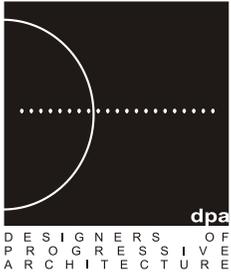




Correspondence Between Staff and Applicant

Approval Letter

Denial Letter



07 May 2021

City of Scottsdale, Planning & Development Services Division
Attn: Kathryn Posler
3939 N Drinkwater Blvd
Scottsdale, AZ 85251

Kathryn,

Thank you for submitting your comments. See below in **blue** our response for your review.

Zoning Ordinance and Scottsdale Revised Code Significant Issues

1. AS PART OF THE CONDITIONAL USE PROCESS, AN FAA FORM 7480-1 FORM MUST BE SUBMITTED TO THE FAA REGIONAL OFFICE (WHICH THEN USUALLY GOES TO FSDO FOR SAFETY EVALUATION), PLEASE SUBMIT THE LETTER OF DETERMINATION OF NO HAZARD OR OBJECTION FROM THE FAA REGARDING THE HELIPAD TO THE AIRPORT PRIOR TO GOING TO CITY COUNCIL FOR APPROVAL.

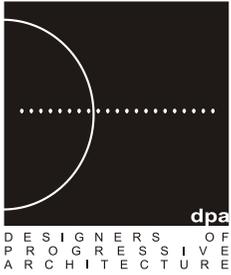
UPDATE: APPLICANT PROVIDED, WAITING FOR RESPONSE FROM SARAH. THEN WILL LOOK AT PC AND CC HEARING DATES FOR 7-UP-2021 CASE.

FAA Form 7480-1 has been submitted to the FAA and we are awaiting a response, noted as approximately 45-60 days as of April 23, 2021. A Letter of Determination of No Hazard or Objection has been submitted to Aviation.

2. PLEASE UPDATE THE USE PERMIT CASE NARRATIVE TO ADDRESS THE USE PERMIT CRITERIA. SEC. 1.400. – CONDITIONAL USE PERMITS. | CODE ORDINANCES | SCOTTSDALE, AZ | MUNICODE LIBRARY

Case narrative has been updated to address the use permit criteria found in section 1.400 of the Zoning Ordinance.

3. PLEASE UPDATE THE SITE PLAN TO LIST THE TOTAL BUILDING SQUARE FOOTAGE, FIRST AND SECOND FLOOR COMBINED. PLEASE BREAK DOWN THE DIFFERENT FLOOR SQUARE FOOTAGES, FIRST FLOOR AND SECOND FLOOR.



Site data has been updated to include square footages for both floors and the total square footage of the building – see sheet DR 03 – OVERALL SITE PLAN.

4. PLEASE UPDATE THE SITE PLAN TO LIST THE ALLOWED (0.8) AND PROPOSED FLOOR AREA RATIO, WHICH IS BASED ON NET LOT AREA. TO CALCULATE – TOTAL BUILDING SF / NET LOT AREA.

Site data has been updated to include the allowed and proposed floor area ratio – see sheet DR 03 – OVERALL SITE PLAN

5. PLEASE EXTEND THE PARKING LOT SCREEN WALL TO THE EAST TO FULLY SCREEN THE TWO SPACES ON THE NORTHWEST CORNER OF THE PARCEL.

Parking lot screen wall has been extended to fully screen the northwest parking spaces – see sheet DR 03 – OVERALL SITE PLAN.

6. PLEASE UPDATE THE PEDESTRIAN SIDEWALK TO BE AT LEAST 6' WIDE.

DSPM Chapter 2-1.310 states “the pedestrian access route shall be a sidewalk that has a minimum width of six (6) feet or five (5) feet if the existing sidewalk abutting public and private street is five (5) feet or less”

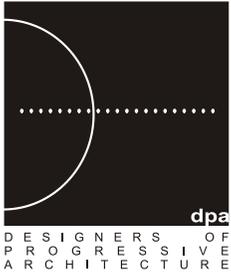
The existing sidewalk has been measured to be 5' – 0” from back of curb per COS MAG Standard Detail No. 2230.

7. PLEASE UPDATE THE SITE PLAN TO CALL OUT PROPOSED SITE WALL HEIGHTS AND CANOPY ROOF OVERHANGS. THE PARKING LOT SCREEN WALL SHOULD NOT EXCEED 3'.

Site plan has been updated to call out site wall heights location of canopy roof overhangs.

8. THIS AREA FEELS A LITTLE AWKWARD DUE TO THE TWO SKINNY CONCRETE LANDINGS. ARE THERE ANY OTHER POSSIBLE SOLUTIONS?

Although unnecessary by code, we have decided to configure this area this way in order to protect the pedestrian from the potential of the City of Scottsdale Refuse Truck striking them due to the



close proximity of the required on-site Refuse Truck Turn Around and the Accessible Parking Access Aisle.

9. PLEASE PROVIDE INFORMATION AND DETAILS RELATED TO THE ROOF DRAINAGE SYSTEM. ROOF DRAINAGE SYSTEMS, EXCLUDING OVERFLOW SCUPPERS, SHALL BE INTERIOR TO THE BUILDING, OR ARCHITECTURALLY INTEGRATED WITHIN THE DESIGN OF THE STRUCTURE. IF OVERFLOW SCUPPERS ARE PROVIDED, THEY SHALL BE INTEGRATED WITH THE ARCHITECTURAL DESIGN. AREAS THAT ARE ROOFTOP DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED TO MINIMIZE EROSION OR STAINING OF NEARBY BUILDING WALLS AND DIRECTS WATER AWAY FROM THE BUILDING FOUNDATIONS. PLEASE REFER TO ZONING ORDINANCE SECTION 7.105.C

Roof drainage system is to be internal to the building, daylighting on the north side into the parking lot – see sheet(s) DR 06 – Building Elevations, DR 06C – Building Elevations – Color.

10. THE SCOTTSDALE SENSITIVE DESIGN PRINCIPLES, AS WELL AS THE CITY'S DESIGN GUIDELINES PROMOTE THE USE OF MUTED EARTH TONES FOR BUILDING APPLICATIONS. PLEASE REVISE THE PROJECT PLANS FOR THE CONCRETE PORTIONS OF THE BUILDING AND OTHER APPLIED MATERIALS TO MEET THIS DESIGN POLICY.

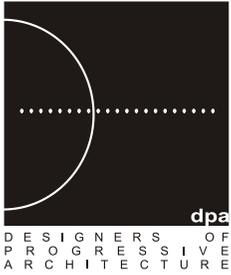
UPDATE: STAFF AND THE APPLICANT ARE MEETING ON THIS ITEM MONDAY (4/26) TO DISCUSS WHAT CHANGES NEED TO OCCUR.

We have chosen the materials/colors in question as a response to existing buildings throughout the Scottsdale Airpark that are constructed from the same and/or similar material and color palette. We understand that due to the design principles guidelines this comment was made and after our meeting with staff on 4/26 we will be pursuing the approval of our chosen color palette at the DRB Hearing.

11. PLEASE REVISE THE BUILDING ELEVATIONS TO INCLUDE A LIST OF THE PROPOSED MATERIALS TO BE USED ON THE BUILDING. (ZONING ORDINANCE, SEC. 1.305.A.)

A list of proposed materials has been added to the elevations – see sheet(s) DR 06 – BUILDING ELEVATIONS, DR 06C – BUILDING ELEVATIONS – COLOR, DR 07 – BUILDING ELEVATIONS, DR 07C – BUILDING ELVAITONS – COLOR.

12. THE BUILDING ELEVATIONS DO NOT PROVIDE A CALLOUT FOR THE PAINT COLOR THAT WILL BE APPLIED TO EXTERIOR DOORS. PLEASE REVISE THE BUILDING ELEVATIONS TO CLEARLY LABEL



THE LOCATIONS OF ALL BUILDING MATERIALS AND COLORS THAT WILL BE UTILIZED. (ZONING ORDINANCE, SEC. 1.305.A.)

A paint color callout has been added to the exterior elevations for the paint color of the exterior doors – see sheet(s) DR 06 – BUILDING ELEVATIONS, DR 06C – BUILDING ELEVATIONS – COLOR, DR 07 – BUILDING ELEVATIONS, DR 07C – BUILDING ELVAITONS – COLOR.

13. PLEASE REVISE THE PROJECT PLANS SO THAT ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATIONS EQUIPMENT IS SCREENED BY A PARAPET THAT MATCHES THE ARCHITECTURAL CHARACTERISTICS, COLOR, AND FINISH OF THE BUILDING. PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO, OR EXCEED THE HEIGHT OF, THE TALLEST UNIT. PLEASE SHOW ANY PROPOSED MECHANICAL EQUIPMENT LOCATED ON THE ROOF DASHED-IN ON THE BUILDING ELEVATIONS. PLEASE REFER TO DESIGN STANDARDS & POLICIES MANUAL, SECTION 2-1.401.1

All proposed rooftop mechanical units are to be screened by the building's parapet. All proposed rooftop mechanical units and top line of roof edge have been dashed in on the building elevations – see sheet(s) DR 06 – BUILDING ELEVATIONS, DR 06C – BUILDING ELEVATIONS – COLOR, DR 07 – BUILDING ELEVATIONS, DR 07C – BUILDING ELEVATIONS – COLOR.

14. PLEASE REVISE THE PHOTOMETRIC CUT SHEETS TO HIGHLIGHT THE SPECIFICATIONS THAT WILL BE USED FOR EACH LIGHT FIXTURE (COLOR TEMP, LUMENS, FINISH, ETC.). (ZONING ORDINANCE, SEC. 1.305.A.)

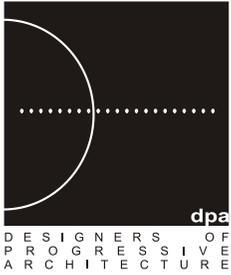
Desired specifications for exterior light fixtures have been highlighted on the photometric cut sheets – see sheet PH2 – EXTERIOR LIGHTING CUT SHEETS.

15. NO FIXTURE SHALL BE MOUNTED HIGHER THAN TWENTY (20) FEET. PLEASE REVISE THE PROJECT PLANS TO NOTE THE HEIGHT OF BUILDING-MOUNTED LIGHTING. (CITY OF SCOTTSDALE EXTERIOR LIGHTING POLICY AND DSPM)

All light fixtures that were above 20' – 0" have been lowered and the heights of light fixtures have been noted – see sheet(s) DR 06 – BUILDING ELEVATIONS, DR 06C – BUILDING ELEVATIONS – COLOR, DR 07 – BUILDING ELEVATIONS, DR 07C – BUILDING ELEVATIONS – COLOR.

16. ALL EXTERIOR LIGHTING SHALL HAVE A KELVIN TEMPERATURE OF 3000 OR LESS. (CITY OF SCOTTSDALE EXTERIOR LIGHTING POLICY)

All exterior lighting Kelvin temperatures have been noted – see sheet(s) PH1 – SITE LIGHTING PHOTOMETRIC PLAN, PH2 – EXTERIOR LIGHTING CUT SHEETS.



17. DSPM 2-1.310: UPDATE SITE PLAN WITH A 6' WIDTH ACCESSIBLE PEDESTRIAN ROUTE FROM THE MAIN ENTRY OF THE DEVELOPMENT TO THE ABUTTING PUBLIC STREET.

DSPM Chapter 2-1.310 states “the pedestrian access route shall be a sidewalk that has a minimum width of six (6) feet or five (5) feet if the existing sidewalk abutting public and private street is five (5) feet or less”

The existing sidewalk has been measured to be 5' – 0” from back of curb per COS MAG Standard Detail No. 2230.

18. THERE IS AN EXISTING VEHICLE NON-ACCESS EASEMENT AND A SIGHT DISTANCE EASEMENT DEDICATED VIA DOC. NOS. 2006-0271067 AND 2006-0245913, RESPECTIVELY. SHOW THESE EXISTING EASEMENTS ON THE SITE PLAN.

Site plan has been updated to show the existing vehicle non-access easement and the sight distance easement – see sheet DR 03 – OVERALL SITE PLAN.

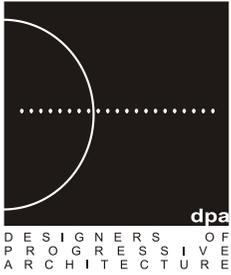
19. SUBMITTALS IN SUPPORT OF DEVELOPMENT REVIEW CASES GENERALLY REQUIRE A 75% LEVEL OF DRAINAGE DESIGN. ON THE PRELIMINARY SITE PLAN, PLEASE PROVIDE THE FOLLOWING:
- SHOW THE STORM DRAIN INFRASTRUCTURE SHOWN IN THE DRAINAGE REPORT EXHIBITS, INCLUDING THE RETENTION BASINS, STORM DRAINS AND CATCH BASINS. LABEL FLOWS LINES, INVERTS, ETC.
 - SHOW A DRAINAGE EASEMENT AROUND BOTH THE SURFACE BASIN AND UNDERGROUND STORMWATER STORAGE TANK (USST).
 - PROVIDE INFO ON EXISTING AND PROPOSED GRADES.

G&D has been updated to show Infrastructure, Easements, and Existing / Proposed Grades.

TECHNICAL CORRECTIONS (ON FINAL PLANS):

20. ANY REQUIRED DEDICATIONS MUST BE MADE PRIOR TO PERMIT ISSUANCE. TWO OR MORE DEDICATION MUST BE PROCESSED AS A MAP OF DEDICATION. A SINGLE DEDICATION CAN BE PROCESSED AS AN INDIVIDUAL INSTRUMENT.

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21. ANY REQUIRED EASEMENT RELEASE MUST BE RECORDED PRIOR TO THE RECORDING OF ANY DEDICATION. TWO OR MORE RELEASES MUST BE PROCESSED AS A MAP OF RELEASE. A SINGLE RELEASE CAN BE PROCESSED AS AN INDIVIDUAL INSTRUMENT.

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22. ENSURE THAT IMPROVEMENT PLANS AND DRAINAGE REPORT MEET ALL REQUIREMENTS FOR A USST AS SPECIFIED IN THE DSPM.

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23. HEIGHT ANALYSIS, PER SECTION 5-354 THE OWNER OF THE DEVELOPMENT THAT PENETRATES THE 100:1 SLOPE FROM THE NEAREST POINT OF THE RUNWAY SHALL SUBMIT TO THE FAA THE FAA FORM 7460 AND BEFORE FINAL PLAN APPROVAL SUBMIT THE FAA RESPONSE.

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24. FAIR DISCLOSURE, PER SECTION 5-355, OWNER OF PROPERTY SHALL MAKE FAIR DISCLOSURE TO EACH PURCHASER.

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25. AVIGATION EASEMENT, PER SECTION 5-357, THE OWNER OF A NEW DEVELOPMENT SHALL GRANT THE CITY AND RECORD AN AVIGATION EASEMENT.

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We trust that you will find our response and updated plans complete. We look forward to working with your office during the formal review for this project. Please do not hesitate to contact our office should you have any questions or require additional information.

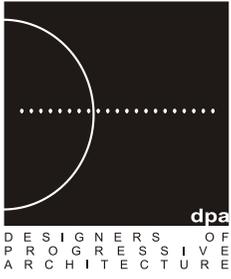
Sincerely,

John S. Szafran, AIA, LEED AP, NCARB

DPA Architects, Inc

3719 N 75TH ST. SUITE 105

SCOTTSDALE, AZ, 85251



480.941.4222