAOS REQUIRED= NO ON-SITE NAOS REQUIRED  
NAOS PROVIDED= N/A  
LANDFORM= UPPER-DESERT / HILLSIDE

**WALL INFO:**

RETAINING WALLS= 491 LF.  
NON-RETAINING WALLS= 63 LF.

WALL LENGTHS SHOWN ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR/OWNER IS RESPONSIBLE FOR VERIFYING ACCURACY OF THE WALL QUANTITIES AS SHOWN, REFER TO ARCHITECTURAL DRAWINGS SHEET 4A FOR SITE RETAINING WALL DETAILS.

**BENCHMARK:**

GLO BRASS CAP, MARKED 1919, ALONG POWER LINE NEAR OLD FOUNDATION AND CHIMNEY, UP 1.75'.  
ELEV=2044.21 (NAV088)

**T.B.M.:**

BRASS CAP FLUSH AT POINT OF CURVATURE ON THE MONUMENT LINE OF CLOUD CREST TRAIL IN FRONT OF LOT 6  
ELEV=2082.79 (NAV088)

**BENCHMARK CERTIFICATION:**

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON NAVD 1988 AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA

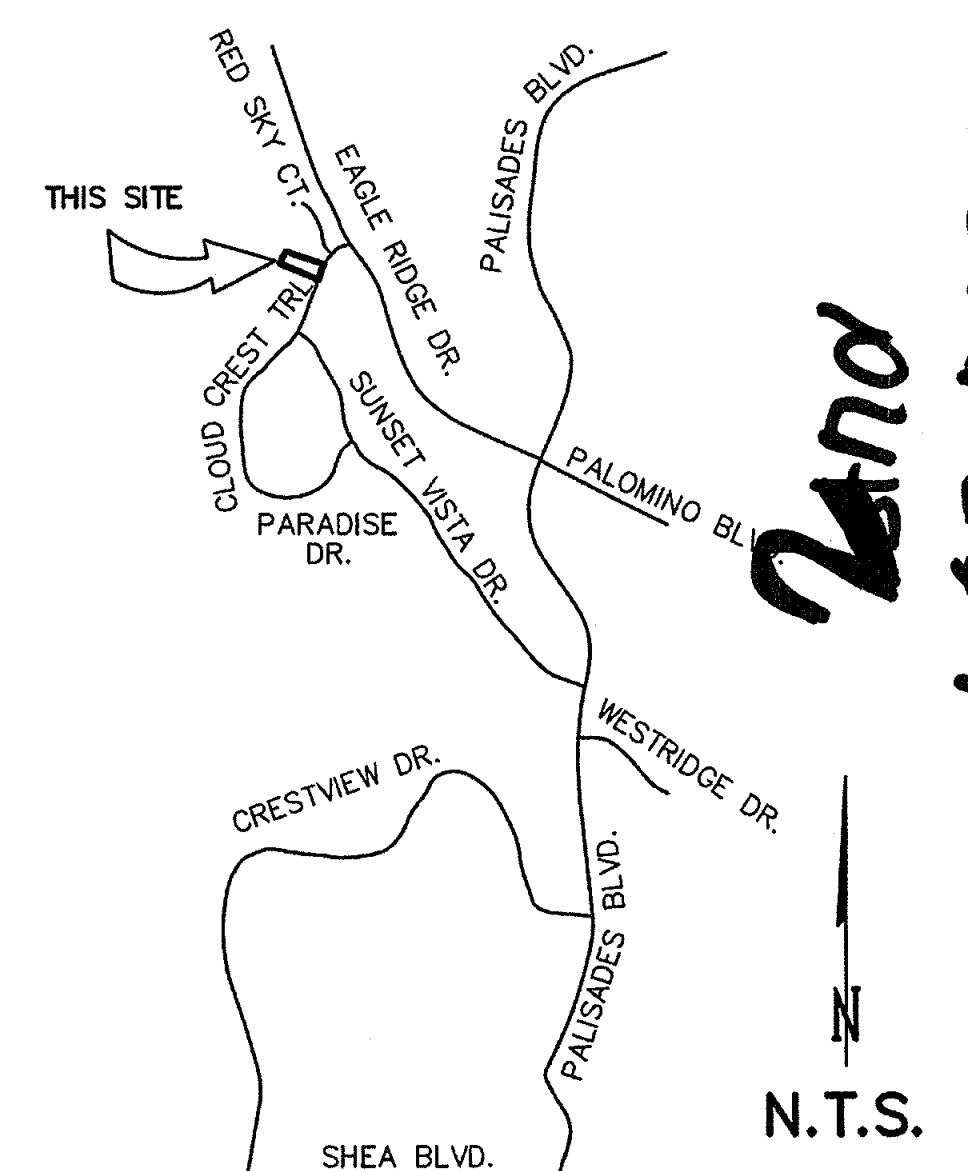
**SITE PLAN**

**APPROVED**

BY CITY OF SCOTTSDALE PLAN REVIEW DEPARTMENT.

7959-19 GA 2/13/2020  
PLAN CHECK NO. STAFF INITIALS DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL



**VICINITY MAP**

**SITE ADDRESS:**

12416 N. CLOUD CREST TRAIL  
SCOTTSDALE, AZ 85268

**ASSESSORS PCL. NO.:**

176-14-481

**ZONING:**

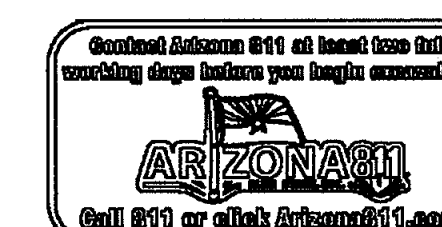
R1-7 ESL

**C.O.S. QUARTER SECTION NO.:**

31-63

**DATE:**

PHASE 1	03-07-05	JHN
PHASE 2	11-07-19	PS
COS	01-06-20	PS



**GRAHAM SURVEYING & ENGINEERING,**

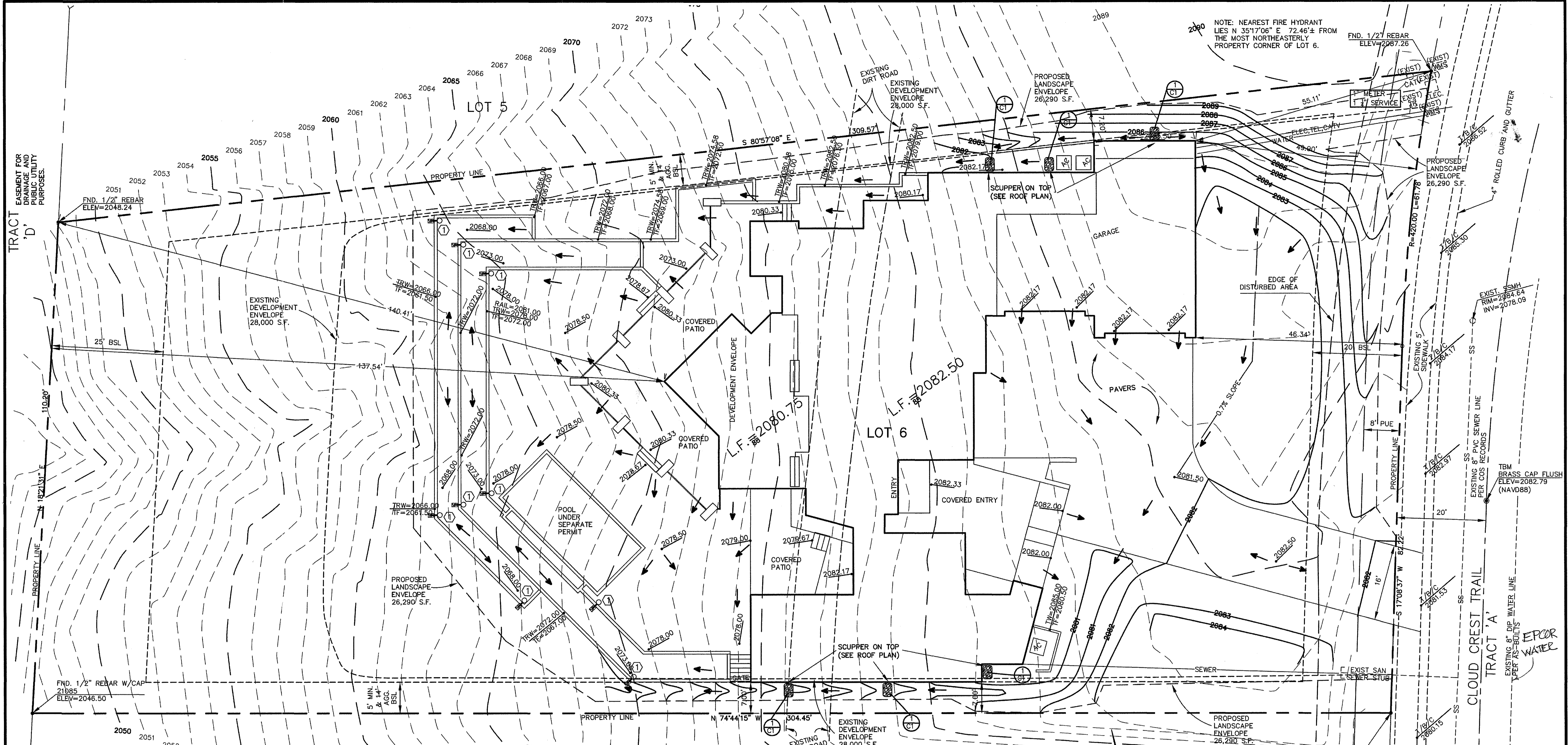
Civil Engineers & Land Surveyor  
P.O. BOX 1240, Carefree, Arizona 8537  
(480) 488-4393

LOT 6 EAGLE RIDGE AT FOUNTAIN HILLS, SHT. 1 OF 2, #18-19

PLANNING DRAINAGE ENGINEERING

2nd 1.23.2020

7959-19 2/13/2020



NOTE: NEAREST FIRE HYDRANT LIES N 35°17'06" E 72.46± FROM THE MOST NORTHEASTERLY PROPERTY CORNER OF LOT 6.  
 FND. 1/2" REBAR ELEV=2087.26

TRACT 'D'  
 EASEMENT FOR GAS AND PUBLIC UTILITY PURPOSES.

FND. 1/2" REBAR W/CAP 21085 ELEV=2046.50

**BENCHMARK:**  
 GLO BRASS CAP, MARKED 1919, ALONG POWER LINE NEAR OLD FOUNDATION AND CHIMNEY, UP 1.75'. ELEV=2044.21 (NAVD88)

**T.B.M.:**  
 BRASS CAP FLUSH AT POINT OF CURVATURE ON THE MONUMENT LINE OF CLOUD CREST TRAIL IN FRONT OF LOT 6 ELEV=2082.79 (NAVD88)

**WATERPROOF NOTE:**  
 WATERPROOF WALL TO 1.5" MINIMUM ABOVE OUTSIDE FINISHED GRADE. WALL TO BE SOLID GROUT C.M.U. WITH WATERPROOF COATING AGAINST SOIL.

THE HEIGHT OF THE SCREEN WALL AND SOLID GATE AROUND THE TRASH AND UTILITY ENCLOSURE SHALL BE A MINIMUM OF 12" TALLER THAN THE HEIGHT OF THE TRASH CANS; AND A MINIMUM OF 4" HIGHER THAN THE HIGHEST POINT OF THE SES OR ELECTRICAL PANEL

FIRE LANE SURFACE SHALL BE DESIGNED FOR 83,000 LB. GROSS VEHICLE WEIGHT

THE PAD ELEVATIONS OF ALL A/C AND/OR ELECTRO-MECHANICAL UNITS WILL BE SET REASONABLY HIGHER THAN THE ADJACENT GRADES TO PROVIDE FLOOD PROTECTION UNDER THE 100-YR STORM EVENT

LOT 7

SITE PLAN  
**APPROVED**  
 BY CITY OF SCOTTSDALE PLAN REVIEW DEPARTMENT

995949 GA 4/8/20  
 PLAN CHECK NO. STAFF INITIALS DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL

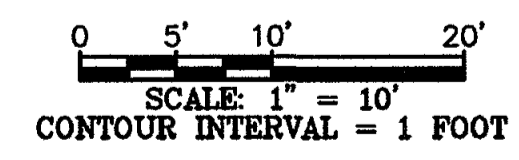
**ENGINEERS CERTIFICATION:**  
 THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



**CONSTRUCTION NOTES:**

- ① LANDSCAPE ATRIUM GRATE DRAIN PER DETAIL 2 ON SHEET C1.

\* NOTE: A WASTEWATER EJECTION PUMP MAY BE REQUIRED DUE TO VERY MINIMAL FALL FROM FINISHED FLOOR ELEV. TO EXISTING SANITARY SEWER FLOWLINES \*



**DATE:**

PHASE 1	03-07-05	JHN
PHASE 2	11-07-19	PS
COS	01-06-20	PS

**GRAHAM SURVEYING & ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 P.O. BOX 1240, Carefree, Arizona 85377  
 (480) 488-4393

LOT 6 EAGLE RIDGE AT FOUNTAIN HILLS, SHT. 2 OF 2, JOB #18-195P20

PLAN CHK # 7959-19

C2



NOTE: NEAREST FIRE HYDRANT LIES N 35°17'06" E 72.46± FROM THE MOST NORTHEASTERLY PROPERTY CORNER OF LOT 6.  
 FND. 1/2" REBAR ELEV=2087.26

EASEMENT FOR DRAINAGE AND PUBLIC UTILITY PURPOSES.

FND. 1/2" REBAR W/CAP 21085 ELEV=2046.50

**BENCHMARK:**  
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**T.B.M.:**  
 BRASS CAP FLUSH AT POINT OF CURVATURE ON THE MONUMENT LINE OF CLOUD CREST TRAIL IN FRONT OF LOT 6 ELEV=2082.79 (NAVD88)

LOT 7

**CUT & FILL:**

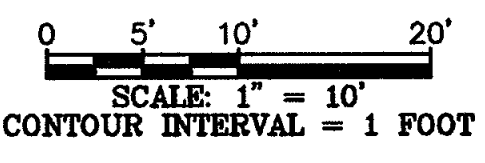
CUT 1030 C.Y.  
 FILL 3019 C.Y.  
 NET FILL 1989 C.Y.

Note: Quantities shown are approximate only. Engineer makes no guarantee as to the accuracy of the quantities shown herein. Contractor shall verify quantities independently prior to bidding. Quantities do not include compaction, ground scarification, shrink or swell factors.

**CONSTRUCTION NOTES:**

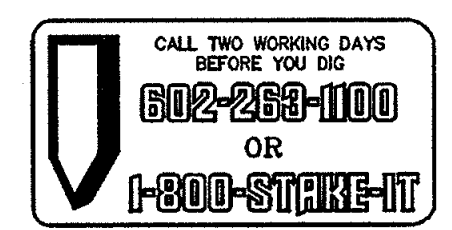
② LANDSCAPE ATRIUM GRATE DRAIN PER DETAIL 1 ON SHEET C1.

\* NOTE: A WASTEWATER EJECTION PUMP MAY BE REQUIRED DUE TO VERY MINIMAL FALL FROM FINISHED FLOOR ELEV. TO EXISTING SANITARY SEWER FLOWLINES \*



**DATE:**

PHASE 1	03-07-05	JHN
PHASE 2	03-04-19	PS



**GRAHAM SURVEYING & ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 P.O. BOX 1240, Carefree, Arizona 85377  
 (480) 488-4393

LOT 6 EAGLE RIDGE AT FOUNTAIN HILLS, SHT. 1 OF 1, JOB #18-195P20

PLAN CHK# 19

# NATIVE PLANT INVENTORY PLAN



**NATIVE PLANT INVENTORY**  
TREE RELOCATORS, INC.  
6502 N. 81st Place Scottsdale, AZ 85250  
Office: 480-947-6118  
Neil: 480-379-9986  
Fax: 480-947-6124  
tree@treerelocators.com

To: Planning Department  
City of Scottsdale

Date: 2-26-2019

ORDERED BY: JAW

Subject: Picasso Homes  
12416 N. Cloud Crest Trail  
Lot# 6 Eagle Ridge

Tag Colors: Red - Salvage  
Blue - Unsalvageable  
White - Remain in Place

Remarks: Those listed over the native plants on site at the described location. Those determined that

#	Tree	Condition	Disposition	Notes
1	8" Ironwood	Good	Remain in Place	
2	8" Palo Verde	Fair	Remain in Place	
3	10" Ironwood	Fair	Unsalvageable	Hair Net
4	10" Mesquite	Poor	Remain in Place	
5	10" Palo Verde	Poor	Unsalvageable	Borer
6	8" Palo Verde	Poor	Unsalvageable	Trunk Disease
7	8" Ironwood	Poor	Unsalvageable	Die Back
8	10" Ocotillo	Good	Salvageable	
9	3" Barrel	Fair	Unsalvageable	Roll Over
10	8" Ironwood	Fair	Unsalvageable	Hair Net
11	9" Palo Verde	Good	Salvageable	
12	8" Barrel	Good	Salvageable	
13	3" Barrel	Good	Salvageable	
14	10" Ironwood	Fair	Unsalvageable	Angled Trunk
15	12" Ocotillo	Fair	Unsalvageable	Disease
16	12" Ocotillo	Good	Salvageable	
17	32" L.F. Saguaro	Good	Salvageable	1
18	3" Barrel	Good	Salvageable	
19	7" Ocotillo	Good	Salvageable	
20	5" Barrel	Good	Salvageable	
21	12" Palo Verde	Fair	Unsalvageable	Split Trunk
22	9" Ironwood	Poor	Unsalvageable	Structure
23	10" Ironwood	Good	Remain in Place	
24	28" L.F. Saguaro	Poor	Unsalvageable	5
25	7" Ironwood	Fair	Unsalvageable	Die Back
26	3" Barrel	Good	Salvageable	
27	8" Palo Verde	Poor	Remain in Place	
28	9" Palo Verde	Poor	Remain in Place	
29	3" Barrel	Good	Remain in Place	
30	3" Barrel	Fair	Remain in Place	
31	3" Barrel	Good	Remain in Place	
32	8" Palo Verde	Fair	Remain in Place	
33	11" Palo Verde	Poor	Remain in Place	

**NATIVE PLANT INVENTORY**  
TREE RELOCATORS, INC.

#	Tree	Condition	Disposition	Notes
34	7" Palo Verde	Poor	Remain in Place	
35	3" Barrel	Good	Remain in Place	
36	3" Ironwood	Fair	Remain in Place	
37	3.5" Barrel	Good	Remain in Place	
38	3" Barrel	Good	Remain in Place	
39	7" Palo Verde	Poor	Remain in Place	
40	11" Ironwood	Fair	Unsalvageable	Multiple Trunks
41	3" Ironwood	Fair	Unsalvageable	Multiple Trunks
42	40" L.F. Saguaro	Fair	Unsalvageable	9
43	16" Palo Verde	Poor	Unsalvageable	Trunk Disease
44	8" Palo Verde	Poor	Unsalvageable	Structure
45	9" Ironwood	Good	Salvageable	
46	12" Ocotillo	Good	Salvageable	

L.F. - Linear Foot

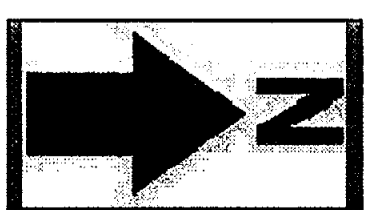
**Native Plant Summary**

Plant Totals	Tree	Cost
Remain in Place	11	42% 6 30%
Salvage	2	8% 10 50%
Destroy	13	50% 4 20%
<b>Total</b>	<b>26</b>	<b>20</b>

**LOT# 6 Eagle Ridge**  
**12416 N. Cloud Crest Trail Scottsdale, AZ**

APPROVED  
NATIVE PLANT  
D.S. 2-10-2019  
DATE

# Indicates Existing Native Plant



\* "See ReVeg Plan or Landscape Plan (done by others) for Final Locations of Relocated Salvage Plants"

**PLANT SALVAGE CONTRACTOR:**  
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