



Simulations

Photos

All Graphics (no plans)

Color Boards

Color Drawdowns

Exterior Building Color

Material Samples



RAINTREE - RESIDENTIAL | EXISTING CONDITIONS

DECEMBER 2019



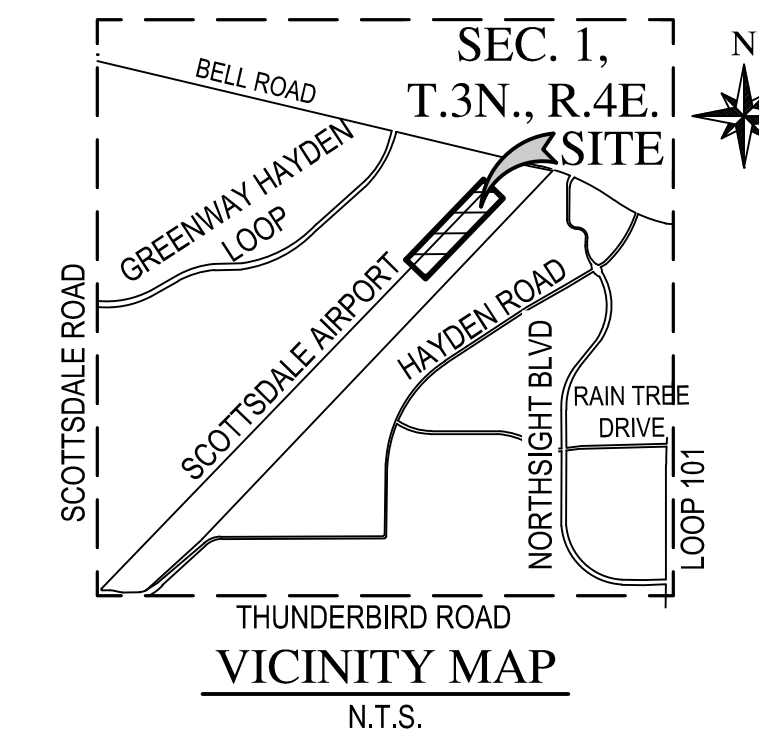
19-ZN-2019
12/13/2019

ENGINEER'S NOTES:

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (602-263-1100) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL BE AWARE THAT CERTAIN UTILITIES REQUIRE PROPER ATTENTION AND CAREFUL PLANNING DURING SITE CONSTRUCTION. PLEASE NOTE THAT UTILITIES ON THESE PLANS MAY NOT EXHIBIT THE FULL PROTECTIVE COVER REQUIRED DURING THE SUBGRADE PREPARATION PHASE OF THE CONSTRUCTION. IN SUCH INSTANCES, THE CONTRACTOR SHALL PROVIDE ADDITIONAL PROTECTION (SUCH AS RAMPING) OR INCREASED PIPE STRENGTH TO PROVIDE THE NECESSARY PROTECTION REQUIRED TO PREVENT DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL HOLD THE ENGINEER HARMLESS IN ALL CASES FOR DAMAGES TO UTILITIES WHERE INADEQUATE PROTECTIVE MEASURES OCCUR.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECT'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS AN ESSENTIAL PART OF THIS CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT BEING ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN TWO FEET DEEP AND NOT ALLOW COMPACTION OVER 80%.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- SEWER LINES DESIGNED IN PROFILE AND PUBLIC WATER LINES ARE REQUIRED TO BE AS-BUILT AND THE INSTALLATION AND TESTING WITNESSED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODES R18-9-E301 "4.01 GENERAL PERMIT: SEWAGE COLLECTIONS SYSTEMS" AND R18-5-507 AND 508 "APPROVAL OF CONSTRUCTION" AND "RECORD DRAWINGS", RESPECTIVELY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNER 72 HOURS IN ADVANCE WHEN THOSE SYSTEMS ARE READY TO BE WITNESSED.
- THE WORK PRODUCT PRESENTED IS BELIEVED TO BE COMPLIANT WITH THE INTENT OF THE CURRENT AMERICANS DISABILITIES ACT (ADA) REQUIREMENTS AS INTERPRETED BY THE REVIEWING AGENCY(S). IF CONSTRUCTION OF THE PROJECT IS DELAYED, THIS WORK PRODUCT SHOULD BE UPDATED TO ACCOUNT FOR ANY RELEVANT ADA UPDATES BEFORE CONSTRUCTION BEGINS.
- LOWEST FLOOR (LF) REFERS TO EITHER FLOOR/SLAB ELEVATION OR TOP OF BASEMENT SLAB. LF ELEVATIONS ON THE GRADING AND DRAINAGE PLANS FOR RESIDENTIAL UNITS REFLECT SLAB ON GRADE CONDITIONS AND CANNOT BE LOWERED WITHOUT AGENCY APPROVAL IN LOCATIONS WHERE 'SPECIAL FLOOD HAZARD AREAS' EXIST. IN NON-FLOOD HAZARD LOCATIONS, TO ENSURE THAT ADEQUATE RESIDENTIAL LOT DRAINAGE CAN BE ACHIEVED, A PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF THE LF FOR THE SLAB IS PROPOSED TO BE LOWERED, OR IF A BASEMENT IS TO BE CONSTRUCTED.
- THE PROJECT HAS A SECTION 404 PERMIT WHICH IDENTIFIES THE AMOUNT OF ACCEPTABLE DISTURBANCE OF WASHES DESIGNATED AS "WATERS OF THE U.S." CONTRACTOR IS TO ADHERE TO THE SECTION 404 PERMIT WHILE COMPLETING ALL CONSTRUCTION ACTIVITIES. SEE "PRELIMINARY JURISDICTIONAL DELINEATION REPORT FOR SCOTTSDALE NATIONAL GOLF CLUB" BY LOGAN SIMPSON DESIGN, DATED MARCH, 2015.

NORTH GENERAL AVIATION HANGARS WATER AND SEWER PLAN IMPROVEMENT PLAN

A PORTION OF SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH,
RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN
MARICOPA COUNTY, SCOTTSDALE, ARIZONA



CITY OF SCOTTSDALE GENERAL NOTES:

GENERAL CONSTRUCTION NOTES FOR PUBLIC WORKS CONSTRUCTION

- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING (480)312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.

UTILITY NOTES

- THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES FOR APPROVAL WITHIN THEIR AREA OF INTEREST. THE SIZE AND LOCATIONS, AS SHOWN, OF THE GAS, TELEPHONE AND POWER LINES, AND CONNECTIONS AGREE WITH THE FURNISHED INFORMATION CONTAINED IN THE UTILITY COMPANY'S RECORDS. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.
- THE CITY OF SCOTTSDALE WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
- ALL EXISTING OVERHEAD UTILITY LINES ARE TO BE RELOCATED UNDERGROUND.

NO CONFLICT SIGNATURE BLOCK				
UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SIGNED
WATER	CITY OF SCOTTSDALE	N/A	-	XX
SANITARY SEWER	CITY OF SCOTTSDALE	N/A	-	XX
ELECTRIC	ARIZONA PUBLIC SERVICE	MICHAEL BOUCHE	-	XX
TELEPHONE	CENTURYLINK	LANCE HOLJE	-	XX
NATURAL GAS	SOUTHWEST GAS COMPANY	WILL FIELDER	-	XX
CABLE TV	COX COMMUNICATIONS	STEVEN GARZA	-	XX
OTHER	CROWN CASTLE	RICHARD ALGERIA	-	XX
OTHER	N/A	N/A	N/A	N/A

ENGINEER'S CERTIFICATION

I CRAIG BOLZE, AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED. IN ADDITION, "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY AND ARE INCLUDED IN THIS SUBMITTAL.

SIGNATURE _____ DATE 11/05/2019

INDEMNITY

- CITY OF SCOTTSDALE WILL NOT BE RESPONSIBLE FOR REMOVAL, REPAIR, OR REPLACEMENT OF SIDEWALKS, LANDSCAPING OR ANY OTHER IMPROVEMENTS LOCATED WITHIN CITY EASEMENT(S) AS A RESULT OF ACCESS TO MAINTENANCE OF, OR REPAIRS TO THE WATERLINE SHOWN ON THESE PLANS.

PUBLIC WATER QUANTITIES ESTIMATED

8" C900 PVC	1105	LF
6" GATE VALVE, BOX & COVER	2	EA
6" C900 PVC	78	LF
6" DOUBLE CHECK VALVE BACKFLOW ASSEMBLY	2	EA
2" RPP BACKFLOW ASSEMBLY	1	EA
2" WATER SERVICE AND METER BOX	1	EA
FIRE HYDRANT COMPLETE	4	EA
8" GATE VALVE BOX & COVER	1	EA
8"X8" TAPPING SLEEVE AND VALVE	1	EA

PUBLIC SEWER QUANTITIES ESTIMATED

6" SDR 35	969	LF
6" SEWER CLEANOUT	14	EA
6" SEWER SERVICE	15	EA
6" DIP SS	24	LF
SAND/OIL SEPARATOR	1	EA

NOTE:
THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.

OWNER / DEVELOPER

SCOTTSDALE AIRPORT
CONTACT: GARY MASCARO
15000 N. AIRPORT DR.
SUITE 100
SCOTTSDALE, AZ 85260
PHONE: (480) 312-2321
EMAIL: GMASCARO@SCOTTSDALEAZ.GOV

BASIS OF BEARING

TOPOGRAPHIC SURVEY INFORMATION USED FOR THIS DESIGN PROVIDED BY MEAD HUNT. WOODPATEL HAS UTILIZED THIS INFORMATION FOR DESIGN AND ASSUMES NO LIABILITY FOR THE ACCURACY OF WORK PREPARED BY OTHERS.

DATUM:
DATUM DEPICTED IS SCOTTSDALE AIRPORT. CONTRACTOR TO VERIFY LOCAL SURVEY CONTROL POINTS AND PROJECT BENCHMARK PRIOR TO START OF CONSTRUCTION.

PROJECT BENCHMARK USED:

NGS BC SDL D (PAC)
NORTHING: 954234.205
EASTING: 701710.22
ELEVATION: 1470.01

PRIMARY HORIZONTAL CONTROL:

NORTH END THRESHOLD MONUMENT (PK NAIL)
NORTHING: 957123.510
EASTING: 704729.520

SOUTH END THRESHOLD MONUMENT (PK NAIL)

NORTHING: 951188.460
EASTING: 699000.650

MARICOPA COUNTY ENVIRONMENTAL SERVICES APPROVAL:

ALL POTABLE WATERLINES AND FITTINGS SHALL HAVE A NSF-PW SEAL. ALL MATERIALS AND PRODUCTS USED IN THE POTABLE WATER SYSTEM SHALL CONFORM TO NSF STANDARDS 60 AND 61 IN ACCORDANCE WITH AAC R18-4-213.B. ALL MATERIALS SHALL BE LEAD FREE AS DEFINED IN AAC R18-5-504 AND R18-4-101.

BY: _____ DATE: _____
MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE AS-BUILT LOCATIONS SHOWN HEREON WERE PERFORMED UNDER MY SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

REGISTERED LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____

Mead & Hunt
Mead and Hunt, Inc.
8800 E Raintree Dr, Ste 285
Scottsdale, AZ 85258
phone: 480-718-1896
meadhunt.com

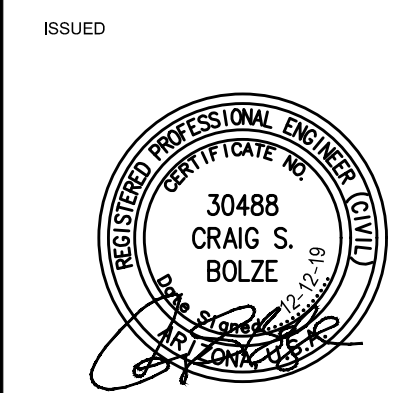
DWL ARCHITECTS+
2333 North Central Avenue
Phoenix Arizona 85004
602.284.9731
dwlarchitects.com

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WOOD PATEL

- CIVIL SHEET INDEX**
- 1 - COVER
 - 2 - INDEX MAP
 - 3-5 - WATER & SEWER LINE PLAN & PROFILE
- TOTAL SHEETS - 5

SCOTTSDALE AIRPORT
NORTH GENERAL AVIATION BOX
HANGARS
15000 N AIRPORT DRIVE
SCOTTSDALE, AZ 85260



100% CONSTRUCTION DOCUMENTS

PROJ NO.: 194970.01
DATE: 12/12/2019
DESIGNED BY: ACH
DRAWN BY: ACH
CHECKED BY: CSB
DO NOT SCALE DRAWINGS

SHEET CONTENTS
COVER SHEET

SHEET NO.

WS1



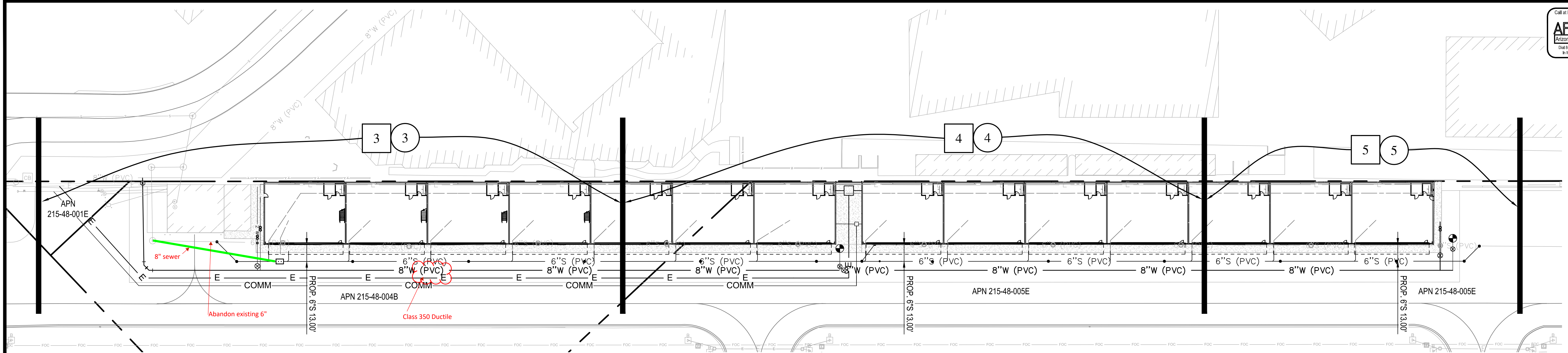
Mead & Hunt
 Mead and Hunt, Inc.
 8800 E Raintree Dr, Ste 285
 Scottsdale, AZ 85258
 phone: 480-718-1896
 meadhunt.com

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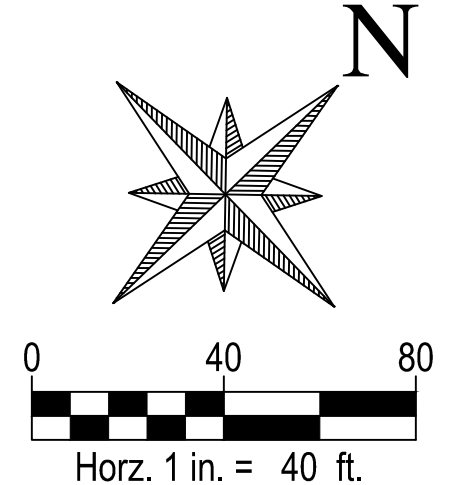


**SCOTTSDALE AIRPORT
 NORTH GENERAL AVIATION BOX
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INDEX MAP LEGEND

- WATER PLAN
- SEWER PLAN & PROFILE



EXISTING SURVEY		PROPOSED WATER & SEWER	
---	SECTION LINE	8"W (PVC)	WATER LINE
---	RIGHT OF WAY	+	WATER LINE FITTINGS
---	PROPERTY LINE	+	BACKFLOW PREVENTION DEVICE
---	ROAD CENTERLINE	+	WATER VALVE
---	EASEMENT	+	FIRE DEPARTMENT CONNECTION
○	SURVEY MARKER	+	FIRE HYDRANT
○	UG ELECTRIC (BURIED CABLE)	+	WATER METER
○	FIBER OPTIC CABLE	+	PLUG
---	BARBED WIRE FENCE	+	REDUCER
---	BLOCK WALL	+	TAPPING SLEEVE & VALVE
---	SEWER LINE	+	CURB STOP
---	STORM DRAIN PIPE	+	PRESSURE RELEASE VALVE
---	WATER LINE	+	AIR/VACUUM RELEASE VALVE
---	BUILDING	+	SEWER LINE
○	SEWER MANHOLE	+	SEWER MANHOLE
○	STORM DRAIN MANHOLE	+	CLEANOUT
○	TELEPHONE MANHOLE	+	SAND/OIL SEPARATOR
+	SIGN		
+	JUNCTION BOX/RISER		
+	FIRE HYDRANT		
+	WATER VALVE		
+	CATCH BASIN		

ABBREVIATIONS			
A.L.	AREA LIGHT	G.M.	GAS METER
ARV	AIR RELEASE VALVE	G.S.	GAS SERVICE
BB	BOTTOM OF BANK	G.T.	GREASE TRAP
BC	BACK OF CURB	G.V.	GAS VALVE
BF	BOTTOM OF FOOTING ELEVATION	HDPE	HIGH DENSITY POLYETHYLENE
B.P.	BARRIER POST	HWE	HIGH WATER ELEVATION
BSL	BUILDING SETBACK LINE	INV	INVERT ELEVATION
BW	BOTTOM OF WALL ELEVATION	I.V.	IRRIGATION VALVE
C	CONCRETE ELEVATION	I.V.B.	IRRIGATION VALVE BOX
C.B.	CATCH BASIN	L.E.	LANDSCAPE EASEMENT
CF	CUBIC FEET	LF	LINEAR FEET
C.J.B.	CABLE TV JUNCTION BOX	LFF	LOWEST FINISHED FLOOR ELEVATION
CL	CENTER LINE	M.U.E.	MULTI-USE EASEMENT
C.O.	CLEAN OUT	NG	NATURAL GROUND ELEVATION
CO	CURB OPENING	P	PAVEMENT ELEVATION
C.T.R.	CABLE TV RISER	PAD	FINISHED PAD ELEVATION
DE	DRAINAGE EASEMENT	P.A.E.	PRIVATE ACCESS EASEMENT
DG	DECOMPOSED GRANITE	P.L.	PARKING LIGHT
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE
D.W.	DRYWELL	P.M.	PARKING METER
EE	ELECTRICAL EASEMENT	P.P.	POWER POLE
E.M.	ELECTRICAL METER	PUE	PUBLIC UTILITY EASEMENT
E.O.	ELECTRICAL OUTLET	R.D.	ROOF DRAIN
E.S.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT	RIM	RIM ELEVATION
FF	FINISHED FLOOR	R/W	RIGHT-OF-WAY
FG	FINISHED GROUND	S	SLOPE
FH	FIRE HYDRANT	SD	STORM DRAIN
FT/FT	FOOT PER FOOT	S.D.E.	STORM DRAIN EASEMENT
FL	FLOW LINE ELEVATION	SDMH	STORM DRAIN MANHOLE
G	GUTTER ELEVATION	SE	SEWER EASEMENT
GB	GRADE BREAK	S.J.B.	STREET LIGHT JUNCTION BOX
		S.L.	STREET LIGHT
		S.L.E.	SLOPE EASEMENT
		S.L.M.	STREET LIGHT MAST ARM
		SMH	SEWER MANHOLE
		SS	SEWER SERVICE
		STA	STATION
		S.V.E.	SIGHT VISIBILITY EASEMENT
		S.V.T.	SIGHT VISIBILITY TRIANGLE
		S.W.E.	SIDEWALK EASEMENT
		TB	TOP OF BANK
		TC	TOP OF CURB
		TF	TOP OF FOOTING ELEVATION
		T.J.B.	TELEPHONE JUNCTION BOX
		TRW	TOP OF RETAINING WALL ELEVATION
		TW	TOP OF WALL ELEVATION
		U.E.	UTILITY EASEMENT
		UG	UNDERGROUND
		U.P.	UTILITY POLE
		VCP	VITRIFIED CLAY PIPE
		VG	VALLEY GUTTER
		V _p	VOLUME PROVIDED
		V _r	VOLUME REQUIRED
		W.B.O.	WATER BLOW OFF
		WE	WATER EASEMENT
		W.F.	WATER FAUCET
		WO	WALL OPENING
		W.S.	WATER SERVICE
		WSE	WATER SURFACE ELEVATION
		W&S.E.	WATER & SEWER EASEMENT

ISSUED

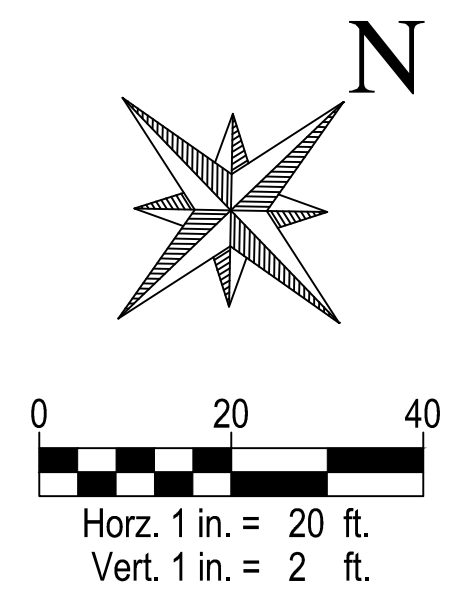
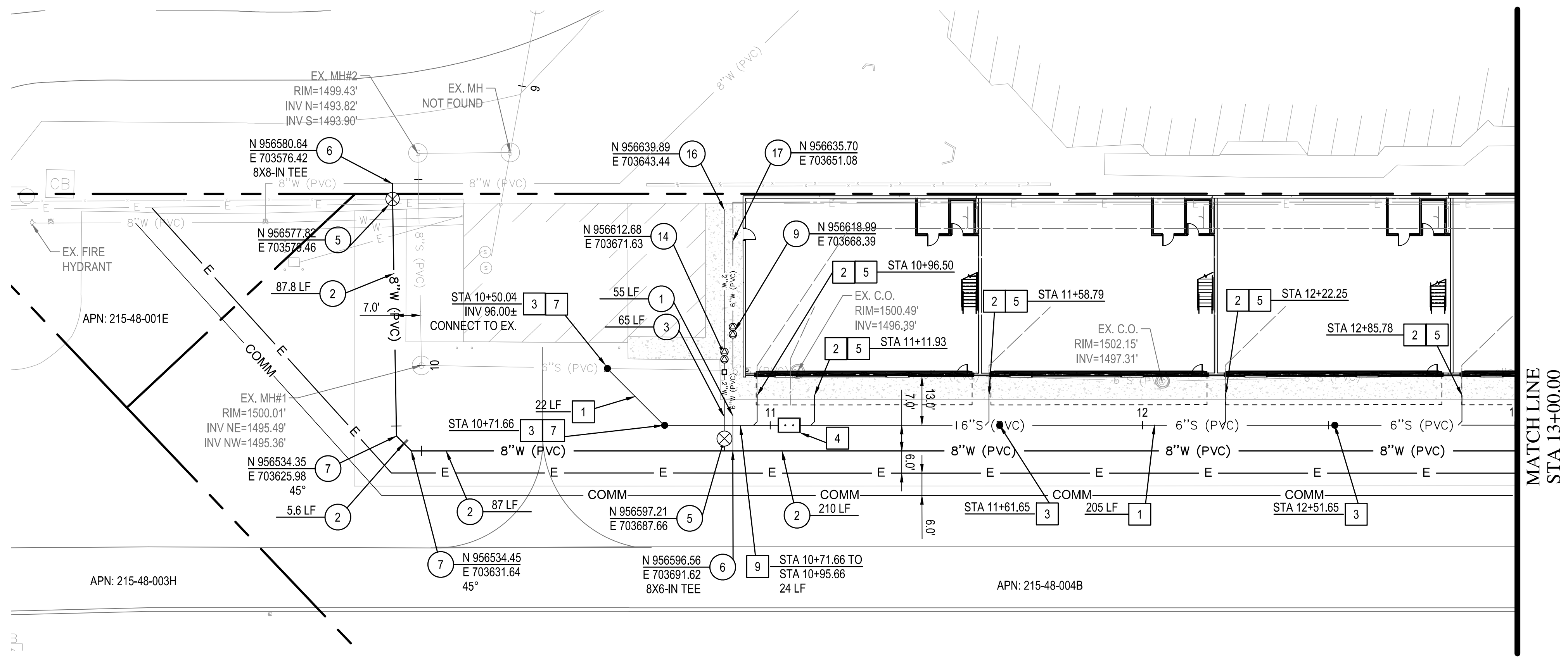
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SHEET CONTENTS
INDEX SHEET

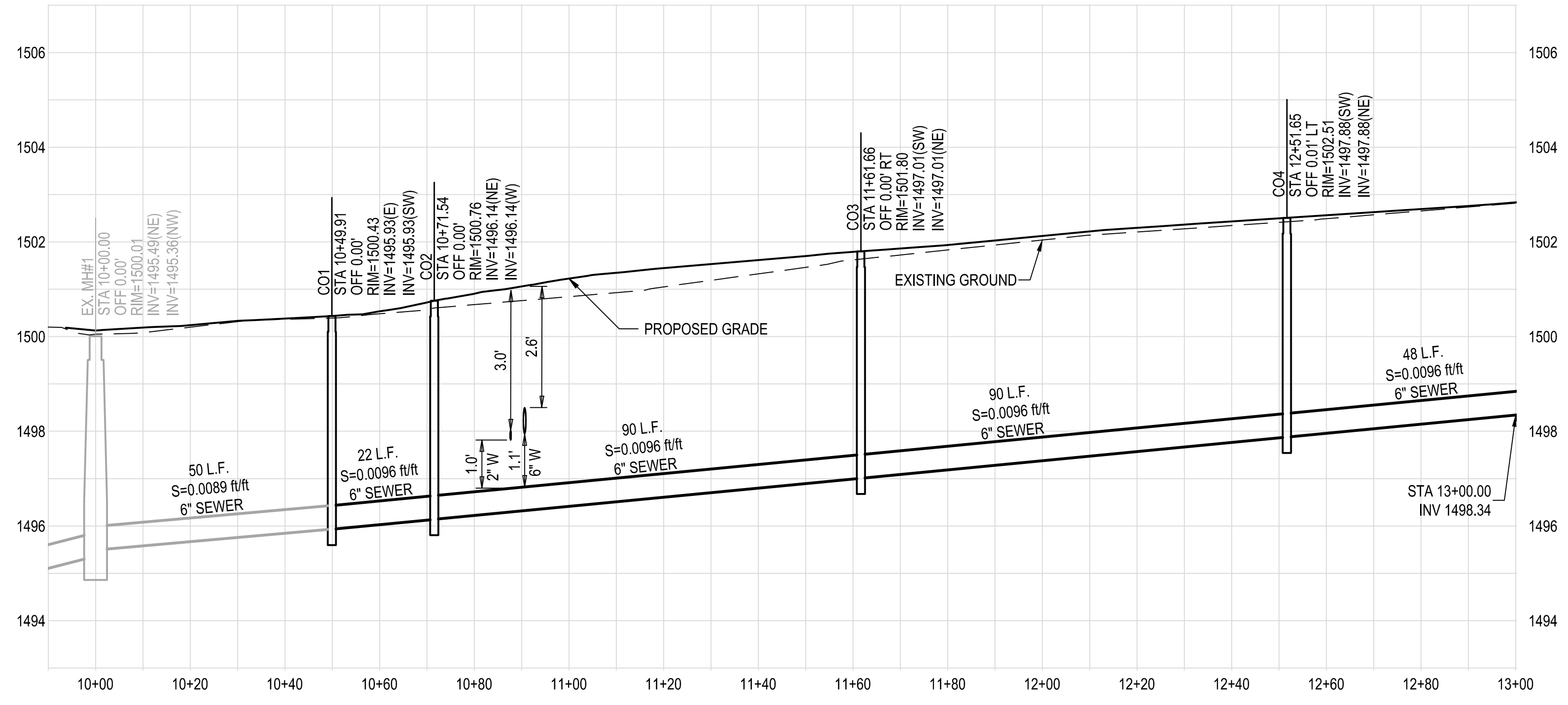
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WS2



- SEWER NOTES**
- 1 INSTALL 6" PVC SDR 35 SANITARY SEWER WITH TRACER WIRE, SLOPE AND LENGTH PER PLAN AND PROFILE. TRENCH BEDDING & BACKFILL PER C.O.S. STD. DTL. 2201.
 - 2 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE LOCATION & ELEVATION WITH PLUMBING PLANS, NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - 3 INSTALL CLEANOUT PER M.A.G. STD. DTL. 441. AIRCRAFT RATED FRAME & COVER NEENAH R-3497 OR APPROVED EQUAL.
 - 4 INSTALL 1,000 GALLON SAND/OIL SEPARATOR. OLD CASTLE PRECAST OR APPROVED EQUAL. STRUCTURE, FRAME, RINGS, AND COVERS TO BE AIRCRAFT RATED.
 - 5 INSTALL 4-INCH SERVICE CONNECTION PER MAG STD DTL 440, TYPE, A.
 - 7 INSTALL 6" WYE.
 - 9 INSTALL 6" DIP SANITARY SEWER WITH RESTRAINED JOINTS PER M.A.G. STD. DTL. 303.

- WATER NOTES**
- 1 INSTALL 6" P.V.C. C900 WATERLINE (3' MIN. COVER).
 - 2 INSTALL 8" P.V.C. C900 WATERLINE (3' MIN COVER).
 - 3 INSTALL 2" WATER SERVICE LINE AND METER BOX PER C.O.S. STD. DTL. 2330. METER BOX AND COVER PER M.A.G. STD. DTL. 319.
 - 5 INSTALL GATE VALVE WITH BOX & COVER PER M.A.G. STD. DTL. 391-1, TYPE 'C'. VALVE SIZE PER ADJOINING PIPE DIAMETER. INSTALL DEBRIS CAP WITHIN VALVE BOX PER M.A.G. STD. DTL. 392.
 - 6 INSTALL TEE. SIZE PER PLAN
 - 7 INSTALL BEND, ANGLE PER PLAN, SIZE PER ADJOINING PIPE DIAMETER.
 - 9 INSTALL DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DTL. 2351.
 - 10 INSTALL 8" POLYWRAPPED D.I.P. WATERLINE, PRESSURE CLASS 350, WITH JOINT RESTRAINT PER M.A.G. STD. DTL. 303. 4' MIN. TRENCH AND BACKFILL PER C.O.S. STD. DTL. 2201.
 - 14 INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. DTL. 2354. SIZE PER PLAN.
 - 16 SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR SHALL VERIFY LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY OWNER'S AGENT OF ANY DISCREPANCIES.
 - 17 SEE FIRE PROTECTION PLAN FOR CONTINUATION. CONTRACTOR SHALL VERIFY LOCATION WITH FIRE PROTECTION PLAN PRIOR TO CONSTRUCTION. NOTIFY OWNER'S AGENT OF DISCREPANCIES.



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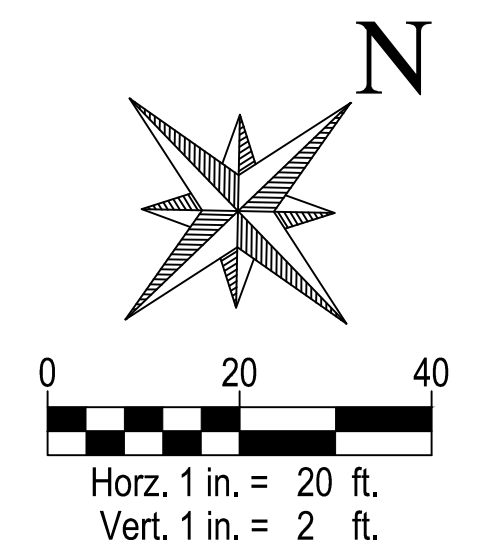
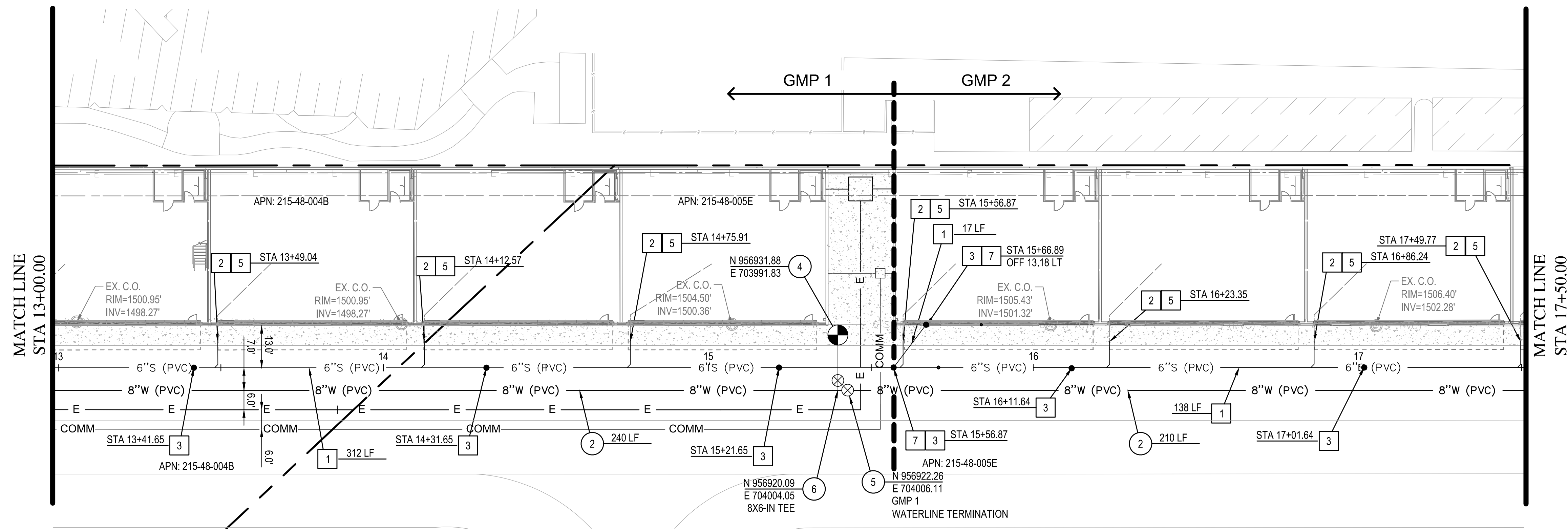
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SHEET CONTENTS
 WATER & SEWER PLAN

SHEET NO.
WS3



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SEWER NOTES

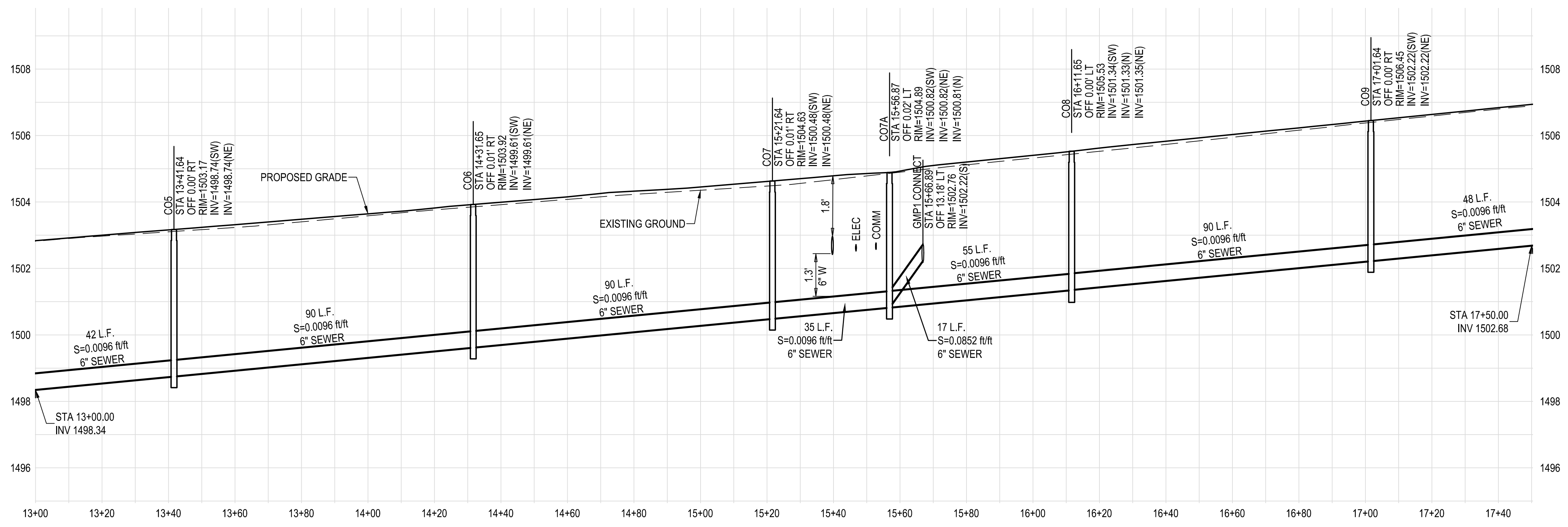
- 1 INSTALL 6" PVC SDR 35 SANITARY SEWER WITH TRACER WIRE, SLOPE AND LENGTH PER PLAN AND PROFILE. TRENCH BEDDING & BACKFILL PER C.O.S. STD. DTL. 2201.
- 2 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE LOCATION & ELEVATION WITH PLUMBING PLANS, NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3 INSTALL CLEANOUT PER M.A.G. STD. DTL. 441. AIRCRRAFT RATED FRAME & COVER NEENAH R-3497 OR APPROVED EQUAL.
- 5 INSTALL 4-INCH SERVICE CONNECTION PER MAG STD DTL 440, TYPE, A.
- 7 INSTALL 6" WYE.

WATER NOTES

- 2 INSTALL 8" P.V.C. C900 WATERLINE (3MIN COVER).
- 4 INSTALL FIRE HYDRANT COMPLETE PER M.A.G. STD. DTL. 360.
- 5 INSTALL GATE VALVE WITH BOX & COVER PER M.A.G. STD. DTL. 391-1, TYPE 'C'. VALVE SIZE PER ADJOINING PIPE DIAMETER. INSTALL DEBRIS CAP WITHIN VALVE BOX PER M.A.G. STD. DTL. 392.
- 6 INSTALL TEE. SIZE PER PLAN

NOTES

1. IF GMP 2 IS NOT CONSTRUCTED CONCURRENTLY WITH GMP 1
 - A) CONSTRUCT SANITARY SEWER CLEANOUTS AT STA 15+56.87 AND STA 15+66.89 AND CONNECT TO EXISTING WITH NEW CLEANOUT AND WYE AS SHOWN ON THE PLANS.
 - B) TERMINATE WATERLINE AT VALVE ON TEE AND INSTALL BLIND FLANGE AS NOTED ON THE PLANS, "GMP 1 WATERLINE TERMINATION".
2. IF GMP 2 IS CONSTRUCTED CONCURRENTLY WITH GMP 1 THE FOLLOWING ARE NOT NEEDED AND MAY BE OMITTED:
 - A) THE BLIND FLANGE AT THE GMP 1 WATER LINE TERMINATION.
 - B) THE SANITARY SEWER CLEANOUTS AT STATIONS 15+56.87 AND STA 15+66.89 ASSOCIATED CONNECTION TO THE EXISTING SANITARY SEWER CAN BE OMITTED.



SCOTTSDALE AIRPORT
NORTH GENERAL AVIATION BOX
HANGARS
15000 N AIRPORT DRIVE
SCOTTSDALE, AZ 85260



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SHEET CONTENTS
WATER & SEWER PLAN

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WS4

