

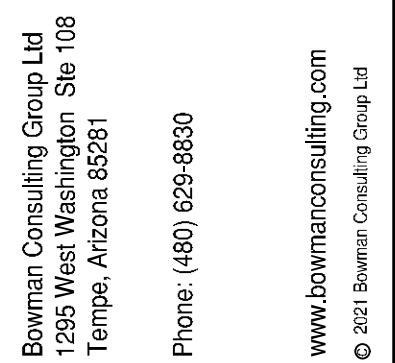


Full Size or Largest Size Plans

Site Plan

Landscape Plan

Elevations



SCOTTSDALE, AZ

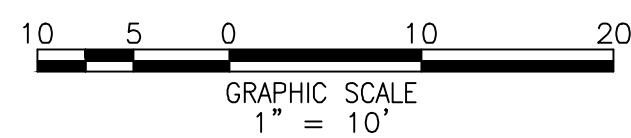
MARICOPA COUNTY

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 CERTIFICATE NO.
 22868
 JOHN J.
 GRAY
 1/28/21
 Arizona
 State Board of Professional Engineers and Land Surveyors

[illegible]

E : APR 2021

T 01 OF 01



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KEYNOTES

- 30 NEW TILT CONCRETE PANEL - TYP.
31 TRASH ENCLOSURE PER C.O.S. STD. DETAIL 2146-1.
32 TRASH ENCLOSURE STEEL GATE.
33 CONCRETE SIDEWALK - SEE CIVIL DRAWINGS.
35 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS.
37 PARKING STRIPING, TYP.
38 ACCESSIBLE PARKING STALL.
39 ACCESSIBLE PARKING AISLE.
40 ACCESSIBLE CURB RAMP.
41 ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.
42 CONCRETE PAVING AT TRASH ENCLOSURE - SEE CIVIL DRAWINGS.
43 CONCRETE PAVING - SEE CIVIL DRAWINGS.
45 SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS.
46 ELECTRICAL TRANSFORMER - SEE ELECTRICAL DRAWINGS.
47 RETENTION AREA WITH SITE WALLS - SEE CIVIL DRAWINGS.
48 MD500 AIRCRAFT.
49 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
51 EXISTING UTILITY BOX TO REMAIN.
52 EXISTING FIRE HYDRANT TO REMAIN.
58 CUSTOM BIKE RACK - CLEARANCES PER C.O.S. STD. DETAIL 2285.
59 DRIVEWAY PER C.O.S. STD. DETAIL 2256 CL-1.
60 NEW 8x8x16 CONCRETE MASONRY WALL, BLOCK FINISH PER PLAN AND ELEVATIONS - SEE STRUCTURAL DRAWINGS.
61 SIGHT VISIBILITY TRIANGLE PER C.O.S. STANDARDS
62 CONCRETE FILLED, STEEL PIPE BOLLARD - TYP.
63 NEW TELESCOPIC SLIDING GATE.
64 EXISTING VEHICULAR NON-ACCESS EASEMENT - EASEMENT TO BE RELEASED.
65 EXISTING SITE DISTANCE EASEMENT - EASEMENT TO BE RELEASED.
66 LINE OF CANOPY ABOVE.

GENERAL NOTES

- A. SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT. ANY SIGNAGE SHOWN IS FOR REFERENCE AND ENGINEERING COORDINATION ONLY.

PROJECT DATA

PROJECT DESCRIPTION:

A NEW HANGAR / OFFICE BUILDING FOR 4GROUP BUILDING, LLC. THE SPACE WILL INCLUDE A HANGAR DESIGNED TO HOUSE A MD500 AIRCRAFT AND TUG STORAGE ON THE GROUND LEVEL AS WELL AS OFFICE SPACE ON THE SECOND LEVEL.

LEGAL DESCRIPTION:

NORTH SCOTTSDALE AIRPARK UNIT 1 MCR 327-12 ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE MARICOPA COUNTY RECORDER.

PROJECT ADDRESS:

16115 NORTH 81ST STREET
SCOTTSDALE, ARIZONA 85260

ASSESSORS PARCEL NUMBER:

215-48-055

ZONING:

I-1 (SCOTTSDALE MUNICIPAL AIRPORT)

BUILDING OCCUPANCY:

B / S-1

TYPE OF CONSTRUCTION:

TYPE V-B, FULLY SPRINKLED

BUILDING STORIES:

HANGAR - 1 STORY
OFFICE - 2 STORY

LOT AREA:

GROSS SITE AREA: 35,128 SF
TOTAL SITE ACREAGE: .806 ACRES

BUILDING AREA:

FIRST FLOOR: 8,828 SF (FIRST FLOOR GROSS AREA)
SECOND FLOOR: 1,734 SF (SECOND FLOOR GROSS AREA)
TOTAL: 10,562 SF (COMBINED GROSS FLOOR AREA)

FLOOR AREA RATIO:

ALLOWED: 0.8
PROPOSED: TOTAL BUILDING SF / NET LOT AREA = ?
10,562 SF / 35,128 SF = 0.3 (<0.8 = OK)

PARKING ANALYSIS:

OFFICE:
HANGAR / SUPPORT AREA:

(9' - 0" WIDE)
TOTAL REQUIRED:
TOTAL PROVIDED:

ACCESSIBLE SPACES REQUIRED:
ACCESSIBLE SPACES PROVIDED:

1 STALL / 300 SF (2,461.7 SF / 300) = 8.21 SPACES
0 SPACES REQUIRED

9 SPACES
9 SPACES

1 VAN INCLUSIVE
1 VAN INCLUSIVE

CONTACT INFORMATION

BUILDING OWNERSHIP:

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DANDIETHELM@GMAIL.COM

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TBD

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GARY@STRINGERENGINEERING.COM

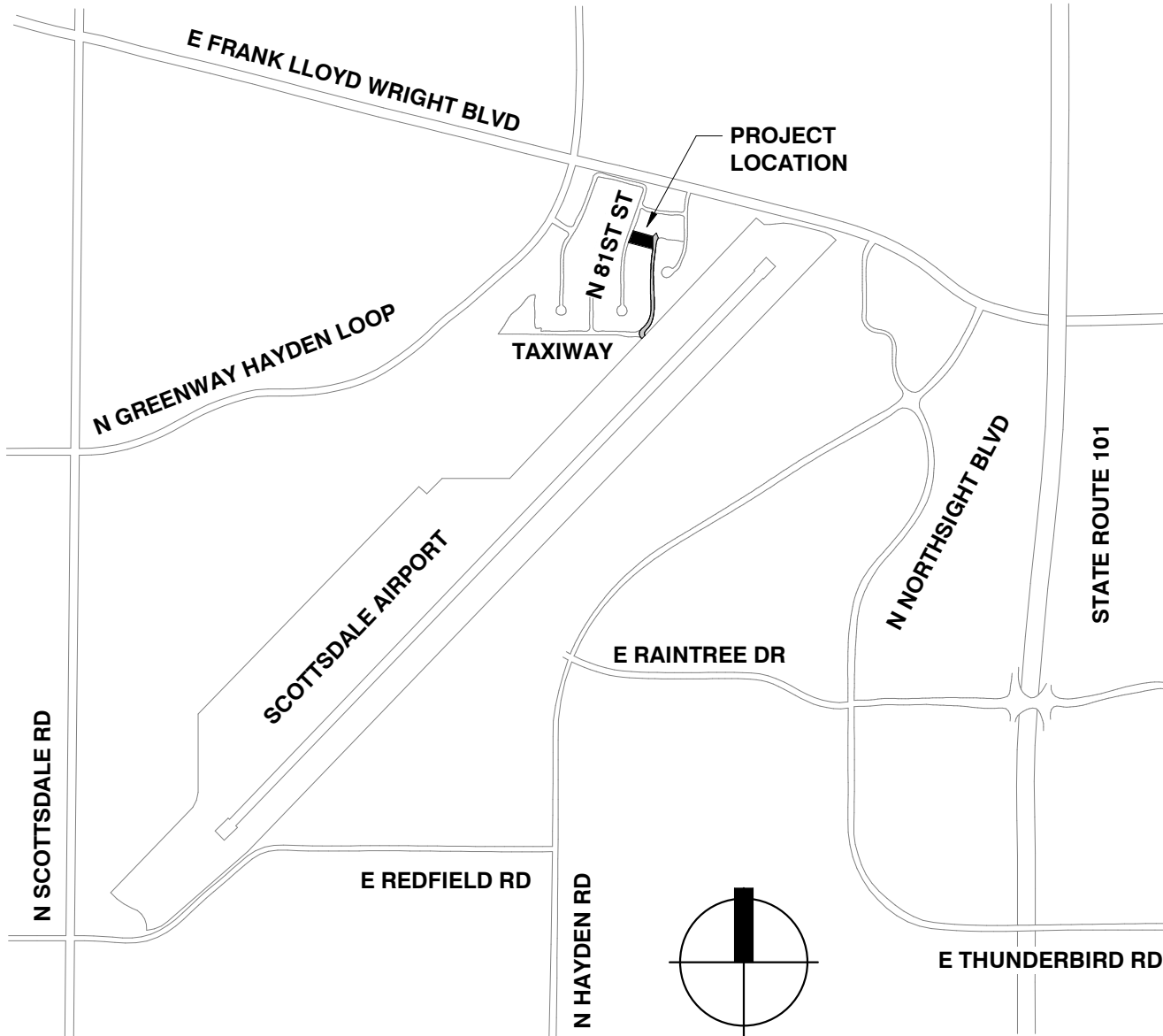
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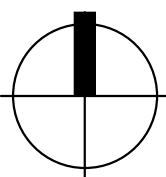
VICINITY MAP



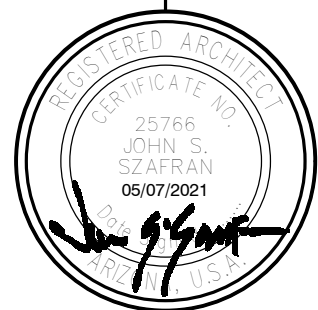
1 OVERALL SITE PLAN

1" = 20'-0"

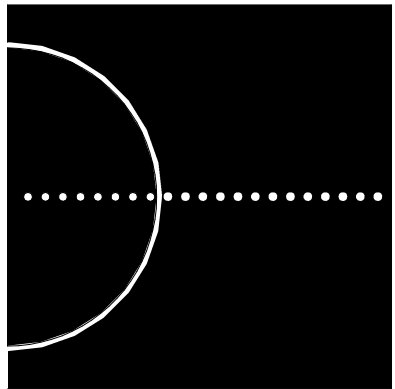
10 20 40



OVERALL SITE PLAN



expires 30 June 2022



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REVISION SCHEDULE

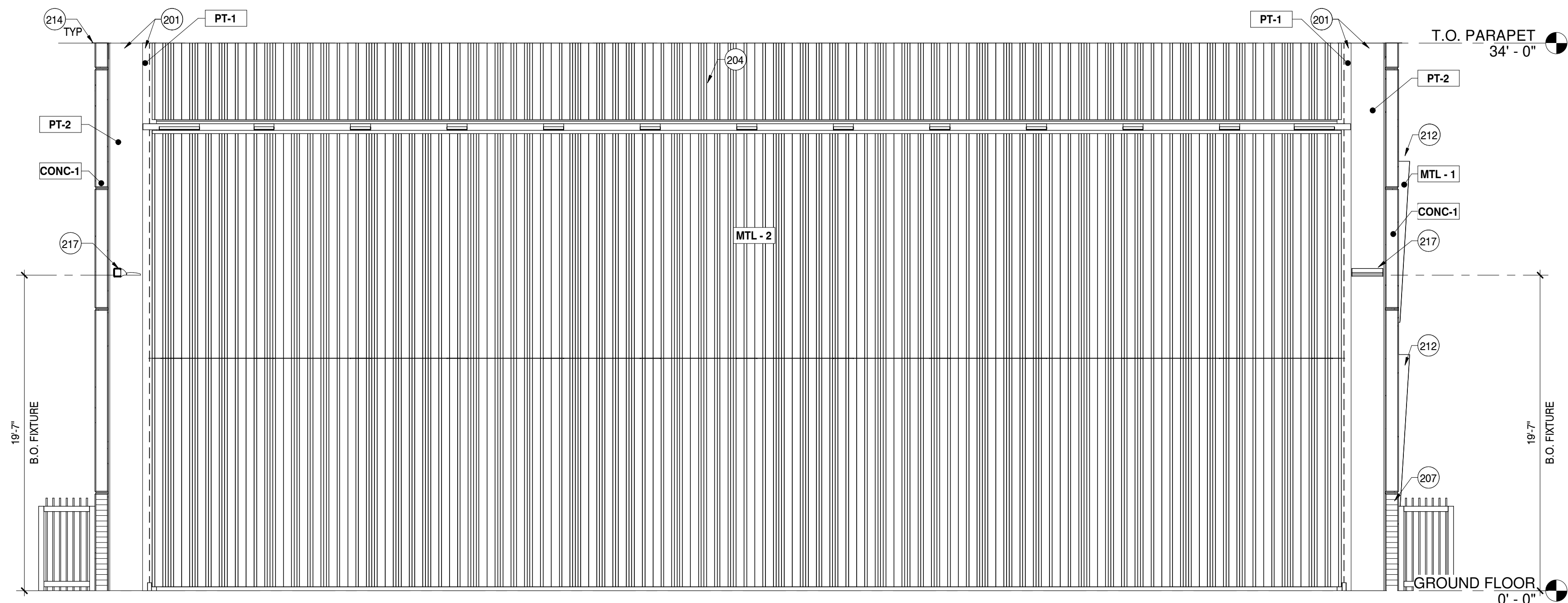
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drawn by: jw

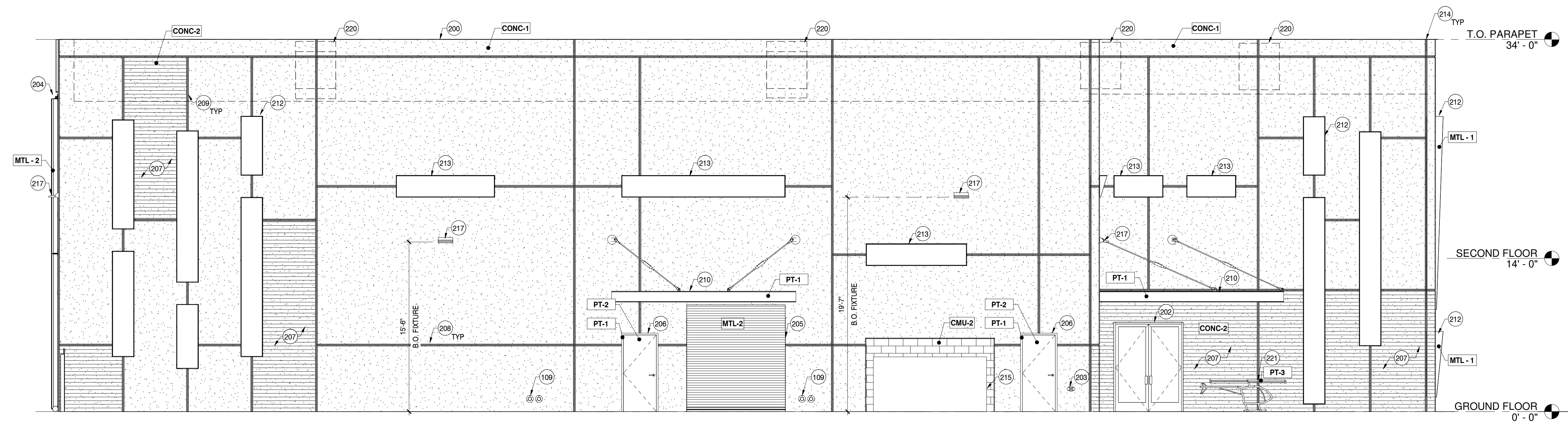
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date: 05/07/2021

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2 EAST ELEVATION
3/16" = 1'-0"

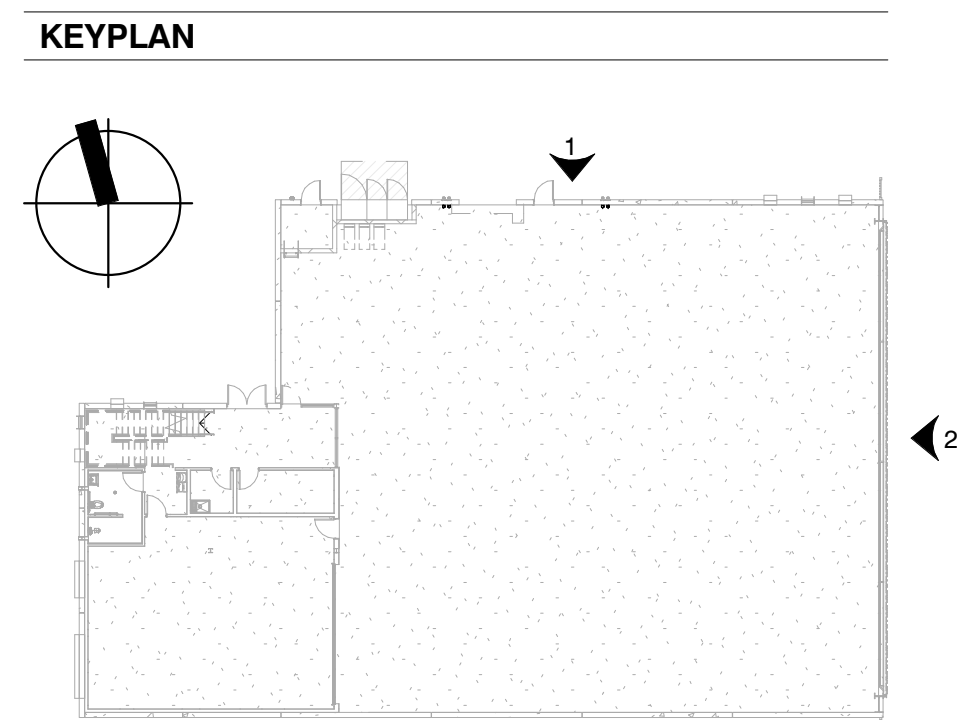


1 NORTH ELEVATION
3/16" = 1'-0"

EXTERIOR FINISHES LEGEND		
CMU-1	DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY LOCATION: EXTERIOR SITE WALLS MANUFACTURER: RCP BLOCK PRODUCT: PRECISION BLOCK COLOR: CHARCOAL GREY	
CMU-2	DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY LOCATION: EXTERIOR SITE WALLS MANUFACTURER: RCP BLOCK PRODUCT: PRECISION BLOCK COLOR: NATURAL GREY	
MTL-1	DESCRIPTION: STEEL PLATES LOCATION: WALL CAPS, SHADOW BOX WINDOW FRAMES MANUFACTURER: BERRIDGE COLOR: MATTE BLACK FINISH: MATTE	
MTL-2	DESCRIPTION: CUSTOM PANEL DECKING LOCATION: BI-FOLD DOOR, CANOPY MANUFACTURER: BERRIDGE COLOR: CITYSCAPE FINISH: METALIC FINISH	
CONC-1	DESCRIPTION: SEALED CONCRETE LOCATION: TILT CONCRETE WALL PANELS COLOR: NATURAL GREY TEXTURE: SMOOTH	
CONC-2	DESCRIPTION: BOARD FORMED CONCRETE LOCATION: TILT CONCRETE WALL PANELS COLOR: STANDARD GREY TEXTURE: BOARD FORM	
PT-1	DESCRIPTION: EXTERIOR PAINT LOCATION: STEEL COLUMNS AND BASE PLATES MANUFACTURER: SHERWIN WILLIAMS COLOR: SW6691 - BLACK MAGIC FINISH: MATTE LRV: 3	
PT-2	DESCRIPTION: EXTERIOR PAINT LOCATION: STEEL COLUMNS, BASE PLATES AND DOORS MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7654 - LATTICE FINISH: MATTE LRV: 61	
PT-3	DESCRIPTION: EXTERIOR PAINT LOCATION: BIKE RACK MANUFACTURER: FERRARI COLOR: FERRARI 513/C - BLU SWATERS FINISH: METALLIC LRV: 5.26	
IG-1	DESCRIPTION: 1" LOW-E TINTED INSULATED GLAZING UNITS LOCATION: SHADOWBOX WINDOWS/STOREFRONT ASSEMBLIES MANUFACTURER: VITRO (GLASS)	

KEYNOTES

109	ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.
200	EXTERIOR TILT CONCRETE WALL PANEL.
201	STRUCTURAL COLUMN - SEE STRUCTURAL DRAWINGS.
202	ALUMINUM STOREFRONT ENTRY - SEE DOOR SCHEDULE.
203	BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
204	SCHWEISS BIFOLD DOOR - SEE DOOR SCHEDULE.
205	MANUAL ROLLING DOOR - SEE DOOR SCHEDULE.
206	HOLLOW METAL DOOR AND FRAME, TYP - SEE DOOR SCHEDULE.
207	BOARD FORM TILT CONCRETE DETAIL.
208	HORIZONTAL TILT CONCRETE PANEL REVEAL, TYP.
209	VERTICAL TILT CONCRETE PANEL REVEAL, TYP.
210	METAL CANOPY - SEE STRUCTURAL DRAWINGS.
212	TAPERED SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
213	TWO-SIDED TAPERED SHADOWBOX SYSTEM - SEE WINDOW SCHEDULE.
214	STEEL WALL CAP - TYP.
215	SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS.
217	WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
220	LINE OF ROOFTOP MECHANICAL UNITS SCREENED BY BUILDING PARAPET.
221	CUSTOM BIKE RACK - CLEARANCES PER C.O.S. STD. DETAIL 2285.



HANGAR / OFFICE BUILDING
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SCOTTSDALE, AZ 85260



expires 30 june 2022

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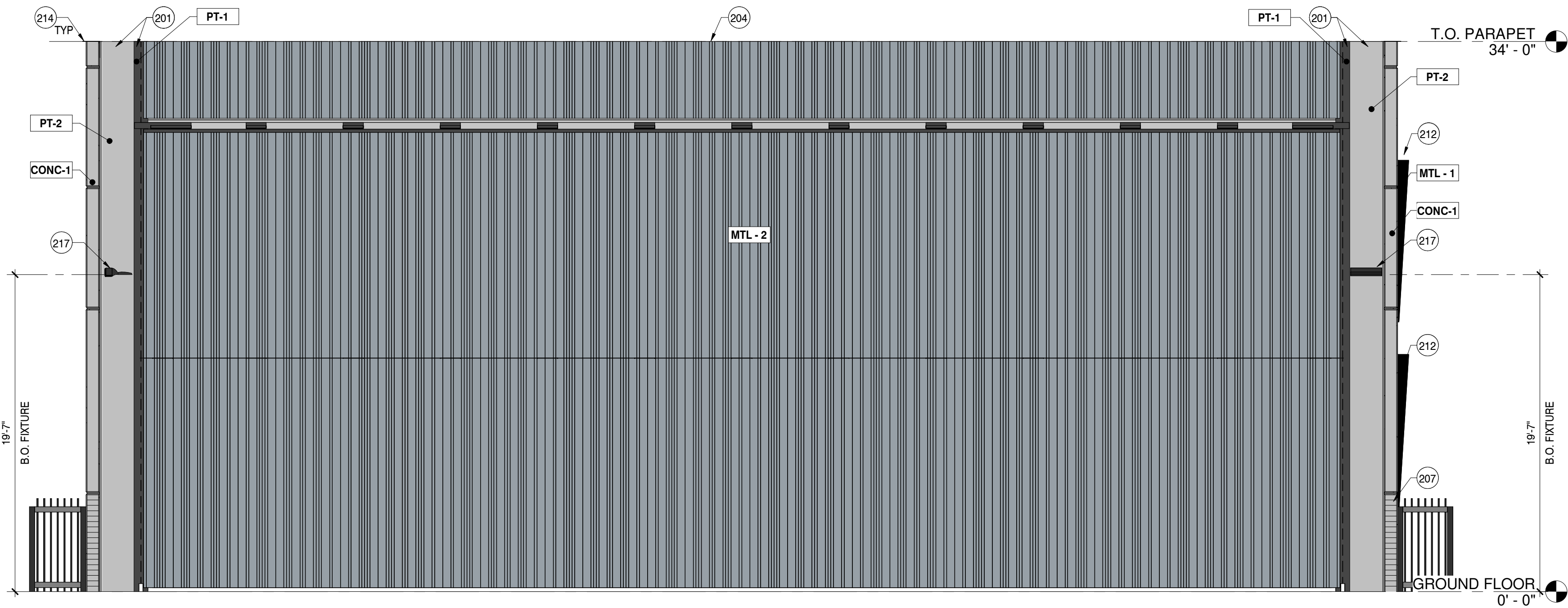
by:	jw
ect no.:	19067
:	05/07/2021

BUILDING ELEVATIONS

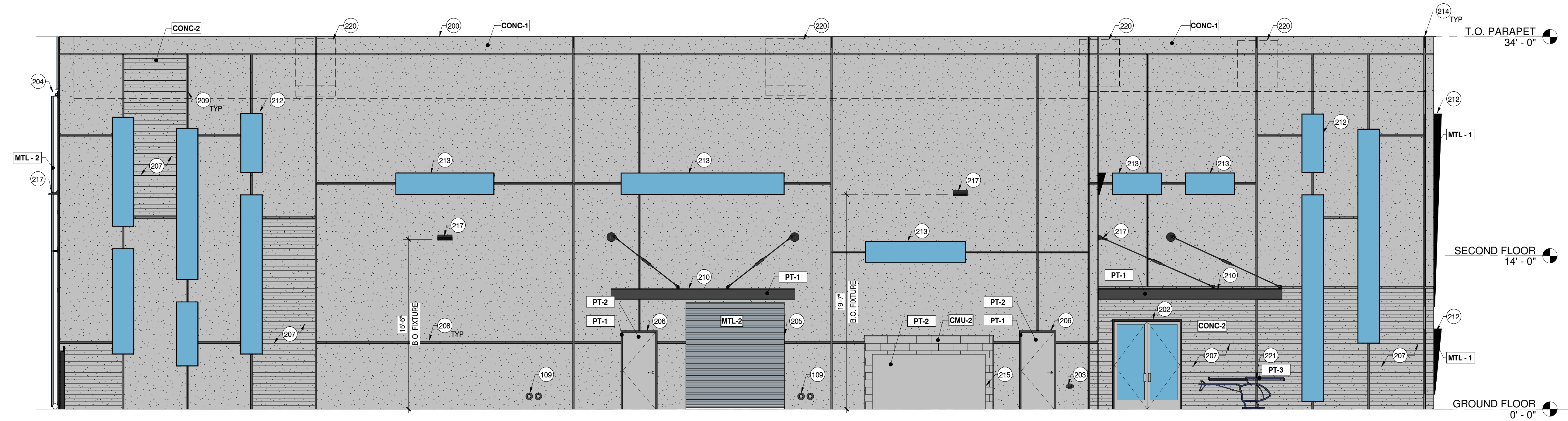
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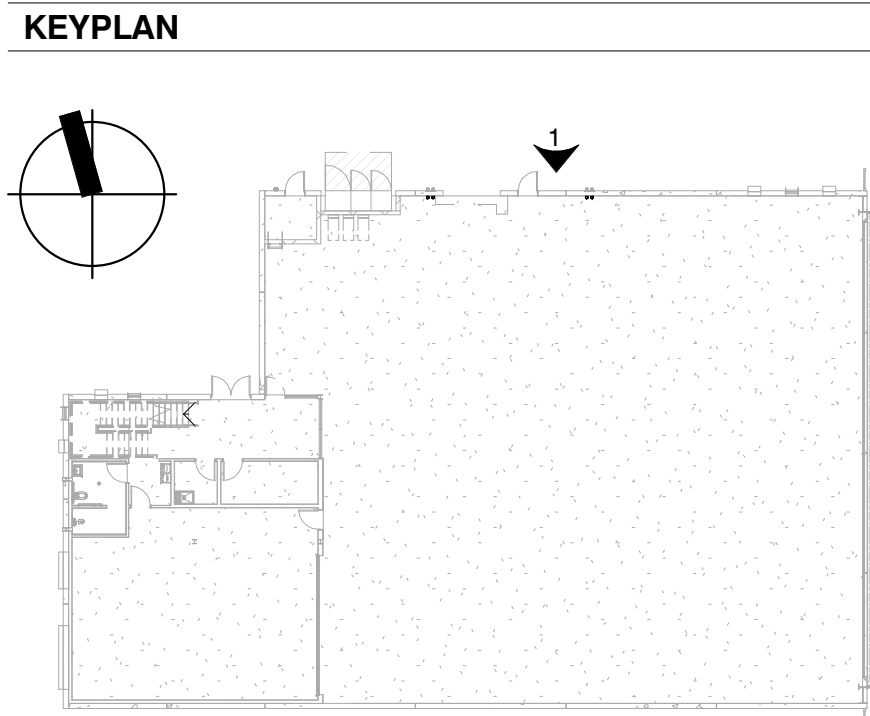
2 EAST ELEVATION - COLOR
3/16" = 1'-0"



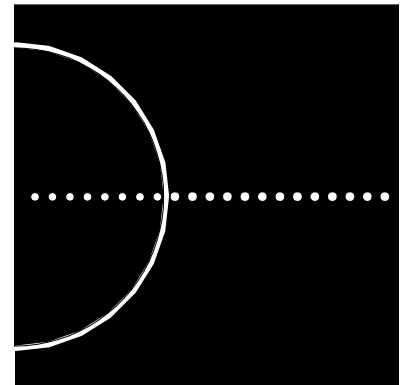
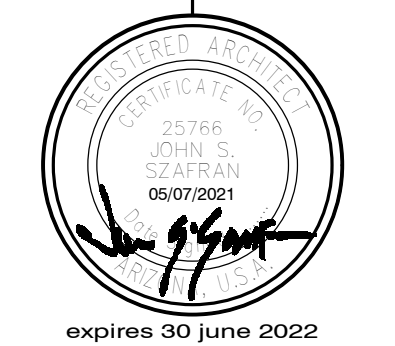
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EXTERIOR FINISHES LEGEND			
CMU-1	DESCRIPTION: LOCATION: MANUFACTURER: PRODUCT: COLOR:	8" X 8" X 16" GROUND FACE CONCRETE MASONRY EXTERIOR SITE WALLS RCP BLOCK PRECISION BLOCK CHARCOAL GREY	
CMU-2	DESCRIPTION: LOCATION: MANUFACTURER: PRODUCT: COLOR:	8" X 8" X 16" GROUND FACE CONCRETE MASONRY EXTERIOR SITE WALLS RCP BLOCK PRECISION BLOCK NATURAL GREY	
MTL-1	DESCRIPTION: LOCATION: MANUFACTURER: COLOR: FINISH:	STEEL PLATES WALL CAPS, SHADOW BOX WINDOW FRAMES BERRIDGE MATTE BLACK MATTE	
MTL-2	DESCRIPTION: LOCATION: MANUFACTURER: COLOR: FINISH:	CUSTOM PANEL DECKING BI-FOLD DOOR, CANOPY BERRIDGE CITYSCAPE METALLIC FINISH	
CONC-1	DESCRIPTION: LOCATION: COLOR: TEXTURE:	SEALED CONCRETE TILT CONCRETE WALL PANELS NATURAL GREY SMOOTH	
CONC-2	DESCRIPTION: LOCATION: COLOR: TEXTURE:	BOARD FORMED CONCRETE TILT CONCRETE WALL PANELS STANDARD GREY BOARD FORM	
PT-1	DESCRIPTION: LOCATION: MANUFACTURER: COLOR: FINISH: LRV:	EXTERIOR PAINT STEEL COLUMNS AND BASE PLATES SHERWIN WILLIAMS SW6991 - BLACK MAGIC MATTE 5	
PT-2	DESCRIPTION: LOCATION: MANUFACTURER: COLOR: FINISH: LRV:	EXTERIOR PAINT STEEL COLUMNS, BASE PLATES AND DOORS SHERWIN WILLIAMS SW7654 - LATTICE MATTE 61	
PT-3	DESCRIPTION: LOCATION: MANUFACTURER: COLOR: FINISH: LRV:	EXTERIOR PAINT BIKE RACK FERRARI FERRARI 513/C - BLU SWATERS METALLIC 5.26	
IG-1	DESCRIPTION: LOCATION: MANUFACTURER:	1" LOW-E TINTED INSULATED GLAZING UNITS SHADOWBOX WINDOWS/STOREFRONT ASSEMBLIES VITRO (GLASS)	

KEYNOTES	
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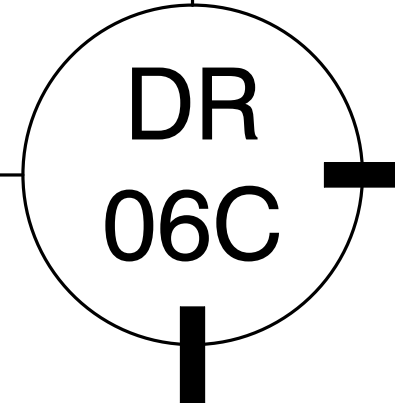
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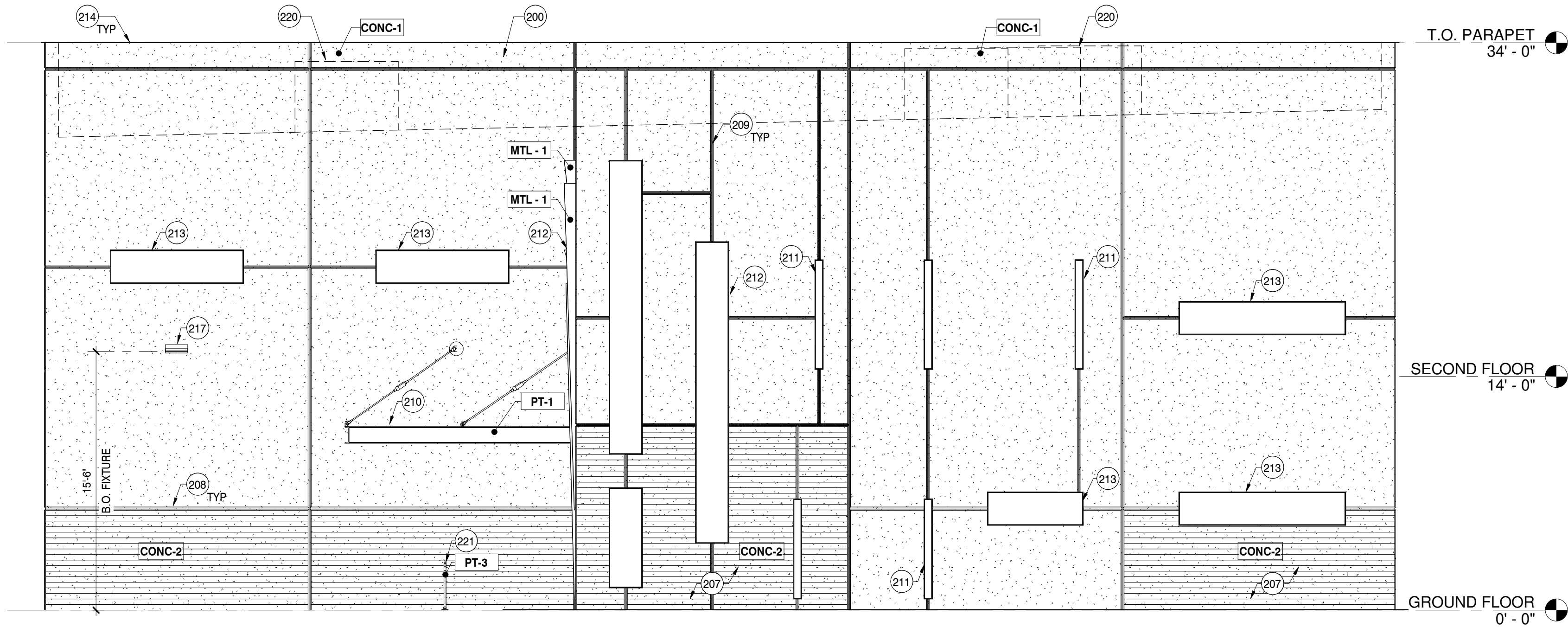
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REVISION SCHEDULE		
#	DESCRIPTION	DATE

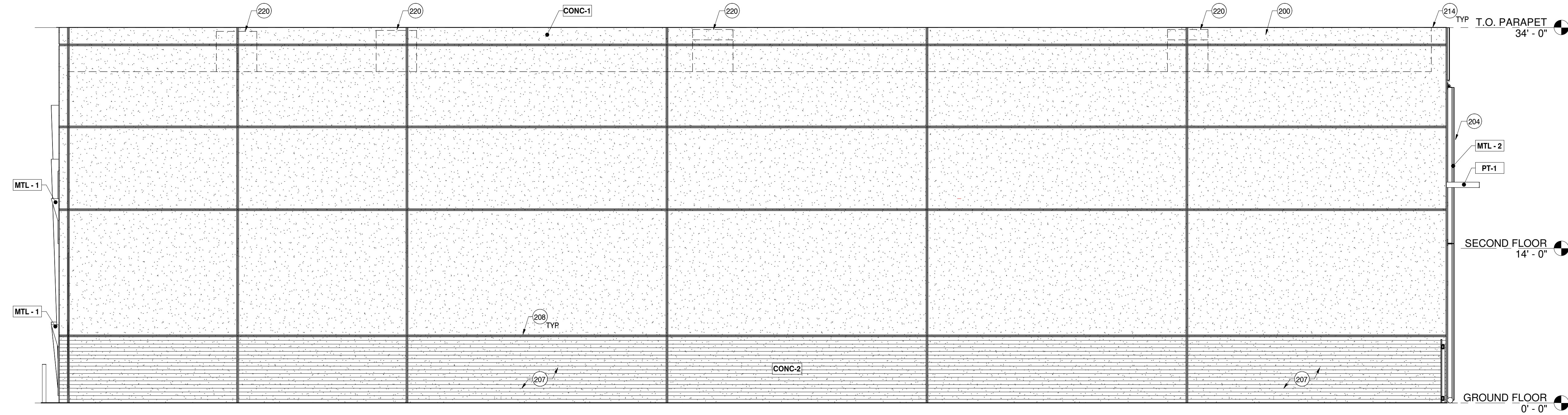
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project no.: 19067
date: 05/07/2021



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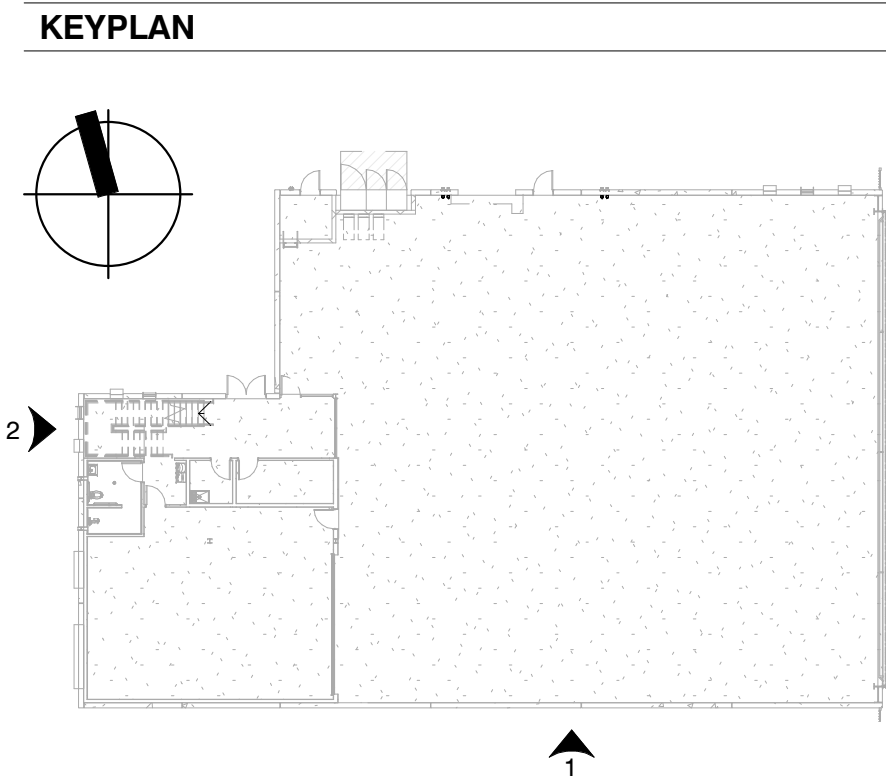
2 WEST ELEVATION
3/16" = 1'-0"



1 SOUTH ELEVATION
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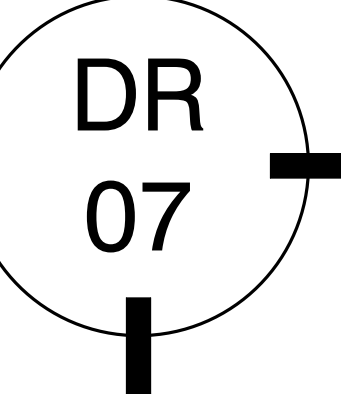
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REVISION SCHEDULE		
#	DESCRIPTION	DATE

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project no.: 19067
date: 05/07/2021



BUILDING ELEVATIONS

PLOT DATE: 5/7/2021 8:33:22 AM

DR
07C

HANGAR / OFFICE BUILDING

SCOTTSDALE, AZ

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LANDSCAPE ARCHITECT | NORRIS DESIGN

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PHOENIX, ARIZONA 85034
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CIVIL ENGINEER | BOWMAN CONSULTING

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TEMPE, ARIZONA 85281
PH# 480 629 8830
CONTACT: JOHN GRAY
EMAIL: JGRAY@BOWMANCONSULTING.COM

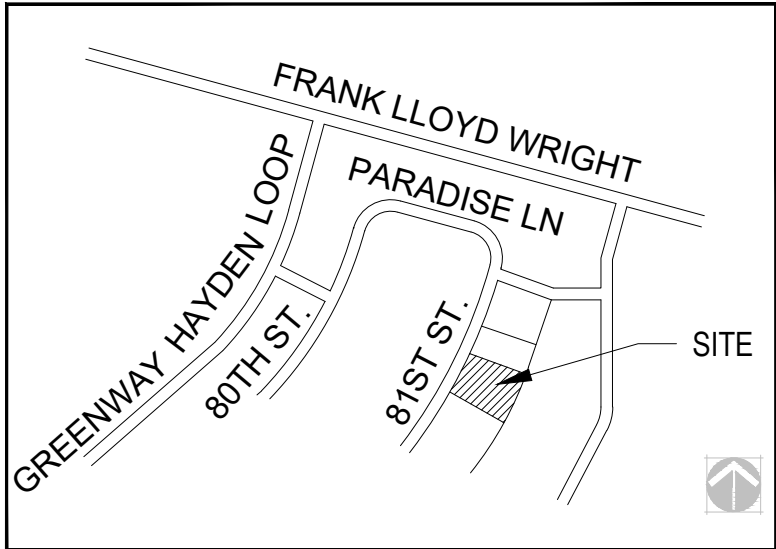
CITY OF SCOTTSDALE LANDSCAPE NOTES

- AREAS OF SALVAGED DESERT SURFACE SOIL WITHOUT PLANT MATERIALS / GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND / OR COVERAGE.
- A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND / OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 40 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAT 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPE AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF THE FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
- THE LANDSCAPE SPECIFICATION SECTIONS OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETATED AREAS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED AREAS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS.

LANDSCAPE GENERAL NOTES (NOT APPROVED BY CITY)

- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. ROUGH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING DECOMPOSED GRANITE.
- ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RAKED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES, APPLY WEED PRE-EMERGENT SURFLAN AS PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, RIVER RUN, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATER SETTLED. PROVIDE A SECOND APPLICATION OF THE PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE AS SPECIFIED IN THE TOPDRESS SCHEDULE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
- ALL RIGHT-OF-WAY PLANT MATERIAL MUST BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
- BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
- ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
1 GALLON PLANT - 1 TABLET
15 GALLON PLANT - 4 TABLETS
5 GALLON PLANT - 2 TABLET
BOXED TREE - 6 TABLETS (MIN.)
TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE. PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S REPRESENTATIVE THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF ONE (1) YEAR FOR ALL TREES AND 90 DAYS FOR ALL UNDERSTORY PLANT MATERIAL DATED FROM START OF MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM. ONE (1) YEAR GUARANTEE FOR ALL TREES AND PALMS.
- INSTALL ALL SIDEWALKS PER A.D.A. REQUIREMENTS.
- A COUNTY DUST CONTROL PERMIT IS REQUIRED. THE CONTRACTOR SHALL RETAIN THIS PERMIT.
- THERE IS NO PROTECTED NATIVE PLANT MATERIAL ON EXISTING SITE. THERE IS NO SALVAGED PLANT MATERIAL BEING USED ON PLAN.
- THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/ CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAY OR PARKING AREA CURBING.

VICINITY MAP



SHEET INDEX

SHEET #	DESCRIPTION	09/29/2021 ISSUED FOR: DRB SUBMITTAL	04/29/2021 ISSUED FOR: DRB RE-SUBMITTAL
LA-100	COVER SHEET	X	X
LA-101	LANDSCAPE PLAN	X	X
LA-102	HARDSCAPE PLAN	X	X

OWNER:

4GROUP BUILDING, LLC

6109 N PALO CHRISTI ROAD
PARADISE VALLEY, AZ 85253



DATE:

4/29/21 CITY DRB
SUBMITTAL

SHEET TITLE:

COVER SHEET

HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC

16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260

OWNER:

4GROUP BUILDING, LLC

6109 N PALO CHRISTI ROAD
PARADISE VALLEY, AZ 85253



DATE:

4/29/21 CITY DRB

SUBMITTAL

SHEET TITLE:
LANDSCAPE
PLAN

LA-101



PLANT SCHEDULE				
TREES	BOTANICAL / COMMON NAME	SIZE & TRUNK TYPE	CALIPER	QTY
	CAESALPINIA CACALACO CASCALOTE	24" BOX MULTI-TRUNK	1.5" CAL MIN	3
	PROSOPIS GLANDULOSA 'THORNLESS AZT' THORNLESS HONEY MESQUITE	15 GAL MULTI-TRUNK	1.5" CAL MIN	4
SHRUBS	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	DODONAEA VISCOSA GREEN HOPSEED	5 GAL		27
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL		7
	RUELLIA BRITTONIANA MEXICAN PETUNIA	5 GAL		22
GRASSES	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM REGAL MIST	5 GAL		26
GROUNDCOVER	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU	1 GAL		15
	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL		6
SUCCULENTS	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	ALOE X 'BLUE ELF' BLUE ELF ALOE	5 GAL		14
	FOUQUIERIA SPLENDENS OCOTILLO	24" BOX	8'-10' TALL	1

TOPDRESS SCHEDULE

TYPE 2 - DECOMPOSED GRANITE
SIZE: 1/2" SCREENED
COLOR: EXPRESS GOLD
SOURCE: PIONEER
2" DEPTH IN ALL ALL LANDSCAPE AREAS
(TYP.)

NOTES:

- CONTRACTOR TO PROVIDE SAMPLES OF ALL TOPDRESS MATERIALS TO OWNER'S REPRESENTATIVE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

LANDSCAPE NOTE:
THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/ CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAY OR PARKING AREA CURBING.

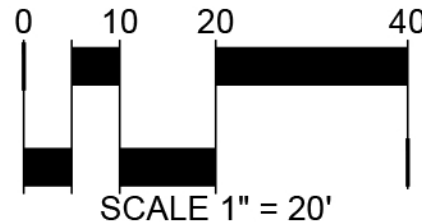
LANDSCAPE AREA CALCULATIONS

ON-SITE LANDSCAPING
2,934 S.F. TOTAL

RIGHT OF WAY LANDSCAPING
408 S.F. TOTAL

PARKING LOT LANDSCAPING
1,436 S.F. TOTAL

MATURE TREE PERCENTAGE
57%



HANGAR / OFFICE BUILDING
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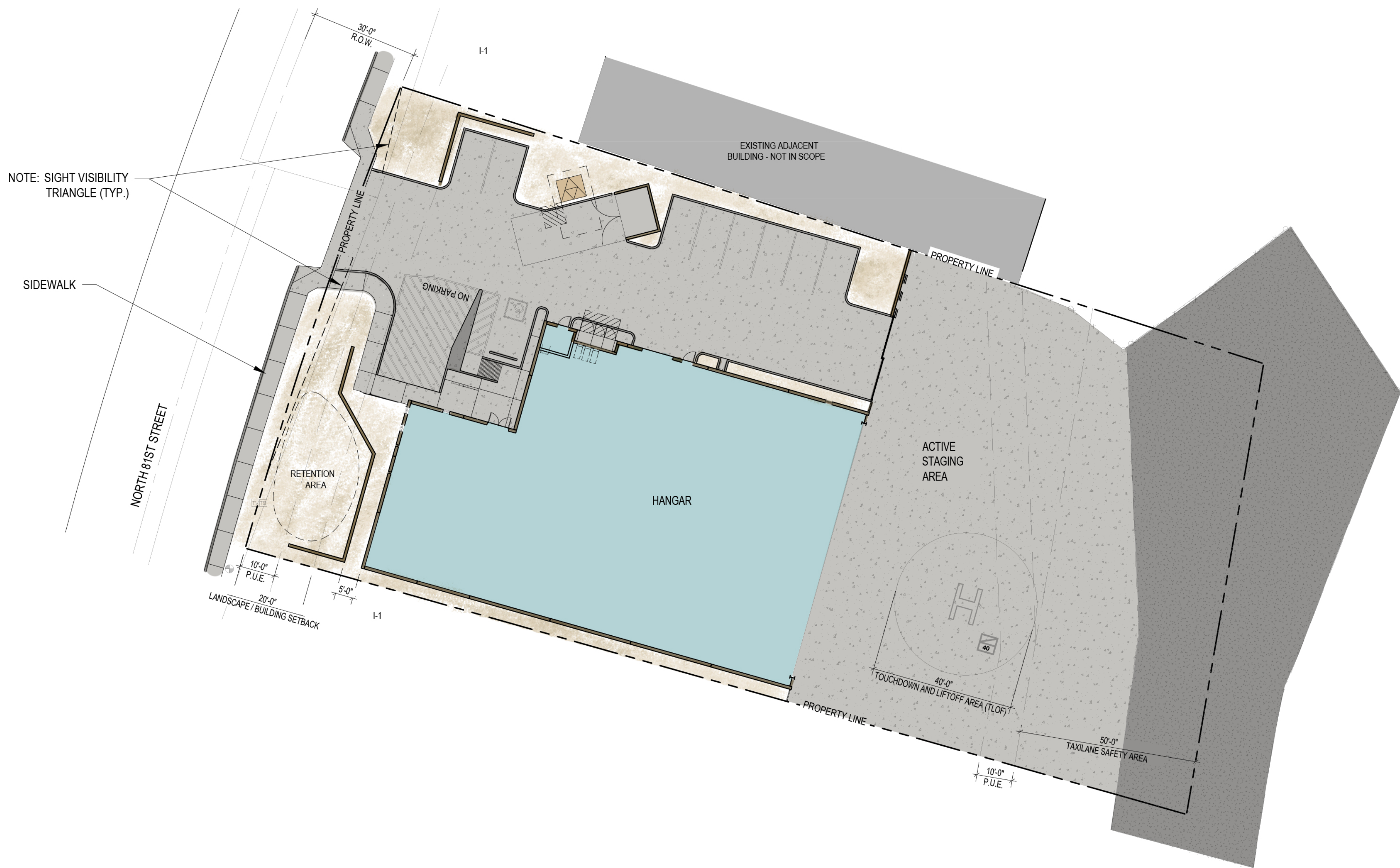
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4GROUP BUILDING, LLC
6109 N PALO CHRISTI ROAD
PARADISE VALLEY, AZ 85253



DATE:
4/29/21 CITY DRB
SUBMITTAL

SHEET TITLE:
HARDSCAPE
PLAN

LA-102



PAVING SCHEDULE

- TYPE 1 - CONCRETE
FINISH: BROOM
COLOR: STANDARD GRAY
TYPE: VEHICULAR RATED
PER MAG DETAIL 250-2
- TYPE 2 - CONCRETE
FINISH: BROOM
COLOR: STANDARD GRAY
TYPE: VEHICULAR AND AIRCRAFT
RATED
PER MAG DETAIL 250-20
- TYPE 3 - ASPHALT PAVEMENT
COLOR: STANDARD
TYPE: VEHICULAR AND AIRCRAFT
RATED
PER MAG DETAIL 201
- TYPE 4 - EXISTING SIDEWALK TO
REMAIN

NOTES:

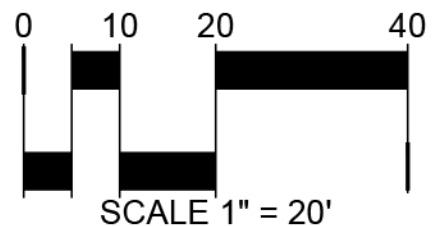
- CONTRACTOR TO PROVIDE 5'x5'
MOCKUP OF ALL PAVING MATERIALS
AND FINISHES FOR REVIEW AND
APPROVAL BY OWNER AND
LANDSCAPE ARCHITECT PRIOR TO
CONSTRUCTION.

TOPDRESS SCHEDULE

- TYPE 2 - DECOMPOSED GRANITE
SIZE: 1/2" SCREENED
COLOR: EXPRESS GOLD
SOURCE: PIONEER
2" DEPTH IN ALL ALL LANDSCAPE AREAS
(TYP.)

NOTES:

- CONTRACTOR TO PROVIDE SAMPLES OF ALL
TOPDRESS MATERIALS TO OWNER'S
REPRESENTATIVE ARCHITECT FOR REVIEW
AND APPROVAL PRIOR TO INSTALLATION.



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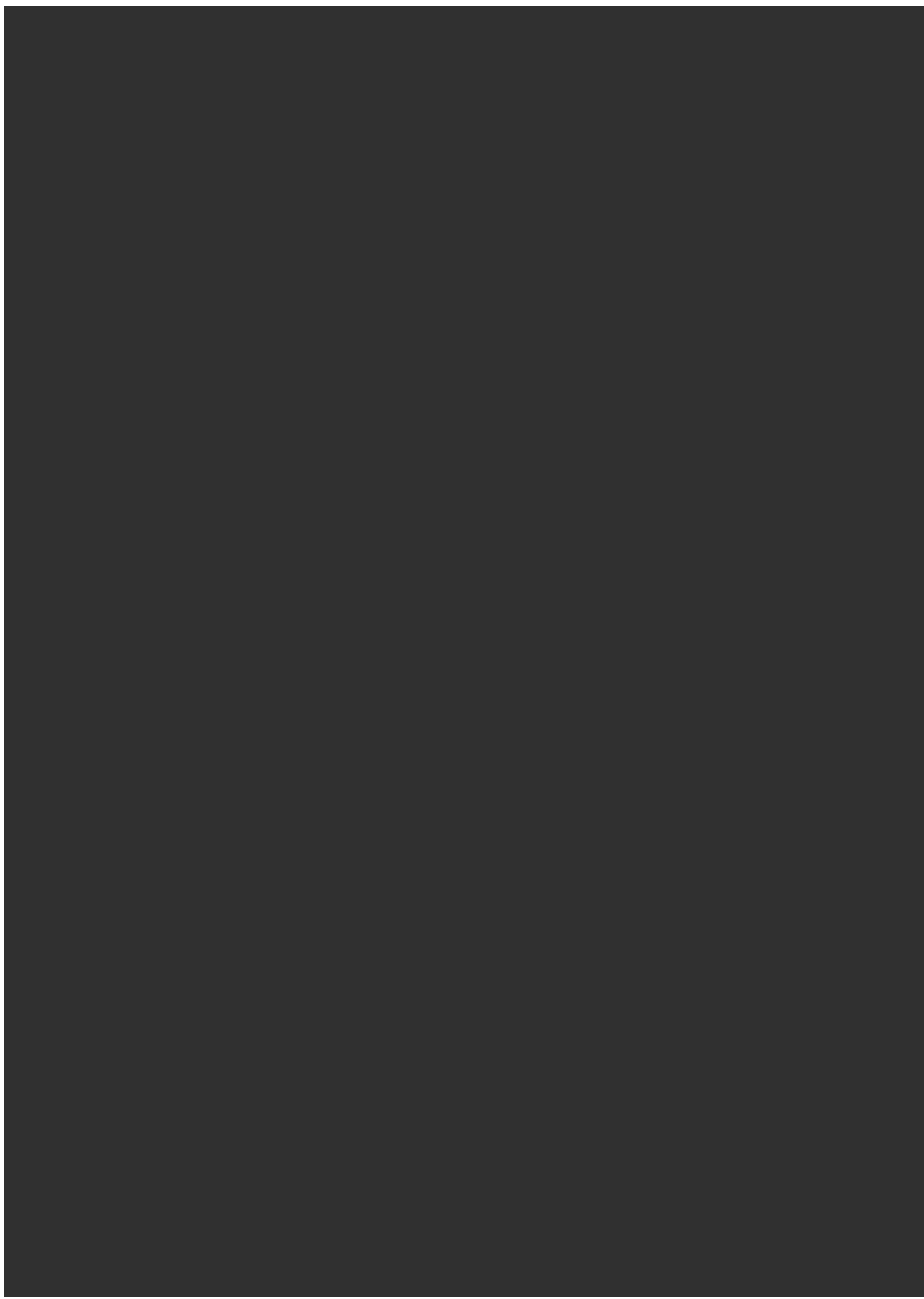
CMU-1 DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY
LOCATION: EXTERIOR SITE WALLS
MANUFACTURER: RCP BLOCK
PRODUCT: PRECISION BLOCK
COLOR: CHARCOAL GREY



CONC-1 DESCRIPTION: SEALED CONCRETE
LOCATION: TILT CONCRETE WALL PANELS
COLOR: NATURAL GREY
TEXTURE: SMOOTH



MTL-1 DESCRIPTION: STEEL PLATES
LOCATION: WALL CAPS, SHADOW BOX WINDOW FRAMES
MANUFACTURER: BERRIDGE
COLOR: MATTE BLACK
FINISH: MATTE
LRV: 3



PT-1 DESCRIPTION: EXTERIOR PAINT
LOCATION: STEEL COLUMNS AND BASE PLATES
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW6991 - BLACK MAGIC
FINISH: MATTE
LRV: 3



PT-3 DESCRIPTION: EXTERIOR PAINT
LOCATION: BIKE RACK
MANUFACTURER: FERRARI
COLOR: FERRARI 513/C - BLU SWATERS
FINISH: METALLIC
LRV: 5.26



CMU-2 DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY
LOCATION: EXTERIOR SITE WALLS
MANUFACTURER: RCP BLOCK
PRODUCT: PRECISION BLOCK
COLOR: NATURAL GREY



CONC-2 DESCRIPTION: BOARD FORMED CONCRETE
LOCATION: TILT CONCRETE WALL PANELS
COLOR: STANDARD GREY
TEXTURE: BOARD FORM



MTL-2 DESCRIPTION: CUSTOM PANEL DECKING
LOCATION: BI-FOLD DOOR, CANOPY
MANUFACTURER: BERRIDGE
COLOR: CITYSCAPE
FINISH: METALIC FINISH
LRV: 54



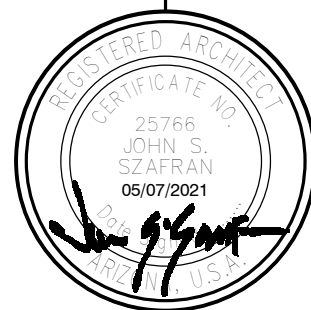
PT-2 DESCRIPTION: EXTERIOR PAINT
LOCATION: STEEL COLUMNS AND BASE PLATES
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW7654 - LATTICE
FINISH: MATTE
LRV: 61



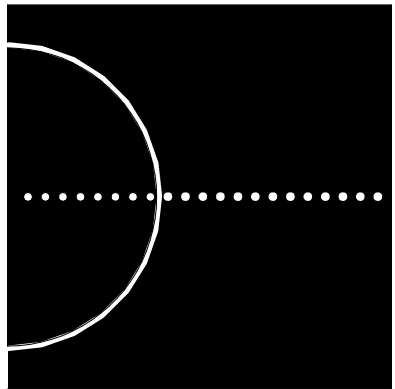
IG-1 DESCRIPTION: 1" LOW-E TINTED INSULATED GLAZING UNITS
LOCATION: SHADOWBOX WINDOWS/STOREFRONT ASSEMBLIES
MANUFACTURER: VITRO (GLASS)

HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC
16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260



expires 30 June 2022



DESIGNERS OF
PROGRESSIVE
ARCHITECTURE

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REVISION SCHEDULE

#	DESCRIPTION	DATE

drawn by: jw

project no.: 19067

date: 05/07/2021

DR
14

BUILDING EXTERIOR MATERIAL / COLOR BOARD

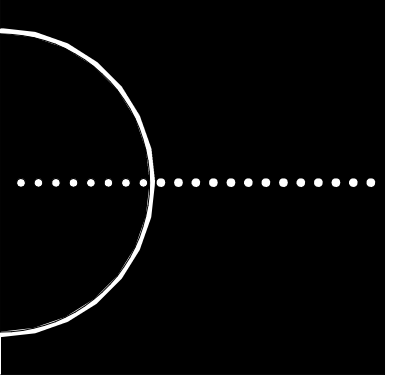
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1 81st STREET TOWARDS HANGAR

EXTERIOR PERSPECTIVE

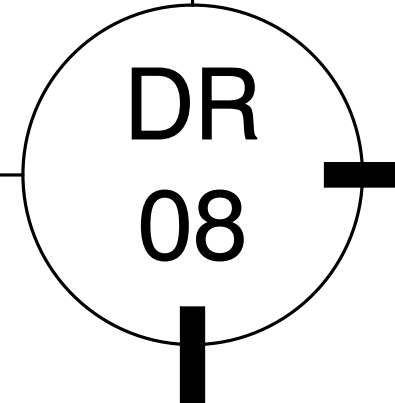
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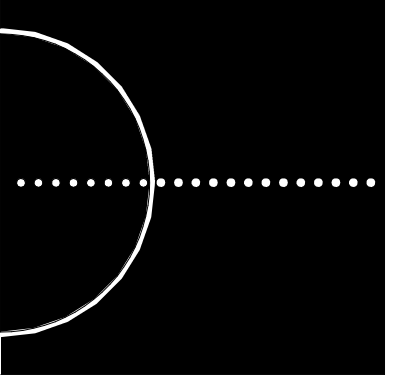


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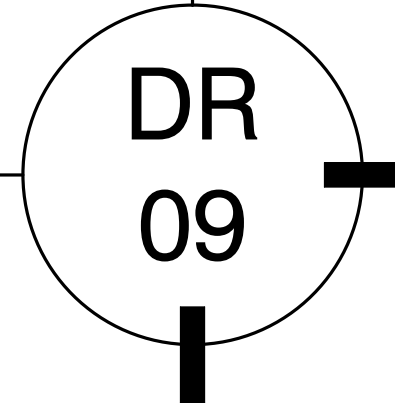
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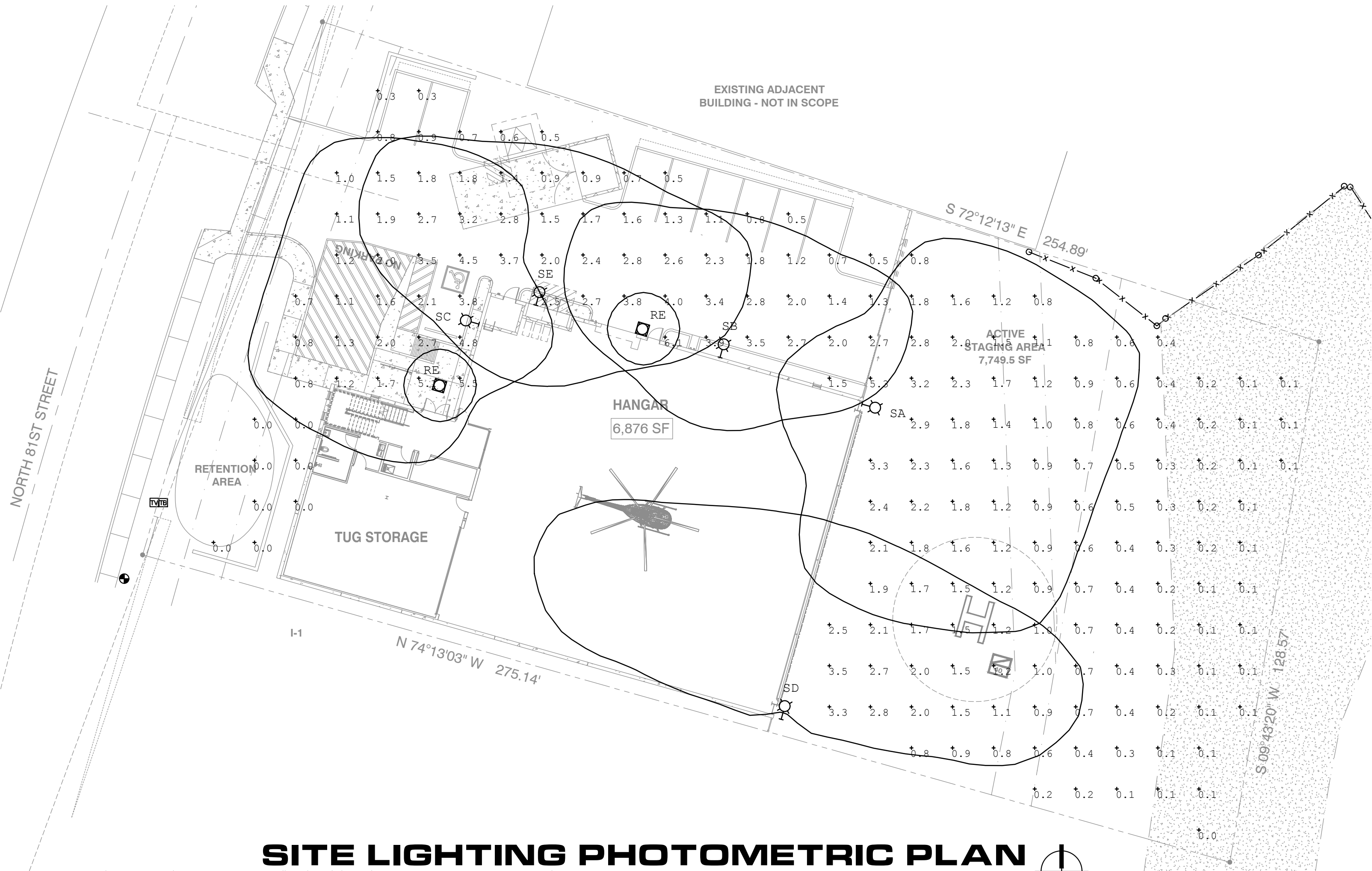
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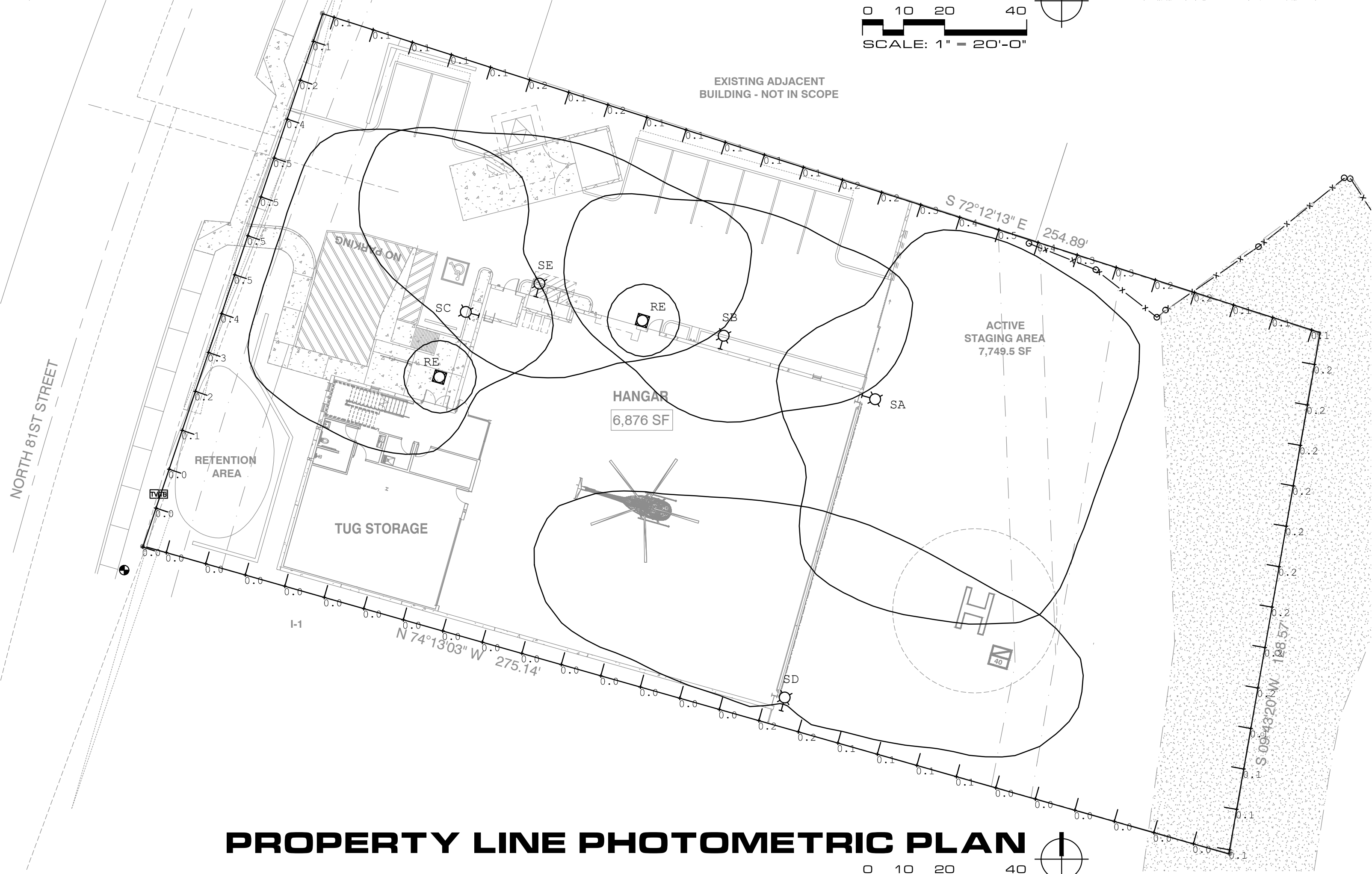
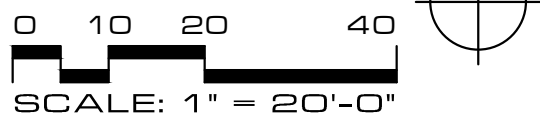
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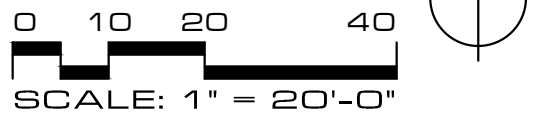
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SITE LIGHTING PHOTOMETRIC PLAN



PROPERTY LINE PHOTOMETRIC PLAN



GENERAL NOTES

- A. REFER TO ELECTRICAL LEGEND AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- B. NEW EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF - DOWNLIGHT ONLY.
- C. NEW EXTERIOR LIGHT FIXTURES SHALL BE CONTROLLED BY AN AUTO LIGHTING CONTROL PANEL WHICH SHALL HAVE A PHOTOCELL INPUT TO TURN ON/OFF LIGHT FIXTURES FROM DUSK TO DAWN.

Qty	Label	Manufacturer	Description	Mtg Height	LLF	Lumens	Watts	Total Watts
2	RE	PRESCOLITE	LTR-6RD-H-SL06L-DM1 LTR-6RD-T-SL30K8WDS	10'	0.970	691	7.8	15.6
1	SA	U.S. ARCHITECTURAL LIGHTING	R2R-WM3-PLED-IV-FT-60LED-525mA-WW	19.5'	0.950	11690	97.1	97.1
1	SB	U.S. ARCHITECTURAL LIGHTING	R2R-WM2-PLED-III-M-40LED-350mA-WW	15.5'	0.950	6728	42.7	42.7
1	SC	U.S. ARCHITECTURAL LIGHTING	R2R-WM2-PLED-IV-FT-40LED-525mA-WW	15.5'	0.950	8777	64.7	64.7
1	SD	U.S. ARCHITECTURAL LIGHTING	R2R-WM2-PLED-III-W-40LED-875mA-WW-HS	19.5'	0.950	10176	107.9	107.9
1	SE	U.S. ARCHITECTURAL LIGHTING	R2R-WM2-PLED-III-M-40LED-350mA-WW	19.5'	0.950	6728	42.7	42.7

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.14	0.5	0.0	N.A.	N.A.
Site	Illuminance	Fc	1.34	6.1	0.0	N.A.	N.A.

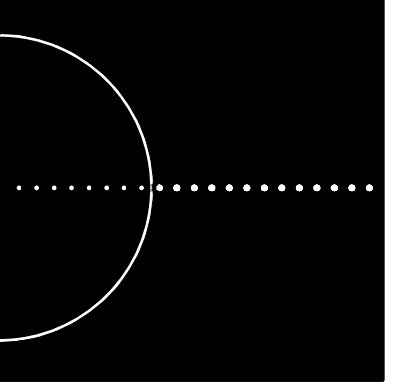
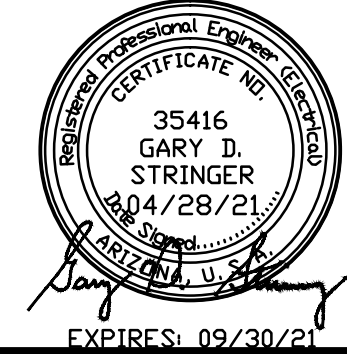
TEMPERATURE / COLOR OF ALL LIGHT FIXTURES / LAMPS SHALL BE 3000K

ELEVATION OF FIXTURES IS AS FOLLOWS - TO BOTTOM OF FIXTURE:
(REFER ALSO TO ARCHITECTURAL ELEVATIONS)

RE - +10'-0" (OR BOTTOM OF CANOPY)
SA - +19'-7"
SB - +15'-6"
SC - +15'-6"
SD - +19'-7"
SE - +19'-7"

HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC
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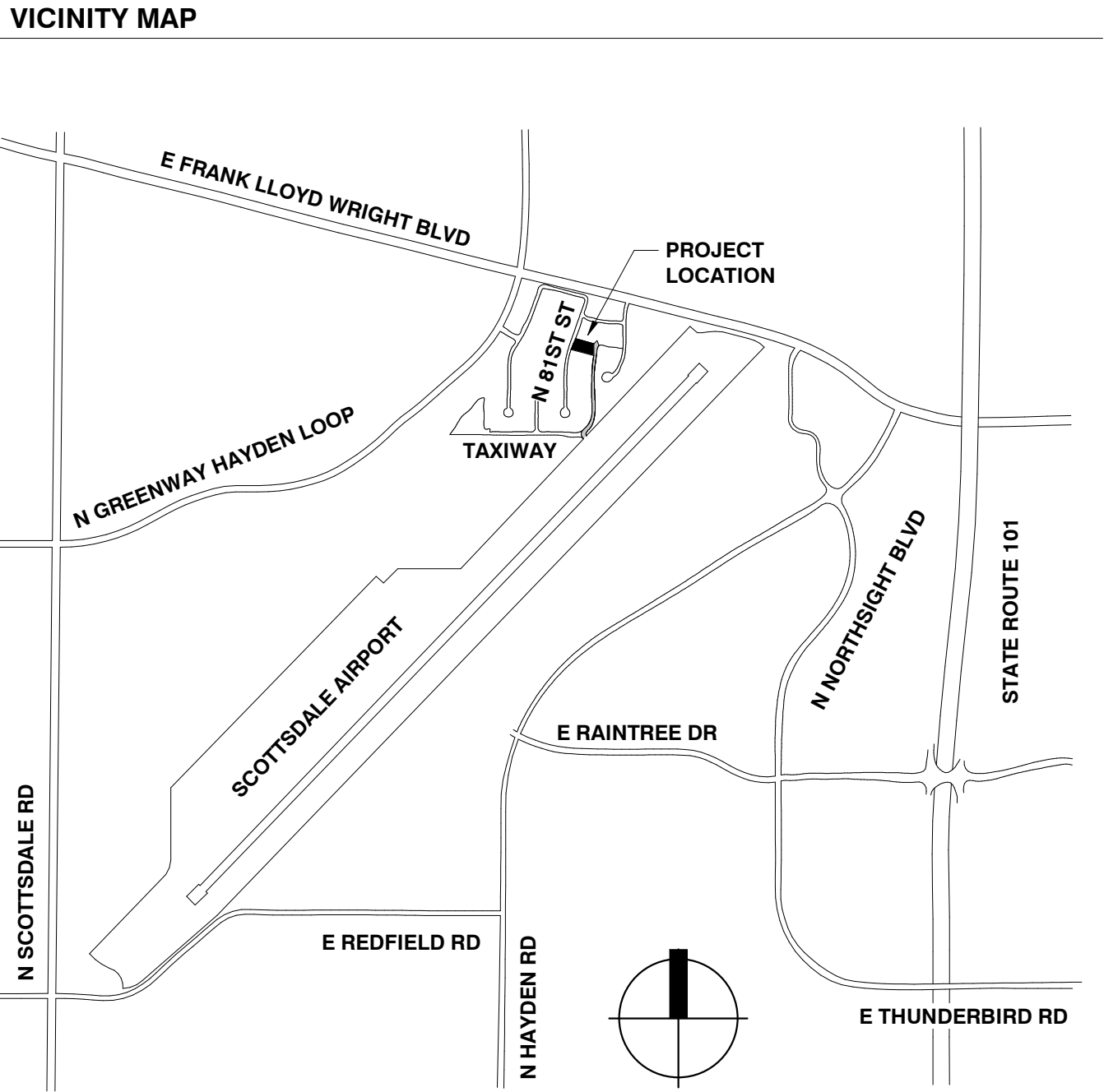
drawn by: gds
project no.: 19067
date: 02/26/2021

SITE LIGHTING PHOTOMETRIC PLAN

PH1

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- KEYNOTES**
- 30 NEW TILT-UP CONCRETE PANEL, TYP.
 - 31 TRASH ENCLOSURE PER C.O.S. STD. DETAIL 2146-1.
 - 32 TRASH ENCLOSURE STEEL GATE.
 - 33 CONCRETE SIDEWALK - SEE CIVIL DRAWINGS.
 - 35 LANDSCAPE - SEE LANDSCAPE DRAWINGS.
 - 37 PARKING STRIPING, TYP.
 - 38 ACCESSIBLE PARKING STALL.
 - 39 ACCESSIBLE PARKING AISLE.
 - 40 ACCESSIBLE CURB RAMP.
 - 41 ASPHALT PAVING - SEE CIVIL DRAWINGS.
 - 42 CONCRETE PAVING AT TRASH ENCLOSURE - SEE CIVIL DRAWINGS.
 - 43 CONCRETE PAVING - SEE CIVIL DRAWINGS.
 - 45 SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS.
 - 46 ELECTRICAL TRANSFORMER - SEE ELECTRICAL DRAWINGS.
 - 47 RETENTION AREA WITH SITE WALLS - SEE CIVIL DRAWINGS.
 - 48 MD500 AIRCRAFT.
 - 49 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
 - 51 EXISTING UTILITY BOX TO REMAIN.
 - 52 EXISTING FIRE HYDRANT TO REMAIN.
 - 58 DOUBLE BIKE RACK PER C.O.S. STD. DETAIL 2285.
 - 59 DRIVEWAY PER C.O.S. STD. DETAIL 2256 CL-1.
 - 60 NEW 8' - 0" MASONRY WALL - COORDINATE CONNECTION TO ADJACENT PROPERTY'S TAXIWAY BARRIER WITH THE ADJACENT PROPERTY OWNER, THE CITY OF SCOTTSDALE AIRPORT, BUILDING DEPARTMENT, AND NORTHWEST AIRPARK PROPERTY OWNERS ASSOCIATION.



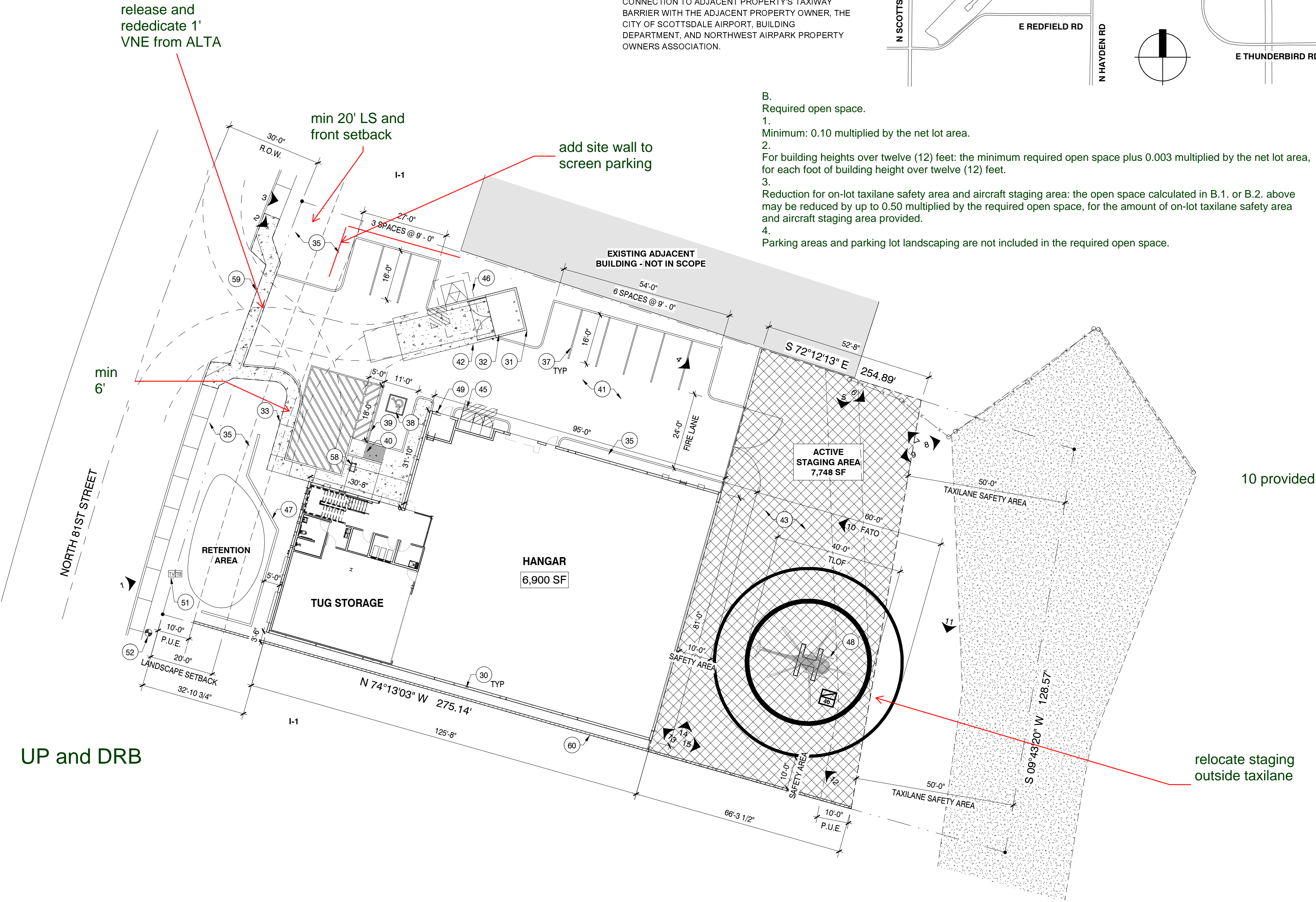
PROJECT DATA

PROJECT DESCRIPTION:	THE DEVELOPMENT OF AN AIRCRAFT HANGAR WITH ACCESSORY OFFICE AREA AT THE CITY OF SCOTTSDALE MUNICIPAL AIRPORT.
PROJECT OWNER:	4GROUP BUILDING, LLC. 6109 NORTH 75TH STREET, SUITE 105 SCOTTSDALE, ARIZONA 85253 DAN D. DIETHELM EMAIL: DANDIETHELM@GMAIL.COM
PROJECT ARCHITECT:	DPA ARCHITECTS, INC. 3719 NORTH 75TH STREET, SUITE 105 SCOTTSDALE, AZ 85251 JOHN S. SZAFRAN, AIA, LEED AP EMAIL: JSSZAFRAN@DPAARCHITECTS.COM
BOOK-MAP-PARCEL:	215-48-055
CURRENT ZONING:	I-1 (SCOTTSDALE MUNICIPAL AIRPORT)
GROSS SITE AREA:	39,345 SF (0.90 ACRES)
NET SITE AREA:	35,201 SF (0.81 ACRES)
ALLOWABLE LOT COVERAGE:	0.80
BUILDING SITE COVERAGE:	9,202.5 SF (FIRST FLOOR GROSS AREA)
LOT COVERAGE:	9,202.5 SF / 35,201 SF = 26.14% (0.26) < 0.80(26,160.8 SF) = OK
CONSTRUCTION TYPE:	V-B FULLY SPRINKLERED (PER CITY OF SCOTTSDALE AMENDMENTS)
OCCUPANCY GROUP:	S-1: AIRCRAFT HANGAR (IBC SECTION 311.2) B: OFFICE SPACE (IBC SECTION 304.1) NEW CONSTRUCTION

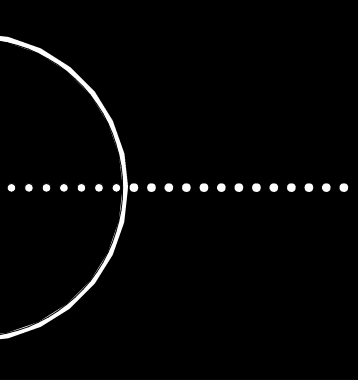
BUILDING HEIGHT ALLOWED:	52'
B OCCUPANCY:	2 STORIES (60')
S-1 OCCUPANCY:	2 STORIES (60')
BUILDING HEIGHT: (IBC TABLE 504.3)	
B OCCUPANCY:	2 STORIES (34')
S-1 OCCUPANCY:	2 STORIES (34')
BUILDING AREA ALLOWABLE: (IBC TABLE 506.2 AND SECTION 506.2.4)	
B OCCUPANCY:	31,014 SF
S-1 OCCUPANCY:	31,014 SF
BUILDING AREA: (INTERIOR NET)	
FIRST FLOOR:	8,913 SF
SECOND FLOOR:	1,869 SF
TOTAL:	10,782 SF
OCCUPANY LOAD:	
OFFICE:	1 PER 100 = 20
HANGAR:	1 PER 500 = 14
TUG PARKING:	1 PER 500 = 3
TOTAL:	37
PARKING ANALYSIS:	
OFFICE:	1 STALL / 300 SF GROSS (2,503.7 SF / 300) = 8.35 SPACES
HANGAR / SUPPORT AREA:	0 SPACES REQUIRED
(9' - 0" WIDE)	
TOTAL REQUIRED:	9 SPACES
TOTAL PROVIDED:	9 SPACES
ACCESSIBLE SPACES REQUIRED:	1 VAN INCLUSIVE
ACCESSIBLE SPACES PROVIDED:	1 VAN INCLUSIVE
ON SITE AIRCRAFT STAGING AREA: (HANGAR TO HOLD SHORT LINE)	
REQUIRED:	GREATER THAN LARGEST SUPPORTED HANGAR
HANGAR AREA:	6,900 SF
PROVIDED:	7,748 SF = OK

SYMBOLS LEGEND

	DIRECTION OF VIEW		FIRE HYDRANT
	CORRESPONDING IMAGE		UTILITY BOX



2 CONTEXT SITE PLAN
1" = 20'-0"

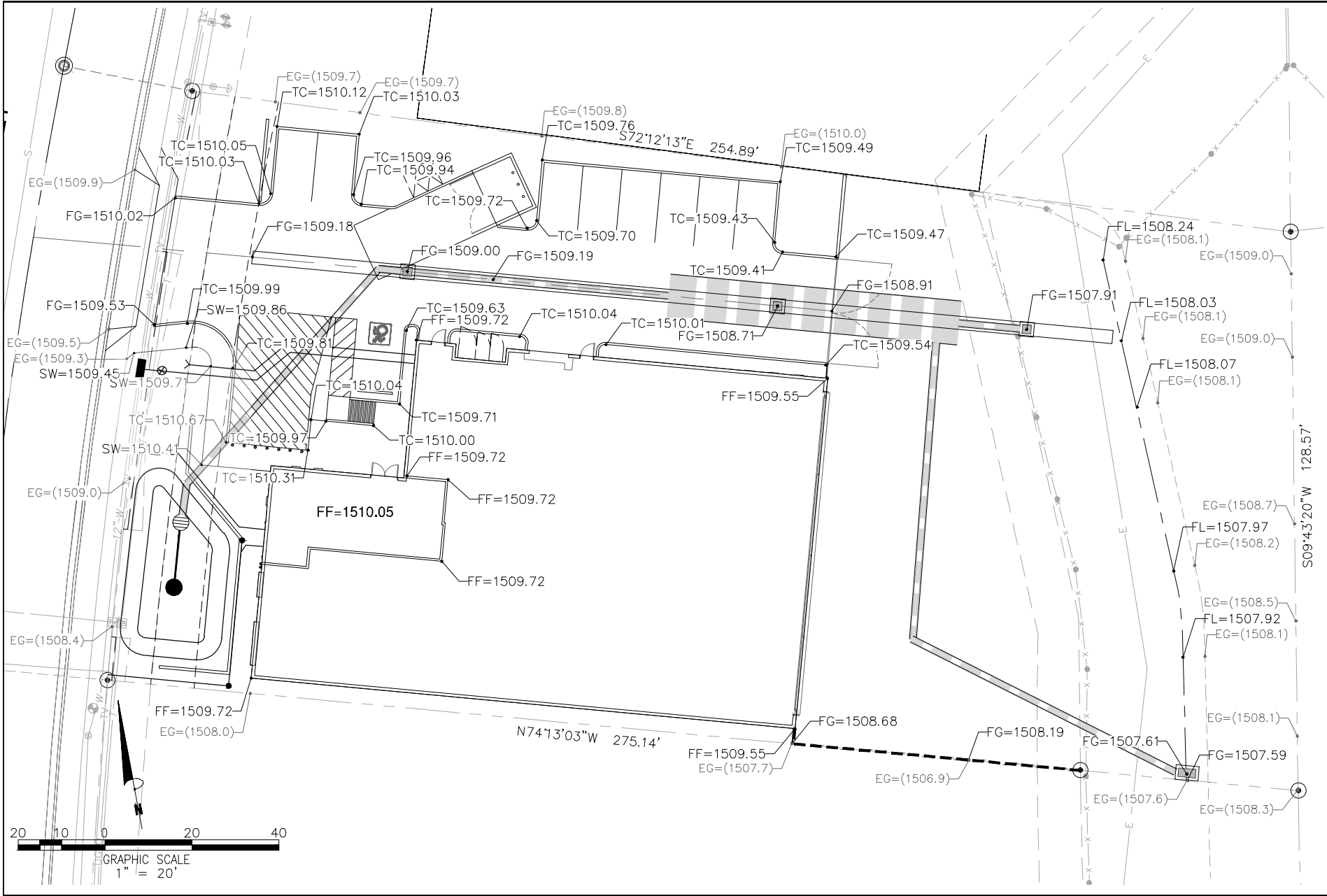


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date: 01/25/2021



NORTH SCOTTSDALE AIRPARK

SCOTTSDALE, AZ

PRELIMINARY DRAINAGE EXHIBIT

1295 West Washington Ste 108
 Tempe, Arizona 85281
 Phone: (480) 629-8830
www.bowmanconsulting.com



JOB #	050941
DATE	FEB. 2021
SCALE	AS NOTED
DRAWN	HMT
SHT	2 OF 2

P:\050941 - North Scottsdale Airpark Unit 1 Lot 35\050941-01-001 (ENG)\Engineering Exhibits\050941-PR-DDM.dwg 03/12/2021

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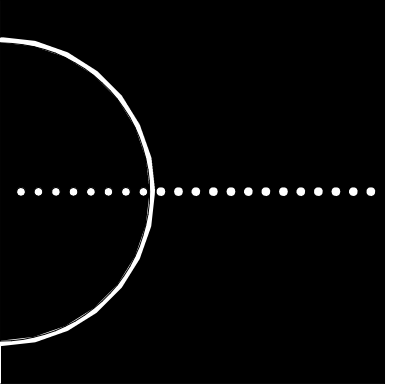


1 81st STREET TOWARDS HANGAR

EXTERIOR PERSPECTIVE

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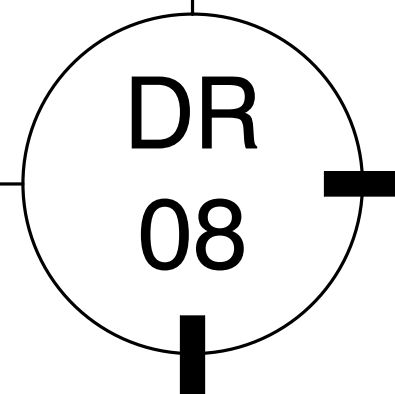
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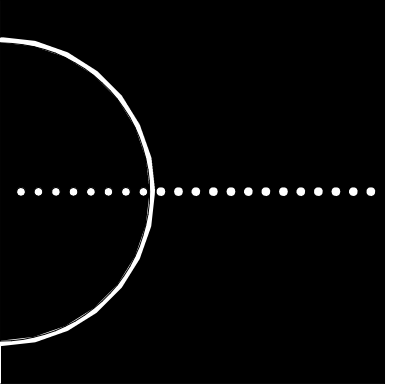


1 TAXIWAY TOWARDS HANGAR

EXTERIOR PERSPECTIVE

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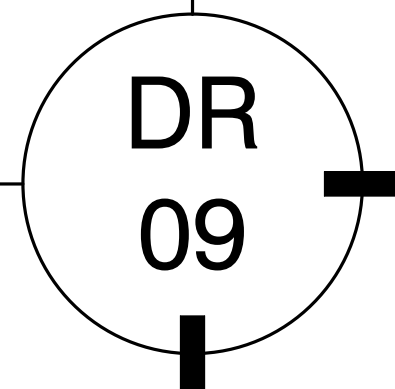
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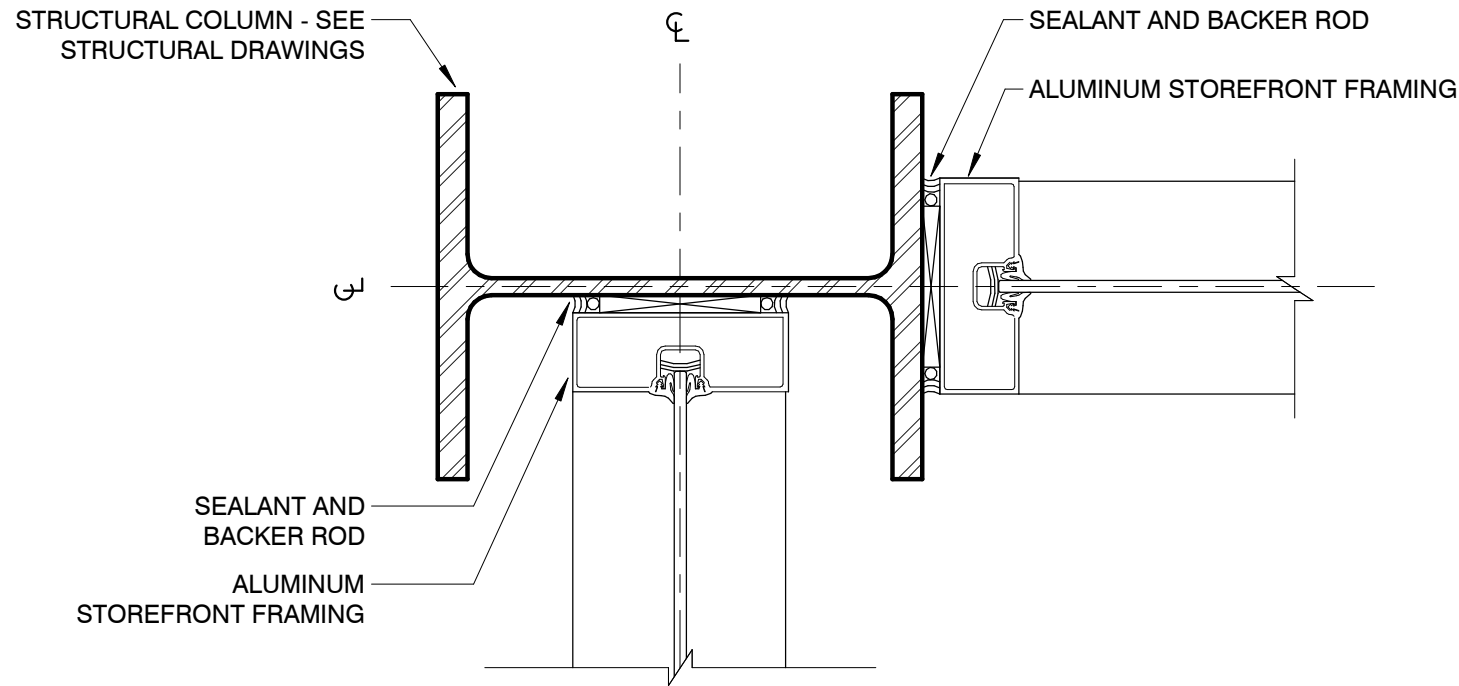
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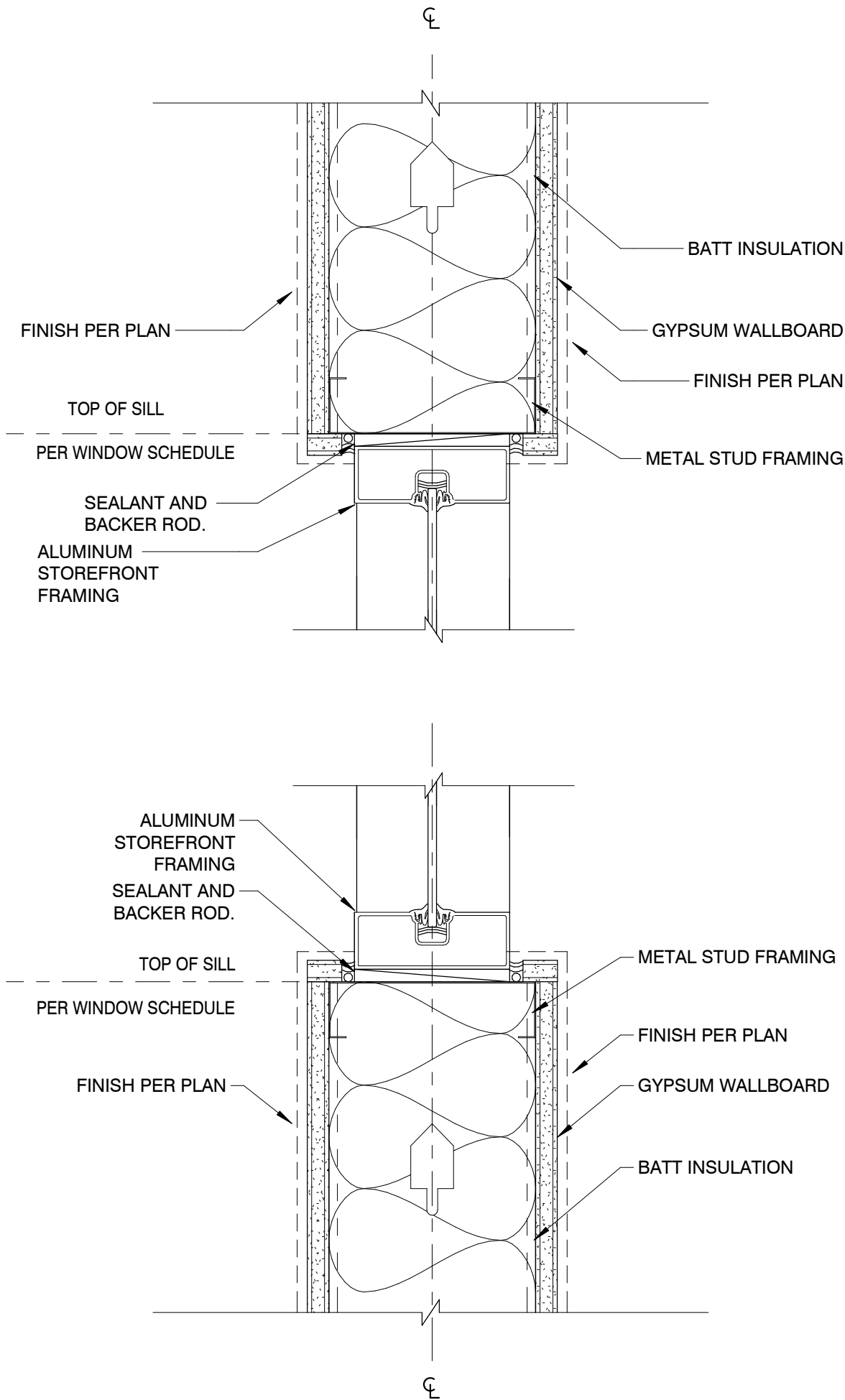
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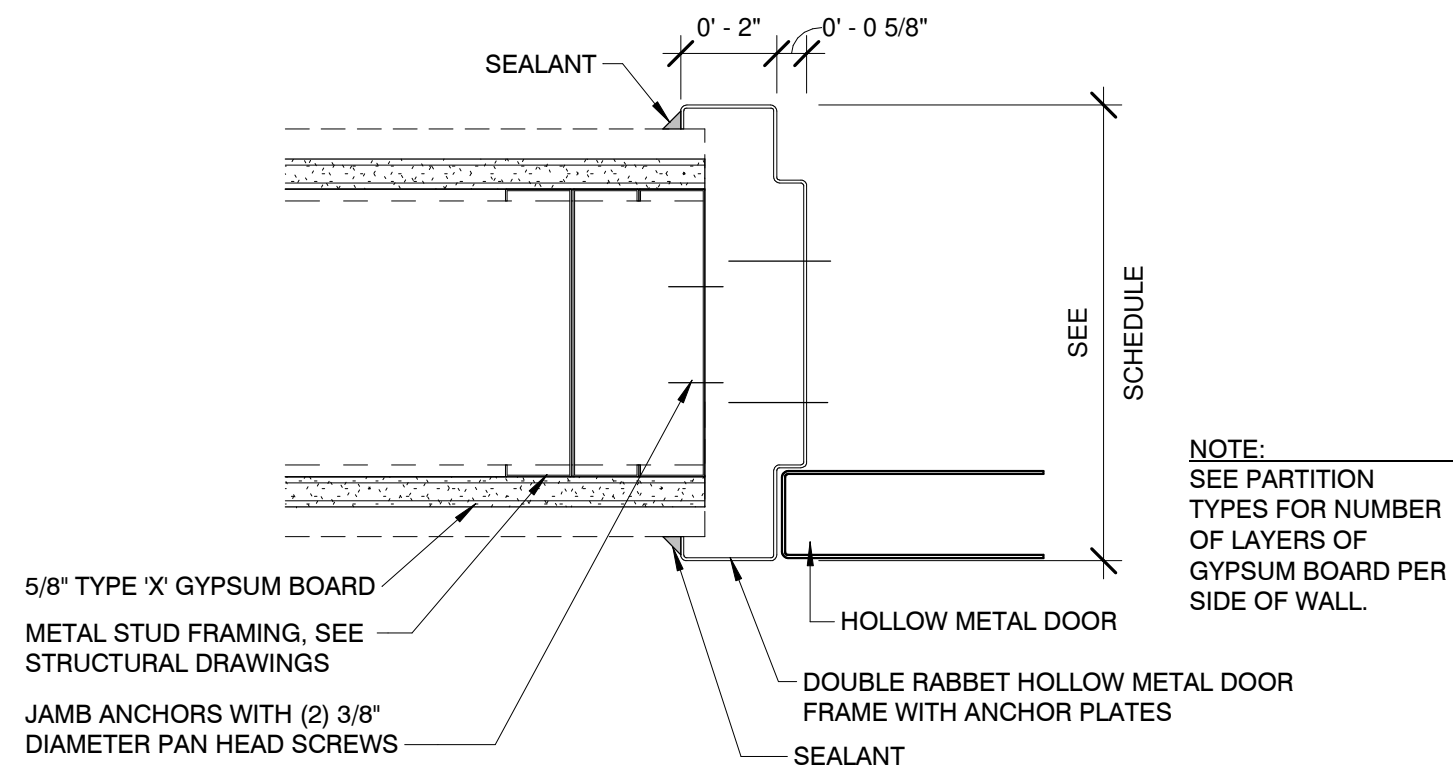
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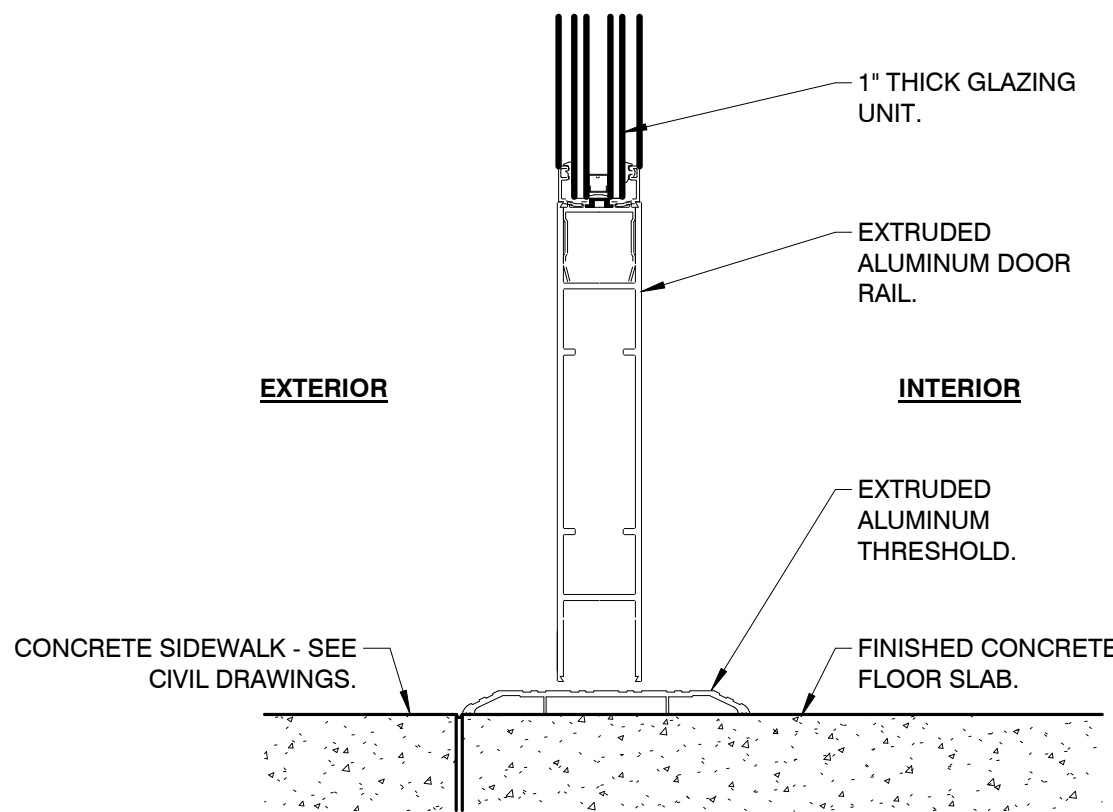
8 STOREFRONT JAMB AT WIDE FLANGE COLUMN
3" = 1'-0"



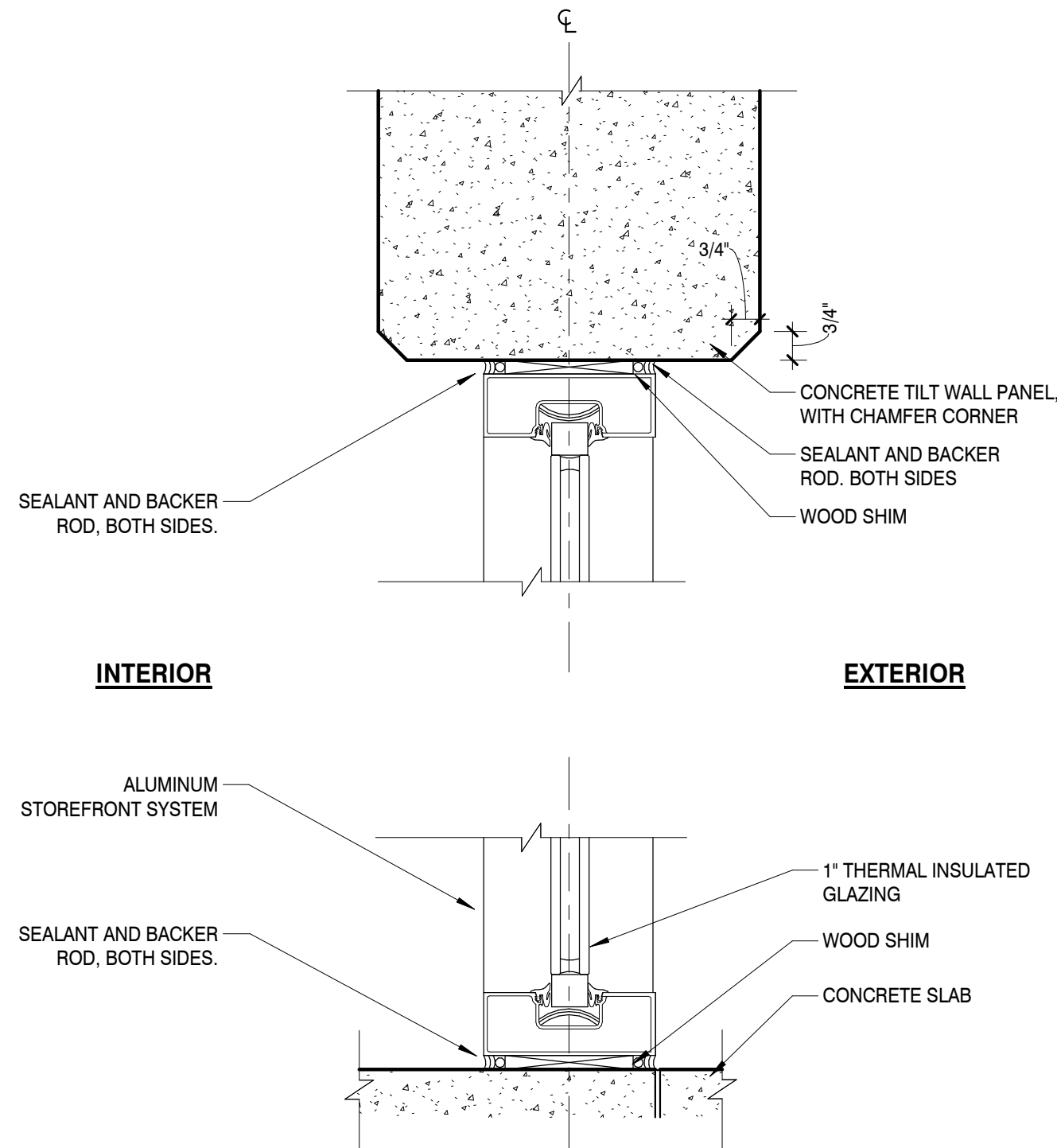
7 WINDOW HEADER/JAMB AT METAL STUD FRAMING
3" = 1'-0"



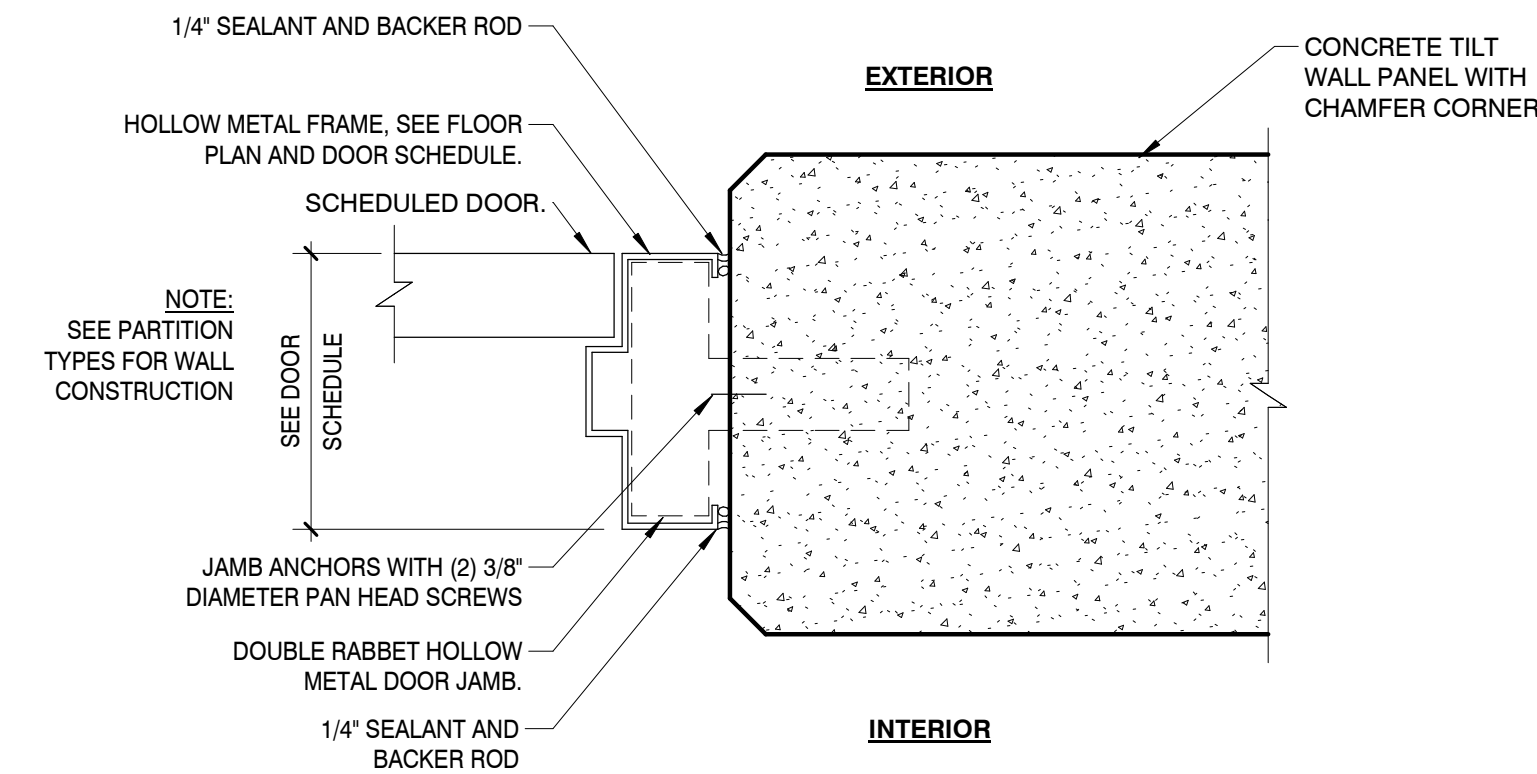
6 INT-HOLLOW MTL DOOR JAMB - HEAD SIM.
3" = 1'-0"



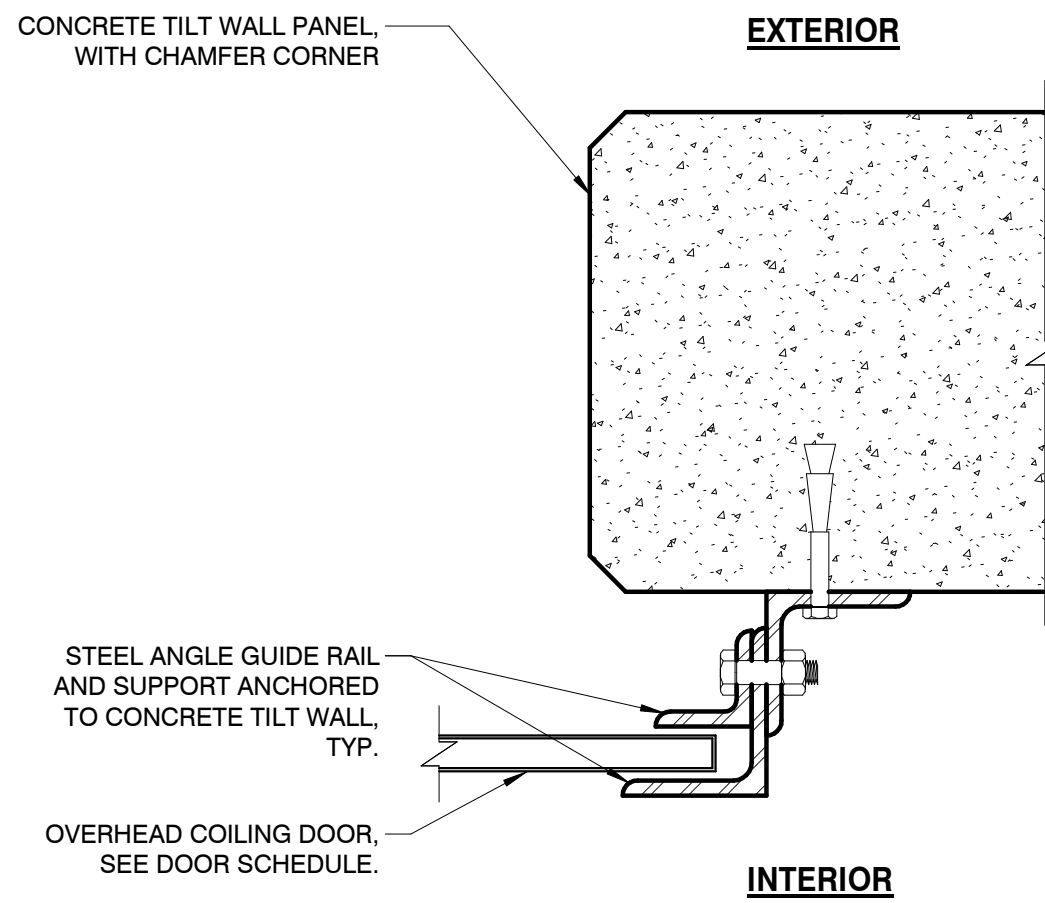
5 ALUMINUM STOREFRONT DOOR SECTION
3" = 1'-0"



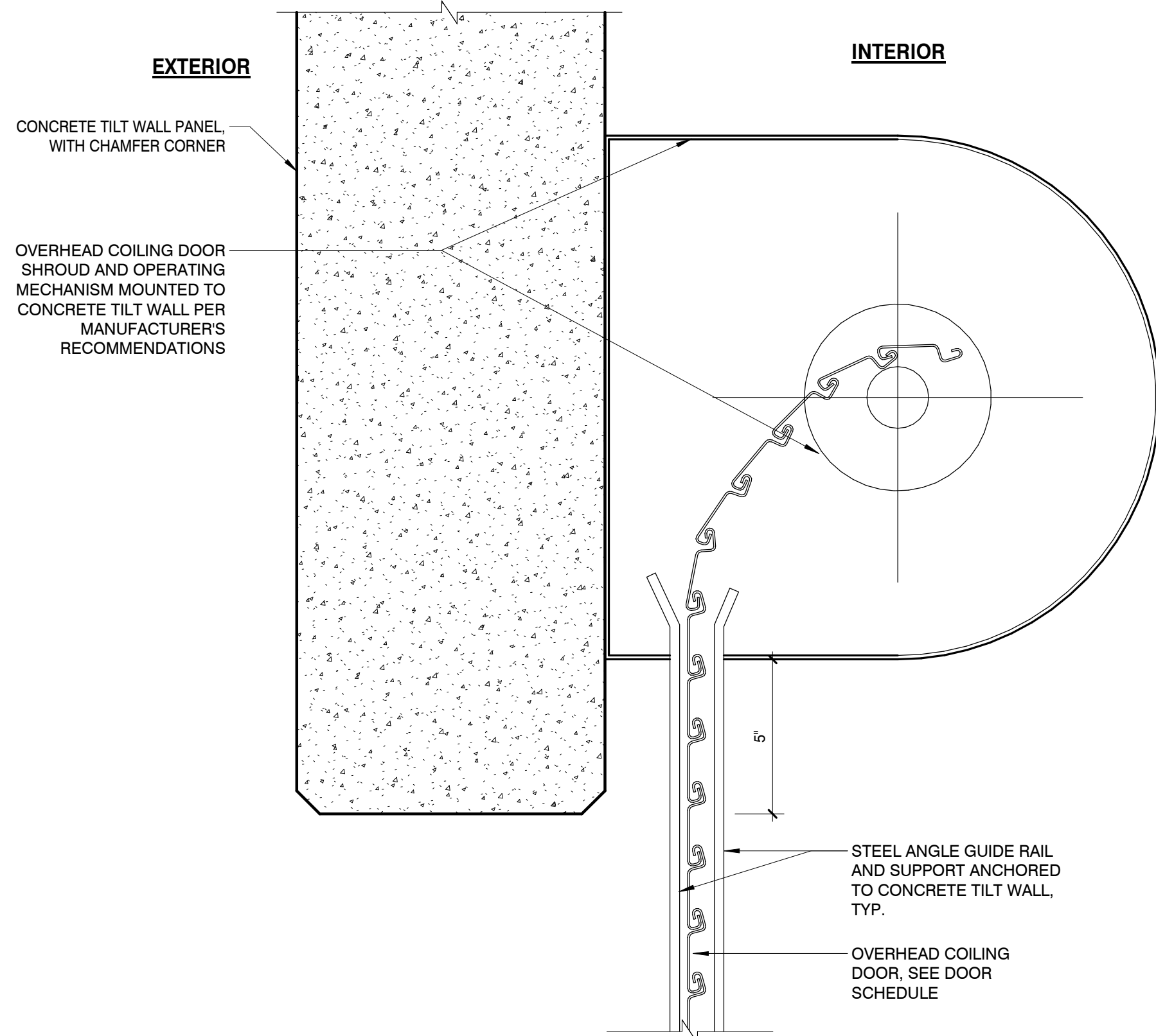
4 EXTERIOR WALL STOREFRONT HEAD / JAMB / SILL
3" = 1'-0"



3 HOLLOW METAL DOOR JAMB/HEAD - TILT CONCRETE
3" = 1'-0"

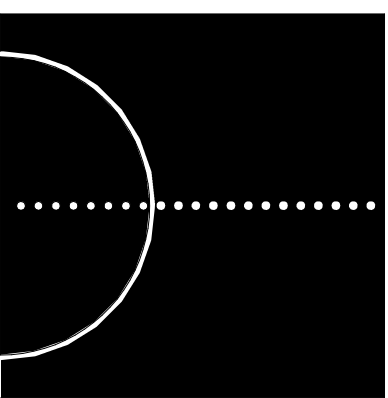


2 DOOR - EXTERIOR COILING DOOR JAMB
3" = 1'-0"



1 DOOR - EXTERIOR COILING DOOR HEAD
3" = 1'-0"

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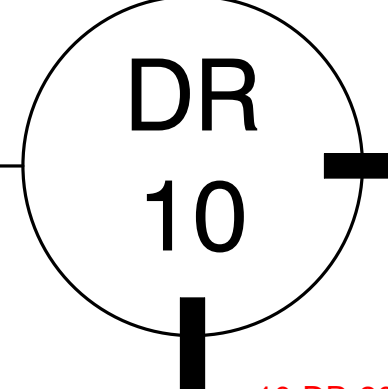


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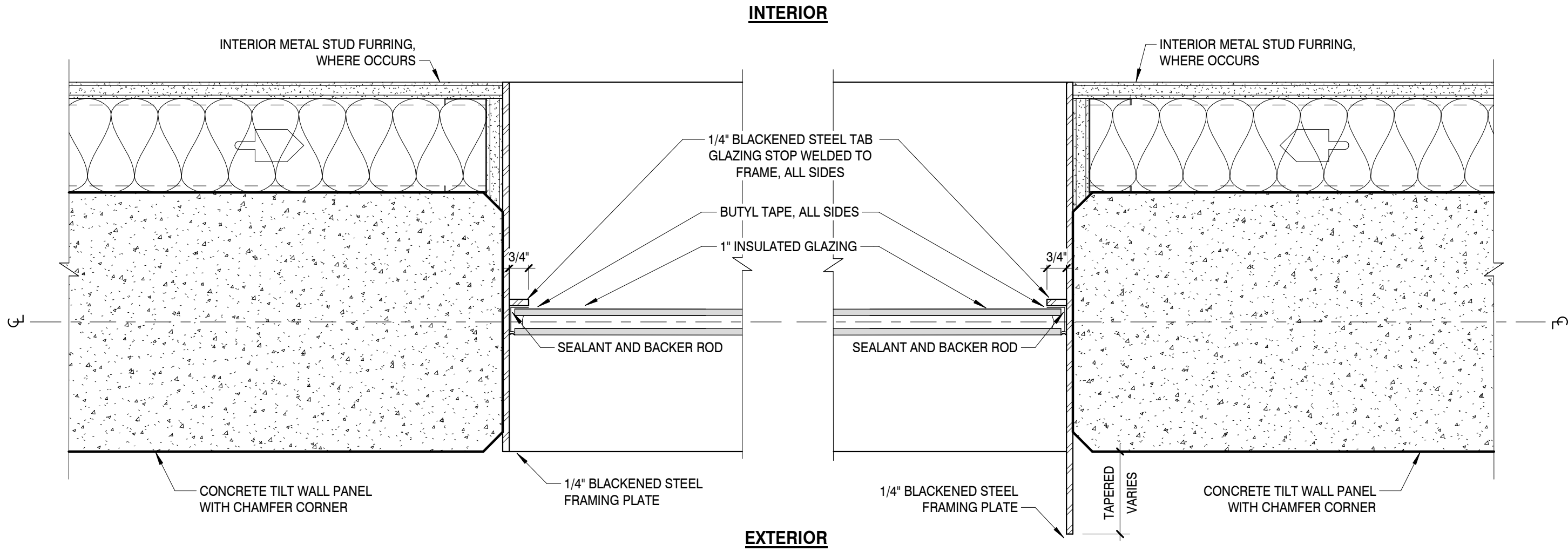
DOOR/WINDOW DETAILS



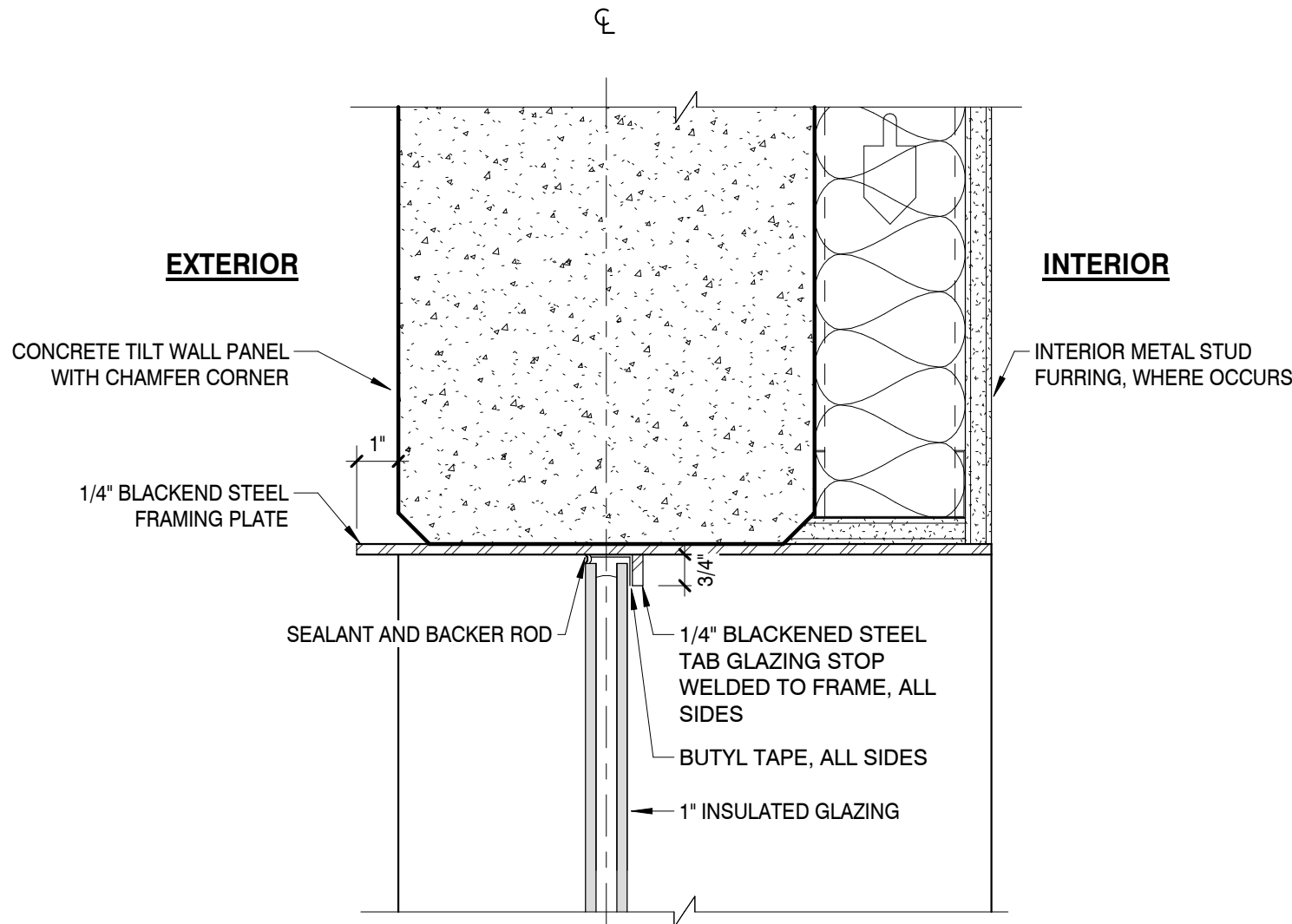
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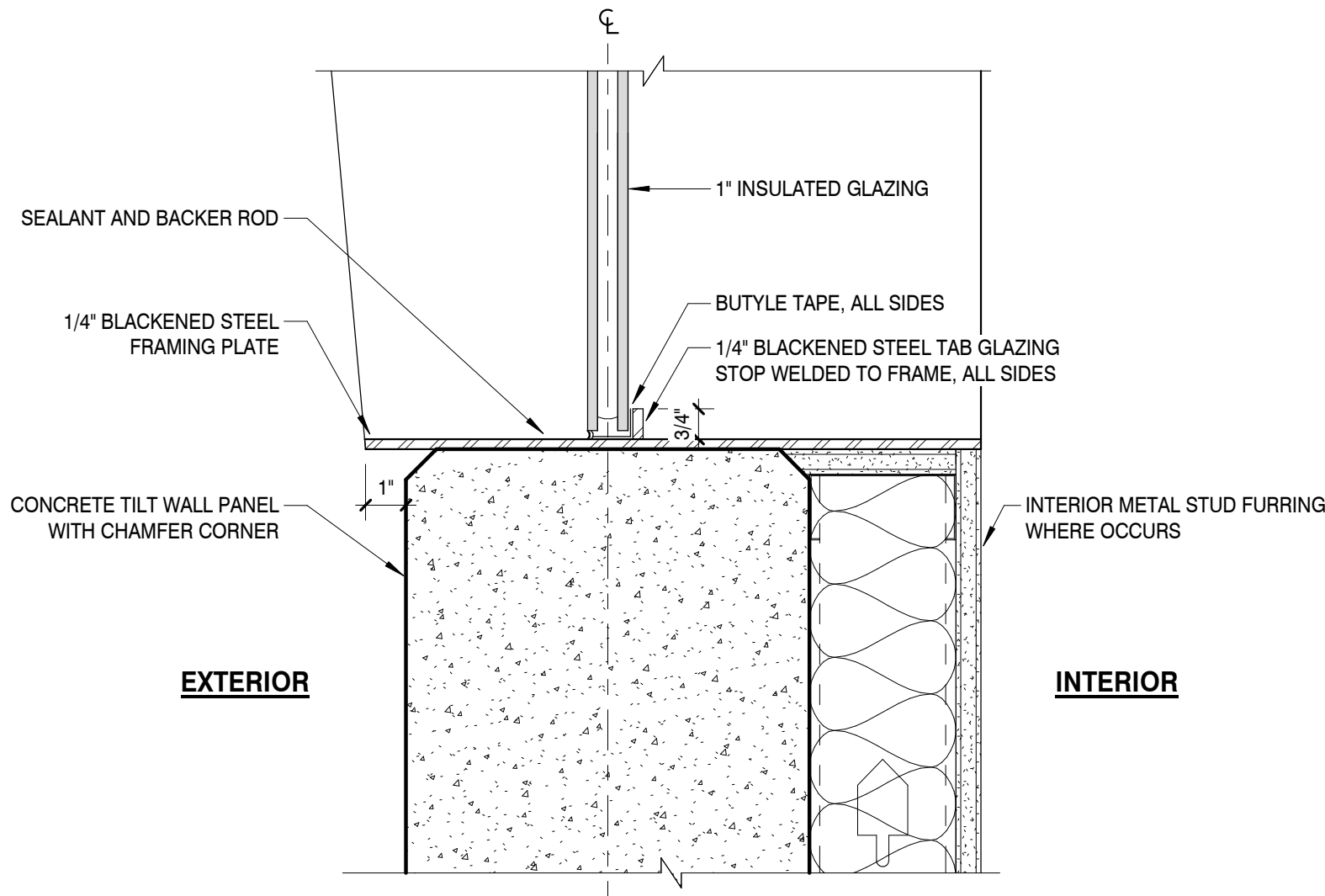
1 TAPERED SHADOWBOX WINDOW JAMB - SIM.
3" = 1'-0"



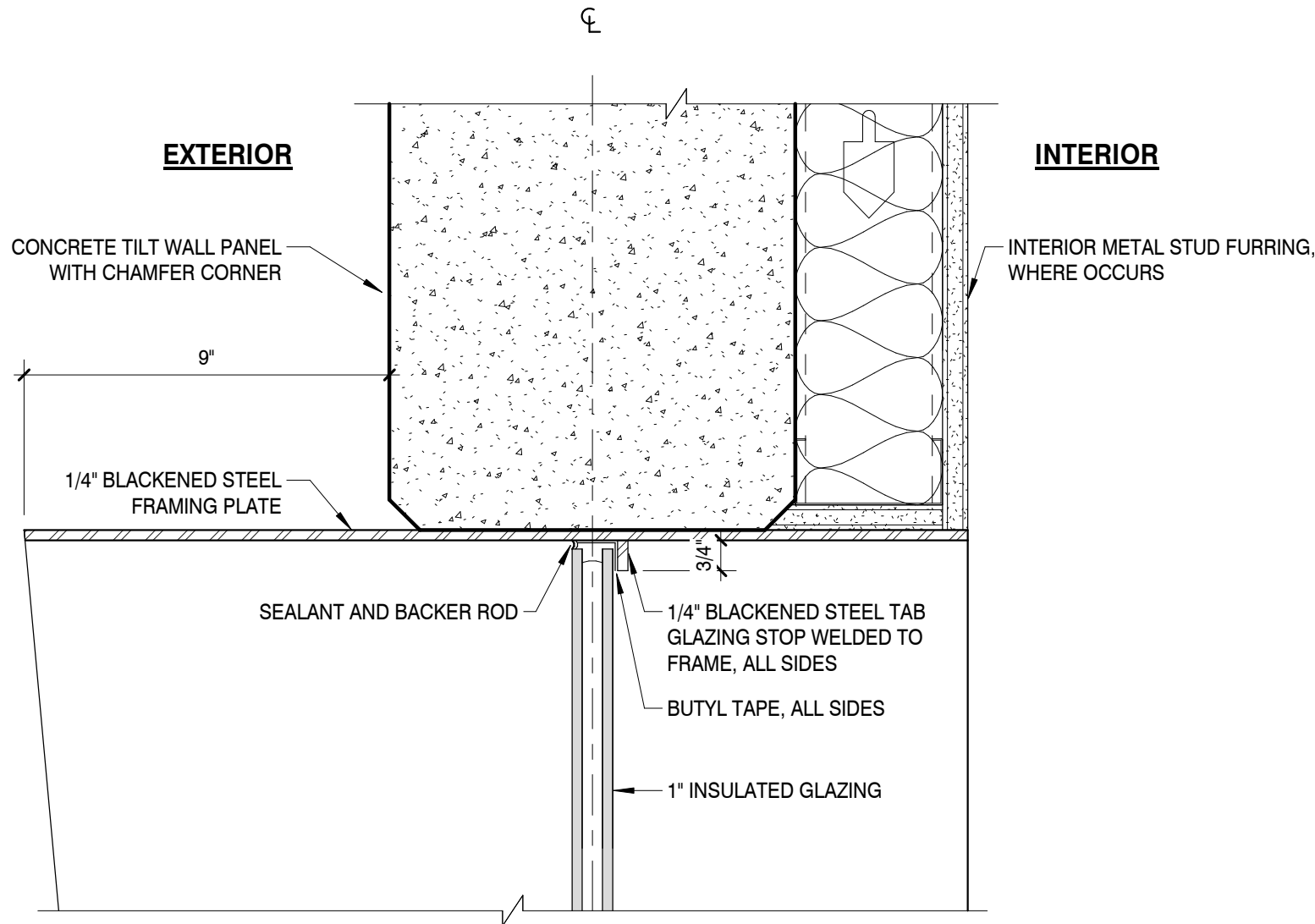
4 SHADOWBOX WINDOW HEAD / JAMB / SILL
3" = 1'-0"



2 TAPERED SHADOWBOX WINDOW SILL
3" = 1'-0"



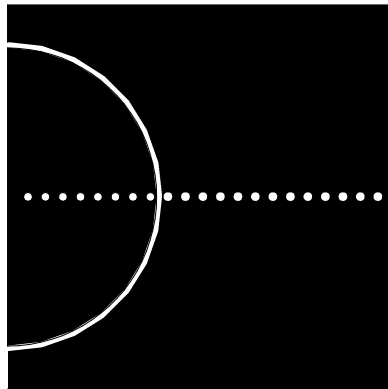
3 TAPERED SHADOWBOX WINDOW HEAD
3" = 1'-0"



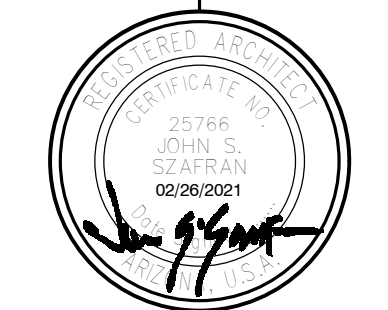
DOOR/WINDOW DETAILS

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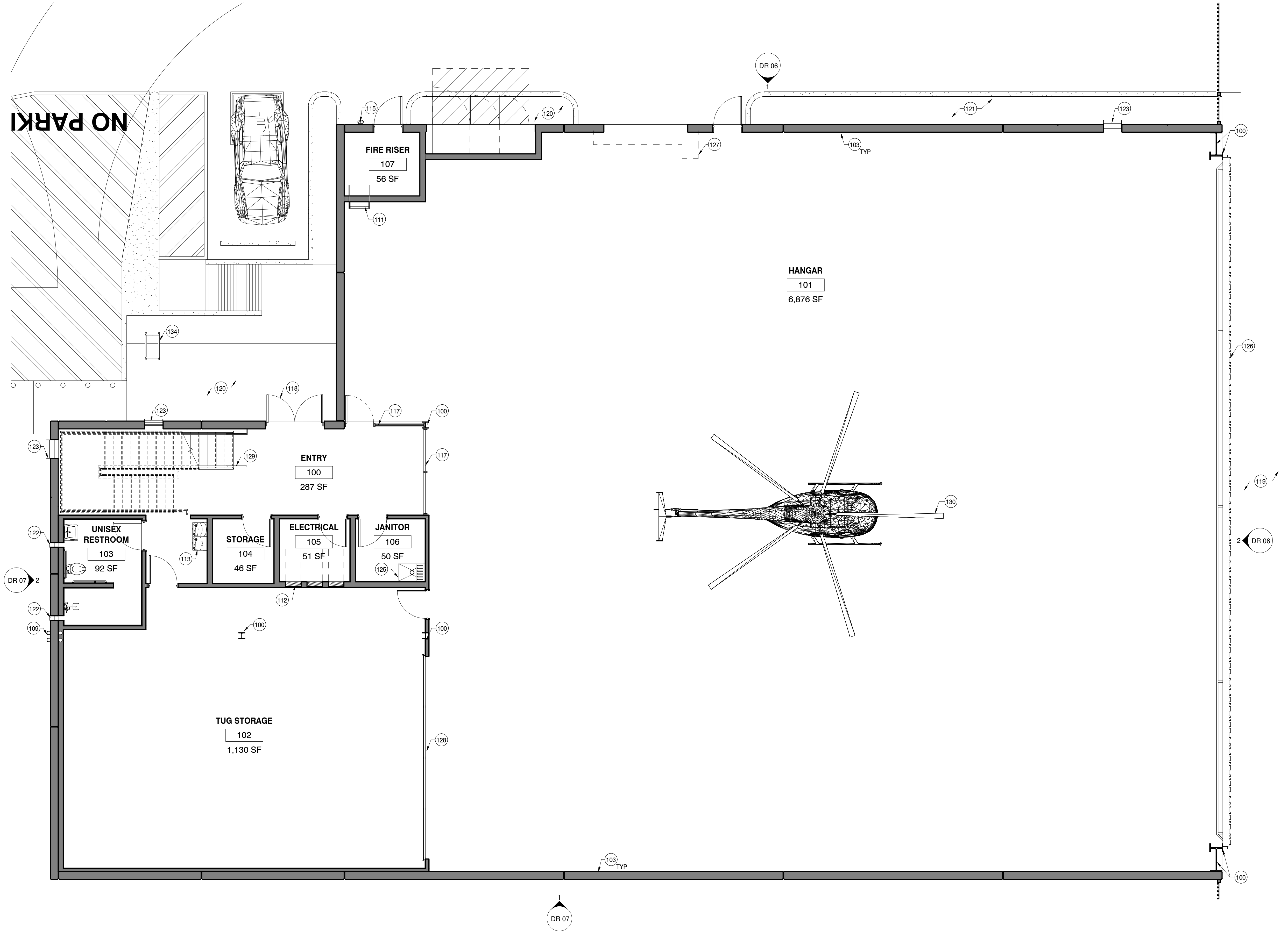
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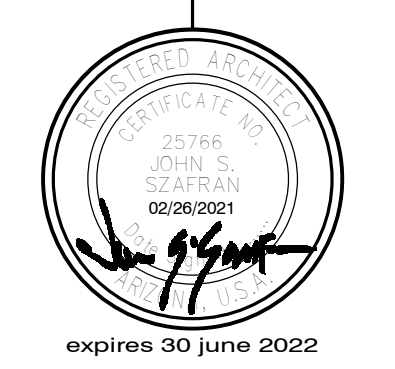
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1 COMPOSITE GROUND FLOOR PLAN
3/16" = 1'-0"

- KEYNOTES**
- 100 STRUCTURAL COLUMN - SEE STRUCTURAL DRAWINGS.
 - 103 NEW TILT CONCRETE WALL PANEL, TYP.
 - 109 ROOF DRAIN LEADERS - SEE PLUMBING DRAWINGS.
 - 111 ROOF ACCESS LADDER.
 - 112 ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS.
 - 113 ACCESSIBLE DRINKING FOUNTAIN - SEE PLUMBING DRAWINGS.
 - 115 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
 - 117 NEW ALUMINUM STOREFRONT ASSEMBLY - SEE WINDOW SCHEDULE.
 - 118 NEW ALUMINUM ENTRY DOOR - SEE DOOR SCHEDULE.
 - 119 ADJACENT GRADE - SEE CIVIL AND LANDSCAPE DRAWINGS.
 - 120 EXTERIOR HARDSCAPE - SEE CIVIL AND LANDSCAPE DRAWINGS.
 - 121 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS.
 - 122 SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
 - 123 TAPERED SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
 - 125 MOP SINK - SEE PLUMBING DRAWINGS.
 - 126 SCHWEISS BIFOLD DOOR - SEE DOOR SCHEDULE.
 - 127 MANUAL ROLLING DOOR - SEE DOOR SCHEDULE.
 - 128 OVERHEAD GARAGE DOOR - SEE DOOR SCHEDULE.
 - 129 NEW STAIRCASE - SEE STRUCTURAL DRAWINGS.
 - 130 MD500 AIRCRAFT.
 - 134 DOUBLE BIKE RACK PER C.O.S. STD. DETAIL 2285.

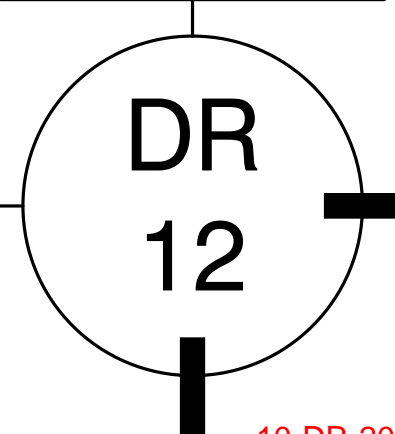
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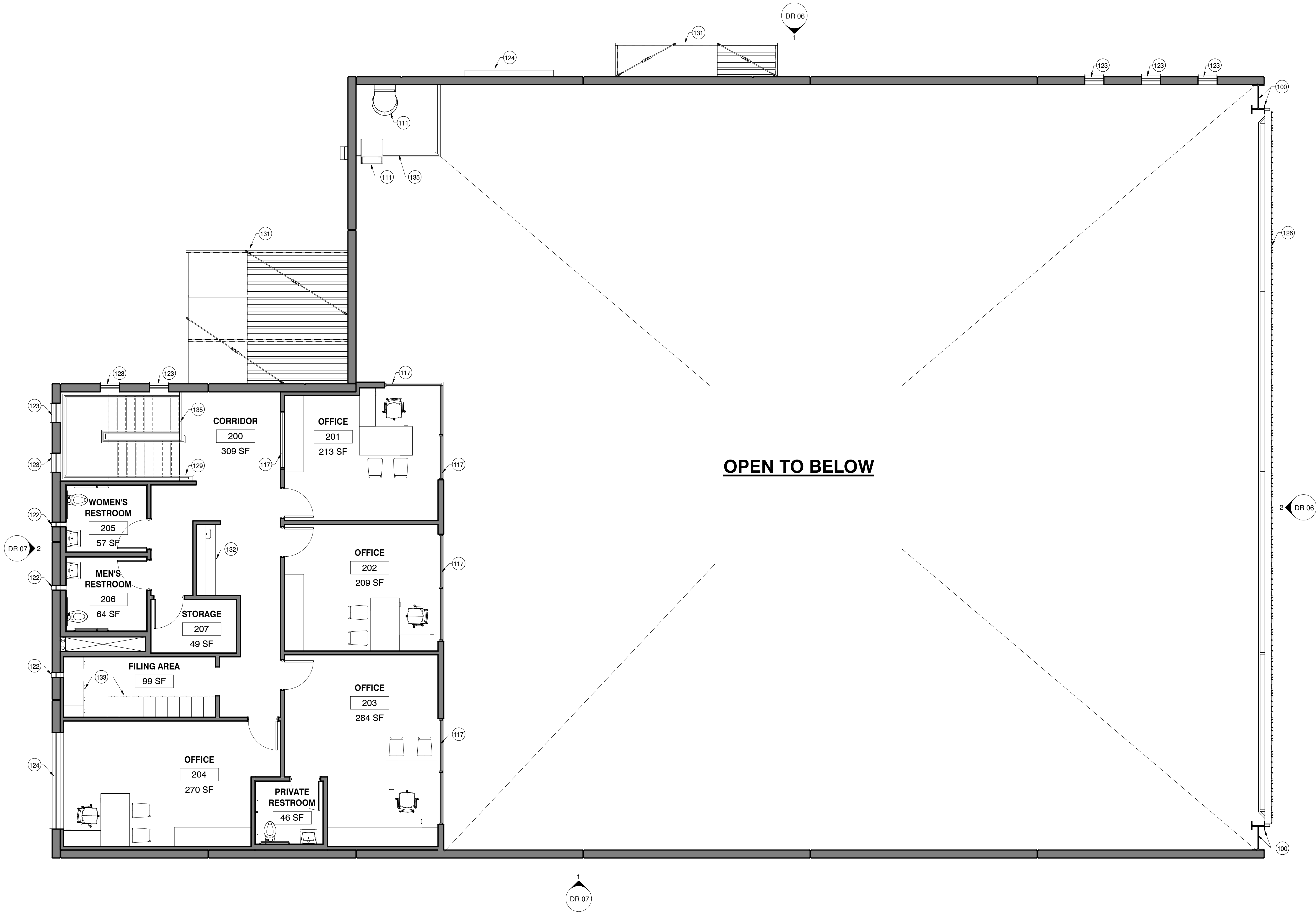
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project no.: 19067
date: 02/26/2021

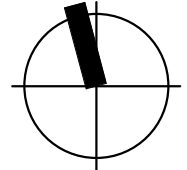


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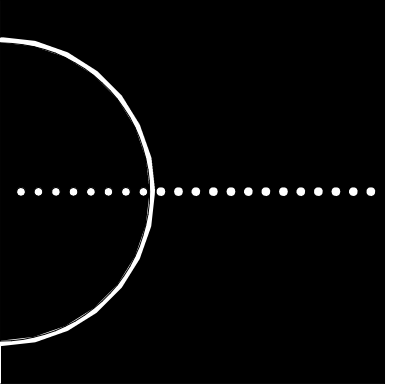
- KEYNOTES**
- 100 STRUCTURAL COLUMN - SEE STRUCTURAL DRAWINGS.
 - 111 ROOF ACCESS LADDER.
 - 117 NEW ALUMINUM STOREFRONT ASSEMBLY - SEE WINDOW SCHEDULE.
 - 122 SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
 - 123 TAPERED SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
 - 124 TWO-SIDED TAPERED SHADOWBOX SYSTEM - SEE WINDOW SCHEDULE.
 - 126 SCHWEISS BIFOLD DOOR - SEE DOOR SCHEDULE.
 - 129 NEW STAIRCASE - SEE STRUCTURAL DRAWINGS.
 - 131 METAL CANOPY - SEE STRUCTURAL DRAWINGS.
 - 132 NEW MILLWORK AND SINK - SEE PLUMBING DRAWINGS.
 - 133 FILING CABINETS BY OWNER.
 - 135 NEW CABLE RAIL RAILING.

1 COMPOSITE SECOND FLOOR PLAN
3/16" = 1'-0"



COMPOSITE SECOND FLOOR PLAN

HANGAR / OFFICE BUILDING
4GROUP BUILDING, LLC
16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260

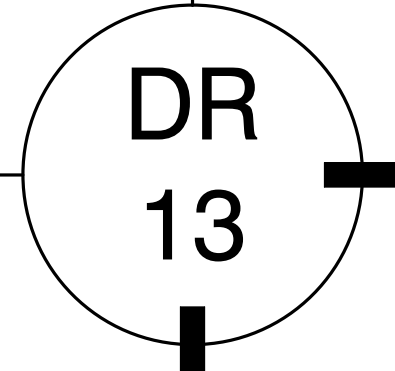


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www.dpaarchitects.com

REVISION SCHEDULE

#	DESCRIPTION	DATE

drawn by: jw
project no.: 19067
date: 02/26/2021



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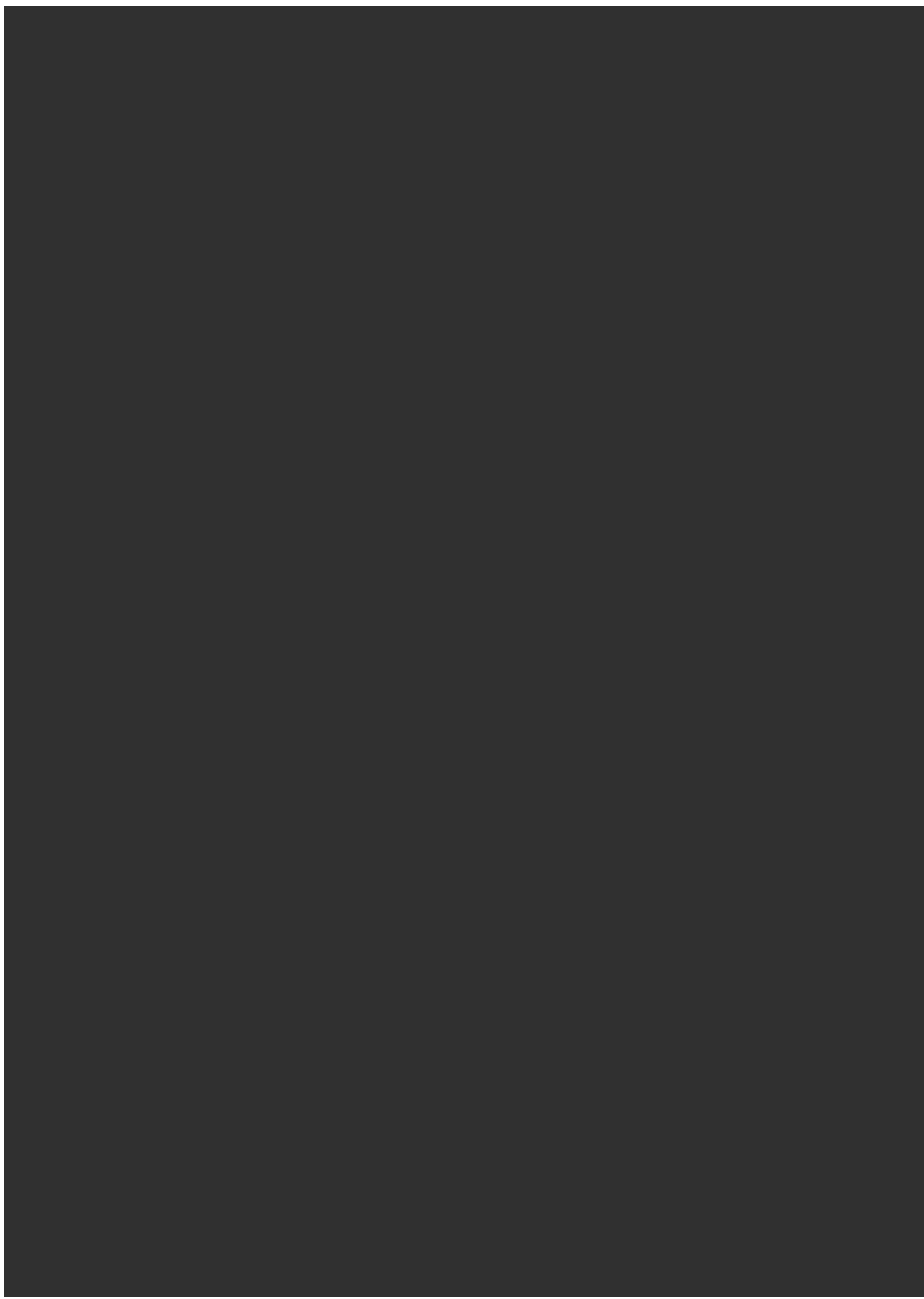
CMU-1 DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY
LOCATION: EXTERIOR SITE WALLS
MANUFACTURER: RCP BLOCK
PRODUCT: PRECISION BLOCK
COLOR: CHARCOAL GREY



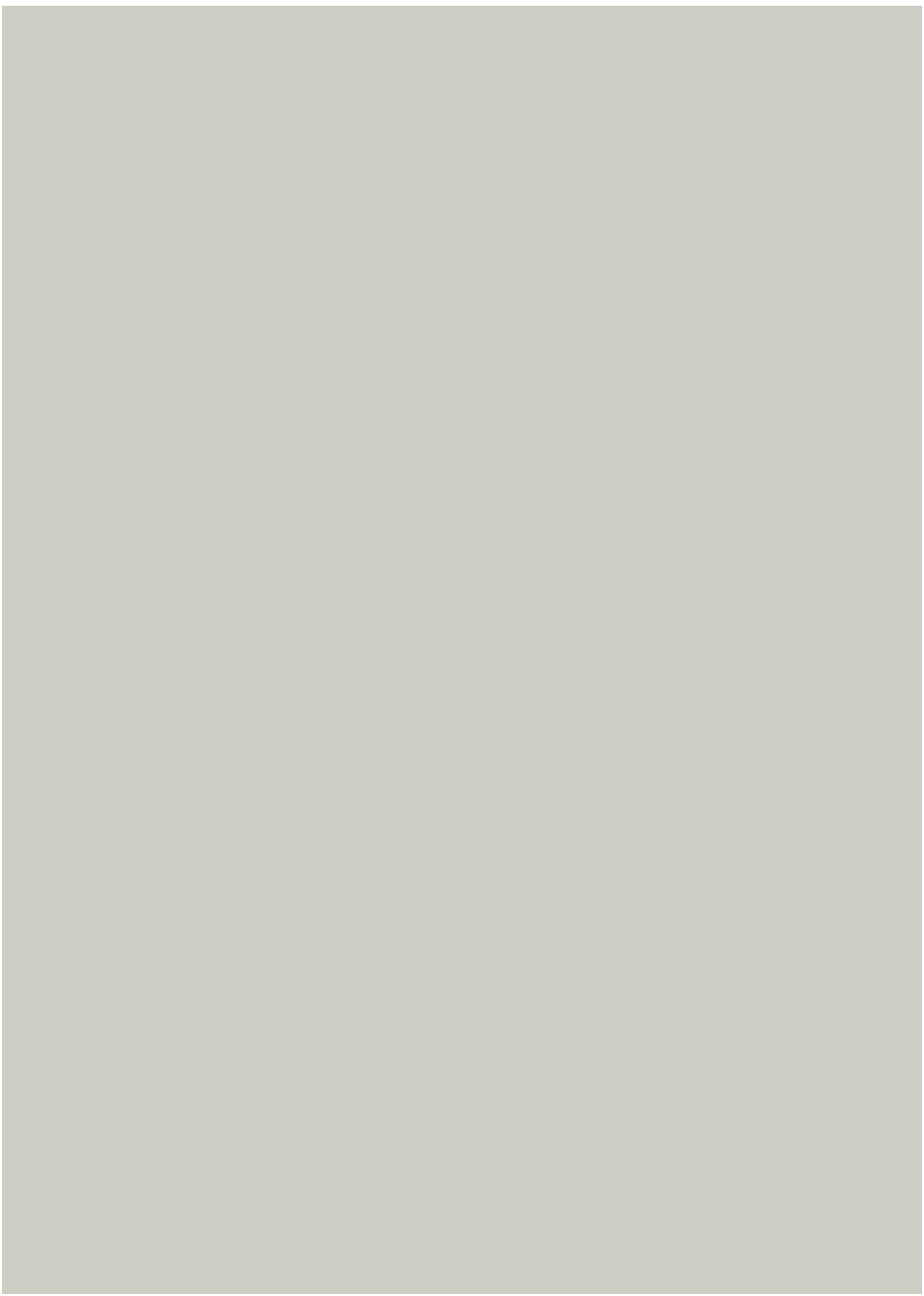
CONC-1 DESCRIPTION: SEALED CONCRETE
LOCATION: TILT CONCRETE WALL PANELS
COLOR: NATURAL GREY
TEXTURE: SMOOTH



MTL-1 DESCRIPTION: STEEL PLATES
LOCATION: WALL CAPS, SHADOW BOX WINDOW FRAMES
MANUFACTURER: BERRIDGE
COLOR: MATTE BLACK
FINISH: MATTE



PT-1 DESCRIPTION: EXTERIOR PAINT
LOCATION: STEEL COLUMNS AND BASE PLATES
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW6991 - BLACK MAGIC
FINISH: MATTE



PT-2 DESCRIPTION: EXTERIOR PAINT
LOCATION: STEEL COLUMNS AND BASE PLATES
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW7654 - LATTICE
FINISH: MATTE



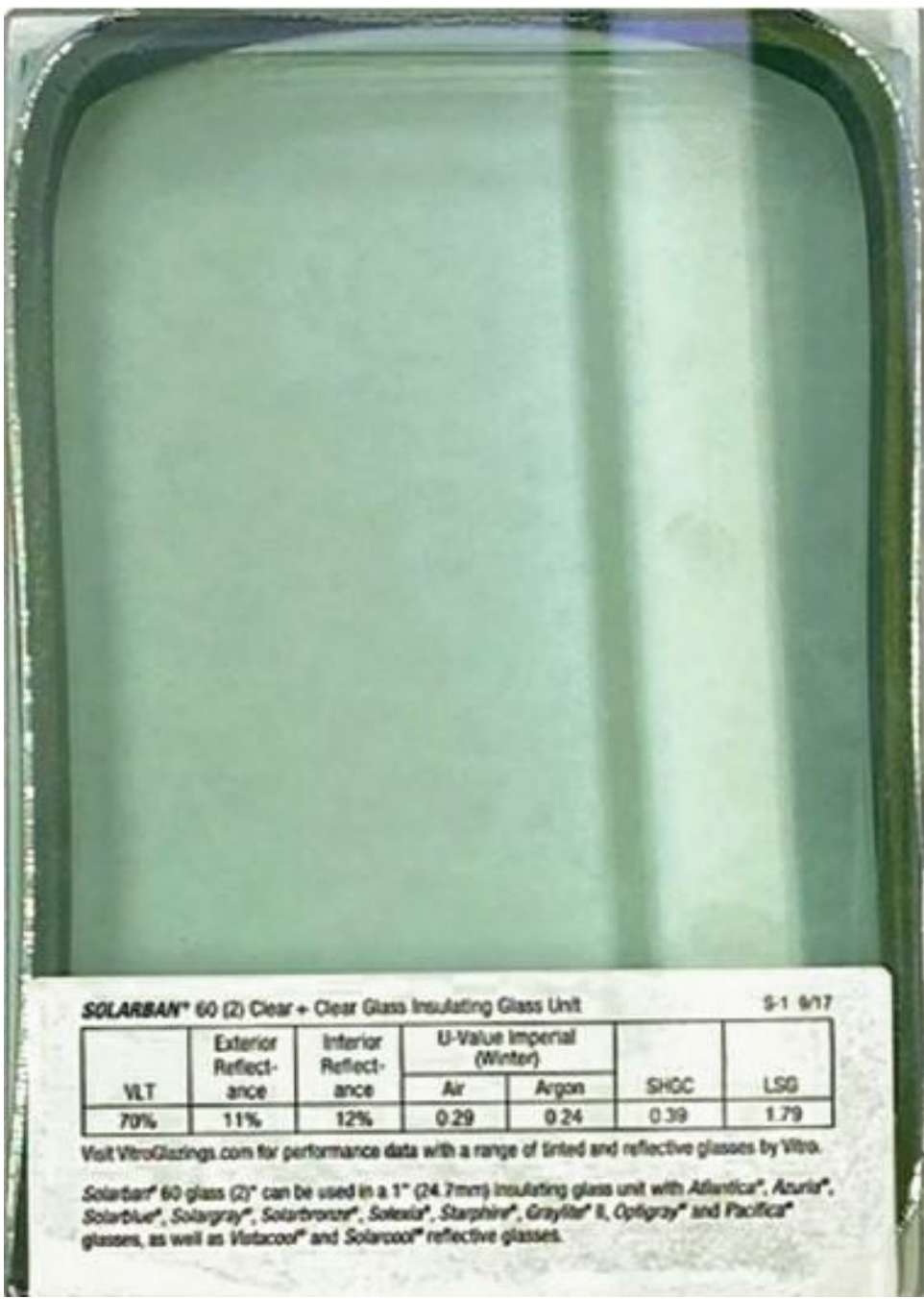
CMU-2 DESCRIPTION: 8" X 8" X 16" GROUND FACE CONCRETE MASONRY
LOCATION: EXTERIOR SITE WALLS
MANUFACTURER: RCP BLOCK
PRODUCT: PRECISION BLOCK
COLOR: NATURAL GREY



CONC-2 DESCRIPTION: BOARD FORMED CONCRETE
LOCATION: TILT CONCRETE WALL PANELS
COLOR: STANDARD GREY
TEXTURE: BOARD FORM



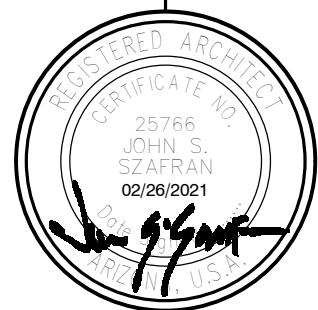
MTL-2 DESCRIPTION: CUSTOM PANEL DECKING
LOCATION: BI-FOLD DOOR, CANOPY
MANUFACTURER: BERRIDGE
COLOR: CITYSCAPE
FINISH: METALIC FINISH



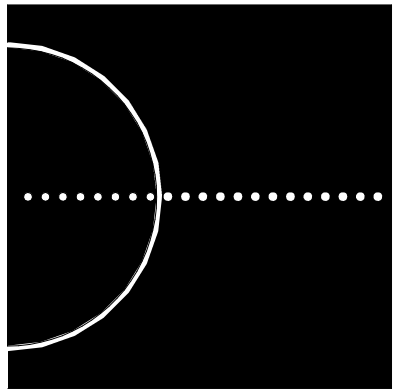
IG-1 DESCRIPTION: 1" LOW-E TINTED INSULATED GLAZING UNITS
LOCATION: SHADOWBOX WINDOWS/STOREFRONT ASSEMBLIES
MANUFACTURER: VITRO (GLASS)

HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC
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SCOTTSDALE, AZ 85260



expires 30 June 2022



DESIGNERS OF
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REVISION SCHEDULE

#	DESCRIPTION	DATE

drawn by: jw

project no.: 19067

date: 02/26/2021

DR
14

BUILDING EXTERIOR MATERIAL / COLOR BOARD

1 | East



2 | Southeast



3 | East



4 | Southeast



5 | South



6 | East



7 | Northwest



8 | Northeast



9 | Southwest



10 | West



11 | South



12 | Northwest



13 | Northwest



14 | North







HANGAR / OFFICE BUILDING

SCOTTSDALE, AZ

PROJECT TEAM:

DEVELOPER | 4GROUP BUILDING, LLC

6109 N. PALO CRISTI ROAD
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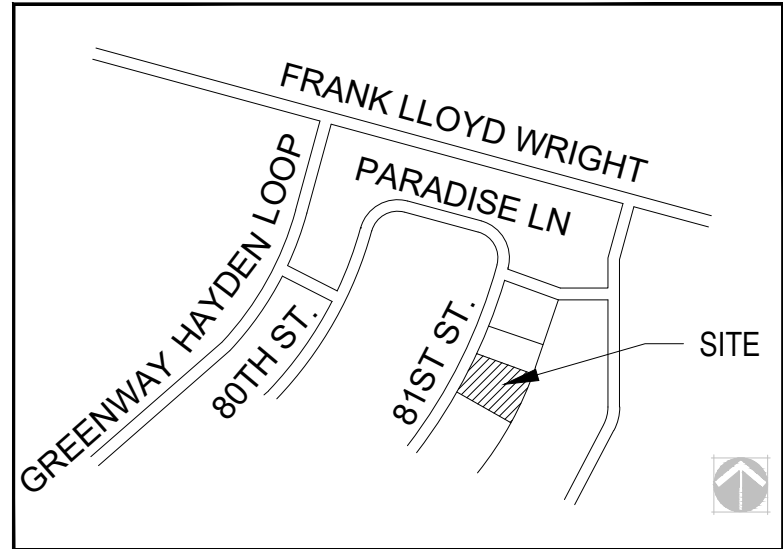
CITY OF SCOTTSDALE LANDSCAPE NOTES

- AREAS OF SALVAGED DESERT SURFACE SOIL WITHOUT PLANT MATERIALS / GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND / OR COVERAGE.
- A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND / OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 40 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAT 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPE AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF THE FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
- THE LANDSCAPE SPECIFICATION SECTIONS OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUATITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETAED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS.

LANDSCAPE GENERAL NOTES (NOT APPROVED BY CITY)

- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. ROUGH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING DECOMPOSED GRANITE.
- ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RAKED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES, APPLY WEED PRE-EMERGENT SURFLAN AS PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, RIVER RUN, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATER SETTLED. PROVIDE A SECOND APPLICATION OF THE PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE AS SPECIFIED IN THE TOPDRESS SCHEDULE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
- ALL RIGHT-OF-WAY PLANT MATERIAL MUST BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
- BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
- ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
1 GALLON PLANT - 1 TABLET
15 GALLON PLANT - 4 TABLETS
5 GALLON PLANT - 2 TABLET
BOXED TREE - 6 TABLETS (MIN.)
TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE. PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S REPRESENTATIVE THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF ONE (1) YEAR FOR ALL TREES AND 90 DAYS FOR ALL UNDERSTORY PLANT MATERIAL DATED FROM START OF MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM. ONE (1) YEAR GUARANTEE FOR ALL TREES AND PALMS.
- INSTALL ALL SIDEWALKS PER A.D.A. REQUIREMENTS.
- A COUNTY DUST CONTROL PERMIT IS REQUIRED. THE CONTRACTOR SHALL RETAIN THIS PERMIT.
- THERE IS NO PROTECTED NATIVE PLANT MATERIAL ON EXISTING SITE. THERE IS NO SALVAGED PLANT MATERIAL BEING USED ON PLAN.
- THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/ CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAY OR PARKING AREA CURBING.

VICINITY MAP



SHEET INDEX

SHEET #	DESCRIPTION	REVISIONS ISSUED FOR THIS SUBMITTAL
LA-100	COVER SHEET	X
LA-101	LANDSCAPE PLAN	X
LA-102	HARDSCAPE PLAN	X

OWNER:

4GROUP BUILDING, LLC

6109 N PALO CHRISTI ROAD
PARADISE VALLEY, AZ 85253



DATE:

2/26/21 CITY DRB

SUBMITTAL

SHEET TITLE:

COVER SHEET

HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC

16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260

OWNER:

4GROUP BUILDING, LLC

6109 N PALO CHRISTI ROAD
PARADISE VALLEY, AZ 85253



DATE:

2/26/21 CITY DRB

SUBMITTAL

SHEET TITLE:
LANDSCAPE
PLAN

LA-101



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE & TRUNK TYPE	CALIPER	QTY
	CAESALPINIA CACALACO CASCALOTE	24" BOX MULTI-TRUNK	1.5" CAL MIN	3
	PROSOPIS GLANDULOSA 'THORNLESS AZT' THORNLESS HONEY MESQUITE	15 GAL MULTI-TRUNK	1.5" CAL MIN	4
SHRUBS	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	DODONAEA VISCOSA GREEN HOPSEED	5 GAL		29
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL		7
	RUELLIA BRITTONIANA MEXICAN PETUNIA	5 GAL		23
GRASSES	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM REGAL MIST	5 GAL		23
GROUNDCOVER	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU	1 GAL		15
	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL		6
SUCCULENTS	BOTANICAL / COMMON NAME	SIZE	MATURE HEIGHT & WIDTH	QTY
	ALOE X 'BLUE ELF' BLUE ELF ALOE	5 GAL		14
	FOQUIERIA SPLENDENS OCOTILLO	24" BOX	8'-10' TALL	1

TOPDRESS SCHEDULE

TYPE 2 - DECOMPOSED GRANITE
SIZE: 1/2" SCREENED
COLOR: EXPRESS GOLD
SOURCE: PIONEER
2" DEPTH IN ALL ALL LANDSCAPE AREAS
(TYP.)

NOTES:

- CONTRACTOR TO PROVIDE SAMPLES OF ALL TOPDRESS MATERIALS TO OWNER'S REPRESENTATIVE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

LANDSCAPE AREA CALCULATIONS

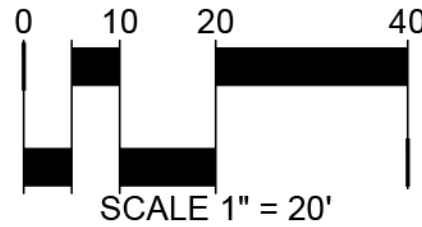
ON-SITE LANDSCAPING
2,934 S.F. TOTAL

RIGHT OF WAY LANDSCAPING
408 S.F. TOTAL

PARKING LOT LANDSCAPING
1,436 S.F. TOTAL

MATURE TREE PERCENTAGE
57%

LANDSCAPE NOTE:
THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/ CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAY OR PARKING AREA CURBING.



HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC

16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260

OWNER:

4GROUP BUILDING, LLC

6109 N PALO CHRISTI ROAD
PARADISE VALLEY, AZ 85253



DATE:

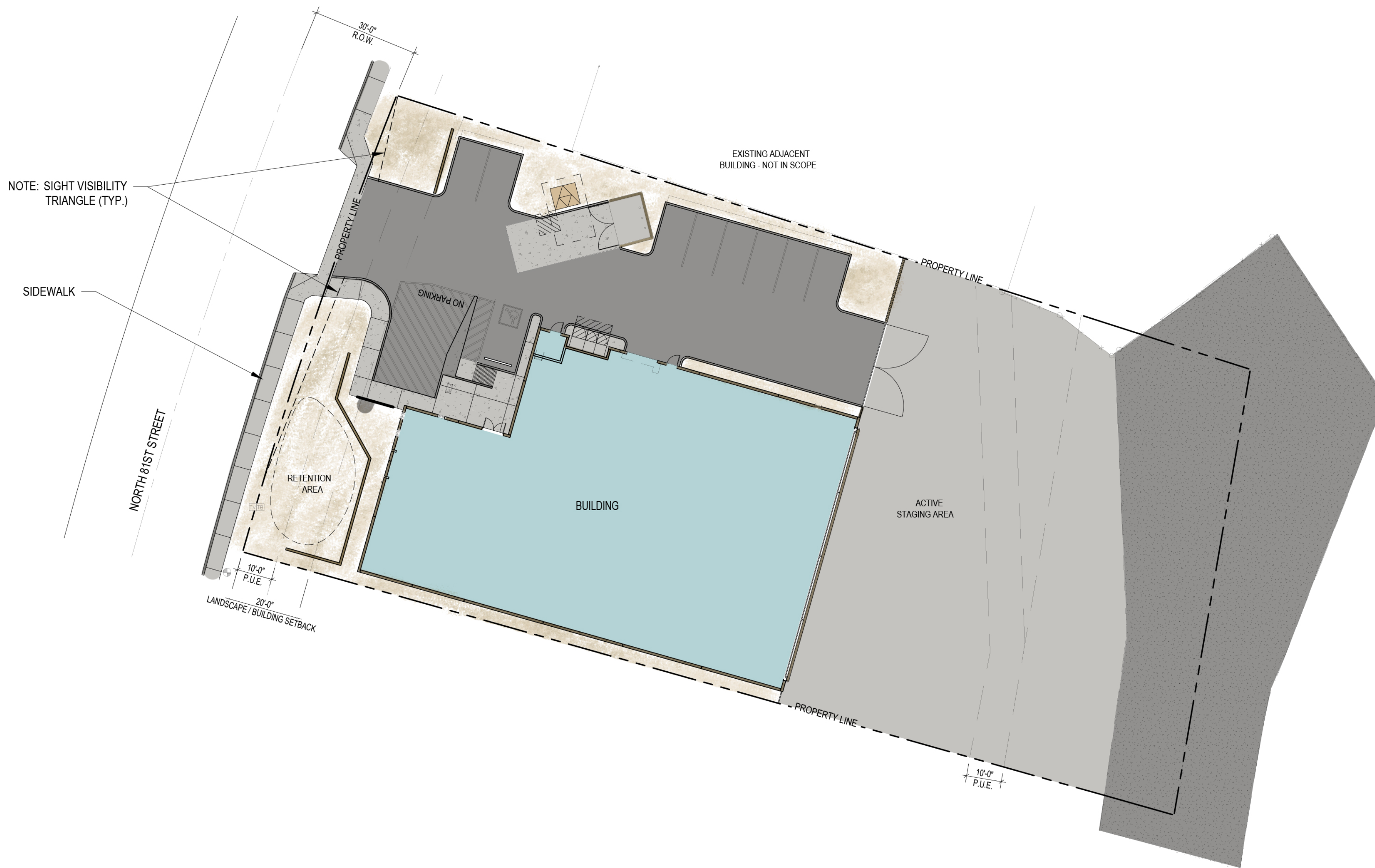
2/26/21 CITY DRB

SUBMITTAL

SHEET TITLE:

HARDSCAPE
PLAN

LA-102



PAVING SCHEDULE

- TYPE 1 - CONCRETE
FINISH: BROOM
COLOR: STANDARD GRAY
TYPE: VEHICULAR RATED
PER MAG DETAIL 250
- TYPE 2 - CONCRETE
FINISH: BROOM
COLOR: STANDARD GRAY
TYPE: VEHICULAR AND AIRCRAFT
RATED
PER MAG DETAIL 250
- TYPE 3 - ASPHALT PAVEMENT
COLOR: STANDARD
TYPE: VEHICULAR RATED
PER MAG DETAIL 201
- TYPE 4 - EXISTING SIDEWALK TO
REMAIN

NOTES:

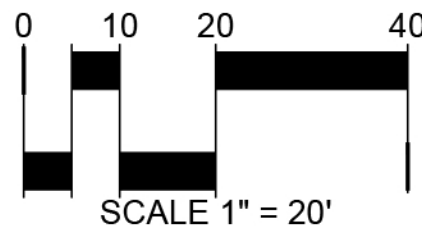
- CONTRACTOR TO PROVIDE 5'x5'
MOCKUP OF ALL PAVING MATERIALS
AND FINISHES FOR REVIEW AND
APPROVAL BY OWNER AND
LANDSCAPE ARCHITECT PRIOR TO
CONSTRUCTION.

TOPDRESS SCHEDULE

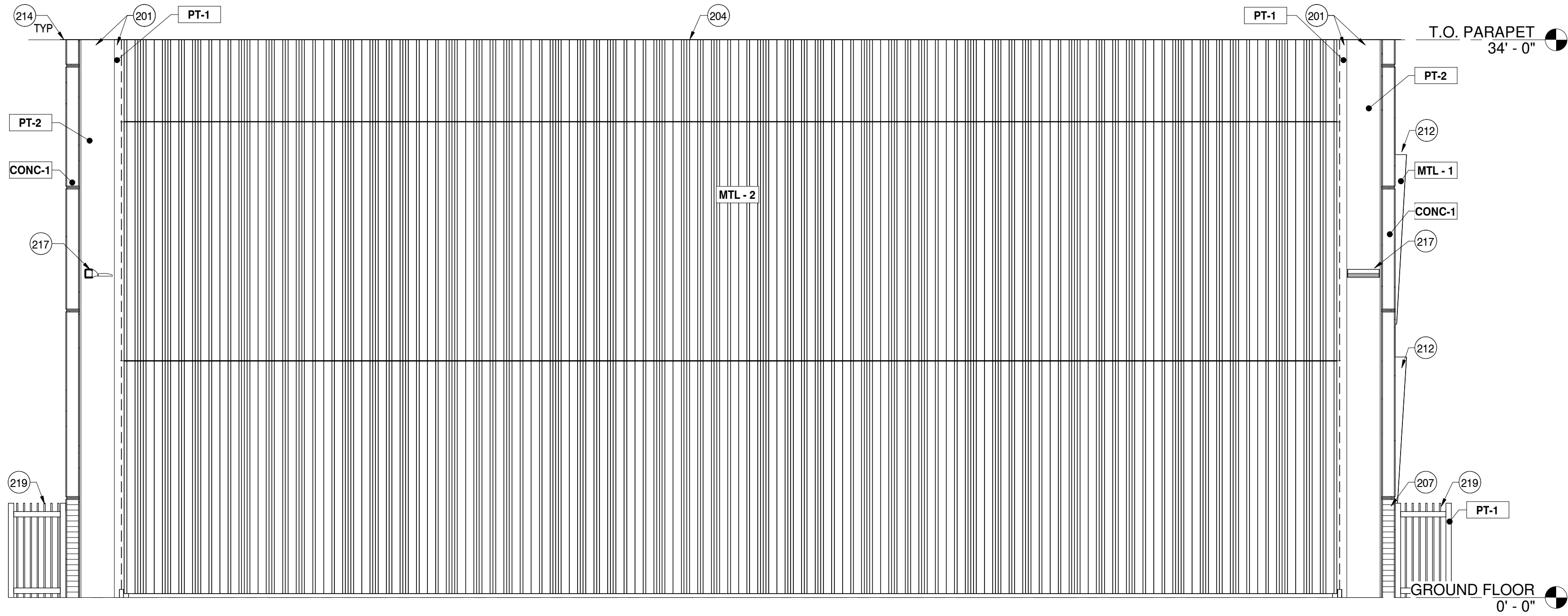
- TYPE 2 - DECOMPOSED GRANITE
SIZE: 1/2" SCREENED
COLOR: EXPRESS GOLD
SOURCE: PIONEER
2" DEPTH IN ALL LANDSCAPE AREAS
(TYP.)

NOTES:

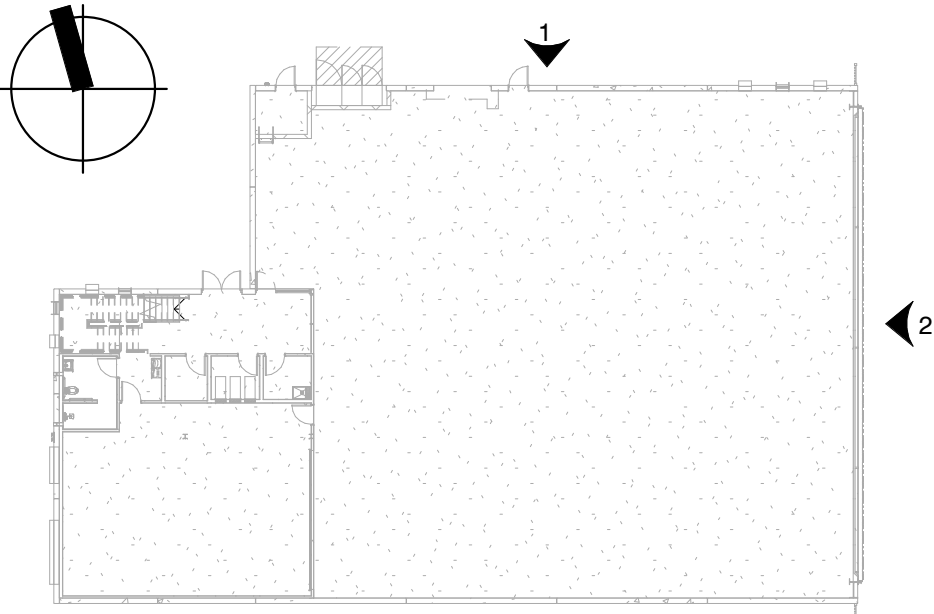
- CONTRACTOR TO PROVIDE SAMPLES OF ALL
TOPDRESS MATERIALS TO OWNER'S
REPRESENTATIVE ARCHITECT FOR REVIEW
AND APPROVAL PRIOR TO INSTALLATION.



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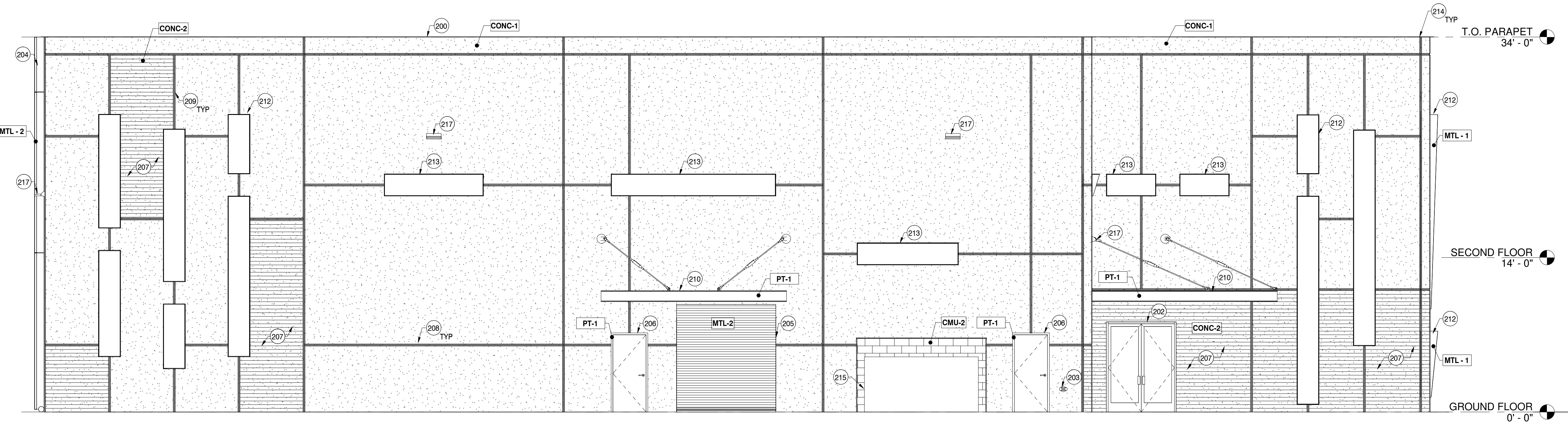
KEYPLAN



KEYNOTES

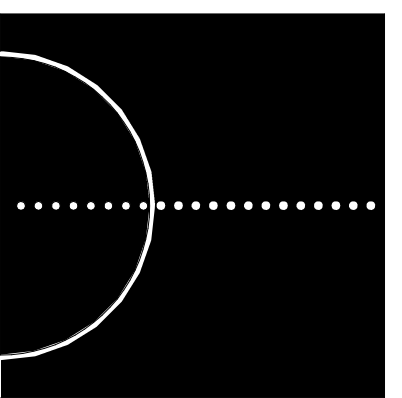
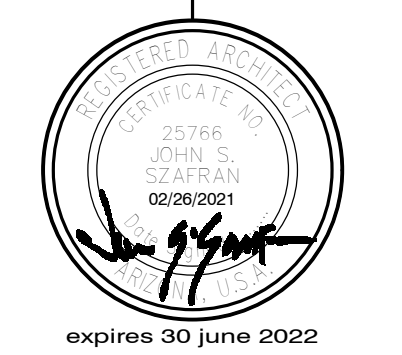
- 200 EXTERIOR TILT CONCRETE WALL PANEL.
- 201 STRUCTURAL COLUMN - SEE STRUCTURAL DRAWINGS.
- 202 ALUMINUM STOREFRONT ENTRY - SEE DOOR SCHEDULE.
- 203 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
- 204 SCHWEISS BIFOLD DOOR - SEE DOOR SCHEDULE.
- 205 MANUAL ROLLING DOOR - SEE DOOR SCHEDULE.
- 206 HOLLOW METAL DOOR AND FRAME, TYP - SEE DOOR SCHEDULE.
- 207 BOARD FORM TILT CONCRETE DETAIL.
- 208 HORIZONTAL TILT CONCRETE PANEL REVEAL, TYP.
- 209 VERTICAL TILT CONCRETE PANEL REVEAL, TYP.
- 210 METAL CANOPY - SEE STRUCTURAL DRAWINGS.
- 212 TAPERED SHADOWBOX WINDOW SYSTEM - SEE WINDOW SCHEDULE.
- 213 TWO-SIDED TAPERED SHADOWBOX SYSTEM - SEE WINDOW SCHEDULE.
- 214 STEEL WALL CAP - TYP.
- 215 SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS.
- 217 WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- 219 SITE SECURITY FENCE.

2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

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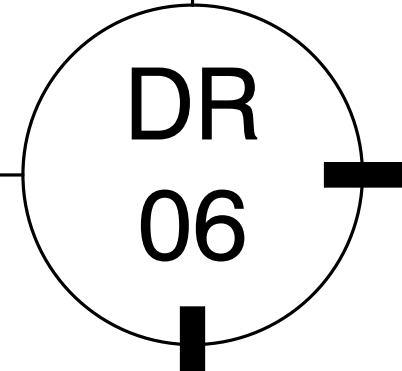
REVISION SCHEDULE

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project no.: 19067
date: 02/26/2021

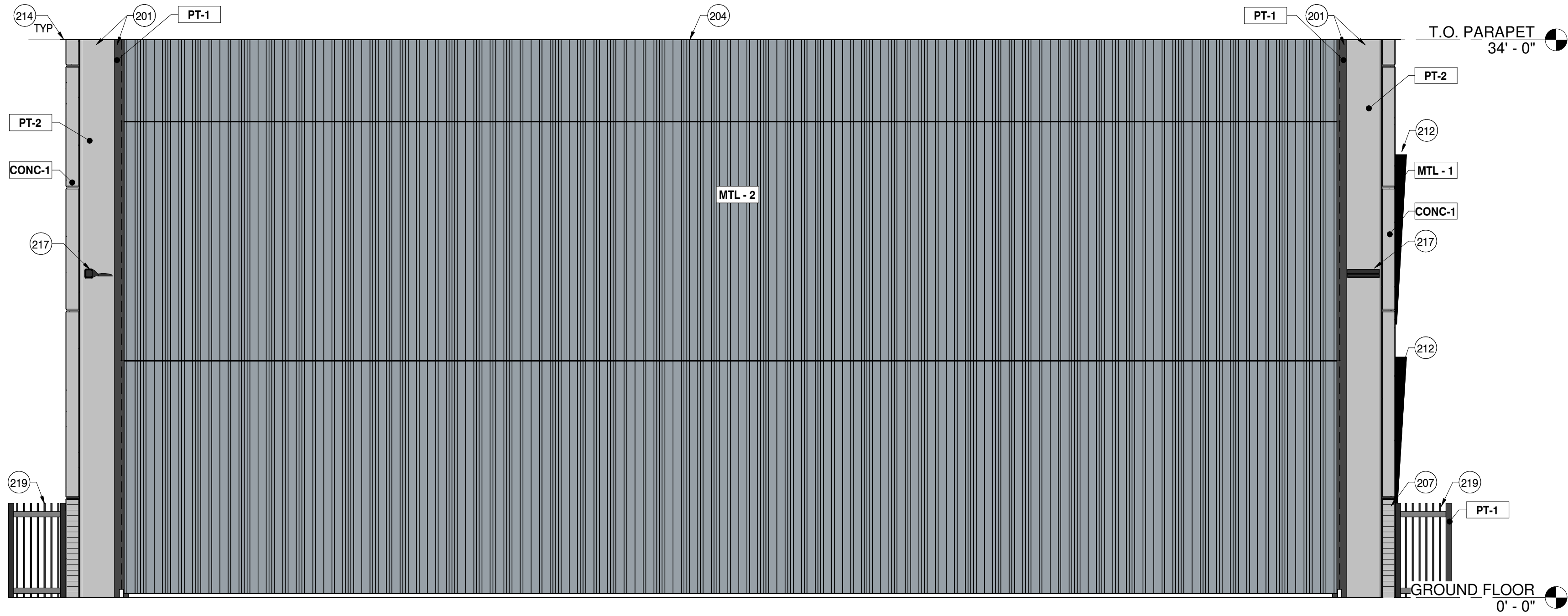
BUILDING ELEVATIONS

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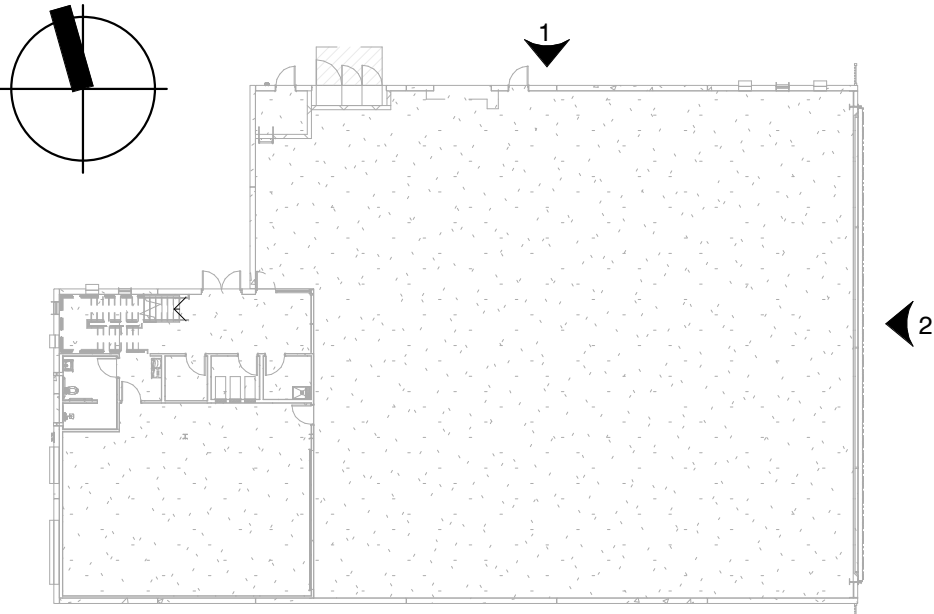


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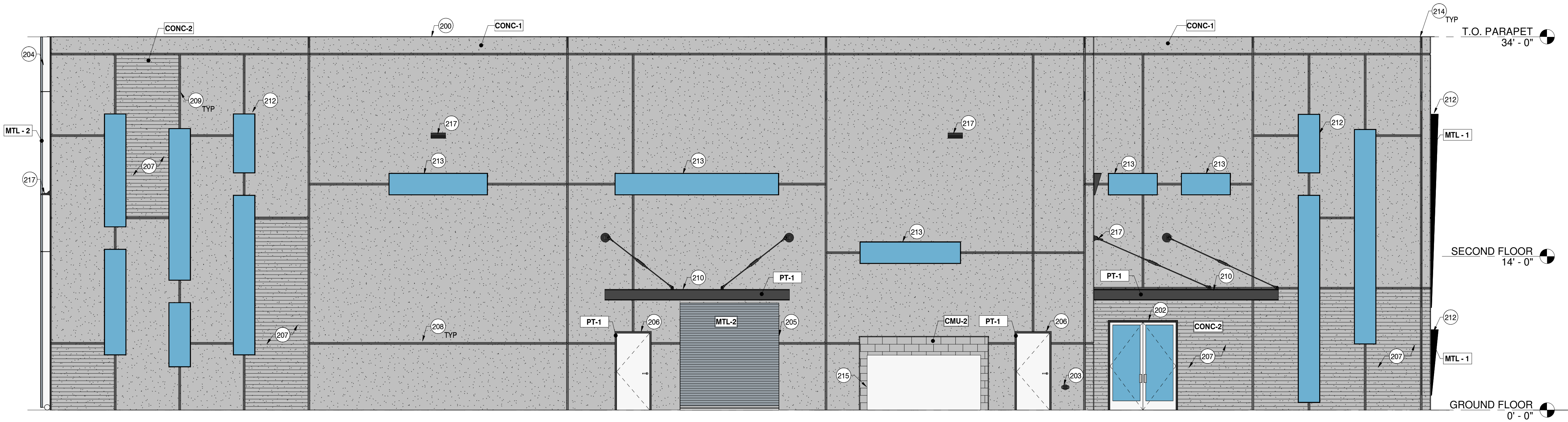
KEYPLAN



KEYNOTES

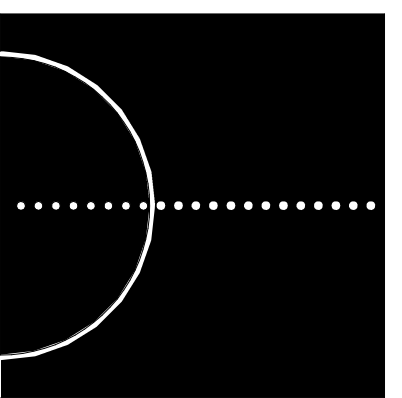
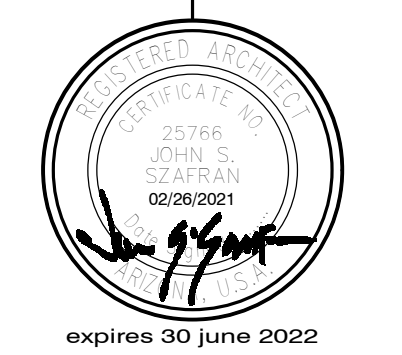
- 200 EXTERIOR TILT CONCRETE WALL PANEL.
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2 EAST ELEVATION - COLOR
3/16" = 1'-0"



1 NORTH ELEVATION - COLOR
3/16" = 1'-0"

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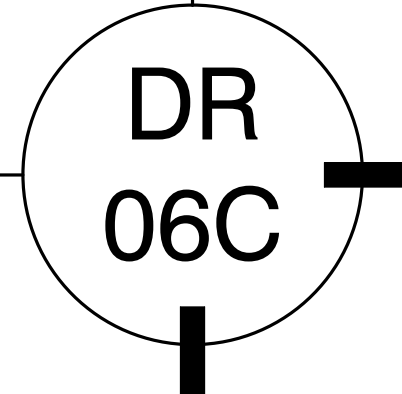


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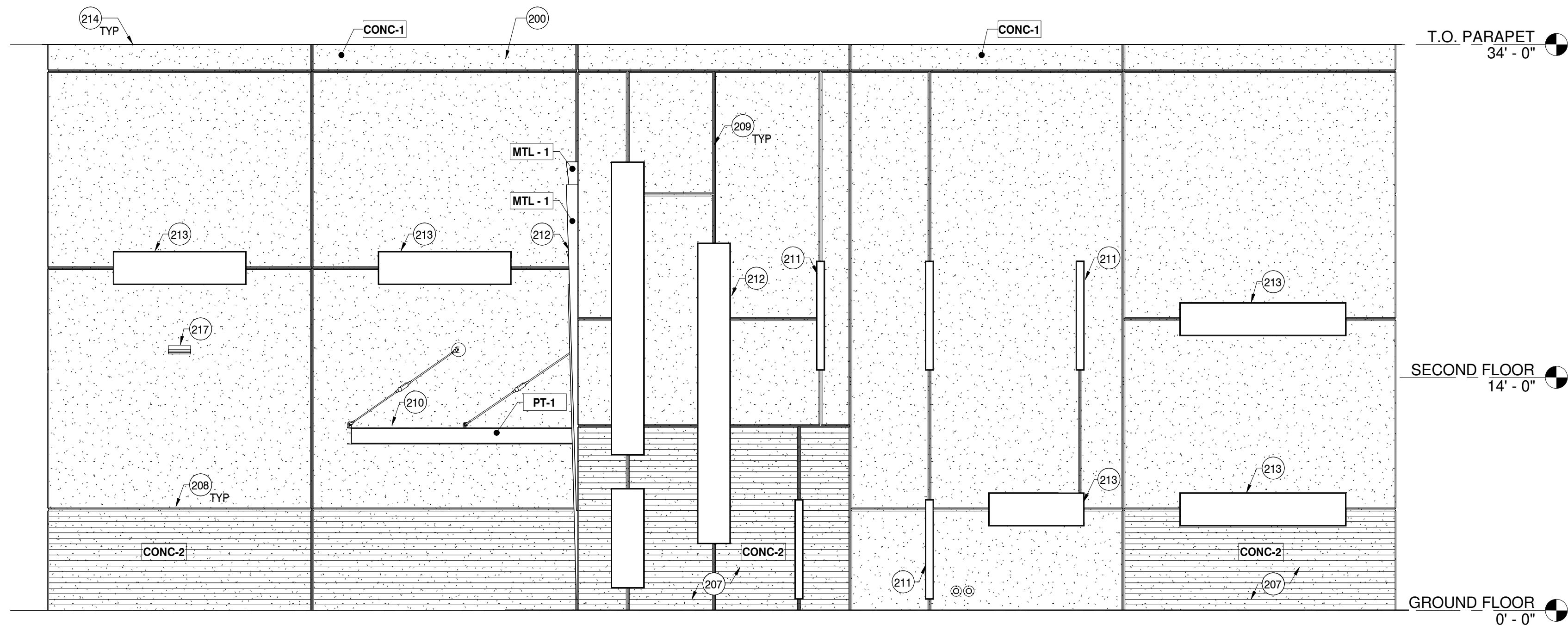
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project no.: 19067
date: 02/26/2021



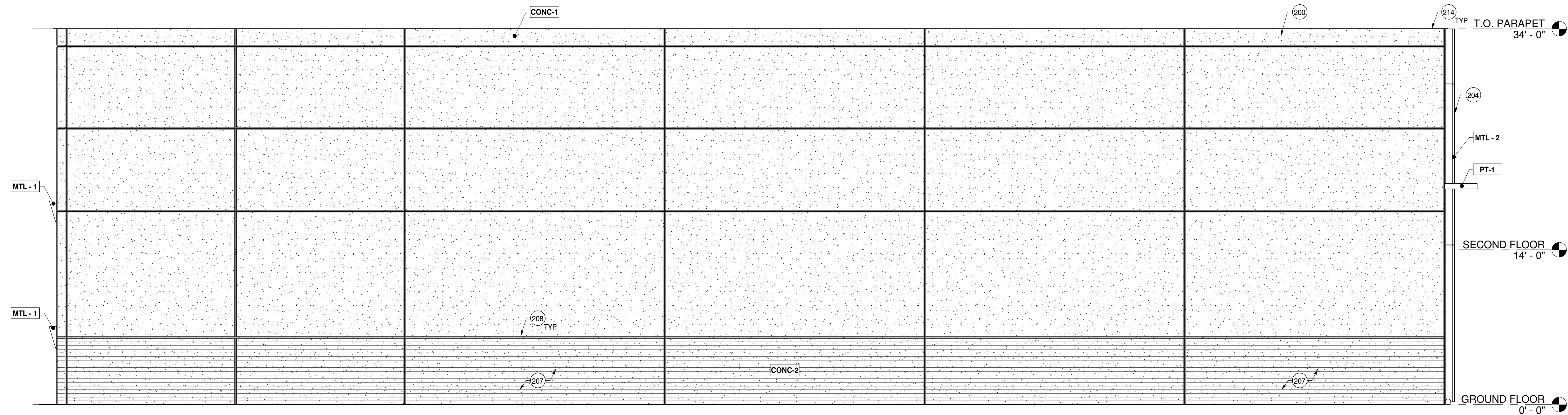
BUILDING ELEVATIONS - COLOR

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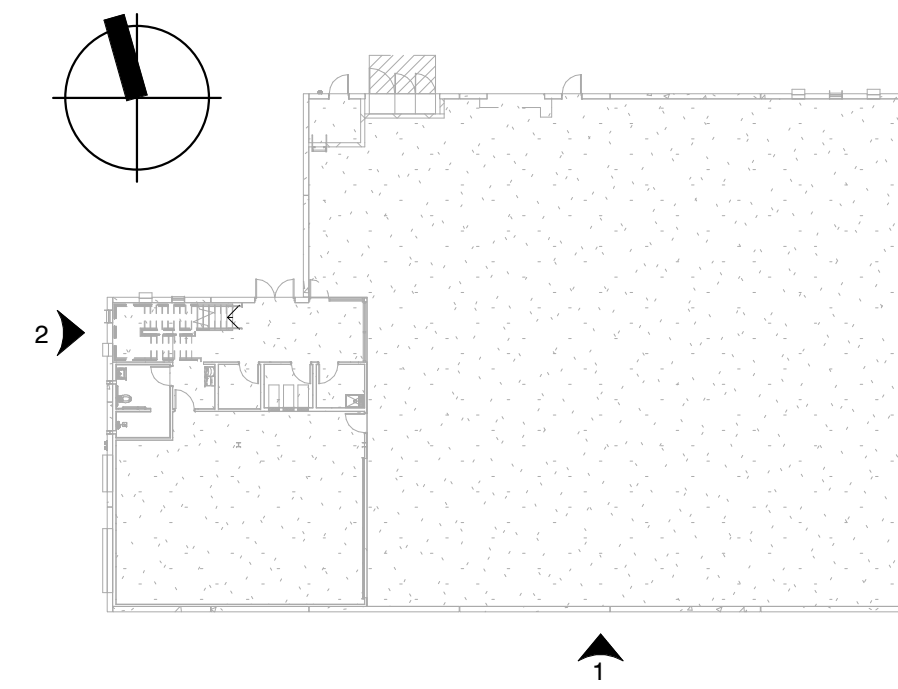
2 WEST ELEVATION



1 SOUTH ELEVATION
3/16" = 1'-0"



KEYPLAN



KEYNOTES

- 200 EXTERIOR TILT CONCRETE WALL PANEL.
204 SCHWEISS BIFOLD DOOR - SEE DOOR SCHEDULE.
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WINDOW SCHEDULE.
214 STEEL WALL CAP - TYP.
217 WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL
DRAWINGS.

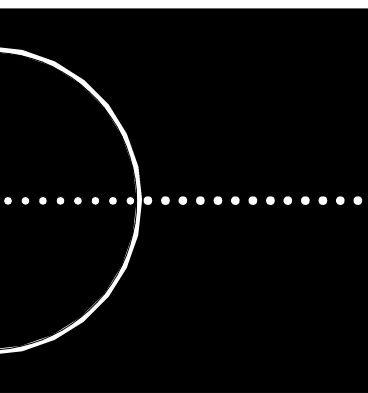
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project no.:	19067
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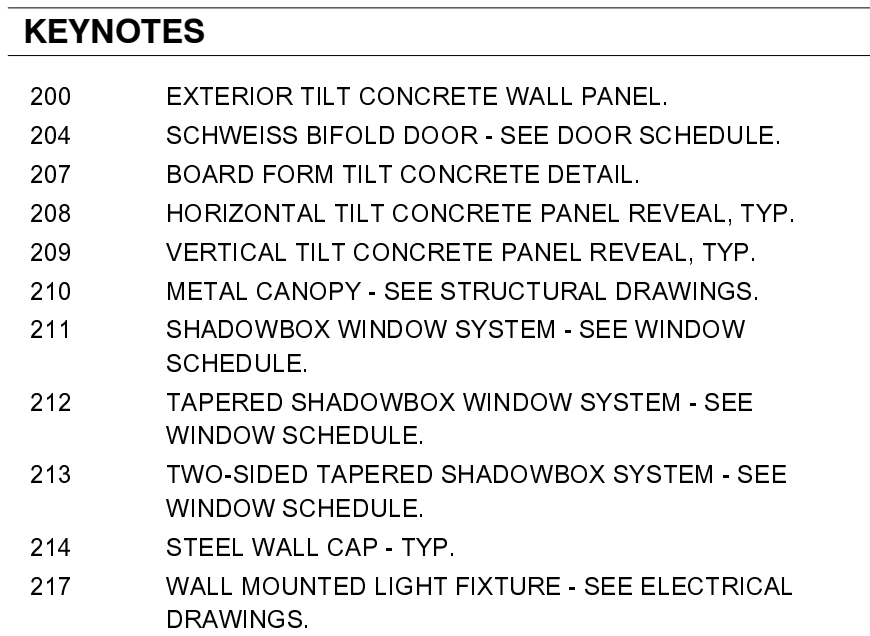
BUILDING ELEVATIONS

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07

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3/15/2021

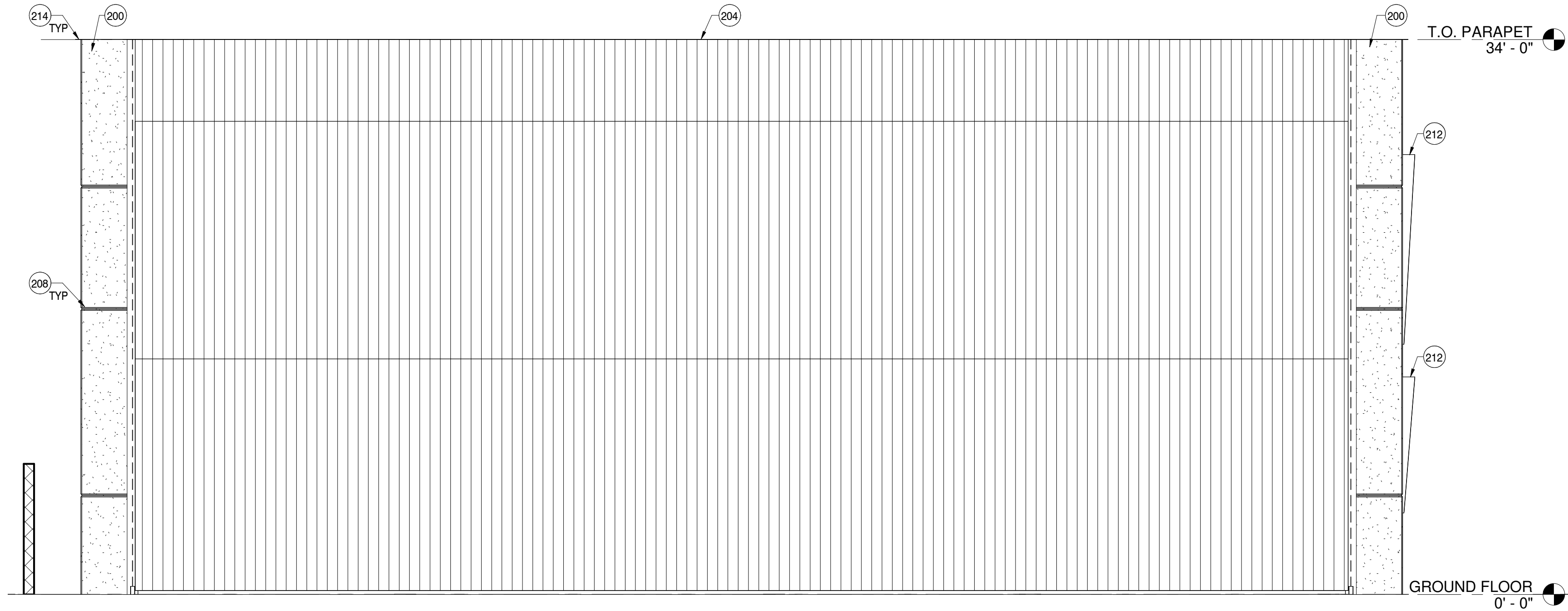
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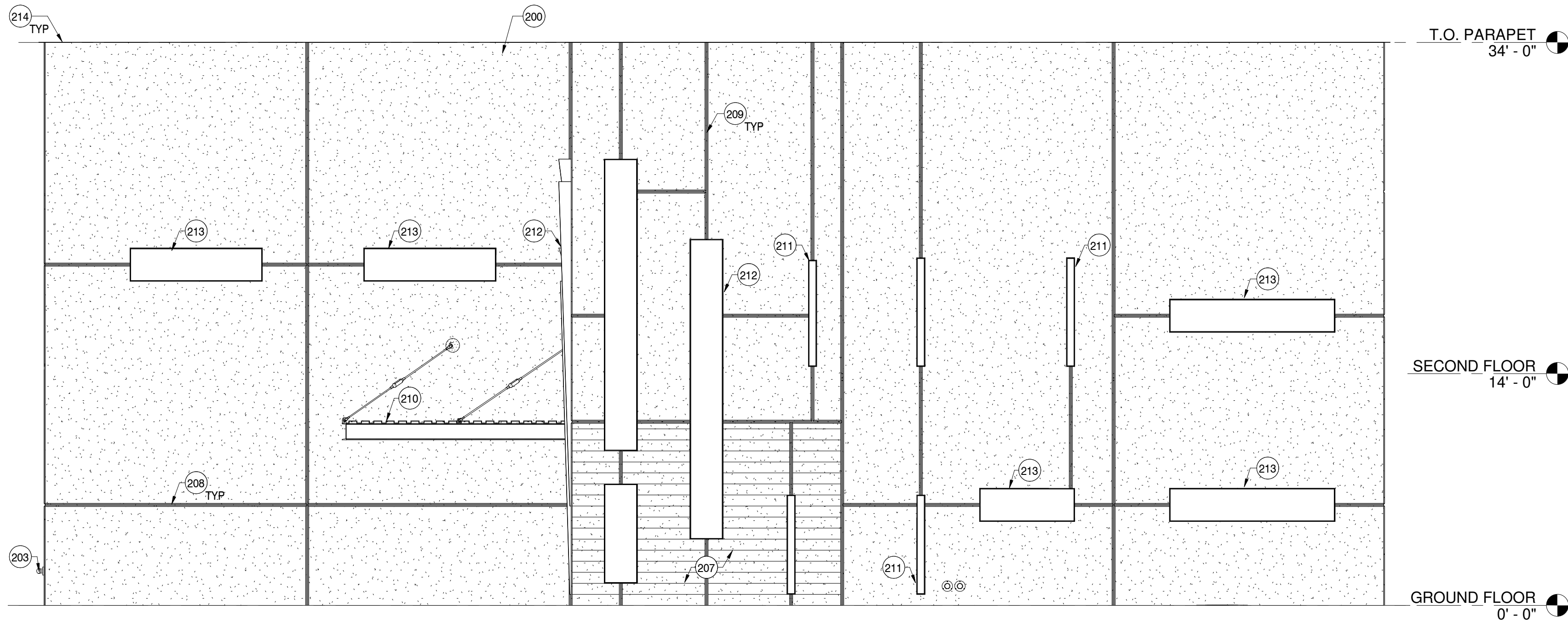
drawn by:	jw
project no.:	19067
date:	02/26/2021

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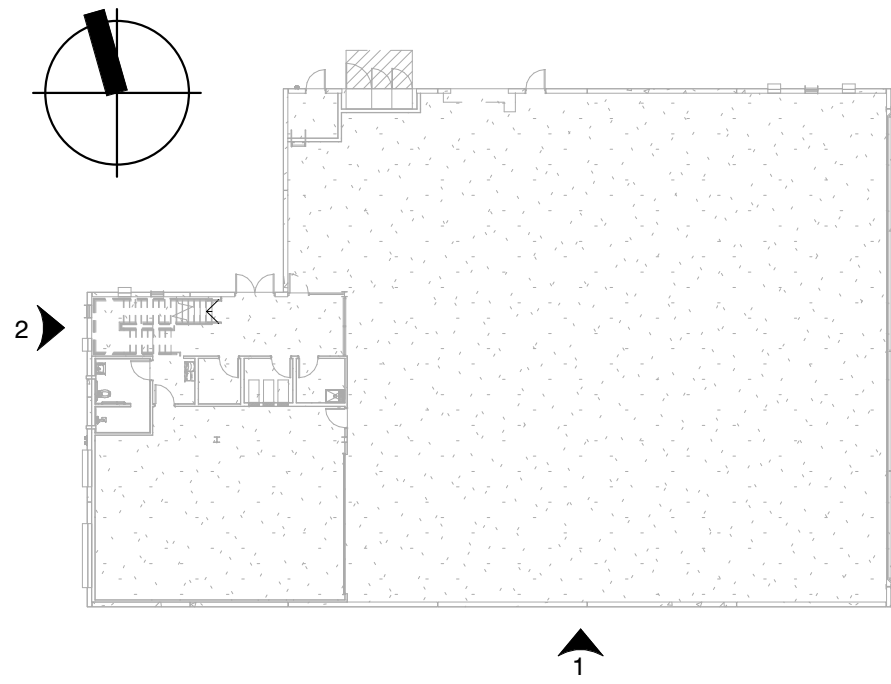
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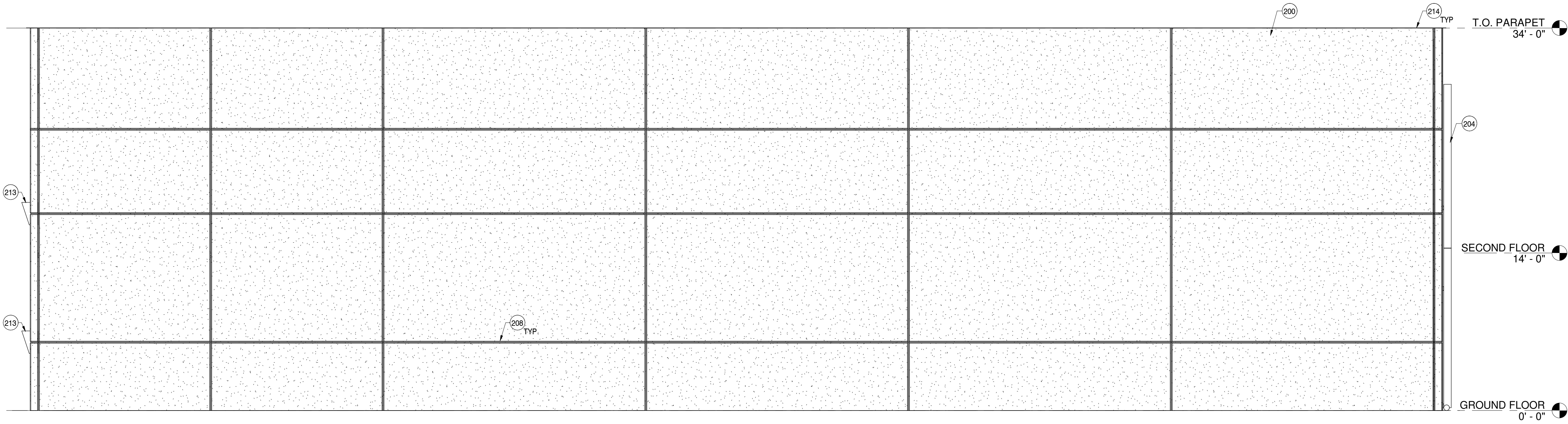
KEYPLAN



KEYNOTES

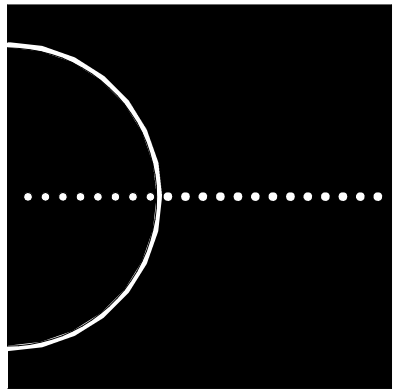
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3/16" = 1'-0"



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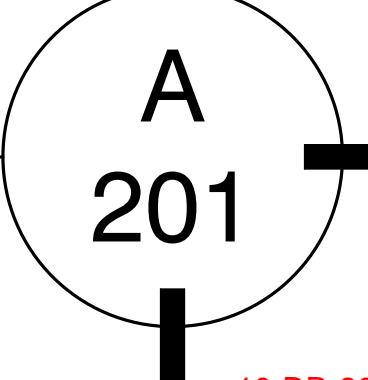
REVISION SCHEDULE

#	DESCRIPTION	DATE

drawn by: jw
project no.: 19067
date: 01/25/2021

BUILDING ELEVATIONS

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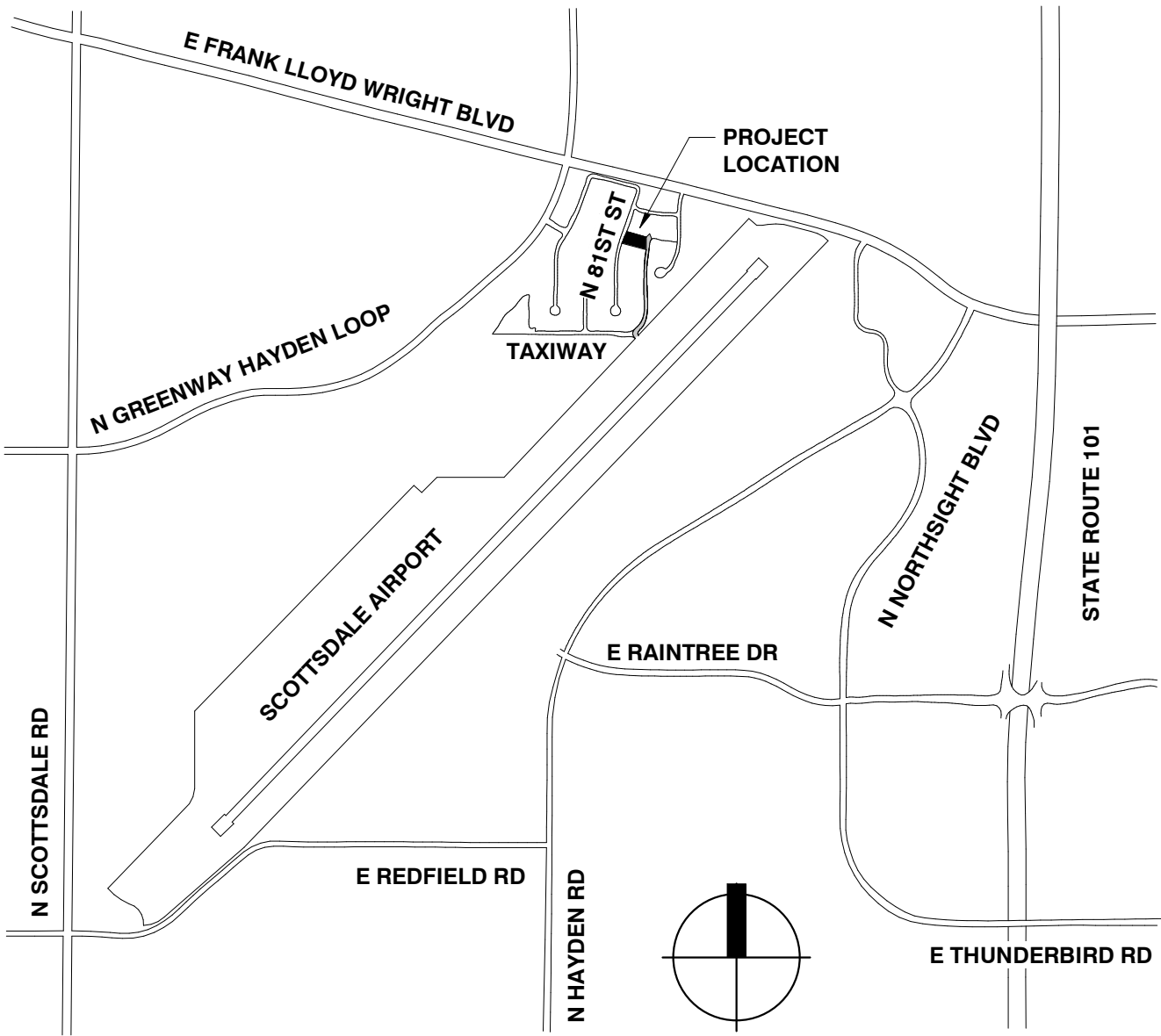
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KEYNOTES

- 30 NEW TILT-UP CONCRETE PANEL, TYP.
31 TRASH ENCLOSURE PER C.O.S. STD. DETAIL 2146-1.
32 TRASH ENCLOSURE STEEL GATE.
33 CONCRETE SIDEWALK - SEE CIVIL DRAWINGS.
35 LANDSCAPE - SEE LANDSCAPE DRAWINGS.
37 PARKING STRIPING, TYP.
38 ACCESSIBLE PARKING STALL.
39 ACCESSIBLE PARKING AISLE.
40 ACCESSIBLE CURB RAMP.
41 ASPHALT PAVING - SEE CIVIL DRAWINGS.
42 CONCRETE PAVING AT TRASH ENCLOSURE - SEE CIVIL DRAWINGS.
43 CONCRETE PAVING - SEE CIVIL DRAWINGS.
45 SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS.
46 ELECTRICAL TRANSFORMER - SEE ELECTRICAL DRAWINGS.
47 RETENTION AREA WITH SITE WALLS - SEE CIVIL DRAWINGS.
48 MD500 AIRCRAFT.
49 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
51 EXISTING UTILITY BOX TO REMAIN.
52 EXISTING FIRE HYDRANT TO REMAIN.
58 DOUBLE BIKE RACK PER C.O.S. STD. DETAIL 2285.
59 DRIVEWAY PER C.O.S. STD. DETAIL 2256 CL-1.
60 NEW 8' - 0" MASONRY WALL - COORDINATE CONNECTION TO ADJACENT PROPERTY'S TAXIWAY BARRIER WITH THE ADJACENT PROPERTY OWNER, THE CITY OF SCOTTSDALE AIRPORT, BUILDING DEPARTMENT, AND NORTHWEST AIRPARK PROPERTY OWNERS ASSOCIATION.

VICINITY MAP



PROJECT DATA

PROJECT DESCRIPTION:	THE DEVELOPMENT OF AN AIRCRAFT HANGAR WITH ACCESSORY OFFICE AREA AT THE CITY OF SCOTTSDALE MUNICIPAL AIRPORT.
PROJECT OWNER:	4GROUP BUILDING, LLC. 6109 NORTH PALO CRISTI ROAD PARADISE VALLEY, ARIZONA 85253 DAN D. DIETHELM EMAIL: DANDIETHELM@GMAIL.COM
PROJECT ARCHITECT:	DPA ARCHITECTS, INC. 3719 NORTH 75TH STREET, SUITE 105 SCOTTSDALE, AZ 85251 JOHN S. SZAFRAN, AIA, LEED AP EMAIL: JSSZAFRAN@DPAARCHITECTS.COM
BOOK-MAP-PARCEL:	215-48-055
CURRENT ZONING:	I-1 (SCOTTSDALE MUNICIPAL AIRPORT)
GROSS SITE AREA:	39,345 SF (0.90 ACRES)
NET SITE AREA:	35,201 SF (0.81 ACRES)
ALLOWABLE LOT COVERAGE:	0.80
BUILDING SITE COVERAGE:	9,202.5 SF (FIRST FLOOR GROSS AREA)
LOT COVERAGE:	9,202.5 SF / 35,201 SF = 26.14% (0.26) < 0.80(26,160.8 SF) = OK
CONSTRUCTION TYPE:	V-B FULLY SPRINKLERED (PER CITY OF SCOTTSDALE AMENDMENTS)
OCCUPANCY GROUP:	S-1: AIRCRAFT HANGAR (IBC SECTION 311.2) B: OFFICE SPACE (IBC SECTION 304.1) NEW CONSTRUCTION

BUILDING HEIGHT ALLOWED:

B OCCUPANCY:	2 STORIES (60')
S-1 OCCUPANCY:	2 STORIES (60')

BUILDING HEIGHT:
(IBC TABLE 504.3)

B OCCUPANCY:	2 STORIES (34')
S-1 OCCUPANCY:	2 STORIES (34')

BUILDING AREA ALLOWABLE:
(IBC TABLE 506.2 AND SECTION 506.2.4)

B OCCUPANCY:	31,014 SF
S-1 OCCUPANCY:	31,014 SF

BUILDING AREA:
(INTERIOR NET)

FIRST FLOOR:	8,913 SF
SECOND FLOOR:	1,869 SF
TOTAL:	10,782 SF

OCCUPANY LOAD:

OFFICE:	1 PER 100 = 20
HANGAR:	1 PER 500 = 14
TUG PARKING:	1 PER 500 = 3
TOTAL:	37

PARKING ANALYSIS:

OFFICE:	1 STALL / 300 SF GROSS (2,503.7 SF / 300) = 8.35 SPACES
HANGAR / SUPPORT AREA:	0 SPACES REQUIRED

(9' - 0" WIDE)	9 SPACES
TOTAL REQUIRED:	9 SPACES
TOTAL PROVIDED:	9 SPACES

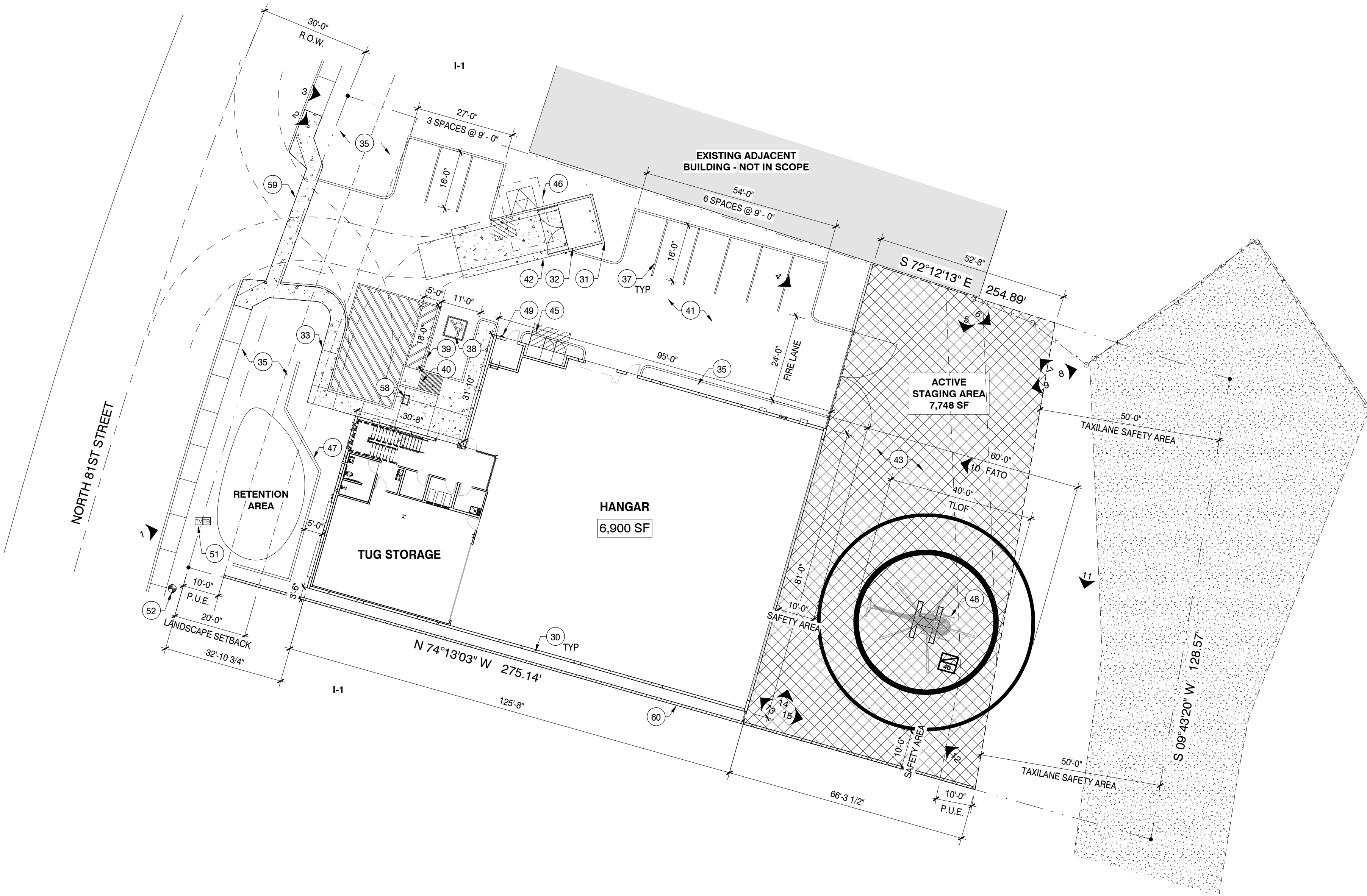
ACCESSIBLE SPACES REQUIRED:	1 VAN INCLUSIVE
ACCESSIBLE SPACES PROVIDED:	1 VAN INCLUSIVE

ON SITE AIRCRAFT STAGING AREA:
(HANGAR TO HOLD SHORT LINE)

REQUIRED:	GREATER THAN LARGEST SUPPORTED HANGAR
HANGAR AREA:	6,900 SF
PROVIDED:	7,748 SF = OK

SYMBOLS LEGEND

	DIRECTION OF VIEW		FIRE HYDRANT
	CORRESPONDING IMAGE		UTILITY BOX



2 CONTEXT SITE PLAN

1" = 20'-0"

PRE-APPLICATION CONTEXT SITE PLAN

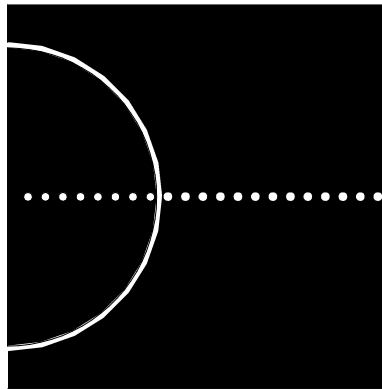
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#	DESCRIPTION	DATE

drawn by:	jw
project no.:	19067
date:	01/25/2021

AS
103

NOTES

- 1) The basis of bearing is the plat of NORTH SCOTTSDALE AIRPARK UNIT 1, as recorded in Book 327, Page 12, records of Maricopa County, Arizona.
- 2) All title information and the description shown is based on a Commitment for Title Insurance issued by First American Title Insurance Company, Commitment Number 10190401, dated November 27, 2019 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- 3) There are no striped parking spaces on the subject property.
- 4) There are no buildings on the subject property.
- 5) This survey shows visible above ground evidence of underground utilities or facilities on the subject property. No guarantee can be made as to the extent of the utilities available, either in service or abandoned, nor to their exact location. In the event this site is to be developed or improved this survey should not be used for design purposes. Please call an underground utility locator or "ARIZONA 811" at (602)263-1100 for the precise location and extent of all utilities in the area prior to any design and/or excavation.
- 6) There was no observable evidence of cemeteries, gravesites, or burial grounds on the subject property as disclosed by record documents provided to the surveyor, or observed in the process of conducting the survey.
- 7) The subject property has direct physical access to 81st Street being an improved and open public right-of-way.
- 8) The descriptions provided mathematically close and contain no gaps, gores or overlaps between the parcels described.
- 9) This ALTA / NSPS Land Title Survey was prepared specifically for the use of the parties named in the certification and their representatives. Use of this survey by any other party is forbidden unless expressly permitted in writing in advance by Superior Surveying Services, Inc. This survey is not to be used for design purposes. Superior Surveying Services, Inc. shall have no liability for any unauthorized use of this information without their prior written consent.

REFERENCES

GENERAL LAND OFFICE RECORDS ON FILE WITH THE U.S. DEPARTMENT OF THE INTERIOR BUREAU OF LAND MANAGEMENT

SUBDIVISION OF "SCOTTSDALE NORTHWEST AIRPARK" RECORDED IN BOOK 299 OF MAPS, PAGE 19, MARICOPA COUNTY RECORDS

SUBDIVISION OF "SCOTTSDALE NORTHWEST AIRPARK" RECORDED IN BOOK 299 OF MAPS, PAGE 20, MARICOPA COUNTY RECORDS

MAP OF DEDICATION OF "AVALON AVIATION CENTER" RECORDED IN BOOK 951 OF MAPS, PAGE 17, MARICOPA COUNTY RECORDS

SUBDIVISION OF "NORTH SCOTTSDALE AIRPARK UNIT 1" RECORDED IN BOOK 327 OF MAPS, PAGE 12, MARICOPA COUNTY RECORDS

WARRANTY DEED IN 2006-0453876, MARICOPA COUNTY RECORDS

RESULTS OF SURVEY IN BOOK 763 OF MAPS, PAGE 38, MARICOPA COUNTY RECORDS

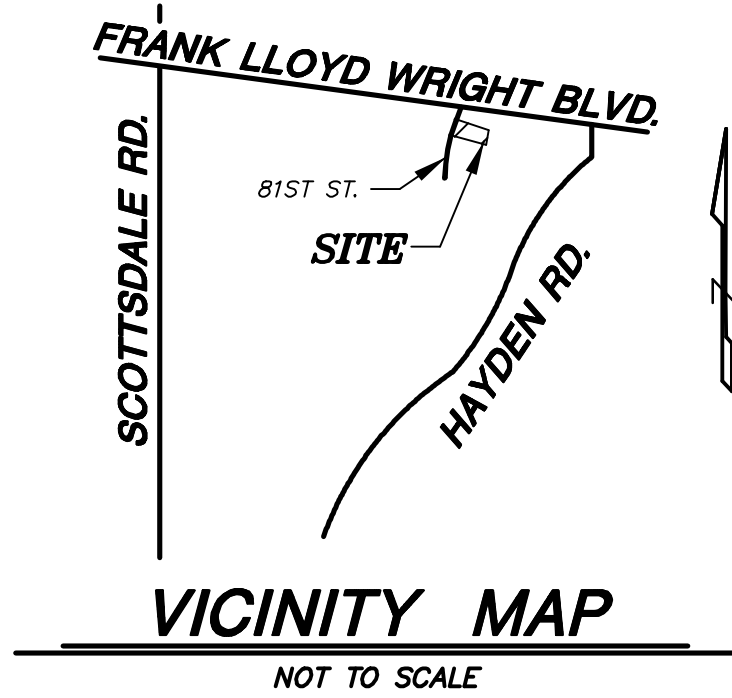
RESULTS OF SURVEY IN BOOK 967 OF MAPS, PAGE 44, MARICOPA COUNTY RECORDS

RESULTS OF SURVEY IN BOOK 1391 OF MAPS, PAGE 19, MARICOPA COUNTY RECORDS

ALTA / NSPS
LAND TITLE SURVEY
OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SCHEDULE "B" ITEMS

- 12 All matters contained in Map of Dedication for taxiway easements, SCOTTSDALE NORTHWEST AIRPARK recorded in Book 299 of Maps, Page 19. (PLOTTED HEREON)
- 13 All matters contained in SCOTTSDALE NORTHWEST AIRPARK, Map of Dedication of streets, rights-of-way and easements recorded in Book 299 of Maps, Page 20. (PLOTTED HEREON)
- 14 Easements, restrictions, reservations, conditions and set-back lines as set forth on the plat recorded in Book 318 of Maps, Page 9, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (PLOTTED HEREON)
- 15 Easements, restrictions, reservations, conditions and set-back lines as set forth on the plat recorded in Book 327 of Maps, Page 12 and Affidavit of Correction recorded April 1, 1994 in 94-268055, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (PLOTTED HEREON)
- 16 Covenants, conditions, restrictions, easements as set forth in document(s) recorded as: 86-349534 of official records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Thereafter, First Amendment to the Declaration of Covenants and Conditions and Restrictions of Scottsdale Northwest Airpark, recorded as 88-614562, of Official Records. Thereafter, Second Amendment to the Declaration of Covenants and Conditions and Restrictions of Scottsdale Northwest Airpark, recorded December 30, 2015 as 2015-0917828; re-recorded as 2015-917829; 2015-917830; 2015-917831; 2015-917832; 2015-917833; 2015-917834; 2015-917835; 2015-917836; 2015-917837; 2015-917838; 2015-917839; 2015-917840; 2015-917841; 2015-917842; 2015-917843; 2015-917844; 2015-917845; 2015-917846; 2015-917847; 2015-917848; 2015-917849; 2015-917850; 2015-917851; 2015-917852; 2015-917853; 2015-917854; 2015-917855; 2015-917856; 2015-917857; and 2015-917858; all of Official Records. (REFERENCES SUBJECT PROPERTY - NO PLOTTABLE EASEMENTS)
- 17 Easements, restrictions, reservations, conditions and set-back lines as set forth on the plat recorded as Book 763 of Maps, Page 38, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (NO PLOTTABLE EASEMENTS ARE CREATED BY THIS DOCUMENT)
- 18 An easement for sight distance and incidental purposes, recorded as 2006-0245913 of Official Records. (PLOTTED HEREON)
- 19 An easement for vehicular non-access and incidental purposes, recorded as 2006-0271067 of Official Records. (PLOTTED HEREON)
- 20 All matters set forth in Agreement, recorded November 29, 2006 as 2006-1561084 of official records. (NO PLOTTABLE EASEMENTS REFERENCING SUBJECT PROPERTY ARE CREATED BY THIS DOCUMENT)
- 21 All matters set forth in Solar Services Easement Agreement, recorded May 11, 2011 as 2011-395517, 2011-395518 and 2011-395519, all of official records. (THE ABOVE REFERENCED DOCUMENTS PERTAIN TO PROPERTIES NOT CONSISTENT WITH THE TITLE COMMITMENT DESCRIPTION)



DESCRIPTION

Lot 35, of NORTH SCOTTSDALE AIRPARK UNIT 1, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 327 of Maps, Page 12 and Affidavit of Correction recorded April 1, 1994 in 94-268055, of Official Records.

AREA = 0.81 ACRES
35,201 SQ. FT.

SIGNIFICANT OBSERVATIONS

AT THE TIME OF THIS SURVEY THERE WAS NO VISIBLE EVIDENCE OF POTENTIAL ENCROACHMENTS OBSERVED ON SUBJECT PROPERTY

CERTIFICATION

To: D & L SCOTTSDALE AIRPORT PROPERTIES, LLC, an Arizona limited liability company; and FIRST AMERICAN TITLE INSURANCE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 4, 7(a), 7(b)(1), 7(c), 8, and 9 of Table A thereof. The field work was completed on December 27, 2019.

Date of Plat or Map: January 3, 2020
David S. Klein
R.L.S. 42137

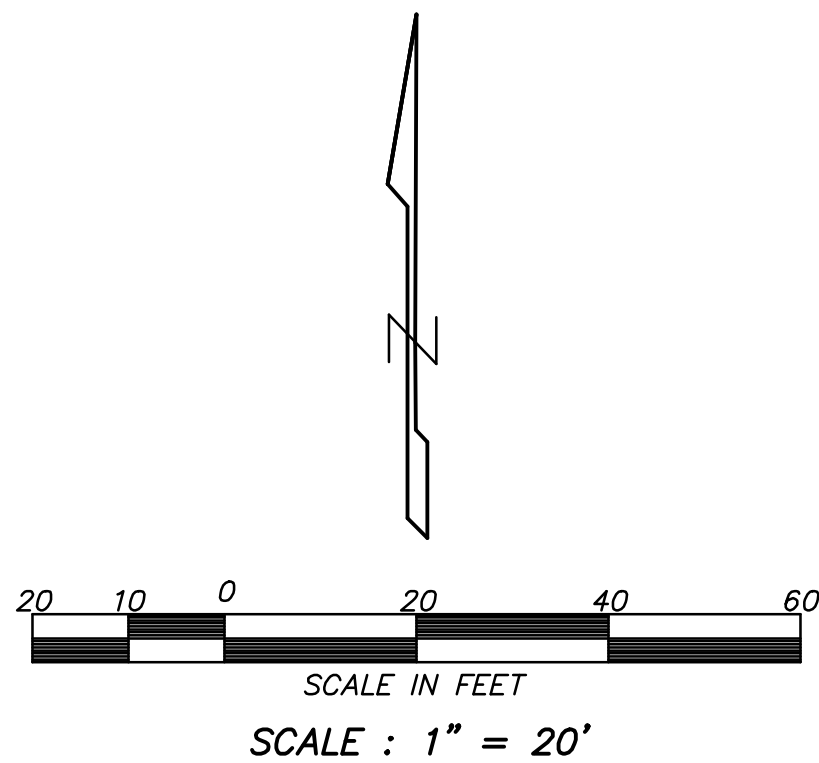
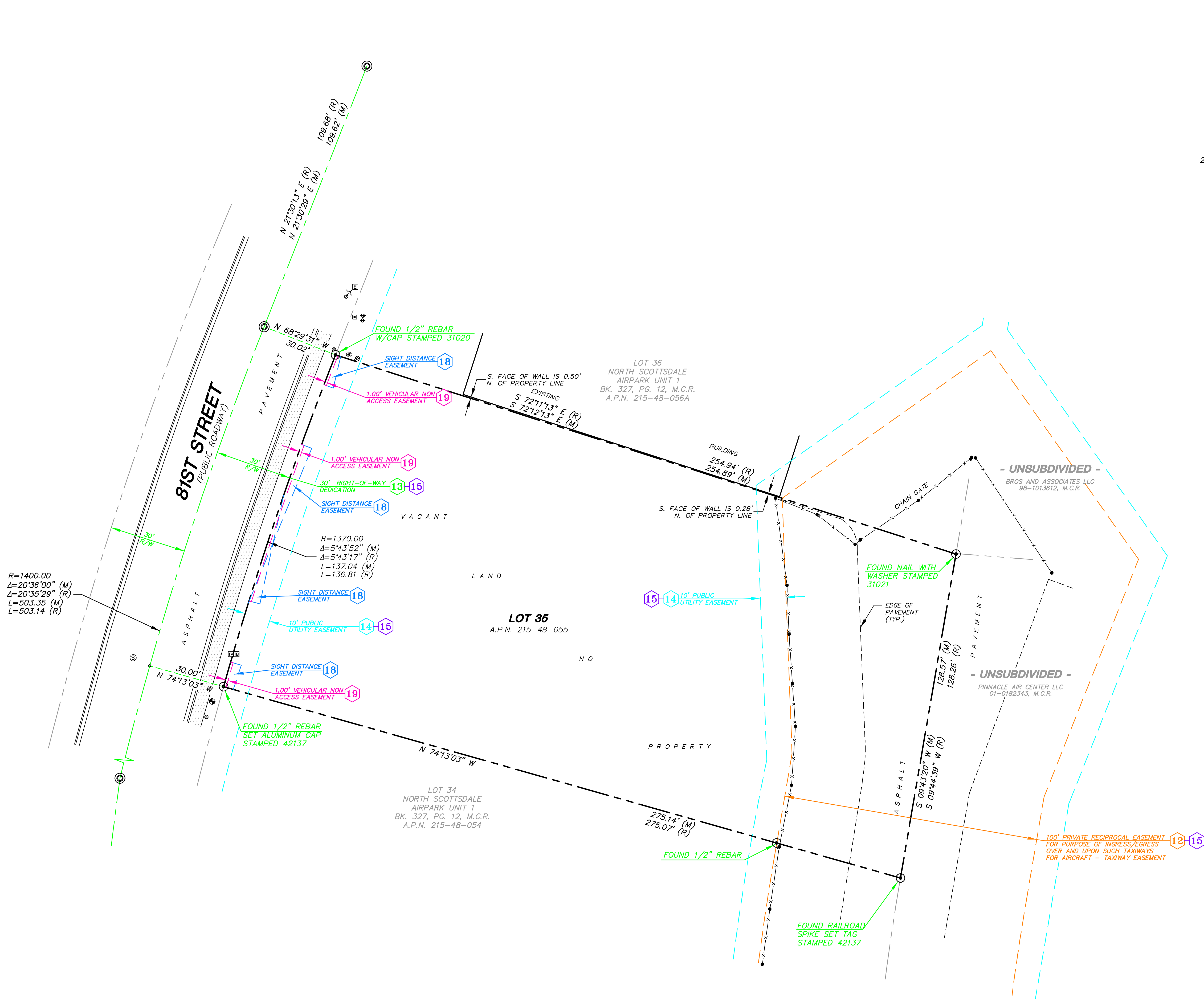


ALTA / NSPS LAND TITLE SURVEY
16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260

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Phoenix, AZ 85027
623-869-0223 (office) 623-869-0726 (fax)
www.superiorsurveying.com
info@superiorsurveying.com

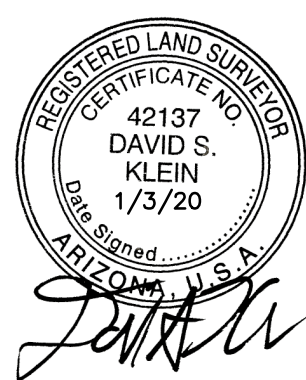


DWN: ETR CHK: ETR
SHEET 1 OF 2
DATE: 1/3/20
JOB: 191221



LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- 24 INCH VERTICAL CURB & GUTTER
- ROPE CHAIN
- ⊗ BOUNDARY CORNER FOUND OR SET AS NOTED
- ⊙ FOUND BRASS CAP, FLUSH
- ⊙ SCHEDULE B ITEM
- ⊙ SPRINKLER HOOK-UP (FIRE DEPARTMENT)
- ⊙ BACK FLOW PREVENTER
- ⊙ ELECTRIC BOX
- ⊙ FIRE HYDRANT
- ⊙ POST INDICATOR VALVE
- ⊙ GUARD POST OR GATE POST
- ⊙ LIGHT POLE
- ⊙ SEWER MANHOLE
- ⊙ CABLE TELEVISION RISER
- ⊙ CABLE TELEVISION BOX
- ⊙ WATER METER
- ⊙ WATER VALVE
- A.P.N. ASSESSORS PARCEL NUMBER
- M.C.R. MARICOPA COUNTY RECORDS
- R/W RIGHT OF WAY
- BK. BOOK
- PG. PAGE
- (TYP.) TYPICAL
- (R) RECORD PER BK. 327, PG. 12, M.C.R.
- (M) MEASURED



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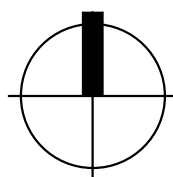
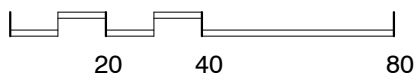
SUPERIOR
SURVEYING SERVICES, INC.

DWN: ETR CHK: ETR
SHEET 2 OF 2
DATE: 1/3/20
JOB: 191221

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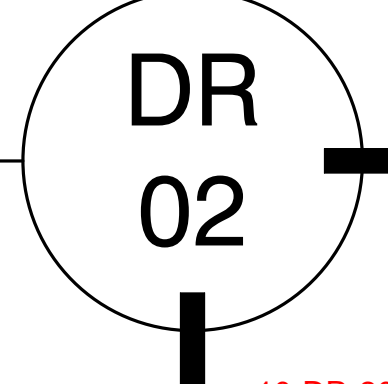
1 SITE PLAN IN CONTEXT
1" = 40'-0"



SITE PLAN IN CONTEXT

REVISION SCHEDULE		
#	DESCRIPTION	DATE

drawn by: jw
project no.: 19067
date: 02/26/2021



HANGAR / OFFICE BUILDING
4GROUP BUILDING, LLC
16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260



DESIGNERS OF
PROGRESSIVE
ARCHITECTURE
3719 N 75th St Suite 105
Scottsdale, Arizona 85251
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KEYNOTES

- 30 NEW TILT CONCRETE PANEL, TYP.
31 TRASH ENCLOSURE PER C.O.S. STD. DETAIL 2146-1.
32 TRASH ENCLOSURE STEEL GATE.
33 CONCRETE SIDEWALK - SEE CIVIL DRAWINGS.
35 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS.
37 PARKING STRIPING, TYP.
38 ACCESSIBLE PARKING STALL.
39 ACCESSIBLE PARKING AISLE.
40 ACCESSIBLE CURB RAMP.
41 ASPHALT PAVING - SEE CIVIL DRAWINGS.
42 CONCRETE PAVING AT TRASH ENCLOSURE - SEE CIVIL DRAWINGS.
43 CONCRETE PAVING - SEE CIVIL DRAWINGS.
45 SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS.
46 ELECTRICAL TRANSFORMER - SEE ELECTRICAL DRAWINGS.
47 RETENTION AREA WITH SITE WALLS - SEE CIVIL DRAWINGS.
48 MD500 AIRCRAFT.
49 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
51 EXISTING UTILITY BOX TO REMAIN.
52 EXISTING FIRE HYDRANT TO REMAIN.
58 DOUBLE BIKE RACK PER C.O.S. STD. DETAIL 2285.
59 DRIVEWAY PER C.O.S. STD. DETAIL 2256 CL-1.
60 NEW 8x8x16 CONCRETE MASONRY WALL, BLOCK FINISH PER PLAN AND ELEVATIONS - SEE STRUCTURAL DRAWINGS.
61 SIGHT VISIBILITY TRIANGLE PER C.O.S. STANDARDS
62 CONCRETE FILLED, STEEL PIPE BOLLARD - TYP.

GENERAL NOTES

- A. SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT. ANY SIGNAGE SHOWN IS FOR REFERENCE AND ENGINEERING COORDINATION ONLY.

PROJECT DATA

PROJECT DESCRIPTION: A NEW HANGAR / OFFICE BUILDING FOR 4GROUP BUILDING, LLC. THE SPACE WILL INCLUDE A HANGAR DESIGNED TO HOUSE A MD500 AIRCRAFT AND TUG STORAGE ON THE GROUND LEVEL AS WELL AS OFFICE SPACE ON THE SECOND LEVEL.

LEGAL DESCRIPTION: NORTH SCOTTSDALE AIRPARK UNIT 1 MCR 327-12 ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE MARICOPA COUNTY RECORDER.

PROJECT ADDRESS: 16115 NORTH 81ST STREET SCOTTSDALE, ARIZONA 85260

ASSESSORS PARCEL NUMBER: 215-48-055

ZONING: I-1 (SCOTTSDALE MUNICIPAL AIRPORT)

BUILDING OCCUPANCY: B / S-1

TYPE OF CONSTRUCTION: TYPE V-B, FULLY SPRINKLED

BUILDING STORIES: HANGAR - 1 STORY
OFFICE - 2 STORY

LOT AREA: GROSS SITE AREA: 35,128 SF
TOTAL SITE ACREAGE: .806 ACRES

GROSS BUILDING AREA: 8,828 SF (FIRST FLOOR GROSS AREA)

PARKING ANALYSIS: OFFICE: 1 STALL / 300 SF (2,461.7 SF / 300) = 8.21 SPACES
HANGAR / SUPPORT AREA: 0 SPACES REQUIRED
(9' - 0" WIDE)
TOTAL REQUIRED: 9 SPACES
TOTAL PROVIDED: 9 SPACES
ACCESSIBLE SPACES REQUIRED: 1 VAN INCLUSIVE
ACCESSIBLE SPACES PROVIDED: 1 VAN INCLUSIVE

CONTACT INFORMATION

BUILDING OWNERSHIP: 4GROUP BUILDING, LLC
6109 N PALO CRISTI ROAD
PARADISE VALLEY, ARIZONA 85253
T. 602.692.5650
DAN D. DIETHELM
DANDIETHELM@GMAIL.COM

ARCHITECT: DPA ARCHITECTS, INC.
3719 NORTH 75TH STREET, SUITE 105
SCOTTSDALE, ARIZONA 85251
T. 480.941.4222
JOHN S. SZAFFRAN, AIA, LEED AP
JSSZAFFRAN@DPAARCHITECTS.COM

CONTRACTOR: TBD

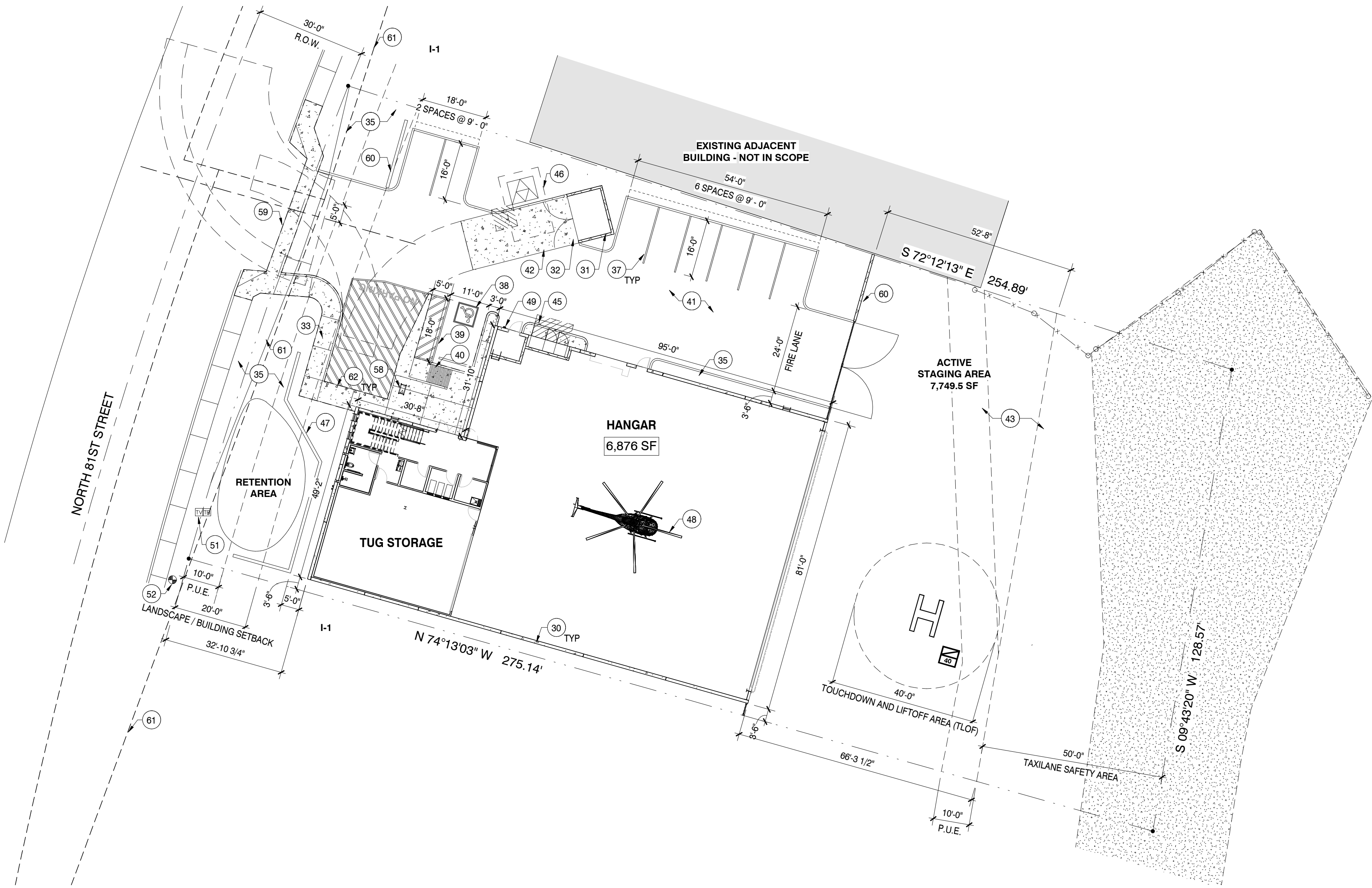
STRUCTURAL ENGINEER: BAKKUM NOELKE
CONSULTING STRUCTURAL ENGINEER, INC.
2525 E. ARIZONA BILTMORE CIRCLE, SUITE D240
PHOENIX, ARIZONA 85016
T. 602.955.9200
FRED NOELKE, S.E.
FNOELKE@BAKKUMNOELKE.COM

MECHANICAL / PLUMBING ENGINEER: GMB ENGINEERING
15416 E PICKETT COURT
GILBERT, ARIZONA 85298
T. 480.225.0544
LARS BARKMANN
LARS@GBM-ENG.COM

ELECTRICAL ENGINEER: STRINGER ENGINEERING
4532 E DESERT TRUMPET RD.
PHOENIX, ARIZONA 85044
T. 480.390.5127
GARY STRINGER
GARY@STRINGERENGINEERING.COM

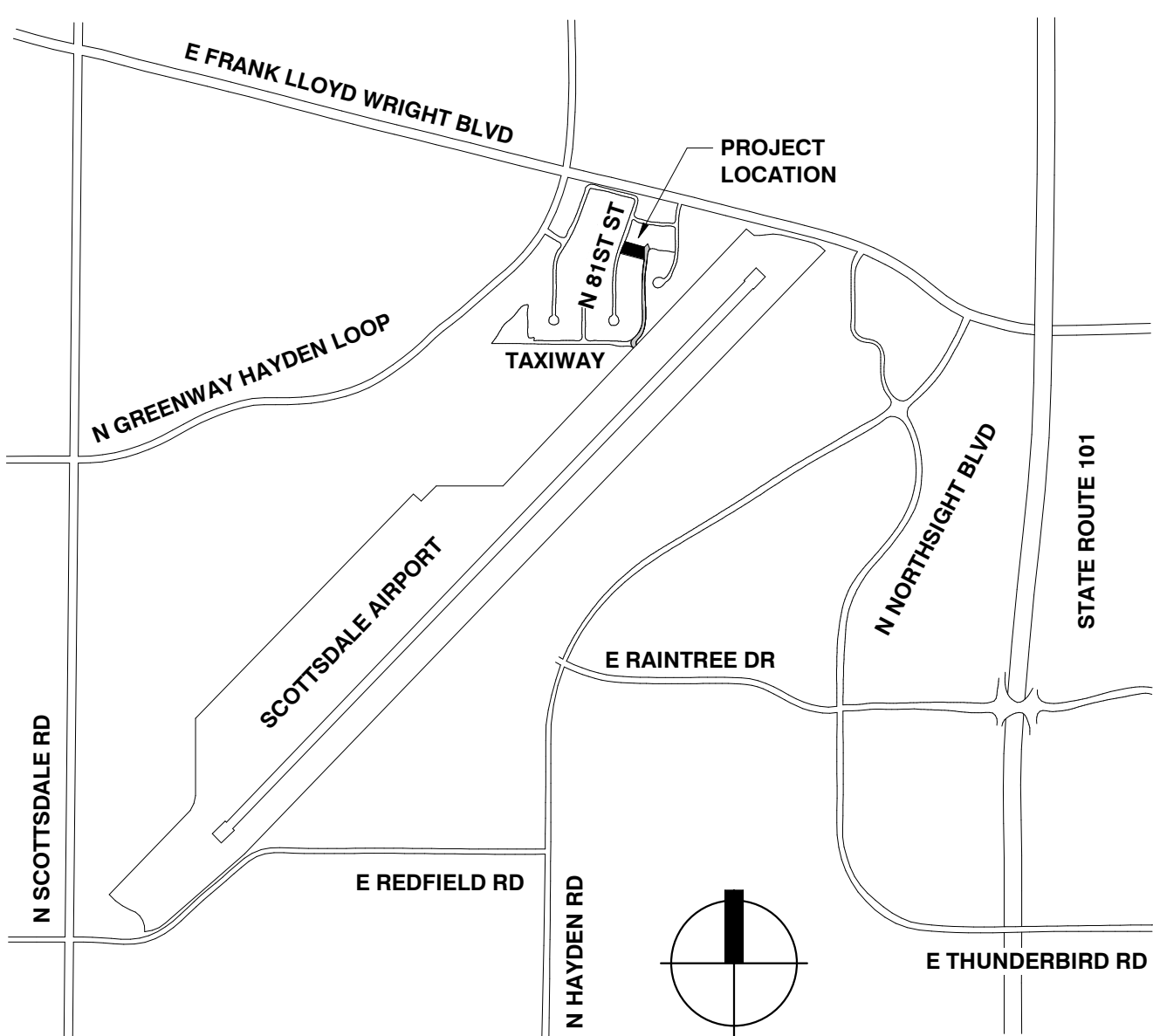
CIVIL ENGINEER: BOWMAN CONSULTING
1295 W WASHINGTON ST, SUITE 108
TEMPE, ARIZONA 85281
T. 480.629.8830
JOHN GRAY
JGRAY@BOWMANCONSULTING.COM

LANDSCAPE ARCHITECT: NORRIS DESIGN
901 E MADISON ST
PHOENIX, ARIZONA 85034
T. 602.254.9900
DOUG PROUTY, PLA
DPROUTY@NORRIS-DESIGN.COM

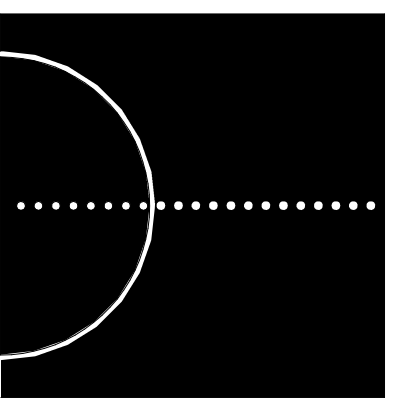
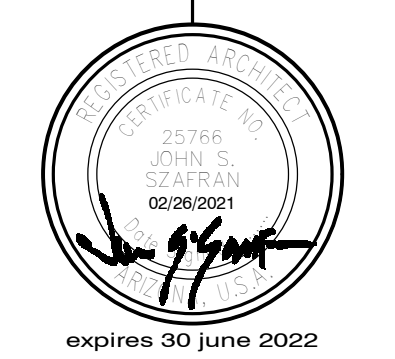


1 OVERALL SITE PLAN
1" = 20'-0"

VICINITY MAP



HANGAR / OFFICE BUILDING
4GROUP BUILDING, LLC
16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260

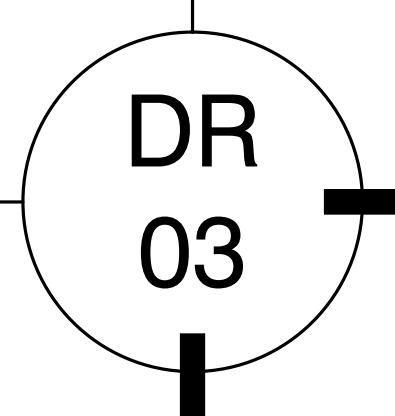


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telephone 480 941 4222
www.dpaarchitects.com

REVISION SCHEDULE

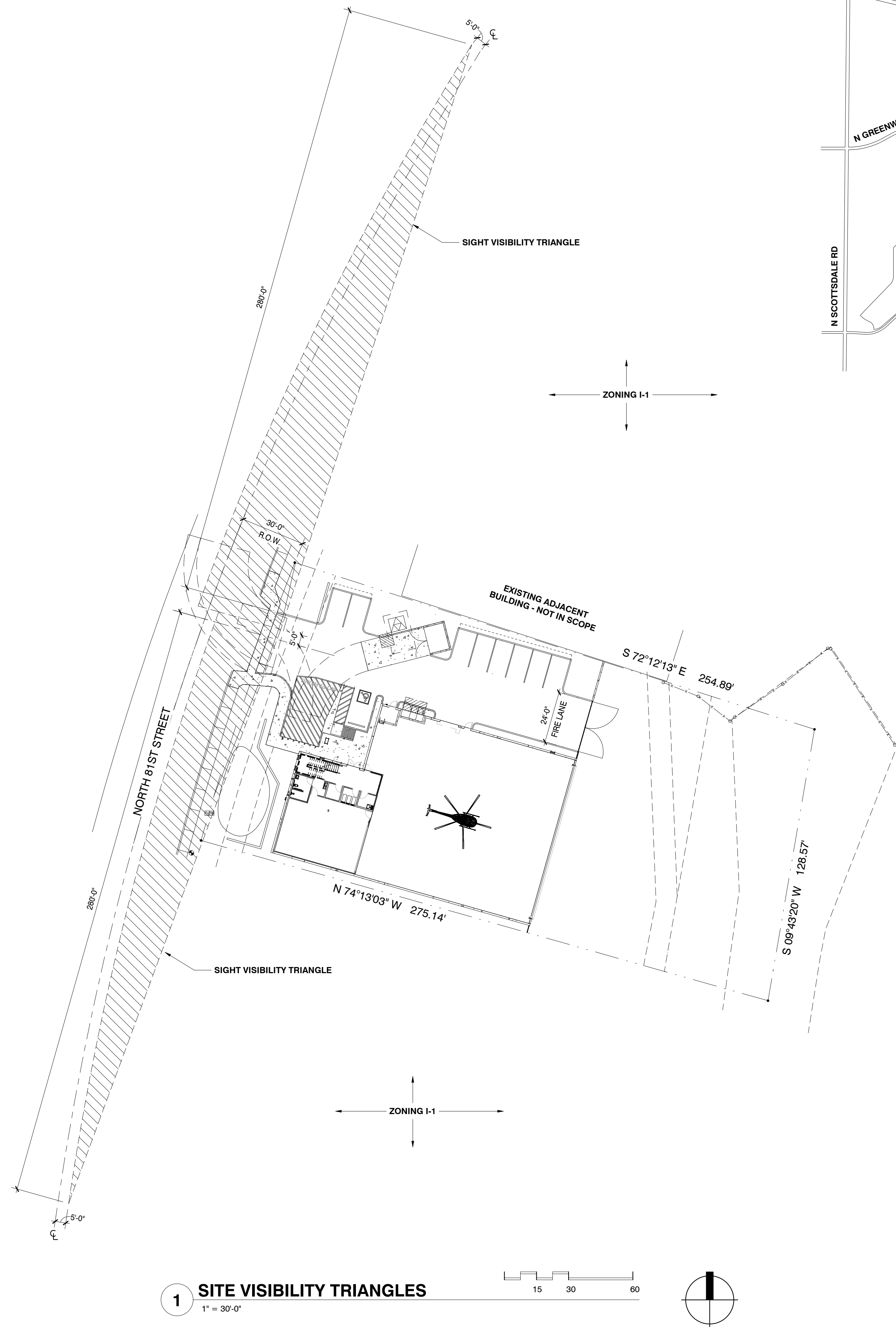
#	DESCRIPTION	DATE

drawn by: jw
project no.: 19067
date: 02/26/2021

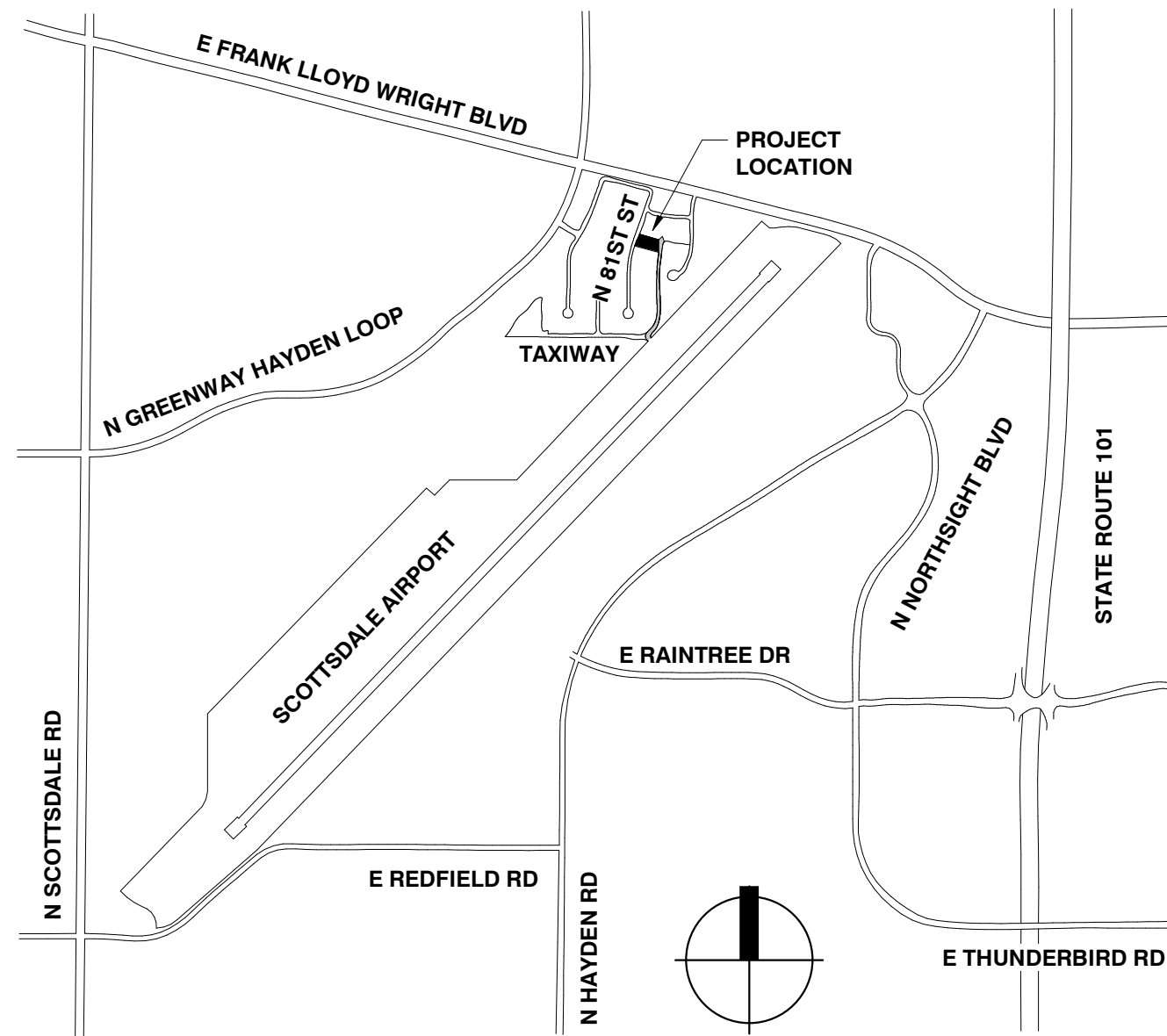


OVERALL SITE PLAN

PLOT DATE: 3/2/2021 1:59:15 PM



VICINITY MAP



METRIC	U.S. CUSTOMARY
$ISD = 1.28V_{major}t_g$ where: ISD = intersection sight distance (length of the leg of sight triangle along the major road) (m) V_{major} = design speed of major road (km/h) t_g = time gap for minor road vehicle to enter the major road (s)	$ISD = 1.47V_{major}t_g$ where: ISD = intersection sight distance (length of the leg of sight triangle along the major road) (ft) V_{major} = design speed of major road (mph) t_g = time gap for minor road vehicle to enter the major road (s)

Table 9-5. Time Gap for Case B1, Left Turn from Stop

Design Vehicle	Time Gap (t_g)(s) at Design Speed of Major Road
Passenger car	7.5
Single-unit truck	9.5
Combination truck	11.5

Table 9-7. Time Gap for Case B2, Right Turn from Stop and Case B3 - Crossing Maneuver

Design Vehicle	Time Gap (t_g)(s) at Design Speed of Major Road
Passenger car	6.5
Single-unit truck	8.5
Combination truck	10.5

Note: Intersection sight distance shown is for a stopped passenger car to turn left onto a two-lane highway with no median and grades 3 percent or less. For other conditions, the time gap should be adjusted and the sight distance recalculated.

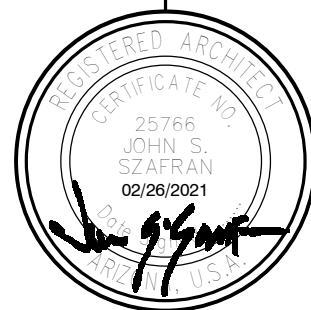
Table 9-6. Design Intersection Sight Distance - Case B1, Left Turn from Stop

Metric				U.S. Customary			
Design Speed (km/h)	Stopping Sight Distance (m)	Intersection Sight Distance for Passenger Cars		Design Speed (mph)	Stopping Sight Distance (ft)	Intersection Sight Distance for Passenger Cars	
		Calculated (m)	Design (m)			Calculated (ft)	Design (ft)
20	20	41.7	45	15	80	165.4	170
30	35	62.6	65	20	115	220.5	225
40	50	83.4	85	25	155	275.6	280
50	65	104.3	105	30	200	330.8	335
60	85	125.1	130	35	250	385.9	390
70	105	146.0	150	40	305	441.0	445
80	130	166.8	170	45	360	496.1	500
90	160	187.7	190	50	425	551.3	555
100	185	208.5	210	55	485	606.4	610
110	220	229.4	230	60	570	661.5	665
120	250	250.2	255	65	645	716.6	720
130	285	271.1	275	70	730	771.8	775
--	--	--	--	75	820	826.9	830
--	--	--	--	80	910	882.0	885

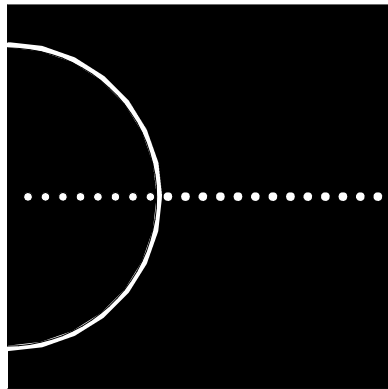
SITE VISIBILITY TRIANGLES

HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC
16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260



expires 30 june 2022



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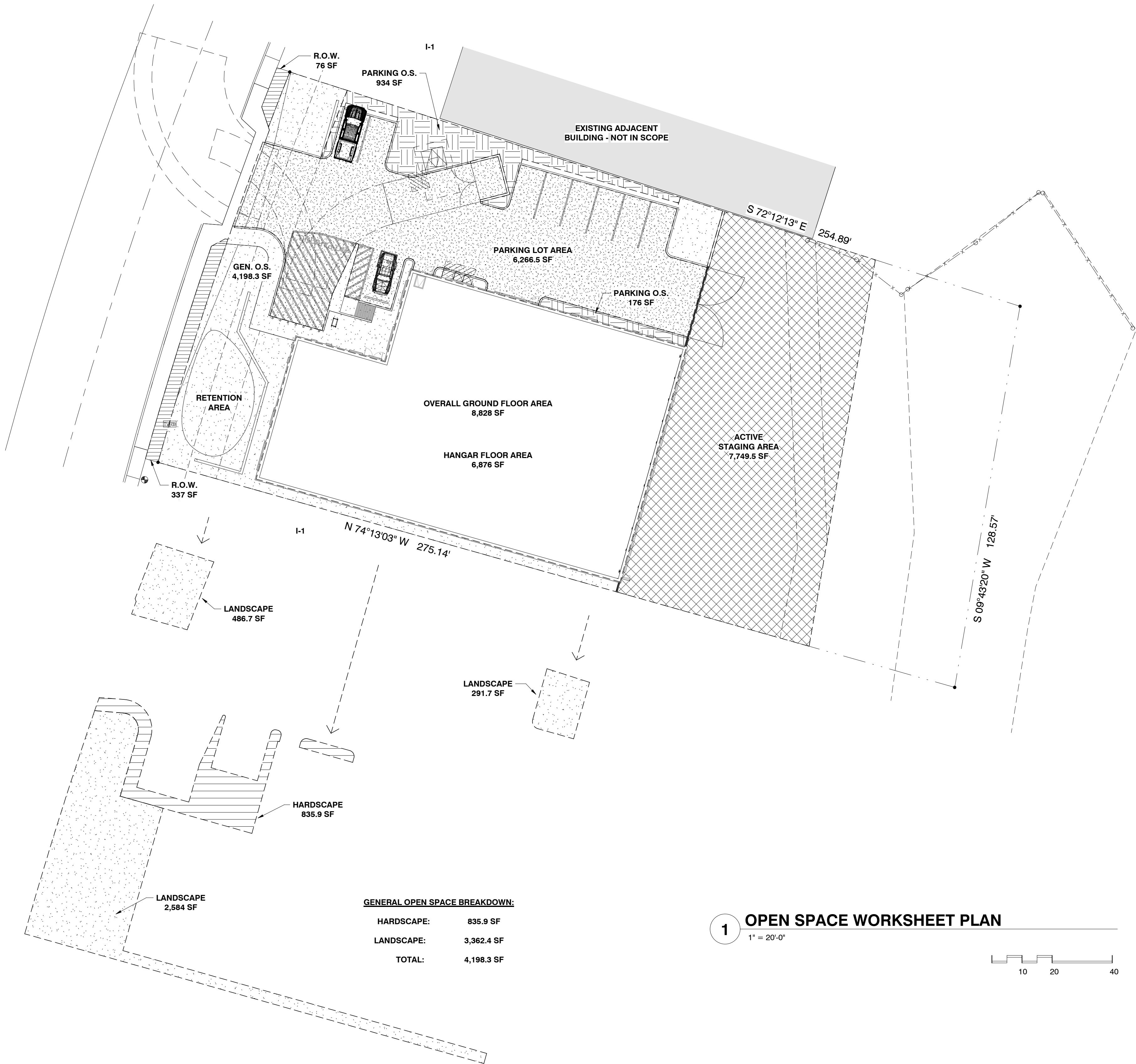
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drawn by: jw
project no.: 19067
date: 02/26/2021

DR
04

10-DR-2021
3/15/2021

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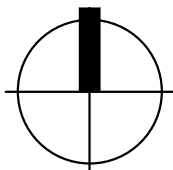
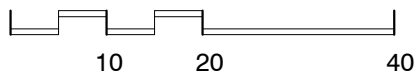


GENERAL OPEN SPACE BREAKDOWN:

HARDSCAPE:	835.9 SF
LANDSCAPE:	3,362.4 SF
TOTAL:	4,198.3 SF

1 OPEN SPACE WORKSHEET PLAN

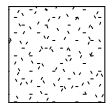
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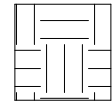
OPEN SPACE LEGEND



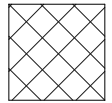
GENERAL OPEN SPACE:
4,198.3 SF



PARKING LOT AREA:
6,266.5 SF



PARKING LOT OPEN SPACE:
1,110 SF



STAGING AREA:
7,749.5 SF

OPEN SPACE CALCS

PROJECT DATA ZONING:

I-1

NET LOT AREA:

35,201 SF

BUILDING HEIGHT:

34' - 0"

REQUIRED OPEN SPACE CALC.

FIRST 12' - 0" OF HEIGHT:

= (10% x NET LOT AREA)
= (.10 x 35,201 SF) = 3,520.1 SF

NEXT 22' - 0" OF HEIGHT:

= (BLDG. HT. - 12' - 0") x .3% x NET LOT AREA
= ((34' - 0" - 12' - 0") x .003 x 35,201 SF) = 2,323.3 SF

STAGING AREA REDUCTION:

= (STAGING AREA SF x .50%)
= (7,749.5 SF x .5) = 3,874.75 SF

TOTAL REQUIRED (NOT INCLUDING PARKING LOT O.S.)

O.S. REQUIRED (ADJUSTED FOR STAGING):

= (FIRST + NEXT - REDUCTION)
= (3,520.1 SF + 2,323.3 SF - 3,874.75 SF) = 1,968.65 SF

O.S. PROVIDED (NOT INCLUDING PARKING LOT O.S.):

4,198.3 SF = OK

PARKING OPEN SPACE CALC.

PARKING LOT OPEN SPACE REQUIRED:

= (PARKING LOT AREA x 15%)
= (6,266.5 SF x .15) = 940 SF

PARKING LOT OPEN SPACE PROVIDED:

1,110 SF = OK

TOTAL OPEN SPACE REQUIRED:

= (PARKING O.S. REQUIRED + O.S. REQUIRED)
= (940 SF + 1,968.65 SF) = 2,908.65 SF

TOTAL OPEN SPACE PROVIDED:

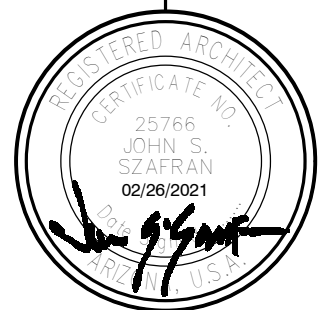
= (PARKING O.S. PROVIDED + O.S. PROVIDED)
= (1,110 SF + 4,198.3 SF) = 5,308.3 SF = OK

LANDSCAPE AREAS SUMMARY

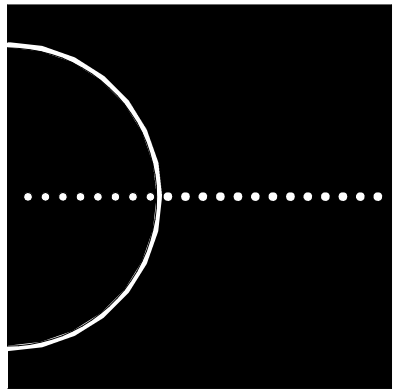
LANDSCAPE (GEN. O.S.): 3,362.4 SF
HARDSCAPE (GEN. O.S.): 835.9 SF
PARKING O.S.: 1,110 SF
R.O.W. LANDSCAPE: 413 SF
FRONTAGE: 2,800 SF

HANGAR / OFFICE BUILDING

4GROUP BUILDING, LLC
16115 NORTH 81ST STREET
SCOTTSDALE, AZ 85260



expires 30 June 2022



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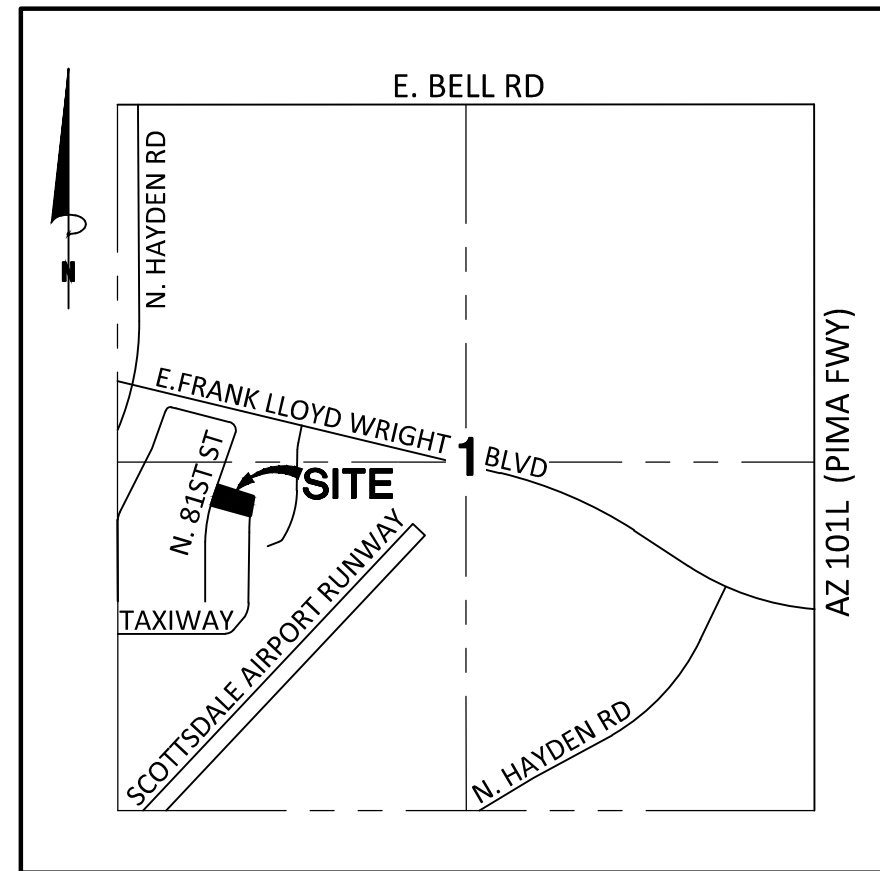
REVISION SCHEDULE

#	DESCRIPTION	DATE

drawn by: jw
project no.: 19067
date: 02/26/2021

DR
05

ALTA/NSPS LAND TITLE SURVEY
16115 N. 81ST STREET
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 1,
TOWNSHIP 3 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP
N.T.S.

TITLE COMMITMENT SCHEDULE B - SECTION II REVIEW

THE TITLE DOCUMENTS FOR THE SURVEYED PROPERTY HEREIN DESCRIBED WERE PROVIDED BY PIONEER TITLE AGENCY, INC., FILE NO. 6105737-061-T32, EFFECTIVE DATE: FEBRUARY 18, 2021 AT 7:30 AM, AND WITH RESPECT TO THE ITEMS IDENTIFIED AS EXCEPTIONS ON SCHEDULE B - SECTION II OF THE TITLE INSURANCE COMMITMENT WITH RESPECT TO THE SURVEYED PROPERTY:

- (a) THE SURVEYOR'S REVIEW OF DOCUMENTS REFERENCED IN THE TITLE REPORT AS SCHEDULE "B" ITEMS IS LIMITED TO THE SURVEYOR'S SCOPE-OF-SERVICES AS IDENTIFIED IN THE CERTIFICATION HEREON. ADDITIONALLY THE SURVEYOR'S SCOPE-OF-SERVICES IS LIMITED TO PROVIDING SERVICES IN A MANNER CONSISTENT WITH THE DEGREE OF CARE AND SKILL ORDINARILY EXERCISED BY MEMBERS OF THE SAME PROFESSION CURRENTLY PRACTICING UNDER SIMILAR CONDITIONS. SCHEDULE "B" ITEM DOCUMENTS MAY CONTAIN ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY WHICH THE SURVEYOR IS NOT QUALIFIED TO INTERPRET AND/OR ARE NOT WITHIN THE SURVEYOR'S SCOPE-OF-SERVICES. IT IS RECOMMENDED THAT INTERESTED AND AFFECTED PARTIES OBTAIN CONSULTATION WITH QUALIFIED LEGAL COUNSEL RELATIVE TO THE INTERPRETATION OF ALL SCHEDULE "B" DOCUMENTS REFERENCED IN THE TITLE REPORT.
- (b) THE FOLLOWING ITEMS OF THE SPECIAL EXCEPTIONS ARE SURVEY RELATED MATTERS, PERTAIN TO THE SURVEYED PROPERTY AND ARE SHOWN ON THE SURVEY OR UNLESS OTHERWISE EXPLAINED AS HOW THEY AFFECT THE SURVEYED PROPERTY:
- (c) DENOTES SCHEDULE B ITEMS SHOWN HEREON.

SHEET INDEX

- 1 COVER, NOTES, SCHEDULE 'B' ITEMS
2 SITE DETAIL & EASEMENTS

LEGAL DESCRIPTION PER TITLE COMMITMENT

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

LOT 35, OF NORTH SCOTTSDALE AIRPARK UNIT 1, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 327 OF MAPS, PAGE 12 AND CERTIFICATE OF CORRECTION RECORDED IN DOCUMENT NO. 94-268055.

PARCEL NO. 2:

A NON-EXCLUSIVE EASEMENT FOR TAXIWAYS AS CREATED BY THAT CERTAIN SCOTTSDALE NORTHWEST AIRPARK MAP OF DEDICATION OF TAXIWAY EASEMENT RECORDED IN BOOK 299 OF MAPS, PAGE 19 OF OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA AND MORE PARTICULARLY DESCRIBED THEREIN; AND

EXCEPT ANY PORTION OF SAID LAND LYING WITHIN THE HEREINABOVE DESCRIBED PARCEL NO. 1

BASIS OF BEARINGS

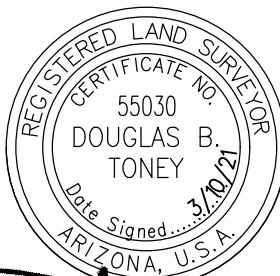
SOUTH 00°54'29" WEST ALONG THE MONUMENT LINE OF 81ST STREET, ACCORDING TO THE PLAT OF NORTH SCOTTSDALE AIRPARK UNIT 1, RECORDED IN BOOK 327, PAGE 12, MARICOPA COUNTY RECORDS.

SURVEYOR'S CERTIFICATE

TO: 4GROUP BUILDING, LLC, AN ARIZONA LIMITED LIABILITY COMPANY;
FIRST AMERICAN TITLE INSURANCE COMPANY;
PIONEER TITLE AGENCY, INC.;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2020, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, 9, 13, 16, AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 2/10/21.

 3/10/21
DOUGLAS B. TONEY R.L.S. #55030 DATE
dtoney@bowmanpcq.com



De Long

NOTES

1. PROPERTY IS SUBJECT TO ALL EASEMENTS OF RECORD WHETHER SHOWN HEREON OR NOT.
2. PURSUANT TO TABLE "A", ITEM NUMBER 1, MONUMENTS WILL BE PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES.
3. PURSUANT TO TABLE "A", ITEM NUMBER 2, THE PROPERTY ADDRESS IS:

16115 N. 81ST STREET
SCOTTSDALE, AZ 85260
4. PURSUANT TO TABLE "A", ITEM NUMBER 3, ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C1320L, DATED OCTOBER 16, 2013 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X"; AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
5. PURSUANT TO TABLE "A", ITEM NUMBER 4, THE GROSS AREA OF THE SUBJECT PARCEL AS DESCRIBED IN THE LEGAL DESCRIPTION IS 35,119 SQUARE FEET OR 0.8062 ACRES, MORE OR LESS.
6. PURSUANT TO TABLE "A", ITEM NUMBER 7(A), THERE ARE NO BUILDINGS EXISTING ON THE SURVEYED PROPERTY.
7. PURSUANT TO TABLE "A", ITEM NUMBER 8, SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY SUCH AS PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE, ETC ARE SHOWN HEREON.
8. PURSUANT TO TABLE "A", ITEM NUMBER 9, THERE ARE NO STRIPED PARKING SPACES EXISTING ON THE SURVEYED PROPERTY.
9. PURSUANT TO TABLE "A", ITEM NUMBER 13, NAMES OF ADJOINING OWNERS OF PLATTED LANDS ACCORDING TO CURRENT PUBLIC RECORDS ARE SHOWN HEREON.
10. PURSUANT TO TABLE "A", ITEM NUMBER 16, AND TO THE BEST OF MY KNOWLEDGE, THE SURVEYOR HAS NOT OBSERVED EVIDENCE OF EARTH MOVING WORK OR SITE CONSTRUCTION UNDERWAY OR RECENTLY COMPLETED (EXCEPT AS SHOWN HEREON.) THE SURVEYOR AND FIELD PERSONNEL UNDER THE SURVEYOR'S DIRECTION ARE NOT TRAINED OR QUALIFIED CONTRACTORS AND CANNOT ACCURATELY IDENTIFY RECENT CONSTRUCTION. INTERESTED AND AFFECTED PARTIES SHOULD SEEK CONSULTATION FROM A REGISTERED CONTRACTOR OR OTHER QUALIFIED PARTY.
11. PURSUANT TO TABLE "A", ITEM NUMBER 17, THE SURVEYOR HAS NOT BEEN INFORMED OF ANY CHANGES IN THE PROPOSED RIGHTS OF WAY BY TITLE INFORMATION OR CLIENT KNOWLEDGE ON WHICH THIS SURVEY IS BASED. ADDITIONALLY, ANY CHANGES IN RIGHTS OF WAY, WHICH HAVE ALREADY OCCURRED, SHOULD BE VERIFIED BY ADDITIONAL TITLE SEARCH. TO THE BEST OF MY KNOWLEDGE, THE SURVEYOR HAS NOT OBSERVED ANY RECENT STRIPED OR SIDEWALK CONSTRUCTION. THE SURVEYOR AND FIELD PERSONNEL UNDER THE SURVEYOR'S DIRECTION ARE NOT TRAINED OR QUALIFIED CONTRACTORS AND CANNOT ACCURATELY IDENTIFY RECENT CONSTRUCTION. INTERESTED AND AFFECTED PARTIES SHOULD SEEK CONSULTATION FROM A REGISTERED CONTRACTOR OR OTHER QUALIFIED PARTY.
12. ALL DIMENSIONS SHOWN HEREON ARE MEASURED AND RECORD UNLESS OTHERWISE NOTED.



ITEM 1	PROPERTY IS SUBJECT TO ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET. ITEM IS BLANKET IN NATURE AND IS NOT SHOWN.)
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PROPERTY IS SUBJECT TO A) TAXES OR ASSESSMENTS THAT ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS; (B) PROCEEDINGS BY A PUBLIC AGENCY THAT MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS. (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 3 PROPERTY IS SUBJECT TO ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORDS BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION THEREOF. (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 4 PROPERTY IS SUBJECT TO EASEMENTS, LIENS OR ENCUMBRANCES, OR CLAIMS THEREOF, NOT SHOWN BY THE PUBLIC RECORDS.
(ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 5 PROPERTY IS SUBJECT TO DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 6 PROPERTY IS SUBJECT TO (A) UNPATENTED MINING CLAIMS; (B) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (C) WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B), OR (C) ARE SHOWN BY THE PUBLIC RECORDS. (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 7 PROPERTY IS SUBJECT TO ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR OR MATERIAL NOT SHOWN BY THE PUBLIC RECORDS. (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 8 PROPERTY IS SUBJECT TO TAXES AND ASSESSMENTS COLLECTIBLE BY THE COUNTY TREASURER, A LIEN NOT YET DUE AND PAYABLE FOR THE FOLLOWING YEAR: 2021 (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 9 PROPERTY IS SUBJECT TO OBLIGATIONS IMPOSED UPON SAID LAND BY ITS INCLUSION WITHIN ANY DISTRICT FORMED PURSUANT TO TITLE 48, ARIZONA REVISED STATUTES, EXCLUDING HOWEVER MUNICIPAL OR COUNTY IMPROVEMENT DISTRICTS.
(ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 10 PROPERTY IS SUBJECT TO LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY REASON OF ITS INCLUSION WITHIN SCOTTSDALE NORTHWEST AIRPARK PROPERTY OWNERS ASSOCIATION. (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 299 OF MAPS, PAGE 19, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (ITEM IS SHOWN HEREON)

PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 299 OF MAPS, PAGE 20, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (ITEM IS SHOWN HEREON)

PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 318 OF MAPS, PAGE 9, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (ITEM IS SHOWN HEREON)

PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED IN BOOK 327 OF MAPS, PAGE 12 AND THEREAFTER CERTIFICATE OF CORRECTION RECORDED IN DOCUMENT NO. 94-268055, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (ITEM IS SHOWN HEREON)

PROPERTY IS SUBJECT TO RESTRICTIONS, CONDITIONS, COVENANTS, RESERVATIONS, LIABILITIES AND OBLIGATIONS, INCLUDING BUT NOT LIMITED TO ANY RECITALS CREATING EASEMENTS OR PARTY WALLS, OMITTING, IF ANY, FROM THE ABOVE, ANY RESTRICTIONS BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN CONTAINED IN INSTRUMENT: RECORDED IN DOCUMENT NO. 86-349534 AND THEREAFTER FIRST AMENDMENT RECORDED IN DOCUMENT NO. 88-614562 AND SECOND AMENDMENTS RECORDED IN DOCUMENT NOS. 15-917828 THROUGH 15-917858 (ITEM IS BLANKET IN NATURE AND IS NOT SHOWN)

ITEM 16 PROPERTY IS SUBJECT TO EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT:
RECORDED IN DOCUMENT NO. 06-245913
PURPOSE SIGHT DISTANCE. (ITEM IS SHOWN HEREON)

ITEM 17 PROPERTY IS SUBJECT TO EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT:
RECORDED IN DOCUMENT NO. 06-271067
PURPOSE VEHICULAR NON-ACCESS (ITEM IS SHOWN HEREON)

ITEM 18 PROPERTY IS SUBJECT TO MATTERS SHOWN ON SURVEY: RECORDED IN BOOK 1513 OF MAPS, PAGE 35
(ITEM DOES NOT CREATE ANY PLOTTABLE EASEMENTS IS NOT SHOWN)

