

CITY COUNCIL REPORT



Meeting Date: January 12, 2021
 General Plan Element: *Character and Design*
 General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Wildcat Hill
 1-PP-2019

Request to consider the following:

1. Request for re-approval of a final plat for a 122-lot residential subdivision on a 353-acre site, with amended development standards, with the Single-family Residential, Environmentally Sensitive Lands (R1-70/ESL) zoning designation, located south of Cave Creek Road and Bartlett Dam Road (Previously approved in case 17-PP-2014).

Goal/Purpose of Request

The applicant's request is for approval of a plat will allow for the development of a 122-lot community.

Key Items for Consideration

- This preliminary plat was previously approved by the Development Review Board in July 16, 2015 as Case 17-PP-2014, with a 5-0 vote.
- There is an approved Master Environmental Development Concept Plan that still governs this property (1-MP-2005#2)

LOCATION

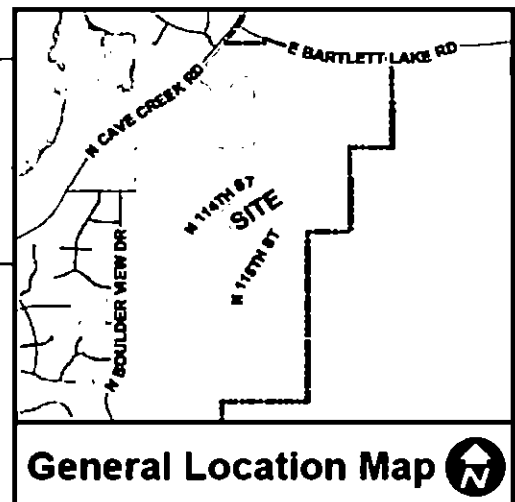
Generally located on the southeast corner of North Cave Creek Road and East Bartlett Lake Road

OWNER

Stephen C. Earl
 Wildcat Hill Partners, LLC.
 602-265-0094

APPLICANT CONTACT

Stephen C. Earl
 Wildcat Hill Partners, LLC.
 602-265-0094



BACKGROUND

General Plan

According to the City of Scottsdale General Plan 2001 Land Use Map, the property is designated as both Rural Neighborhoods and Developed Open Space (Golf Course). According to the General Plan Land Use Element, Rural Neighborhoods include areas of relatively large lot single-family neighborhoods. Densities in Rural Neighborhoods are usually one house per one acre (or more) of land. The proposed zoning map amendment, and its associated development, provides less than one dwelling unit per acre; more specifically; the project proposes approximately 0.40 dwelling units per acre (Refer to Attachment #3).

The General Plan Land Use Element also provides for the flexibility in locating golf courses by means of the green “circle” designations identified on the Land Use Map. A circle on the land use map means that an exact location for the use has not yet been determined, but the need for that use has been identified in the general area. In this instance, the applicant proposes a single-family development that does not include a golf course. However, the Developed Open Space definition in the City of Scottsdale General Plan 2001 states that this designation may be used for drainage facilities, as well as amenities such as links between neighborhoods. The applicant proposes drainage infrastructure improvements to the site, as well as retaining existing natural trails to allow area residents access to the Wildcat Hill landform – including a small pedestrian trailhead feature.

This proposal, at a density that is less than one dwelling unit per acre and includes the aforementioned drainage infrastructure and open space, conforms to the existing City of Scottsdale General Plan 2001 land use designation of Rural Neighborhoods and Developed Open Space.

Zoning

This site is zoned Single-family Residential, Environmentally Sensitive Lands (R1-70/ESL), which allows single-family residential uses and has an Environmentally Sensitive Lands Overlay zoning designation. In July of 2015, the City Council approved a zoning district map amendment case (17-ZN-2014) from the Single-family Residential, Environmentally Sensitive Lands (R1-190/ESL) zoning district to the proposed Single-family Residential, Environmentally Sensitive Lands (R1-70/ESL). The zoning map amendment request allowed for the proposed 122-lot subdivision plat.

The site was annexed into the City in December of 2000. The annexed parcel was rezoned from the county designation of Rural-190, to the Single-family Residential, Environmentally Sensitive Lands (R1-190/ESL) zoning district designation through Case 7-ZN-2001. The annexation and zoning map amendment allowed fifty (50) lots, a golf course, club house, and other golf course amenities.

In 1991, the Environmentally Sensitive Lands (ESL) overlay was added as an amendment to the Hillside District overlay. The current ESL Overlay version took effect in February of 2004. This version of the ESL overlay presides over this site due to the fact that the property was platted in March 2007, through Case 8-PP-2005. The City Council also approved a Master Environmental Design Concept Plan (MEDCP) along with the above mentioned “Wildcat Hill” final plat.

Context

The property is generally located on the southeast corner of North Cave Creek Road and East Bartlett Lake Road intersection, the property abuts the Tonto National Forest; which is located to

the east and south of the property. Please refer to context graphics attached (Attachment #2). There is a 161-kv, Western Area Power Administration (WAPA), power-line corridor that enters and exits the site along the eastern boundary.

Adjacent Uses and Zoning

- North: Single-family Residential District, Environmentally Sensitive Lands, zoned R1-190/ESL; Quail Ridge subdivision and the Tonto National Forest.
- South: Single-family Residential District, Environmentally Sensitive Lands, zoned R1-190/ESL; vacant lands and the Tonto National Forest.
- East: The Tonto National Forest and Western Area Power Administration (WAPA) power-line corridor.
- West: Single-family Residential District, Environmentally Sensitive Lands, zoned R1-43/ESL; Carefree Hills and Vista Valle subdivision communities.

Other Related Policies, References:

7-ZN-2001, 8-PP-2005, 1-MP-2005, 11-TA-2000#3, 17-ZN-2014, 1-MP-2005#2, and 17-PP-2014

- 2001 City of Scottsdale General Plan
- 2004 Scenic Roadway Designations
- 2004 Trails Master Plan
- 2004 Environmentally Sensitive Lands Ordinance
- 2008 Transportation Master Plan

APPLICANT’S PROPOSAL

Development Information

The development proposal includes the approval of a 122-lot residential subdivision on a 353-acre site. The request will provide an increase in Natural Area Open Space and provide a 200-foot buffer along the western and southern boundaries of the 353-acre site. This 200-foot buffer will be dedicated as a tract with this proposed plat.

- Existing Use: 76-lot Subdivision (vacant unimproved land)
- Proposed Use: 122-lot Subdivision
- Parcel Size: 353-acre site
- Building Height Allowed: 24 feet
- Building Height Proposed: 24 feet
- NAOS Required: 145.62 acres (ESL Ordinance)
- NAOS Required: 171.25 acres
- NAOS Provided: 239.9 acres
- Density Allowed: 0.40 du/ac
- Density Proposed: 0.34 du/ac

IMPACT ANALYSIS

Land Use

Originally, the site had been approved for a 50-lot subdivision and a golf course upon the site's annexation into the City, in 2000. The associated pre-annexation development agreement identified the density and the golf course use. The annexation development agreement expired after five (5) years of the annexation. The City Council approved a 76-lot subdivision instead of the 50-lot subdivision and golf course entitlement in 2007. The current request will increase the physical number of lots from 76 lots to 122 lots.

The applicant later requested the rezoning of 303 acres of the 353-site. The remaining 50 acres became Natural Area Open Space (NAOS) in the associated preliminary plat. The zoning map amendment request (17-ZN-2014) was heard and approved at the July 1, 2015, City Council hearing.

Plat

The currently proposed subdivision has been designed to meet all applicable city requirements, including access and utility service. The proposed preliminary plat contains 122 lots, private street tracts, and tracts of open space that buffers this community from the existing Carefree Hills neighborhood. The proposal is also providing a tract for a community ramada area located in the southeastern portion of the site (encompassing "Wildcat Hill"). The plat's design is in conjunction with the approved rezoning case, approved Master Environmental Design Concept Plan (MEDCP), and the previously approved preliminary plat. These mentioned documents all assumed and approved amended development standards.

Although the zoning district allows for a minimum net lot area of 70,000 square feet, the preliminary plat does not propose any lots with a net lot area less than 80,000 square feet.

City staff and the applicant walked the site three times in order to analyze the location of the proposed internal streets. The applicant relocated streets to be more in conformance with the Environmentally Sensitive Lands ordinance. Major wash crossings were significantly reduced with the provided site plan than with the originally approved final plat. Although the number of development envelopes has increased, the total area that can be disturbed by development has decreased; which in turn has allowed for the increase in dedicated NAOS. Please reference the applicant's narrative (Attachment #1) for the comparison of the previously approved final plat, and this preliminary plat request.

If approved, the applicant/owner will be improving the site in three different phases. Phase One will include forty-nine (49) lots and approximately three-fifths of the internal street system. The water and sewer improvements will also be phased with the development of the lots. The entrance and North Cave Creek Road improvements, street and utilities, will be executed with Phase One. The water line, located within North Cave Creek Road, will connect to the Desert Mountain golf course located to the north of the site.

This preliminary plat request is also associated with an approved Master Environmental Design Concept Plan (MEDCP) Case 1-MP-2005#2. The proposed preliminary plat is in complete conformance with the approved MEDCP.

Traffic

The owner will construct a left turn lane on North Cave Creek Road at the entrance of the site, and is an on-going requirement established as part of the previously approved final plat (8-PP-2007). The previously approved final plat also required the owner to include a right-turn, deceleration lane on North Cave Creek Road at the site's entrance. The proposed site plan/preliminary plat identifies a gated entrance into the site.

The proposed plat will maintain the internal pedestrian trails connection to the "Wildcat Hill" mountainous feature; which is located in the southwestern area of the site. A trailhead-type shade structure will be provided at the southwest corner of "Wildcat Hill" to provide a rustic shaded amenity near the hill. The site plan also identifies an 8-foot-wide paved path, and a 10-foot-wide multi-purpose path, located within the scenic corridor easement, along the North Cave Creek Road, and an additional trail along East Bartlett Lake Road.

Water/Sewer

The updated basis of water/wastewater reports and the sewer reports for the zoning map amendment case have been conceptually acceptable to the City's Water and Sewer department. The applicant will be required to design, construct, and upgrade any water and sewer infrastructure necessary to provide services to the site.

Public Safety

The proposal will provide the adequate street right-of-way dedications for all the right-of-way that shall remain as public access. The street right-of-way dedication will be consistent with the Transportation Master Plan and the Local Area Infrastructure Plans. Design of the internal private streets will conform to ESL local residential standards.

Additionally, a minimum 40-foot-wide Emergency and Service Access Vehicle Easement will be provided over all internal streets.

School District Comments/Review

The applicant provided the Cave Creek School District a notification letter detailing the zoning map amendment and preliminary plat application requests. The applicant has stated that they have received a response.

Open Space

This site contains several boulder outcroppings, significant desert washes, and changes in elevation from 3,240 feet to 3,275 feet above sea level. The Environmentally Sensitive Lands ordinance requires 145.6 acres of Natural Area Open Space (NAOS) to be dedicated by this 353-acre site. The owner/applicant, with this plat proposal, is proposing dedication of 239.9 acres of Natural Area Open Space.

The existing final plat protects the "Wildcat Hill" boulder ridge feature with NAOS easements. The majority of the boulder ridge will be protected with a NAOS and Conservation Easement tract that will be dedicated with this proposed "Wildcat Hill" plat. The tract will remove a majority of the peak from being located on private residential lots and will assign a tract to protect the ridge. A homeowner's association will be responsible for the protection of the ridge, versus an individual lot owner.

The applicant/owner has provided a 100-foot-wide scenic corridor easement, and a scenic corridor buffer ranging from 200 to 360 feet in width along North Cave Creek Road. The project will also provide a 100-foot-wide, average, scenic corridor easement. The scenic corridor easement will at least provide a minimum width of 45 feet, along East Bartlett Lake Road.

The proposed plat identifies a 200-foot-wide NAOS buffer along the western and southern boundaries of the subject 353-acre site. The 200-foot-wide buffer contains 50 acres of Natural Area Open Space that have not been calculated into the application's associated density calculation. This 200-foot-wide buffer will be dedicated as a tract with this proposed plat; this tract will remain as Single-family Residential District, Environmentally Sensitive Lands (R1-190/ESL).

Policy Implications

This plat is consistent in density, street alignment, and open space with the associated approved zoning district map amendment case (17-ZN-2014). All stipulations and ordinance requirements have been considered in the review of the plat.

Community Involvement

Staff notified those properties located within 750 feet of the project boundary and posted the site throughout the process. Staff received a few phone inquiries in regards to the proposed application. Staff reached out to the residents and responded to their questions. The residents did not wish to provide additional written comments for the file.

Since Development Review Board approval of the preliminary plat, staff recently received a communication from a neighbor located adjacent to the southwest portion of the project. The resident referenced a possible utilities easement located on their property required to complete the utilities connection for the Wildcat Hill project. The resident had purchased the property after the easement was dedicated by the previous owner. The resident had recently received notification of the possible easement. Staff provided the resident evidence of the dedicated easement (See Attachment #14). The resident did not provide additional comments.

OTHER BOARDS & COMMISSIONS

Development Review Board

Development Review Board first heard this case as a preliminary plat request on July 16, 2015 and recommended approval with a 5-0 vote.

Development Review Board heard this case as a preliminary plat request on December 5, 2019 and recommended approval with a 7-0 vote.

Staff Recommendation to Development Review Board

Staff recommended that the Development Review Board approve the Wildcat Hill preliminary plat per the stipulations, finding that the provisions of the Land Division Ordinance and the Development Review Board Criteria had been met.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the City Council approve the Wildcat Hill final plat.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

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APPROVED BY



Jesus Murillo, Report Author

December 19, 2020

Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

12/20/2020

Date



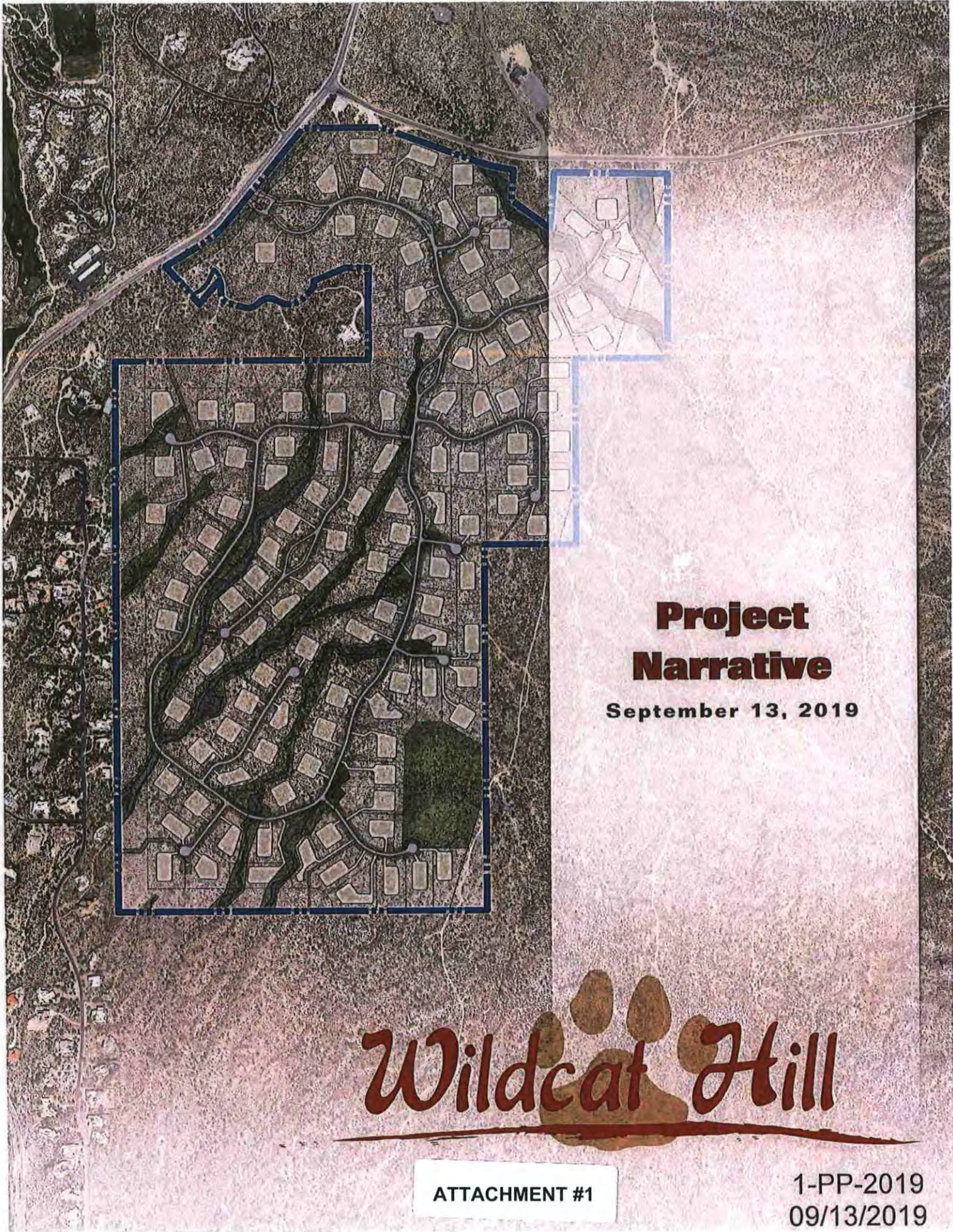
Randy Grant, Executive Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

12/22/20

Date

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. General Plan Map
4. Zoning Map
5. Final Plat
6. Development Review Board Approved Preliminary Plat
7. Development Review Board Approved Amended Development Standards
8. Development Review Board Approved Phasing plan
9. Development Review Board Approved Preliminary Grading Plan
10. Development Review Board Approved Landscape and Hardscape Plan
11. Development Review Board Approved MEDCP
12. Citizen Neighborhood Report
13. Development Review Board Meeting Minutes - December 5, 2019 Hearing
14. Citizen Correspondence Since Development Review Board Hearing



Project Narrative

September 13, 2019

Wildcat Hill

ATTACHMENT #1

**1-PP-2019
09/13/2019**

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EXHIBITS

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| Open Space Comparison – Proposed Plat and Existing Plat (2006 / 2007). | Exhibit A |
| Context Aerial. | Exhibit B |
| Slope Analysis Map of the Property | Exhibit C |
| General Plan Land Use | Exhibit D |
| Natural Area Open Space Map for Wildcat Hill. | Exhibit E |



I. EXECUTIVE SUMMARY

Quantum Capital and Wildcat Partners, LLC, seeks rezoning approval of 305 acres, approval of an update to the existing approved Master Environmental Design Concept Plan (MEDCP; new case No. 1-MP-2005#2) and approval of a companion Preliminary Plat for the approximate 353 acre property ("Property") previously subdivided in 2006/2007 as Wildcat Hill, located south and east of Cave Creek Road and Bartlett Dam Road. This proposal is to develop 122 ultra-low density lots that will be a minimum of 80,000 square feet in size for custom and semi-custom home development. This subdivision will be buffered on all sides either by 160 ft. – 200 ft. of natural area open space or by the Tonto National Forest. At a minimum of 80,000 square feet, the proposed lots will be almost double the size of the existing low density residential development in the area - most all of which is zoned R1-43/ESL. This rezoning case and companion preliminary plat application will allow only one home for every 2.7 acres – roughly 1/3 as dense as the surrounding zoning and lotting patterns. This zoning request for R1-70/ESL complies with the General Plan land use designation for this area.

A representative of Quantum Capital and Wildcat Partners LLC personally visited with nearly all of the property owners adjacent to the subject property prior to the Neighborhood Meeting Open House which took place on September 16, 2014. As a result, most of the residents' questions had already been answered by the time they attended the neighborhood meeting, but the meritorious features of the proposal were reviewed again and a number of exhibits illustrating the proposed 122 lot development and comparing the new proposal to the previously approved and recorded plat were utilized and proved helpful to the residents to visualize the proposal. Since the meeting, the adjacent neighbors have provided written support for the development.

The key improvements of the proposed design over the previously recorded plat are as follows:

Preservation of Wildcat Hill - more secure. Most of the land feature known as Wildcat Hill will now be in its own tract as a Conservation Easement ("CE") rather than having the ownership of Wildcat Hill be split up and preserved thru various on-lot easements as was done with the previously approved plat. However, in an effort to protect more of the sensitive areas of the Wildcat Hill slopes, an additional 60-foot on-lot CE has been provided on lots 48, 49, 50, 51, and 52. This dual approach provides better protection of this important landform and makes this natural feature more accessible and usable by residents and the public, if desired, while also providing protection for the more sensitive slope areas.

Preservation of natural wash corridors through site - less disturbance. In the existing recorded plat there were 13 driveway crossings of the natural washes, these driveway way crossings have now been reduced to just 2. Lots have now been designed to be in front of the washes, which drastically reduces the number of driveway crossings. There were also 8 roadway wash crossings, which have now been reduced to 6 crossings. The natural wash corridors traversing the Property will therefore be far more natural due to fewer disturbances. The NAOS ordinance requirement is approximately 41% of the overall site (145 acres), and yet, this request provides almost 67% (239 acres).

New Natural Desert Transition/Buffer Area-Protected in Separate HOA Tract.

A 160 ft. to 200 ft. natural desert transition area is being retained in a separate HOA tract along the common boundary with adjacent privately owned property around this proposed subdivision. This approach increases the width of the open space buffer shown on the recorded plat and shifts the previous on-lot open space into commonly held HOA tracts for better preservation of the natural area open spaces.

More NAOS and Total Overall Open Space Will Be Provided. While the lot yield has increased, the amount of open space has also increased. The Property is located within the Upper Desert Landform and, according to the current slope analysis, is required to provide approximately 41% of the total site area (approximately 145 total acres) in Natural Area Open Space (NAOS). The original 2006/2007 final plat designated approximately 50% of the development as NAOS. However, this proposal features even more NAOS with approximately 67% of the total site area. With the generous landscape buffers and transition areas proposed, particularly on the west side adjacent to the Carefree Hills subdivision and at the south end of the property, the total amount of all types of open space provided is approximately 249 acres or 70% of the site.

More Natural Boulder Outcroppings Conserved. While the original plat had sought to conserve significant natural rock outcroppings, many were located on individual private lots. The new plat conserves a majority of the existing rock outcroppings and boulder clusters within dedicated common area conservation tracts owned by the HOA and with Conservation Easements dedicated to the City.

Significant Increase in Depth of Scenic Corridor along Cave Creek Road. The current scenic corridor easement along Cave Creek Road as shown in the existing final plat is only 50'. Under the new subdivision plat, this Cave Creek Road frontage will feature a new scenic corridor easement with a minimum depth of 200 ft. in increasing to 360 ft. in depth in several locations. This is an increase of over 400%.

Reduction of Lots along West Property Line. In the original recorded plat, there are 10 lots along the west property line. In this proposal, that number has been reduced to only 8 lots.

Preservation of 200 ft. Natural Area Buffer (with Maximum of 12 Lots) around Existing Outparcels Near Cave Creek Road – There will be no change in the depth of the natural area buffer easement or in the setbacks (or the number of lots) that were documented in the recorded agreement with these owners.

This Low Density Subdivision Will Feature Half the Density of the R1-43/ESL Zoning Category Common to this Area. While this request is for R1-70/ESL zoning, the most common zoning district in the larger surrounding area is R1-43/ESL which allows 1 unit per acre. The proposed plat will allow only one unit for every 2.7 acres – roughly 1/3 as dense as most of the surrounding zoning and lotting.

Conforms to the General Plan. This zoning request for R1-70/ESL complies with the General Plan land use designation for this area.

More and Better Open Space. Currently, the on-site natural area open space is disturbed by drainage and on-lot construction areas. The addition of the open space buffer tracts and subdivision redesign create larger consolidated and connected areas of existing densely vegetated natural open space which lessens the disturbance.

All 122 Lots are a Minimum of 80,000 sq. ft. The existing final plat has 76 lots. This proposal seeks an increase to 122 lots; a minimum size of 80,000 square feet and averaging 2.28 acres in size overall. Though we are proposing to increase the total number of lots in the development, these lots will still be very large and with significantly deeper exterior buffers, more overall open space and the use of conservation open space (to protect the Wildcat Hill landform and other major boulder outcroppings).

Pedestrian Trail Access. The existing natural trails will remain (no additional disturbance) to allow area residents access to the Wildcat Hill landform. A small pedestrian trailhead feature will be located at the end of the cul-de-sac on the southwest corner of Wildcat Hill itself that will connect to existing trails at that location. It will feature a rustic shade structure with a desert theme and a trail identity sign at the access points to Wildcat Hill. The development of new trails that could mar the undisturbed desert in the area will be discouraged.

Abandonment of Unnecessary Right-of Way and Return to NAOS – The existing 66' wide Patent Easement ROW along the west property line is proposed to be eliminated and be retained in NAOS.

Infrastructure Improvements Will Benefit the Area. The City had planned in 2007 to construct a water tank and two booster pumps at the north end of the property but for a variety of reasons those improvements were never built and the plans were removed from the City's CIP budget. However, through development of this new subdivision on the property, the tank and booster pumps will now be built by the City which should improve water pressure for parts of the larger area.

It is important to understand that while the lot yield has been increased over what could be developed in the existing R1-190/ESL zoning, the lot sizes are still almost double the size of the prevailing lots in the area. At the same time, the amount of open space in this proposal has been increased over that provided in the approved and recorded 2006/2007 final plat, which offers better protection of the natural area open space through use of common area HOA tracts and conservation easements. (*See Open Space Comparison – Proposed Plat and Existing Plat (2006 / 2007), Exhibit A*). In sum, we believe this is now an impressive plan for an impressive site.

Again, this request is for approval of a Rezoning request for R1-70/ESL zoning (which complies with the General Plan land use designation) with a companion preliminary plat application for 122 residential lots that must have a minimum lot area of 80,000 square feet. All lots will feature carefully planned development envelopes that maximize the protection of the site's numerous topographical features and natural vegetation (i.e. regional mountain vistas, wash corridors, Sonoran desert vegetation, boulder outcroppings and the site's namesake landform – Wildcat Hill).

II. INTRODUCTION

Quantum Capital and Wildcat Partners, LLC, seek approval of this Rezoning application and companion Preliminary Plat application for the approximate 353 acre property ("Property") located south of Cave Creek Road and Bartlett Dam Road that was previously subdivided under the name Wildcat Hill.

This request is to rezone the Property from R1-190/ESL to R1-70/ESL with amended development standards to allow a custom home subdivision of one hundred twenty two (122) lots on 353 acres in this low density area of north Scottsdale. These lots will be a minimum size of 80,000 sq. ft. but overall, the average lot will be 99,342 square feet or 2.28 acres in size. The proposed Preliminary Plat significantly improves upon the existing subdivision plat from 2006/2007, in that all lots will feature carefully planned development envelopes That maximize the protection of the Property's numerous natural amenities, which include regional mountain vistas, wash corridors, desert vegetation, boulder outcroppings and the namesake landform

– Wildcat Hill.

As designed, this subdivision separates itself from adjacent home sites with either a buffer of natural area open space 160 ft. – 200 ft. in depth or by the Tonto National Forest on the east side and partially on the south side. These proposed lots will be almost double the size of the existing low density residential development in the larger area-most all of which is zoned R1-43/ESL. The rezoning and companion proposed plat will allow only one unit for every 2.7 acres – roughly 1/3 as dense as the surrounding zoning and lotting pattern.

This zoning request for R1-70/ESL complies with the Scottsdale General Plan land use designation for this area. While the proposed R1-70/ESL zoning could otherwise allow up to 160 lots, this project will be restricted to only 122 lots with the 80,000 square feet minimum lot area noted above, which is significantly larger than the minimum of 70,000 sq. ft. in the R1-70/ESL zoning district.



III. LOCATION AND CONTEXT

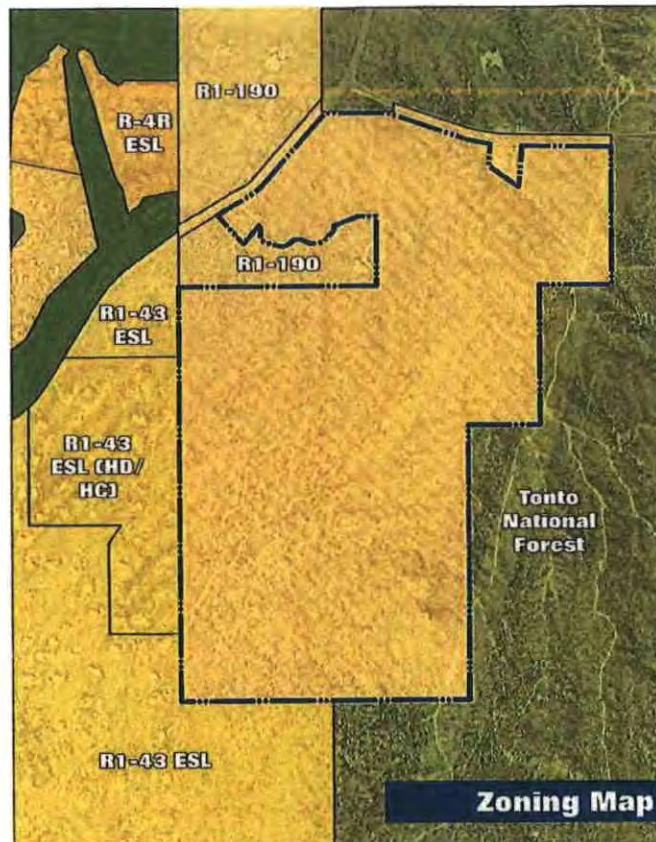
This Property is located in north Scottsdale at the southeast corner of Bartlett Lake and Cave Creek Roads. The Property is approximately 353-acres in size and is undeveloped. As previously noted, the Property is adjacent to the Tonto National Forest on the east and partially along the south. Low density residential development zoned R1-43/ESL lies to the west of this site, and further to the west and north are the Desert Mountain and Carefree Hills neighborhoods.

Adjacent Zoning:

- East: Tonto National Forest
- West: R1-43/ESL
- North: To the north across Bartlett Lake Dam Road, is the Tonto National Forest. Across Cave Creek Road, to the northwest, is R1-190/ESL, developed as the Quail Ridge Subdivision, and
- South/
Southeast: To the south/southeast is the Tonto National Forest.

(See *Context Aerial, Exhibit B*) for adjacent Zoning and surrounding context.

Custom home subdivisions known as Desert Mountain, Mirabel, Carefree Hills and Vista Valle are all in the vicinity of the subject site.



The site has several natural washes running from the northeast to southwest. Site elevations range from 3,240 feet to 3,275 feet above sea level. The most significant natural features of the site include numerous rock outcroppings, the wash corridors and Wildcat Hill itself.

The site vegetation consists of desert trees, shrubs, ground covers and cactus. The tree species consist of Blue Palo Verde, Mesquite, Foothill Palo Verde and Ironwood. Saguaro, cholla, barrel, hedgehog and ocotillo cactus are found throughout the site, as well as acacia, creosote and jojobas shrubs.

History

In March 2000, the City of Scottsdale adopted Resolution Nos. 5510 and 5513 authorizing the City to initiate the annexation process for the Property. On December 11, 2000, the City Council approved the annexation. In May, 2001, the City Council adopted Ordinance #3383 which applied R1-190/ESL zoning on the newly annexed property. (7-ZN-2001).

Subsequently, the applicant received approval of a Master Environment Design Concept Plan from the Development Review Board in Case No. 1-MP-2005. A Final Plat of the Property, titled "Wildcat Hill", was approved by the City Council and then recorded on November 8, 2007.

Environmental Conditions

ESLO Landform

A majority of the Wildcat Hill property is designated as Upper Desert Landform as defined in the Environmentally Sensitive Lands (ESL) ordinance. A portion of the Property, Wild Cat Hill itself, is designated as Hillside Landform. All NAOS requirements will be based on slope designations within these landform conditions as set forth in the ESL ordinance.

Topography & Slope

The topography undulates between the various wash corridors that traverse the site in a northeast to southwest direction. Elevations on the site range from 3050' near the southwest corner to over 3275' near Bartlett Lake Road. Wild Cat Hill itself reaches 3240' in elevation. (See *Slope Analysis Map of the Property, Exhibit C*).

Vegetation/Site Features

Vegetation is typical of this Sonoran desert area of north Scottsdale. It features a diverse mix of desert trees, shrubs, ground covers and cactus. The predominant tree species is the Palo Verde. Creosote, Bursage and jojoba are the main shrubs. Saguaros and Cholla cactus are also found throughout the site.

Man-made Features

Due to the proximity of the Tonto National Forest east of this site, trespassers have created several unimproved and unauthorized trails on parts of the site to access the Forest. Unfortunately, heavy use of these unauthorized trails has led to the creation of significant and scattered debris piles along the trails including up to the top of Wildcat Hill. These debris piles will be removed. The other man-made feature present on the property is a set of power line towers located within a regional power line corridor that cuts across the east edge of the site.

Hydrology Analysis

Coe and Van Loo has prepared a preliminary analysis of the site hydrology. A copy of which is being submitted with this application.

IV. GENERAL PLAN CONFORMANCE

This proposed community of custom and semi-custom single family homes is consistent with not only the Land Use designation of Rural Neighborhoods, but also with the goals and policies of the General Plan (see *General Plan Land Use, Exhibit D*). The goals of the Land Use Element include respecting the natural and manmade environment and assuring development that reflects the quality of life offered by Scottsdale. The proposed land uses will seamlessly fit in with the character, scale and quality of existing uses. Another land use goal is to assure a diverse mixture of housing opportunities within the community. This proposed design will certainly integrate very well with the physical and natural environment and its neighborhood setting.

V. PROJECT DESCRIPTION

As noted earlier, Quantum Capital and Wildcat Partners, LLC, seeks rezoning approval of 305 acres, approval of an update to the existing approved Master Environmental Design Concept Plan (MEDCP; new case No. 1-MP-2005#2) and approval of a companion Preliminary Plat for the approximate 353 acre property ("Property") previously subdivided in 2006/2007 as Wildcat Hill, located south and east of Cave Creek Road and Bartlett Dam Road.

This application seeks to rezone the Property from R1-190/ESL to R1-70/ESL with approval of amended development standards to allow a custom and semi-custom home subdivision of one hundred twenty two (122) lots in this low density area of north Scottsdale. These lots will be a minimum size of 80,000 square feet but overall, the average lot size will be 99,342 square feet or

2.28 acres which is significantly larger than the minimum of 70,000 square feet required by R1-70/ESL zoning district. The proposed Preliminary Plat significantly improves upon the approved and recorded subdivision from 2007, in that all lots will feature carefully planned development envelopes that maximize the projection of the numerous site amenities, which include regional mountain vistas, wash corridors, vegetation, boulder outcroppings and the namesake landform – Wildcat Hill.

This zoning request for R1-70/ESL complies with the Scottsdale General Plan land use designation for this area. While the proposed R1-70/ESL zoning could otherwise allow up to 160 lots, this project will be restricted to **only** 122 lots with the 80,000 square feet minimum lot area noted above. In fact, when accounting for the significant amount of open space, the average lot size increases to 99,342 square feet or 2.28 acres; again significantly larger than the minimum of 70,000 square feet required by R1-70/ESL zoning district.

The project development team has spent a significant amount of time walking the property to analyze and evaluate appropriate development areas and identifying natural areas that should be preserved. City Staff has also walked the Property and the result of this extensive collective effort is a vastly better development plan than the recorded Final Plat offers. This subdivision will now offer spectacular home sites, while at the same time preserving nearly all of the natural amenities found on the Property. Over 239 acres (or 67%) of the entire 353-acre site will be preserved as dedicated natural area open space (NAOS). This low density residential community is planned to be gated with access to the community primarily via Cave Creek Road.

As designed, this subdivision separates itself from adjacent home sites with either a natural area open space buffer of 160 ft. – 200 ft. or the Tonto National Forest on the east side and partially on the south side. These proposed lots will be almost double the size of the existing low density residential development in the larger area-most all of which is zoned R1-43/ESL. The rezoning and companion proposed plat will allow only **one unit for every 2.7 acres of the Property** – roughly 1/3 as dense as the surrounding zoning and lotting pattern.

The topographic contouring of the property is dramatic and offers opportunities for creating a truly unique residential environment. Each home site will be designed and oriented to take advantage of



the views of the surrounding mountains and natural features. Site specific development envelopes are delineated for each lot in order to minimize cuts and fills, maintain natural wash corridors, protect natural features and blend into the surrounding desert environment. The maximum allowed disturbance area for each lot ranges between 20,000 and 25,000 square feet, resulting in a range of on-lot open space being retained of between two-thirds (2/3's) to three quarters (3/4's) of every lot.

The custom and semi-custom home program allows for the preservation of the main washes that run through the Property, as well as most all of the boulder outcroppings present on-site, through the strategic use of these building envelopes.

Roadway layouts respect and accommodate the natural topography of the Property and retain as much of the desert flora as possible. The main entrance into this unique gated residential community is divided by a large landscape buffer between drives to create a sense of arrival to this new neighborhood. The entrance then connects to a spine road that creates an internal loop with fingers to individual cul-de-sac streets for a unique lotting pattern. The drainage swales and wash corridors traversing the Property will be left undeveloped and retained in a natural state (*See Natural Area Open Space Map for Wildcat Hill, Exhibit E*). It must be noted that a swath of land is shown on the NAOS exhibit in yellow. This land is covered by an easement for the Glen Canyon-Pinnacle Peak 345KV transmission lines, access road and incidental purposes that was recorded in 1989. Due to the potential for disturbance of this land by the utility company that owns it, this land is not eligible to be designated as NAOS, but the fact is that this land will very likely remain as natural open space.

As to off-site roadways, the Owner will dedicate, as fee simple, a 55-ft half-street along N. Cave Creek Road and a 100-foot half-street along E. Bartlett Lake Road.

Native Plan Inventory. A preliminary native plant inventory for the subdivision has been submitted with this application. The inventory identifies all vegetation located in roadway and easements to be disturbed during the construction of the subdivision. A specific plan inventory will be performed for each lot on a lot-by-lot basis based on specific grading and drainage plans for each home site.

Boulder Protection Program. The site plan was carefully laid out to minimize disturbance to the significant boulder outcroppings. All development envelopes were thoughtfully delineated to protect most of the natural features within individual lots. Further, specific boulder surveys and protection plans will be required for each lot prior to any on-lot development and will be prepared on a lot-by-lot basis based on specific development plan for each home site. An inventory of boulder features present within roadways and utility easements will be submitted with the preliminary plat and improvement plans. The inventory will identify those boulder outcrop areas that meet the definition of protected boulder areas by Ordinance (Section 6.100.C).

Landscape Development. Due to the ESLO regulations, the landscape theme for the subdivision will feature only trees, shrubs and ground cover plants, selected from the City of Scottsdale "Indigenous, Desert Appropriate and Recommended Plant List". All planting within

the roadway disturbance areas will be re-vegetated with plants from the **Indigenous Plant** list. Plants will be selected from the Indigenous Plant list based on their natural elevation ranges.

Plantings around the gatehouse and entry area that are separated from the NAOS areas by hardscape will be supplemented with plants from the **Desert Appropriate** list. On-lot plantings within enclosed areas may include plans from the **Recommended Plants for Enclosed Areas** list. Per the ESL ordinance, any proposed on-lot turf will not be visible from off-site. The above list is available here: <http://www.scottsdaleaz.gov/codes/nativeplant/eslo>

Cave Creek Road Scenic Corridor. A two-hundred (200) to three-hundred-sixty (360) foot Scenic Corridor is being provided adjacent to Cave Creek Road along the frontage of the Property, which is far in excess of the City's objective to obtain 100'. The Corridor will feature indigenous vegetation (undisturbed and re-vegetated). Generally, this area will remain primarily undisturbed. Where improvements are required, they will conform to the City of Scottsdale Scenic Corridor Design Guidelines (SCDG). Improvements include drainage structures at the project entry, an entry gatehouse and gates, and low walls. Plans for these improvements will be the subject of a separate submittal to the City, with City review and approval. Materials for these structures will be in conformance with the SCDG, including corten or rusted finish metalwork, and stacked stone or rusted wire rock gabion walls. Finish materials will have an LRV no greater than 35%.

Design Guidelines and CC&Rs. As mentioned, Wildcat Hill is planned as a custom and semi-custom residential community that will provide diverse housing products, 1 and 2 story floor plans and architectural styles to eliminate the redundancy found in standard tract home developments with smaller narrow lots, uniform setbacks and garage dominance designs. The homes at Wildcat will be designed to promote and enhance the character of this high Sonoran desert area of the City of Scottsdale, while establishing a unique neighborhood identity with design features, such as building articulation, massing, building materials, colors, and trim (*see Supplemental Design Guidelines; Attachment No. 1*). Wildcat Hill will utilize energy-efficient components and building materials in order to conserve energy and promote the City of Scottsdale as a sustainable community and will include environmentally conscious elements, a well-constructed and tightly sealed thermal envelope, high-efficiency heating and cooling systems and energy-efficient doors, windows, and appliances. The applicant has prepared Supplemental Design Guidelines.

All custom and semi-custom home designs will be controlled by the HOA architecture review committee in accordance with the supplemental design guidelines and submittal requirements established by the design team. The master developer of this Property will be preparing architectural and landscape design guidelines for all future homes within Wildcat Hill. The guidelines will be more restrictive than the requirements of the ESL ordinance and the Scottsdale building code.

Phasing. The project is proposed for three phases. Phase 1 consists of the entryway, the 12 inch off-site waterline that will connect the site to the Desert Mountain Golf Course No. 6 and roughly one-half of the backbone infrastructure (streets, utilities, lighting and landscaping) and lots adjacent to the infrastructure. Phase 2 and Phase 3 are comprised of the balance of the backbone

infrastructure and remaining lots. Lots sales will be split between custom and semi-custom high-end builders. Development of the Property is projected to begin in early 2016. Build-out is expected to be roughly 10 years or perhaps more.

Amended Standards. The required amount of NAOS (which is based on the slope category analysis) for this development is approximately 41%. This residential project, with its limitation on area that can be disturbed, its environmental sensitivity and its respect for the desert, is providing 26% (91 acres) more of the site as designated NAOS for a total of 239 acres. We believe this is a significant increase over the 161 acres of NAOS provided by the existing recorded final plat which justifies utilization of the code provision allowing up to a 25% reduction in the otherwise required development standards.

VI. CITIZEN REVIEW AND PUBLIC PARTICIPATION PROGRAM

The developer and consultants began Citizen/Public Participation outreach in August, 2014 with individual visits to most every abutting property owner along the west and south property lines to explain the proposal in person and to work through both the merits of the new proposal over the existing recorded plat and the increased buffering of those existing homes and properties.

A notification letter was sent by first class mail to all property owners and HOAs within 750-feet of the subject Property, interested parties, and the City of Scottsdale Planner to advise them of the proposed Rezoning and Preliminary Plat applications and neighborhood meeting. This notification letter advised interested parties of the proposed Neighborhood Meeting, date, time and location and advised them of the proposed Rezoning and Preliminary Plat requests. The notification letter contained the following information: Purpose and description of requests, development plan overlaid on an aerial photograph, applicant contact person, and applicant contact information, such as address, phone, e-mail, and fax number, Neighborhood Meeting date, time and location. As earlier noted, the applicant's development team also personally contacted adjacent home owners to address specific issues.

A neighborhood meeting was then held in the middle of September at the Carefree Resort to provide an opportunity for property owners within the surrounding 750 feet and all HOA's or interested parties to review the development plan and provide comments regarding the proposed project. As required, early notification signs were also installed on the property to inform the public of the proposed development. Twenty-six neighboring property owners attended the meeting. The overall response during both the individual meetings and the neighborhood meeting was very positive.

In accordance with the City Ordinance, a school notification letter and form was also provided to the Cave Creek Unified School District notifying them of the proposed Rezoning and Preliminary Plat applications. No response has been received from the school district as of this writing.

VII. AMENDED DEVELOPMENT STANDARDS JUSTIFICATION

In order to encourage sensitivity to site conditions and to provide flexibility in site planning, Section 6.1083 of the Environmentally Sensitive Lands (ESL) Ordinance allows development standards to be adjusted up to 25%, subject to a showing that the amended standards better achieve the purposes of the Environmentally Sensitive Lands Ordinance.

This new site plan proposal does improve significantly upon the existing recorded subdivision in a variety of ways. This design is more comprehensive in nature, responds better to the topographic contouring of the land, and continues to be compatible with the existing land uses in the area and with the established circulation patterns on adjoining properties. The internal street system is no longer a dominant feature in the overall design, and the natural and re-vegetated open spaces are located throughout the development. This is a plan for low density – single family housing that will further contribute to the lifestyle of the area and provide an appropriate edge to the Tonto National Forest.

The setting is dramatic and offers opportunities for creating a unique custom and semi-custom home environment, which incorporates the quality and sensitivity of design that the City expects in north Scottsdale. The home sites will be designed and oriented to take advantage of the views of the surrounding mountains and natural features. Site specific development envelopes are delineated for each lot in order to minimize cuts and fills in an effort to blend into the surrounding desert environment. The maximum allowed disturbance area ranges between 20,000 and 25,000 square feet in area resulting in a range of between two-thirds and three-quarters of each lot being left as open space (dedicated NAOS and/or undedicated NAOS).

Through the use of development envelopes, the design allows for the preservation of the main washes that run through the Property as well as the boulder outcroppings present on-site. In order to accommodate and preserve the numerous natural open space elements present on this site, the owner proposes to utilize Amended Development Standards as allowed in the Environmentally Sensitive Lands (ESL) Ordinance, Section 6.1083. The following is a more detailed list of plan improvements over the existing recorded plat provided herein to justify utilization of the code provision allowing up to a 25% reduction in the otherwise required development standards (these same features were provided earlier in the Executive Summary):

Preservation of Wildcat Hill - more secure. Most of the land feature known as Wildcat Hill will now be in its own tract as a Conservation Easement (“CE”) rather than having the ownership of Wildcat Hill be split up and preserved thru various on-lot easements as was done with the previously approved plat. However, in an effort to protect more of the sensitive areas of the Wildcat Hill slopes, an additional 60-foot on-lot CE has been provided on lots 48, 49, 50, 51, and 52. This dual approach provides better protection of this important landform and makes this natural feature more accessible and usable by residents and the public, if desired, while also providing protection for the more sensitive slope areas.



Preservation of natural wash corridors through site – less disturbance. In the existing recorded plat there were 13 driveway crossings of the natural washes, these driveway way crossings have now been reduced to just 2. Lots have now been designed to be in front of the washes, which drastically reduces the number of driveway crossings. There were also 8 roadway wash crossings, which have now been reduced to 6 crossings. The natural wash corridors traversing the Property will therefore be far more natural due to fewer disturbances.

New Natural Desert Transition/Buffer Area-Protected in Separate HOA Tract. A 160 ft. to 200 ft. natural desert transition area is being retained in a separate HOA tract along the common boundary with adjacent privately owned property around this proposed subdivision. This approach increases the width of the open space buffer shown on the recorded plat and shifts the previous on-lot open space into commonly held HOA tracts for better preservation of the natural area open spaces.

More NAOS and Total Overall Open Space Will Be Provided. While the lot yield has increased, the amount of open space has also increased. The Property is located within the Upper Desert Landform and, according to the current slope analysis, is required to provide approximately 41% of the total site area (approximately 145 total acres) in Natural Area Open Space (NAOS). The original 2006/2007 final plat designated approximately 50% of the development as NAOS. However, this proposal features even more NAOS with approximately 67% of the total site area. With the generous landscape buffers and transition areas proposed, particularly on the west side adjacent to the Carefree Hills subdivision and at the south end of the property, the total amount of all types of open space provided is approximately 249 acres or 70% of the site.

More Natural Boulder Outcroppings Conserved. While the original plat had sought to conserve significant natural rock outcroppings, many were located on individual private lots. The new plat conserves a majority of the existing rock outcroppings and boulder clusters within dedicated common area conservation tracts owned by the HOA and with Conservation Easements dedicated to the City.

Significant Increase in Depth of Scenic Corridor along Cave Creek Road. The current scenic corridor easement along Cave Creek Road as shown in the existing final plat is only 50'. Under the new subdivision plat, this Cave Creek Road frontage will feature a new scenic corridor easement with a minimum depth of 200 ft. in increasing to 360 ft. in depth in several locations. This is an increase of over 400%.

Reduction of Lots along West Property Line. In the original recorded plat, there are 10 lots along the west property line. In this proposal, that number has been reduced to only 8 lots.

Preservation of 200 ft. Natural Area Buffer (with Maximum of 12 Lots) around Existing Outparcels Near Cave Creek Road – There will be no change in the depth of the natural area buffer easement or in the setbacks (or the number of lots) that were documented in the recorded agreement with these owners.

This Low Density Subdivision Will Feature Half the Density of the R1-43/ESL Zoning Category Common to this Area. While this request is for R1-70/ESL zoning, the most common zoning district in the larger surrounding area is R1-43/ESL which allows 1 unit per acre. The proposed plat will allow only one unit for every 2.7 acres – roughly 1/3 as dense as most of the surrounding zoning and lotting.

Conforms to the General Plan. This zoning request for R1-70/ESL complies with the General Plan land use designation for this area.

More and Better Open Space. Currently, the on-site natural area open space is disturbed by drainage and on-lot construction areas. The addition of the open space buffer tracts and subdivision redesign create larger consolidated and connected areas of existing densely vegetated natural open space which lessens the disturbance.

All 122 Lots are a Minimum of 80,000 sq. ft. The existing final plat has 76 lots. This proposal seeks an increase to 122 lots; a minimum size of 80,000 square feet and averaging 2.28 acres in size overall. Though we are proposing to increase the total number of lots in the development, these lots will still be very large and with significantly deeper exterior buffers, more overall open space and the use of conservation open space (to protect the Wildcat Hill landform and other major boulder outcroppings).

Pedestrian Trail Access. The existing natural trails will remain (no additional disturbance) to allow area residents access to the Wildcat Hill landform. A small pedestrian trailhead feature will be located at the end of the cul-de-sac on the southwest corner of Wildcat Hill itself that will connect to existing trails at that location. It will feature a rustic shade structure with a desert theme and a trail identity sign at the access points to Wildcat Hill. The development of new trails that could mar the undisturbed desert in the area will be discouraged.

Abandonment of Unnecessary Right-of Way and Return to NAOS – The existing 66' wide Patent Easement ROW along the west property line is proposed to be eliminated and be retained in NAOS.

Infrastructure Improvements Will Benefit the Area. The City had planned in 2007 to construct a water tank and two booster pumps at the north end of the property but for a variety of reasons those improvements were never built and the plans were removed from the City's CIP budget. However, through development of this new subdivision on the property, the tank and booster pumps will now be built by the City which should improve water pressure for parts of the larger area.

It is important to understand that while the lot yield has been increased over what could be developed in the existing R1-190/ESL zoning, the lot sizes are still almost double the size of the prevailing lots in the area. At the same time, the amount of open space has been increased over that provided in the recorded final plat, which offers better protection of the natural area open space through use of common area HOA tracts and conservation easements. *(See Open Space Comparison – Proposed Plat and Existing Plat (2006 / 2007), Exhibit A)*. In sum, we believe this is now an impressive plan for an impressive site.

Finally, while seeking an increase in lot yields (consistent with the area), an increase in open space has also been achieved which offers better protection of the natural area open space through use of common area HOA tracts and conservation easements. In sum, we believe this is now an impressive plan for an impressive site. A "legislative draft" and full summary table for the R1-70 ESL zoning district as follows.

SECTION 5.030. - SINGLE-FAMILY RESIDENTIAL (R1-70/ESL) DISTRICT (AMENDED)

Section 5.031 Purpose

This district is intended to promote and preserve residential development. Large lots are required to maintain low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Section 5.034 Property Development Standards

The following property development standards shall apply to all land and buildings in the R1-70/ESL district:

A. *Lot area.*

1. Each lot shall have a minimum lot area of not less than ~~seventy thousand (70,000)~~ **EIGHTY THOUSAND (80,000)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
3. Specialized Residential Health Care Facility: the minimum lot area shall be five (5) gross acres.

B. *Lot dimensions.*

1. Width. All lots shall have a minimum width of ~~two hundred fifty (250 feet)~~ **ONE HUNDRED EIGHTY SEVEN AND ONE-HALF FEET (187.5)**.
2. **FLAG LOTS. FLAG LOTS ARE PERMITTED AND SHALL HAVE MINIMUM WIDTH OF TWENTY (20) FEET MEASURED AT THE PROPERTY LINE.**

C. *Density.* There shall be no more than one (1) single-family dwelling unit on any one (1) lot.

D. *Building height.* ~~No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.~~ **PER THE ESL ORDINANCE, THE MAXIMUM BUILDING HEIGHT IS LIMITED TO TWENTY FOUR (24) FEET FROM NATURAL GRADE FOR ALL R1 DISTRICTS.**

E. *Yards*

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~sixty (60)~~ **FORTY FIVE (45)** feet.
 - b. Where lots have a double frontage on two (2) streets, the required front yard of ~~sixty (60)~~ **FORTY FIVE (45)** feet shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~sixty (60)~~ **FORTY FIVE (45)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street **WITH A MINIMUM SETBACK OF FORTY FIVE (45) FEET.**
2. Side Yard. There shall be a side yard of not less than ~~thirty (30)~~ **TWENTY THREE (23)** feet on each side of a building.
 3. Rear Yard. There shall be a rear yard having a depth of not less than ~~sixty (60)~~ **FORTY FIVE (45)** feet.
 4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than sixty (60) feet.

G. *Walls, fences and landscaping.*

Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. *Exception:* Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.

H. *Access.*

All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision. Access for Specialized Residential Health Care Facilities shall be provided in the following manner:

1. All Specialized Residential Health Care Facilities shall have access to a street classified by the Scottsdale General Plan (Transportation Master Plan) as a minor collector or greater.

I. *Corral.*

Corral fence not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

SECTION 5.034. R1-70/ESL SINGLE-FAMILY RESIDENTIAL DISTRICT
SUMMARY TABLE

| Development Standard | Ordinance Requirement | Proposed Amendment | Max. ESL Reduction* | Proposed Reduction |
|---|-----------------------|--------------------|---------------------|--------------------|
| A. Minimum Lot Area (Sq. Ft.) | 70,000 | 80,000 | 25% | 25% |
| B. Minimum Lot Width | | | | |
| 1. Standard Lot | 250' | 187.5' | 25% | 25% |
| 2. Flag Lots | - | 20' | - | - |
| C. Maximum Building Height | 30' | 24' | N/A | - |
| D. Minimum Yard Setbacks | | | | |
| 1. Front Yard | | | | |
| a. Front (Face of building) | 60' | 45' | 25% | - |
| b. Front (Face of garage) | 60' | 45' | 25% | - |
| c. Front (Corner lot side street) | 60' | 45' | 25% | 25% |
| d. Front (Key lot side street) | 60' | 45' | 25% | - |
| e. Front (Double frontage) | 60' | 45' | 25% | - |
| 2. Side Yard | | | | |
| a. Minimum | 30' | 23' | 25% | 23.3% |
| b. Minimum Aggregate | 60' | 45' | 25% | - |
| 3. Rear Yard | 60' | 45' | 25% | - |
| E. Distance Between Buildings (Min) | | | | |
| a. Accessory & Main | 10' | - | - | - |
| b. Main Bldg on Adjacent Lots | 60' | - | - | - |
| F. Maximum Wall Height | | | | |
| a. Front | 3' | - | - | - |
| b. Side | 8' | - | - | - |
| c. Rear | 8' | - | - | - |
| d. Corner Lot/Key Lot | 8' | - | - | - |
| e. Corral fence | 6' | - | - | - |
| G. Development Perimeter Setbacks | - | - | - | - |
| *Maximum reductions as allowed by Section 6.1083 of the ESL ordinance | | | | |

VIII. SENSITIVE DESIGN PRINCIPLES

The City's Sensitive Design Principles are based "on the overall belief that development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran desert environment." The proposed Wildcat Hill rezoning and subdivision layout design implements many of these design principles to create a unique and environmental sensitive community within the fabric of the natural desert environment. It increases the minimum required NAOS and respects the natural topography of the Property to retain as much of the desert flora as possible.

- 1. The design character of any area should be enhanced and strengthened by new development.**
 - **Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.**
 - **Building design should be sensitive to the evolving context of an area over time.**

The topographic contouring of the property is dramatic and offers opportunities for creating a unique custom and semi-custom home environment, which incorporates the quality and sensitivity of design that the City expects in this part of north Scottsdale. The home sites will be designed and oriented to take advantage of the views of the surrounding mountains and natural features. Site specific development envelopes are delineated for each lot in order to minimize cuts and fills in an effort to blend into the surrounding desert environment. The maximum allowed disturbance area ranges between 20,000 and 25,000 square feet in area resulting in a range of between two-thirds and three-quarters of every lot being left as open space (dedicated NAOS and/or undedicated NAOS). This appropriate design allows for the preservation of the main washes that run through the Property as well as the boulder outcroppings present on-site through the use of development envelopes.

While the proposed R1-70/ESL zoning could otherwise allow up to 160 lots, this project is imposing a restriction to only permit 122 lots with the 80,000 square foot minimum lot area. As noted earlier, the average lot size is 99,342 square feet, which is significantly larger than the minimum of 70,000 square feet required by R1-70/ESL zoning district. This self-imposed restriction takes into consideration the unique desert climate, topography and the surrounding Sonoran desert character.

- 2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:**
 - **Scenic views of the Sonoran desert and mountains.**
 - **Archaeological and historical resources.**

The size of the lots and distribution pattern of the development envelopes enable's many of the new home sites to take advantage of the property's dramatic topography and views of the surrounding mountains and natural features. The design also retains and features Wildcat Hill itself.



3. Development should be sensitive to existing topography and landscaping.

- **A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.**

The project development team has spent a significant amount of time on site evaluating appropriate development areas and identifying natural areas that should be preserved. The result of this effort is a plan that offers a spectacular opportunity for residential home sites while preserving nearly all of the natural amenities found on the Property.

Roadway layouts respect and accommodate the natural topography of the Property and retain as much of the desert flora as possible. The drainage swales traversing the Property will be left undeveloped and will be retained in a natural state.

4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.

Special efforts have been incorporated into the development plan to minimize impacts on the desert environment through the use of appropriate development areas. Existing rock outcroppings and boulder clusters within dedicated common area will be incorporated into conservation tracts. Existing washes, significant rock cropping, and natural areas will be retained in actual undisturbed NAOS area to allow natural habitats to remain.

There were 13 driveway crossings of natural washes in the existing recorded plat, which has now been reduced to just 3 driveway crossings. Lot frontages are now been designed to be ahead of the washes, which drastically reduces the number of driveway crossings. There were also 8 roadway wash crossings, which have now been reduced to 6 crossings.

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.

- **Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.**

The design intent of this community is to blend seamlessly into the desert environment fabric with minimal disturbance to the natural desert environment. Streets are designed to reduce asphalt and to minimize impacts on the desert. The overall theme is to reduce the impacts to this unique topography property and use the topography to create unique lots.

3. Development should be sensitive to existing topography and landscaping.

- **A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.**

The project development team has spent a significant amount of time on site evaluating appropriate development areas and identifying natural areas that should be preserved. The result of this effort is a plan that offers a spectacular opportunity for residential home sites while preserving nearly all of the natural amenities found on the Property.

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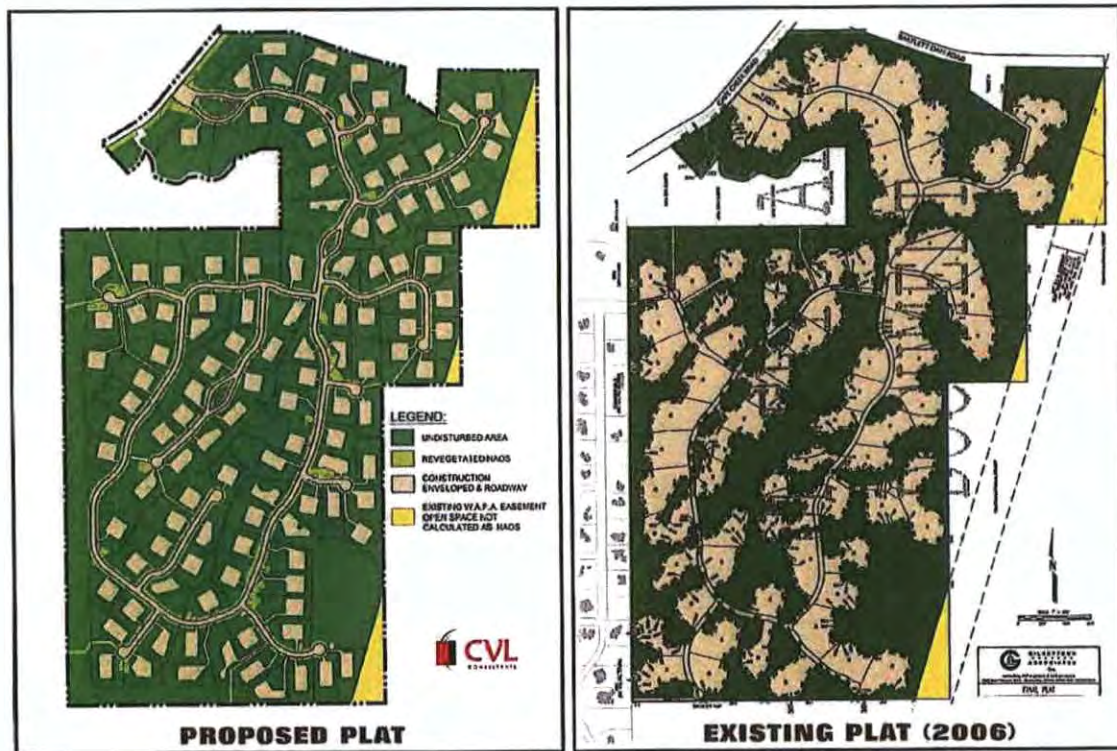
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- **Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.**

The design intent of this community is to blend seamlessly into the desert environment fabric with minimal disturbance to the natural desert environment. Streets are designed to reduce asphalt and to minimize impacts on the desert. The overall theme is to reduce the impacts to this unique topography property and use the topography to create unique lots.



6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

This is a secluded gated community with larger lots and significant open space reserved between lots to create a sense of openness. Alternative modes of transportation, including bus access has not been expanded this far north. However, bicycles are very prevalent in this area and this site is accessible by bike.

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.

- **Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.**

The existing natural pedestrian trails will remain to allow area resident's access to Wildcat Hill. No additional disturbance is proposed.

8. Buildings should be designed with a logical hierarchy of masses:

- **To control the visual impact of a building's height and size.**
- **To highlight important building volumes and features, such as the building entry.**

Again, this will be a planned custom and semi-custom home subdivision. The master developer of this Property will prepare architectural and landscape design guidelines for the future homes in Wildcat Hill. The guidelines will be more restrictive than the minimum requirements of the ESL ordinance and the Scottsdale building code. All custom and semi-custom home designs will be controlled by the HOA architecture review committee in accordance with the supplemental design guidelines and submittal requirements established by the design team. Controlling each home's visual impact will be an important element of these supplemental design guidelines.

9. The design of the built environment should respond to the desert environment:

- **Interior spaces should be extended into the outdoors both physically and visually when appropriate.**
- **Materials with colors and coarse textures associated with this region should be utilized.**
- **A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities.**
- **Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.**

All of these design features will be utilized in the development of homes in Wildcat Hill. All builders will be required to design their homes to take the desert environment into consideration, with plantings, colors, house styling, roof overhang and recessing of doors and windows. The residential architectural intent for Wildcat Hill is to emphasize diversity of styles, floor plans, elevations, materials and color.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

- **Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.**

The City's current design strategies and building techniques are encouraged to be used to minimize environmental impacts and reduce energy consumption.

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.

- **The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement.**
- **The landscaping should complement the built environment while relating to the various uses.**

The character of the planting design is based on the native plant inventory. Every natural landscape within the City of Scottsdale has a unique character based on the specific species found there, and their density. The development team has reviewed the natural plant densities and species on the Property, and will re-vegetate disturbed areas with plants selected from the City of Scottsdale "**Indigenous, Desert Appropriate and Recommended Plant List**", and installed at densities that reflect the current character of the Property. Mature plants salvaged from the Property's disturbed areas will be carefully sited for transplant on the project site with considerations to location, views, and adjacent plant material.

Near built environment areas, including the entry gate and the pedestrian trailhead, planting will be selected that both highlights these features, but also blends with the surrounding vegetation.

All open space areas, except the entry gate, will use plants selected solely from the indigenous plant list. At the entry gate, and only within areas separated by hardscape (such as the median), the plant selection will be supplemented from the Desert Appropriate Plant list.

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.

- **Water, as a landscape element, should be used judiciously.**
- **Water features should be placed in locations with high pedestrian activity.**

Water will be treated as a precious resource within this development. Passive rainwater harvesting techniques, including microbasins and natural earthwork forms, will be utilized where feasible to provide supplemental water to the low water use and desert adapted plantings. No water features or fountains are proposed for any open space area within the project.

13. The extent and quality of lighting should be integrally designed as part of the built environment.

- A balance should occur between the ambient light levels and designated focal lighting needs.
- Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.

Lighting for Wildcat will comply with all of these elements of the City's codes. External lighting will be appropriately located and designed to conserve energy and prevent light from spilling onto adjacent properties.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

Entry signage will be designed to be compatible with and sensitive to the Sonoran Desert environment through the use of desert tones and materials indigenous to the area. Materials will generally be of a rusted or weathered metal finish. Additional signage includes pedestrian scale interpretive trailhead marker that will include project themed iconography, and a short narrative on the significance of Wildcat Hill and the Sonoran Desert.

TRAFFIC

The traffic impact analysis prepared by Trace Consulting, dated July 2014, submitted with the application states that this development is projected to generate approximately 1,161 trips per day; 92 during the AM peak and 122 during the PM peak hour. The analysis also concludes that the intersection of Cave Creek Road and Bartlett Dam Road and the community entry on Cave Creek Road will operate at service level A from project inception to full build-out. Owner will dedicate, as fee simple, a 55-ft half-street along N. Cave Creek Road and a 100-foot half-street along E. Bartlett Lake Road.

IX. CONCLUSION

The proposed development plan is more responsive than the recorded subdivision to both its natural setting and with its neighborhood setting by being consistent with the scale and quality of the surrounding single-family homes. The project has been designed to offer a residential community that provides the same quality of life to its residents as the homes in the adjoining neighborhoods. In sum, we believe this is now an impressive plan for an impressive site.



**Open Space Comparison:
Proposed Plat and Existing
Plat (2006 / 2007)**
EXHIBIT A



PROPOSED PLAT



EXISTING PLAT (2006)

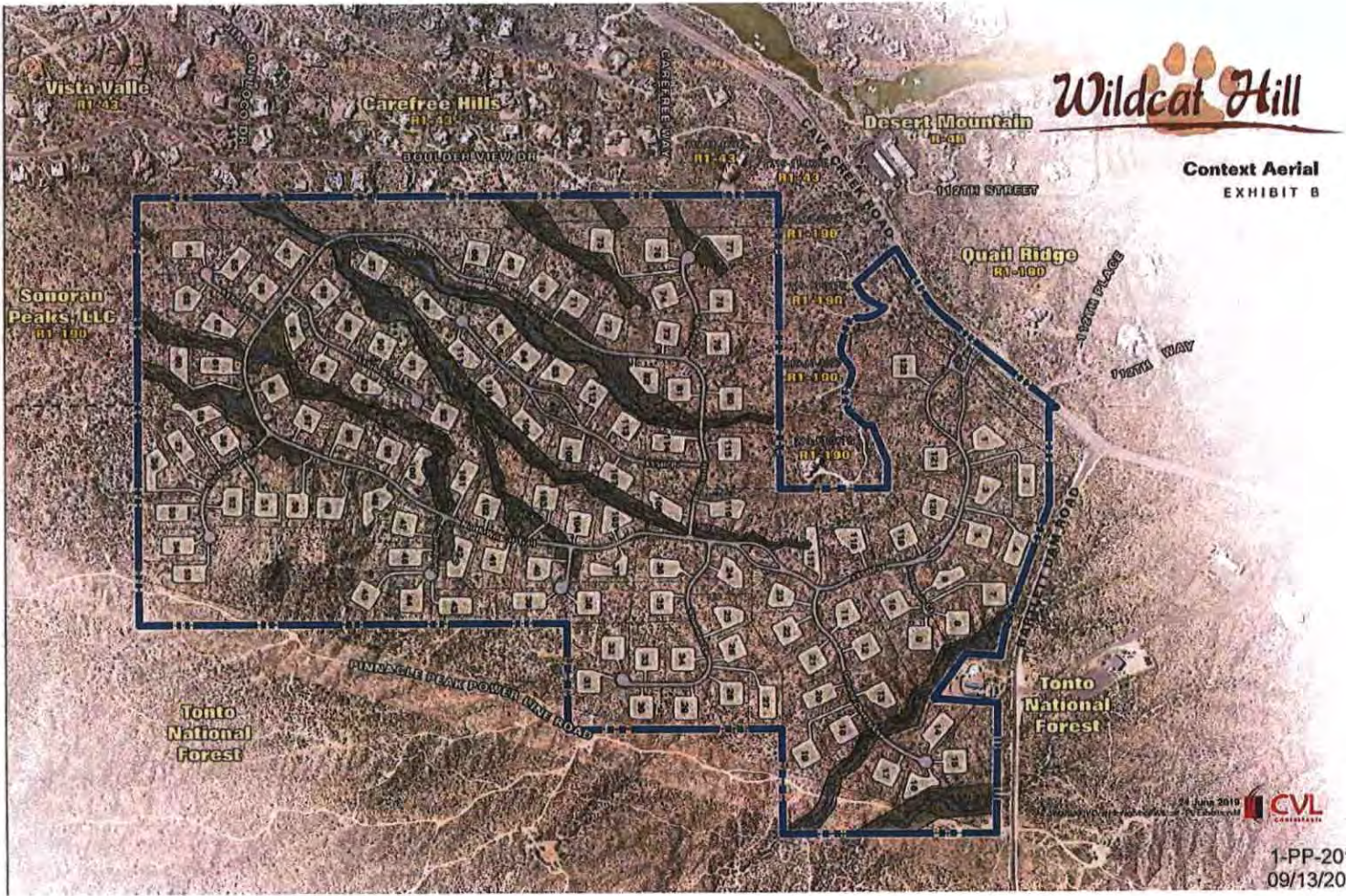


24 June 2019
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CVL CONSULTANTS

1-PP-2019
09/13/2019

Wildcat Hill

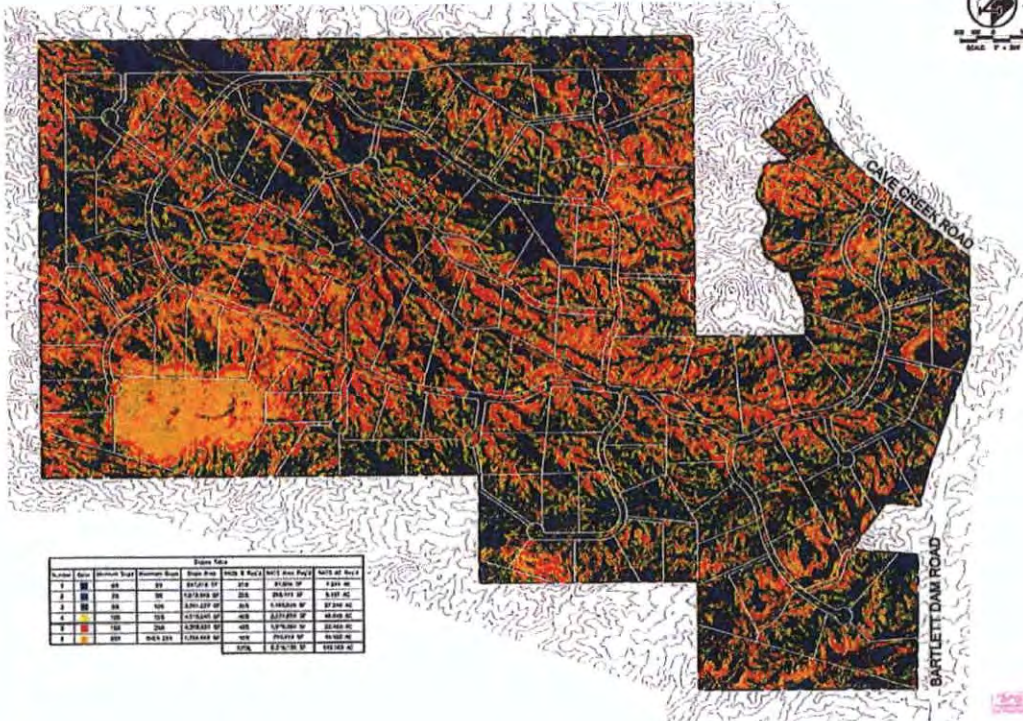
Context Aerial
EXHIBIT B



1-PP-2019
09/13/2019

Wildcat Hill

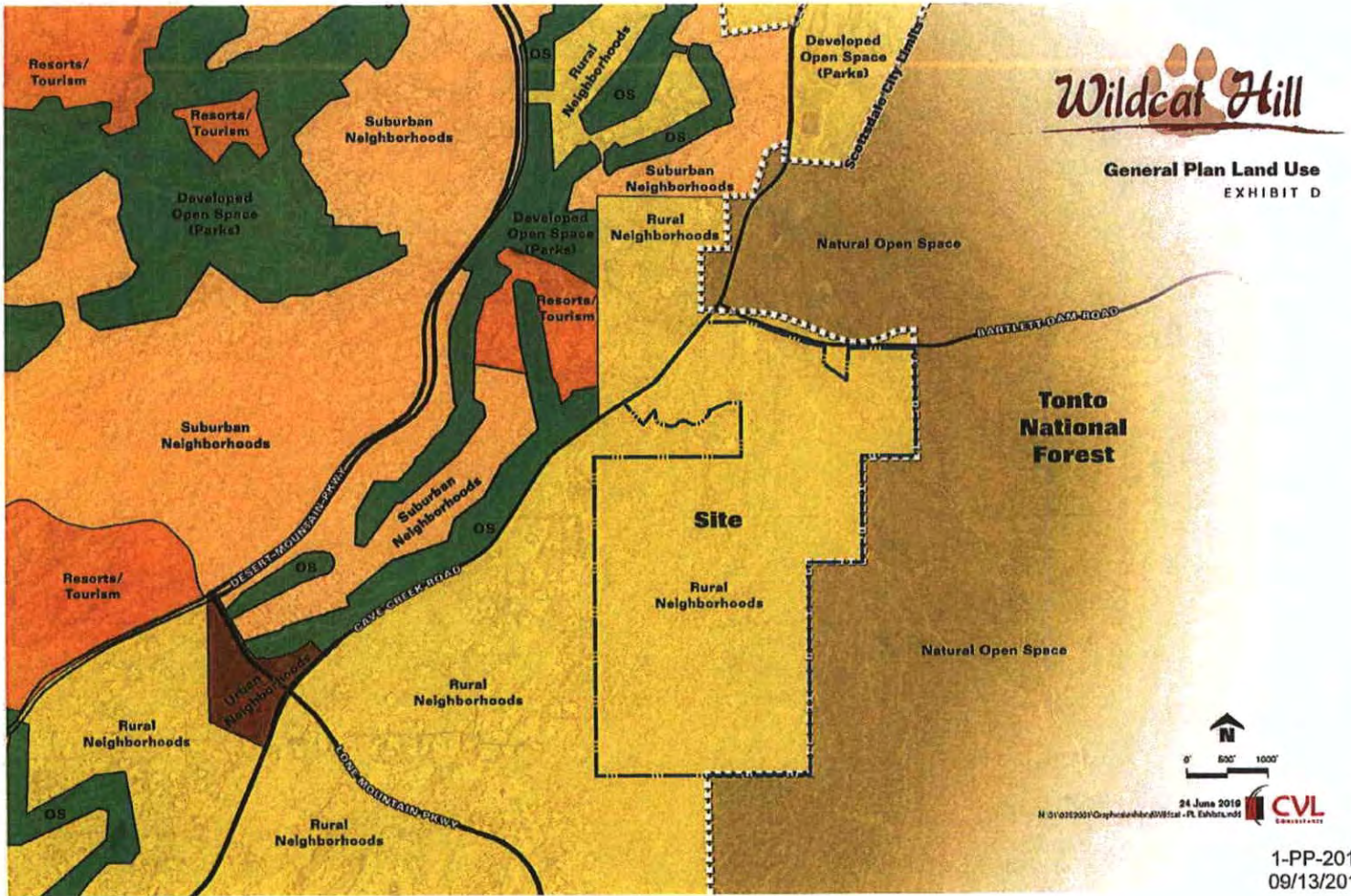
Slope Analysis Map of the Property EXHIBIT C



24 June 2019
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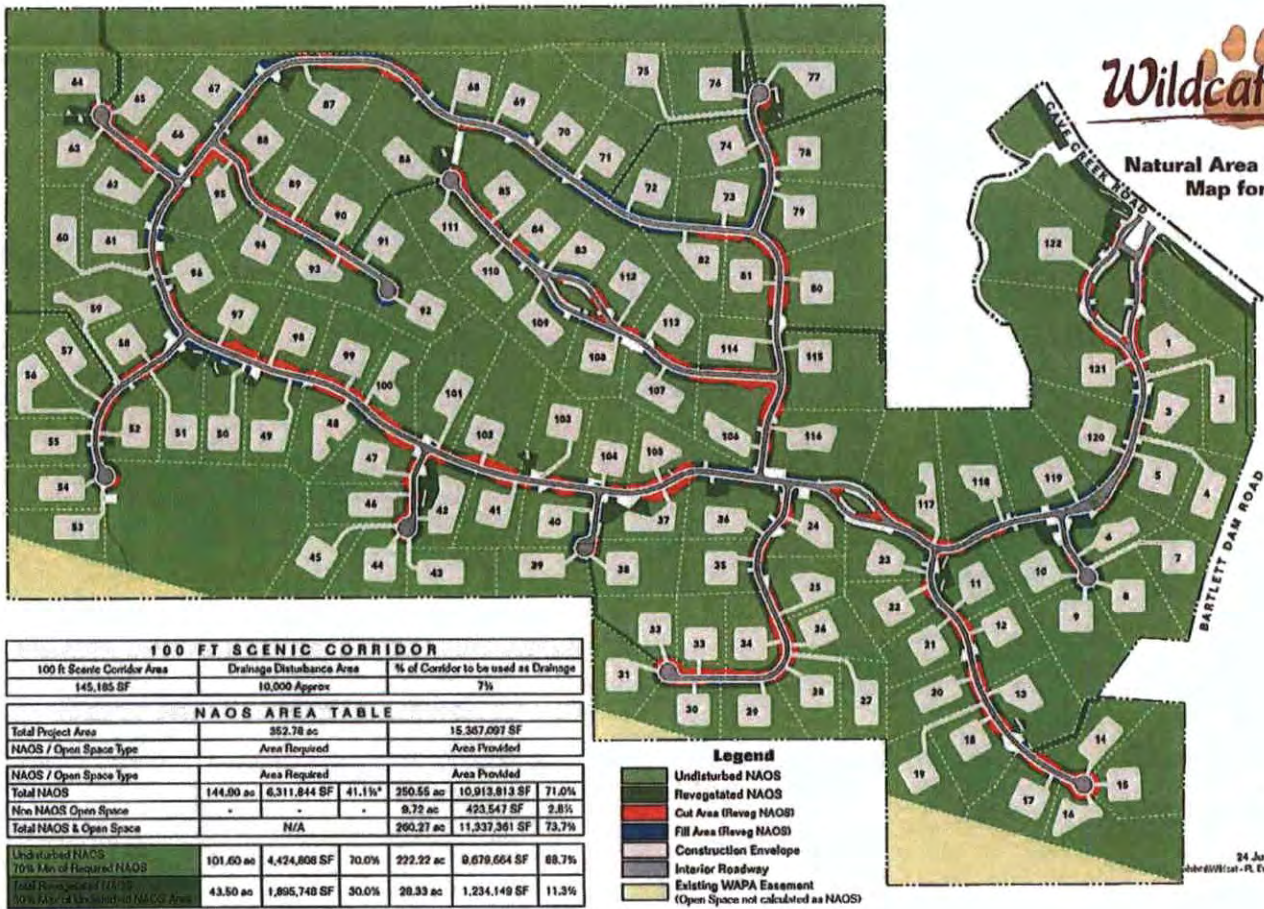
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Wildcat Hill

Natural Area Open Space Map for Wildcat Hill EXHIBIT E

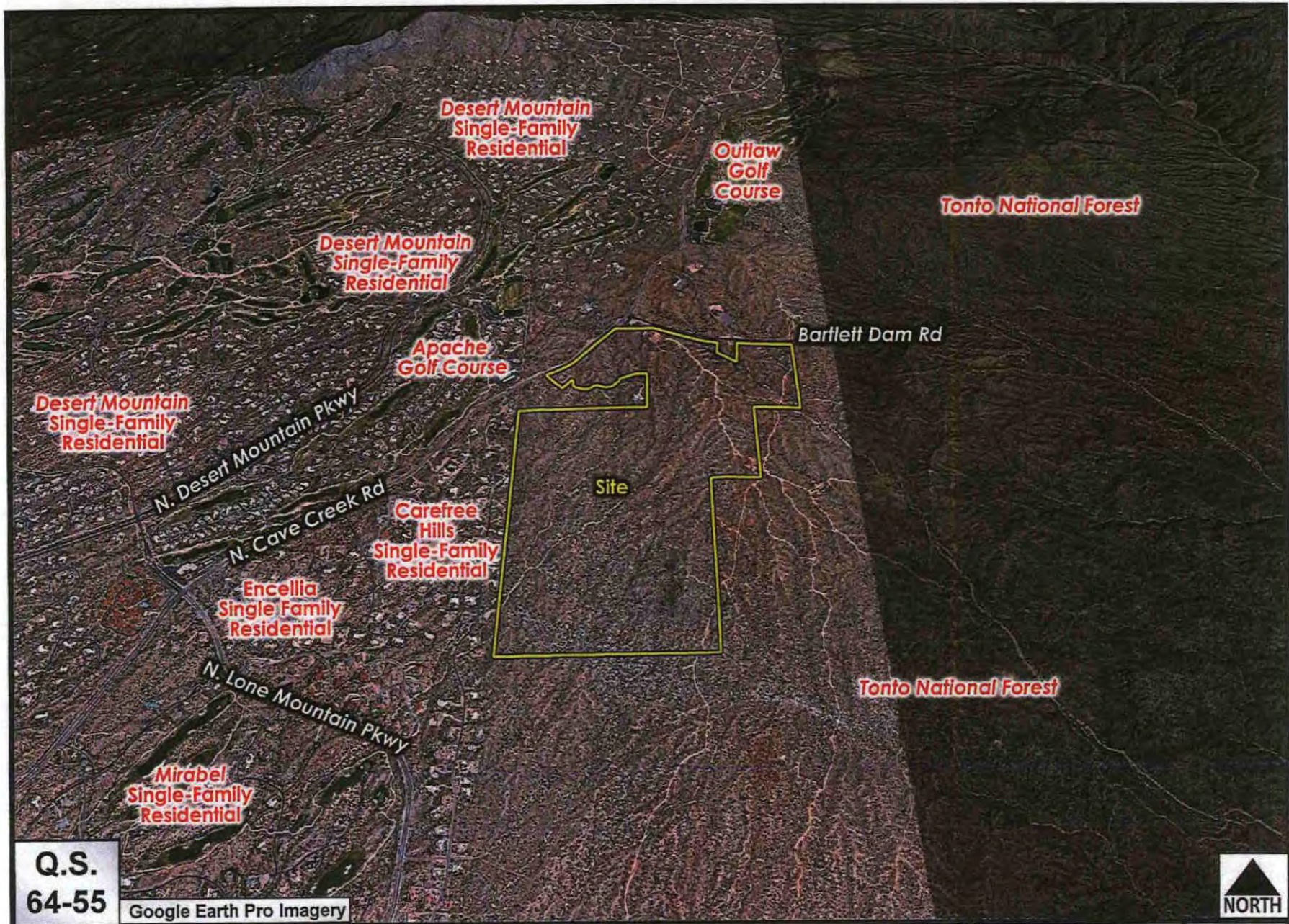


| 100 FT SCENIC CORRIDOR | | | | | | | |
|-----------------------------|---------------------------|--------------|--------------------------------------|-----------|---------------|---------------|-------|
| 100 ft Scenic Corridor Area | Drainage Disturbance Area | | % of Corridor to be used as Drainage | | | | |
| 145,185 SF | 10,000 Approx | | 7% | | | | |
| NAOS AREA TABLE | | | | | | | |
| Total Project Area | 352.78 ac | | 15,367,097 SF | | | | |
| NAOS / Open Space Type | Area Required | | Area Provided | | | | |
| Total NAOS | 144.80 ac | 6,311,844 SF | 41.1% | 250.55 ac | 10,913,813 SF | 71.0% | |
| New NAOS / Open Space | - | - | - | 9.22 ac | 423,547 SF | 3.8% | |
| Total NAOS & Open Space | N/A | | 260.27 ac | | | 11,337,361 SF | 73.7% |
| Undisturbed NAOS | 101.60 ac | 4,424,808 SF | 70.0% | 222.22 ac | 9,679,664 SF | 88.7% | |
| 70% Min of Required NAOS | 43.50 ac | 1,895,748 SF | 30.0% | 28.33 ac | 1,234,149 SF | 11.3% | |

- Legend**
- Undisturbed NAOS
 - Revegetated NAOS
 - Cut Area (Reveg NAOS)
 - Fill Area (Reveg NAOS)
 - Construction Envelope
 - Interior Roadway
 - Existing WAPA Easement
 - (Open Space not calculated as NAOS)



24 June 2019
 Job: Wildcat - PL Exhibits.mxd
CVL
 CONSULTANTS



Q.S.
64-55

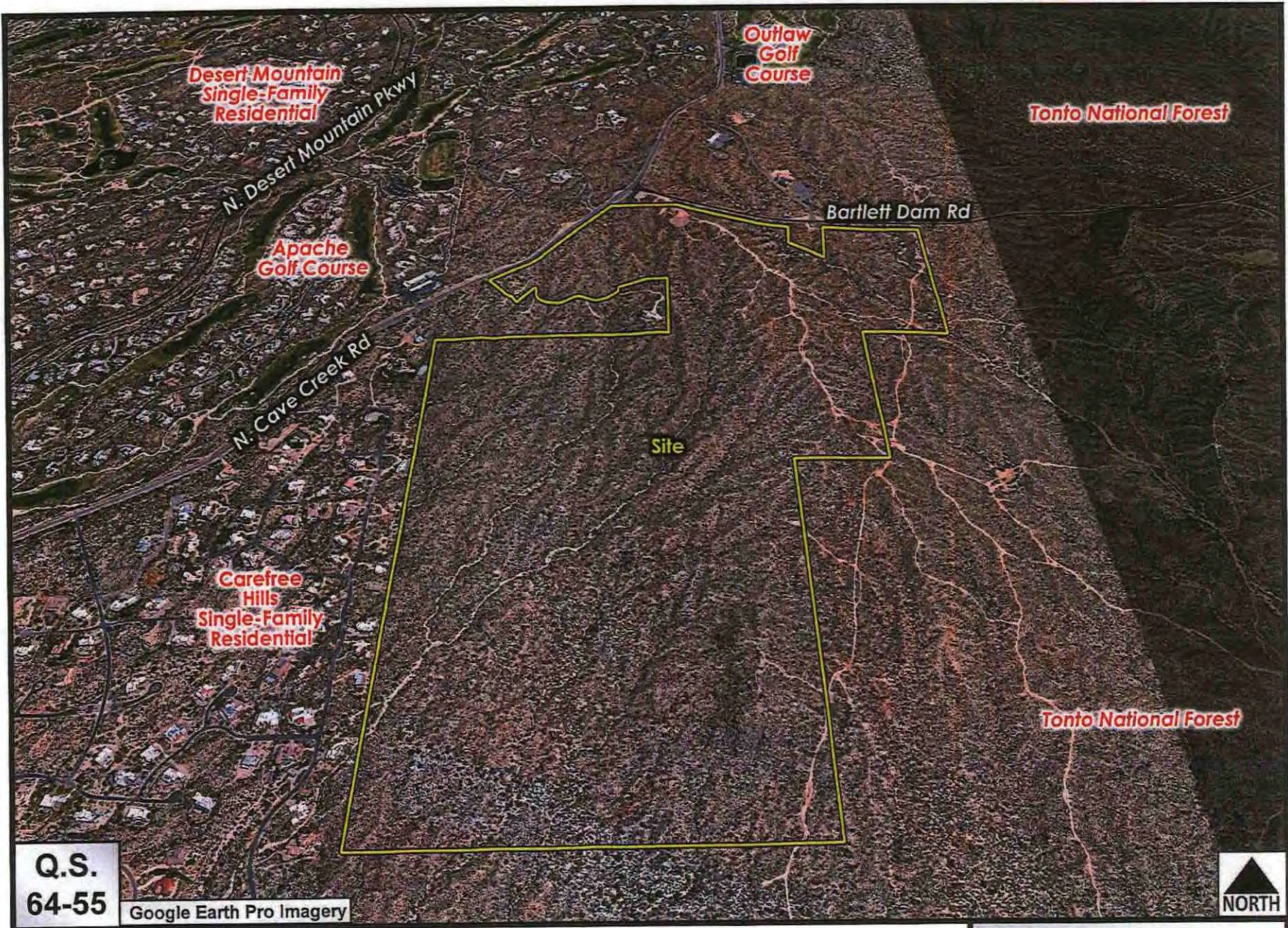
Google Earth Pro Imagery



Wildcat Hill

ATTACHMENT #2

1-PP-2019



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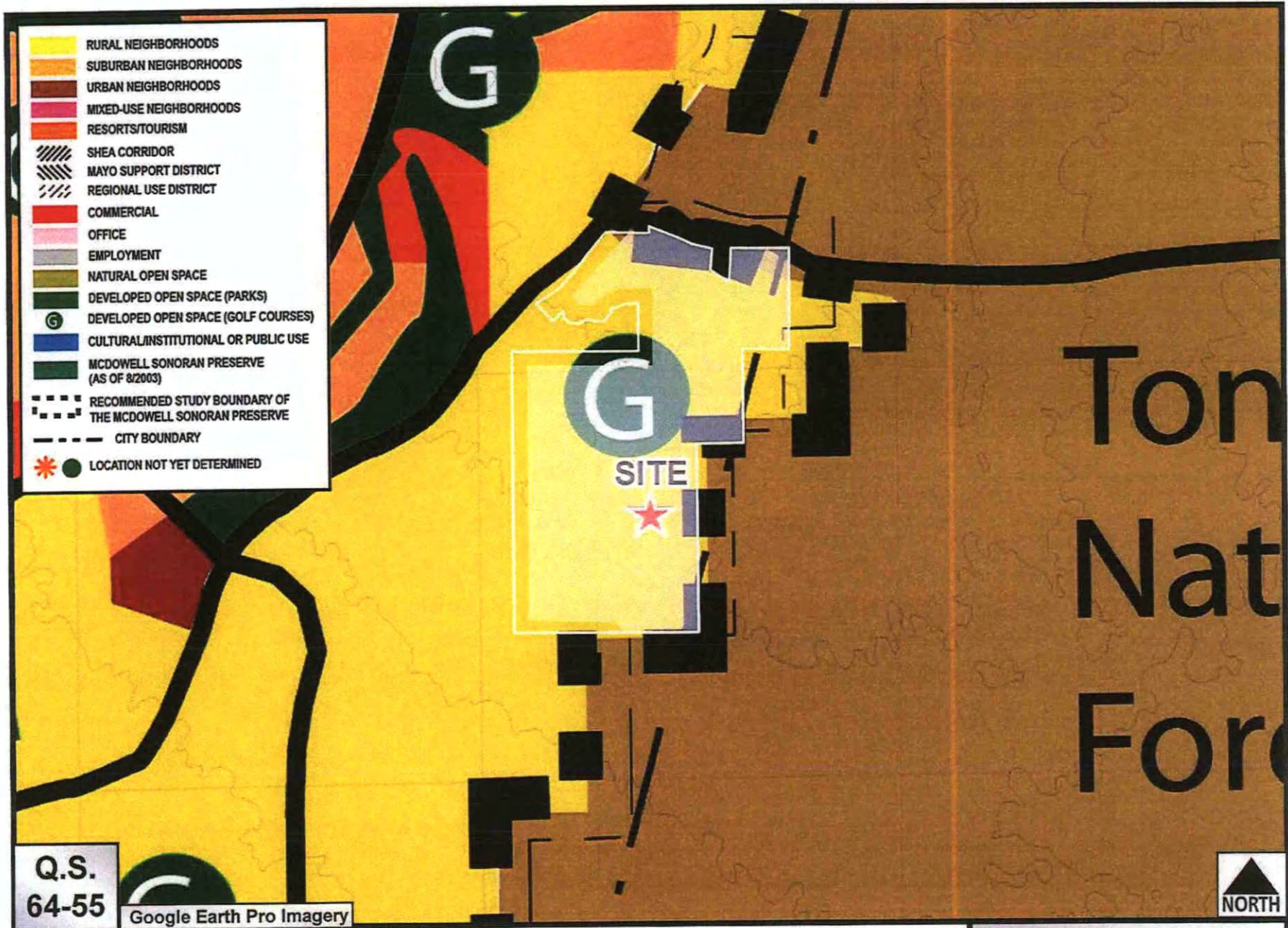
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Wildcat Hill

1-PP-2019

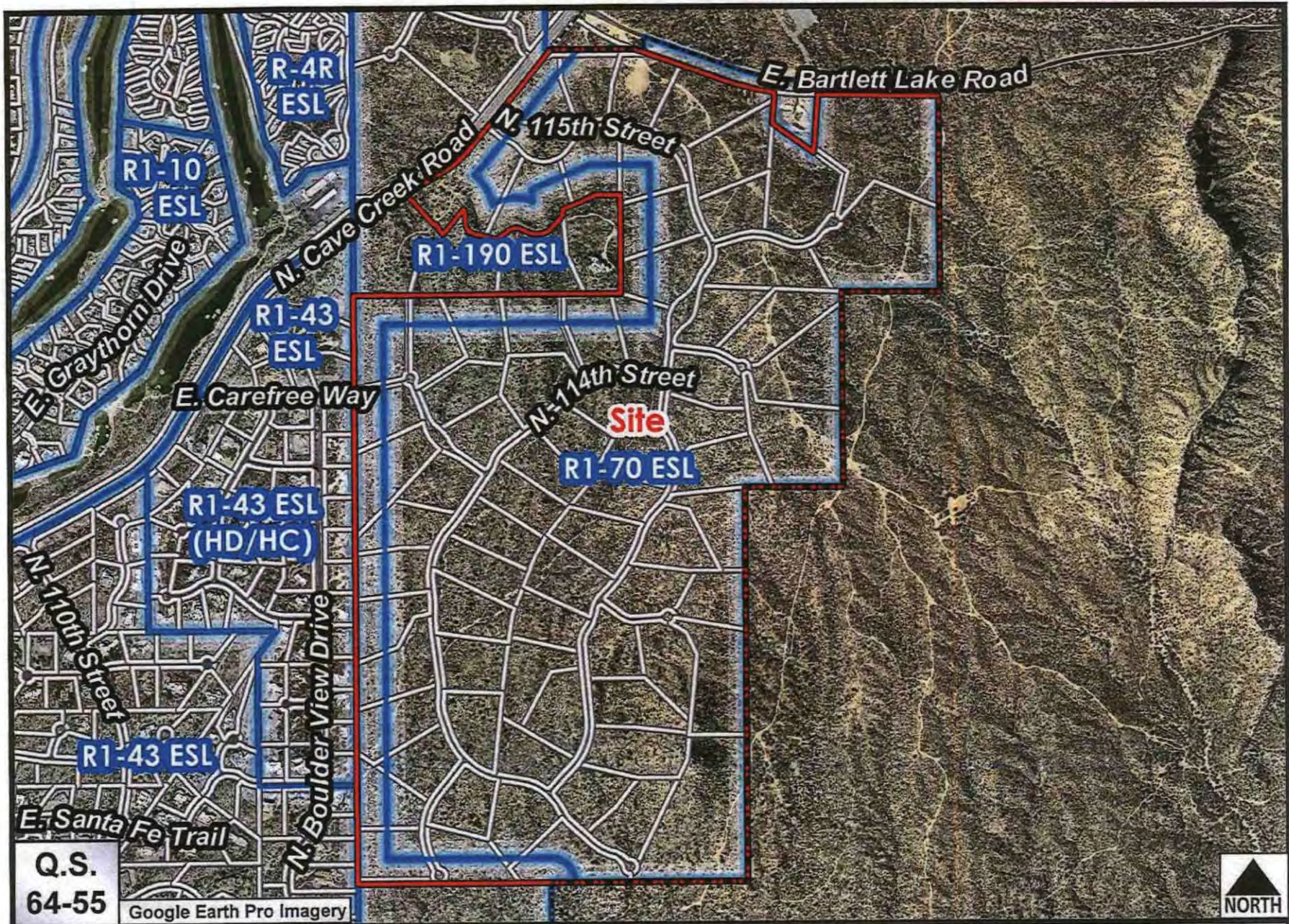
ATTACHMENT #2A



Wildcat Hill

ATTACHMENT #3

1-PP-2019



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64-55

Google Earth Pro Imagery



Wildcat Hill

ATTACHMENT #4

1-PP-2019

NOTES

- 1. THE STREETS ARE PRIVATE STREETS... 2. THIS DEVELOPMENT IS ON THE CITY OF SCOTTSDALE WATER SYSTEM... 3. ALL LOT CORNERS HAVE BEEN SET WITH 1/2" REBAR... 4. LAND DESIGNATED AS NATURAL AREA OPEN SPACE... 5. ALL PRIVATE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNER... 6. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE TO THOSE OF THE ADJACENT MAIN BUILDINGS... 7. THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXTERIOR PERIMETER WALLS... 8. AFFIDAVITS OF CORRECTION OR AMENDMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID... 9. ALL SURVEY VALUES BETWEEN FOUND MONUMENTS REPRESENT MEASURED VALUES.

E.S.L.O. NOTES

- 1. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT. 2. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, OR TO AN ADJACENT LOT... 3. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP, ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES... 4. GUEST HOUSE SHALL NEVER BE OFFERED FOR RENT... 5. A GUEST HOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING... 6. EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 8 AS INDICATED IN THE MUNSIEL BOOK OF COLOR ON FILE IN THE CITY OF SCOTTSDALE'S PLANNING & DEVELOPMENT DEPARTMENT... 7. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH THE SURROUNDING NATURAL DESERT SETTING... 8. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS... 9. PLANT MATERIALS NOT INDIGENOUS TO THE EBL AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED... 10. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED... 11. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT UNFINISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES... 12. MIRRORRED SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORRED SURFACE ARE PROHIBITED... 13. THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND IN SCALE, FORM AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT DEPARTMENT... 14. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 27 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE... 15. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE... 16. ALL EXTERIOR LIGHTING BELOW 3 FEET IN HEIGHT SHALL BE FULLY SHIELDED... 17. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD... 18. WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SURFACE SHALL BE A VIEW FENCE... 19. TEMPORARY SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL... 20. IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DERIVED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN... 21. NO PAINT COLOR OR SURFACE TREATMENT SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35% (ZO SEC. 6.107D.G.1.G.K)

PARENT PARCEL LEGAL DESCRIPTION

LOTS 1 THROUGH 76, INCLUSIVE, AND TRACTS A THROUGH G, INCLUSIVE, OF WILDCAT HILL, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 957 OF MAPS, PAGE 8.

EXCEPT THAT PORTION OF LOT 73 DESCRIBED AS FOLLOWS:

THAT PART OF LOT 73 OF WILDCAT HILL, AS RECORDED IN BOOK 957 OF MAPS, PAGE 8, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING SITUATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 6 NORTH, RANGE 3 EAST OF THE G&A AND B&T RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE ILL.M. BRASS CAP MARKING THE WEST QUARTER CORNER OF SAID SECTION 22, FROM WHICH THE ILL.M. BRASS CAP MARKING THE CENTER OF SAID SECTION 22 BEARS NORTH 89 DEGREES 52 MINUTES 34 SECONDS EAST, A DISTANCE OF 2,643.77 FEET;

THENCE SOUTH 90 DEGREES 05 MINUTES 32 SECONDS EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1,521.86 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF CAVE CREEK ROAD;

THENCE NORTH 58 DEGREES 48 MINUTES 30 SECONDS EAST, ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 718.89 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF THAT CERTAIN 25.00 FOOT WIDESS, CORRIDOR AND PUBLIC UTILITY EASEMENT DESCRIBED AS PARCEL NO. 2 IN DOCUMENT NO. 88-024309, RECORDS OF MARICOPA COUNTY ARIZONA.

THENCE ALONG SAID SOUTHWESTERLY LINE THE FOLLOWING COURSES:

THENCE SOUTH 30 DEGREES 47 MINUTES 31 SECONDS EAST, A DISTANCE OF 25.46 FEET TO A POINT ON A 45.40 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS SOUTH 82 DEGREES 05 MINUTE 43 SECONDS WEST;

THENCE SOUTHERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 30 DEGREES 02 MINUTES 48 SECONDS, A DISTANCE OF 38.68 FEET;

THENCE SOUTH 17 DEGREES 12 MINUTES 37 SECONDS WEST, A DISTANCE OF 14.58 FEET TO A POINT ON A 53.30 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS SOUTH 71 DEGREES 44 MINUTES 02 SECONDS EAST;

THENCE SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 73 DEGREES 34 MINUTES 37 SECONDS, A DISTANCE OF 68.44 FEET;

THENCE SOUTH 53 DEGREES 14 MINUTES 51 SECONDS EAST, A DISTANCE OF 44.36 FEET TO THE BEGINNING OF A TANGENT CURVE OF 162.50 FOOT RADIUS, CONCAVE SOUTHWESTERLY;

THENCE SOUTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 03 DEGREES 18 MINUTES 13 SECONDS A DISTANCE OF 15.63 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTHEASTERLY, CONTINUING ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 29 DEGREES 07 MINUTES 23 SECONDS, A DISTANCE OF 92.76 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT 73;

THENCE SOUTH 38 DEGREES 55 MINUTES 45 SECONDS WEST, DEPARTING SAID SOUTHWESTERLY LINE ALONG SAID SOUTHEASTERLY LINE, A DISTANCE OF 220.15 FEET TO THE SOUTH CORNER OF SAID LOT 73;

THENCE NORTH 41 DEGREES 47 MINUTES 33 SECONDS WEST, ALONG THE SOUTHWESTERLY LINE OF SAID LOT 73, A DISTANCE OF 85.18 FEET TO A POINT ON A SOUTHEASTERLY LINE OF A 20.00 FOOT WIDESS, EGRESS AND PUBLIC UTILITY EASEMENT AS DESCRIBED IN SAID DOCUMENT NO. 88-012429, SAID POINT BEING ON A 51.08 FOOT RADIUS NON-TANGENT CURVE, WHOSE CENTER BEARS SOUTH 49 DEGREES 41 MINUTES 38 SECONDS EAST;

THENCE ALONG SAID SOUTHEASTERLY LINE THE FOLLOWING COURSES:

THENCE NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 25 DEGREES 01 MINUTES 27 SECONDS, A DISTANCE OF 26.67 FEET TO THE BEGINNING OF A TANGENT REVERSE CURVE OF 188.74 FOOT RADIUS, CONCAVE NORTHEASTERLY;

THENCE NORTHEASTERLY, ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 38 DEGREES 33 MINUTES 44 SECONDS, A DISTANCE OF 127.03 FEET;

THENCE NORTH 26 DEGREES 46 MINUTES 09 SECONDS EAST, A DISTANCE OF 45.43 FEET;

THENCE NORTH 20 DEGREES 17 MINUTES 33 SECONDS EAST, A DISTANCE OF 38.94 FEET TO THE TRUE POINT OF BEGINNING.

EASEMENT RELEASE LIST

Table with 4 columns: EASEMENT, GRANTEE, DEDICATION, RELEASE. Lists various easement releases for different parties and purposes.

LINE TABLE

Table with 3 columns: LINE, BEARING, DISTANCE. Lists line bearings and distances for various points.

TRACT TABLE with columns: TRACT, AREA (ACRES), DESCRIPTION, OWNERSHIP. Lists details for various tracts including landscape, future development, and easements.

N.A.O.S. AREA TABLE

TOTAL PROJECT AREA = 352.77 AC. - 15,366,849 S.F.

Table with 3 columns: N.A.O.S./OPEN SPACE TYPE, AREA REQUIRED, AREA PROVIDED. Summarizes area requirements and provided areas for different categories.

*BASED ON AND CALCULATED FROM SLOPE ANALYSIS.

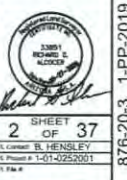
N.A.O.S. REQUIRED: 145.62 ACRES - 41.1% (ESL ORDINANCE)
N.A.O.S. REQUIRED: 171.25 ACRES - 48.4% (CASE 8-PP-2007)
N.A.O.S. REQUIRED: 239.9 ACRES - 67.9% (CASE 14-PP-2014)
N.A.O.S. REQUIRED: 239.9 ACRES - 67.9% (CASE 1-PP-2018P)
N.A.O.S. PROVIDED: 250.55 ACRES - 70.9% (10.1 ACRES EXCESS N.A.O.S.)



Coe & Van Loo Consultants, Inc.

FINAL PLAT

WILDCAT HILL SCOTTSDALE, ARIZONA



2 SHEET OF 37
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 23-37 FOR N.A.O.S. DEFINITION

17-ZN-2014
876-20-3 1-PP-2019



SEE SHEET 2 FOR LINE TABLE
 SEE SHEET 4 FOR CURVE TABLE
 SEE SHEETS 20-37 FOR N.A.O.S. DEFINITION

LOT AREA TABLE

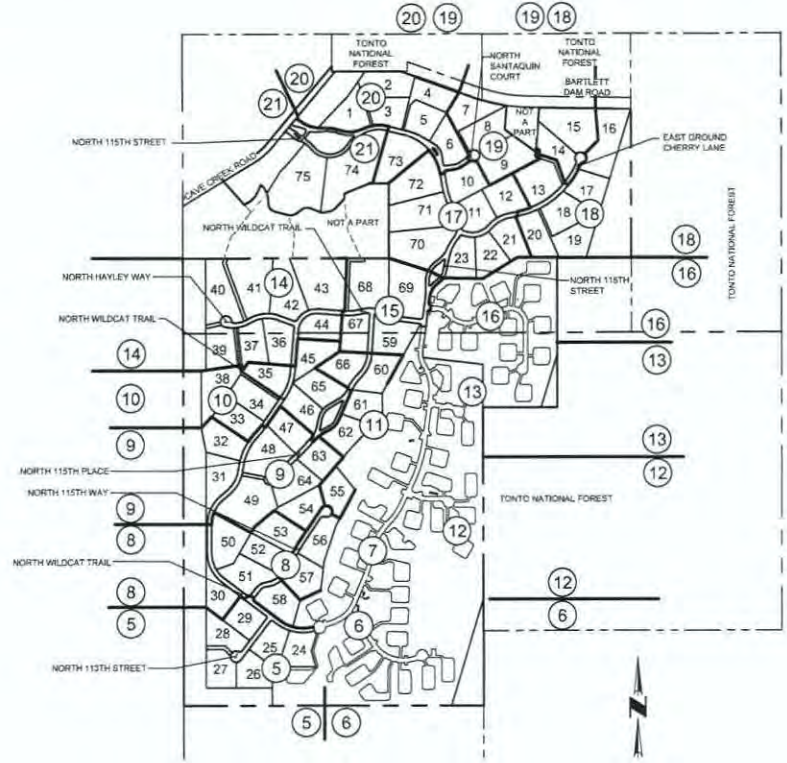
| SQUARE FEET | | | SQUARE FEET | | | | |
|-------------|---------|---------|-------------|-------|-----------|-----------|---------|
| LOT | AREA | NAOS | REVEG | LOT | AREA | NAOS | REVEG |
| 1 | 98,874 | 62,718 | 9,394 | 29 | 96,368 | 57,818 | 13,297 |
| 2 | 106,482 | 76,372 | - | 40 | 134,525 | 87,388 | 16,575 |
| 3 | 85,526 | 56,350 | 4,911 | 41 | 161,289 | 131,074 | 4,843 |
| 4 | 82,830 | 52,819 | - | 42 | 130,574 | 97,988 | 8,513 |
| 5 | 80,056 | 50,987 | 5,251 | 43 | 186,842 | 154,957 | 7,181 |
| 6 | 81,402 | 44,346 | 14,899 | 44 | 80,153 | 43,975 | 13,079 |
| 7 | 94,886 | 65,746 | - | 45 | 88,451 | 55,511 | 9,237 |
| 8 | 103,845 | 77,938 | 2,454 | 46 | 80,595 | 43,927 | 10,952 |
| 9 | 134,973 | 95,851 | 11,845 | 47 | 81,779 | 48,118 | 9,625 |
| 10 | 84,263 | 50,452 | 17,006 | 48 | 121,629 | 77,986 | 19,640 |
| 11 | 90,501 | 48,146 | 17,717 | 49 | 105,918 | 115,690 | 24,694 |
| 12 | 96,387 | 65,473 | 6,567 | 50 | 111,669 | 70,464 | 15,320 |
| 13 | 116,236 | 82,065 | 9,054 | 51 | 100,898 | 60,021 | 16,340 |
| 14 | 85,092 | 54,492 | 6,428 | 52 | 86,060 | 57,969 | 4,756 |
| 15 | 155,643 | 130,376 | 2,077 | 53 | 97,301 | 68,495 | 5,291 |
| 16 | 152,373 | 126,930 | 4,047 | 54 | 88,353 | 52,316 | 12,906 |
| 17 | 94,693 | 65,904 | 5,368 | 55 | 81,394 | 54,607 | 3,180 |
| 18 | 99,077 | 69,543 | 4,224 | 56 | 84,955 | 52,357 | 11,215 |
| 19 | 98,935 | 68,862 | - | 57 | 92,647 | 62,711 | 6,661 |
| 20 | 91,454 | 62,690 | 4,608 | 58 | 95,718 | 55,457 | 17,213 |
| 21 | 82,784 | 52,701 | 5,404 | 59 | 106,849 | 63,987 | 18,478 |
| 22 | 82,993 | 55,508 | 8,293 | 60 | 85,656 | 52,846 | 8,744 |
| 23 | 84,190 | 44,747 | 12,584 | 61 | 80,361 | 51,864 | 4,699 |
| 24 | 81,036 | 51,792 | 4,568 | 62 | 86,882 | 55,247 | 6,044 |
| 25 | 81,998 | 45,394 | 12,149 | 63 | 81,481 | 51,598 | 5,852 |
| 26 | 84,652 | 50,927 | 8,993 | 64 | 99,217 | 67,314 | 7,904 |
| 27 | 83,212 | 53,697 | 5,407 | 65 | 88,225 | 57,277 | 6,413 |
| 28 | 83,081 | 52,913 | 4,702 | 66 | 83,468 | 55,677 | 7,743 |
| 29 | 80,201 | 42,700 | 12,272 | 67 | 81,003 | 43,863 | 13,422 |
| 30 | 85,186 | 43,770 | 12,102 | 68 | 153,928 | 121,701 | 8,626 |
| 31 | 103,216 | 62,972 | 16,384 | 69 | 148,339 | 104,922 | 13,244 |
| 32 | 96,146 | 68,564 | 4,307 | 70 | 162,349 | 127,417 | 13,361 |
| 33 | 90,282 | 61,624 | 4,692 | 71 | 147,750 | 114,860 | 7,093 |
| 34 | 91,859 | 63,020 | 4,715 | 72 | 136,963 | 104,199 | 8,296 |
| 35 | 82,056 | 51,582 | 7,066 | 73 | 124,147 | 91,516 | 9,040 |
| 36 | 90,937 | 52,794 | 14,558 | 74 | 220,896 | 168,937 | 18,780 |
| 37 | 83,410 | 54,771 | 4,885 | 75 | 218,378 | 155,737 | 21,705 |
| 38 | 115,000 | 82,539 | - | TOTAL | 7,889,858 | 5,338,656 | 670,723 |

| TOTAL LAND USE | |
|---------------------------|---------------|
| TOTAL NUMBER OF LOTS | 75 |
| TOTAL NUMBER OF TRACTS | 22 |
| GROSS RESIDENTIAL DENSITY | 0.21 D.U./AC. |

| LAND USE TABLE | | |
|-------------------------------|-------------|---------|
| LAND USE AREAS | SQUARE FEET | ACRES |
| TOTAL AREA OF LOTS | 7,889,858 | 181,126 |
| TOTAL AREA OF TRACTS (A-U) | 6,858,556 | 157,481 |
| PRIVATE STREET AREA (TRACT V) | 618,436 | 14,187 |
| PUBLIC RIGHT-OF-WAY | 78,313 | 1.752 |
| TOTAL GROSS AREA | 15,443,163 | 354,526 |

LEGEND

- SECTION CORNER - FOUND MONUMENT AS NOTED
- FOUND BRASS CAP AS NOTED
- CENTER LINE MONUMENTATION - SET BRASS CAP FLUSH PER CITY OF SCOTTSDALE STD DETAIL 2120 TYPE "E" UPON COMPLETION OF JOB
- CORNER OF THIS SUBDIVISION - SET SURVEY MARKER PER CITY OF SCOTTSDALE STD DETAIL 2120 TYPE "D"
- CORNER OF THIS SUBDIVISION - SET SURVEY MARKER PER CITY OF SCOTTSDALE STD DETAIL 2120 TYPE "D"
- CORNER OF THIS SUBDIVISION - FOUND 1/2" REBAR WITH PLASTIC CAP L5021001 PER BOOK 449 OF MAPS, PAGE 11, M.C.R.
- LOT CORNER - SET 1/2" REBAR WITH CAP L5033651
- INDICATES CALCULATED POSITION - NOTHING FOUND OR SET
- ① SHEET NUMBER
- ② SIGHT DISTANCE EASEMENT (20' X 20')
- ③ DIMENSION CONTINUED NEXT SHEET
- SECTION LINE
- MID-SECTION LINE
- BOUNDARY LINE
- LOT LINE
- CENTERLINE
- EASEMENT
- MATCHLINE
- NATURAL AREA OPEN SPACE
- * LOTS REQUIRING FORCE MAIN DRAINAGE
- B.L.M. BUREAU OF LAND MANAGEMENT
- C1 CURVE NUMBER
- DA DEVELOPABLE AREA
- E.S.L.O. ENVIRONMENTALLY SENSITIVE LANDS OVERLAY
- E.S.A. EMERGENCY AND SERVICE ACCESS
- L1 LINE NUMBER
- M.C.R. MARICOPA COUNTY RECORDER
- N.A.O.S. NATURAL AREA OPEN SPACE
- NC1 N.A.O.S. CURVE NUMBER
- NL1 N.A.O.S. LINE NUMBER
- P.D.F.C. PRIVATE DRAINAGE AND FLOOD CONTROL
- P.U.E. PUBLIC UTILITY EASEMENT
- R RADIUS
- RW RIGHT OF WAY
- W.A.P.A. WESTERN AREA POWER ADMINISTRATION



LEGEND PUBLIC EASEMENTS DEDICATED HEREON

- D.F.C. DRAINAGE AND FLOOD CONTROL EASEMENT
- N.A.O.S. NATURAL AREA OPEN SPACE EASEMENT
- P.N.M.A. PUBLIC NON-MOTORIZED ACCESS EASEMENT
- P.S. PRIVATE SEWER EASEMENT
- P.U. PUBLIC UTILITY EASEMENT
- S.C. SCENIC CORRIDOR EASEMENT
- S.D. SIGHT DISTANCE EASEMENT
- T.T. TEMPORARY TURNAROUND EASEMENT
- V.C. VISTA CORRIDOR EASEMENT
- V.N.A. VEHICULAR NON ACCESS EASEMENT
- W.S.F. WATER AND SEWER FACILITIES EASEMENT

Printed By: UserD Print Date: October 27, 2008 Revisions: N:\17020017\17020017\FINAL\01-14.dwg

CURVE TABLE

Table with columns: NO., RADIUS, ARC, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 1 through 77.

CURVE TABLE

Table with columns: NO., RADIUS, ARC, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 78 through 155.

CURVE TABLE

Table with columns: NO., RADIUS, ARC, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 156 through 235.



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FINAL PLAT

WILDCAT HILL
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876-20-3 1-PP-2019 17-ZN-2014



4 SHEET OF 37

SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEETS 4-37 FOR N.A.D.83 DEFINITION

Drawn By: Tomlin Date: October 27, 2009 File Name: N:\UTW\2009\04\02\001\01\PLAT 17-ZN-2014.dwg

CAREFREE HILLS
BOOK 198 OF MAPS, PAGE 30

VISTA VALLE
BOOK 438 OF MAPS, PAGE 7

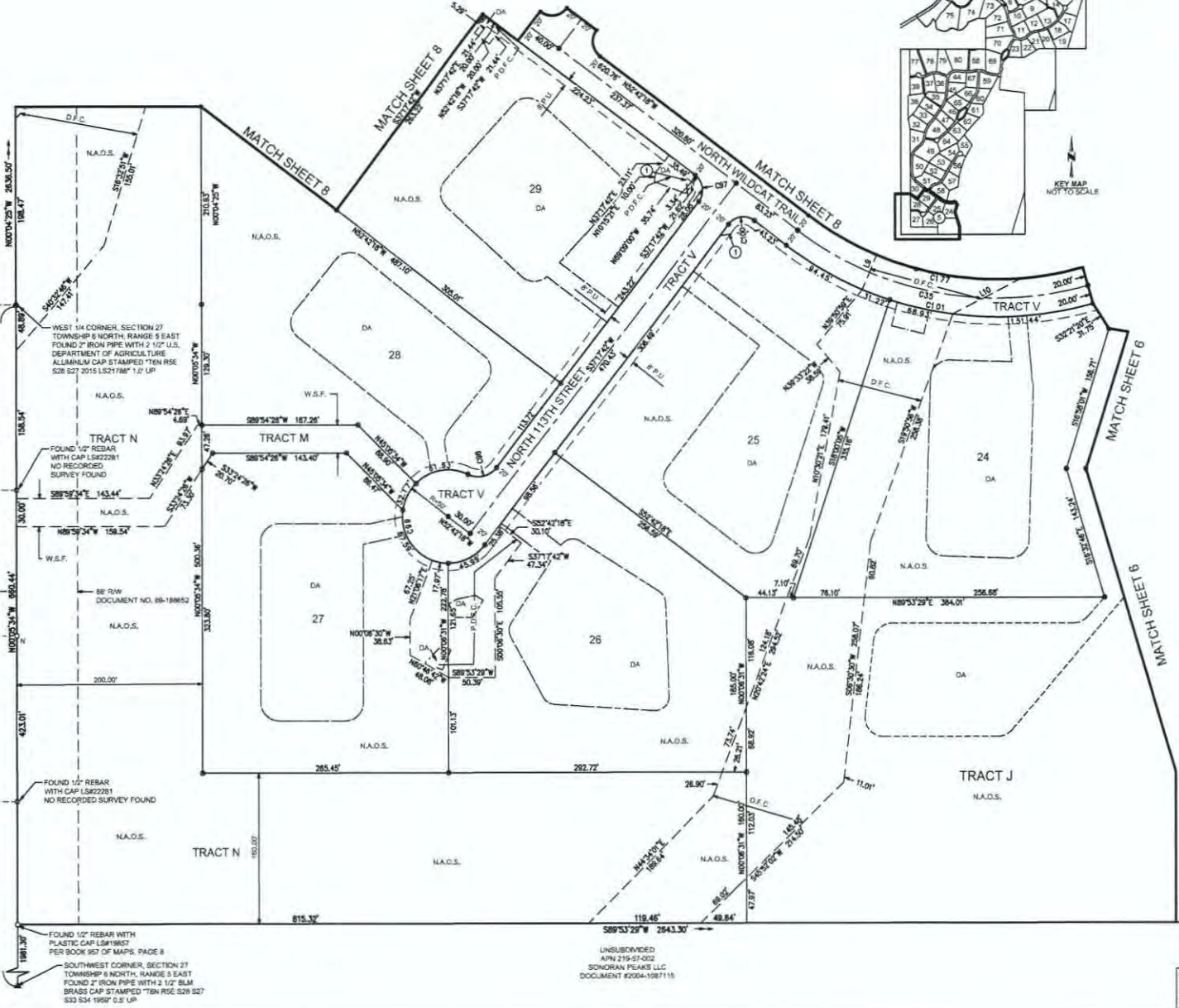
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DOCUMENT # 2014-011242
APN 211-14-08

BOULDER VIEW PROPERTIES LLC
DOCUMENT # 2014-011242
APN 211-14-08

BOULDER VIEW PROPERTIES LLC
DOCUMENT # 2014-011242
APN 211-14-08

BRUCE M. RUBERG
DOCUMENT # 2013-008114
APN 219-00-006

PERRY J. DOUGLAS ET AL APN
DOCUMENT # 2009-081141
2114-007



WEST 1/4 CORNER, SECTION 27
TOWNSHIP 6 NORTH, RANGE 5 EAST
FOUND 2" IRON PIPE WITH 2 1/2" U.S.
ALUMINUM CAP STAMPED "16N RSE
S28 S21 2015 LSC7186" 1.2' UP

FOUND 1/2" REBAR
WITH CAP L5822281
NO RECORDED
SURVEY FOUND

FOUND 1/2" REBAR
WITH CAP L582281
NO RECORDED SURVEY FOUND

FOUND 1/2" REBAR WITH
PLASTIC CAP L5819857
PER BOOK 367 OF MAPS, PAGE 8
SOUTHWEST CORNER, SECTION 27
TOWNSHIP 6 NORTH, RANGE 5 EAST
FOUND 2" IRON PIPE WITH 2 1/2" BLM
BRASS CAP STAMPED "16N RSE S28 S27
S33 S34 1999" 0.5' UP

UNSUBDIVIDED
APN 219-01-002
SONDRAN PEAKS LLC
DOCUMENT # 0094-1087115



SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 23-27 FOR N.A.O.S.
DEFINITION

FINAL PLAT

WILDCAT HILL
SCOTTSDALE, ARIZONA



5 SHEET
OF 37
C.S. No. 1421-0252001
C.S. No. 1421-0252001



COV CONSULTANTS
4850 North Central Expressway
Scottsdale, Arizona 85014
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Fax: 480-344-8831
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MATCH SHEET 8
MATCH SHEET 7

MATCH SHEET 7

MATCH SHEET 12



KEY MAP
NOT TO SCALE

CENTER, SECTION 37
TOWNSHIP 6 NORTH
RANGE 5 EAST
FOUND U.S. FOREST
SERVICE ALUMINUM
CAP STAMPED T&N
RSE. C14 S27 L521685
2015 FLLSH PER
BOOK 1249 OF MAPS,
PAGE 20

N.A.O.S.

N.A.O.S.

TRACT K

TRACT J

N.A.O.S.

TONTO NATIONAL FOREST

MATCH SHEET 5

UNSUBDIVIDED
APN: 21847400
SONORAN PEAKS LLC
DOCUMENT #2004-1081115

FOUND U.S. FOREST SERVICE ALUMINUM CAP STAMPED
T&N RSE. C-N-SW 1/4 SEC 27 L521765 2015 LP 0.1
PER BOOK 1249 OF MAPS, PAGE 20

S89°53'22" W 2843.30'

1972.48'

S89°53'29" W 2543.30'

TONTO NATIONAL FOREST

FOUND U.S. FOREST SERVICE ALUMINUM CAP
STAMPED T&N RSE. C-S-N 1/4 SEC 27 L521765 2015 LP 0.1
PER BOOK 1249 OF MAPS, PAGE 20

W.P.A. EASEMENT
DOCUMENT NO. 49-18952

377.84'
S00°05'41"E 1876.30'

FINAL PLAT

WILDCAT HILL
SCOTTSDALE, ARIZONA



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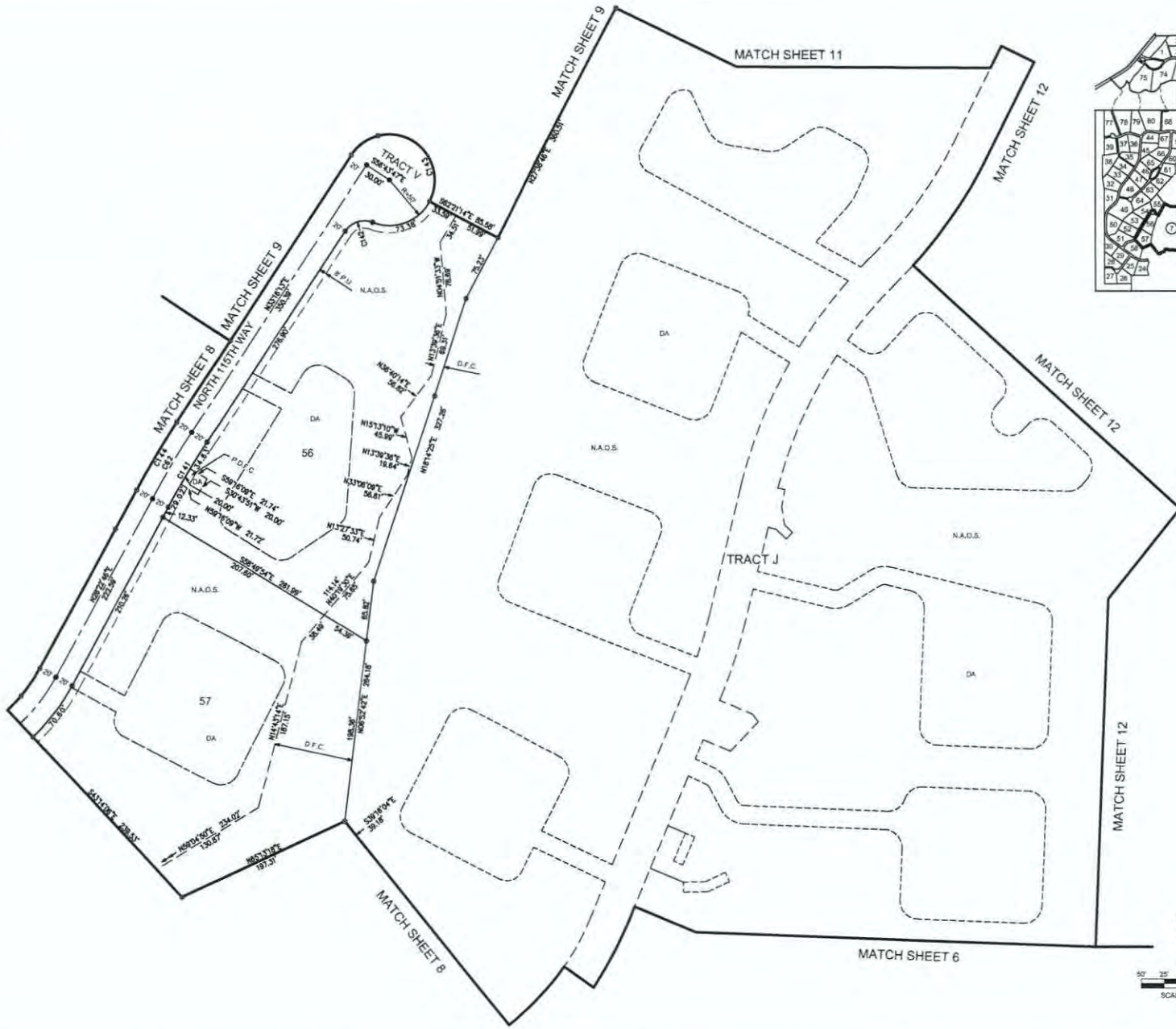
SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 25-37 FOR N.A.O.S.
DEFINITION

SHEET 6 OF 37
C&V Consultant: B. HENSLEY
C&V Project #: 14-01-0252001
C&V File #:

876-20-3 1-PP-2019 17-ZN-2014

Printed By: T&M Date: October 27, 2020 File Name: S:\17\0252001\CAD\0103\17A\17_05-17.dwg

Project: Final Plat, Wildcat Hill, October 27, 2014. Prepared by: 1-PP-20-3 1-PP-2019 17-ZN-2014



SEE SHEET 2 FOR LINE TABLE
 SEE SHEET 3 FOR LOT AREA TABLE
 SEE SHEET 4 FOR CURVE TABLE
 SEE SHEETS 25-37 FOR N.A.O.S. DEFINITION



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FINAL PLAT
 WILDCAT HILL
 SCOTTSDALE, ARIZONA



7 SHEET OF 37
 CIVIL ENGINEER: JAMES HENSLEY
 CIVIL ENGINEER: JAMES HENSLEY
 DATE: 10/27/2014

876-20-3 1-PP-2019 17-ZN-2014

Prepared By: T. Lund Plot Date: October 27, 2005



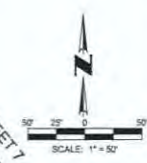
CAREFREE HILLS
BOOK 186 OF MAPS, PAGE 30

MARVIN A. AND BARILEY A.
WILDCAT HILL
APN 218-11-285
DOCUMENT # 84521480

LUCIEN C. AND SANDRA M. WAG TRIST
WILDCAT HILL
APN 218-11-285
DOCUMENT # 83811158

CHARLES BEHR JR.
WILDCAT HILL
APN 218-11-285
DOCUMENT # 2014681185

DANIEL MARIE & NANCY GUTERBUND
WILDCAT HILL
APN 218-11-285
DOCUMENT # 2018-809118



SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 20-37 FOR N.A.O.S. DEFINITION



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FINAL PLAT

WILDCAT HILL
SCOTTSDALE, ARIZONA



8 SHEET
OF 37

City Council: B. HENSLEY
City Project: 1471-0252001
City File #

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876-20-3 1-PP-2019 17-ZN-2014

Print Date: October 27, 2018
 Name: N:\18020\COO\COO\PLAN\17-PP-20-3.dwg
 Title: 17-PP-20-3

CAREFREE HILLS
 BOOK 168 OF MAPS, PAGE 30
 SCHROEDER TRUST
 APN 215-11-281
 DOCUMENT # 2016-022346
 ROBERT & DAWN EASTMAN
 APN 215-11-282
 DOCUMENT # 2016-022322
 JAMES H. WILDCAT
 L.P. APN 215-11-283
 DOCUMENT # 2016-022811

85' RW
 DOCUMENT NO. 89-189652



SEE SHEET 2 FOR LINE TABLE
 SEE SHEET 3 FOR LOT AREA TABLE
 SEE SHEET 4 FOR CURVE TABLE
 SEE SHEETS 25-27 FOR N.A.O.S. DEFINITION



KEY MAP
 NOT TO SCALE



9 SHEET
 OF 37
 CDS: Robert B. Hensley
 CDS: Robert B. Hensley
 CDS: Robert B. Hensley

FINAL PLAT

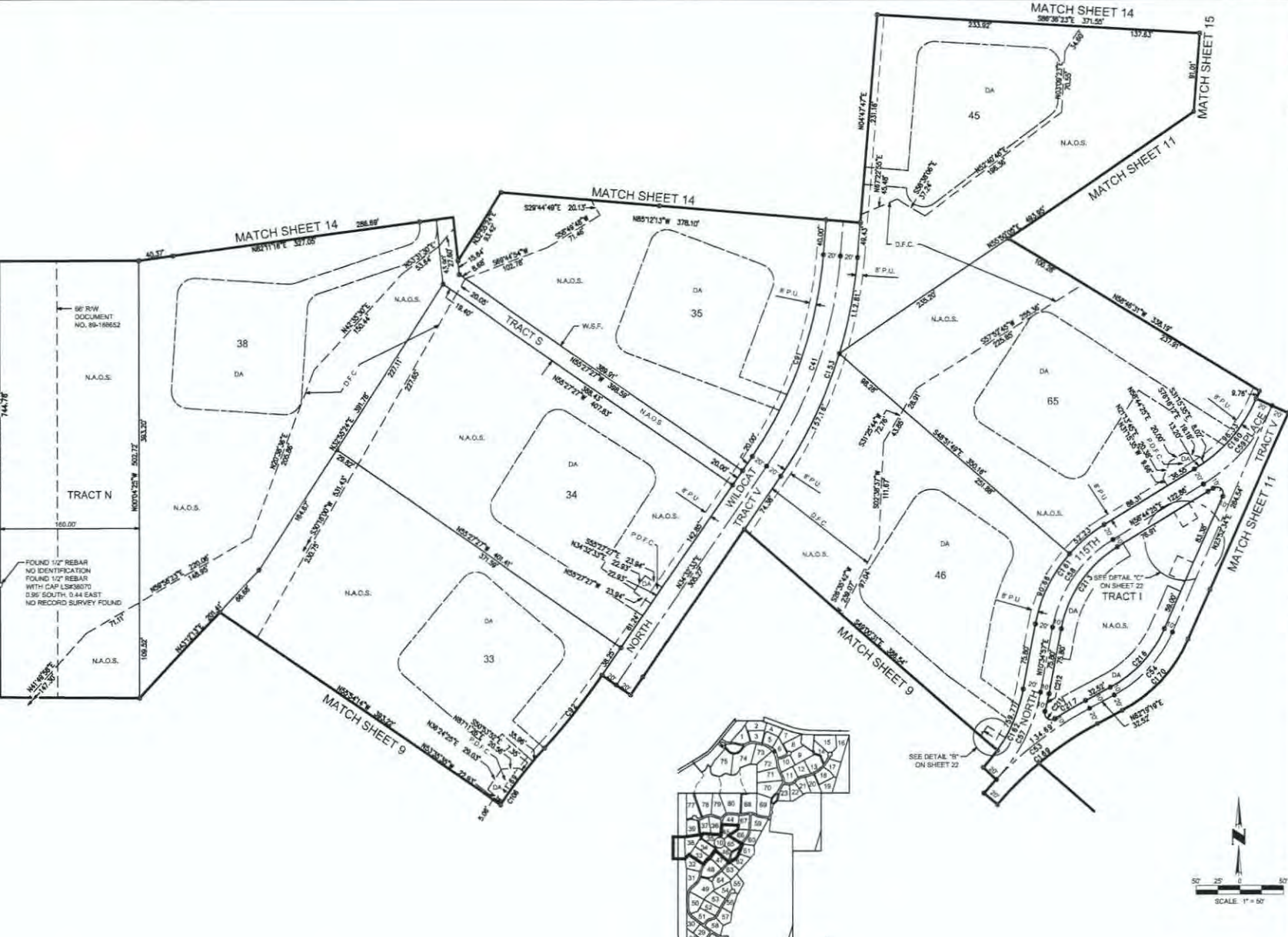
WILDCAT HILL
 SCOTTSDALE, ARIZONA

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Drawn by: [Name] Date: [Date] Project: [Project Name] File: [File Name]

CASPERE HILLS
BOOK 181 OF MAPS, PAGE 30
JAMES H. BELZE AND
LESLIE M. BELZE TRUST
DOCUMENT # 2013-0041931
KELLEY FAMILY TRUST
DOCUMENT # 2016-011901



FOUND 1/2" REBAR
NO IDENTIFICATION
FOUND 1/2" REBAR
WITH CAP (S&B) TO
0.96' SOUTH, 0.44' EAST
NO RECORD SURVEY FOUND



KEY MAP
NOT TO SCALE



SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 20-21 FOR N.A.O.S. DEFINITION



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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA



10 SHEET OF 37
CIVIL CONSULTANTS
1-01-025-2001
1/1/14

876-20-3 1-PP-2019 17-ZN-2014



KEY MAP
NOT TO SCALE



SCALE: 1" = 50'

SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 25-37 FOR N.A.O.S. DEFINITION

11 SHEET OF 37

CSX CORP. B. HENSLEY
CSX PROJECT 17-2019-001
CSX FILE #

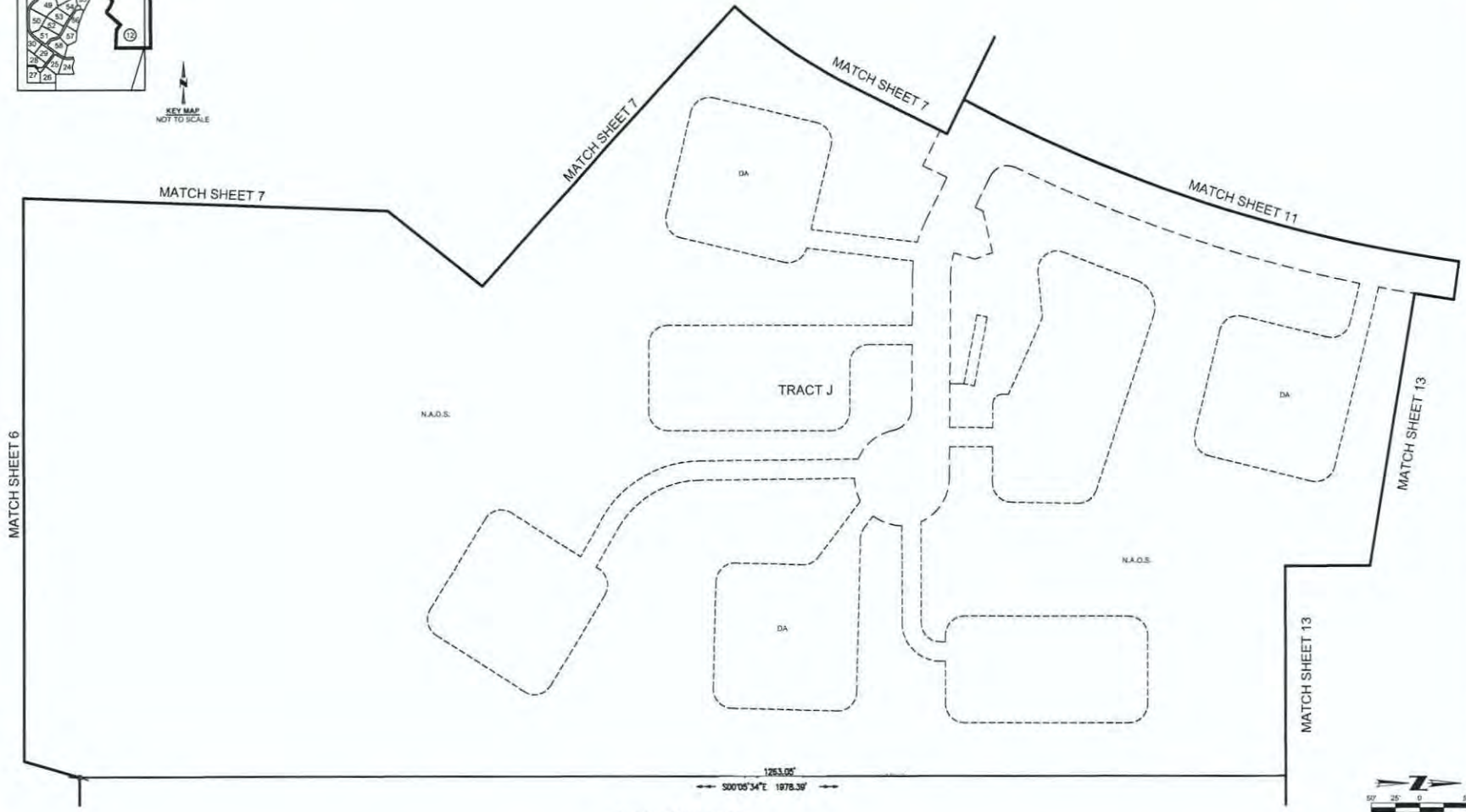
FINAL PLAT
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Printed by: Standard Print Date: October 07, 2019 11:56:58 AM Location: I:\PROJECTS\17-PP-2019\17-PP-2019.dwg



1263.05'
S00°05'34"E 1976.30'



SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 23-37 FOR N.A.O.S. DEFINITION



12 SHEET OF 37

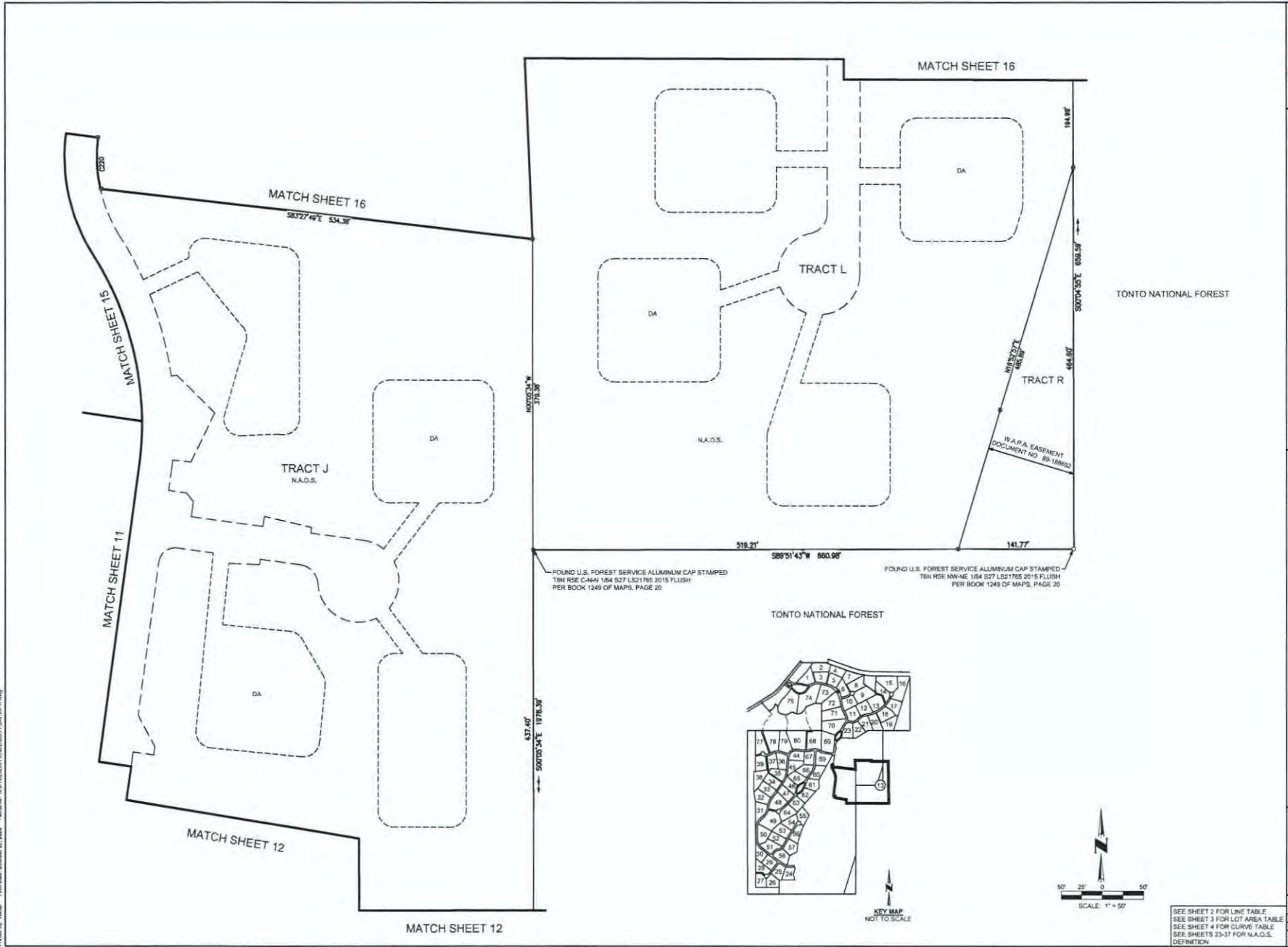
Civil Engineer: B. HENSLEY
CIV. Permit #: 1457-0252001
CIV. Exp. #: 12/31/2021

FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA

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875-20-3 1-PP-2019 17-ZN-2014

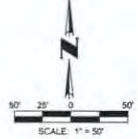


FOUND U.S. FOREST SERVICE ALUMINUM CAP STAMPED
TEN RISE C-444 184 827 LS21785 2015 FLUSH
PER BOOK 1249 OF MAPS, PAGE 20

FOUND U.S. FOREST SERVICE ALUMINUM CAP STAMPED
TEN RISE NW-NE 184 827 LS21785 2015 FLUSH
PER BOOK 1249 OF MAPS, PAGE 20



KEY MAP
NOT TO SCALE



SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 23-37 FOR N.A.O.S. DEFINITION

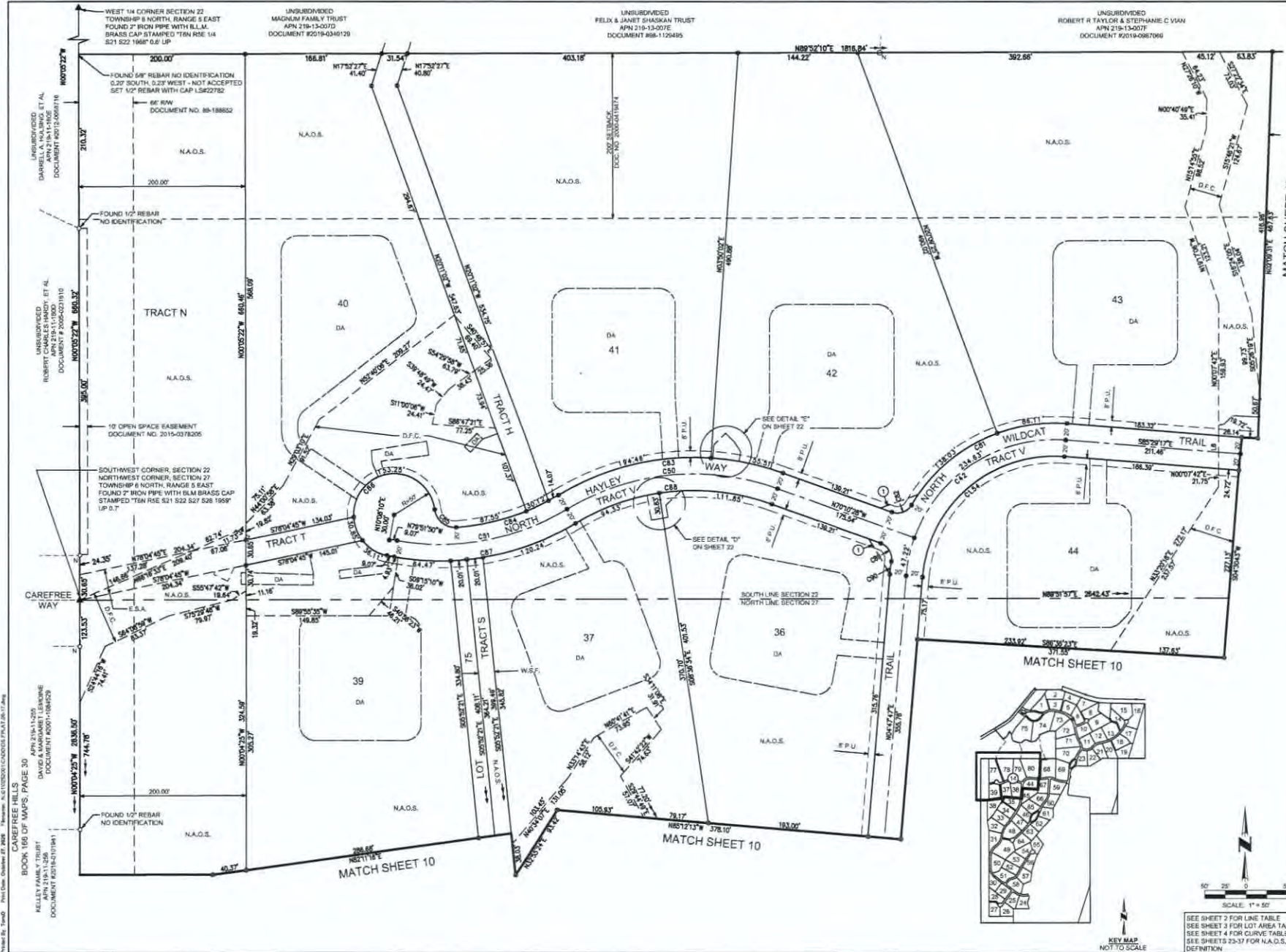


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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA



13 SHEET OF 37
D:\C\Comm\B_HENSLEY
DW Project# 1471-0252001
DW File #



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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA



14 SHEET OF 37

DATE: 11-11-2014
DRAWN BY: B. HENSLEY
CHECKED BY: T. HENSLEY
SCALE: AS SHOWN



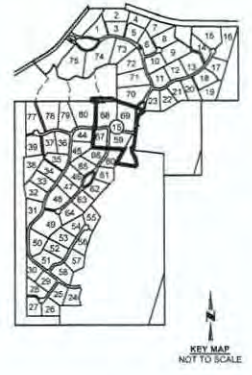
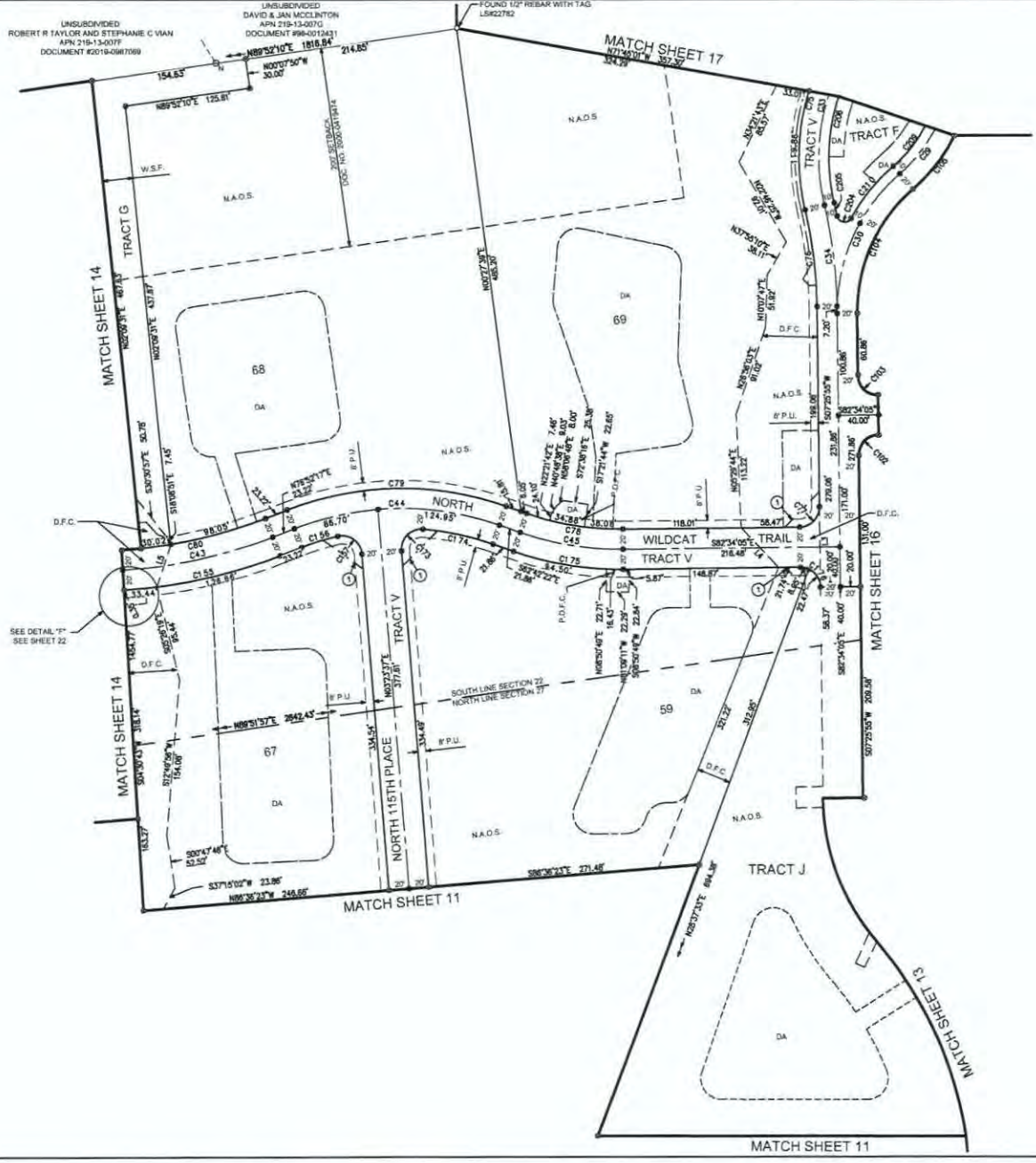
SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 23-37 FOR N.A.O.S. DEFINITION

Printed by: Tomahawk Print Date: October 27, 2016 File Name: S:\170202017\17-0202017\FINAL\FINAL.PLT (6/17/16)

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ROBERT R TAYLOR AND STEPHANE C VAN
APN 218-13-007F
DOCUMENT #2016-0081099

UNSUBDIVIDED
DAVID & JAN MCCLINTON
APN 218-13-007G
DOCUMENT #98-0012431

FOUND 1/2" REBAR WITH TAG
L5622782



SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 20-37 FOR N.A.O.S. DEFINITION



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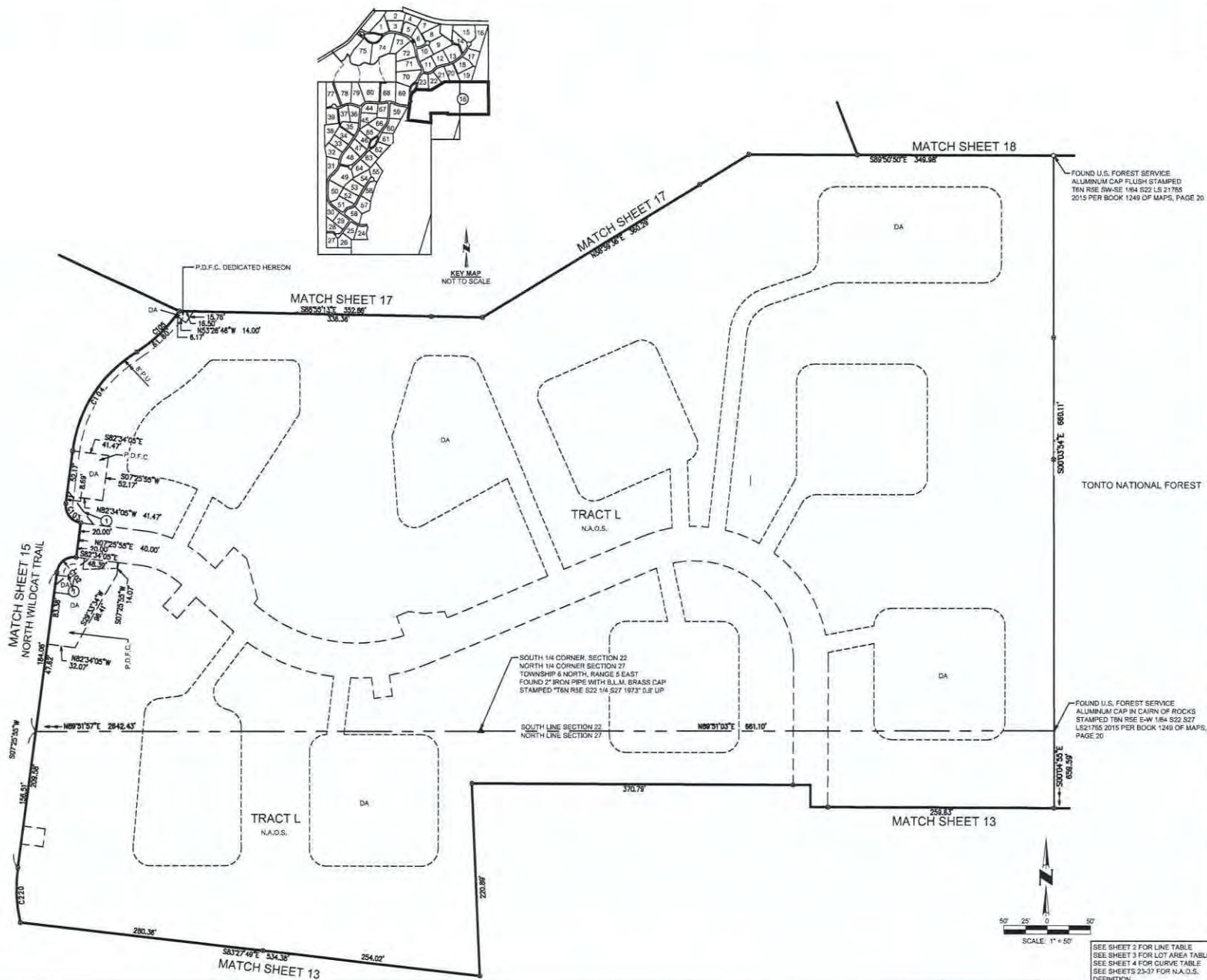


15 SHEET
OF 37

CVL Contact: B. HENSLEY
CVL Project #: 1-01-0252001
CVL File #:

876-20-3 1-PP-2019 17-ZN-2014

Printed On: 10/10/2019 10:00:00 AM
Plot Date: October 07, 2019
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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA

16 SHEET OF 37
DRAWN BY: B. HENSLEY
CHK'D BY: B. HENSLEY
DATE: 10/07/2019
FILE: 17-PP-3

876-20-3 1-PP-2019 17-ZN-2014



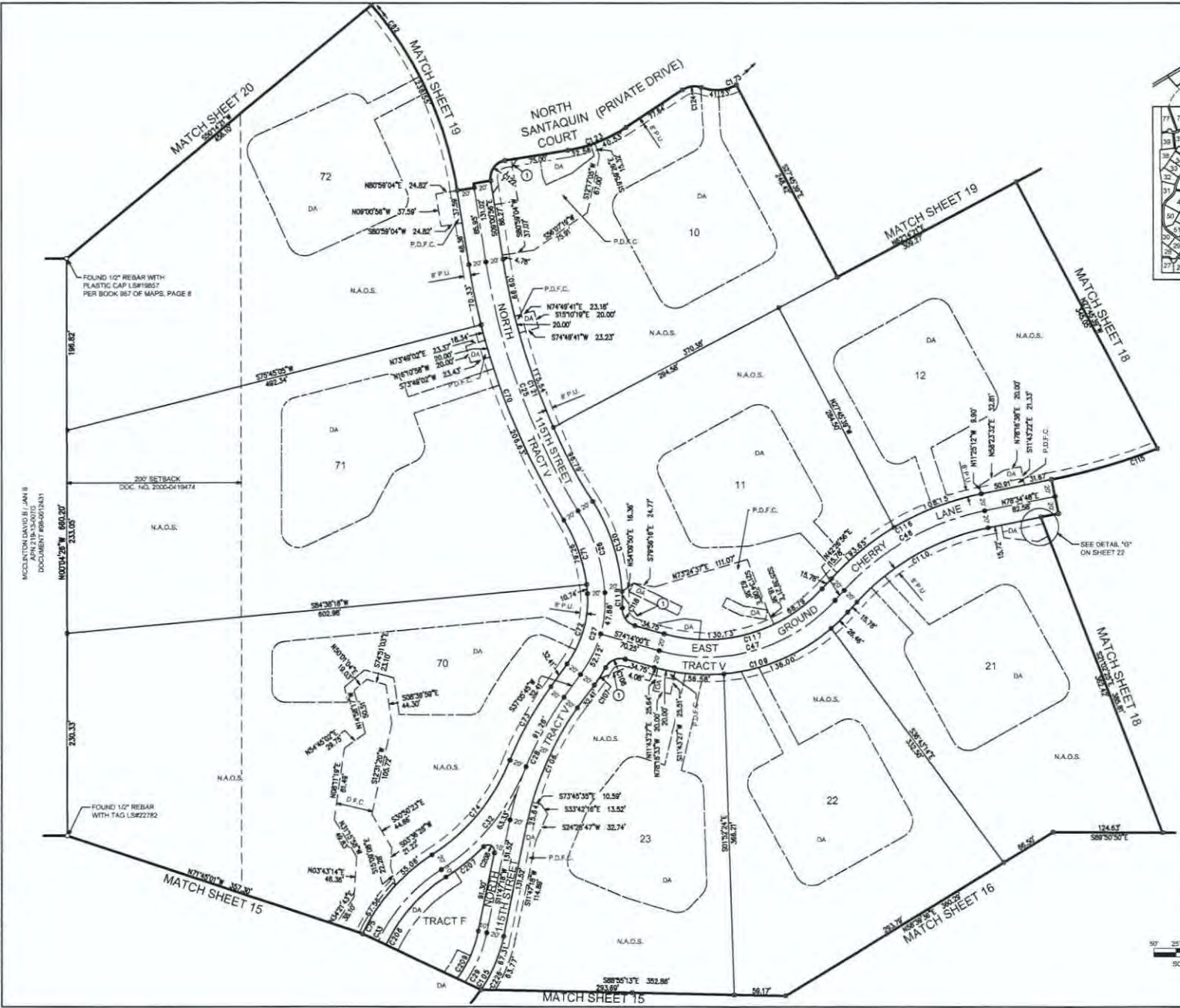
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FINAL PLAT WILDCAT HILL SCOTTSDALE, ARIZONA



17 SHEET OF 37
CIVIL ENGINEER
CIVIL NUMBER: 1411-0252001
CIVIL FILE #

SEE SHEET 2 FOR LINE TABLE
SEE SHEET 3 FOR LOT AREA TABLE
SEE SHEET 4 FOR CURVE TABLE
SEE SHEETS 23-37 FOR N.A.O.S. DEFINITION



MCCLINTON DAVIS II, JAN 8
APPLICANT FOR RECORDATION
DOCUMENT 2007012617

FOUND 1/2" REBAR WITH
PLASTIC CAP 1.58119857
PER BOOK 167 OF MAPS, PAGE 8

200 SETBACK
DOC. NO. 2000-0419474

N.A.O.S.

FOUND 1/2" REBAR
WITH TAG 1.5822182

MATCH SHEET 15

MATCH SHEET 20

MATCH SHEET 19

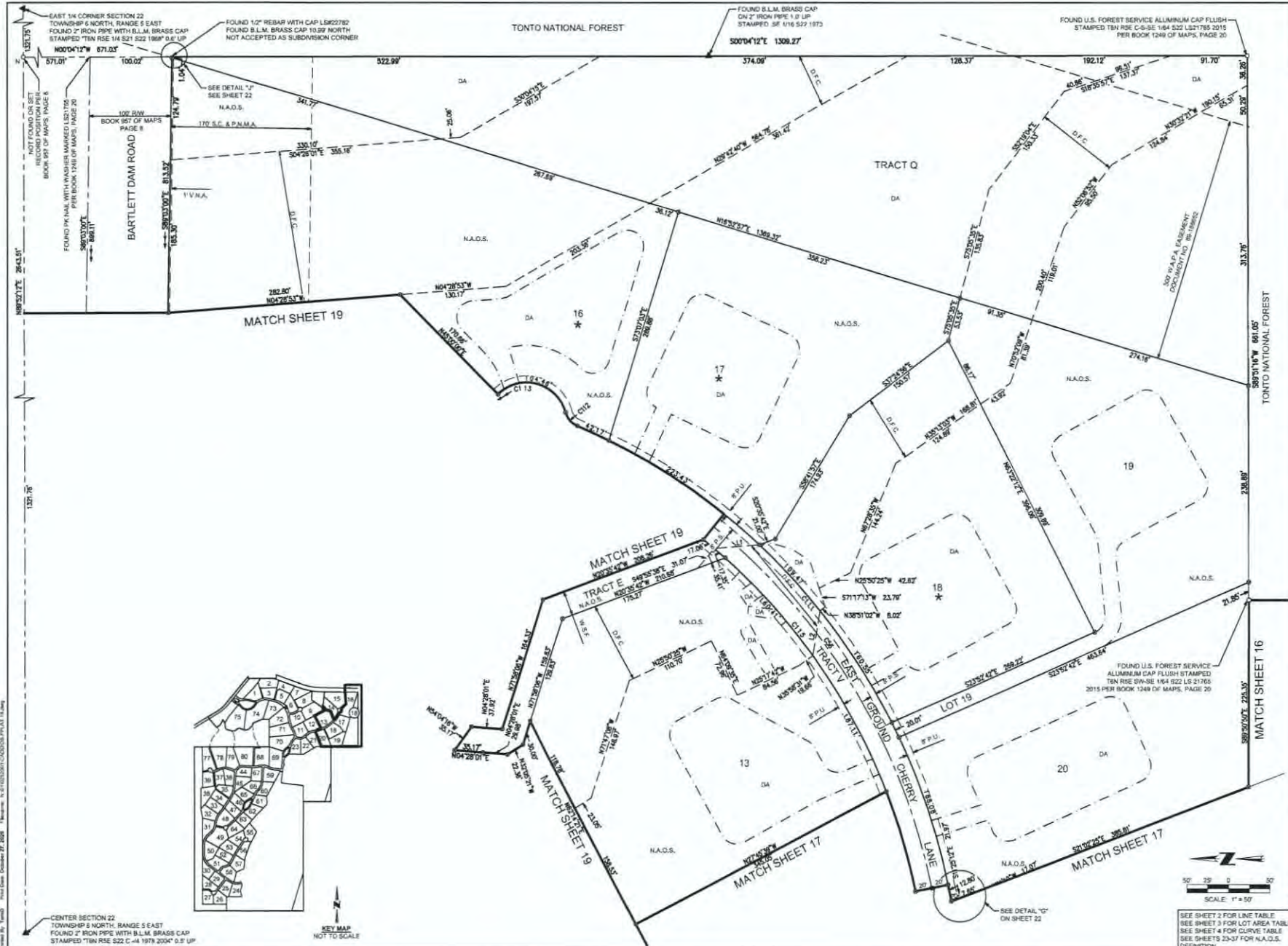
MATCH SHEET 19

MATCH SHEET 18

MATCH SHEET 18

MATCH SHEET 16

MATCH SHEET 15



Issued Date: October 27, 2015
 Prepared by: C:\GIS\2015\10272015\10272015.dwg
 Drawn by: TML



CENTER SECTION 22
 TOWNSHIP 6 NORTH, RANGE 5 EAST
 FOUND 2" IRON PIPE WITH B.L.M. BRASS CAP
 STAMPED T1N R5E 22E G-4 1979 2004 0.5" UP

KEY MAP
 NOT TO SCALE



SEE SHEET 2 FOR LINE TABLE
 SEE SHEET 3 FOR LOT AREA TABLE
 SEE SHEET 4 FOR CURVE TABLE
 SEE SHEETS 23-37 FOR N.A.O.S. DEFINITION

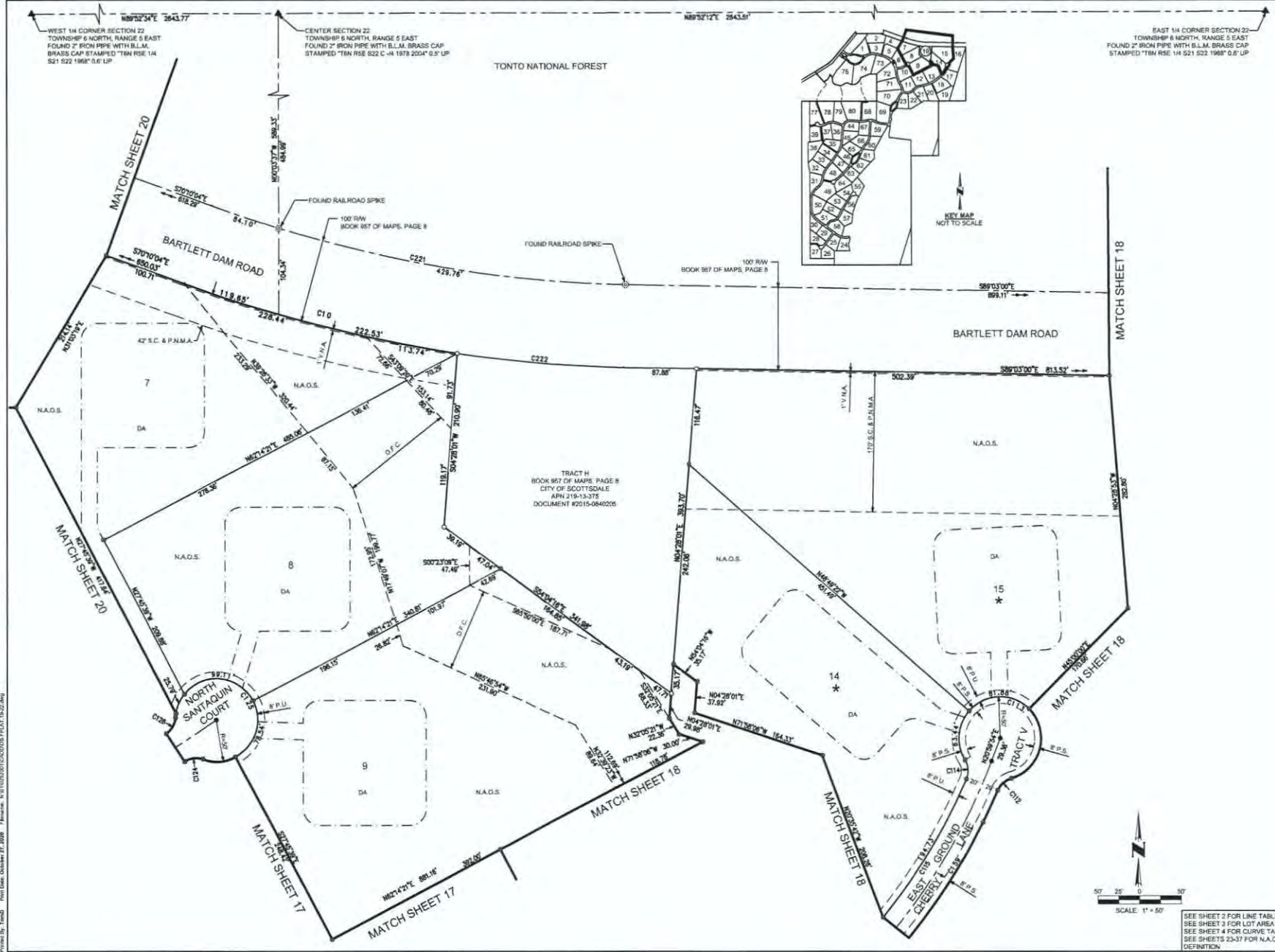


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 FINAL PLAT
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 SCOTTSDALE, ARIZONA

18 SHEET OF 37
 CML Company: B. HENSLEY
 CML Project #: 1407-0252001
 Date: 10/27/15

876-20-3 1-PP-2019 17-ZN-2014



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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA

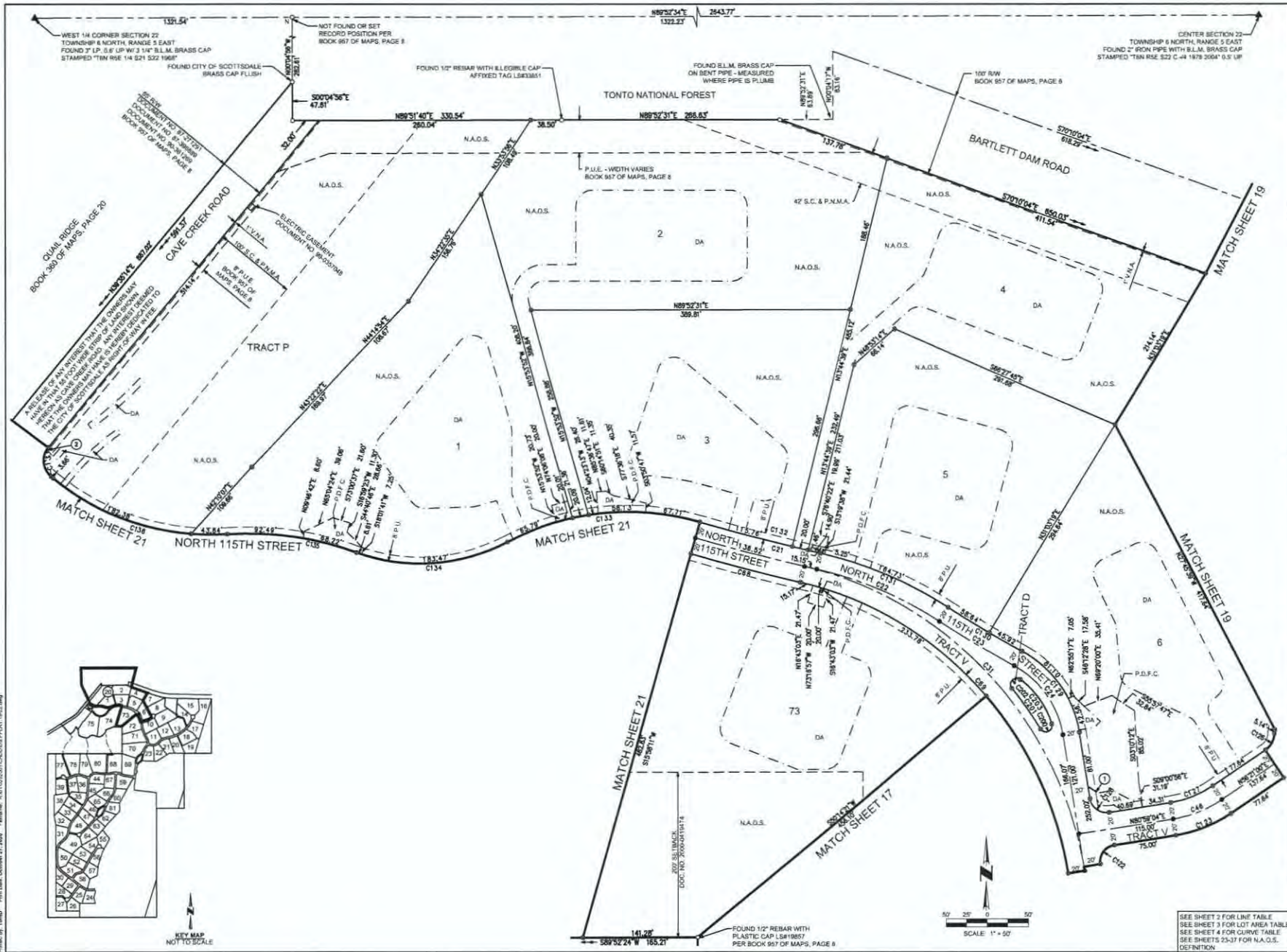


19 SHEET OF 37
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CEN. Permit #: 1491-0255001
CEN. File #:

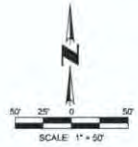
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KEY MAP NOT TO SCALE



SEE SHEET 2 FOR LINE TABLE
 SEE SHEET 3 FOR LOT AREA TABLE
 SEE SHEET 4 FOR CURVE TABLE
 SEE SHEETS 25-37 FOR N.A.O.S. DEFINITION



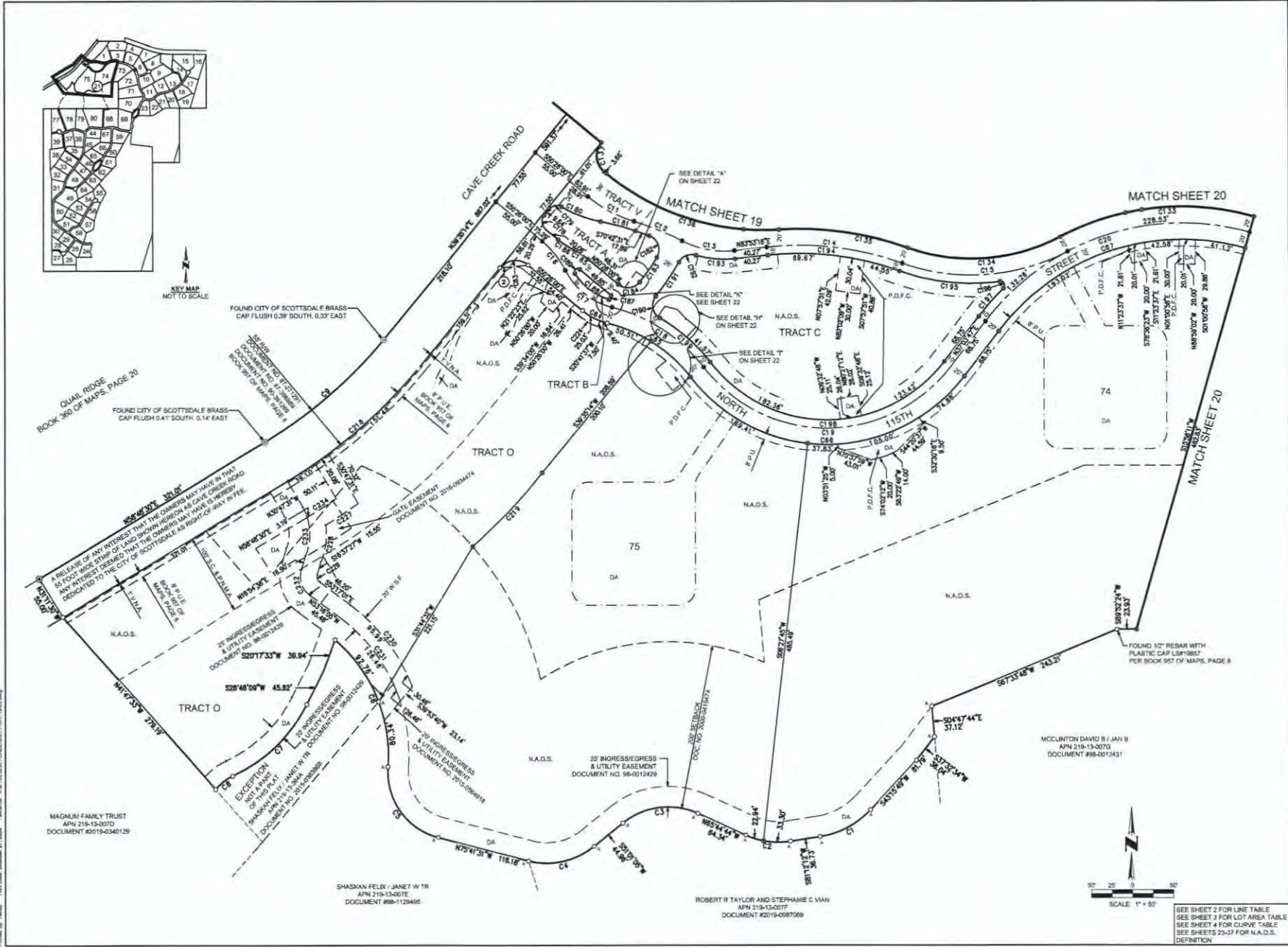
Coe & Van Loo Consultants, Inc.

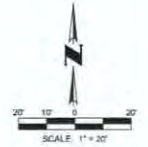
FINAL PLAT
 WILDCAT HILL
 SCOTTSDALE, ARIZONA



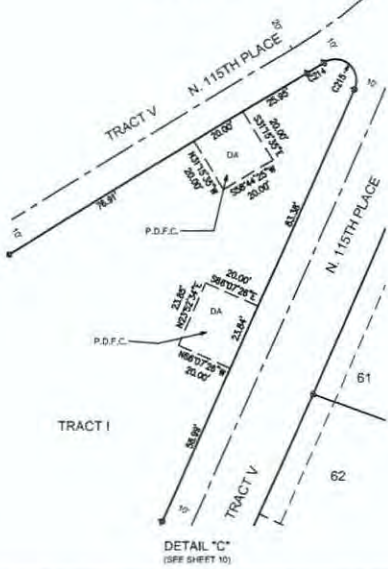
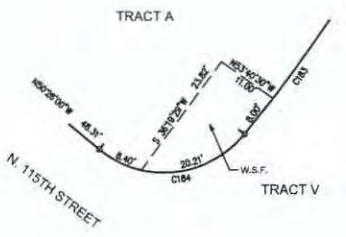
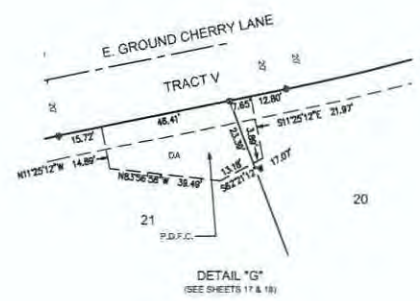
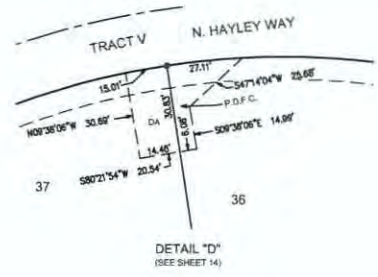
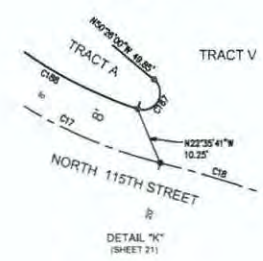
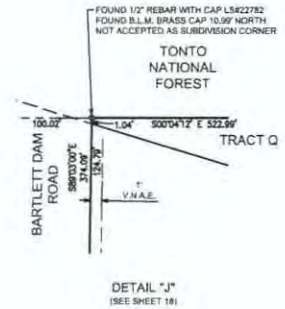
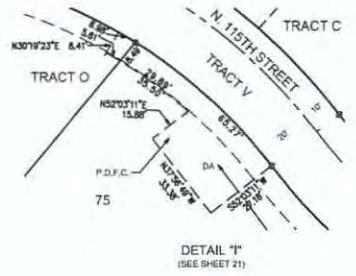
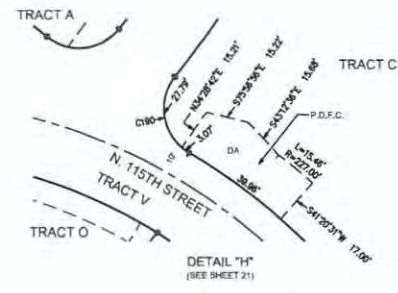
20 SHEET OF 37
 E.L. HENSLEY
 CIVIL ENGINEER
 License # 1-01-0252001
 CIVIL PE

876-20-3 1-PP-2019 17-ZN-2014

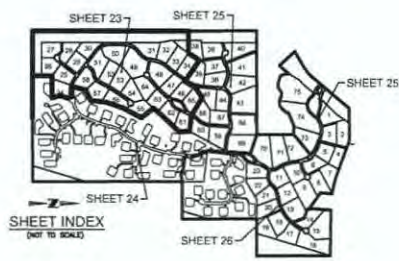
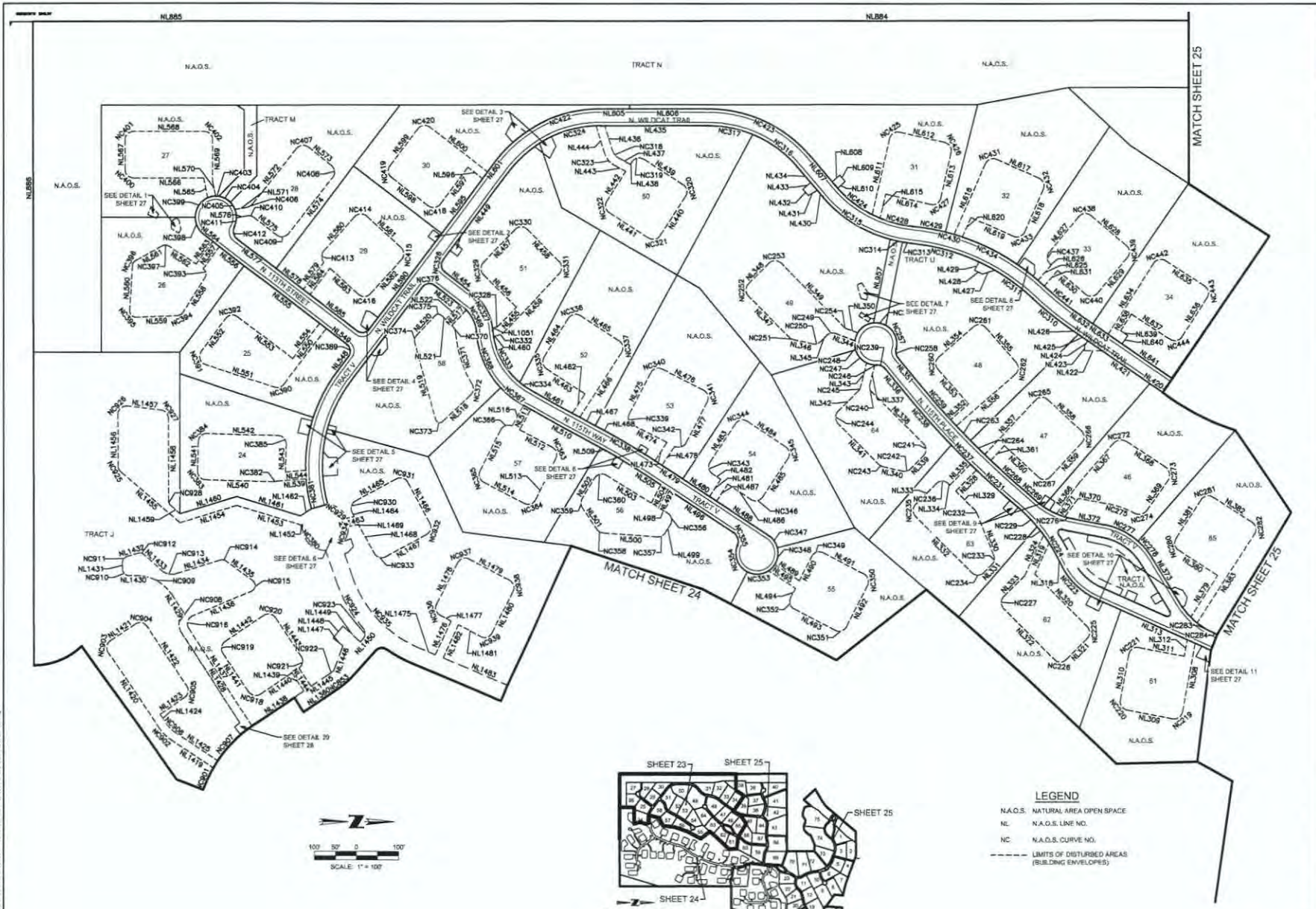




SEE SHEET 3 FOR LINE TABLE
 SEE SHEET 3 FOR LOT AREA TABLE
 SEE SHEET 4 FOR CURVE TABLE
 SEE SHEETS 23-37 FOR N.A.D.S. DEFINITION

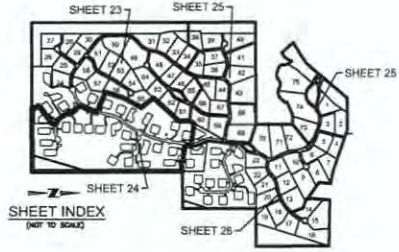


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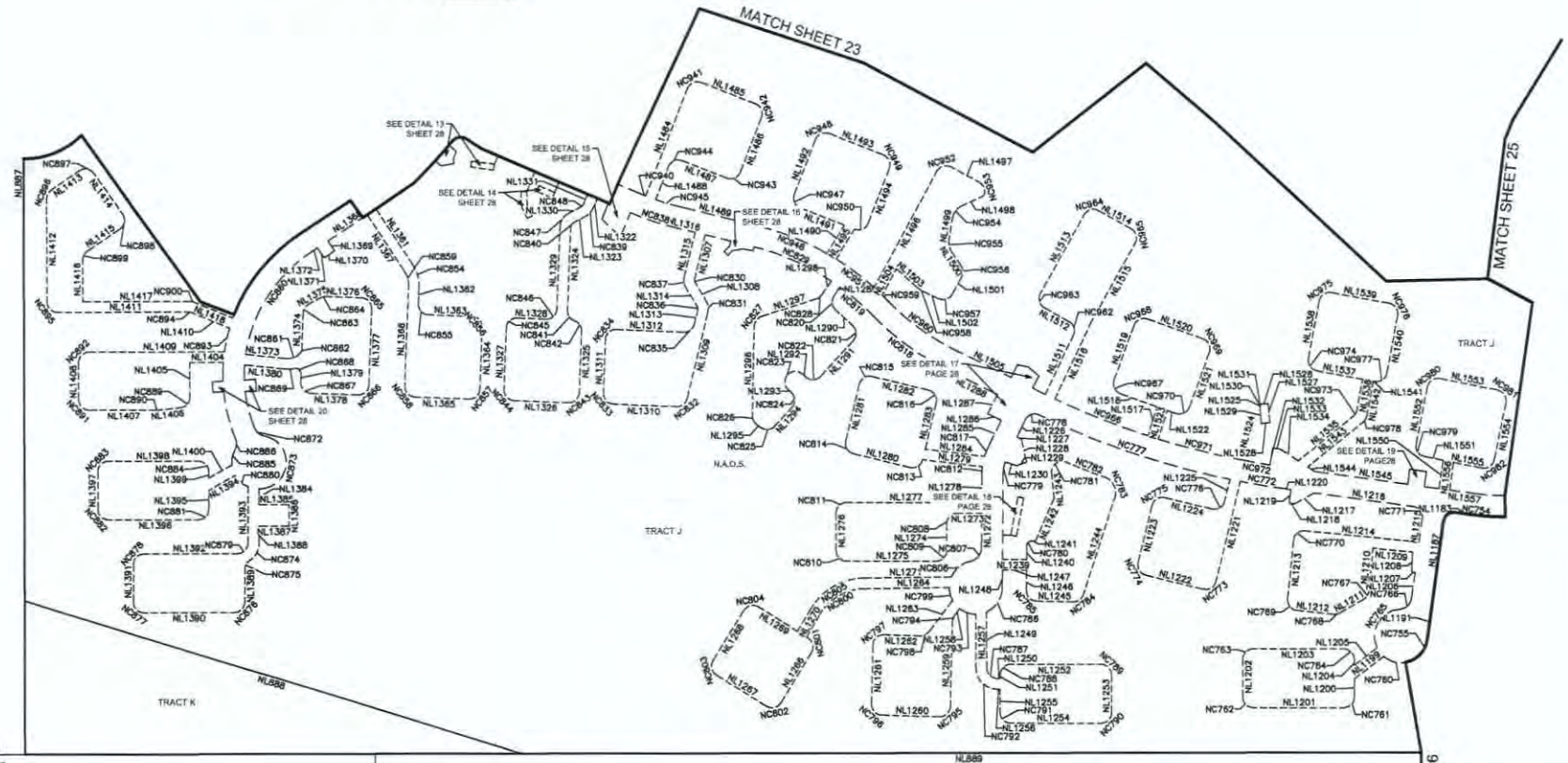
LEGEND
 N.A.O.S. NATURAL AREA OPEN SPACE
 NL N.A.O.S. LINE NO.
 NC N.A.O.S. CURVE NO.
 - - - LIMITS OF DISTURBED AREAS (BUILDING ENVELOPES)

SEE SHEETS 27-30 FOR N.A.O.S. DETAILS
 SEE SHEETS 31-33 FOR N.A.O.S. LINE TABLE
 SEE SHEETS 34-37 FOR N.A.O.S. CURVE TABLE



LEGEND

N.A.O.S. NATURAL AREA OPEN SPACE
 NL N.A.O.S. LINE NO.
 NC N.A.O.S. CURVE NO.
 --- LIMITS OF DISTURBED AREAS (BUILDING ENVELOPES)



Coe & Van Loo Consultants, Inc.

FINAL PLAT
WILDCAT HILL
 SCOTTSDALE, ARIZONA



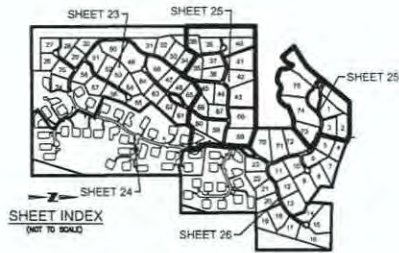
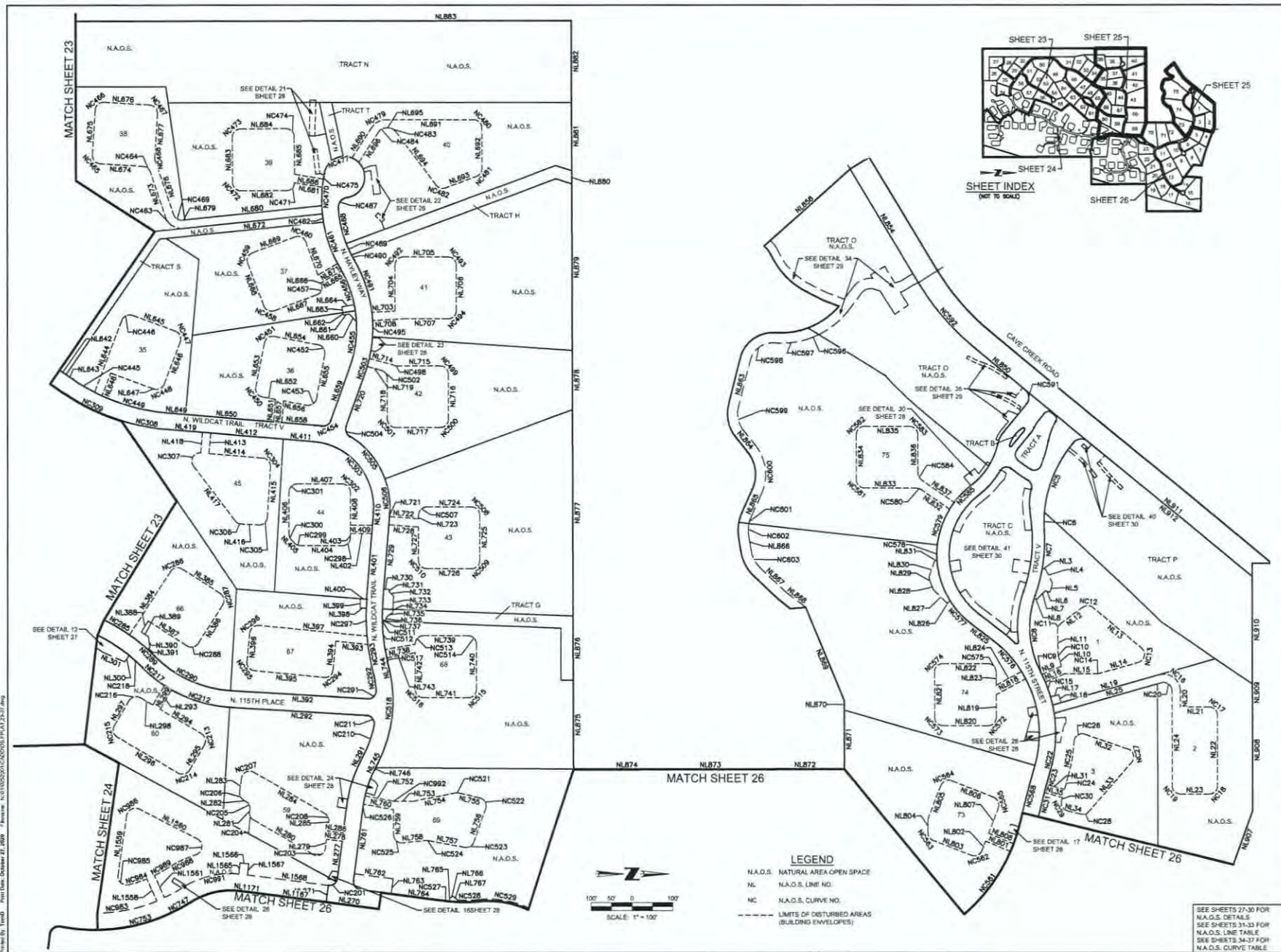
SEE SHEETS 27-30 FOR N.A.O.S. DETAILS
 SEE SHEETS 21-23 FOR N.A.O.S. LINE TABLE
 SEE SHEETS 34-37 FOR N.A.O.S. CURVE TABLE

24 SHEET OF 37
 Civil Engineer: B. HENSLEY
 Civil Engineer: TADY-0253001
 Civil Engineer: [Signature]

Printed On: Thermal Paper
 Plot Date: October 22, 2018
 File Name: N:\PROJECTS\CA\2018\FINAL\24-37.dwg

875-20-3 1-PP-2019 17-ZN-2014

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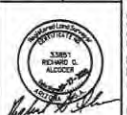
FINAL PLAT
WILDCAT HILL
 SCOTTSDALE, ARIZONA



25 SHEET OF 37
 Date: 10/21/2019
 Drawn: B. HENSLEY
 Check: B. HENSLEY
 Title: 10/21/2019

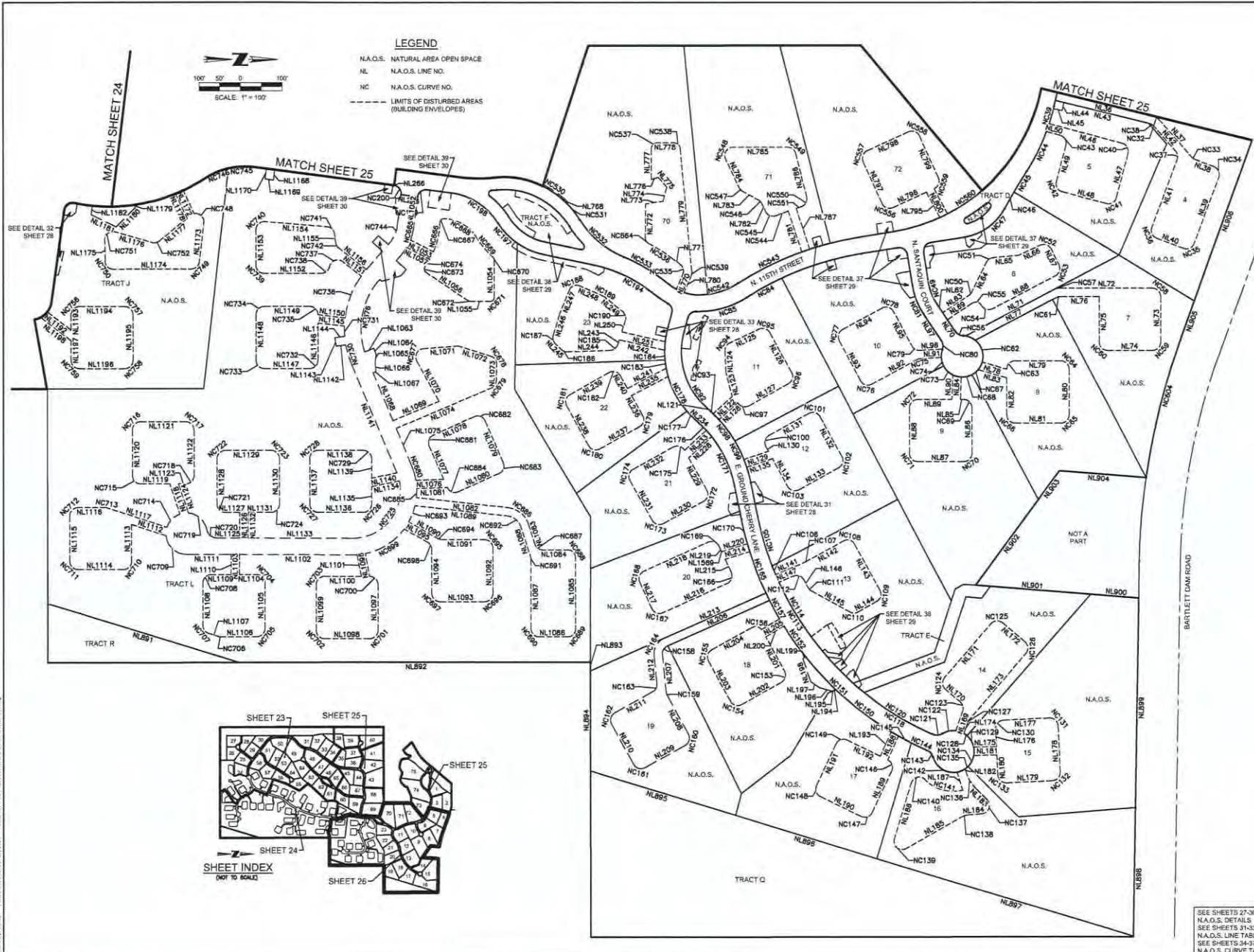
876-20-3 1-PP-2019 17-ZN-2014

SEE SHEETS 27-30 FOR N.A.O.S. DETAILS
 SEE SHEETS 31-33 FOR N.A.O.S. LINE TABLE
 SEE SHEETS 34-37 FOR N.A.O.S. CURVE TABLE



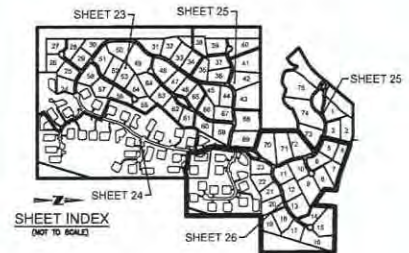
26 SHEET OF 37
DATE: 10/22/2019
DRAWN BY: B. HENSLEY
CHECKED BY: B. HENSLEY
DATE: 10/22/2019

SEE SHEETS 27-30 FOR
N.A.O.S. DETAILS
SEE SHEETS 31-33 FOR
N.A.O.S. LINE TABLE
SEE SHEETS 34-37 FOR
N.A.O.S. CURVE TABLE



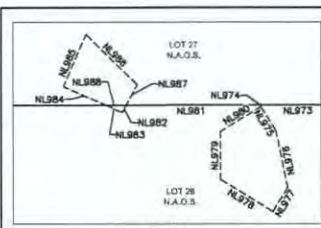
LEGEND

- N.A.O.S. NATURAL AREA OPEN SPACE
- NL N.A.O.S. LINE NO.
- NC N.A.O.S. CURVE NO.
- LIMITS OF DISTURBED AREAS (BUILDING ENVELOPES)

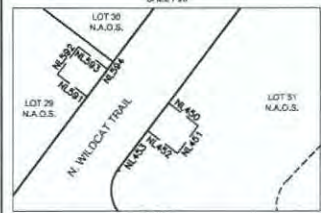


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DETAIL 1 SHEET 23



DETAIL 2 SHEET 23



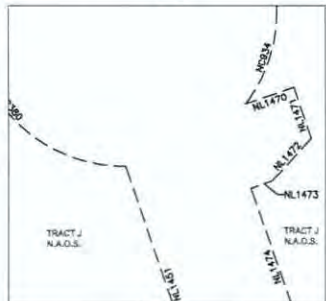
DETAIL 3 SHEET 23



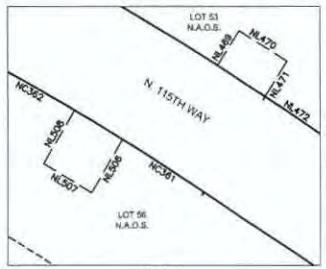
DETAIL 4 SHEET 23



DETAIL 5 SHEET 23



DETAIL 6 SHEET 23



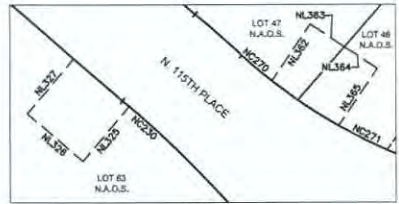
DETAIL 7 SHEET 23



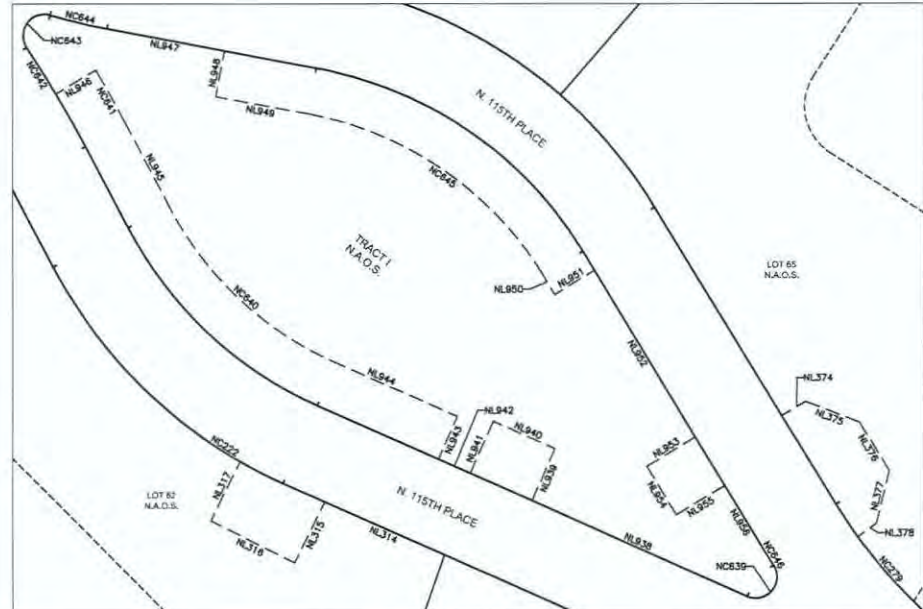
DETAIL 8 SHEET 23



DETAIL 9 SHEET 23



DETAIL 10 SHEET 23



DETAIL 11 SHEET 23



DETAIL 12 SHEETS 23 & 25



LEGEND

- N.A.O.S. NATURAL AREA OPEN SPACE
- N.L. N.A.O.S. LINE NO.
- N.C. N.A.O.S. CURVE NO.
- - - LIMITS OF DISTURBED AREAS (BUILDING ENVELOPES)



Coe & Van Loo Consultants, Inc.

FINAL PLAN
WILDCAT HILL
SCOTTSDALE, ARIZONA



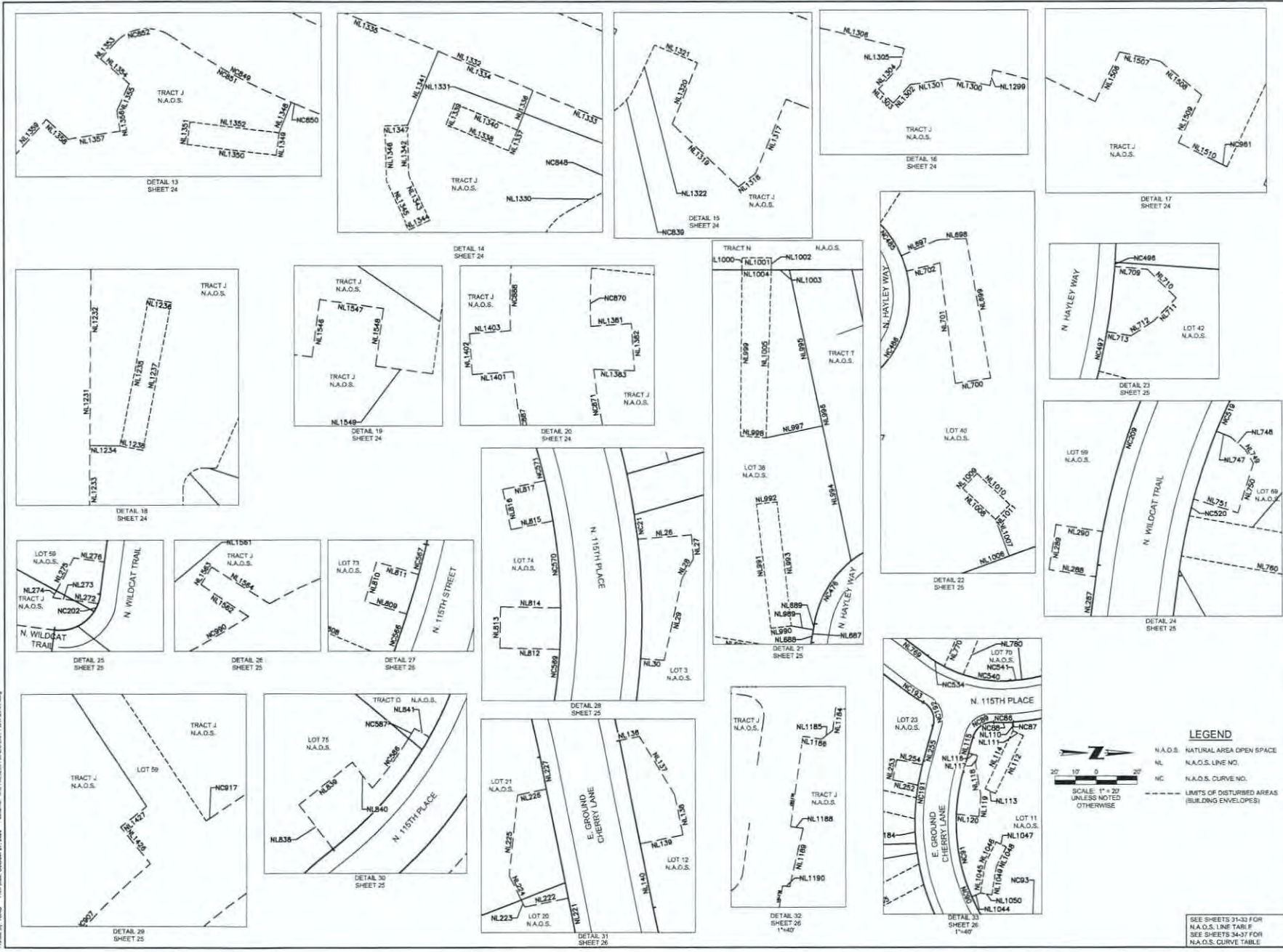
SHEET 27 OF 37

SEE SHEETS 31-30 FOR N.A.O.S. LINE TABLE
SEE SHEETS 34-37 FOR N.A.O.S. CURVE TABLE

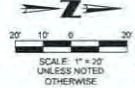
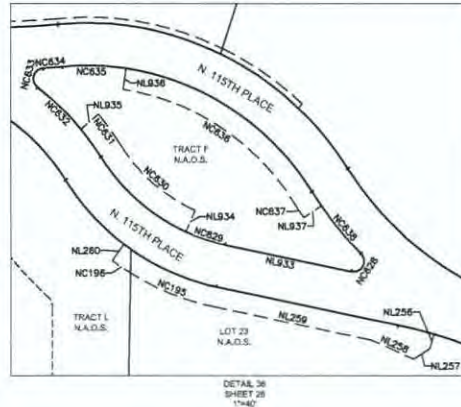
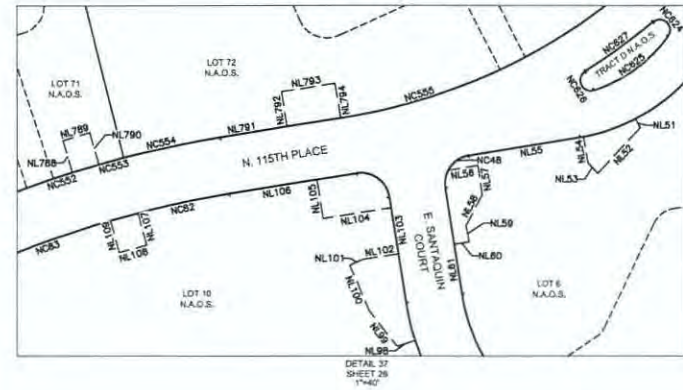
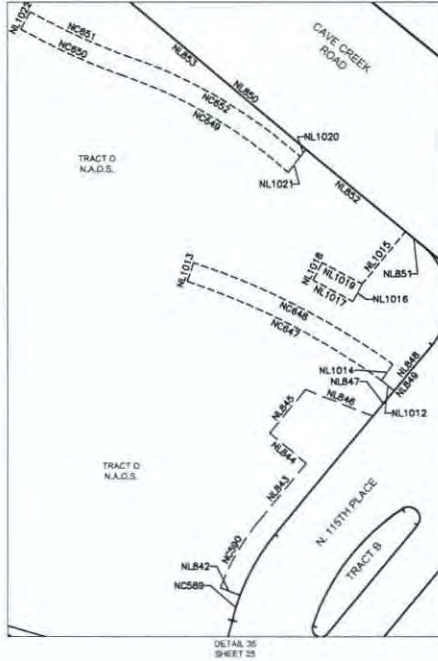
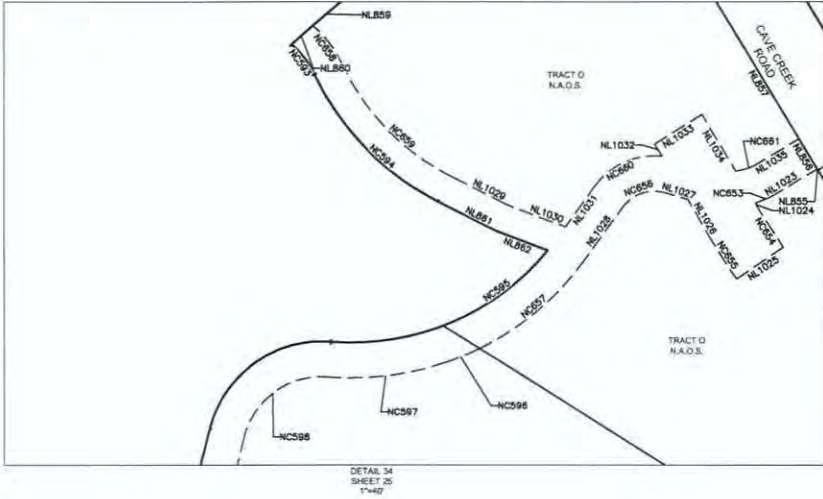
876-20-3 1-PP-2019 17-ZN-2014



SEE SHEETS 31-33 FOR
N.A.O.S. LINE TABLE
SEE SHEETS 34-37 FOR
N.A.O.S. CURVE TABLE



Prepared by: Tommaso Final Date: October 27, 2019 File Name: N:\17050031\COE\CVL\PLAT 28 OF 37.dwg



LEGEND
 N.A.O.S. NATURAL AREA OPEN SPACE
 NL N.A.O.S. LINE NO.
 NC N.A.O.S. CURVE NO.
 --- LIMITS OF DISTURBED AREAS (BUILDING ENVELOPES)



29 SHEET OF 37
 CIVIL ENGINEER B. HENSLY
 C.S. PROJECT # 1451-025001
 C01 File #

SEE SHEETS 31-33 FOR N.A.O.S. LINE TABLE
 SEE SHEETS 34-37 FOR N.A.O.S. CURVE TABLE

Printed By: E:\paul... 11/15/2011 10:00:00 AM

Table with 12 columns: LINE TABLE, NO., LENGTH, BEARING. Contains 1200 rows of data for various line segments.



4550 North 12th Street
Phoenix, AZ 85018
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www.cvl.com

FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA

32 SHEET
OF 37

DATE: 11/15/2011
BY: E:\paul...
CHECKED BY: B. HENSLEY
DATE: 11/15/2011

Coe & Van Loo Consultants, Inc.

876-20-3 1-P-2019 17-ZN-2014

LINE TABLE with columns: NO., LENGTH, BEARING. Rows 1-199.

LINE TABLE with columns: NO., LENGTH, BEARING. Rows 200-399.

LINE TABLE with columns: NO., LENGTH, BEARING. Rows 400-599.

LINE TABLE with columns: NO., LENGTH, BEARING. Rows 600-799.

LINE TABLE with columns: NO., LENGTH, BEARING. Rows 800-999.

LINE TABLE with columns: NO., LENGTH, BEARING. Rows 1000-1199.

LINE TABLE with columns: NO., LENGTH, BEARING. Rows 1200-1399.

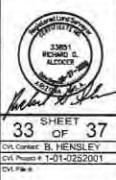


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FINAL PLAT WILDCAT HILL SCOTTSDALE, ARIZONA

876-20-3 1-PP-2019 17-ZN-2014



SEE SHEETS 31-33 FOR MAJOR LINE TABLE AND MAJOR CURVE TABLE SHEET 33 OF 37

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 100 rows of curve data.

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 100 rows of curve data.

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 100 rows of curve data.

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 100 rows of curve data.



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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA

34 SHEET OF 37
DATE: 10/07/08
BY: B. HENSLEY
CHECKED: J. HENSLEY
SCALE: AS SHOWN
DATE: 10/07/08

Coe & Van Loo Consultants, Inc.

875-20-3 1-PP-2019 17-ZN-2014

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 35 curve data entries.

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 35 curve data entries.

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 35 curve data entries.

Curve Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains 35 curve data entries.



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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA



35 SHEET OF 37
CONFORM: B. HENSLEY
CSL Project #: 1431-025001
CML File #:

Print Date: October 27, 2025 Run Date: N:\V\2025\02\02\02\FINAL\25257.dwg

Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 138.03 to 517.57.

Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 137.42 to 72.08.

Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 26.18 to 42.24.

Table with columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 10.21 to 31.42.



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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA

Coe & Van Loo Consultants, Inc.

3881
ROND
PHOENIX, AZ

SEE SHEET 31-03 FOR
NAC&L LINE TABLE
N MAGS CURVE TABLE
36 SHEET
OF 37
DWG: CONNOR B. HENSLEY
DATE PLOTTED: 10/27/2025
DWG FILE

876-20-3 1-PP-2019 17-ZN-2014

Table with 6 columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 17151-2507.

Table with 6 columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 17151-2508.

Table with 6 columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 17151-2509.

Table with 6 columns: NO., ARC, RADIUS, DELTA, TANGENT, CHORD, CHORD-BEARING. Contains curve data for stations 17151-2510.



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FINAL PLAT
WILDCAT HILL
SCOTTSDALE, ARIZONA

876-20-3 1-PP-2019 17-ZN-2014



37 SHEET OF 37
SEE SHEETS 31-33 FOR
N.A.D.S. LINE TABLE
SEE SHEETS 34-37 FOR
N.A.D.S. CURVE TABLE

DR. CONNOR B. HENSLEY
Civil Engineer No. 1541-0255001
City of Phoenix

PRELIMINARY PLAT FOR WILDCAT HILL KEY MAP

OWNER:
WILDCAT PARTNERS, LLC
4400 E CHAMBERLAIN CIRCLE
PHOENIX, AZ 85044
PHONE: (602) 944-2444

PREPARED BY:
CVL CONSULTANTS, INC.
4320 N. 115TH STREET
PHOENIX, AZ 85044
PHONE: (602) 944-2444
CONTACT: BRIAN HEDGECOCK

LEGAL DESCRIPTION:
A PARCEL OF LAND LOCATED IN SECTIONS
22 AND 27, TOWNSHIP 6 NORTH, RANGE 9
EAST, OF THE DEER AND HAYT RIVER BASIN
LAND ACQUISITION, MARICOPA COUNTY,
ARIZONA

- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY BASEMENT
 - PAVEMENT
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY BASEMENT
 - VEHICULAR NON-ADJACENT EASEMENT
 - PUBLIC NON-ADJACENT ACCESS EASEMENT
 - EASEMENT WITH 50' BUFFER
 - FRONT YARD
 - WATER VALVE
 - RIGHT OF WAY WIDTH
 - DRAINAGE EASEMENT
 - CONSTRUCTION ENVELOPE
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - BENCHMARK ELEVATION
 - PRELIMINARY ELEVATION
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - 10 YEAR FLOW RATE
 - BRIDGE & SHOULDER CLUSTERS THAT WITH C.B.L. DESIGN REC.
 - BRIDGE & SHOULDER CLUSTERS THAT WITH C.B.L. DESIGN REC. - CONTOUR ELEVATION

- SHEET INDEX**
- 1. COVER SHEET
 - 2. KEY MAP
 - 3. SITE CROSS SECTIONS
 - 4. BOUNDARY MAP
 - 5. PHASED PLAN
 - 6-27. PLAN SHEETS
 - 28. MASTER UTILITY

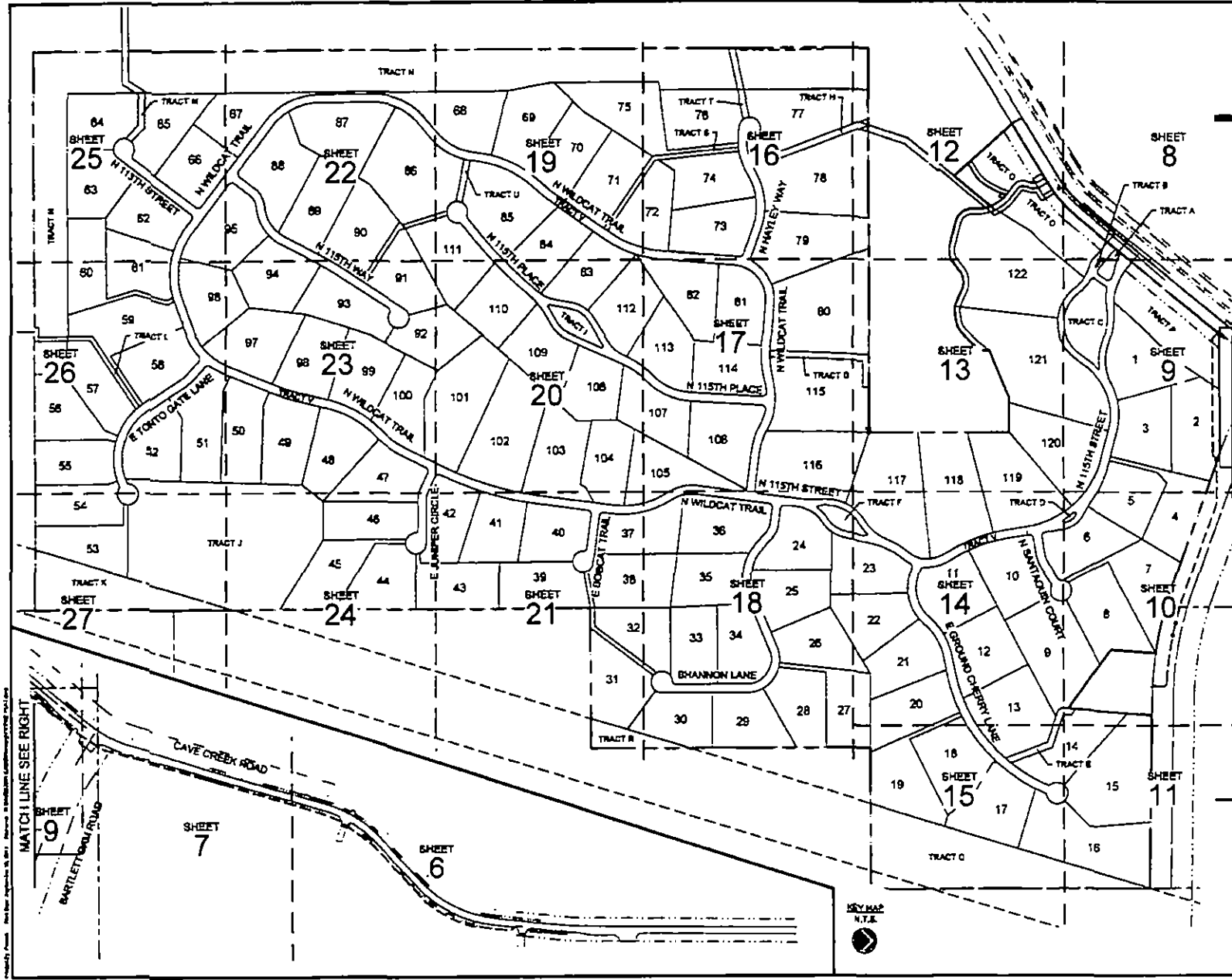


CVL CONSULTANTS, INC.
EXPERIENCE 60 YEARS

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PHOENIX, AZ 85044
PHONE: (602) 944-2444
FAX: (602) 944-2444
WEB: www.cvl.com

SHEET NUMBER
2 of 28

DATE: 09/13/2018

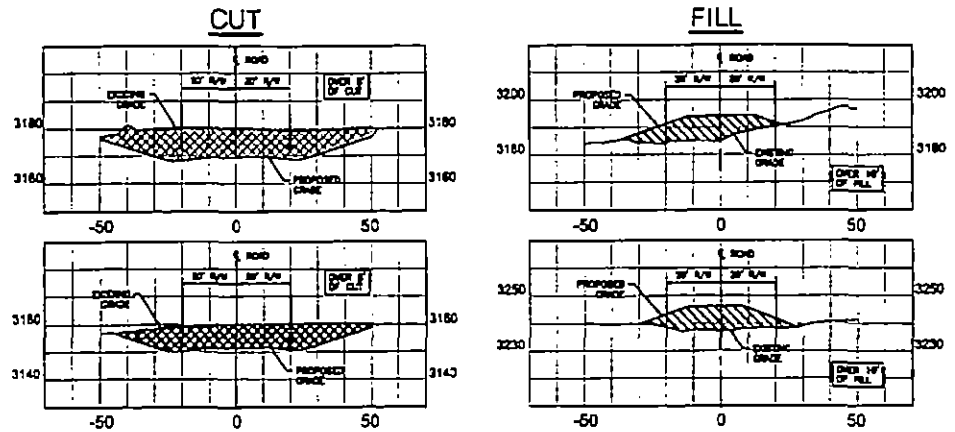
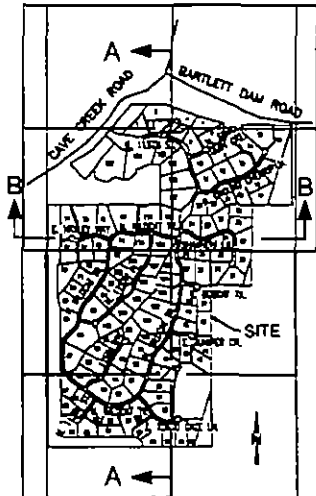
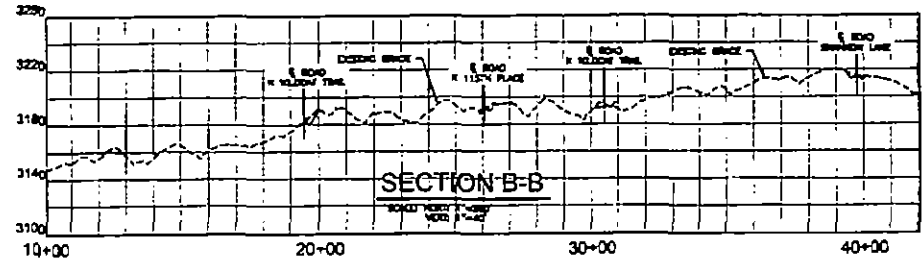
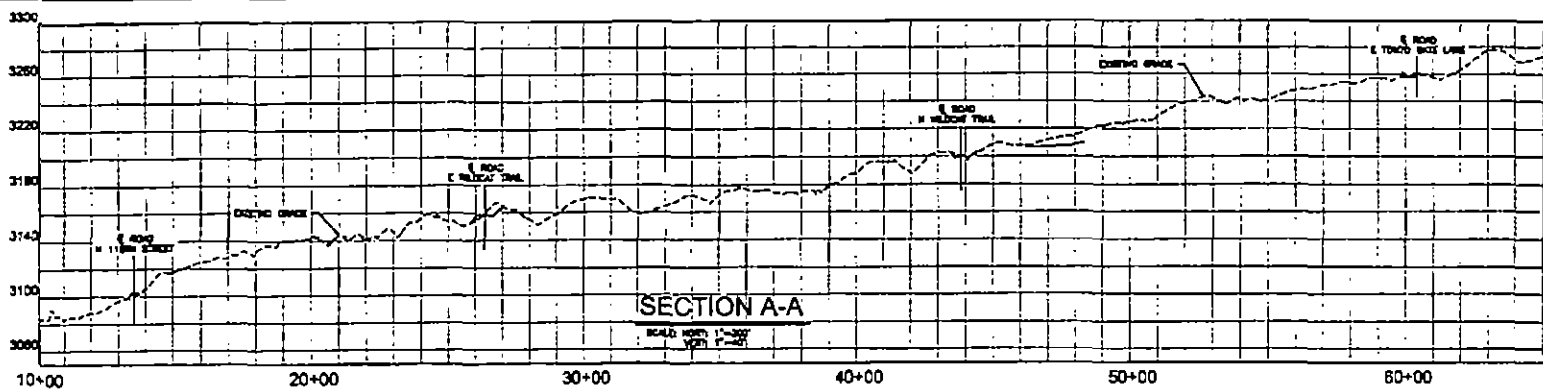


MATCH LINE SEE RIGHT

MATCH LINE SEE LEFT



PRELIMINARY
PLAT FOR
WILDCAT HILL



TYPICAL ROAD SECTIONS



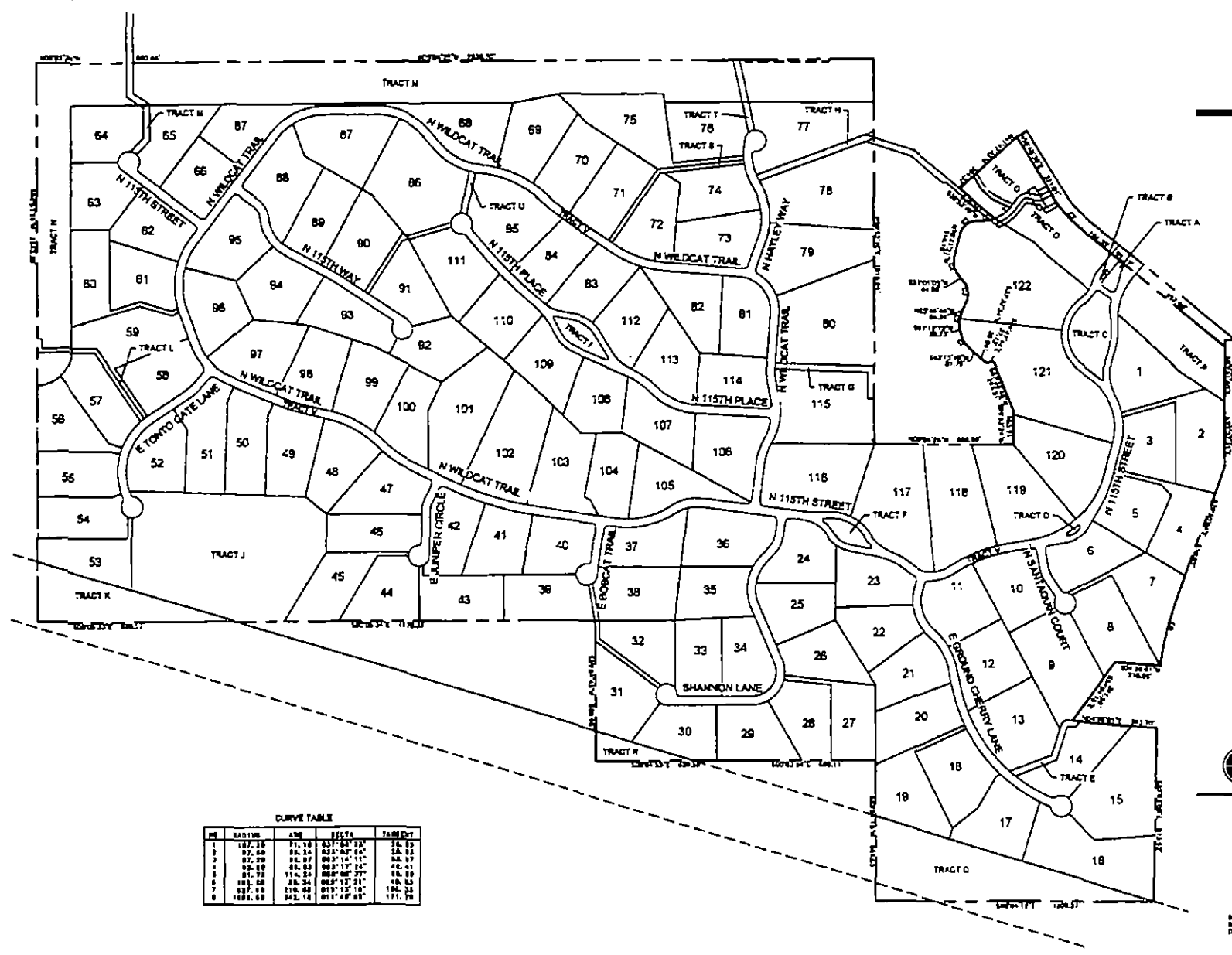
SEAL PREPARED BY
MICHAEL W. WILSON
ENGINEER



PROJECT NUMBER
3 of 28

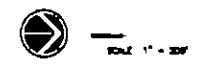
DATE: 09/13/2019

PRELIMINARY
 PLAT FOR
 WILDCAT HILL
 BOUNDARY PLAN



CURVE TABLE

| NO. | RADIUS | ARC | CHORD | TANGENT |
|-----|--------|-------|------------|---------|
| 1 | 187.26 | 71.18 | 637.84 23' | 26.83 |
| 2 | 97.00 | 38.34 | 619.87 04' | 28.93 |
| 3 | 87.00 | 34.87 | 603.14 11' | 28.97 |
| 4 | 95.00 | 38.83 | 603.17 24' | 28.91 |
| 5 | 81.74 | 31.25 | 600.88 27' | 28.89 |
| 6 | 103.00 | 38.34 | 603.17 21' | 28.83 |
| 7 | 137.48 | 50.68 | 617.13 19' | 28.82 |
| 8 | 128.68 | 48.18 | 611.49 07' | 27.79 |



ICVL
 ENGINEERS
 6000 15th Street
 Phoenix, AZ 85004
 PHONE: 602.944.8821
 FAX: 602.944.8828
 WEB: www.icvl.com

SHEET NUMBER
4 of 28

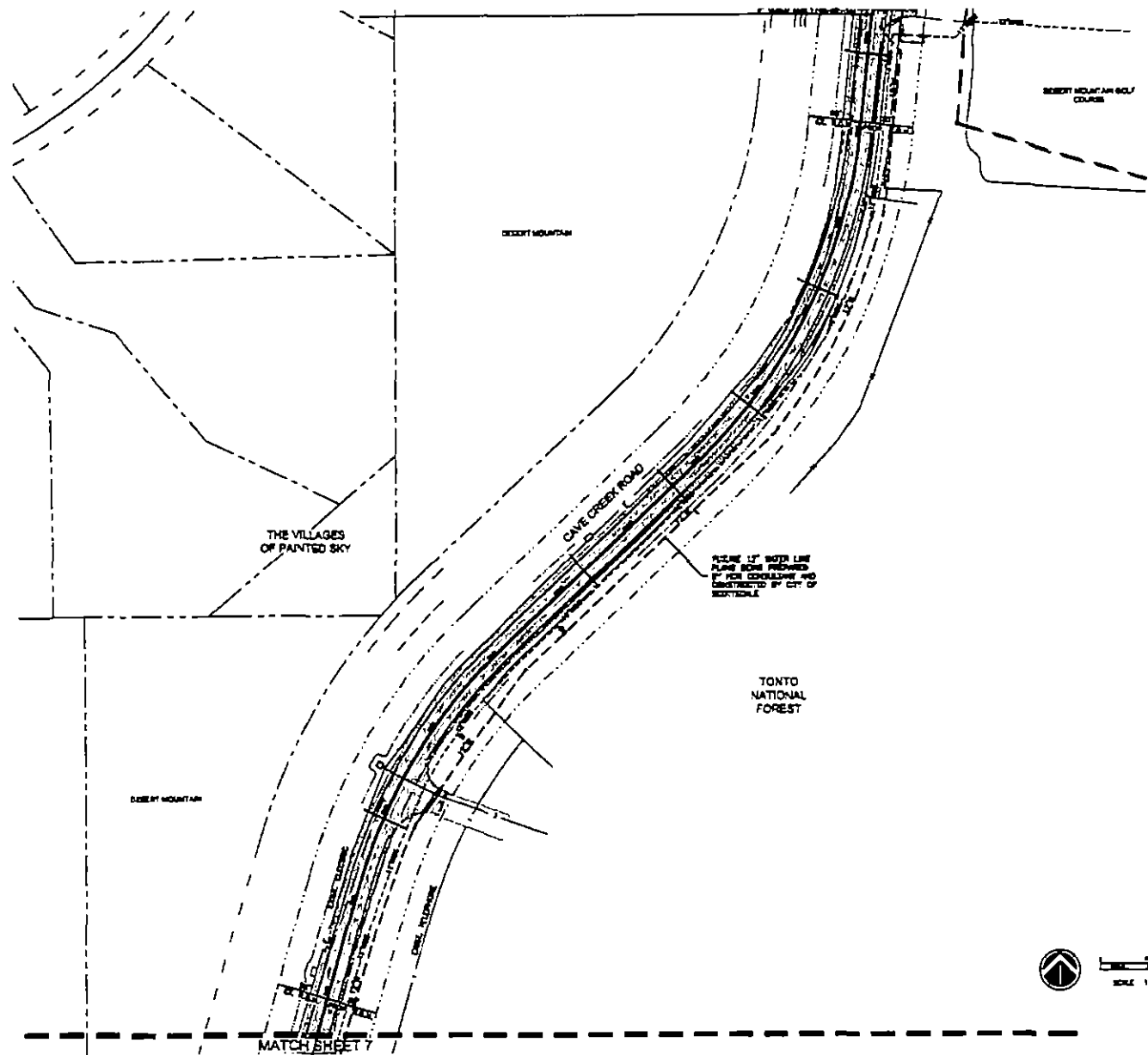
PRELIMINARY PLAT AND RECORDS
 09/13/2019

10/13/2019 10:00 AM - 10/13/2019 10:00 AM - 10/13/2019 10:00 AM - 10/13/2019 10:00 AM

PRELIMINARY PLAT FOR WILDCAT HILL



- LEGEND**
- EDC OF HWY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - F F L L E
 - ROAD CENTER LINE
 - SEWERAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - VEHICULAR HOV-2 EASEMENT
 - PUBLIC HOV-2 ACCESS EASEMENT
 - SEWER BRANCHES WITH 18" MANHOLE
 - HYDRANT
 - WATER VALVE
 - RIGHT OF WAY SETBACK
 - SIGHT TRIANGLE EASEMENT
 - CONSTRUCTION DEVELOPE
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - FINISH ELEVATION
 - PAVEMENT ELEVATION
 - STORM DRAIN
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - 10 YEAR FLOW RATE
 - SINGLE & SHOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN AGES
 - SINGLE & SHOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN AGES
 - SPREADER
 - SPREADER
- SPREADER WITH 18" A-DIMENSIONAL SLOPE NOT GREATER THAN 3% AND A LENGTH OF 20' SHALL BE COMPACTED TO 3% TO A DEPTH OF 1 FOOT.



STATE ENGINEER - ARIZONA
 NUMBER 02
 EXPIRES 02

ICVL
 6000 WEST 10TH AVENUE
 SCOTTSDALE, AZ 85261
 PHONE 480.340.1000
 FAX 480.340.1001
 WWW.ICVL.COM

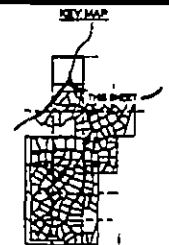
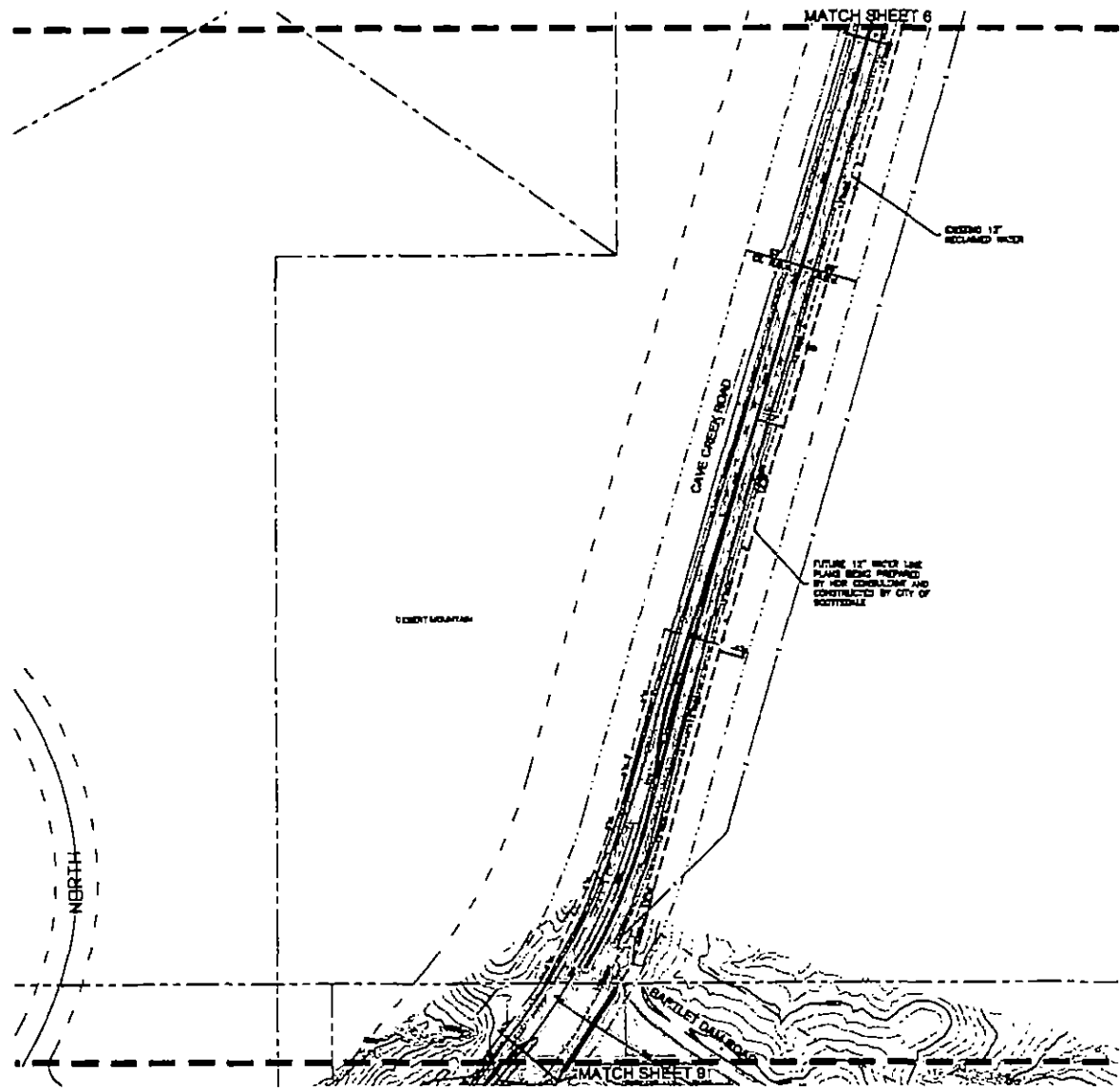
SHEET NUMBER
6 of 28

DATE: 09/13/2019

Prepared by: [Name] Date: 09/13/2019

Checked by: [Name] Date: 09/13/2019

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

| | |
|--|--|
| | RIGHT-OF-WAY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | E.P.A.E. |
| | ROAD CENTER LINE |
| | DRAINAGE EASEMENT |
| | PUBLIC UTILITY EASEMENT |
| | VEHICULAR NON-ACCESS EASEMENT |
| | PUBLIC NON-ACCESS EASEMENT |
| | SEWER MANHOLE WITH MAN NUMBER |
| | WATER VALVE |
| | RIGHT OF WAY WIDTH |
| | RIGHT VELOCITY EASEMENT |
| | DEMOLITION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | MAINT. ELEVATION |
| | PAVEMENT ELEVATION |
| | STORM DRAIN |
| | WATER SURFACE ELEVATION |
| | 100 YEAR FLOOD RATE |
| | SINGLE & BOLLARD CLUSTERS THAT COMPLY WITH C.O.B. DESIGN AND |
| | SINGLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH C.O.B. DESIGN AND |
| | CONTOUR ELEVATION |
| | SPHERE INDICATED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 5%. INDICATED PATHS SHALL CONSIST OF 50% THE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT. |

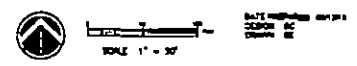
ICV
INTEGRATED CIVIL ENGINEERS
60 YEARS OF SERVICE

1500 N. 17TH STREET
PROBUD, AZ 85944

PHONE: 520.244.8441
FAX: 520.244.8442
WEB: WWW.ICV-ENGINEERS.COM

SHEET NUMBER
7 of 28

DATE PREPARED: 09/13/2019



PREPARED BY: [Name] DATE: [Date]
 CHECKED BY: [Name] DATE: [Date]
 DESIGNED BY: [Name] DATE: [Date]

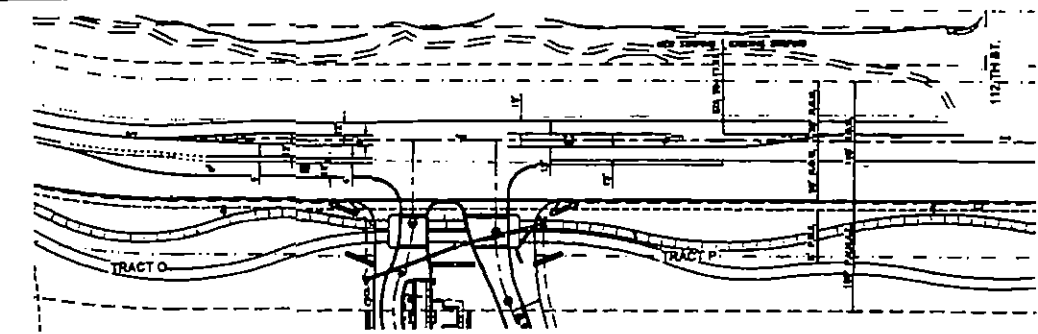
DATE PLOTTED: 09/13/2019
 PLOTTER: PLOTTER MODEL

PRELIMINARY PLAT FOR WILDCAT HILL

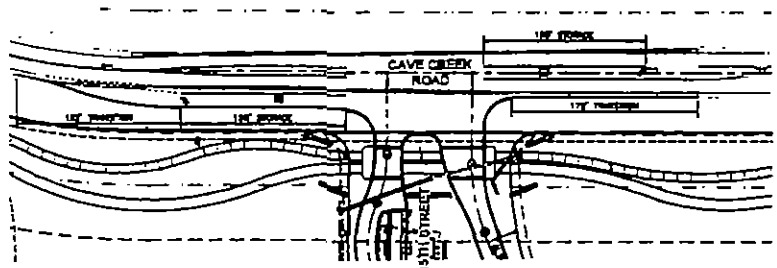
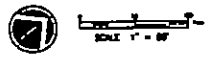


LEGEND

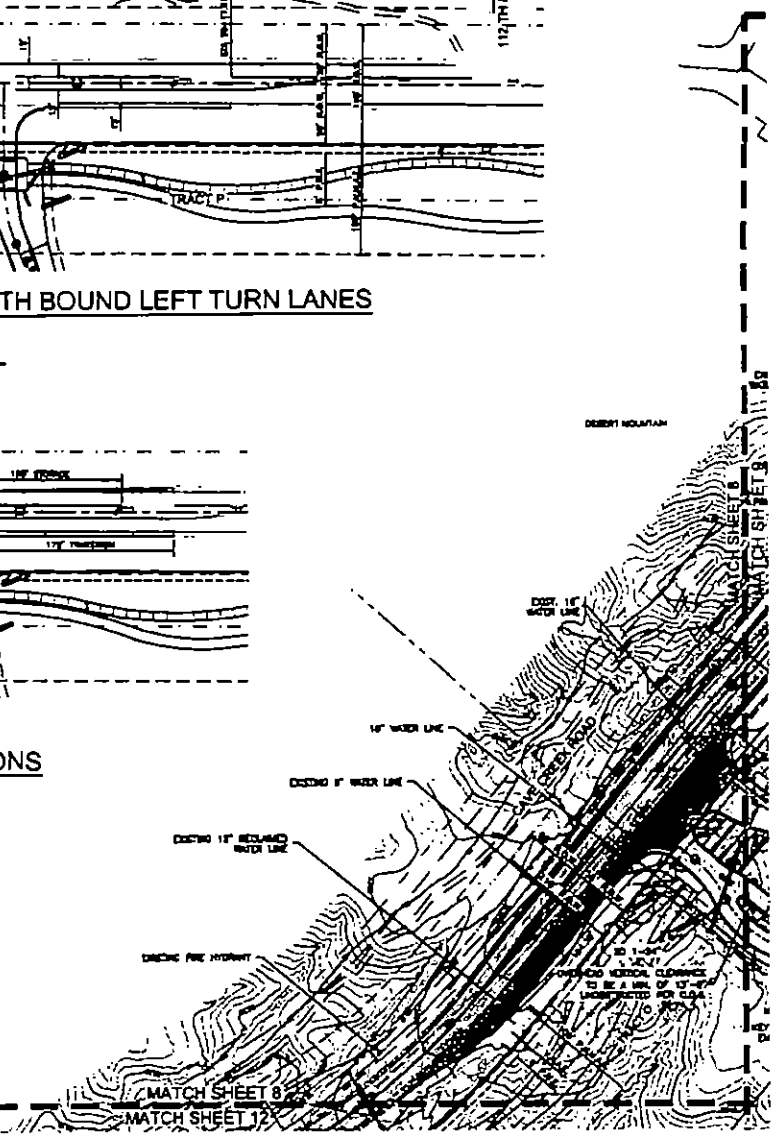
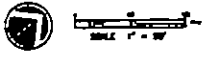
- REPTORARY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - E. P. L. E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - VEHICULAR REVERSE EASEMENT
 - PUBLIC NONMOTORIZED ACCESS EASEMENT
 - OTHER APPROACH WITH AN ANGLE
 - WATER VALVE
 - RIGHT OF WAY WIDTH
 - RIGHT VISIBILITY EASEMENT
 - CONSTRUCTION ENVELOPE
 - LP=378.00 LOW POINT ELEVATION
 - HP=372.50 HIGH POINT ELEVATION
 - SPV=374.82 SPURVEY ELEVATION
 - P=314.8 PROPOSED ELEVATION
 - STORM DRAIN STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - D10= 10 YEAR FLOOD RATE
 - SHR & BOLLER CLUSTERS THAT COMPLY WITH LOCAL ZONING ORD.
 - SHR & BOLLER CLUSTERS THAT DO NOT COMPLY WITH LOCAL ZONING ORD.
 - 314' CONTOUR ELEVATION
- IF WIDE APPROVED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20% HANDLED IN THE SHALL CONCEPT OF NATIVE SOIL COMPACTED TO 8% TO A DEPTH OF 1 FOOT.



NORTH BOUND RIGHT TURN AND SOUTH BOUND LEFT TURN LANES



PAVEMENT TRANSITIONS

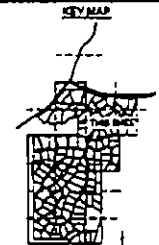


ICV
 CIVIL ENGINEER
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 FAX: (775) 784-1100
 WEBSITE: www.icv.com

SHEET NUMBER
8 OF **28**

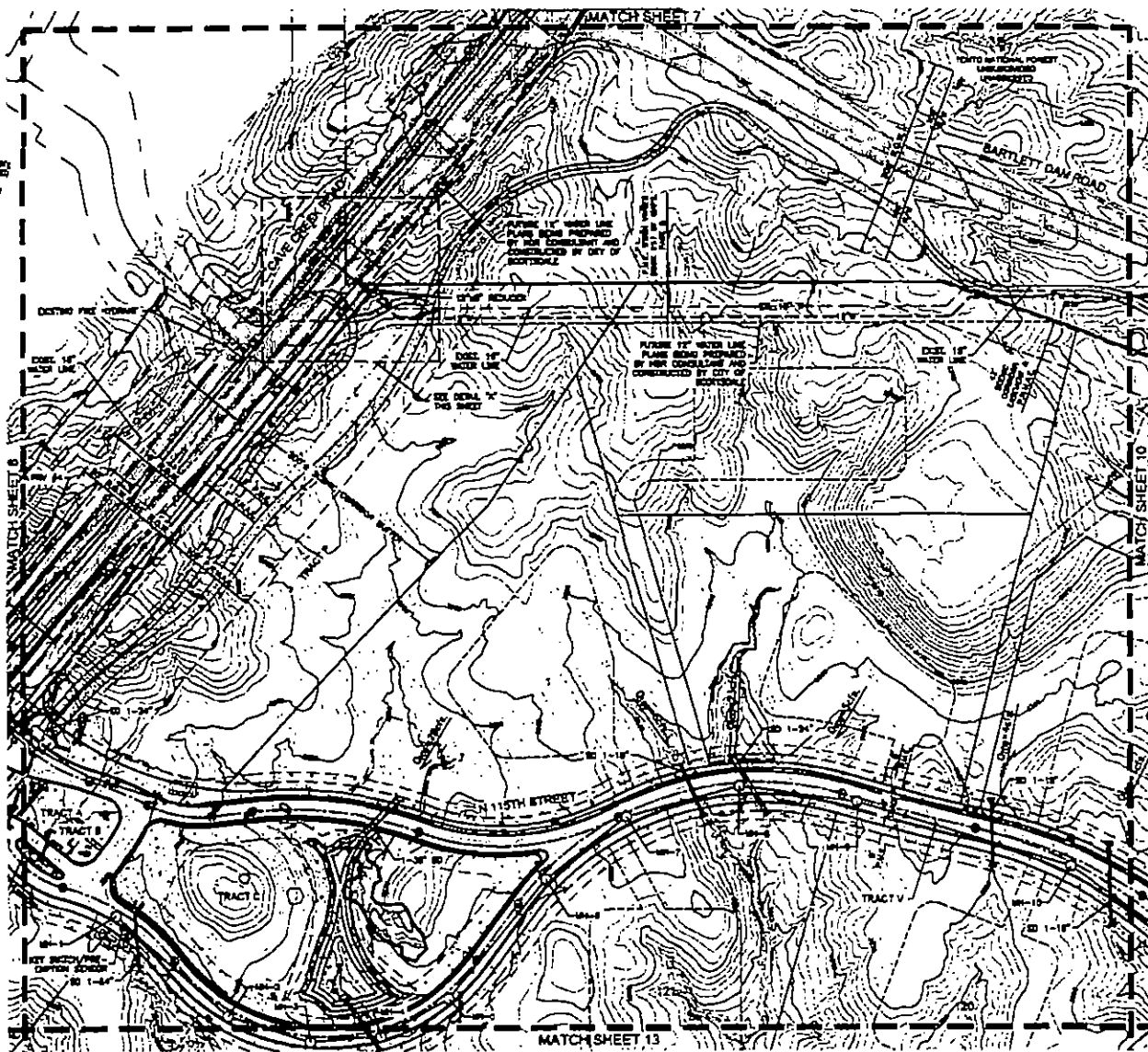
PROJECT: WILDCAT HILL
 SHEET NO. 8

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

| | |
|--|---|
| | ROADWAY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | E-PALE |
| | ROAD CENTER LINE |
| | DRAINAGE EASEMENT |
| | PUBLIC UTILITY EASEMENT |
| | VEHICULAR HOV-2 ACCESS EASEMENT |
| | PUBLIC HOV-2 ACCESS EASEMENT |
| | SEWER MANHOLE WITH 18" DIAMETER |
| | HYDRANT |
| | WELTER VALVE |
| | RIGHT OF WAY WIDTH |
| | RIGHT MOBILITY EASEMENT |
| | CONSTRUCTION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | HARVEST ELEVATION |
| | PAVEMENT ELEVATION |
| | STORM DRAIN |
| | WATER SURFACE ELEVATION |
| | 10-YEAR FLOW RATE |
| | EMBOLE & BOULDER CLUSTERS THAT COMPLY WITH C.D.S. DESIGN P.C. |
| | EMBOLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN P.C. |
| | CONTOUR ELEVATION |
| | 10' WIDE HANDICAPPED PATH WITH A CROSS-SLOPE TO A SLOPE NOT GREATER THAN 1% AND A LONGITUDINAL SLOPE NOT GREATER THAN 5%. PAVED HANDICAPPED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 4 FEET. |

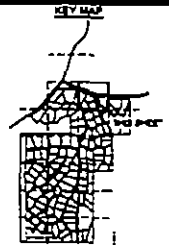
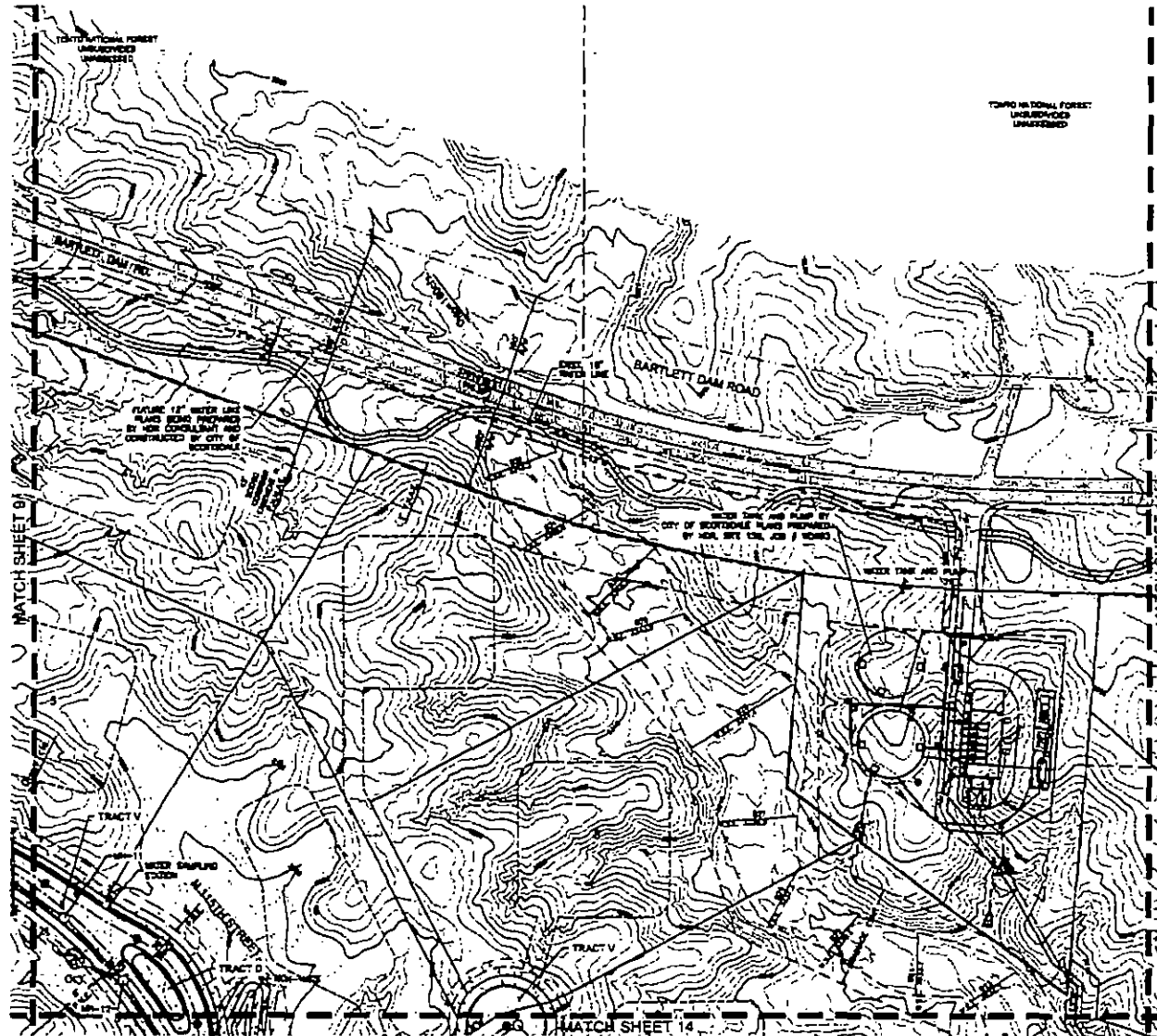


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WEB www.icvl.com

ENGINEER
SHEET NUMBER
9 OF **28**
DATE: 08/13/2019



PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- VEHICULAR NON-ACCESS EASEMENT
- PUBLIC NON-MOTORIZED ACCESS EASEMENT
- SEWER MANHOLE WITH MP NUMBER
- HYDRANT
- WATER VALVE
- RIGHT OF WAY BIRTH
- RIGHT MOBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- WADT ELEVATION
- PAVEMENT ELEVATION
- STORM GRAB
- WATER SURFACE ELEVATION
- 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH COLORADO REGS.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH COLORADO REGS.
- CONTOUR ELEVATION
- IF THESE IMPROVED PATHS WITH A CROSS-SECTIONAL SLOPE MORE GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 8%, IMPROVED PATHS SHALL CONSIST OF NATURAL SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.

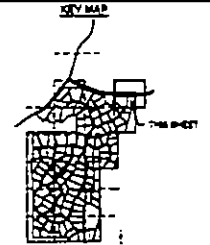
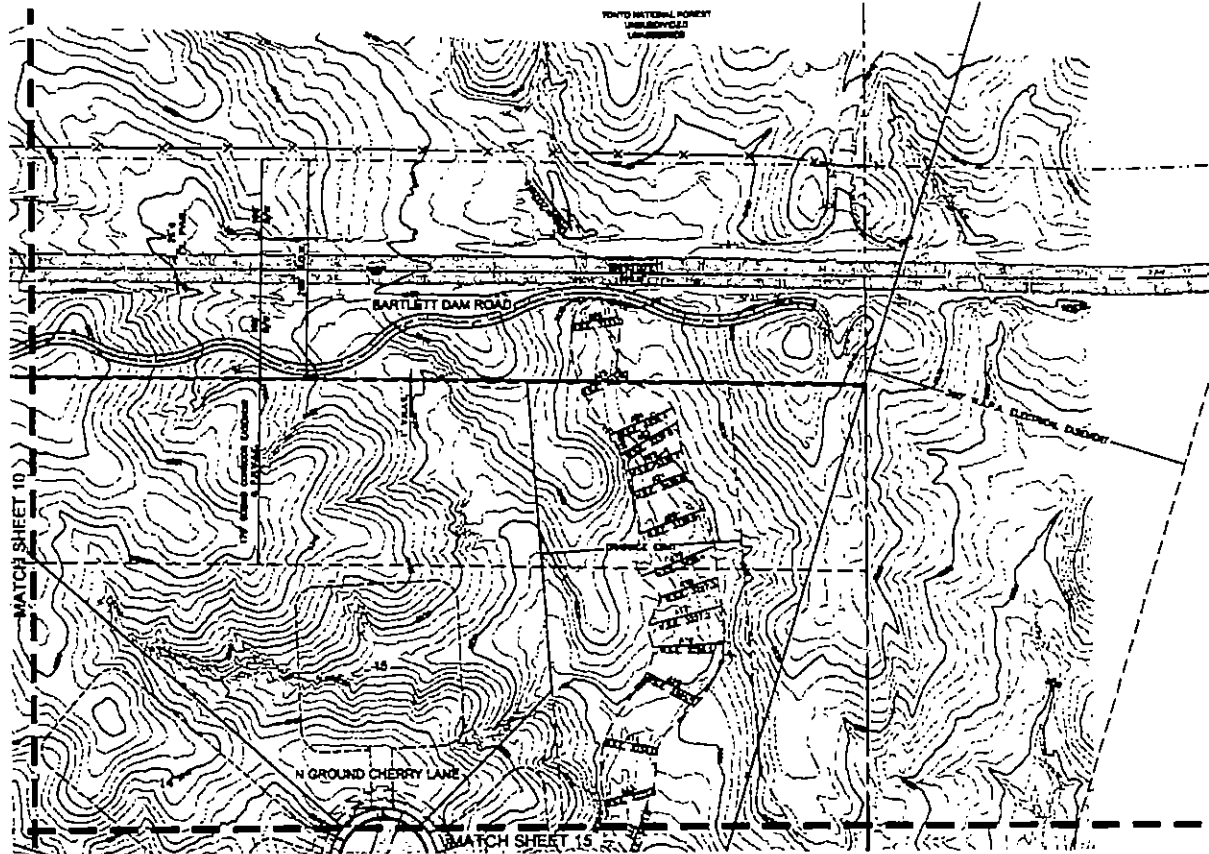


SCALE 1" = 20'

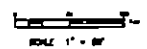
ICV
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FAX: 303.733.8979
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SHEET NUMBER
10 of 28

PRELIMINARY PLAT FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - P.U.E. PUBLIC UTILITY EASEMENT
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - P.U.E. PUBLIC UTILITY EASEMENT
 - VEHICULAR ROAD ACCESS EASEMENT
 - PUBLIC HERBICIDED ACCESS EASEMENT
 - OTHER MANHOLE WITH IN NUMBER
 - HYDRANT
 - WATER URN
 - RIGHT OF WAY WIDTH
 - RIGHT VISIBILITY EASEMENT
 - CONSTRUCTION ENVELOPE
 - LP-3178.08 LOW POINT ELEVATION
 - HP-3203.88 HIGH POINT ELEVATION
 - MP-3183.87 MOUND ELEVATION
 - P-3188 PAVEMENT ELEVATION
 - SD-3188 STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - QSD-100 YEAR FLOW RATE
 - SINGLE & SHOULDER CULVERTS THAT COMPLY WITH COLORADO REGS.
 - SINGLE & SHOULDER CULVERTS THAT DO NOT COMPLY WITH COLORADO REGS.
 - CONTOUR ELEVATION
 - 10' WIDE IMPROVED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 5%. IMPROVED PATHS SHALL COMPLY WITH THE SOIL COMPACTED TO 90% TO A DEPTH OF 1'00".

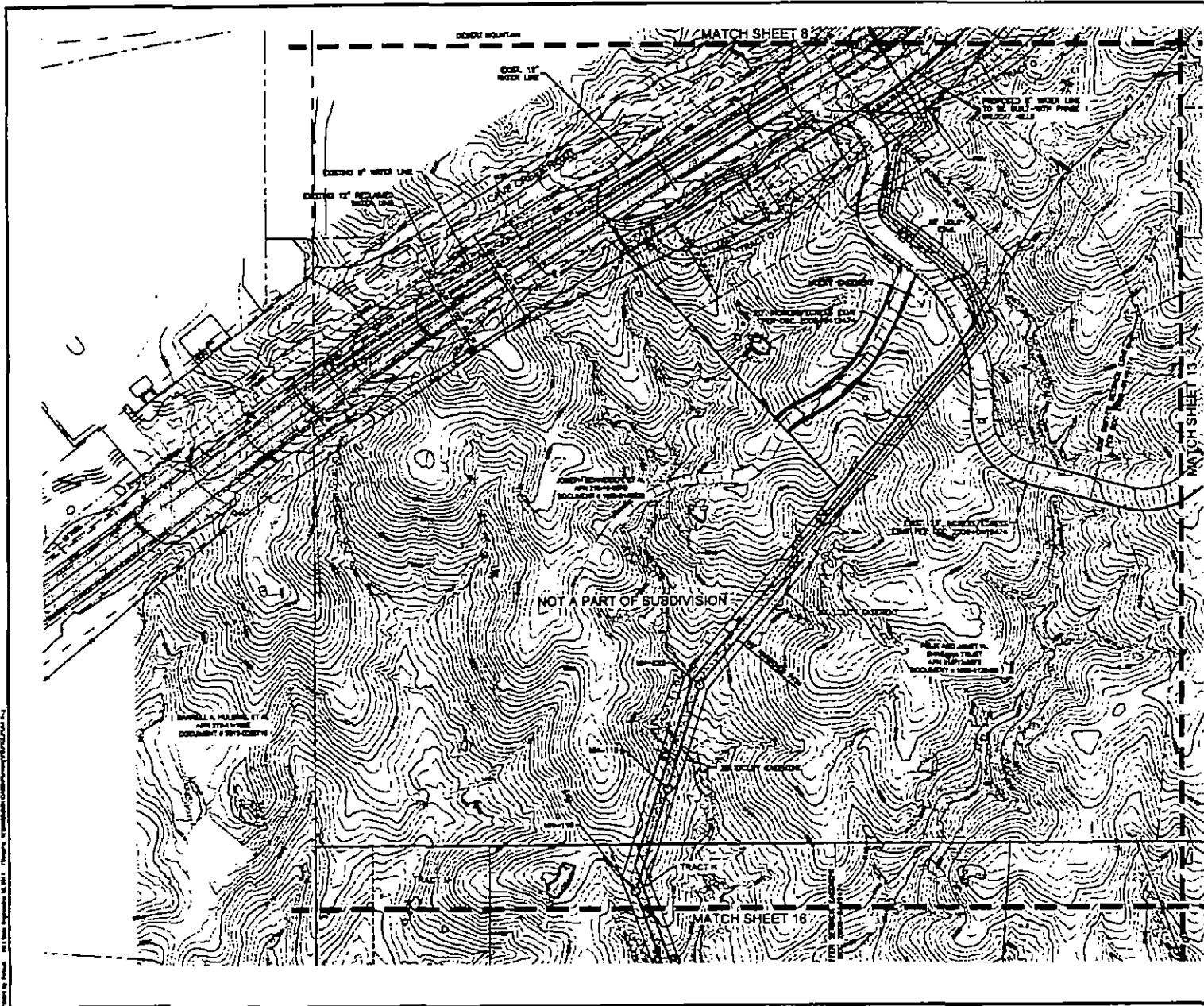


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WEB: WWW.ICVL.COM

SHEET NUMBER
11 of 28

DATE PREPARED: 08/13/2019
DRAWN BY: [Name]
CHECKED BY: [Name]



PRELIMINARY PLAT FOR WILDCAT HILL



- LEGEND**
- PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - P.P.A.L.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - VEHICULAR MONUMENTED EASEMENT
 - PUBLIC MONUMENTED ACCESS EASEMENT
 - CENTER MARKERS WITH 1/4" RADIUS
 - JORDAN
 - WATER VALVE
 - RIGHT OF WAY WIDTH
 - RIGHT VISIBILITY EASEMENT
 - CONSTRUCTION ENVELOPE
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - SAFETY ELEVATION
 - PAVED
 - STORM DRAIN
 - U.S.C.
 - WATER SURFACE ELEVATION
 - 10 YEAR FLOW RATE
 - SINGLE & BOLLARD CLUSTERS THAT COMPLY WITH C.D.S. DESIGN REQ.
 - SINGLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN REQ.
 - CONTOUR ELEVATION
 - IF THESE MARKERS FALL WITHIN A CROSS-SECTIONAL SLOPE WITH GREATER THAN 1% AND A LONGITUDINAL SLOPE NOT GREATER THAN 1%, MARKERS SHALL BE SMALL CONCRETE OR METAL SIGNS CONNECTED TO 10% TO A DEPTH OF 1 FOOT.



DATE PREPARED BY
DRAWN BY
SCALE 1" = 80'

ICV
 6000 W. 17TH STREET
 HOUSTON, TX 77056
 PHONE 832.244.2444
 FAX 832.244.2444
 WEB www.icv.com

SHEET NUMBER
12 of 28

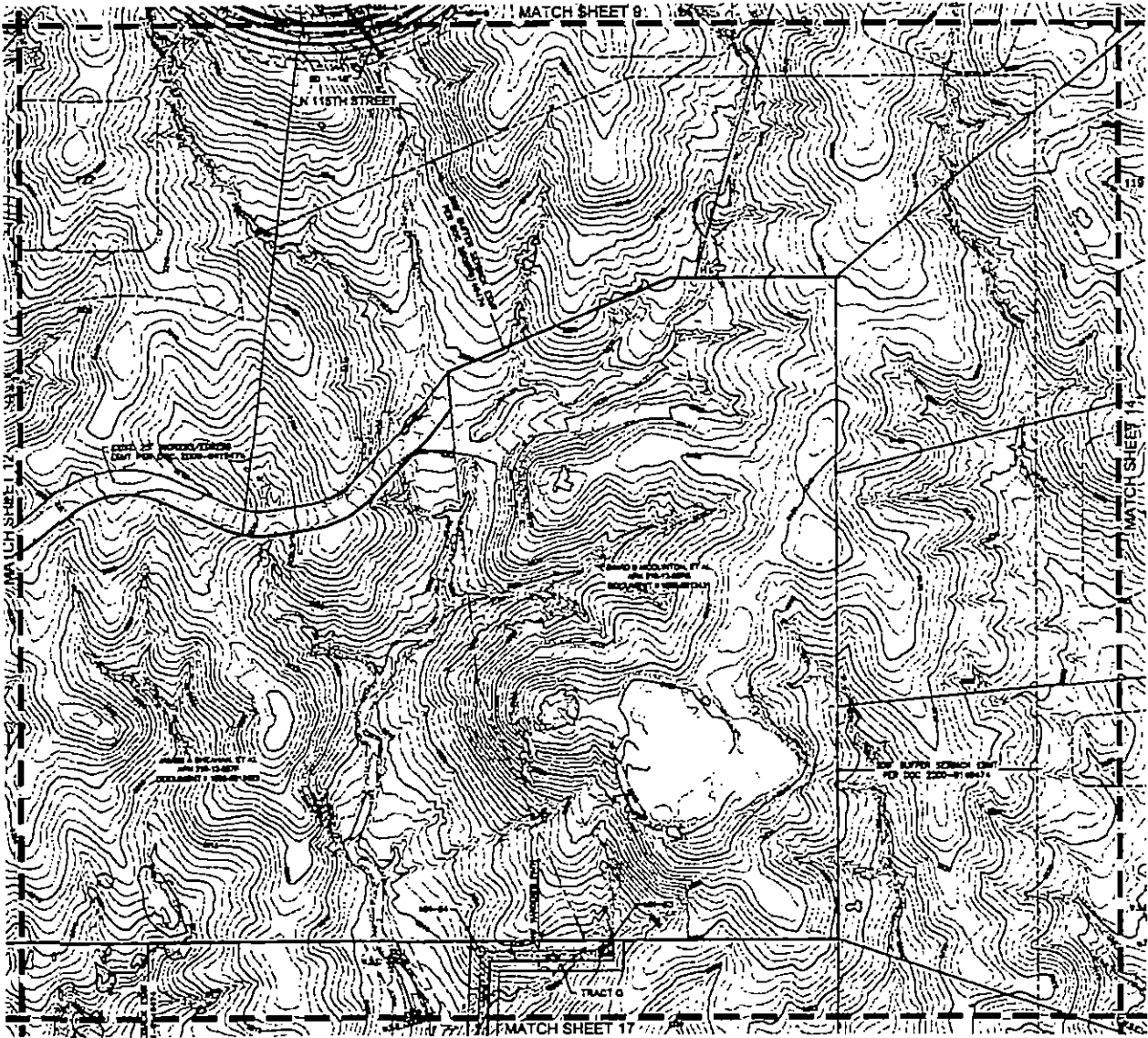
ICV PREPARED

PRELIMINARY
PLAT FOR
WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- P.U.A.
- ROAD CENTER LINE
- DRIVEWAY EASEMENT
- PUBLIC UTILITY EASEMENT
- VEHICULAR NON-ACCESS EASEMENT
- PUBLIC NON-HANDICAPPED ACCESS EASEMENT
- SEWER MANHOLE WITH ITS NUMBER
- HYDRANT
- METER VALVE
- RIGHT OF WAY WITH 4' WIDTH
- RIGHT VISIBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- GULLY ELEVATION
- PAVEMENT ELEVATION
- STORM DRAIN
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100 YEAR FLOOD RATE
- SINGLE & BOLLIDER CLUSTERS THAT COMPLY WITH C.O.B. SECTION 102
- SINGLE & BOLLIDER CLUSTERS THAT DO NOT COMPLY WITH C.O.B. SECTION 102
- WIDE IMPERVIOUS PATH WITH A CROWN-RECTIFYING SLOPE NOT GREATER THAN 1% OR A LONGITUDINAL SLOPE NOT GREATER THAN 2%



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20000 60

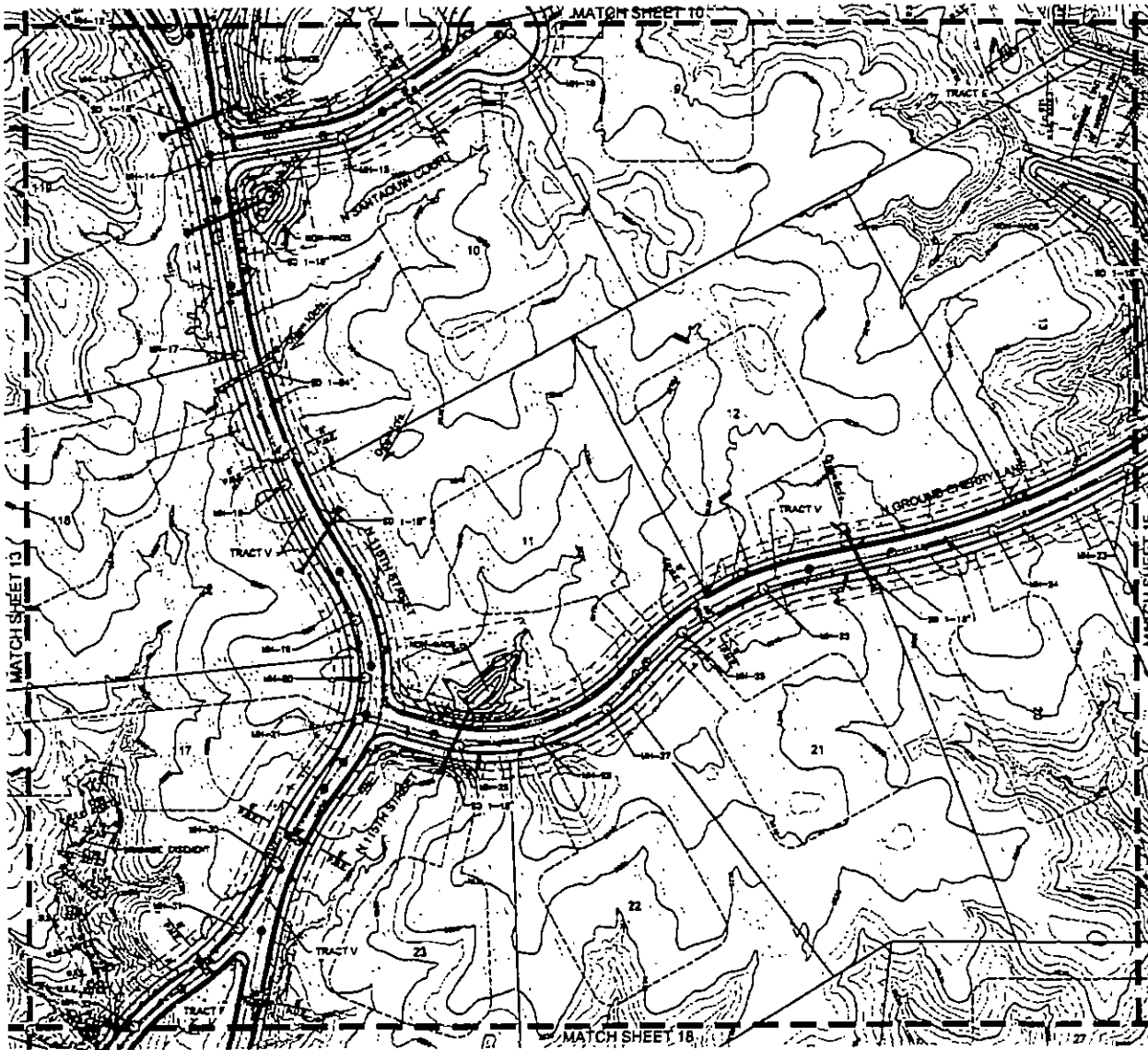
3000 W 10TH STREET
DENVER, CO 80202
PHONE (303) 688-1000
FAX (303) 733-3070
WEB WWW.ICV.COM

SHEET NUMBER
13 of **28**

DATE: 01/13/2010
PROJECT: WILDCAT HILL
DRAWN BY: [unreadable]

Map Data Provided: ArcGIS Software 11.0.0.0; Source: 1:250000 COGNATE/DEM (24BIT)

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

| | |
|--|--|
| | RIGHT-OF-WAY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | P.F.U.L. |
| | ROAD CENTER LINE |
| | SEWERAGE EASEMENT |
| | P.U.L. |
| | PUBLIC UTILITY EASEMENT |
| | VEHICULAR NON-ACCESS EASEMENT |
| | PUBLIC NON-MOTORIZED ACCESS EASEMENT |
| | SEWER MANHOLE WITH 18" COVER |
| | HYDRANT |
| | WATER VALVE |
| | RIGHT OF WAY WIDTH |
| | SOFT-SURFACE EASEMENT |
| | CONSTRUCTION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | WADGET ELEVATION |
| | PAVEMENT ELEVATION |
| | STORM DRAIN |
| | WATER SURFACE ELEVATION |
| | 100-YEAR FLOOD WATE |
| | SHOULDER & BOULDER CLUSTERS THAT COMPLY WITH C.D.S. DESIGN REG. |
| | SHOULDER & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN REG. |
| | IF THESE MANHOLES PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 3% AND A LONGITUDINAL SLOPE NOT GREATER THAN 5%, MANHOLES PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT. |



DATE PREPARED BY: [Name]
DATE: [Date]

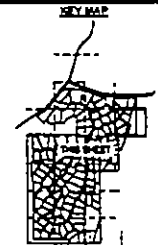
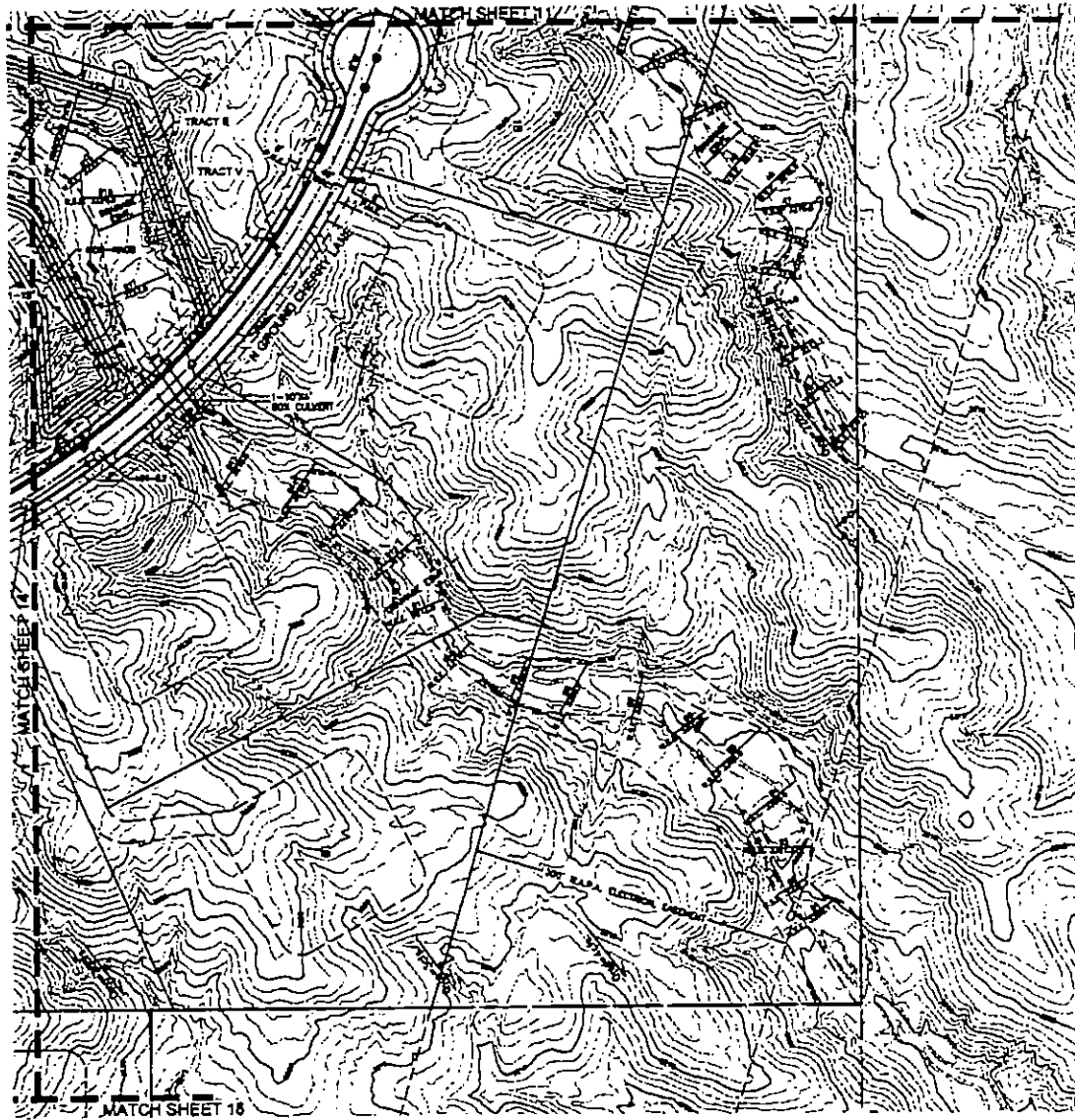
SCALE 1" = 30'

ICVL
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600 N. 10TH STREET
DENVER, CO 80202
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FAX: 462-3444
WWW: WWW.ICVL.COM

SHEET NUMBER
14 of 28

PROJECT: WILDCAT HILL
DATE: 09/13/2011

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

| | |
|--|--|
| | RIGHT-OF-WAY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | P.P.U.E. |
| | ROAD CENTER LINE |
| | ORANGE EASEMENT |
| | PUBLIC UTILITY EASEMENT |
| | VEHICULAR NON-MOTORIZED EASEMENT |
| | PUBLIC NON-MOTORIZED ACCESS EASEMENT |
| | SEWER MANHOLE WITH S.P. NUMBER |
| | HYDRANT |
| | METER VALVE |
| | RIGHT OF WAY WIDTH |
| | RIGHT VEHICULAR EASEMENT |
| | CONSTRUCTION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | INVERT ELEVATION |
| | PAVEMENT ELEVATION |
| | STORM DRAIN |
| | WATER BRANCH |
| | WATER SURFACE ELEVATION |
| | 100 YEAR FLOOD RATE |
| | ANGLE & BOLLARD CURBSETS THAT COMPLY WITH CLASS C/BBOR RED |
| | ANGLE & BOLLARD CURBSETS THAT DO NOT COMPLY WITH CLASS C/BBOR RED |
| | CONTOUR ELEVATION |
| | SPRINGS PROPOSED WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 1% AND A LONGITUDINAL SLOPE NOT GREATER THAN 1%. HARDENED PAVEMENT SHALL CONSIST OF NATURAL SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT. |



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TAMPA, FL 33610
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FAX: (813) 281-5678
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SHEET NUMBER
15 of 28

PRELIMINARY PLAT FOR WILDCAT HILL
DATE: 08/13/2019



08/13/2019 10:00 AM
 PROJECT: WILDCAT HILL
 SHEET: 15 OF 28
 DRAWN BY: J. SMITH
 CHECKED BY: M. JONES
 APPROVED BY: P. ENGINEER

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- E.P.U.E.
- P.U.E.
- ROAD CENTER LINE
- DRIVEWAY EASEMENT
- VEHICULAR NON-ACCESS EASEMENT
- PUBLIC NON-MOTORIZED ACCESS EASEMENT
- EXISTING DRIVEWAY WITH AN NUMBER
- HYDRANT
- WATER VALVE
- RIGHT OF WAY WIDTH
- RIGHT MOBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- INVERT ELEVATION
- PAVEMENT ELEVATION
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100-YEAR FLOOD PAVE
- SHOULDER & BOULDER CLUSTERS THAT COMPLY WITH COLOR DESIGN REQ.
- SHOULDER & BOULDER CLUSTERS THAT DO NOT COMPLY WITH DESIGN REQ.
- CONTIGUOUS ELEVATION
- IF WIDE HARDCURED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 5% AND A LONGITUDINAL SLOPE NOT GREATER THAN 3%, HARDCURED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.

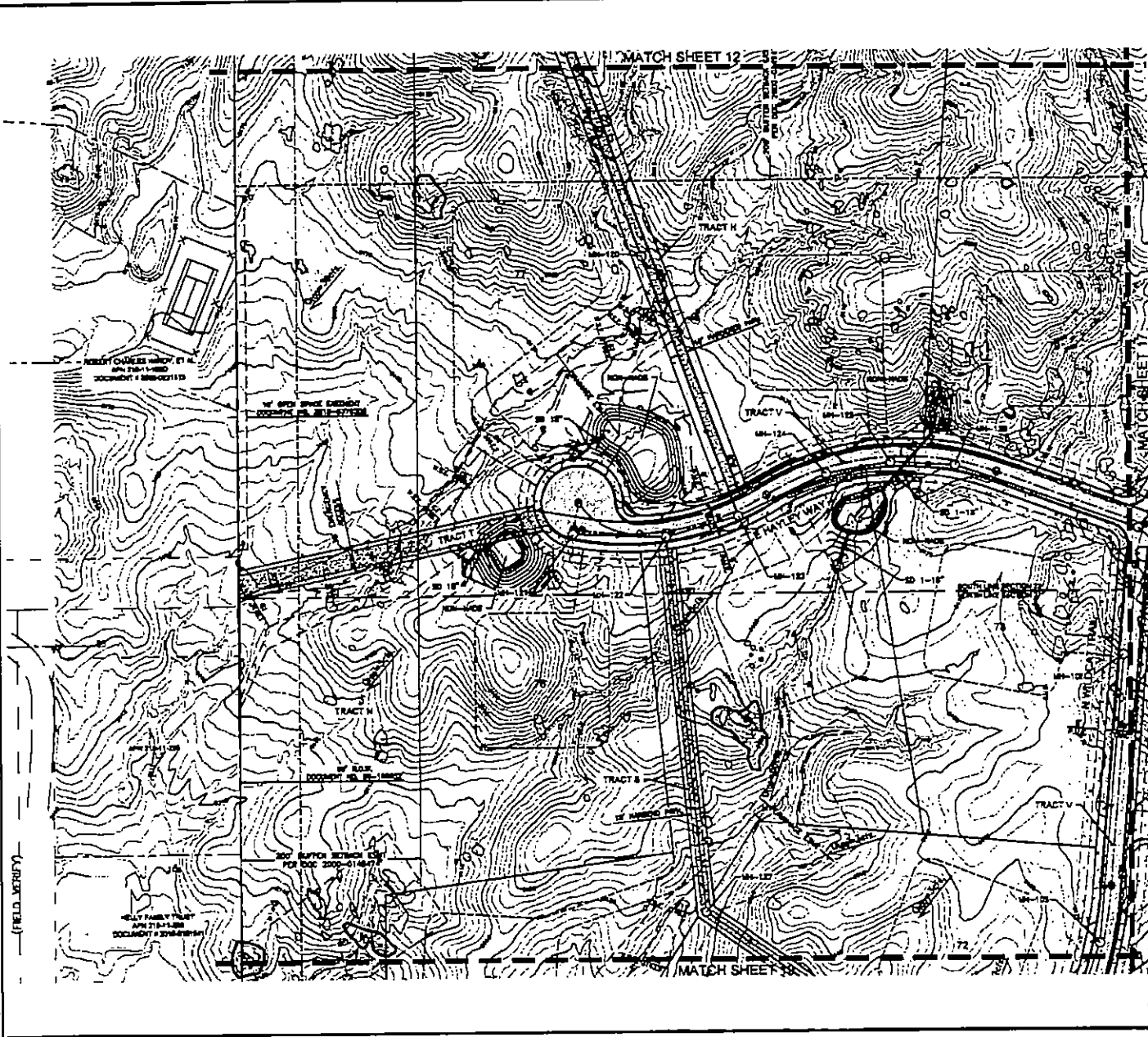
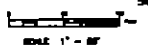


DATE PREPARED: 07/20/19
DRAWN BY: [Signature]

CVL
CONCRETE VULNERABILITY
CORPORATION

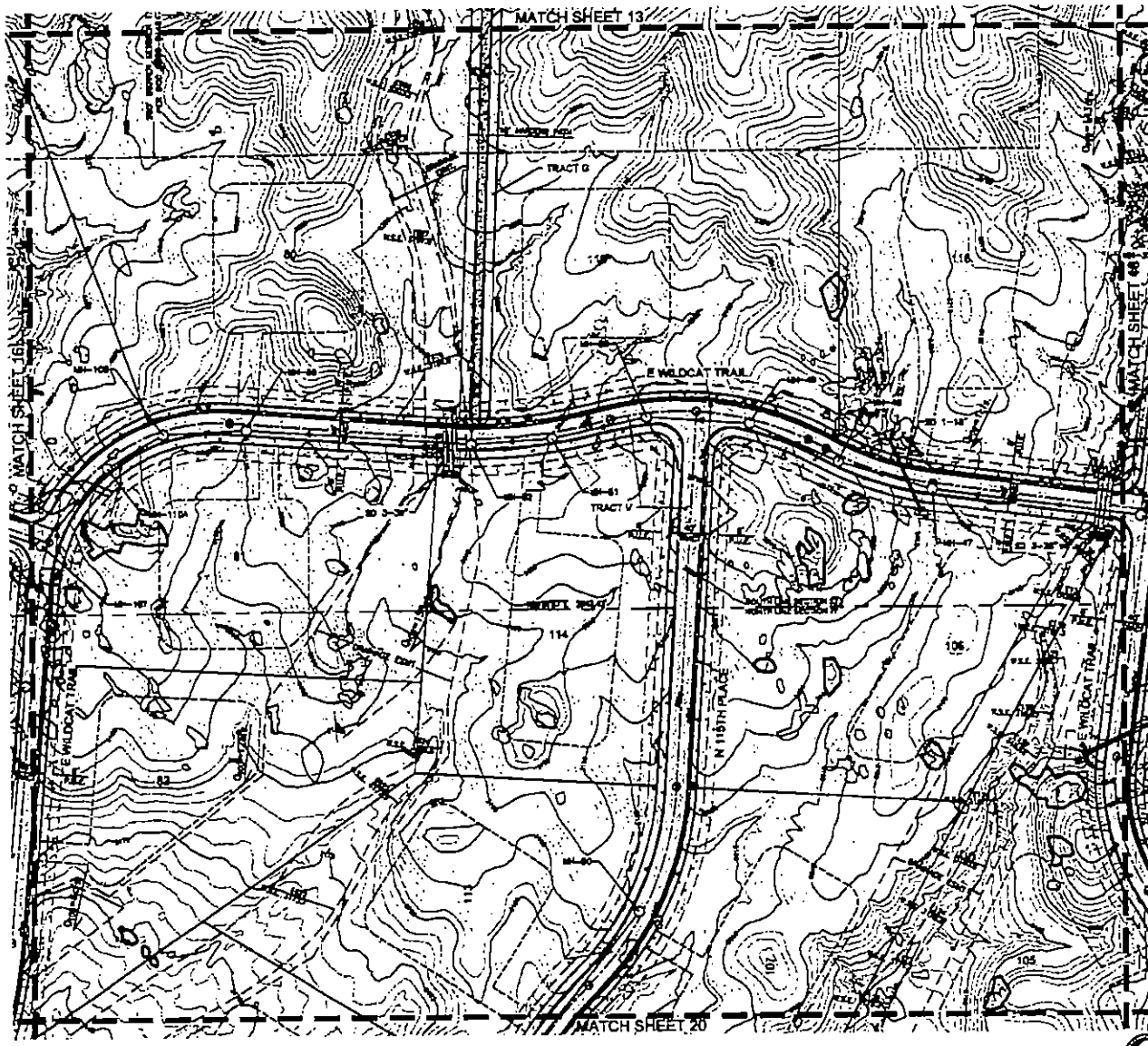
4330 N. 19TH STREET
PHOENIX, AZ 85018
PHONE: 602.334.8871
FAX: 602.334.8872
WEB: WWW.CVLCORP.COM

PROJECT NUMBER
16 of 28



FIELD SURVEY

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY BASEMENT
- F.F.I.E.
- ROAD CENTER LINE
- DRAINAGE BASEMENT
- P.U.L.E.
- P.V.A.A.
- PAV.M.A.L.E.
- SEWER MANHOLE WITH AN NUMBER
- HYDRANT
- WATER VALVE
- RIGHT OF WAY WIDTH
- RIGHT NEARBY EASEMENT
- CONSTRUCTION ENVELOPE
- LP=375.00
- HP=325.00
- HY=375.00
- PA=380.00
- STORM DRAIN
- U.S.C.
- 100-YEAR FLOW RATE
- SMALL & BOLLARD CULVERTS THAT COMPLY WITH LOCAL DRAINAGE ACT
- SMALL & BOLLARD CULVERTS THAT DO NOT COMPLY WITH ELEVATION
- 1/2" WIDE HARDEDDED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 2%. HARDEDDED PATHS SHALL CONSIST OF RUTVE SIDE CONSTRUCTED TO 1/2" TO A DEPTH OF 1 FOOT.

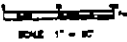


DAVE RICHARD, SEPT 15
OREGON, PE
OR 97006

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PORTLAND, OREGON 97204
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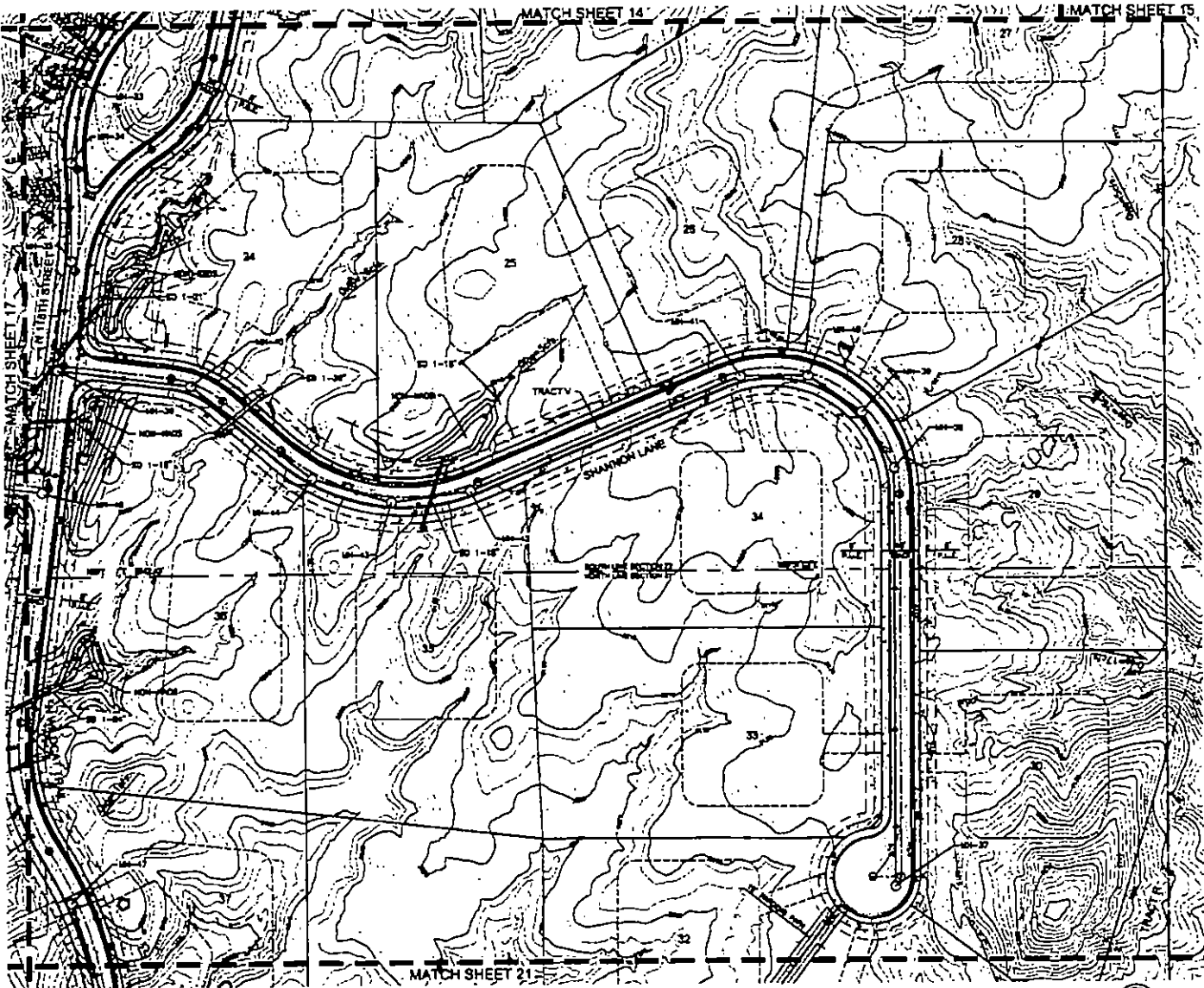
SHEET NUMBER
17 of 28

DATE: 09/13/2018
DRAWN BY: [Name]
CHECKED BY: [Name]



DATE PLOTTED: 09/13/2018

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- PAVEMENT
- ROAD CENTER LINE
- SIDEWALK
- PUBLIC UTILITY EASEMENT
- VEHICULAR NON-ACCESS EASEMENT
- PUBLIC MONITORING ACCESS EASEMENT
- DRIVE MANHOLES WITH 18" BARS
- HYDRANT
- WATER VALVE
- RIGHT OF WAY WIDTH
- RIGHT UTILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- SLOPE ELEVATION
- PAVEMENT ELEVATION
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100 YEAR FLOW RATE
- 24" AND 36" DIAMETER CURB AND GUTTER THAT COMPLY WITH CALIF. DESIGN REQ.
- 24" AND 36" DIAMETER CURB AND GUTTER THAT DO NOT COMPLY WITH CALIF. DESIGN REQ.
- 18" AND 24" DIAMETER CURB AND GUTTER THAT COMPLY WITH CALIF. DESIGN REQ.
- 18" AND 24" DIAMETER CURB AND GUTTER THAT DO NOT COMPLY WITH CALIF. DESIGN REQ.

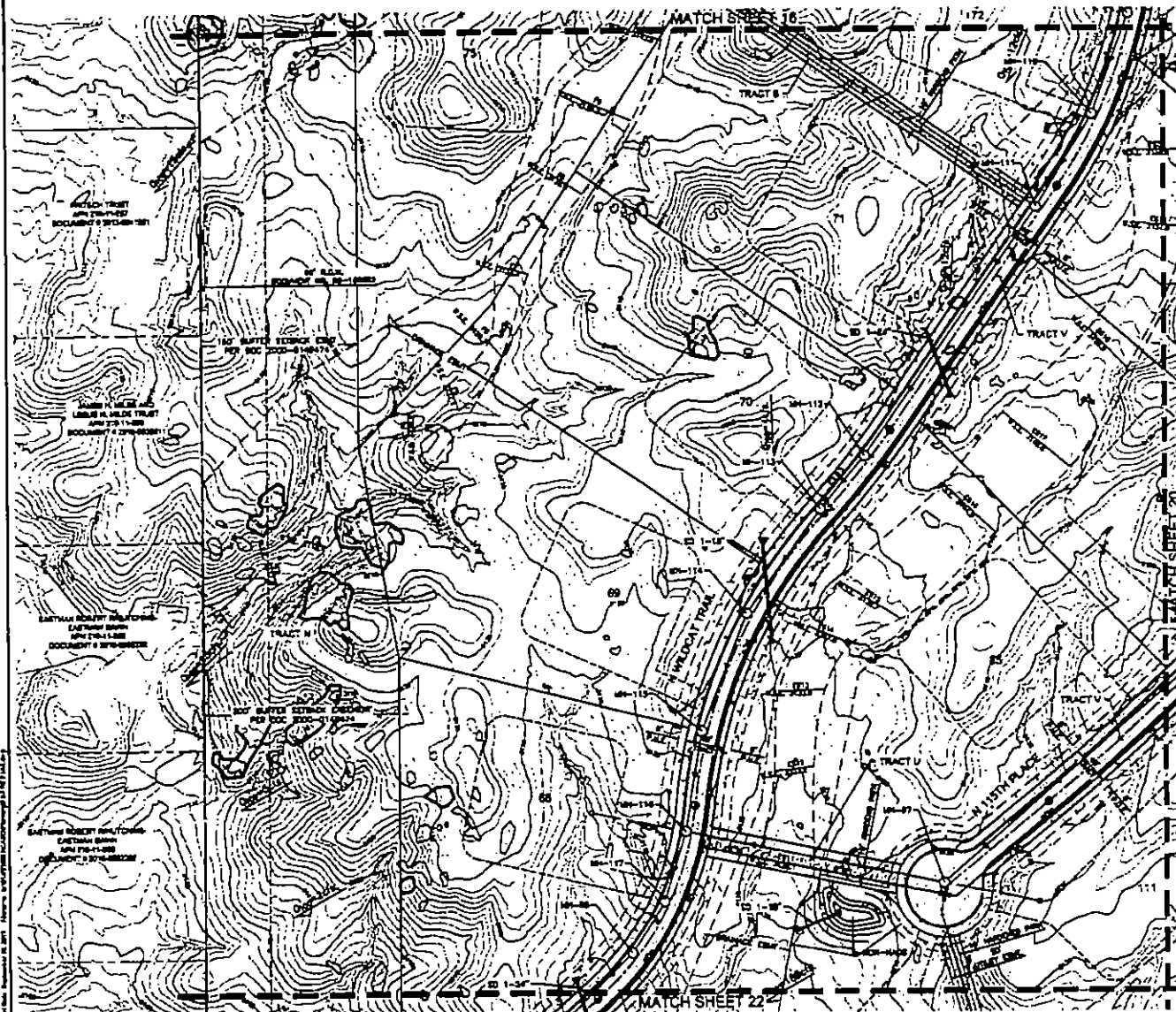


SCALE 1" = 50'

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 408 N. 17TH STREET
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 DENVER, CO 80202
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 FAX: 303.733.8889
 WWW.ICVL.COM

SHEET NUMBER
 18 of 28

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

| | |
|--|-------------------------------|
| | RIGHT OF WAY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | EASEMENT |
| | ROAD CENTER LINE |
| | EASEMENT |
| | PUBLIC UTILITY EASEMENT |
| | VEHICULAR NON-ACCESS EASEMENT |
| | PUBLIC NON-ACCESS EASEMENT |
| | SEWER MANHOLE WITH 18" ROUND |
| | HYDRANT |
| | WATER VALVE |
| | RIGHT OF WAY NOTE |
| | RIGHT OF WAY EASEMENT |
| | CONSTRUCTION EASEMENT |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | EASEMENT ELEVATION |
| | STORM DRAIN |
| | STORM DRAIN |
| | 15 YEAR FLOOD NOTE |
| | 100 YEAR FLOOD NOTE |
| | 50 YEAR FLOOD NOTE |
| | 15 YEAR FLOOD NOTE |
| | 100 YEAR FLOOD NOTE |
| | 50 YEAR FLOOD NOTE |
| | CONTOUR ELEVATION |
| | 15 YEAR FLOOD NOTE |
| | 100 YEAR FLOOD NOTE |
| | 50 YEAR FLOOD NOTE |
| | 15 YEAR FLOOD NOTE |
| | 100 YEAR FLOOD NOTE |
| | 50 YEAR FLOOD NOTE |



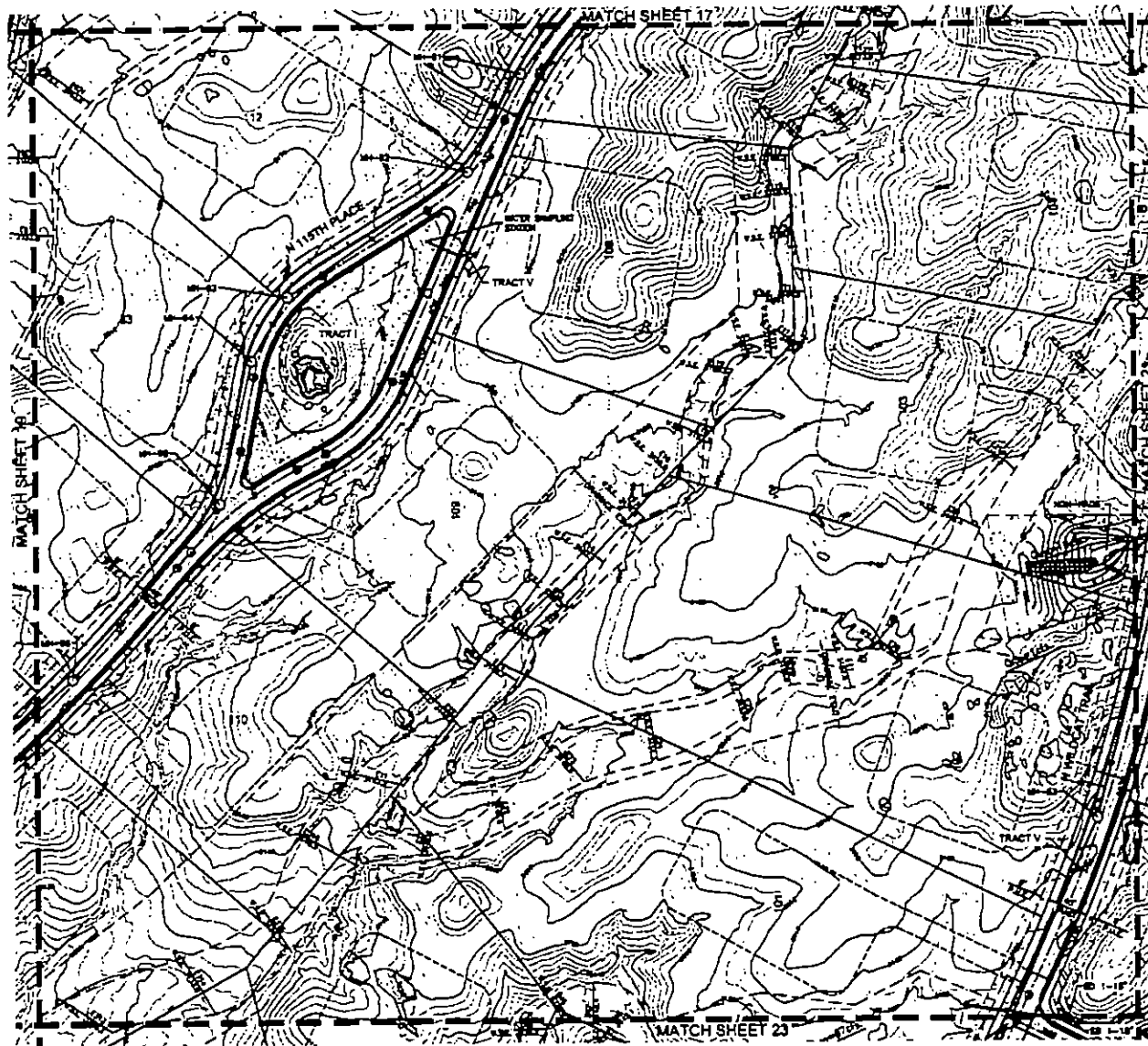
SCALE 1" = 30'

ICV
 6000 W. 17TH STREET
 PUEBLO, CO 81004
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 FAX 719.244.3443
 WWW.ICV-CO.COM

SHEET NUMBER
19 of 28

DATE REVISIONS
 09/13/2019

PRELIMINARY PLAT FOR WILDCAT HILL



KEY MAP



LEGEND

- RIGHT OF WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- P.P.A.L.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- P.P.A.L.
- PUBLIC UTILITY EASEMENT
- VEHICULAR NON-ACCESS EASEMENT
- PUBLIC NON-MOTORIZED ACCESS EASEMENT
- OTHER HATCHES WITH MH NUMBER
- HYDRANT
- WATER VALVE
- RIGHT OF WAY WIDTH
- RIGHT MOBILITY EASEMENT
- CONSTRUCTION EASEMENT
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- HATCH ELEVATION
- PAVEMENT ELEVATION
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100-YEAR FLOW RATE
- SHOULDER & SHOULDER CLUSTERS THAT COMPLY WITH C.D.S. DESIGN NEED
- SHOULDER & SHOULDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN NEED
- IF THESE HATCHES SUCH AS A CROSS-SECTIONAL SLOPE NOT ORIENTED THIS WAY AND A LIMITED SLOPE NOT GREATER THAN 3% HATCHES SHALL CONSIST OF 3/4" DIA. RIGID COMPACTED TO 8" TO A DEPTH OF 1 FOOT.



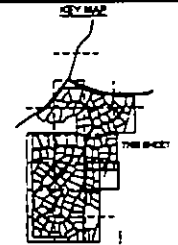
SCALE 1" = 80'

CVL
 CONSULTING ENGINEERS
 4800 N. 17th STREET
 PHOENIX, AZ 85018
 PHONE: 602.294.8827
 FAX: 602.294.8823
 WEBSITE: www.cvl.com

SHEET NUMBER
 20 of 28

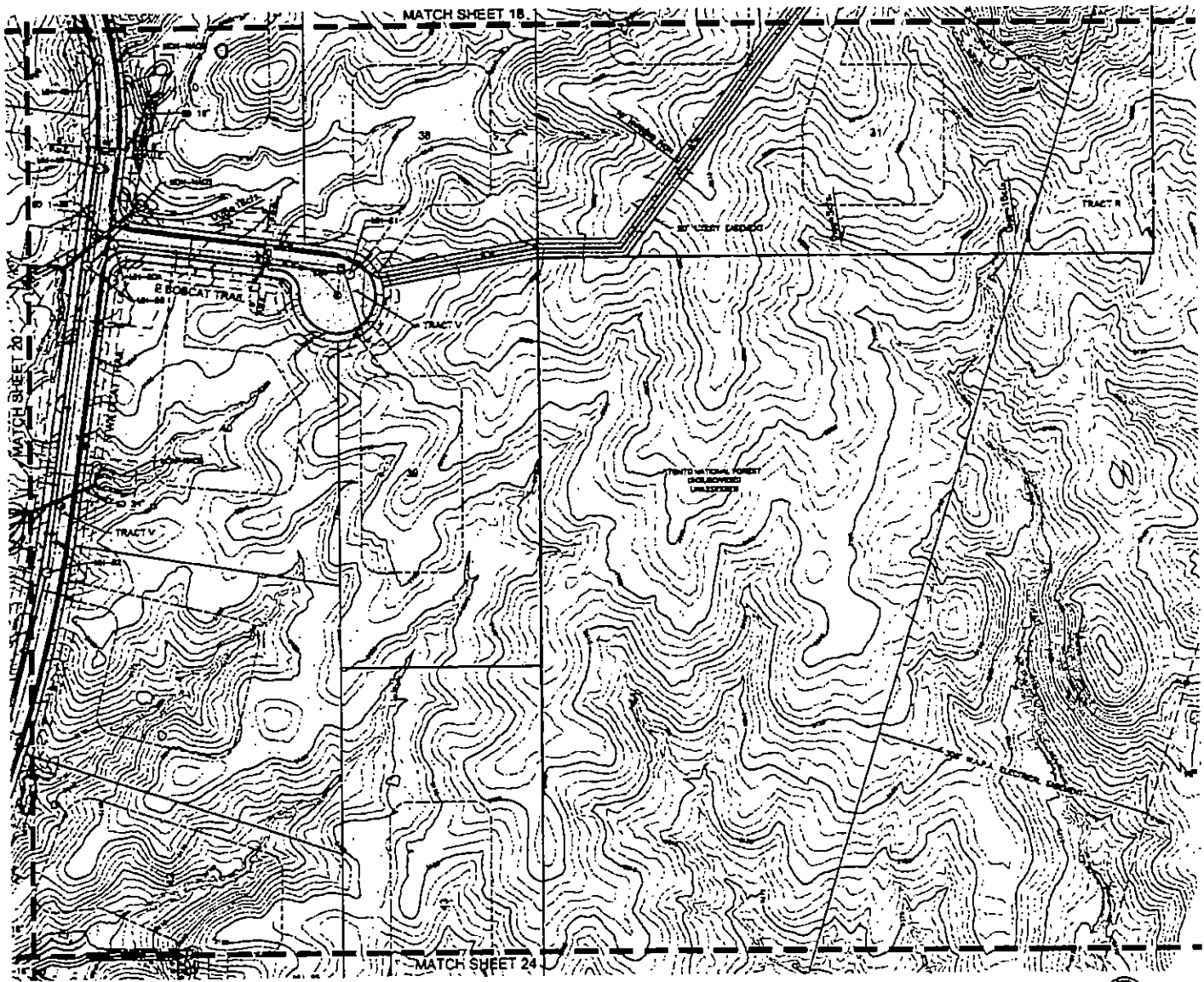
DATE REVISIONS BEFORE
 11/13/2019

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

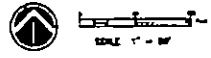
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - E. PAVE.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - VEHICULAR NON-ACCESS EASEMENT
 - PUBLIC NON-MOTORIZED ACCESS EASEMENT
 - HYDRANT
 - WATER VALVE
 - RIGHT-OF-WAY WIDTH
 - EIGHT-WHEELER EASEMENT
 - CONSTRUCTION EASEMENT
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - MOUNTAIN ELEVATION
 - PERMANENT ELEVATION
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - 100-YEAR FLOOD RATE
 - BRIBBLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REG.
 - BRIBBLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REG.
 - SPILL
- WE HAVE PROVIDED WITH THIS A CROSS-SECTIONAL SLOPE NOT GREATER THAN 8% AND A LONGITUDINAL SLOPE NOT GREATER THAN 30%. UNDESIRABLE SITES SHALL CONSIST OF BATTERY SOIL COMPACTED TO 90% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 06/13/2019
DESIGNER: [Name]
DRAWN BY: [Name]

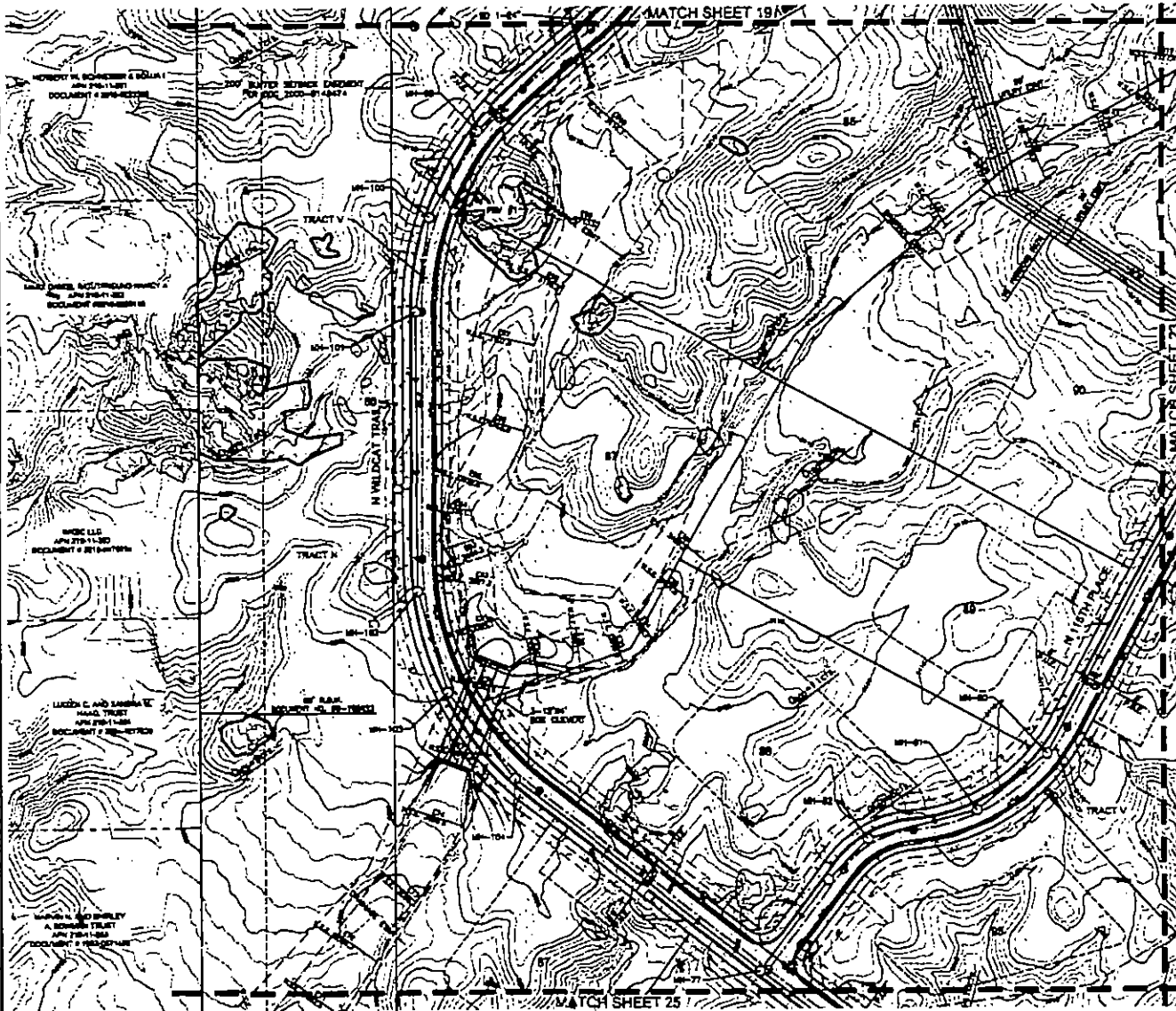
ICVL
PROFESSIONAL LAND SURVEYORS
LICENSE NO. 60
1000 N. 10TH STREET
PO BOX 42 88547
DENVER, COLORADO 80242
PHONE: 303.755.8888
FAX: 303.755.8888
WEB: WWW.ICVL.COM

SHEET NUMBER
21 OF **28**



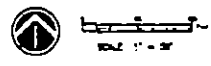
DATE PLOTTED: 06/13/2019

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

| | |
|--|---|
| | FEED-GRANULAR |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | T-PAVE |
| | ROAD CENTER LINE |
| | DRAINAGE EASEMENT |
| | PUBLIC UTILITY EASEMENT |
| | VEHICULAR NON-ACCESS EASEMENT |
| | P-PAVE |
| | PUBLIC NON-ACCESS EASEMENT |
| | SEWER MANHOLE WITH 18" HOUSER |
| | HYDRANT |
| | WATER VALVE |
| | RIGHT OF WAY WIDTH |
| | SOFT MOBILITY EASEMENT |
| | CONSTRUCTION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | FINISH ELEVATION |
| | PAVEMENT ELEVATION |
| | STORM BRAN |
| | STORM BRAN |
| | WATER SURFACE ELEVATION |
| | WEIR FLOW RATE |
| | SMALL & BOLLIDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ. |
| | SMALL & BOLLIDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ. |
| | 16' WIDE UNPAVED PATH WITH A CROSS-SLOPE OF 2% TO 4% AND A LONGITUDINAL SLOPE NOT GREATER THAN 2%. UNPAVED PATHS SHALL CONSIST OF 8" OF SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT. |



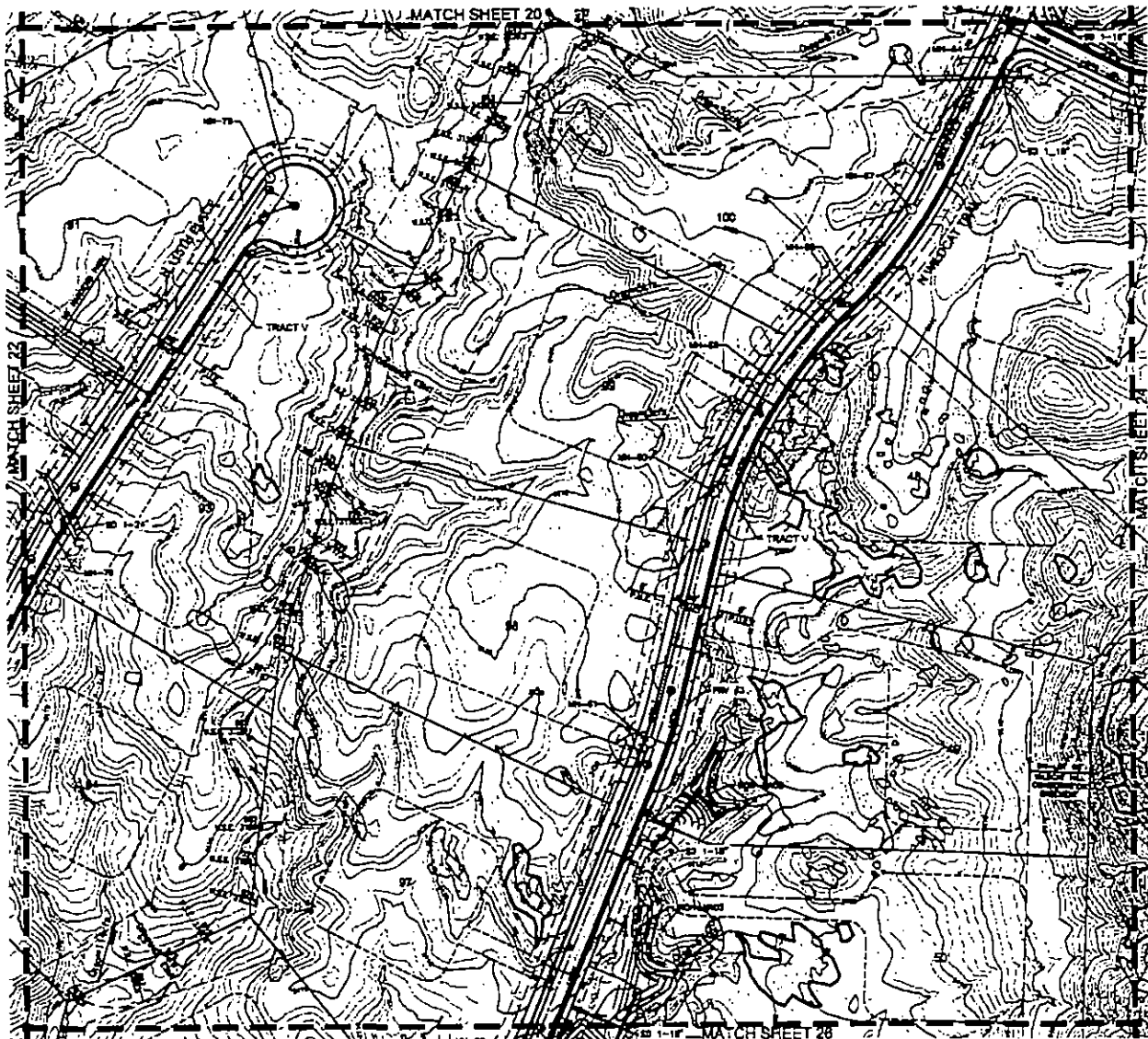
DATE PREPARED: 08/13/2019
 DESIGN BY: [Name]
 DRAWN BY: [Name]

ICVL
 CONSULTING ENGINEERS
 6050 W. 13TH STREET
 FARMINGTON, MI 48334
 PHONE: 248.364.8347
 FAX: 248.364.8322
 WWW: WWW.ICVL.COM

SHEET NUMBER
22 of 28

PROJECT: WILDCAT HILL
 DATE: 08/13/2019

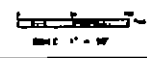
PRELIMINARY PLAT FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - EASEMENT
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - VEHICULAR NON-ACCESS EASEMENT
 - PUBLIC NON-ACCESS EASEMENT
 - EASEMENT WITH AN NUMBER
 - HYDRANT
 - WATER VALVE
 - RIGHT OF WAY WITH
 - RIGHT VELOCITY EASEMENT
 - CONSTRUCTION EASEMENT
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - WALLET ELEVATION
 - PARADELT ELEVATION
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - WATER FLOW RATE
 - SHOULDER & BOULDER CLUSTERS THAT COMPLY WITH C.D.S.E. DESIGN REQ.
 - SHOULDER & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S.E. DESIGN REQ.
 - CONTOUR ELEVATION
 - 75' WIDE HAZARDOUS PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 30% AND A LENGTH OF 100' OR GREATER SHALL BE HAZARDOUS PATHS. HAZARDOUS PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



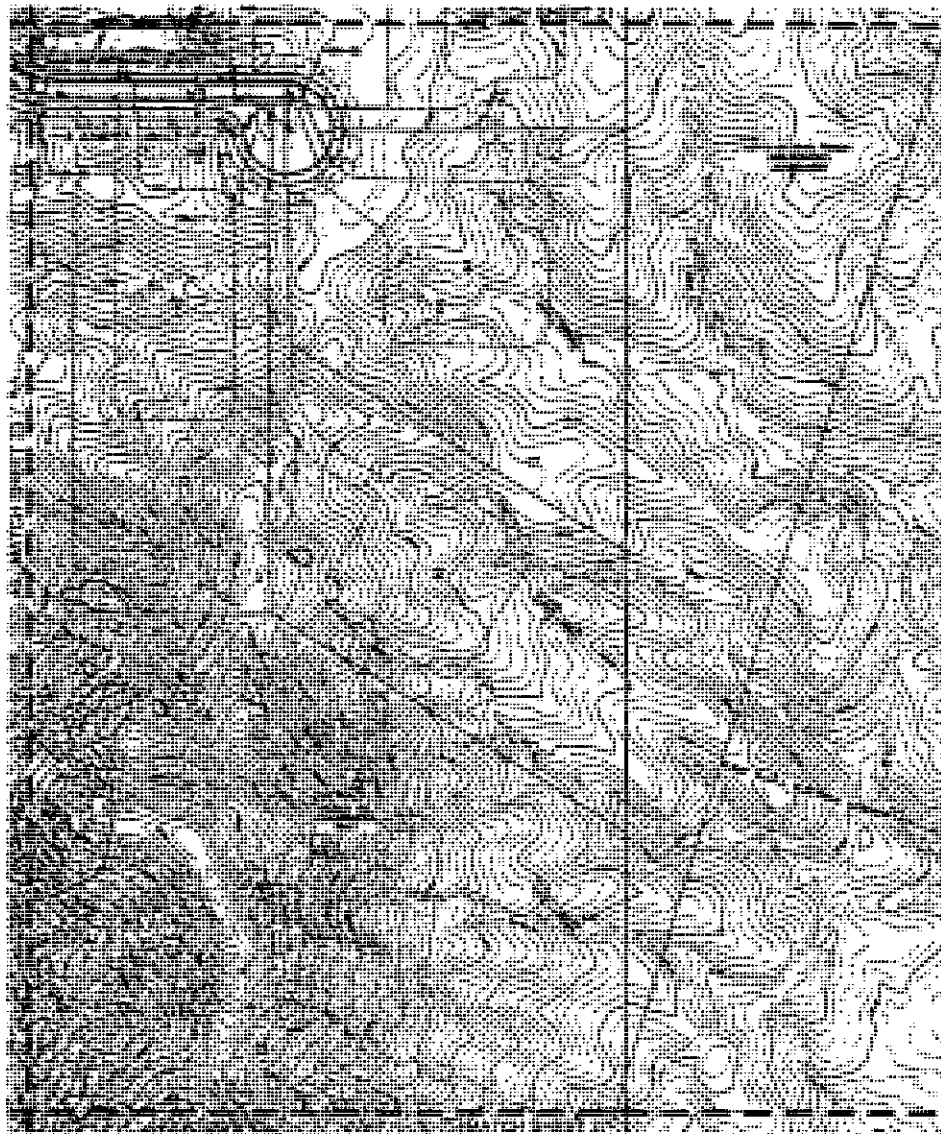
ICVL
 INCORPORATED
 400 N. 1ST STREET
 PASADENA, CA 91101
 PHONE (626) 791-1111
 FAX (626) 791-1111
 WWW.ICVL.COM



DATE PREPARED BY/ISSUE
 DRAWN BY
 CHECKED BY

SHEET NUMBER
23 of 28

PRELIMINARY
PLAT FOR
WILDCAT HILL



LEGEND

- | | |
|--|---|
| | RIGHT-OF-WAY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | E FILE |
| | ROAD CENTER LINE |
| | DRAINAGE EASEMENT |
| | PUBLIC UTILITY EASEMENT |
| | VEHICULAR EASEMENTS EASEMENT |
| | PUBLIC NONHARVESTER ACCESS EASEMENT |
| | CORNER MARKER WITH NUMBER |
| | CORNER |
| | WATER VALVE |
| | RIGHT OF WAY WIDTH |
| | RIGHT OF WAY EASEMENT |
| | CONSTRUCTION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | SURVEY ELEVATION |
| | PAVEMENT ELEVATION |
| | STORM DRAIN |
| | WATER SURFACE ELEVATION |
| | 100 YEAR FLOW RATE |
| | SHALE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ. |
| | SHALE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ. |
| | CONTOUR ELEVATION |
| | IF THIS HARVESTER PATH WITH A CROSS-SLOPING SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 8%, HARVESTER PATH SHALL CONSIST OF WETTED SOIL CONFINED TO 8% TO A DEPTH OF 1 FOOT. |



DATE PREPARED: 09/13/19
BY: TRAVIS J. BUNCH
SCALE: AS SHOWN

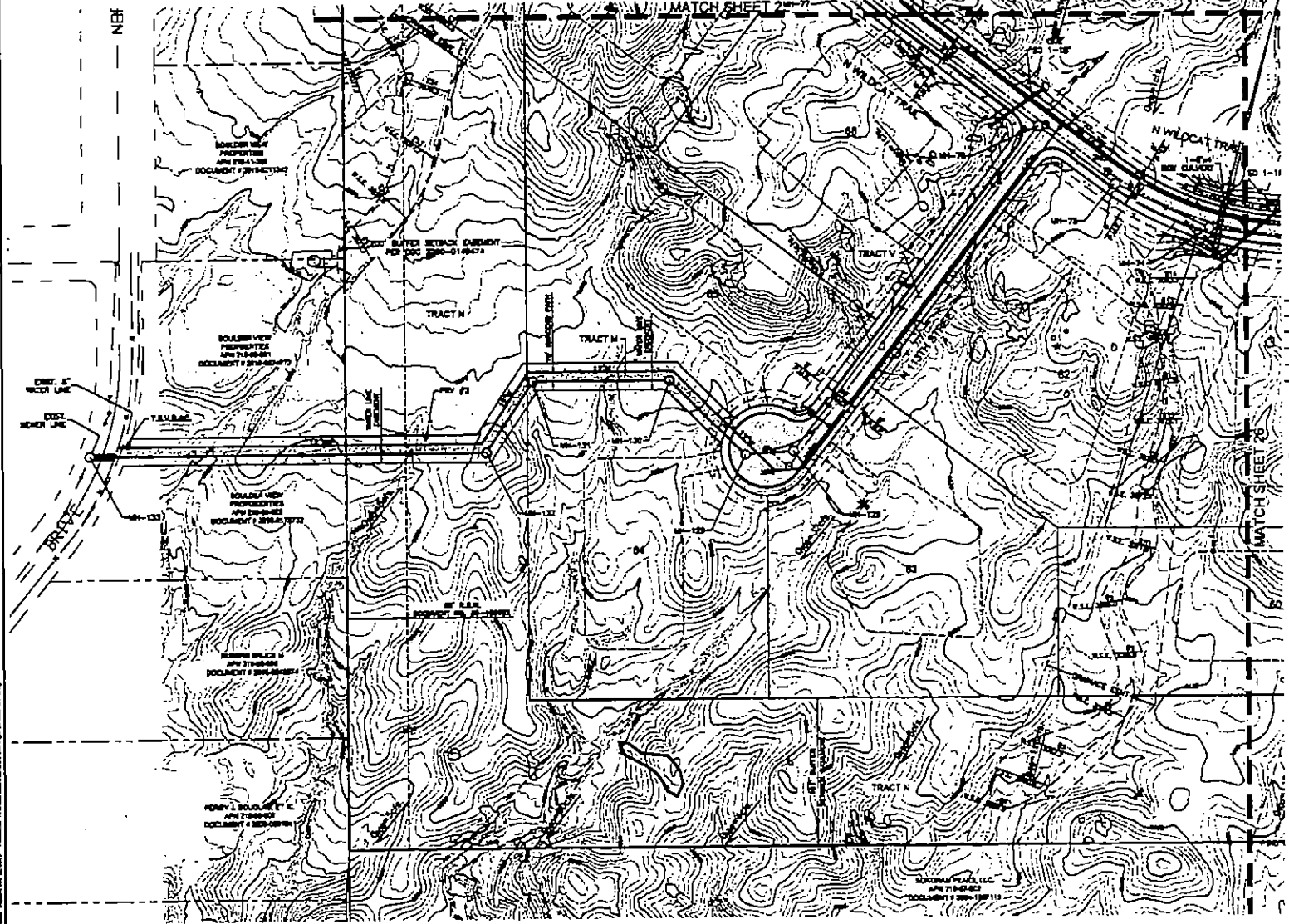


REGISTERED PROFESSIONAL ENGINEERS
60 YEARS
1015 N. 17TH STREET
PO BOX 41254
SPRINGFIELD, MO 65801-0254
PHONE: 417.836.9200
FAX: 417.836.9208
WWW.CVLENG.COM

SHEET NUMBER
24 of 28

PROJECT NAME
WILDCAT HILL
SUBJECT

PRELIMINARY PLAT FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - P.F.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - VEHICULAR NON-ACCESS EASEMENT
 - PUBLIC NON-ACCESS EASEMENT
 - EGRESS MANHOLE WITH 4th NUMBER
 - HYDRANT
 - WATER VALVE
 - RIGHT OF WAY WIDTH
 - SOFT VELOCITY EASEMENT
 - CONSTRUCTION ENVELOPE
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - HIGHEST ELEVATION
 - PREVIOUS ELEVATION
 - STORM DRAIN
 - STORM BRINK
 - U.S.C.
 - WATER SURFACE ELEVATION
 - 48 HOUR FLOOD RATE
 - C.T.M.
 - SINGLE & BOLLARD CLUSTERS THAT COMPLY WITH LOCAL SCORING REG.
 - SINGLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH LOCAL SCORING REG.
 - 7.5'±
 - 1" HOB HANDHELD PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 1% AND A LENGTH NOT GREATER THAN 25'. HANDHELD PATHS SHALL CONSIST OF MATCHES SIDE CONNECTED TO 8"± TO A WIDTH OF 1' FOOT.



DATE RECALCULATED BY: [Signature]
DESIGN: [Signature]



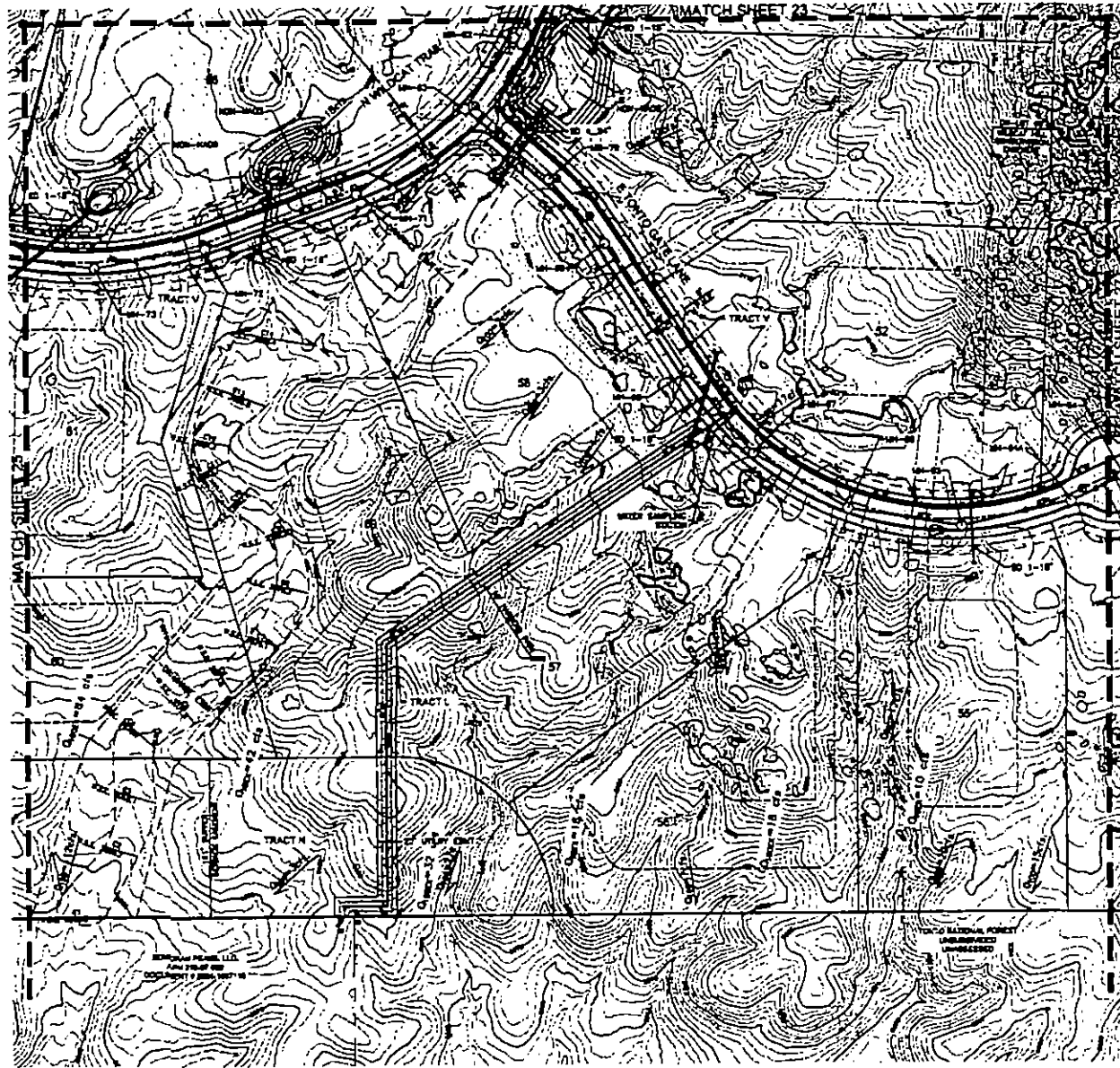
SCALE 1" = 30'

ICVL
ENGINEERS & ARCHITECTS
ESTABLISHED 60 YEARS
4800 N. 17TH STREET
PICOCA, MD 21094
PH: 410.326.8201
FAX: 410.326.8203
WEB: www.icvl.com

PROJECT NUMBER
25 of 28

DATE PLOTTED: 09/13/2018

**PRELIMINARY
PLAT FOR
WILDCAT HILL**



LEGEND

- REENTRANCE
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- P.U.E.
- P.U.E.
- P.U.A.E.
- P.U.A.E.
- HYDRANT
- WATER VALVE
- 4'
- EIGHT VEGETATION EASEMENT
- CONSTRUCTION ENVELOPE
- U-219.08 LOW POINT ELEVATION
- H-230.58 HIGH POINT ELEVATION
- M-275.12 MOUNTAIN ELEVATION
- P-31.80 PAVEMENT ELEVATION
- S-20.00 STORM DRAIN
- W.E.E. WATER SURFACE ELEVATION
- 0100- WE YOUR FURNACE
- SPALLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REC
- SPALLE & BOULDER CLUSTERS THAT DO NOT COMPLY ELEVATION
- WE WERE HARDED PATCH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 4% AND A LONGER SLOPE NOT GREATER THAN 8%. HARDED PATCH SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED BY
DRAWN BY



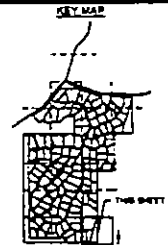
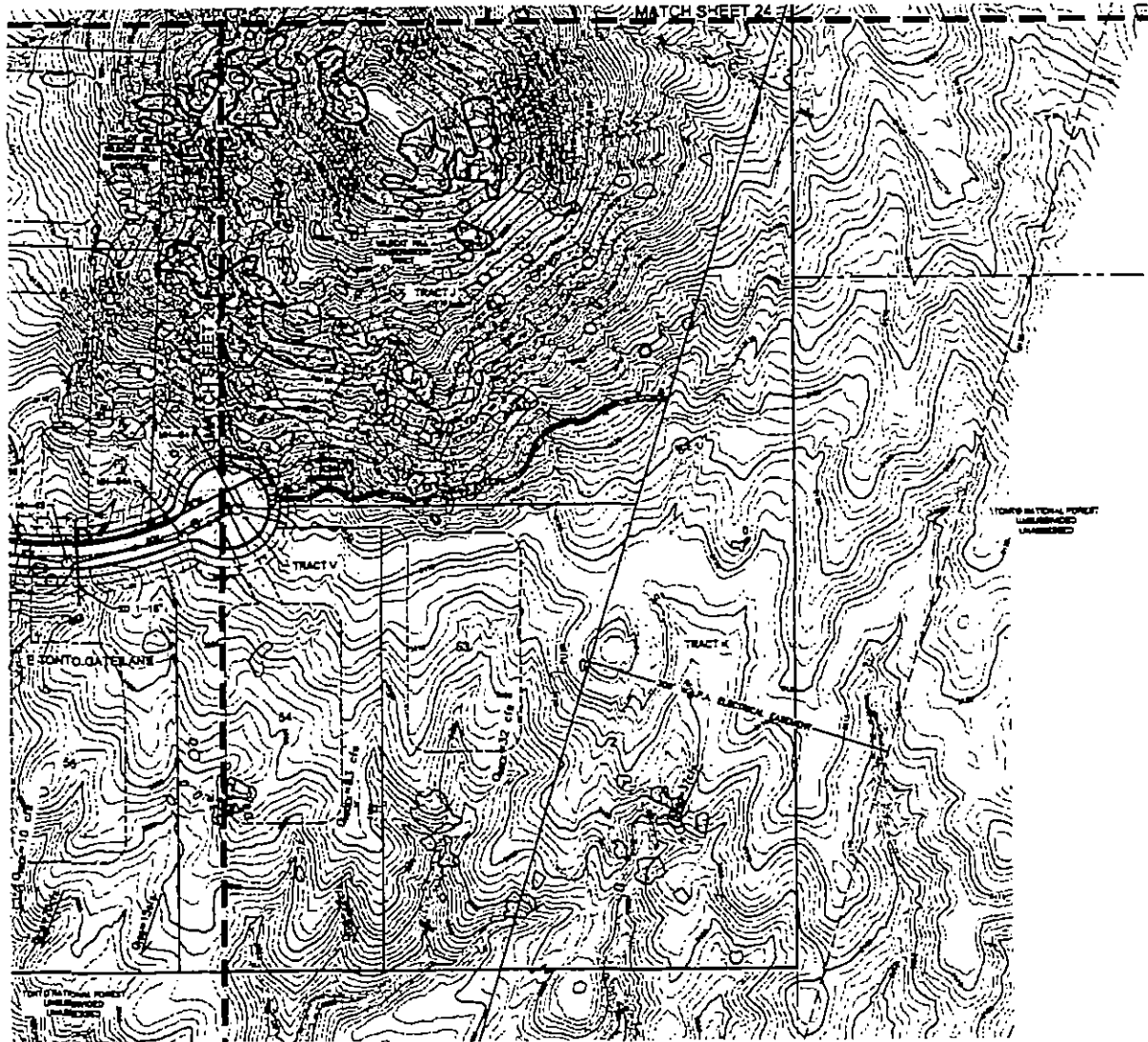
SCALE 1" = 80'

ICVL
CONSULTANTS
INCORPORATED
400 S. 17TH STREET
PACIFIC, CA 94041
PHONE (415) 486-8887
FAX (415) 486-8888
WWW.ICVL.COM

SHEET NUMBER
26 OF **28**

DATE PLOTTED: 09/13/2019

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

| | |
|--|---|
| | RIGHT-OF-WAY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | V.P.A.E. |
| | ROAD CENTER LINE |
| | DRAINAGE EASEMENT |
| | P.U.E. |
| | PUBLIC UTILITY EASEMENT |
| | V.E.A.E. |
| | VEHICLE NON-ACCESS EASEMENT |
| | P.A.A.E. |
| | PUBLIC NON-MOTORIST ACCESS EASEMENT |
| | SEWER MANHOLE WITH 6" MANHOLE |
| | HYDRANT |
| | WATER VALVE |
| | RIGHT OF WAY WIDTH |
| | RIGHT VISIBILITY EASEMENT |
| | CONSTRUCTION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | INVERT ELEVATION |
| | PAVEMENT ELEVATION |
| | STORM DRAIN |
| | STORM DRAIN |
| | W.S.E. |
| | WATER SURFACE ELEVATION |
| | 100 YEAR FLOW LINE |
| | SMALLE & BOLLER CLUSTERS THAT COMPLY WITH C.D.S. 2008-002 |
| | SMALLE & BOLLER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. 2008-002 |
| | CONTOUR ELEVATION |
| | 15 WIDE HATCHED PLOTS WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 1% AND A LENGTHWISE SLOPE NOT GREATER THAN 1% WHEN COMPACTED IN THE SMALL CORNER OF THE SOIL COMPACTED TO 90% TO A DEPTH OF 1 FOOT. |



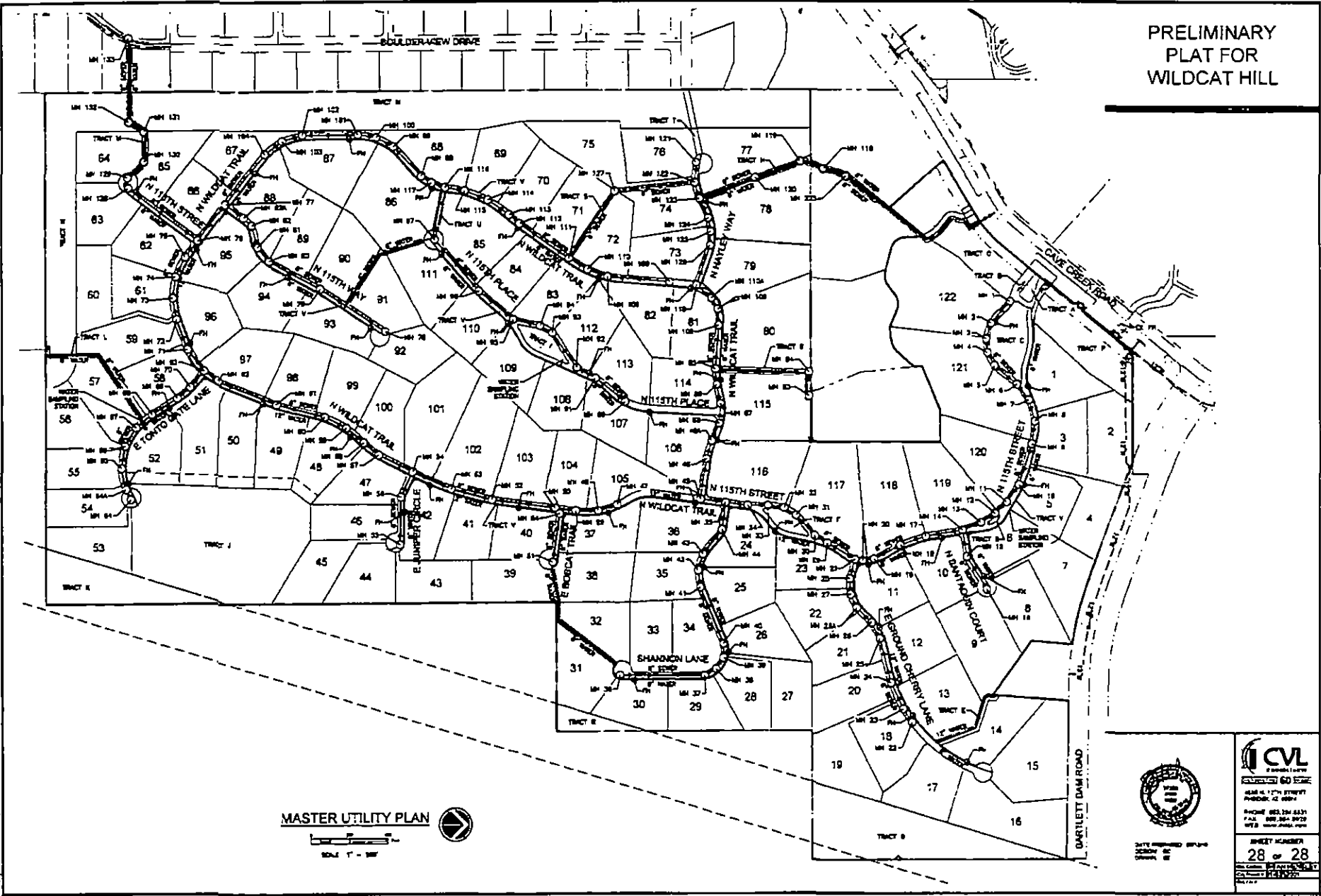
SEAL NUMBER 1000
DATE 08/13/2019

ICV
60 YEARS OF SERVICE
4884 N. 17TH STREET
PROVO, UT 84601
PHONE 801.224.8431
FAX 801.224.1900
WEB WWW.ICV.COM

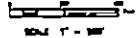
PROJECT NUMBER
27 of 28

DATE
08/13/2019

**PRELIMINARY
PLAT FOR
WILDCAT HILL**



MASTER UTILITY PLAN



STATE OF MICHIGAN
PROFESSIONAL ENGINEER
NO. 12345

CVL
Civil & Environmental Engineers

4348 N. 17TH STREET
PO BOX 12 00014

Phone: 983.284.8431
Fax: 983.284.9028
Web: www.cvl.com

SHEET NUMBER
28 of 28

DATE: 06/13/2019

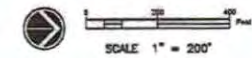
NATURAL AREA OPEN SPACE MAP FOR WILDCAT HILL

CAVE CREEK HILLS
SUBDIVISION
NCR #155-20

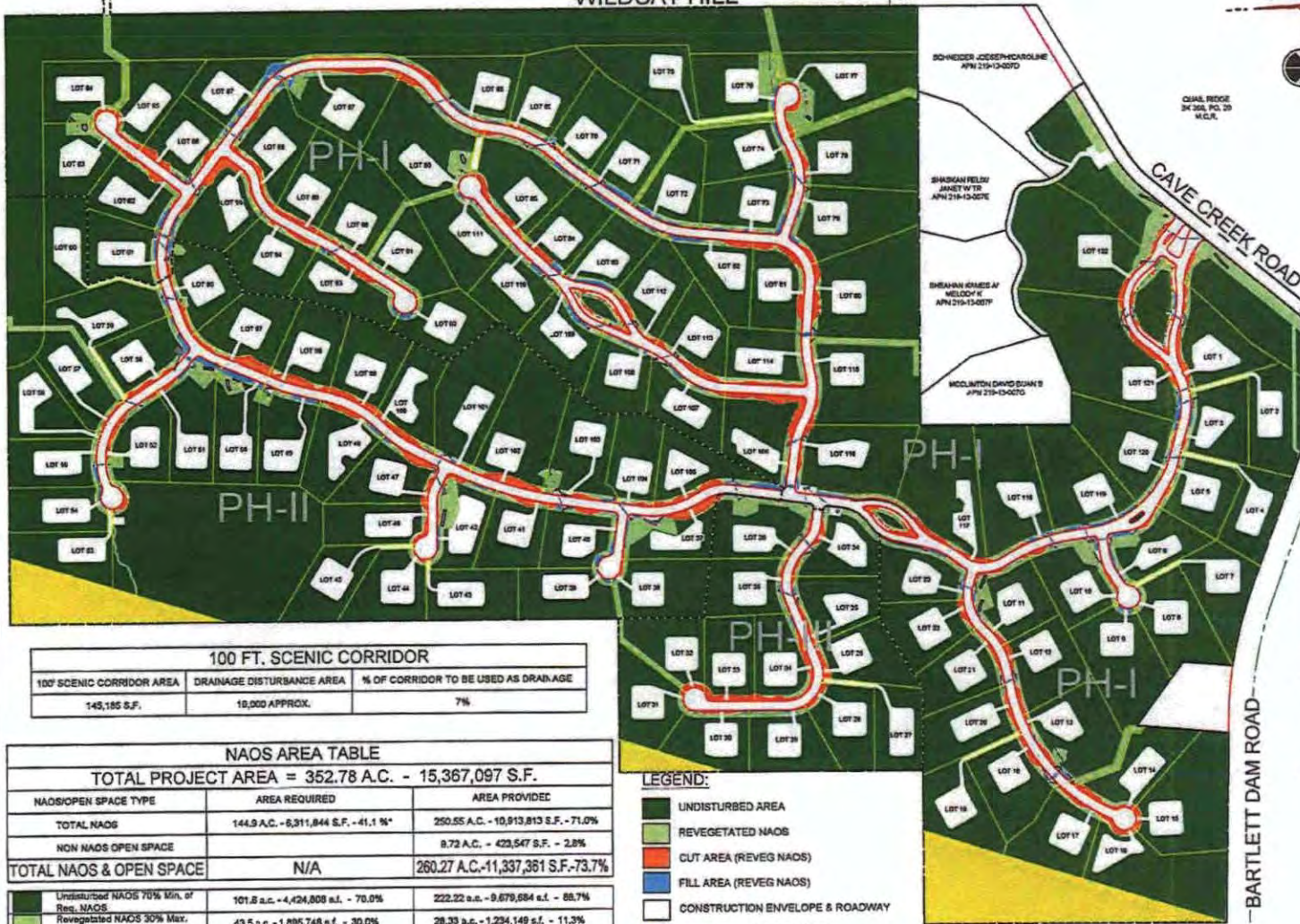
HARDY ROBERT CHARLES
TERESA ACHAM
APN 219-11-162D

HALLING DARRELL A
MELISSA J
APN 219-11-152E

Wildcat Hill



SCALE 1" = 200'



SEC 2227, T 6 N, R 9 E
VICINITY MAP
(NOT TO SCALE)

| 100 FT. SCENIC CORRIDOR | | |
|---------------------------|---------------------------|--------------------------------------|
| 100' SCENIC CORRIDOR AREA | DRAINAGE DISTURBANCE AREA | % OF CORRIDOR TO BE USED AS DRAINAGE |
| 145,185 S.F. | 18,000 APPROX. | 7% |

| NAOS AREA TABLE | | |
|--|---------------------------------------|--|
| TOTAL PROJECT AREA = 352.78 A.C. - 15,367,097 S.F. | | |
| NAOS/OPEN SPACE TYPE | AREA REQUIRED | AREA PROVIDED |
| TOTAL NAOS | 144.9 A.C. - 6,311,844 S.F. - 41.1 %* | 250.55 A.C. - 10,913,813 S.F. - 71.0% |
| NON NAOS OPEN SPACE | | 9.73 A.C. - 423,547 S.F. - 2.8% |
| TOTAL NAOS & OPEN SPACE | N/A | 260.27 A.C. - 11,337,361 S.F. - 73.7% |
| Undisturbed NAOS 70% Min. of Res. NAOS | 101.8 a.c. - 4,424,008 s.f. - 70.0% | 222.22 a.c. - 9,679,684 s.f. - 65.7% |
| Revegetated NAOS 30% Max. of Undisturbed NAOS Area | 43.5 a.c. - 1,885,748 s.f. - 30.0% | 28.33 a.c. - 1,234,149 s.f. - 11.3% |

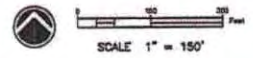
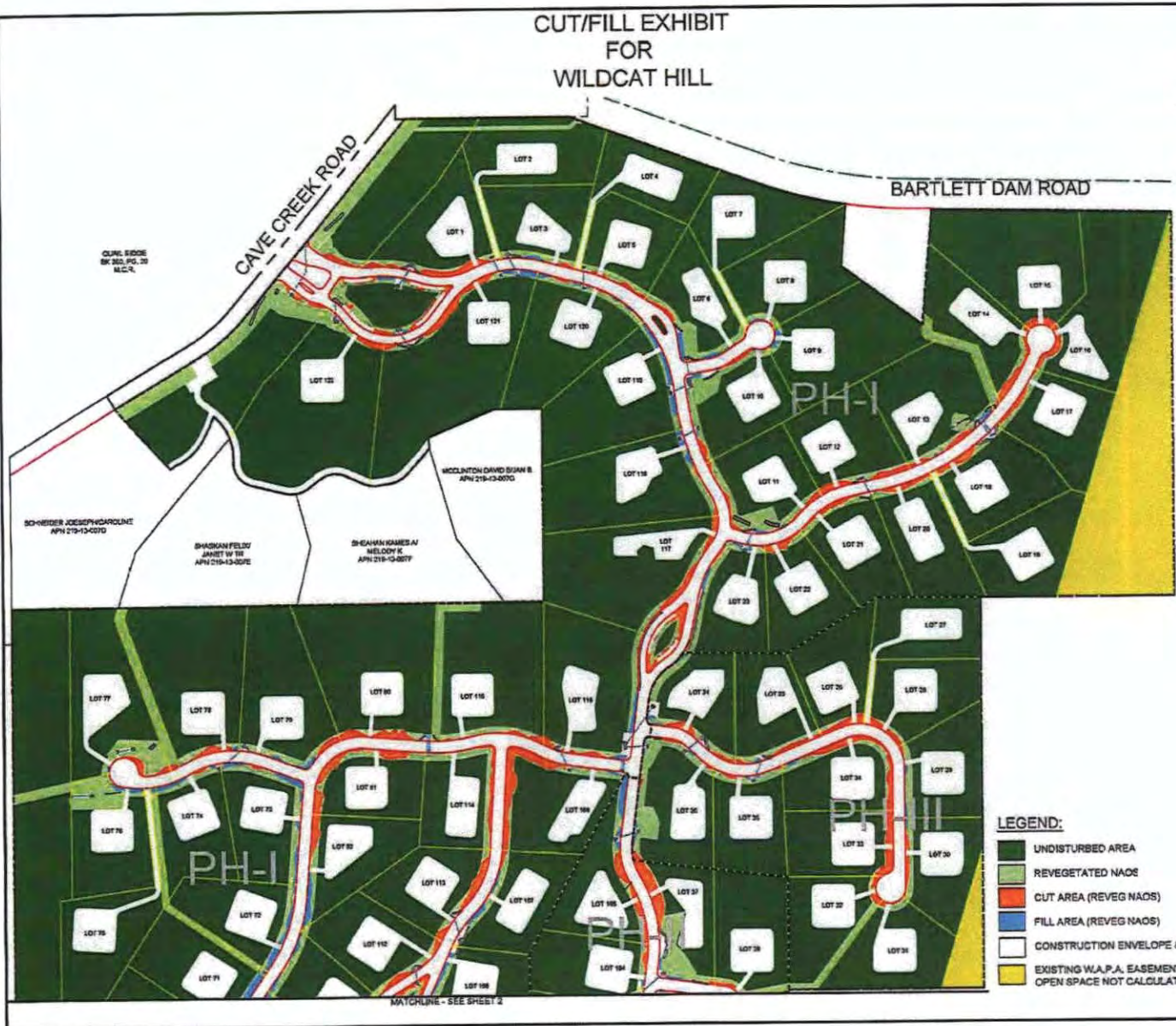
*Based on and calculated from Slope Analysis.

- LEGEND:**
- UNDISTURBED AREA
 - REVEGETATED NAOS
 - CUT AREA (REVEG NAOS)
 - FILL AREA (REVEG NAOS)
 - CONSTRUCTION ENVELOPE & ROADWAY
 - EXISTING W.A.P.A. EASEMENT
 - OPEN SPACE NOT CALCULATED AS NAOS

SHEET NUMBER
1 OF 2
09/13/2019

CUT/FILL EXHIBIT
FOR
WILDCAT HILL

Wildcat Hill



SEC 22, T 9 N, R 5 E
VICINITY MAP
(NOT TO SCALE)

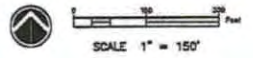
- LEGEND:**
- UNDISTURBED AREA
 - REVEGETATED NAOS
 - CUT AREA (REVEG NAOS)
 - FILL AREA (REVEG NAOS)
 - CONSTRUCTION ENVELOPE & ROADWAY
 - EXISTING W.A.P.A. EASEMENT
 - OPEN SPACE NOT CALCULATED AS NAOS



SHEET NUMBER
1 OF 2
DATE: 08/13/2019
PROJECT: WILDCAT HILL

Wildcat Hill

MATCHLINE - SEE SHEET 1



- LEGEND:**
- UNDISTURBED AREA
 - REVEGETATED NACS
 - CUT AREA (REVEG NACS)
 - FILL AREA (REVEG NACS)
 - CONSTRUCTION ENVELOPE & ROADWAY
 - EXISTING W.A.P.A. EASEMENT
 - OPEN SPACE NOT CALCULATED AS NACS



SHEET NUMBER
2 OF 2
DWA HENSHLEY
CIVIL ENGINEER
CIVIL NUMBER 01-4225-2001
CIVIL WORK



LOT AREA TABLE

| LOT | AREA (SQUARE FEET) |
|-------|--------------------|
| 1 | 84,429 |
| 2 | 83,429 |
| 3 | 84,429 |
| 4 | 83,429 |
| 5 | 84,429 |
| 6 | 83,429 |
| 7 | 84,429 |
| 8 | 83,429 |
| 9 | 84,429 |
| 10 | 83,429 |
| 11 | 84,429 |
| 12 | 83,429 |
| 13 | 84,429 |
| 14 | 83,429 |
| 15 | 84,429 |
| 16 | 83,429 |
| 17 | 84,429 |
| 18 | 83,429 |
| 19 | 84,429 |
| 20 | 83,429 |
| 21 | 84,429 |
| 22 | 83,429 |
| 23 | 84,429 |
| 24 | 83,429 |
| 25 | 84,429 |
| 26 | 83,429 |
| 27 | 84,429 |
| 28 | 83,429 |
| 29 | 84,429 |
| 30 | 83,429 |
| 31 | 84,429 |
| 32 | 83,429 |
| 33 | 84,429 |
| 34 | 83,429 |
| 35 | 84,429 |
| 36 | 83,429 |
| 37 | 84,429 |
| 38 | 83,429 |
| 39 | 84,429 |
| 40 | 83,429 |
| 41 | 84,429 |
| 42 | 83,429 |
| 43 | 84,429 |
| 44 | 83,429 |
| 45 | 84,429 |
| 46 | 83,429 |
| 47 | 84,429 |
| 48 | 83,429 |
| 49 | 84,429 |
| 50 | 83,429 |
| 51 | 84,429 |
| 52 | 83,429 |
| 53 | 84,429 |
| 54 | 83,429 |
| 55 | 84,429 |
| 56 | 83,429 |
| 57 | 84,429 |
| 58 | 83,429 |
| 59 | 84,429 |
| 60 | 83,429 |
| TOTAL | 11,111,117 |

TRACT TABLE

| TRACT | AREA (ACRES) DESCRIPTION | ACRES |
|---------|---|---------|
| TRACT A | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT B | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT C | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT D | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT E | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT F | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT G | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT H | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT I | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT J | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT K | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT L | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT M | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT N | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT O | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT P | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT Q | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT R | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT S | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT T | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT U | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TRACT V | 11.111 ACRES - VILLAGE GREEN - CHERRY HILLS | 11.111 |
| TOTAL | | 111.111 |

LAND USE TABLE

| LAND USE AREAS | SQ. FEET | ACRES |
|------------------------------|------------|---------|
| LAND USE AREAS | 11,111,117 | 256.148 |
| TOTAL AREA OF TRACTS (A-U) | 2,388,300 | 54.850 |
| PUBLIC STREET AREA (TRACT V) | 879,520 | 20.166 |
| PUBLIC RIGHT-OF-WAY | 78,912 | 1.820 |
| TOTAL DEDICATED AREA | 15,498,339 | 354.827 |

NAOS AREA TABLE

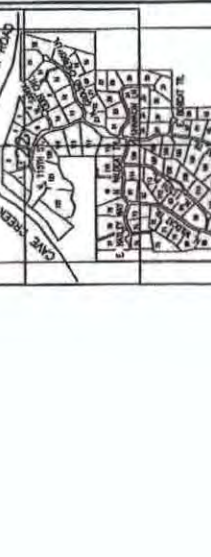
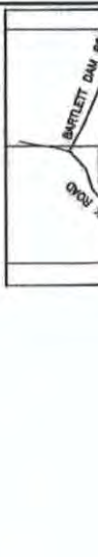
| NAOS AREA | AREA (ACRES) |
|--------------|--------------|
| NAOS AREA 1 | 11.111 |
| NAOS AREA 2 | 11.111 |
| NAOS AREA 3 | 11.111 |
| NAOS AREA 4 | 11.111 |
| NAOS AREA 5 | 11.111 |
| NAOS AREA 6 | 11.111 |
| NAOS AREA 7 | 11.111 |
| NAOS AREA 8 | 11.111 |
| NAOS AREA 9 | 11.111 |
| NAOS AREA 10 | 11.111 |
| NAOS AREA 11 | 11.111 |
| NAOS AREA 12 | 11.111 |
| NAOS AREA 13 | 11.111 |
| NAOS AREA 14 | 11.111 |
| NAOS AREA 15 | 11.111 |
| NAOS AREA 16 | 11.111 |
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| NAOS AREA 18 | 11.111 |
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| NAOS AREA 22 | 11.111 |
| NAOS AREA 23 | 11.111 |
| NAOS AREA 24 | 11.111 |
| NAOS AREA 25 | 11.111 |
| NAOS AREA 26 | 11.111 |
| NAOS AREA 27 | 11.111 |
| NAOS AREA 28 | 11.111 |
| NAOS AREA 29 | 11.111 |
| NAOS AREA 30 | 11.111 |
| NAOS AREA 31 | 11.111 |
| NAOS AREA 32 | 11.111 |
| NAOS AREA 33 | 11.111 |
| NAOS AREA 34 | 11.111 |
| NAOS AREA 35 | 11.111 |
| NAOS AREA 36 | 11.111 |
| NAOS AREA 37 | 11.111 |
| NAOS AREA 38 | 11.111 |
| NAOS AREA 39 | 11.111 |
| NAOS AREA 40 | 11.111 |
| NAOS AREA 41 | 11.111 |
| NAOS AREA 42 | 11.111 |
| NAOS AREA 43 | 11.111 |
| NAOS AREA 44 | 11.111 |
| NAOS AREA 45 | 11.111 |
| NAOS AREA 46 | 11.111 |
| NAOS AREA 47 | 11.111 |
| NAOS AREA 48 | 11.111 |
| NAOS AREA 49 | 11.111 |
| NAOS AREA 50 | 11.111 |
| TOTAL | 111.111 |

Wildcat Hill LOT N.A.O.S. area report

| LOT | AREA (ACRES) |
|--------|--------------|
| LOT 1 | 11.111 |
| LOT 2 | 11.111 |
| LOT 3 | 11.111 |
| LOT 4 | 11.111 |
| LOT 5 | 11.111 |
| LOT 6 | 11.111 |
| LOT 7 | 11.111 |
| LOT 8 | 11.111 |
| LOT 9 | 11.111 |
| LOT 10 | 11.111 |
| LOT 11 | 11.111 |
| LOT 12 | 11.111 |
| LOT 13 | 11.111 |
| LOT 14 | 11.111 |
| LOT 15 | 11.111 |
| LOT 16 | 11.111 |
| LOT 17 | 11.111 |
| LOT 18 | 11.111 |
| LOT 19 | 11.111 |
| LOT 20 | 11.111 |
| LOT 21 | 11.111 |
| LOT 22 | 11.111 |
| LOT 23 | 11.111 |
| LOT 24 | 11.111 |
| LOT 25 | 11.111 |
| LOT 26 | 11.111 |
| LOT 27 | 11.111 |
| LOT 28 | 11.111 |
| LOT 29 | 11.111 |
| LOT 30 | 11.111 |
| LOT 31 | 11.111 |
| LOT 32 | 11.111 |
| LOT 33 | 11.111 |
| LOT 34 | 11.111 |
| LOT 35 | 11.111 |
| LOT 36 | 11.111 |
| LOT 37 | 11.111 |
| LOT 38 | 11.111 |
| LOT 39 | 11.111 |
| LOT 40 | 11.111 |
| LOT 41 | 11.111 |
| LOT 42 | 11.111 |
| LOT 43 | 11.111 |
| LOT 44 | 11.111 |
| LOT 45 | 11.111 |
| LOT 46 | 11.111 |
| LOT 47 | 11.111 |
| LOT 48 | 11.111 |
| LOT 49 | 11.111 |
| LOT 50 | 11.111 |
| TOTAL | 111.111 |

NAOS AREA TABLE

| NAOS AREA | AREA (ACRES) |
|--------------|--------------|
| NAOS AREA 1 | 11.111 |
| NAOS AREA 2 | 11.111 |
| NAOS AREA 3 | 11.111 |
| NAOS AREA 4 | 11.111 |
| NAOS AREA 5 | 11.111 |
| NAOS AREA 6 | 11.111 |
| NAOS AREA 7 | 11.111 |
| NAOS AREA 8 | 11.111 |
| NAOS AREA 9 | 11.111 |
| NAOS AREA 10 | 11.111 |
| NAOS AREA 11 | 11.111 |
| NAOS AREA 12 | 11.111 |
| NAOS AREA 13 | 11.111 |
| NAOS AREA 14 | 11.111 |
| NAOS AREA 15 | 11.111 |
| NAOS AREA 16 | 11.111 |
| NAOS AREA 17 | 11.111 |
| NAOS AREA 18 | 11.111 |
| NAOS AREA 19 | 11.111 |
| NAOS AREA 20 | 11.111 |
| NAOS AREA 21 | 11.111 |
| NAOS AREA 22 | 11.111 |
| NAOS AREA 23 | 11.111 |
| NAOS AREA 24 | 11.111 |
| NAOS AREA 25 | 11.111 |
| NAOS AREA 26 | 11.111 |
| NAOS AREA 27 | 11.111 |
| NAOS AREA 28 | 11.111 |
| NAOS AREA 29 | 11.111 |
| NAOS AREA 30 | 11.111 |
| NAOS AREA 31 | 11.111 |
| NAOS AREA 32 | 11.111 |
| NAOS AREA 33 | 11.111 |
| NAOS AREA 34 | 11.111 |
| NAOS AREA 35 | 11.111 |
| NAOS AREA 36 | 11.111 |
| NAOS AREA 37 | 11.111 |
| NAOS AREA 38 | 11.111 |
| NAOS AREA 39 | 11.111 |
| NAOS AREA 40 | 11.111 |
| NAOS AREA 41 | 11.111 |
| NAOS AREA 42 | 11.111 |
| NAOS AREA 43 | 11.111 |
| NAOS AREA 44 | 11.111 |
| NAOS AREA 45 | 11.111 |
| NAOS AREA 46 | 11.111 |
| NAOS AREA 47 | 11.111 |
| NAOS AREA 48 | 11.111 |
| NAOS AREA 49 | 11.111 |
| NAOS AREA 50 | 11.111 |
| TOTAL | 111.111 |



SHEET NUMBER 2 OF 7

**SECTION 5.030. - SINGLE-FAMILY RESIDENTIAL (R1-70/ESL) DISTRICT
(AMENDED)**

Section 5.031 Purpose

This district is intended to promote and preserve residential development. Large lots are required to maintain low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Section 5.034 Property Development Standards

The following property development standards shall apply to all land and buildings in the R1-70/ESL district:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~seventy thousand (70,000)~~ **EIGHTY THOUSAND (80,000)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
3. Specialized Residential Health Care Facility: the minimum lot area shall be five (5) gross acres.

B. Lot dimensions.

1. Width. All lots shall have a minimum width of ~~two hundred fifty (250 feet)~~ **ONE HUNDRED EIGHTY SEVEN AND ONE-HALF FEET (187.5)**.
2. **FLAG LOTS. FLAG LOTS ARE PERMITTED AND SHALL HAVE MINIMUM WIDTH OF TWENTY (20) FEET MEASURED AT THE PROPERTY LINE.**

C. Density. There shall be no more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. ~~No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.~~ **PER THE ESL ORDINANCE, THE MAXIMUM BUILDING HEIGHT IS LIMITED TO TWENTY FOUR (24) FEET FROM NATURAL GRADE FOR ALL R1 DISTRICTS.**

E. Yards

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~sixty (60)~~ FORTY FIVE (45) feet.
 - b. Where lots have a double frontage on two (2) streets, the required front yard of ~~sixty (60)~~ FORTY FIVE (45) feet shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~sixty (60)~~ FORTY FIVE (45) feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street **WITH A MINIMUM SETBACK OF FORTY FIVE (45) FEET.**
2. Side Yard. There shall be a side yard of not less than ~~thirty (30)~~ TWENTY THREE (23) feet on each side of a building.
 3. Rear Yard. There shall be a rear yard having a depth of not less than ~~sixty (60)~~ FORTY FIVE (45) feet.
 4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than sixty (60) feet.

G. *Walls, fences and landscaping.*

Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. *Exception:* Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.

H. *Access.*

All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision. Access for Specialized Residential Health Care Facilities shall be provided in the following manner:

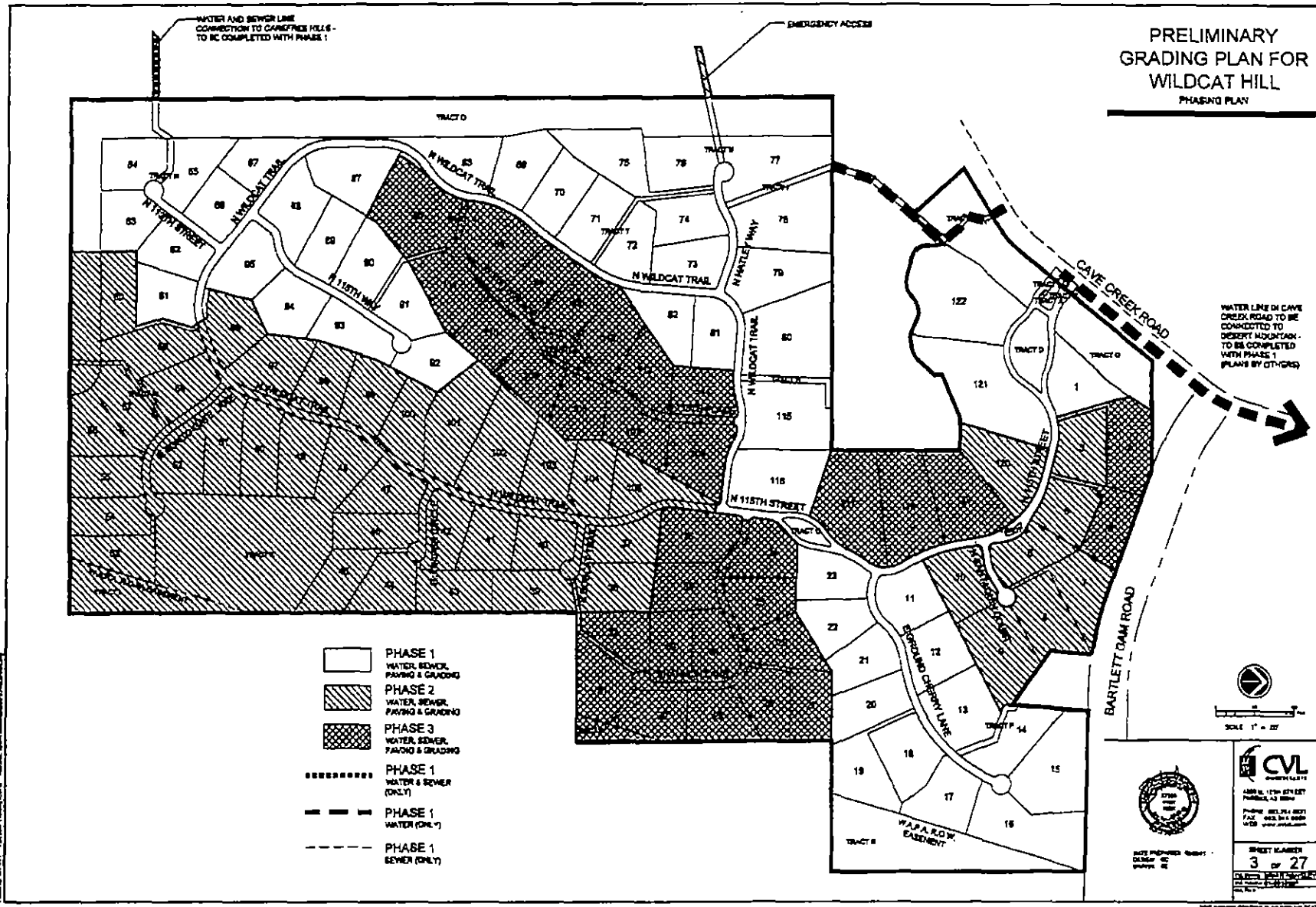
1. All Specialized Residential Health Care Facilities shall have access to a street classified by the Scottsdale General Plan (Transportation Master Plan) as a minor collector or greater.

I. *Corral.*

Corral fence not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

SECTION 5.034. R1-70/ESL SINGLE-FAMILY RESIDENTIAL DISTRICT
SUMMARY TABLE

| Development Standard | Ordinance Requirement | Proposed Amendment | Max. ESL Reduction ¹ | Proposed Reduction |
|---|-----------------------|--------------------|---------------------------------|--------------------|
| A. Minimum Lot Area (Sq. Ft.) | 70,000 | 80,000 | 25% | 25% |
| B. Minimum Lot Width | | | | |
| 1. Standard Lot | 250' | 187.5' | 25% | 25% |
| 2. Flag Lots | - | 20' | - | - |
| C. Maximum Building Height | 30' | 24' | N/A | - |
| D. Minimum Yard Setbacks | | | | |
| 1. Front Yard | | | | |
| a. Front (Face of building) | 60' | 45' | 25% | - |
| b. Front (Face of garage) | 60' | 45' | 25% | - |
| c. Front (Corner lot side street) | 60' | 45' | 25% | 25% |
| d. Front (Key lot side street) | 60' | 45' | 25% | - |
| e. Front (Double frontage) | 60' | 45' | 25% | - |
| 2. Side Yard | | | | |
| a. Minimum | 30' | 23' | 25% | 23.3% |
| b. Minimum Aggregate | 60' | 45' | 25% | - |
| 3. Rear Yard | 60' | 45' | 25% | - |
| E. Distance Between Buildings (Min) | | | | |
| a. Accessory & Main | 10' | - | - | - |
| b. Main Bldg on Adjacent Lots | 60' | - | - | - |
| F. Maximum Wall Height | | | | |
| a. Front | 3' | - | - | - |
| b. Side | 8' | - | - | - |
| c. Rear | 8' | - | - | - |
| d. Corner Lot/Key Lot | 8' | - | - | - |
| e. Corral fence | 6' | - | - | - |
| G. Development Perimeter Setbacks | - | - | - | - |
| *Maximum reductions as allowed by Section 6.1083 of the ESL ordinance | | | | |



NOTES:

- 1. These notes shall be read in conjunction with the general notes to the plans.
- 2. All work shall be in accordance with the plans and specifications.
- 3. All work shall be done in accordance with the applicable codes and ordinances of the City of Scottsdale.
- 4. All work shall be done in accordance with the applicable codes and ordinances of the State of Arizona.
- 5. All work shall be done in accordance with the applicable codes and ordinances of the County of Maricopa.
- 6. All work shall be done in accordance with the applicable codes and ordinances of the City of Phoenix.

WHDV REVEGETATION PLAN NOTES:

- 1. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Scottsdale.
- 2. The revegetation plan shall be in accordance with the applicable codes and ordinances of the State of Arizona.
- 3. The revegetation plan shall be in accordance with the applicable codes and ordinances of the County of Maricopa.
- 4. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Phoenix.
- 5. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Scottsdale.
- 6. The revegetation plan shall be in accordance with the applicable codes and ordinances of the State of Arizona.
- 7. The revegetation plan shall be in accordance with the applicable codes and ordinances of the County of Maricopa.
- 8. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Phoenix.
- 9. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Scottsdale.
- 10. The revegetation plan shall be in accordance with the applicable codes and ordinances of the State of Arizona.
- 11. The revegetation plan shall be in accordance with the applicable codes and ordinances of the County of Maricopa.
- 12. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Phoenix.
- 13. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Scottsdale.
- 14. The revegetation plan shall be in accordance with the applicable codes and ordinances of the State of Arizona.
- 15. The revegetation plan shall be in accordance with the applicable codes and ordinances of the County of Maricopa.
- 16. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Phoenix.
- 17. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Scottsdale.
- 18. The revegetation plan shall be in accordance with the applicable codes and ordinances of the State of Arizona.
- 19. The revegetation plan shall be in accordance with the applicable codes and ordinances of the County of Maricopa.
- 20. The revegetation plan shall be in accordance with the applicable codes and ordinances of the City of Phoenix.

ENVIRONMENTALLY SENSITIVE LANDS OR OTHER RESOURCES BUILDING & SITE DEVELOPMENT NOTES:

- 1. LAND DESIGNATED AS NATURAL AREA OPEN SPACE SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE ENTIRE SPACE SHALL BE PERMANENTLY MAINTAINED AS NATURAL OPEN SPACE THROUGH EASEMENT, DEED, DONATION TO THE CITY, OR OTHER CITY. LAND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- 2. NON-PROCESSED PLANT MATERIALS ARE LIMITED TO ENCLOSED AREAS AND SHALL NOT EXCEED 30 FEET IN HEIGHT.
- 3. TURF IS LIMITED TO ENCLOSED AREAS NOT VISIBLE FROM OPPOSITE END ELEVATION. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
- 4. NO PAINT COLORS SHALL BE USED WHICH HAVE A LIGHT REFLECTIVE VALUE ANY GREATER THAN 45%.
- 5. TURF MEASURES THE AMOUNT OF LIGHT REFLECTED BY A COLOR AND IS AVAILABLE FROM PAINT MANUFACTURERS.
- 6. EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A WAIVER AND/OR CHROMA OF 8 AS INDICATED IN HANDBOOK OF COLOR ON FILE IN THE CITY PLANNING DEPARTMENT. SAMPLES MAY BE REQUIRED.

BENCHMARK

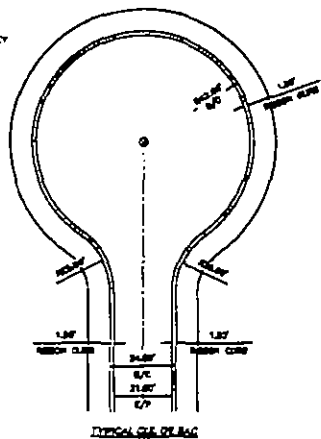
MARICOPA COUNTY GEODESIC SURVEY AND INDUSTRIAL SURVEY
 CORNER # 222814
 FOUND - BLUE CAPPED PIPE
 ELEV. 31.8484 WAD 88 DATUM
 CITY OF SCOTTSDALE QUARTER SECTION 32-77

PROPOSED ZONING

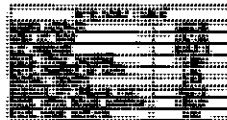
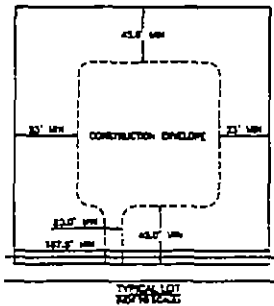
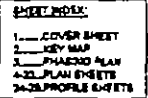
PROPOSED ZONING: R1-10

EXISTING ZONING

EXISTING ZONING: R1-10



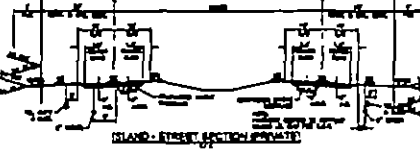
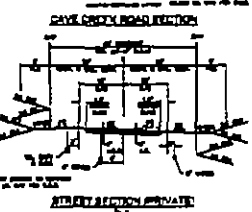
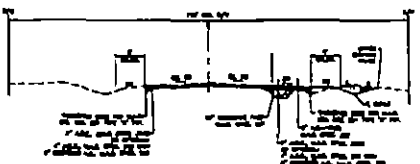
WILDCAT HILL PRELIMINARY GRADING PLAN



| TRACT | AREA (ACRES) |
|-------|--------------|
| 1 | 1.0000 |
| 2 | 1.0000 |
| 3 | 1.0000 |
| 4 | 1.0000 |
| 5 | 1.0000 |
| 6 | 1.0000 |
| 7 | 1.0000 |
| 8 | 1.0000 |
| 9 | 1.0000 |
| 10 | 1.0000 |
| 11 | 1.0000 |
| 12 | 1.0000 |
| 13 | 1.0000 |
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| 93 | 1.0000 |
| 94 | 1.0000 |
| 95 | 1.0000 |
| 96 | 1.0000 |
| 97 | 1.0000 |
| 98 | 1.0000 |
| 99 | 1.0000 |
| 100 | 1.0000 |

LOT AREA TABLE

| LOT | VOLUME (FEET) | ACRES | LOT | VOLUME (FEET) | ACRES |
|-----------------------|---------------|-------|-----|---------------|-------|
| 1 | 10,000 | 0.23 | 51 | 10,000 | 0.23 |
| 2 | 10,000 | 0.23 | 52 | 10,000 | 0.23 |
| 3 | 10,000 | 0.23 | 53 | 10,000 | 0.23 |
| 4 | 10,000 | 0.23 | 54 | 10,000 | 0.23 |
| 5 | 10,000 | 0.23 | 55 | 10,000 | 0.23 |
| 6 | 10,000 | 0.23 | 56 | 10,000 | 0.23 |
| 7 | 10,000 | 0.23 | 57 | 10,000 | 0.23 |
| 8 | 10,000 | 0.23 | 58 | 10,000 | 0.23 |
| 9 | 10,000 | 0.23 | 59 | 10,000 | 0.23 |
| 10 | 10,000 | 0.23 | 60 | 10,000 | 0.23 |
| 11 | 10,000 | 0.23 | 61 | 10,000 | 0.23 |
| 12 | 10,000 | 0.23 | 62 | 10,000 | 0.23 |
| 13 | 10,000 | 0.23 | 63 | 10,000 | 0.23 |
| 14 | 10,000 | 0.23 | 64 | 10,000 | 0.23 |
| 15 | 10,000 | 0.23 | 65 | 10,000 | 0.23 |
| 16 | 10,000 | 0.23 | 66 | 10,000 | 0.23 |
| 17 | 10,000 | 0.23 | 67 | 10,000 | 0.23 |
| 18 | 10,000 | 0.23 | 68 | 10,000 | 0.23 |
| 19 | 10,000 | 0.23 | 69 | 10,000 | 0.23 |
| 20 | 10,000 | 0.23 | 70 | 10,000 | 0.23 |
| 21 | 10,000 | 0.23 | 71 | 10,000 | 0.23 |
| 22 | 10,000 | 0.23 | 72 | 10,000 | 0.23 |
| 23 | 10,000 | 0.23 | 73 | 10,000 | 0.23 |
| 24 | 10,000 | 0.23 | 74 | 10,000 | 0.23 |
| 25 | 10,000 | 0.23 | 75 | 10,000 | 0.23 |
| 26 | 10,000 | 0.23 | 76 | 10,000 | 0.23 |
| 27 | 10,000 | 0.23 | 77 | 10,000 | 0.23 |
| 28 | 10,000 | 0.23 | 78 | 10,000 | 0.23 |
| 29 | 10,000 | 0.23 | 79 | 10,000 | 0.23 |
| 30 | 10,000 | 0.23 | 80 | 10,000 | 0.23 |
| 31 | 10,000 | 0.23 | 81 | 10,000 | 0.23 |
| 32 | 10,000 | 0.23 | 82 | 10,000 | 0.23 |
| 33 | 10,000 | 0.23 | 83 | 10,000 | 0.23 |
| 34 | 10,000 | 0.23 | 84 | 10,000 | 0.23 |
| 35 | 10,000 | 0.23 | 85 | 10,000 | 0.23 |
| 36 | 10,000 | 0.23 | 86 | 10,000 | 0.23 |
| 37 | 10,000 | 0.23 | 87 | 10,000 | 0.23 |
| 38 | 10,000 | 0.23 | 88 | 10,000 | 0.23 |
| 39 | 10,000 | 0.23 | 89 | 10,000 | 0.23 |
| 40 | 10,000 | 0.23 | 90 | 10,000 | 0.23 |
| 41 | 10,000 | 0.23 | 91 | 10,000 | 0.23 |
| 42 | 10,000 | 0.23 | 92 | 10,000 | 0.23 |
| 43 | 10,000 | 0.23 | 93 | 10,000 | 0.23 |
| 44 | 10,000 | 0.23 | 94 | 10,000 | 0.23 |
| 45 | 10,000 | 0.23 | 95 | 10,000 | 0.23 |
| 46 | 10,000 | 0.23 | 96 | 10,000 | 0.23 |
| 47 | 10,000 | 0.23 | 97 | 10,000 | 0.23 |
| 48 | 10,000 | 0.23 | 98 | 10,000 | 0.23 |
| 49 | 10,000 | 0.23 | 99 | 10,000 | 0.23 |
| 50 | 10,000 | 0.23 | 100 | 10,000 | 0.23 |
| TOTAL 111,111.11 2.56 | | | | | |

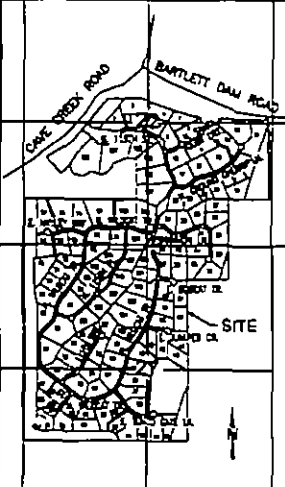


PRELIMINARY GRADING PLAN FOR WILDCAT HILL

OWNER:
 WILDCAT PARTNERS, LLC
 408 N. 17TH STREET
 PHOENIX, AZ 85011
 PHONE: 602-955-1944

PREPARED BY:
 CIVIL CONSULTANTS, INC.
 408 N. 17TH STREET
 PHOENIX, AZ 85011
 PHONE: 602-254-8001
 CONTACT: BRAD HENSHLEY

LEGAL DESCRIPTION:
 LOTS 1 THROUGH 10, INCLUDES AND TRACTS 4 THROUGH 8, INCLUDING OF RECORD 111, ACCORDING TO THE PLAT OF RECORD 211, IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED BY BOOK 87 OF MAPS, PAGE 8.



SECTION 32-77-006
 VIGNETTE MAP
 ONLY TO SCALE

ICVL
 CIVIL CONSULTANTS, INC.
 408 N. 17TH STREET
 PHOENIX, AZ 85011
 PHONE: 602-254-8001
 FAX: 602-254-8002
 WEBSITE: WWW.ICVL.COM

SCALE: NUMBER
 1 OF 29

DATE PREPARED: 06/20/07
 DRAWN BY: [Name]

PRELIMINARY GRADING PLAN FOR WILDCAT HILL
KEY MAP

OWNER:

WILDCAT PARTNERS, LLC
 454 N. 17TH STREET, SUITE 201
 PHOENIX, AZ 85018
 PHONE: (602) 468-1244

PREPARED BY:

CAL CONSULTANTS, INC.
 4328 N. 127TH STREET
 PHOENIX, AZ 85018
 PHONE: (602) 946-8801
 CONTACT: BRIAN HENDEL

LEGAL DESCRIPTION:

A PIECE OF LAND LOCATED IN SECTIONS 22 AND 27, TOWNSHIP 6 NORTH RANGE 5 EAST, OF THE GILA AND SALT RIVER BASIN AND HERETAK MARIQUIPA TERRITORY, ARIZONA.

LEGEND

- - - - - RIGHT-OF-WAY
- - - - - PROPERTY LINE
- - - - - PUBLIC UTILITY EASEMENT
- - - - - EASEMENT
- - - - - ROAD CENTER LINE
- - - - - DRAINAGE EASEMENT
- - - - - PUBLIC UTILITY EASEMENT
- - - - - TRACT
- - - - - CONSTRUCTION ENVELOPE
- HIGH POINT ELEVATION
- LOW POINT ELEVATION
- FINISH ELEVATION
- FINISH ELEVATION
- STORM DRAIN
- STORM DRAIN
- WATER SURFACE ELEVATION
- 10 YEAR FLOOD DATE
- SINGLE & DOUBLE CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REG.
- SINGLE & DOUBLE CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REG.
- CONTOUR ELEVATION
- GRADE BREAK

NOTE:

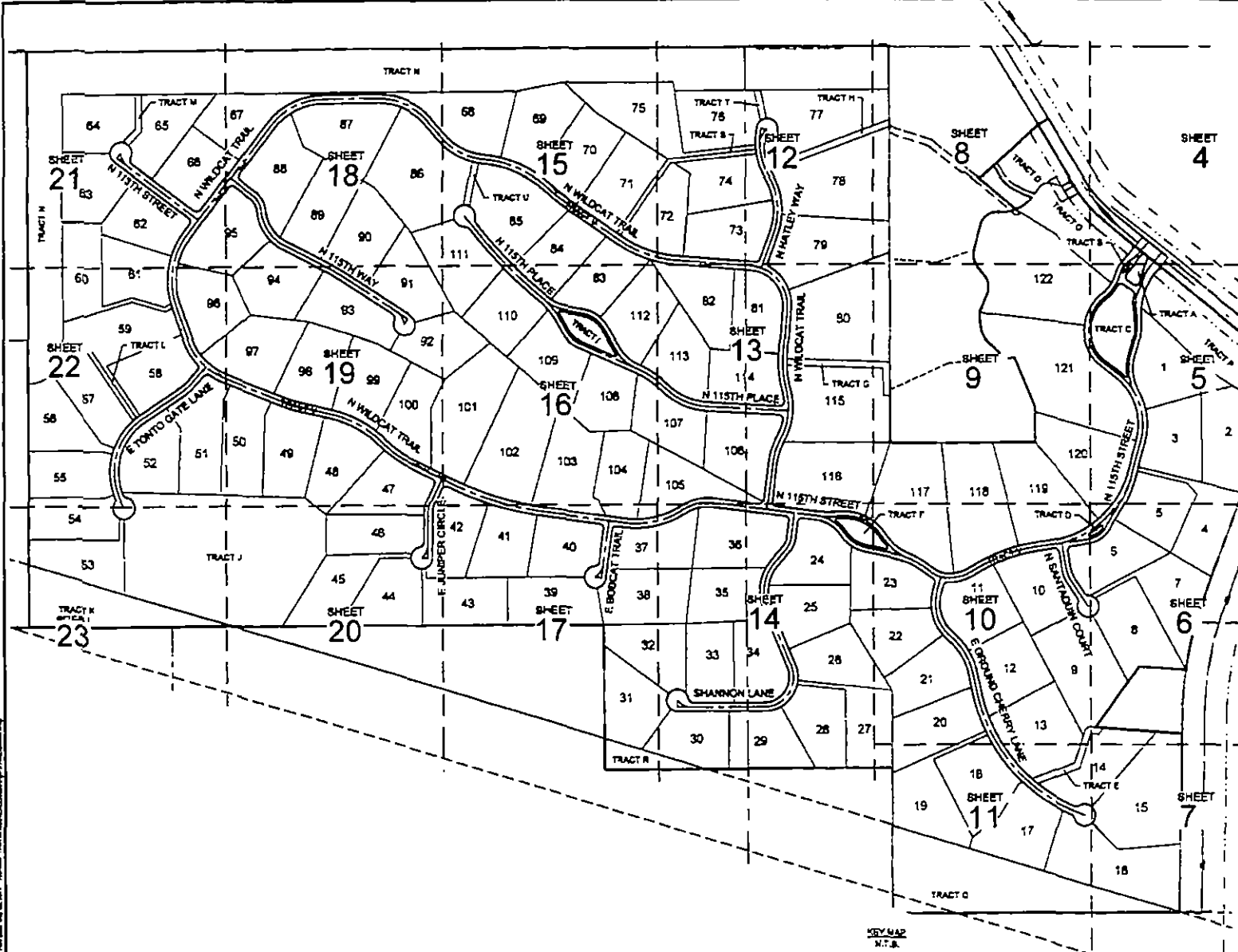
ALL LOTS THAT CONTAIN EXISTING HOMES OF 60 SQ FT OR MORE THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A TAHOE OCCUPATION WAIVER WITH THE CITY OF MCDONALD PRIOR TO pulling ANY BUILDING PERMITS

SHEET INDEX:

| | |
|-------|---------------|
| 1 | COVER SHEET |
| 2 | KEY MAP |
| 3 | PHASING PLAN |
| 4-22 | PLAN SHEETS |
| 24-26 | PROFILE PLANS |

ICV
 454 N. 17TH STREET
 PHOENIX, AZ 85018
 PHONE: (602) 344-4671
 FAX: (602) 344-1925
 WEB: WWW.ICV.COM

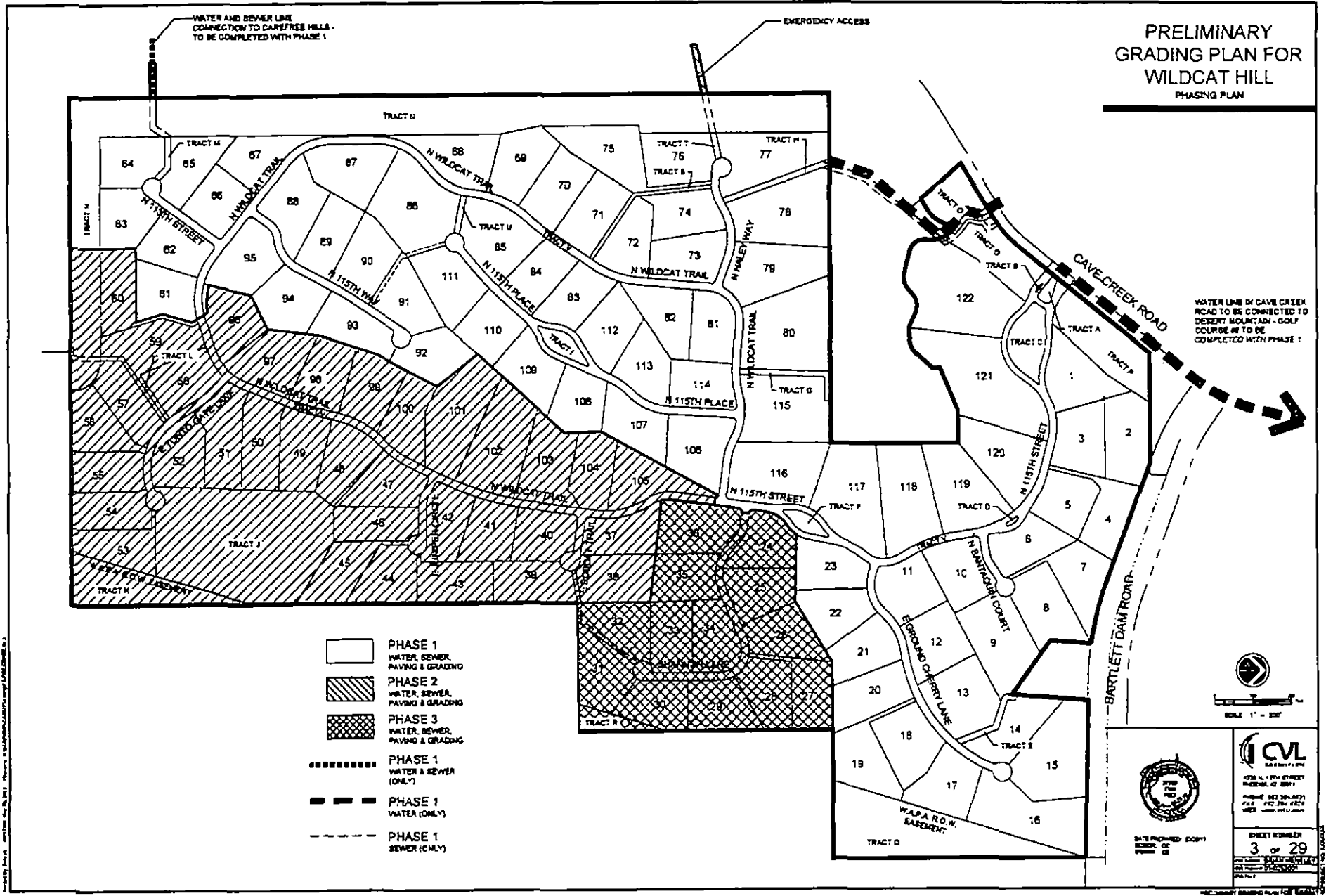
SHEET NUMBER
2 OF 29
 DATE: 7/18/2018



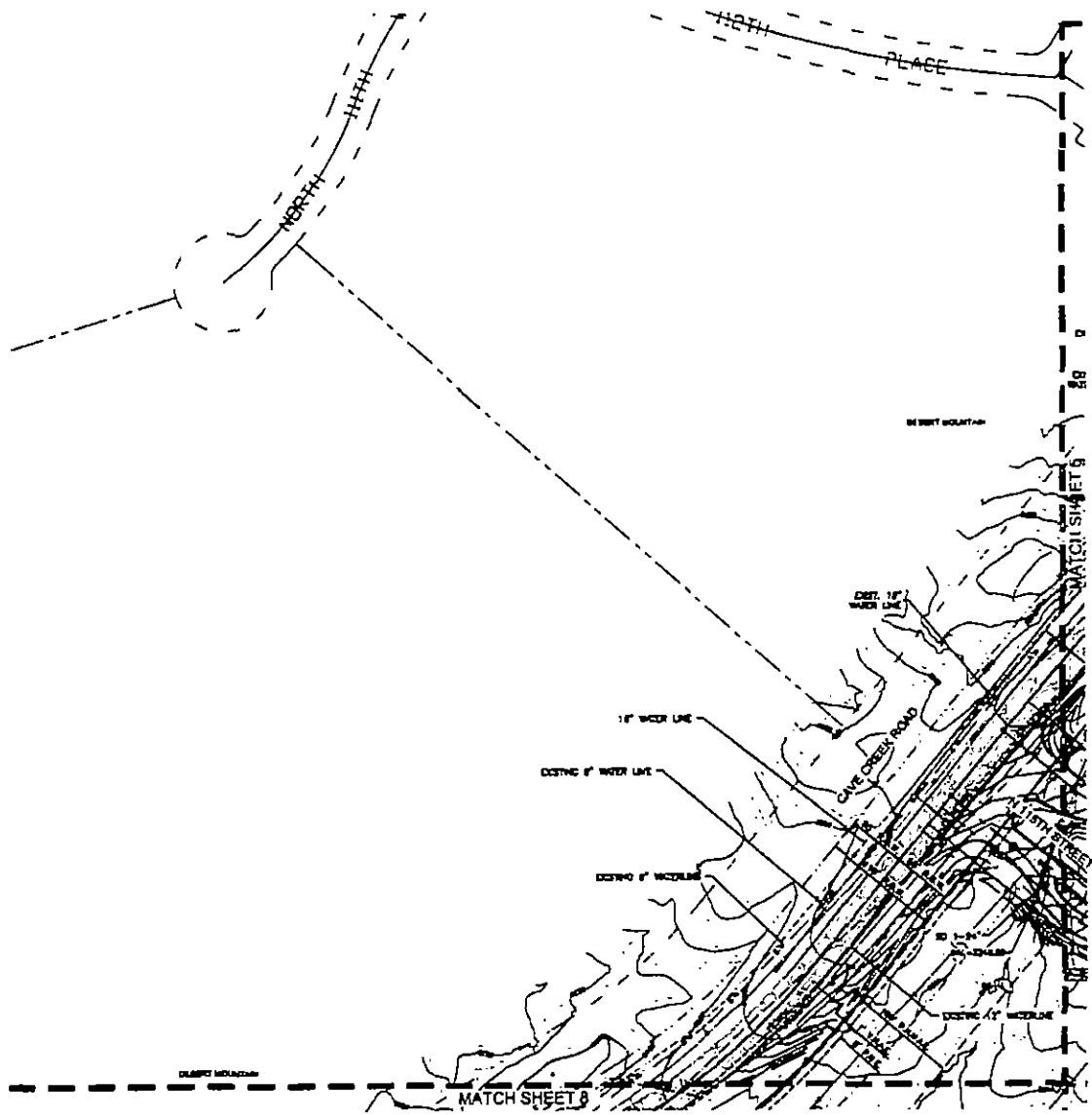
KEY MAP
 N.T.S.
 (North arrow pointing up)

PRELIMINARY GRADING PLAN FOR WILDCAT HILL

PHASING PLAN



PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- E PILE
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- U-31.99 LOW POINT ELEVATION
- U-32.03 HIGH POINT ELEVATION
- PP-32.22 INVERT ELEVATION
- P-2.05 PAVEMENT ELEVATION
- SD-0.00 STORM DRAIN
- W.S.L. WATER SURFACE ELEVATION
- Q-0.00 100-YEAR FLOW RATE
- SINGLE & SHOULDER DIMENSIONS THAT COMPLY WITH C.O.S. SECTION 402.
- SINGLE & SHOULDER DIMENSIONS THAT DO NOT COMPLY WITH C.O.S. SECTION 402.
- S.S. CONTIGUOUS ELEVATION
- GRADE BREAK

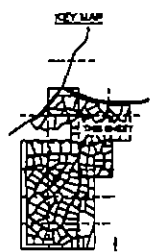
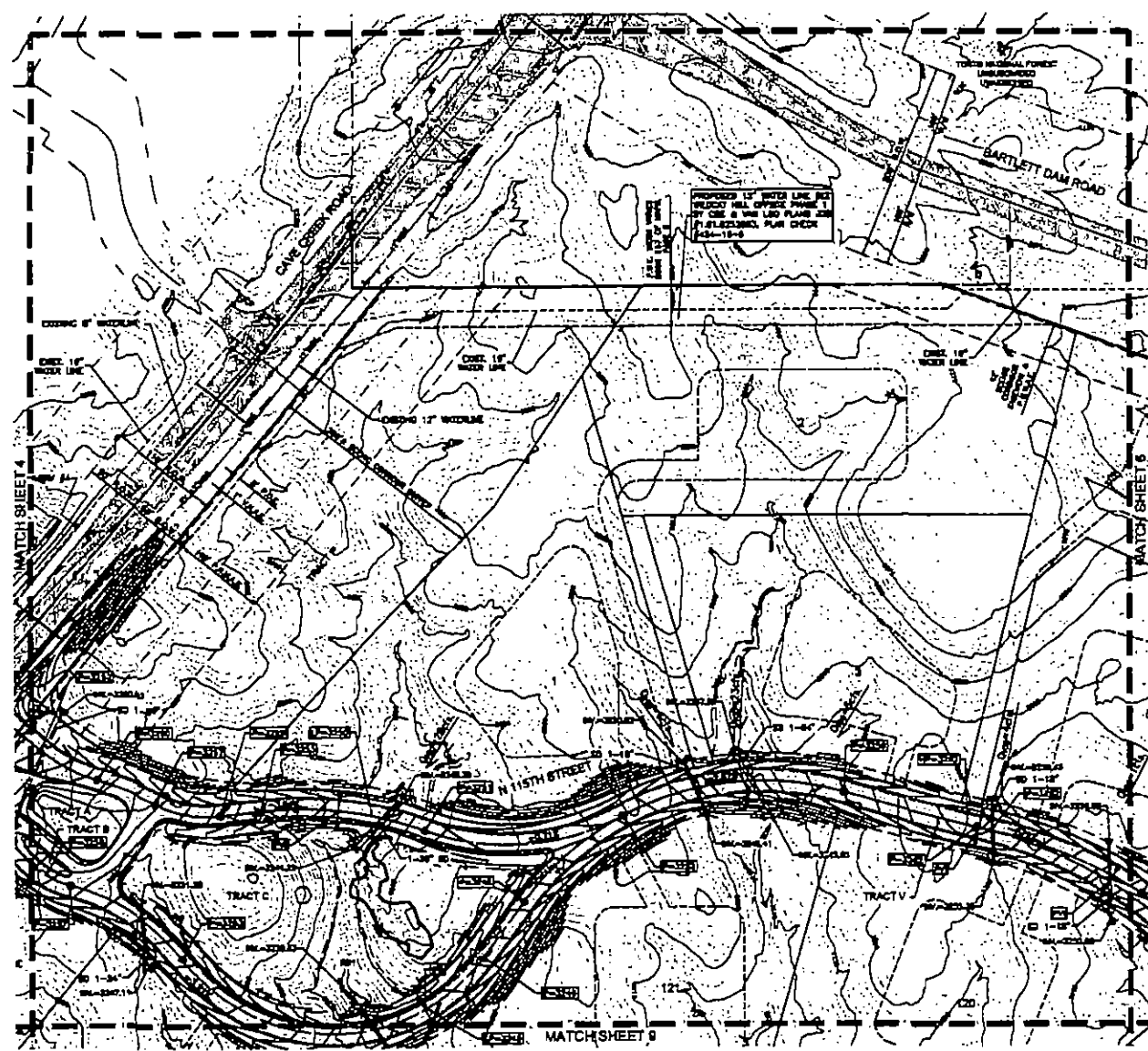
* ALL LOTS THAT CONTAIN EXISTING NUMBER OF SF OR MORE THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT DESIGN A MAJOR MODIFICATION NUMBER WITH THE CITY OF BOZEMAN PRIOR TO PLACING ANY BUILDING PERMITS



I.C.V.L.
ENGINEERS
400 N. 15TH STREET
BOZEMAN, MT 59717
PHONE 551.3000
FAX 551.2141
WEB www.icvl.com

SHEET NUMBER
4 OF **29**

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY SHEDMENT
 - # P.U.S.
 - ROAD CENTER LINE
 - DRAINAGE BASIN
 - PUBLIC UTILITY CASSEMENT
 - TRACT
 - CONSTRUCTION ENVELOPE
 - UP=320 HIGH POINT ELEVATION
 - HP=2000 HIGH POINT ELEVATION
 - MP=375.02 MOUNT ELEVATION
 - P=37.05 FINISHMENT ELEVATION
 - STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - 0100= 100 YEAR FLOOD RATE
 - SINGLE & BOLLIDER CLUSTERS THAT COMPLY WITH C.D.A. DESIGN REG.
 - SINGLE & BOLLIDER CLUSTERS THAT DO NOT COMPLY WITH C.D.A. DESIGN REG.
 - 37.5 CONTOUR ELEVATION
 - GRADE SPREAD

NOTE:
 ALL LOTS THAT CONTAIN EXISTING SHAPES OF 20 CFS OR MORE THAT CROSS THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WAIVER MODIFICATION NUMBER WITH THE CITY OF BOONTONVILLE PRIOR TO FILING ANY BUILDING PERMITS

SCALE: 1" = 50'

CVL
 CIVIL ENGINEERS

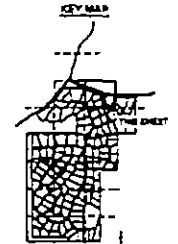
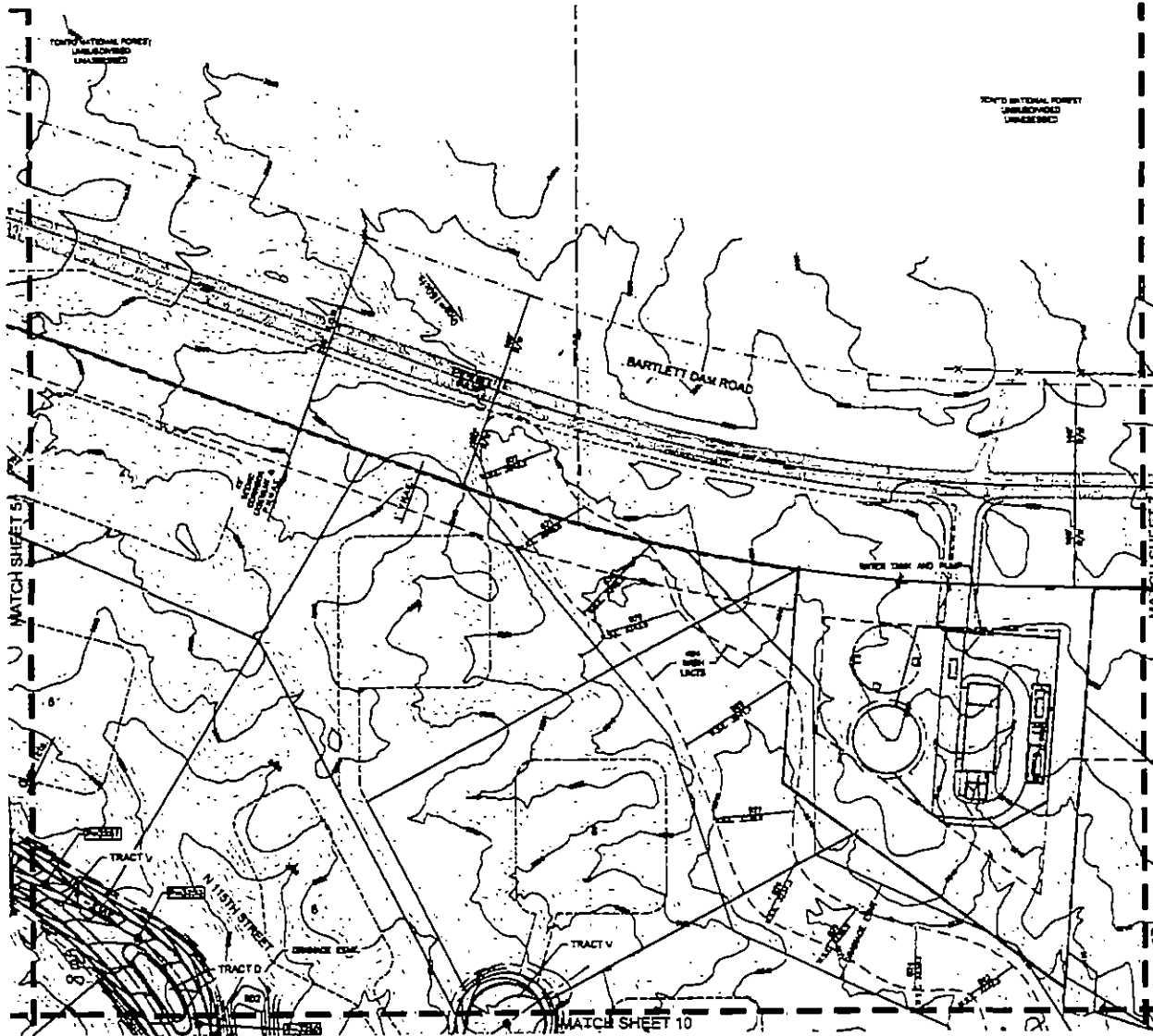
400 N. 11TH STREET
 BOONTON, NJ 07003

PHONE: 973.391.8000
 FAX: 973.391.8420
 WWW.CVLENG.COM

SHEET NUMBER
5 of 29

DATE PREPARED: 08/20/19
 DESIGN: [initials]

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

| | |
|-------------------|---|
| --- (dashed line) | RIGHT-OF-WAY |
| --- (dashed line) | PROPERTY LINE |
| --- (dashed line) | PUBLIC UTILITY EASEMENT |
| --- (dashed line) | 8' PILE |
| --- (dashed line) | ROAD CENTER LINE |
| --- (dashed line) | SEWERAGE EASEMENT |
| --- (dashed line) | PUBLIC UTILITY BASEMENT |
| --- (dashed line) | WALK |
| --- (dashed line) | CONSTRUCTION DEVELOPER |
| --- (dashed line) | LOW POINT ELEVATION |
| --- (dashed line) | HIGH POINT ELEVATION |
| --- (dashed line) | SHORT ELEVATION |
| --- (dashed line) | PAVEMENT ELEVATION |
| --- (dashed line) | STORM DRAIN |
| --- (dashed line) | STORM SURFACE ELEVATION |
| --- (dashed line) | 10-YEAR FLOW RATE |
| --- (dashed line) | 10-YEAR FLOW RATE |
| --- (dashed line) | SHOULDER & SHOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ. |
| --- (dashed line) | SHOULDER & SHOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ. |
| --- (dashed line) | CONTOUR ELEVATION |
| --- (dashed line) | GRADE BREAK |

NOTE:
 ALL LOTS THAT CONTAIN EXISTING HOMES OF 30 CFS OR MORE THAT OVEE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WAIVER MODIFICATION NUMBER WITH THE CITY OF WILDCAT PRIOR TO PULLING ANY BUILDING PERMITS.

SCALE: 1" = 30'

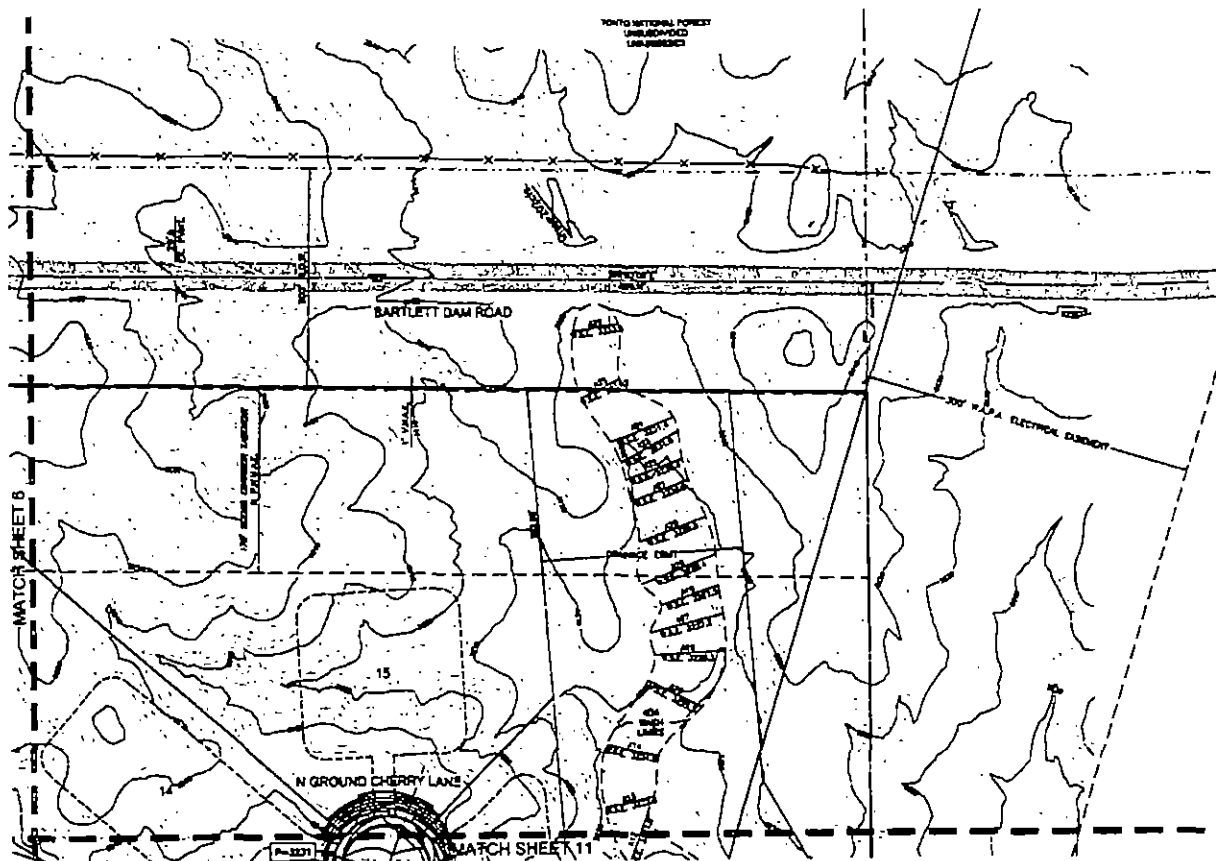


I.C.V.L. CONSULTANTS
 4400 N. 17TH STREET
 P.O. BOX 12 8874
 PHOENIX 480.244.8834
 FAX 480.244.8833
 WEB WWW.ICVL.COM

SHEET NUMBER
6 of 29

DATE PREPARED: 08/04/10
 DESIGN BY: [Signature]

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- FRONT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY SADDLEMENT
- 4" P.U.E.
- ROAD CENTER LINE
- SEWERAGE SADDLEMENT
- PUBLIC UTILITY SADDLEMENT
- TRUCK
- CONSTRUCTION ENVELOPE
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- LOWEST ELEVATION
- PAVEMENT ELEVATION
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100 YEAR FLOOD RATE
- SINGLE & BOLLIDER CLUSTERS THAT COMPLY WITH C.S.S. DESIGN REQ.
- SINGLE & BOLLIDER CLUSTERS THAT DO NOT COMPLY WITH C.S.S. DESIGN REQ.
- CONTOUR ELEVATION
- GRADE BREAK

* NOTE: PLOTS THAT OBTAIN EXISTING WIDTHS OF 60 FT OR MORE THAT BRING THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A GRASS INCORPORATION DRAWING WITH THE CITY OF BOZEMAN PRIOR TO PLACING ANY BUILDING PERMITS.

SCALE 1" = 20'



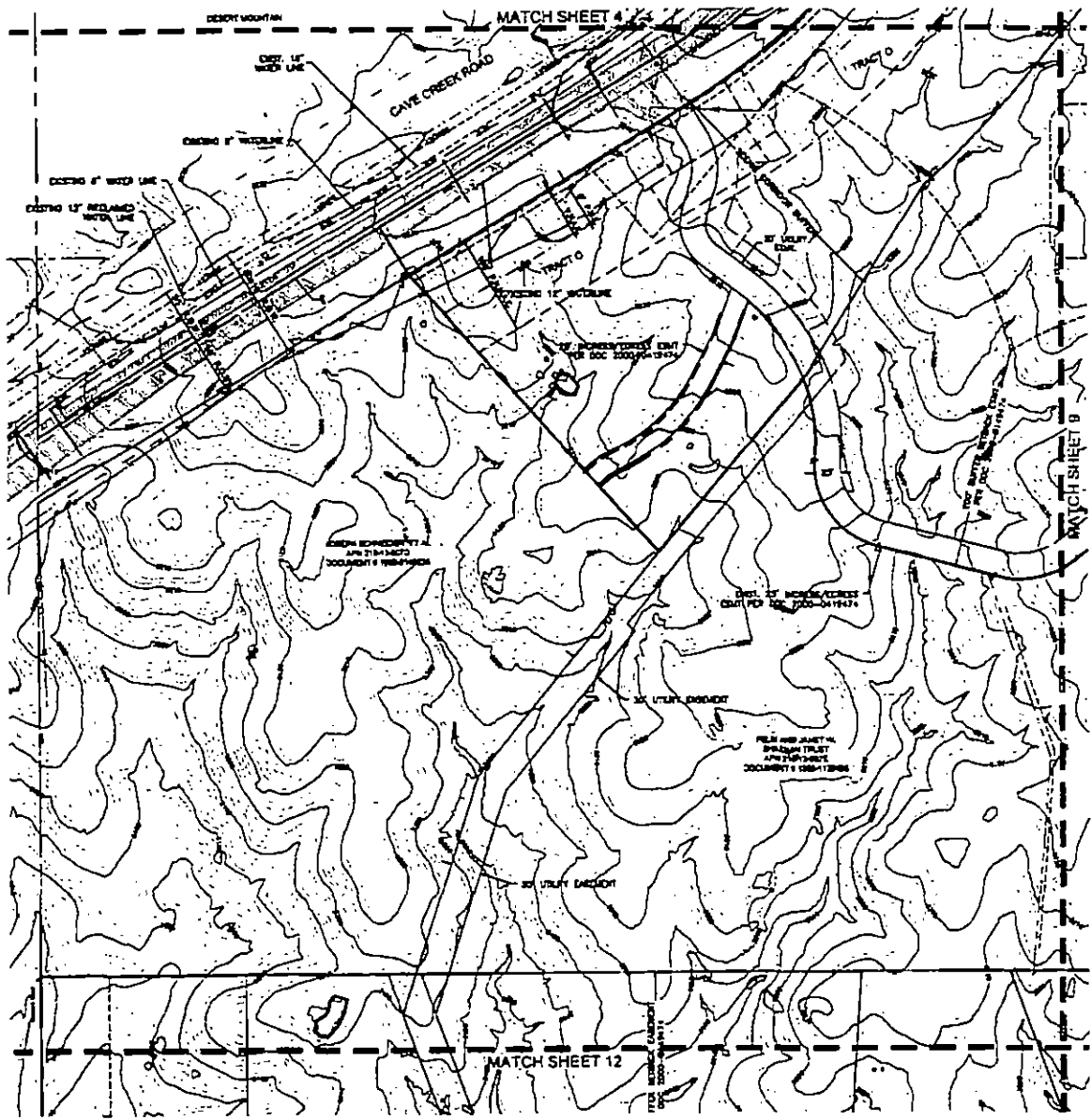
JEFFERY D. BROWN
ENGINEER
MONTANA

ICVL
CORPORATION

1000 N. 27TH ST. SUITE 100
BOZEMAN, MT 59717
PHONE: 406.592.9827
FAX: 406.592.9899
WWW: WWW.ICVL.COM

PROJECT NUMBER
7 OF **29**

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

| | |
|-------------|--|
| --- | RIGHT-OF-WAY |
| --- | PROPERTY LINE |
| --- | PUBLIC UTILITY EASEMENT |
| --- | 9' PAVL |
| --- | ROAD CENTER LINE |
| --- | DRAINAGE EASEMENT |
| --- | PUBLIC UTILITY EASEMENT |
| --- | TRACT |
| --- | CONSTRUCTION DIMENSIONS |
| LP=3.00 | LOW POINT ELEVATION |
| HP=3223 | HIGH POINT ELEVATION |
| WV=3183.92 | WARRANT ELEVATION |
| F=38.85 | FINISH ELEVATION |
| STORM DRAIN | STORM DRAIN |
| W.S.E. | WATER SURFACE ELEVATION |
| 0700= | 10-YEAR FLOW RATE |
| ○ | SHOULDER & BOULDER CLUSTERS THAT COMPLY WITH CALIF. DESIGN REG. |
| ○ | SHOULDER & BOULDER CLUSTERS THAT DO NOT COMPLY WITH CALIF. DESIGN REG. |
| --- | CONTOUR ELEVATION |
| --- | DRAIN DRAIN |

NOTE:
 ALL LOTS THAT CONTAIN REMAINS OF 10 CFS OR MORE THAT CROSS THE DEVELOPMENT EASEMENT SHALL FILE BY LOT OWNER A WAIVER WITH THE CITY OF ADVENTURE PRIOR TO FILING ANY BUILDING PERMITS.

SCALE 1" = 80'

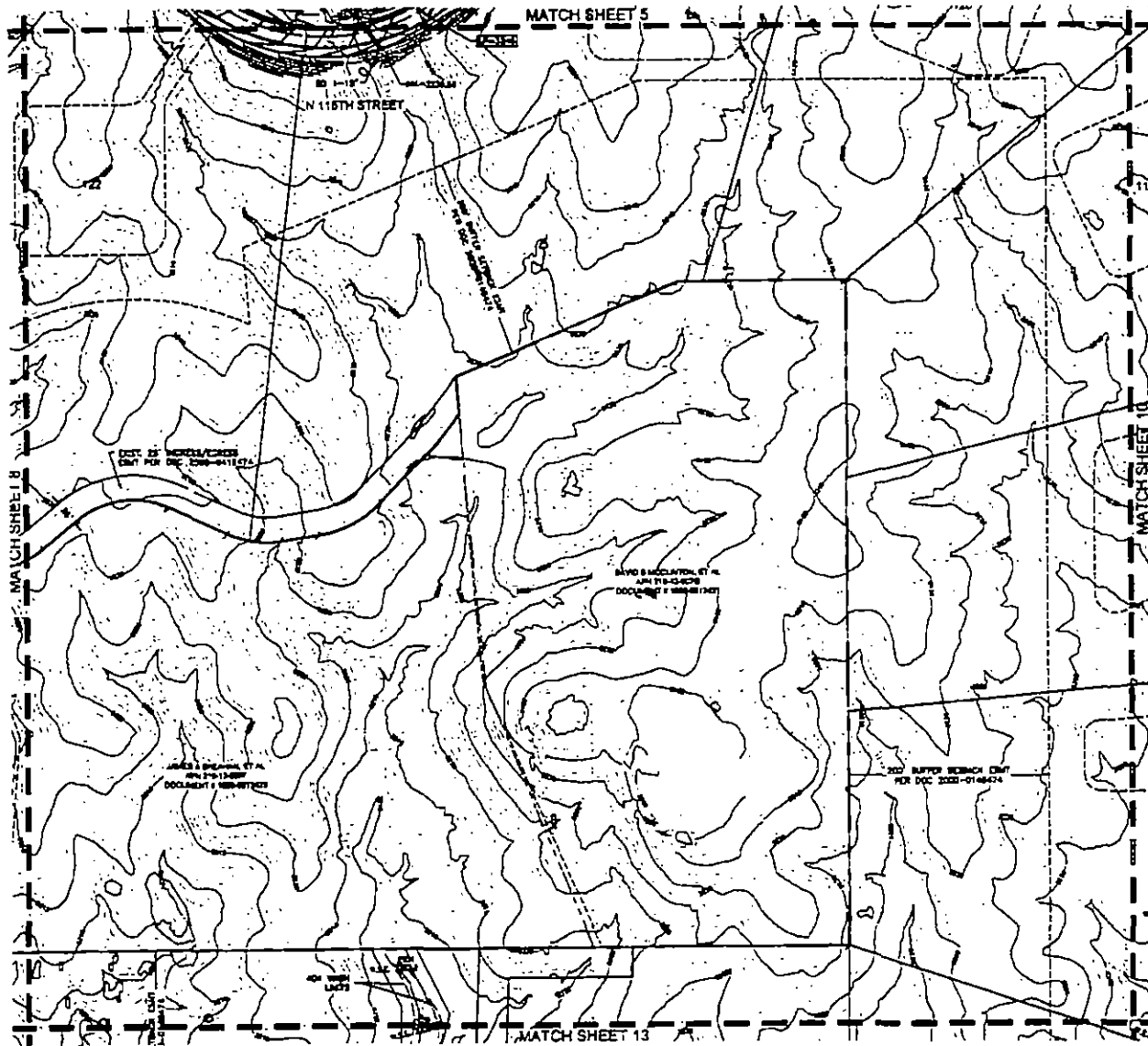
CVL
ENGINEERS

402 N. 17TH STREET
MORRIS, AZ 85901
PHONE: 929.244.8881
FAX: 929.244.8872
WEBSITE: www.cvl.com

SHEET NUMBER
8 of 29

DATE: 7/19/2019

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



KEY MAP



LEGEND

- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- F.P.U.L.
- ROAD CENTER LINE
- EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- SWIFTY ELEVATION
- PAVEMENT ELEVATION
- STORM DRAIN
- W.S.F. WATER SURFACE ELEVATION
- D.F. 1% WEAR RISE RATE
- SINGLE & BOLLIDER CLUSTERS THAT COMPLY WITH C.D.S. DESIGN REQ.
- DOUBLE & BOLLIDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN REQ.
- CONTOUR ELEVATION
- CROSS BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WILDS OF 50 CFS OR MORE MUST HAVE THE DEVELOPMENT ENVELOPE SHALL FILE WITH OWNER A WILDS MODIFICATION NUMBER WITH THE CITY OF SCOTTSDALE PRIOR TO FILING ANY BUILDING PERMITS.

SCALE 1" = 80'

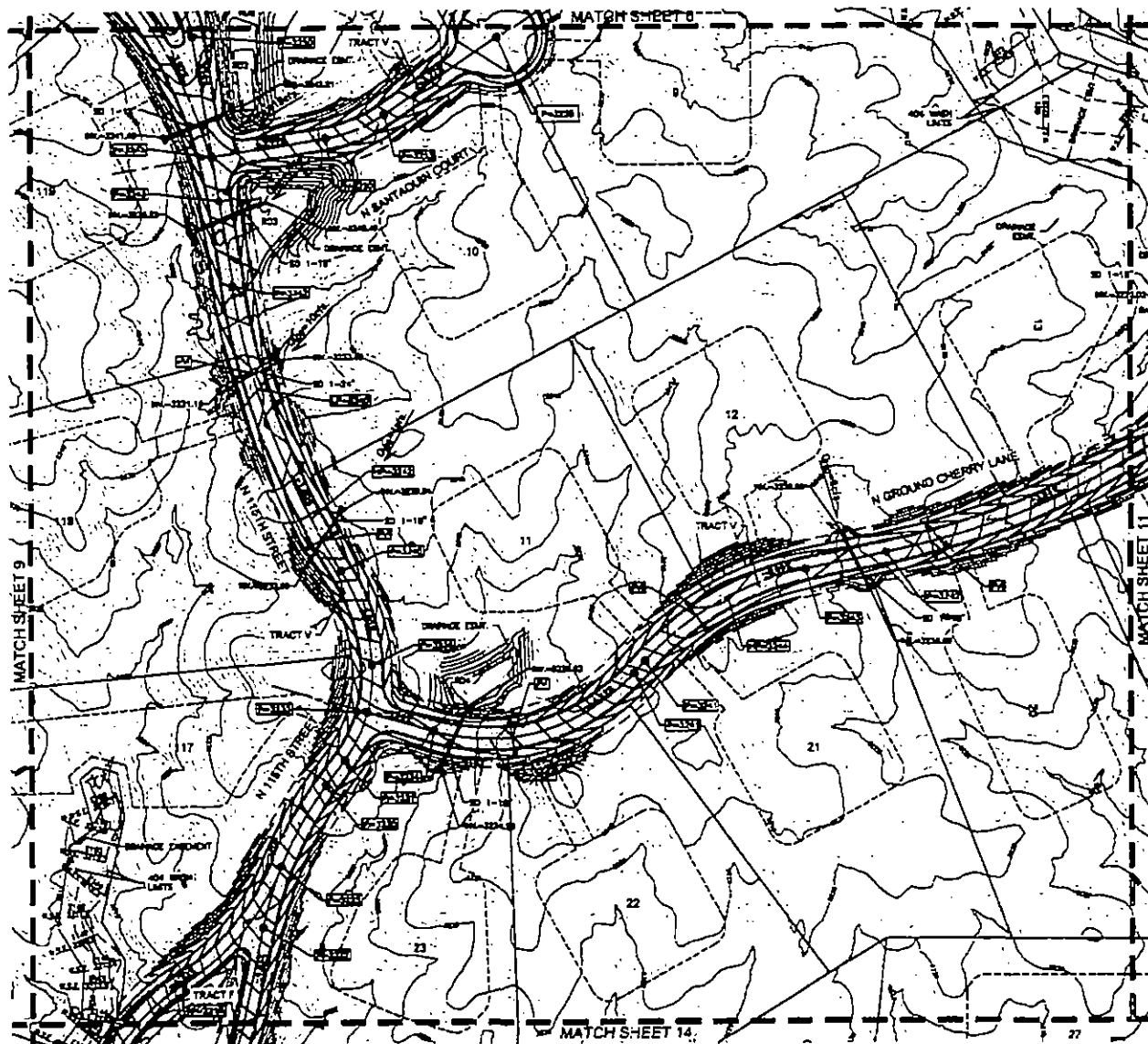


ICVL
 CONSULTANTS
 488 N. 117th STREET
 MESA, AZ 85204
 PHONE 480.244.2891
 FAX 480.244.2878
 WEB www.icvl.com

DATE PREPARED: 02/24/19
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SHEET NUMBER
9 of 29

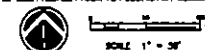
PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

| | |
|--|---|
| | SPOT OF GRAVITY |
| | PROPERTY LINE |
| | PUBLIC UTILITY EASEMENT |
| | P.U.L.L. |
| | ROAD CENTER LINE |
| | DRAINAGE EASEMENT |
| | PUBLIC UTILITY EASEMENT |
| | TRACT |
| | CONSTRUCTION ENVELOPE |
| | LOW POINT ELEVATION |
| | HIGH POINT ELEVATION |
| | INVERT ELEVATION |
| | FINISH ELEVATION |
| | STORM DRAIN |
| | WATER SURFACE ELEVATION |
| | 100 YEAR FLOW RATE |
| | SINGLE & DOUBLE CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ. |
| | SINGLE & DOUBLE CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ. |
| | CONTOUR ELEVATION |
| | MANHOLE MANHOLE |

NOTES:
 * POLYESTER THAT CONTAIN CHEMICAL MARKERS OF 30 DOTS OF MORE THAT ONCE THE DEVELOPMENT DEVELOPER SHALL FILE BY LOT DRAWER A BUSH MODIFICATION NUMBER WITH THE CITY OF BOZEMAN PRIOR TO PULLING ANY BUILDING PERMITS.

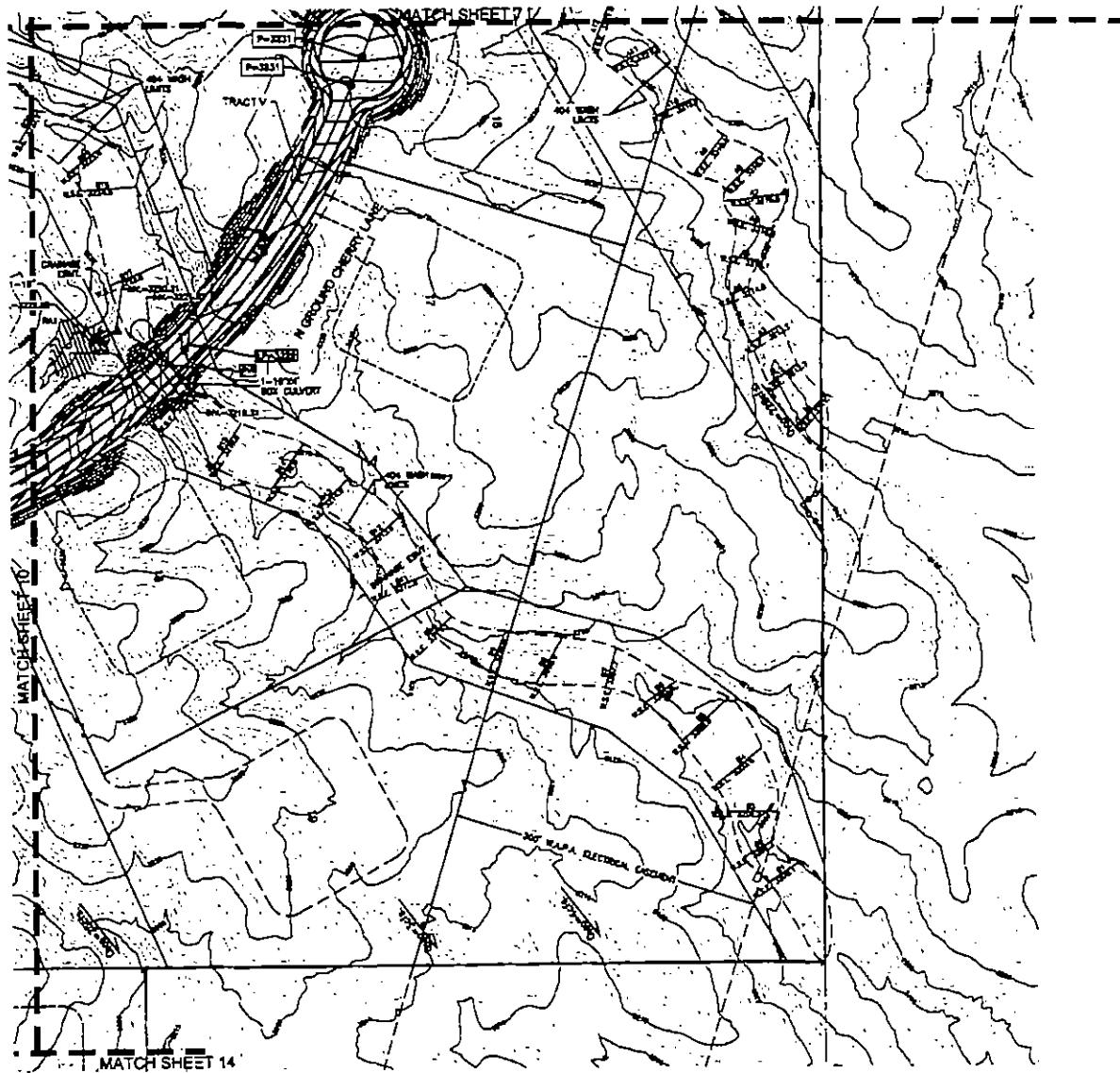


DATE: 7/18/2019
 DRAWN BY: C. J. ...
 CHECKED BY: C. J. ...

ICVL
 CIVIL ENGINEERS
 400 N. 17th STREET
 BOZEMAN, MT 59717
 PHONE: (406) 552-1111
 FAX: (406) 552-1112
 WWW: www.icvl.com

SHEET NUMBER
10 of 29

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY BASEMENT
- E.P.I.L.L.
- ROAD CENTER LINE
- MANHOLE ELEMENT
- PUBLIC UTILITY BASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LF=3000 LOW POINT ELEVATION
- HF=3000 HIGH POINT ELEVATION
- RV=3193.02 INVERT ELEVATION
- P=3185 PAVEMENT ELEVATION
- SD= STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- CONTOUR ELEVATION
- GRADE BREAK

* NOTE: ALL LOTS THAT CONTAIN DIMENSION NUMBERS OF 30 OR MORE FEET SHALL HAVE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT THROUGH A WASH MODIFICATION NUMBER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



DATE PREPARED: 06/21/19
 DESIGNER: DC
 DRAWN BY: DC

ICVL
 CONSULTANTS
 4525 N. 17TH AVENUE
 PHOENIX, AZ 85018
 PHONE: 602.984.6427
 FAX: 602.984.6665
 WEB: WWW.ICVL.COM

SHEET NUMBER
11 of 29

PREPARED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 7/19/2019

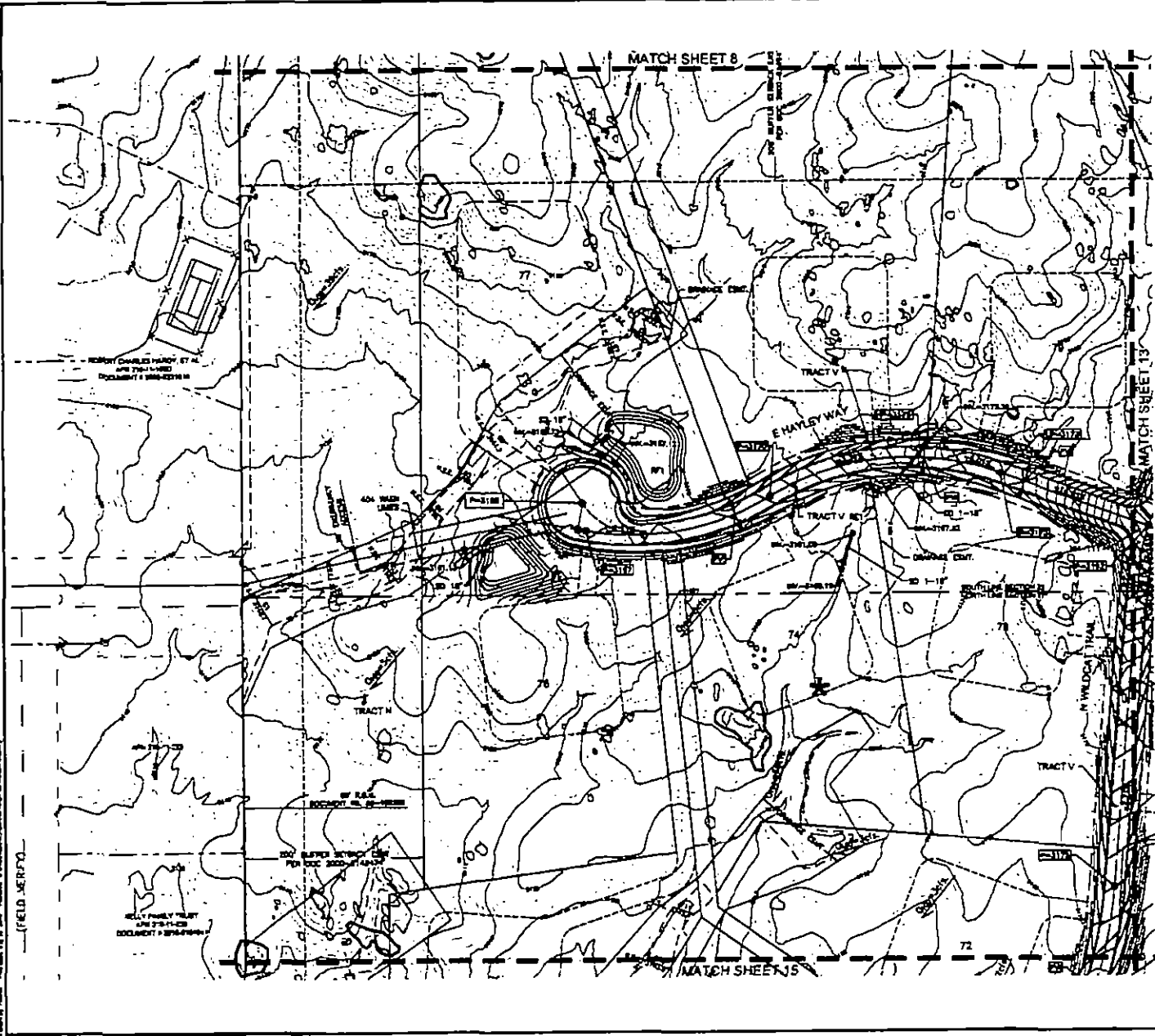
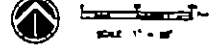
PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- PROPERTY LINE
- PUBLIC UTILITY BARRIERS
- P U L P
- ROAD CENTER LINE
- DRAINAGE ELEVATION
- PUBLIC UTILITY BARRIERS
- TRACT
- CONSTRUCTION ELEVATIONS
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- INVERT ELEVATION
- FINISH ELEVATION
- STORM DRAIN
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100-YEAR FLOW RATE
- SWALE & BOLLARD CLUSTERS THAT COMPLY WITH C.G.S. DESIGN REG.
- SWALE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH S.W.A. DESIGN REG.
- CONTROL ELEVATION
- DRIVE BACK

NOTE: ALL LOTS WITH EXISTING EXPOSURE OF 30 FEET OR MORE THAT BRIDGE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION NUMBER WITH THE CITY OF BOULDER PRIOR TO PULLING ANY BUILDING PERMITS



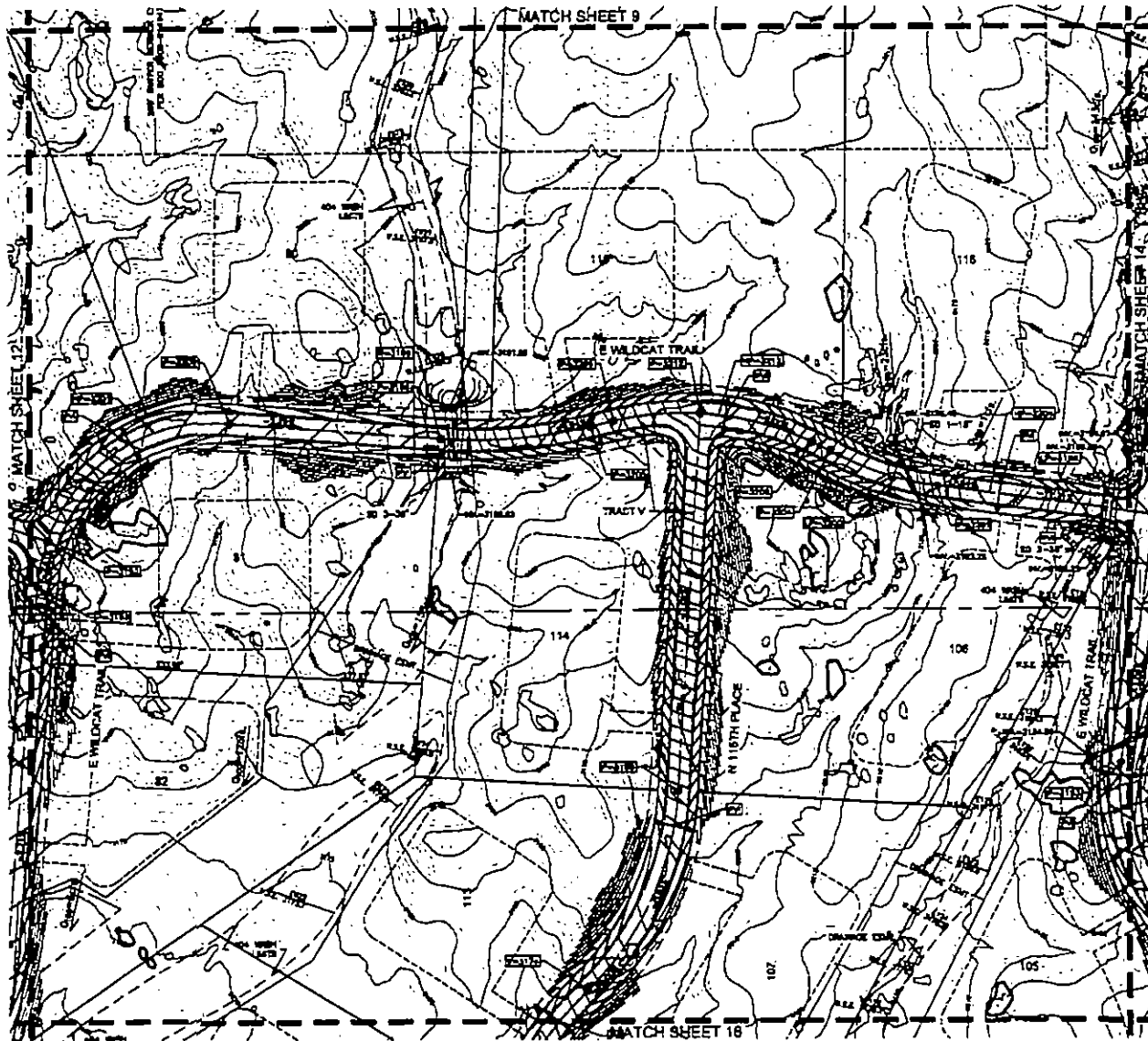
DATE PREPARED: 08/14/19
DRAWN BY: [Name]

ICV CONSULTANTS
1000 N. 17TH STREET
BOULDER, CO 80504
PHONE: 303.440.1000
FAX: 303.440.1075
WEB: WWW.ICV.COM

SHEET NUMBER
12 of 29

DATE: 08/14/19

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- RIGHT OF WAY
- PROPERTY LINE
- PUBLIC UTILITY BARRICADE
- P.P.L.L.
- ROAD CENTER LINE
- DRAINAGE EMBANKMENT
- PUBLIC UTILITY BARRICADE
- TRACT
- CONSTRUCTION ENVELOPE
- LP-34.99 LOW POINT ELEVATION
- HP-32.05 HIGH POINT ELEVATION
- HP-31.83.02 FINISH ELEVATION
- P-31.83 FINISH ELEVATION
- STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- CT-00 100 YEAR FLOOD RATE
- SINGLE A BOLLARD CLUSTER THAT COMPLY WITH C.O.L.A. DESIGN REQ.
- SINGLE A BOLLARD CLUSTER THAT DO NOT COMPLY WITH C.O.L.A. DESIGN REQ.
- CONTIGUOUS ELEVATION
- SWAGE DRAIN

NOTE:
* ALL LOTS THAT CONTAIN EXISTING WILDCAT HILLS OF 30,000 SQ. FT. OR MORE THAT EXCEED THE DEVELOPMENT LIMITS OF 100,000 SQ. FT. SHALL FILE WITH THE CITY A GRADING MODIFICATION NUMBER WITHIN THE CITY OF BOZEMAN PRIOR TO PULLING ANY BUILDING PERMITS.



ALL PROPOSED WORK
SHOWN ON
THIS PLAN

ICVL
ENGINEERS & ARCHITECTS
400 N. 17TH STREET
BOZEMAN, MT 59717
PHONE 505.544.1000
FAX 505.544.1001
WWW.ICVL.COM

SHEET NUMBER
13 OF **29**

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

| | |
|----------------------------|--|
| --- (dashed line) | RIGHT-OF-WAY |
| — (solid line) | PROPERTY LINE |
| - - - - (long dashed line) | PUBLIC UTILITY EASEMENT |
| - · - · - (dash-dot line) | IF P.U.L. |
| — (solid line) | ROAD CENTER LINE |
| - - - - (dashed line) | DRAINAGE EASEMENT |
| - · - · - (dash-dot line) | PUBLIC UTILITY EASEMENT |
| — (solid line) | TRACT |
| — (solid line) | CONSTRUCTION EASEMENT |
| — (solid line) | LOW POINT ELEVATION |
| — (solid line) | HIGH POINT ELEVATION |
| — (solid line) | PAVEMENT ELEVATION |
| — (solid line) | STORM DRAIN |
| — (solid line) | WATER SURFACE ELEVATION |
| — (solid line) | 100-YEAR FLOW RATE |
| — (solid line) | SHOULDER & BOLLARD CURBLINE THAT COMPLY WITH C.O.S. DESIGN REQ. |
| — (solid line) | SHOULDER & BOLLARD CURBLINE THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ. |
| — (solid line) | CONTOUR ELEVATION |
| — (solid line) | GRADE BREAK |

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING HOUSES OF 20 CFS OR MORE THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A GRADING MODIFICATION NUMBER WITH THE CITY OF MONTICELLO PRIOR TO PULLING ANY BUILDING PERMITS.

SCALE 1" = 40'



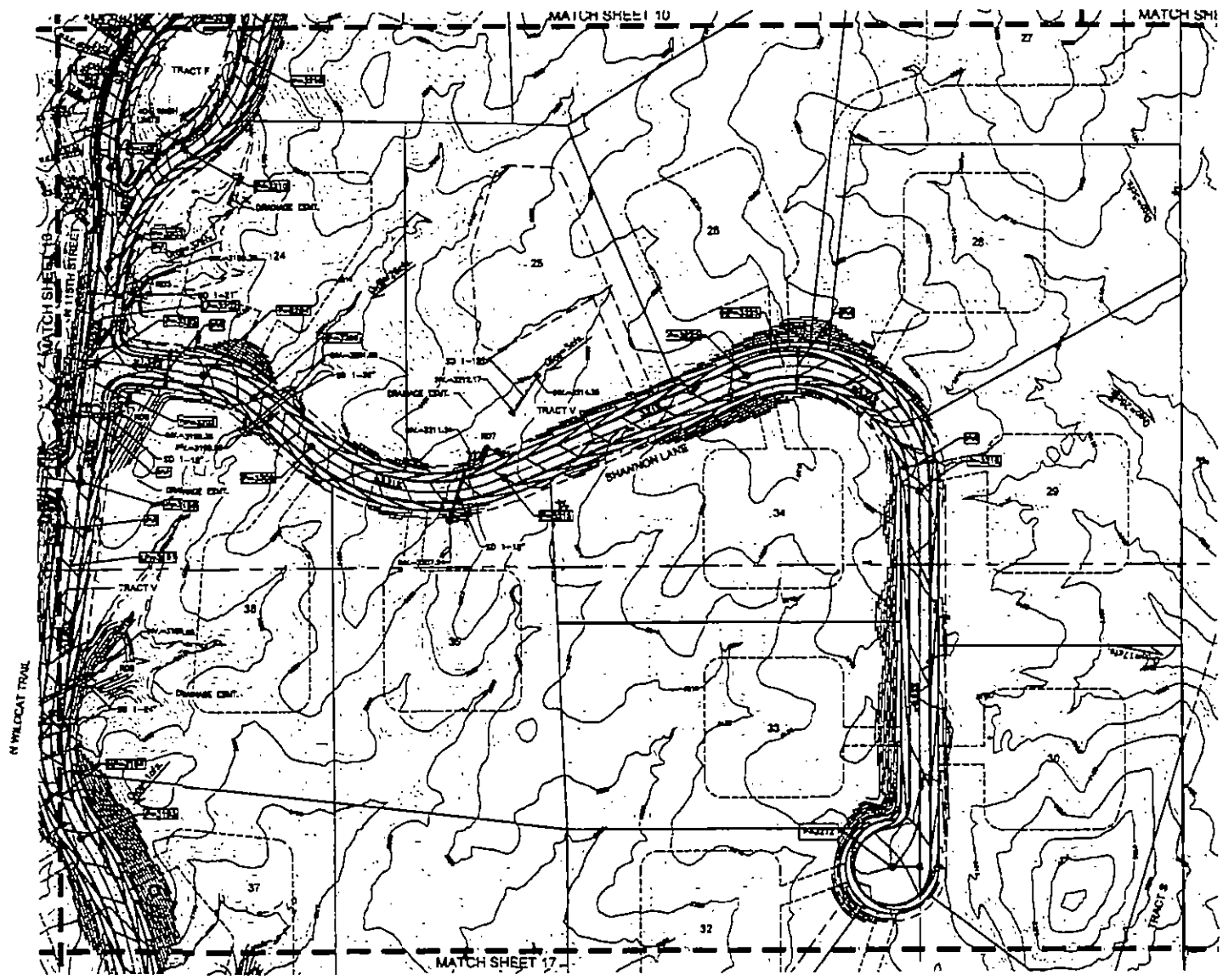
ICVL
 CONSULTING ENGINEERS

200 N. 10TH STREET
 MONTICELLO, ID 83454

PHONE 863-5811
 FAX 863-5811
 WEB WWW.ICVL.COM

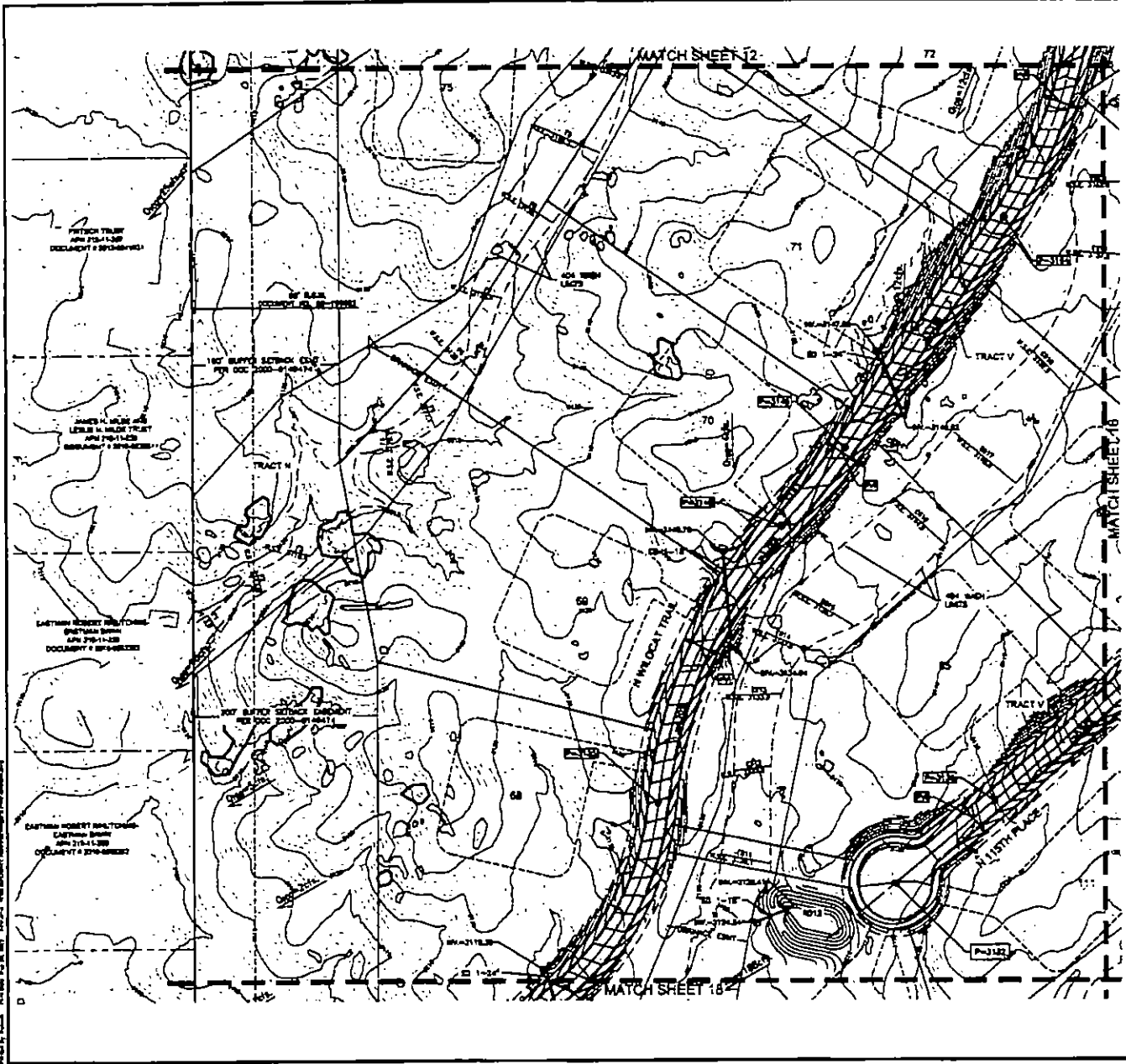
SHEET NUMBER
14 of 29

DATE: 7/19/23
 DRAWN BY: [Name]
 CHECKED BY: [Name]



N WILDCAT TRAIL

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- HIGHWAY LINE
- PUBLIC UTILITY EASEMENT
- EASEMENT
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LF-31.00 LOW POINT ELEVATION
- HF-32.00 HIGH POINT ELEVATION
- MF-33.00 MIDDLE POINT ELEVATION
- PE-33.00 FINISH ELEVATION
- SD-33.00 STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100-100 YEAR FLOW RATE
- SHALES & BOULDER CLUSTERS THAT COMPLY WITH C.O.A. DESIGN REQ.
- SHALES & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.A. DESIGN REQ.
- CENTERLINE ELEVATION
- GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WADERS OF 30 SF OR MORE THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WADY WADERS WITH THE CITY OF SCOTTSDALE PRIOR TO ALLOWING ANY BUILDING PERMITS.

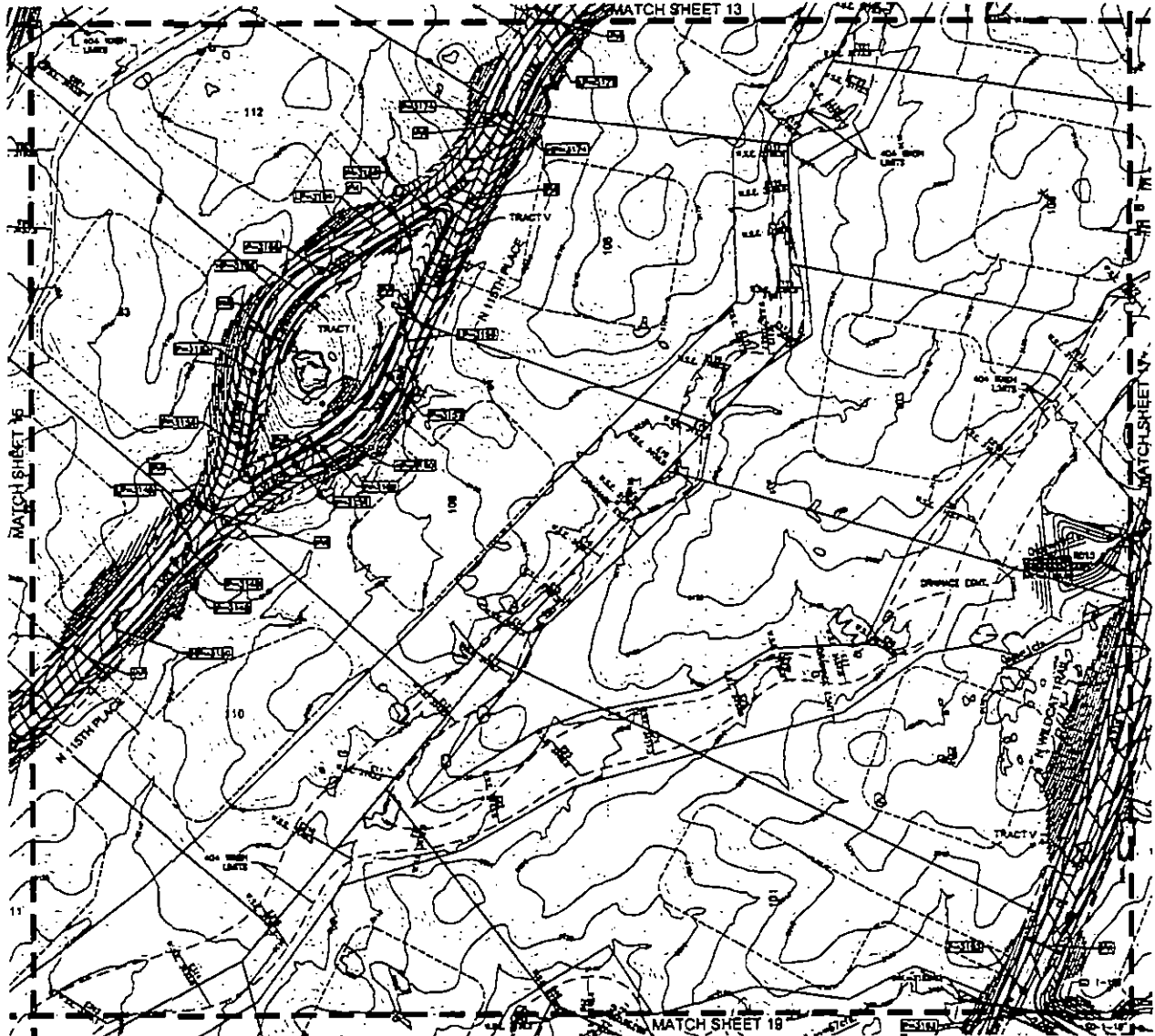


DATE PREPARED BY: [Name]
 DRAWN BY: [Name]

ICV CONSULTANTS
 400 N. 15TH STREET
 PHOENIX, AZ 85004
 PHONE: 602.254.4001
 FAX: 602.254.4002
 WWW.ICVCONSULTANTS.COM

PROJECT NUMBER
15 of 29

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- R.O.P.E. EASEMENT
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - P.F.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - TRACT
 - CONSTRUCTION EASEMENT
 - LP=31.85 LOW POINT ELEVATION
 - HP=32.03 HIGH POINT ELEVATION
 - MP=31.93.92 MOUNTAIN POINT ELEVATION
 - PA=31.85 PARALLEL ELEVATION
 - STORM DRAIN
 - U.S.C. WATER SURFACE ELEVATION
 - 0780 1% YEAR FLOOD RATE
 - SINGLE & BOLLARD CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - DOUBLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - CONTOUR ELEVATION
 - GRADE BREAK

* NOTE: PARCELS THAT CONTAIN EXISTING WELLS OR OTHER STRUCTURES SHALL BE BY LOT OWNER & SHALL NOTIFICATION NUMBER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY SUBSEQUENT PERMITS

SCALE: 1" = 50'



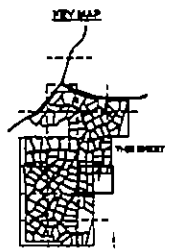
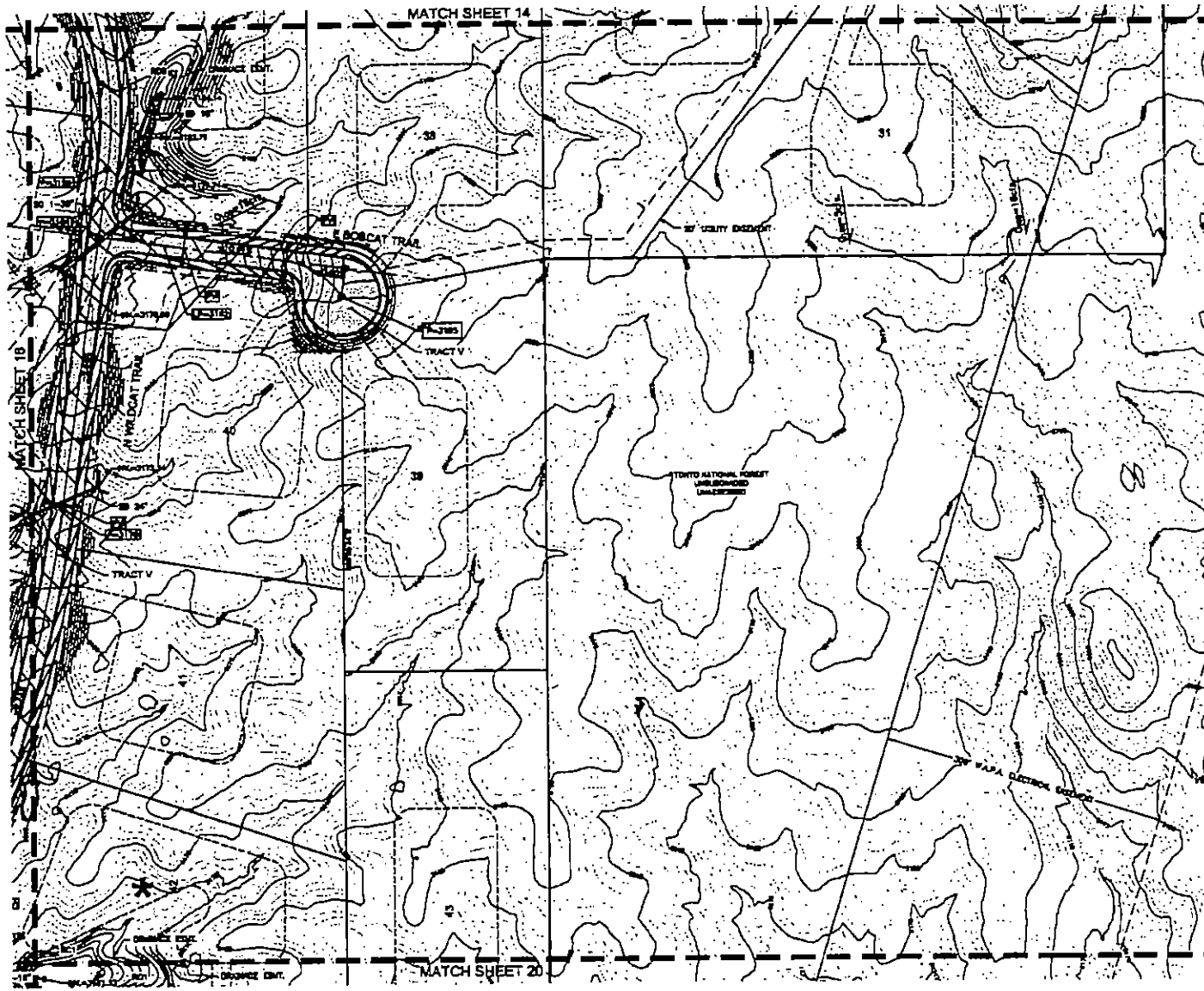
CVL
CORPORATION

400 N. 15TH AVENUE
PHOENIX, ARIZONA 85004
PHONE: (602) 244-1000
FAX: (602) 244-1000
WWW.CVLCORP.COM

SHEET NUMBER
16 OF **29**

DATE: 08/20/19

**PRELIMINARY
GRADING PLAN FOR
WILDCAT HILL**



- LEGEND**
- BENTY-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - - - - - E F - ALL
 - ROAD CENTER LINE
 - - - - - DRAINAGE EASEMENT
 - - - - - PUBLIC UTILITY EASEMENT
 - - - - - TRACT
 - - - - - CONSTRUCTION BOUNDARY
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - INVERT ELEVATION
 - FINISHED ELEVATION
 - STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - D 100- 100 YEAR FLOW RATE
 - BRIDGE & BOLLARD CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SINGLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - CONTOUR ELEVATION
 - GRADE BREAK

NOTE:
* ALL LOTS THAT CONTAIN DISTINGUISHABLE VALUES OF 80 CFS OR MORE THAT BRIDGE THE DEVELOPMENT SHALL BE GRADDED SHALL FILE BY LOT OWNER A WAIVER WITHIN 60 DAYS OF THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS

SCALE 1" = 50'

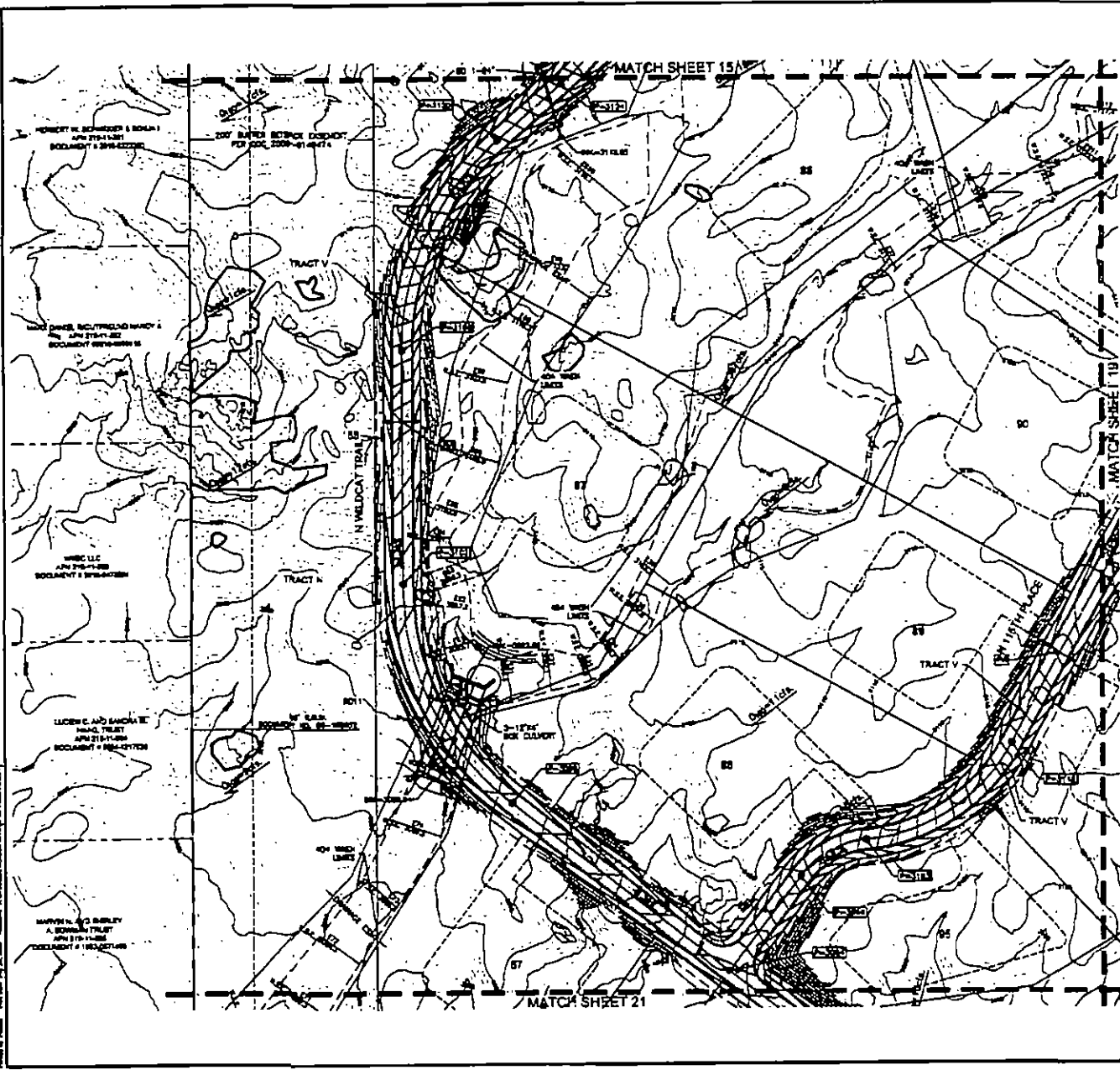


ICVL CONSULTANTS
428 N. 17TH STREET
PHOENIX, AZ 85014
PHONE: (602) 248-2884
FAX: (602) 734-8221
WWW.ICVL.COM

DATE PREPARED: 05/28/19
SHEET NO. 17
OF 29

EXHEET NUMBER
17 OF 29

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

| | |
|-----|--|
| --- | BOUNDARY |
| --- | PROPERTY LINE |
| --- | PUBLIC UTILITY EASEMENT |
| --- | IF FILL |
| --- | ROAD CENTER LINE |
| --- | BRIDGE EASEMENT |
| --- | P.U.E. PUBLIC UTILITY EASEMENT |
| --- | TRACT |
| --- | CONSTRUCTION ENVELOPE |
| --- | LOW POINT ELEVATION |
| --- | HIGH POINT ELEVATION |
| --- | INVERT ELEVATION |
| --- | PAVEMENT ELEVATION |
| --- | STORM DRAIN |
| --- | W.S.E. WATER SURFACE ELEVATION |
| --- | 100-YEAR FLOOD RATE |
| --- | SINGLE & BOLLARD CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ. |
| --- | SINGLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ. |
| --- | CONTOUR ELEVATION |
| --- | RAVINE BREAK |

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING BUILDINGS OR OTHER IMPROVEMENTS THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WRITTEN MODIFICATION NUMBER WITH THE CITY OF BOZEMAN PRIOR TO FILING ANY BUILDING PERMITS.

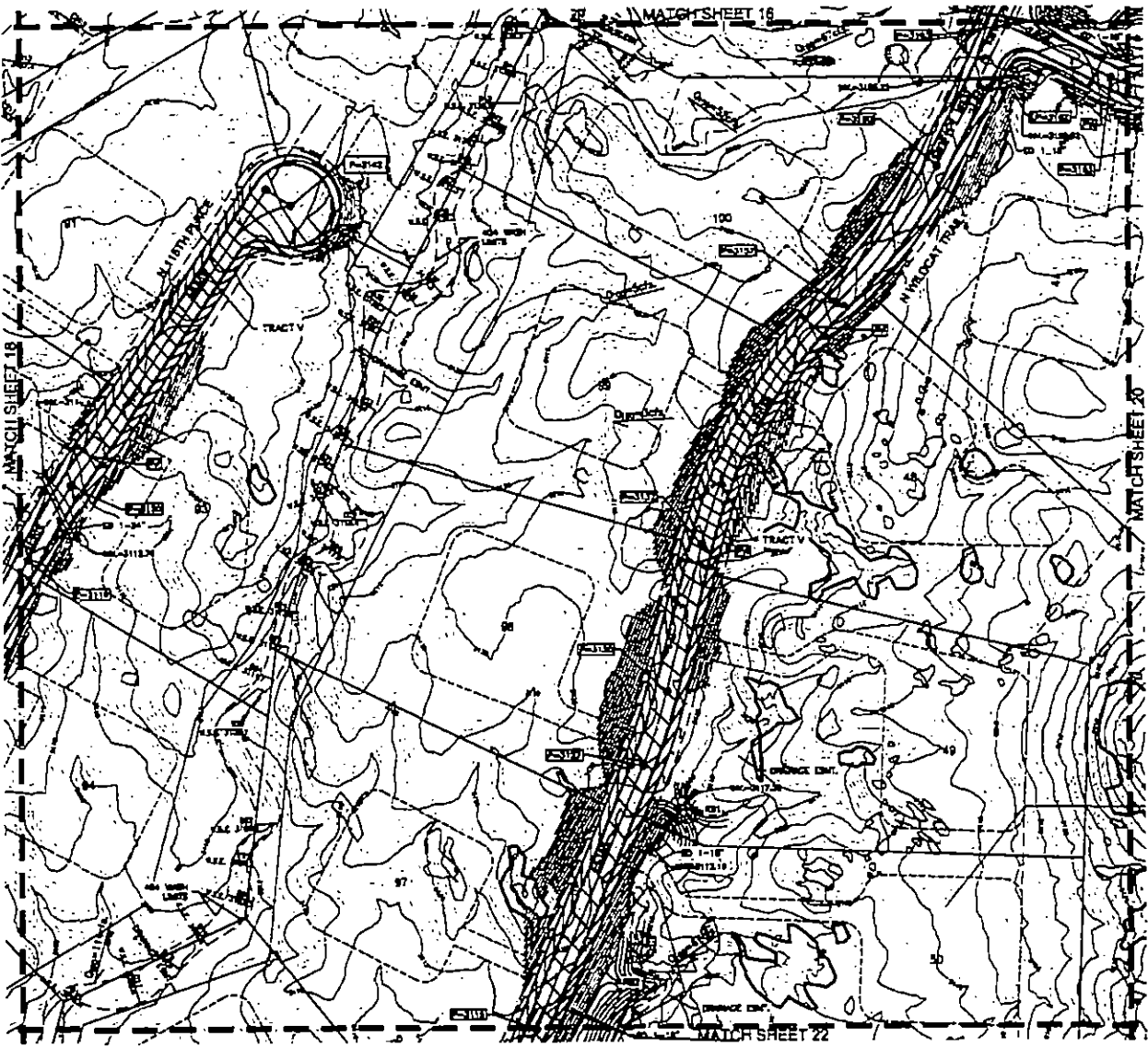
SCALE: 1" = 20'



ICV CONSULTANTS
 408 N. 17TH STREET
 BOZEMAN, MT 59717
 PHONE: 409.244.8800
 FAX: 409.244.8822
 WWW: WWW.ICV.COM

SHEET NUMBER
18 of 29

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- F.F.A.L.L.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION DEVELOPE
- LP=2188 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- HP=2193.92 HIGH POINT ELEVATION
- P=3185 PAVEMENT ELEVATION
- STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH E.D.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH E.D.S. DESIGN REQ.
- CONTOUR ELEVATION
- GRADE BREAK

* NOTE: ALL LOTS THAT CONTAIN EXISTING BUSHES OR TREES OR MORE THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LATE DESIGN A TREES MODIFICATION NUMBER WITH THE CITY OF WESTVILLE PRIOR TO PULLING ANY BUILDING PERMITS.



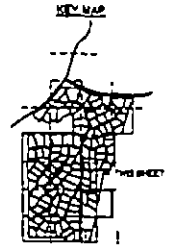
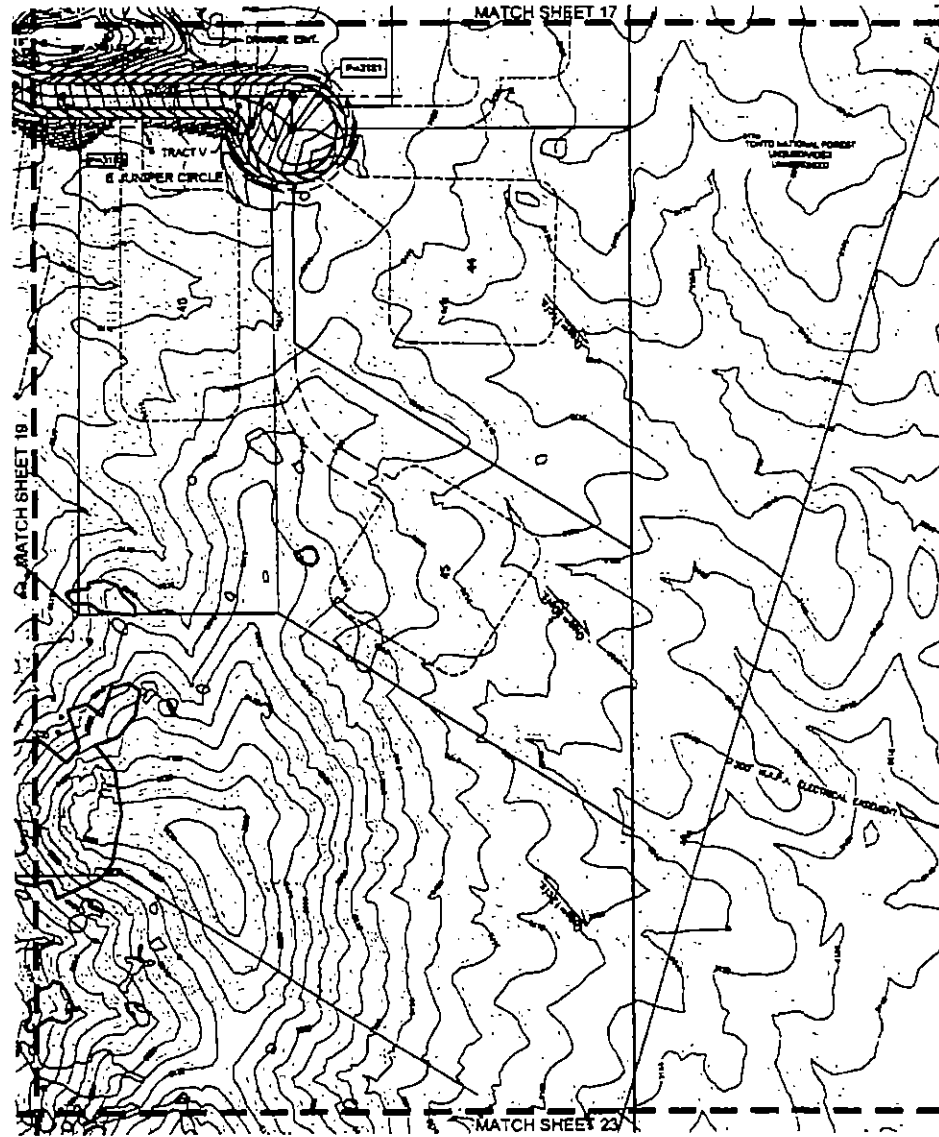
DATE PREPARED: 08/08/19
DESIGNER: [Name]
DRAWN BY: [Name]

ICVL
INCORPORATED
4800 N. TERRY ST. #200
WESTVILLE, OH 43081
PHONE: 614.363.2277
FAX: 614.363.2272
WEB: www.icvl.com

SHEET NUMBER
19 of 29

DRAWN BY: [Name], CHECKED BY: [Name], PROJECT: [Name], DATE: [Date]

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



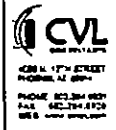
LEGEND

- RIGHT OF WAY
- PROPERTY LINE
- PUBLIC UTILITY BASEMENT
- F.P.A.L.
- ROAD CENTER LINE
- DRAINAGE BASEMENT
- PUBLIC UTILITY BASEMENT
- TRACT
- CONSTRUCTION DEVELOPS
- UP-31.85 LOW POINT ELEVATION
- HP-32.03 HIGH POINT ELEVATION
- MP-31.83.82 MOUNTAIN ELEVATION
- AP-31.85 ANCHOR ELEVATION
- STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- 100-10 YEAR FLOOD RATE
- SINGLE & BOLLARD CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- CONTOUR ELEVATION
- BRIDGE BREAK

* NOTE: ALL LOTS THAT CONTAIN EXISTING WINDMILLS OR OTHER STRUCTURES SHALL FILE WITH THE DEVELOPMENT DEPARTMENT A GRADING MODIFICATION AGREEMENT WITH THE CITY OF BOYKINVILLE PRIOR TO PLACING ANY BUILDING PERMITS.



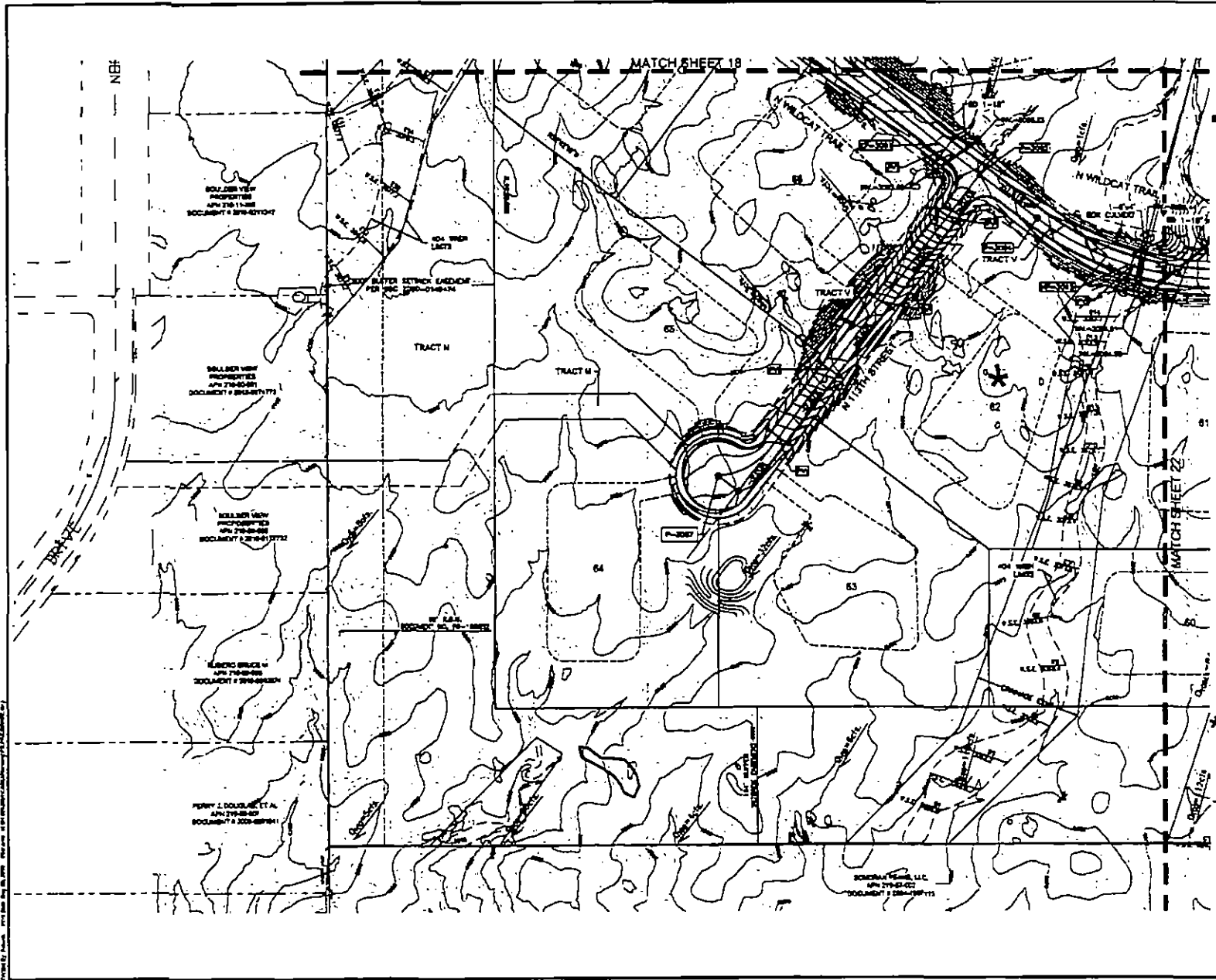
DATE PREPARED: 02/07/19
 DRAWN BY: [Signature]



428 N. 17TH STREET
 PROGRESS, AL 35894
 PHONE: 205.384.9877
 FAX: 205.384.8124
 WWW: WWW.CVLCORP.COM

SHEET NUMBER
20 of **29**

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - - - PUBLIC UTILITY EASEMENT
 - - - E P.E.L.
 - ROAD CENTER LINE
 - - - DRAINAGE easement
 - - - PUBLIC UTILITY easement
 - - - S.P.E.L.
 - TRACT
 - CONSTRUCTION ENVELOPE
 - U-3779 LOW POINT ELEVATION
 - HP-3221 HIGH POINT ELEVATION
 - HP-3781.82 HICEST ELEVATION
 - HP-3783 FINISHER ELEVATION
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - 1% YEAR FLOOD RISE
 - SINGLE & BOLLARD CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REG.
 - SINGLE & BOLLARD CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REG.
 - CONTOUR ELEVATION
 - BRACK BREAK

NOTE:
 ALL LOTS THAT CONTAIN ADJUTING MARKERS OF 30 CM OR MORE THAT SINCE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT NUMBER A WASH NOTIFICATION NUMBER WITH THE CITY OF BOULDER PRIOR TO PULLING ANY BUILDING PERMITS.

SCALE: 1" = 30'



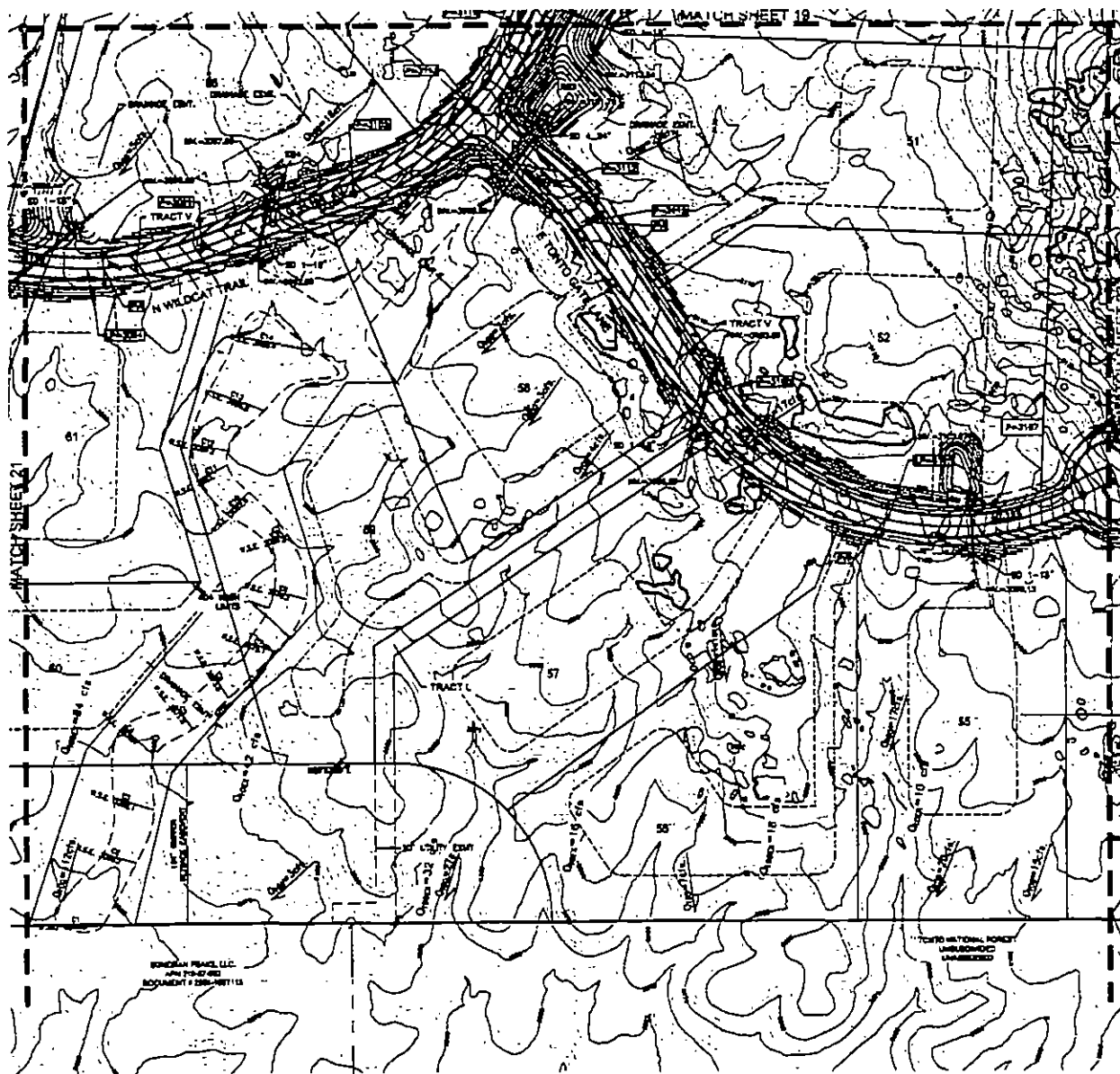
ICVL
 CONSULTANTS

1020 N. 17TH STREET
 BOULDER, CO 80504

PHONE: 303.440.4421
 FAX: 303.440.4422
 WWW: WWW.ICVL.COM

SHEET NUMBER
21 of **29**

DATE PREPARED: 8/23/19
 DRAWN BY: [Signature]



PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- BOUNDARY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - - - - - P.F.U.E.
 - ROAD CENTER LINE
 - SURFACE EASEMENT
 - P.F.U.E.
 - PUBLIC UTILITY EASEMENT
 - TRACT
 - CONSTRUCTION DEVELOPE
 - UP=31.95 LOW POINT ELEVATION
 - HP=32.03 HIGH POINT ELEVATION
 - MP=33.82 MAYER ELEVATION
 - P=31.83 PAVEMENT ELEVATION
 - STORM DRAIN STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - DTOD= 10 YEAR FLOOD RATE
 - SHEDS & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SHEDS & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - CONTOUR ELEVATION
 - GRADE BREAK

NOTE: ALL LOTS THAT CONTAIN EXISTING HOMES OF 3000 SQ FT OR MORE THAT SHARE THE DEVELOPMENT DEVELOPER SHALL FILE BY LOT OWNER A WAIVER SPECIFICATION NUMBER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS

SCALE 1" = 50'

BORGAN PEACE, LLC
1911 10TH AVE
SCOTTSDALE, AZ 85257-1113

11100 NATIONAL ROAD
UNBROOKWOOD
UNBROOKWOOD



DATE REVISION 03/24/21
DESIGN BY
CHECK BY

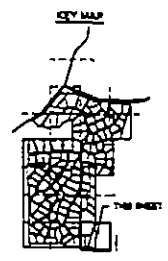
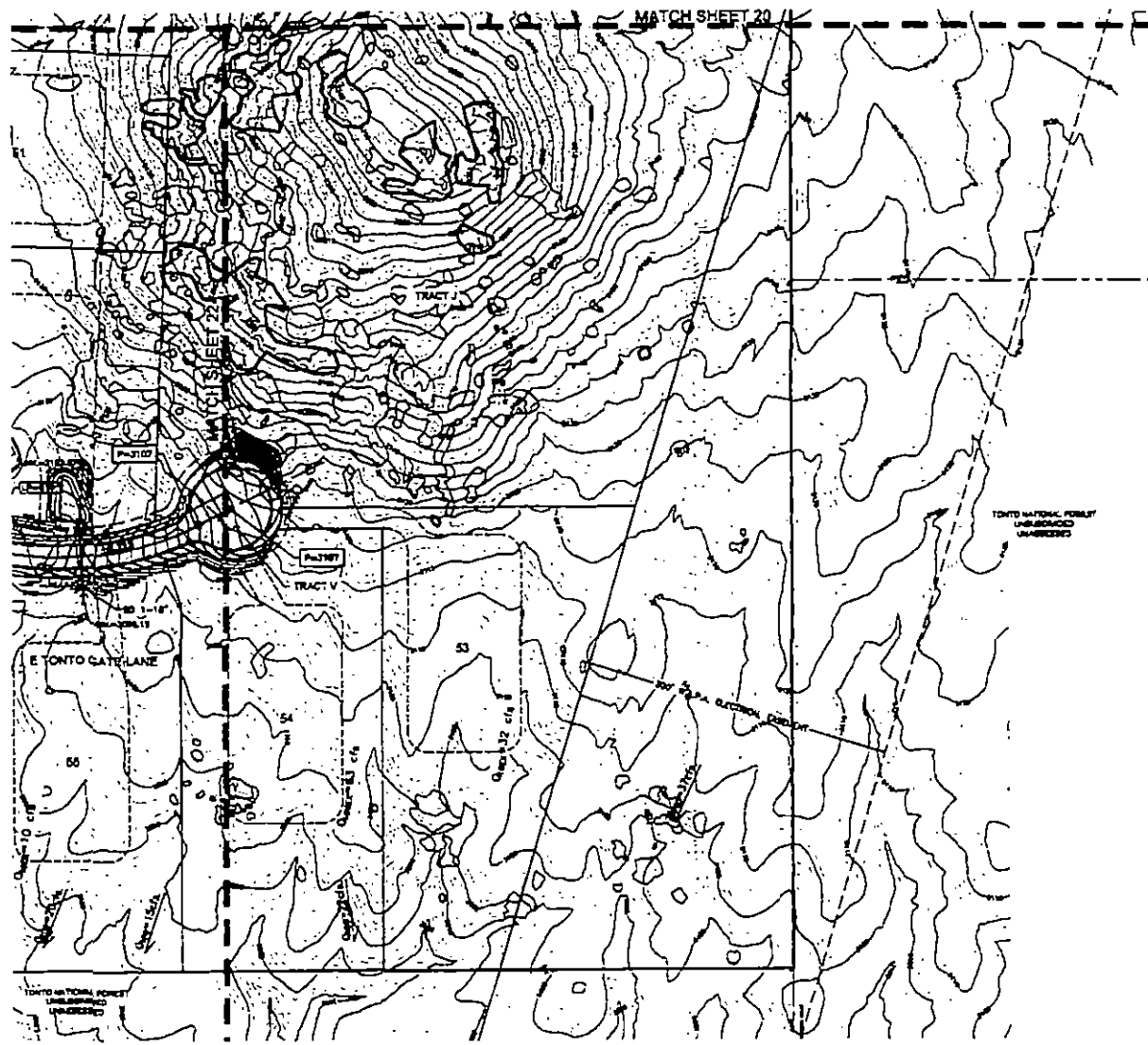


4024 N. 17TH AVENUE
PHOENIX, AZ 85018
PHONE (602) 248-1001
FAX (602) 248-1002
WEB WWW.ICVCONSULTANTS.COM

SHEET NUMBER
22 of 29

PRELIMINARY GRADING PLAN FOR WILDCAT HILL
7/19/2021

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- RIGHT OF WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- EASE
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LP-31.75 LOW POINT ELEVATION
- HP-32.00 HIGH POINT ELEVATION
- BNV-21.63.75 BENCHMARK ELEVATION
- PN-31.65 PROPOSED ELEVATION
- SD-31.65 STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- FL-31.65 FILL FLOW RATE
- SINGLE & BOLLARD COLLECTORS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOLLARD COLLECTORS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- CONTOUR ELEVATION
- GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING PINNACLES OF 18 CFS OR MORE SHALL OBTAIN THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER & SHALL MODIFICATION NUMBER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS

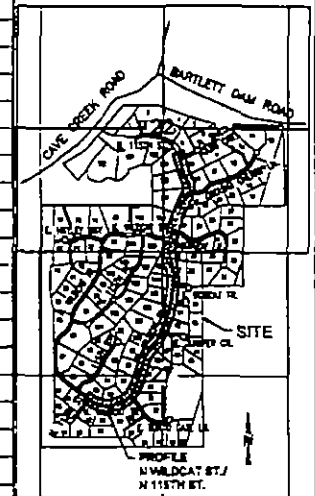
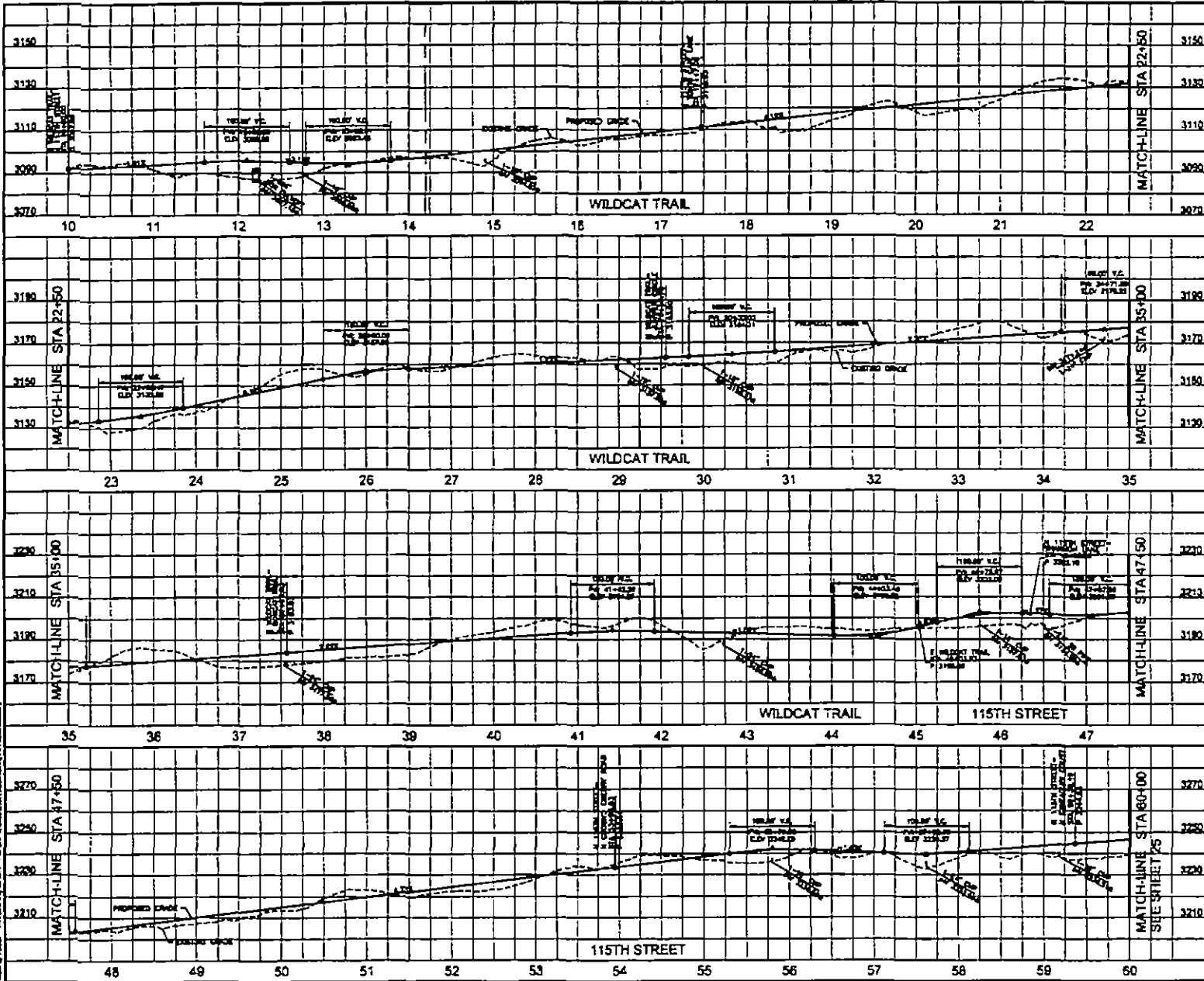


DATE PREPARED: 06/04/19
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

CIVIL
 ENGINEERS & ARCHITECTS
 1000 N. 10TH ST. SUITE 100
 PHOENIX, ARIZONA 85016
 P: 602.254.1000
 F: 602.254.1001
 WWW.CIVILAZ.COM

SHEET NUMBER
23 of 29

PRELIMINARY
GRADING PLAN FOR
WILDCAT HILL



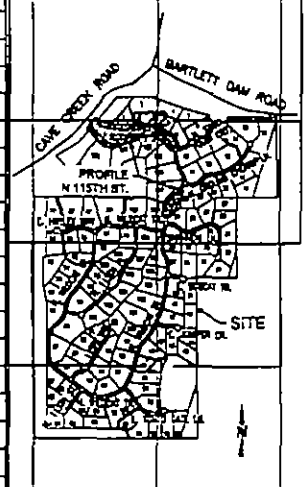
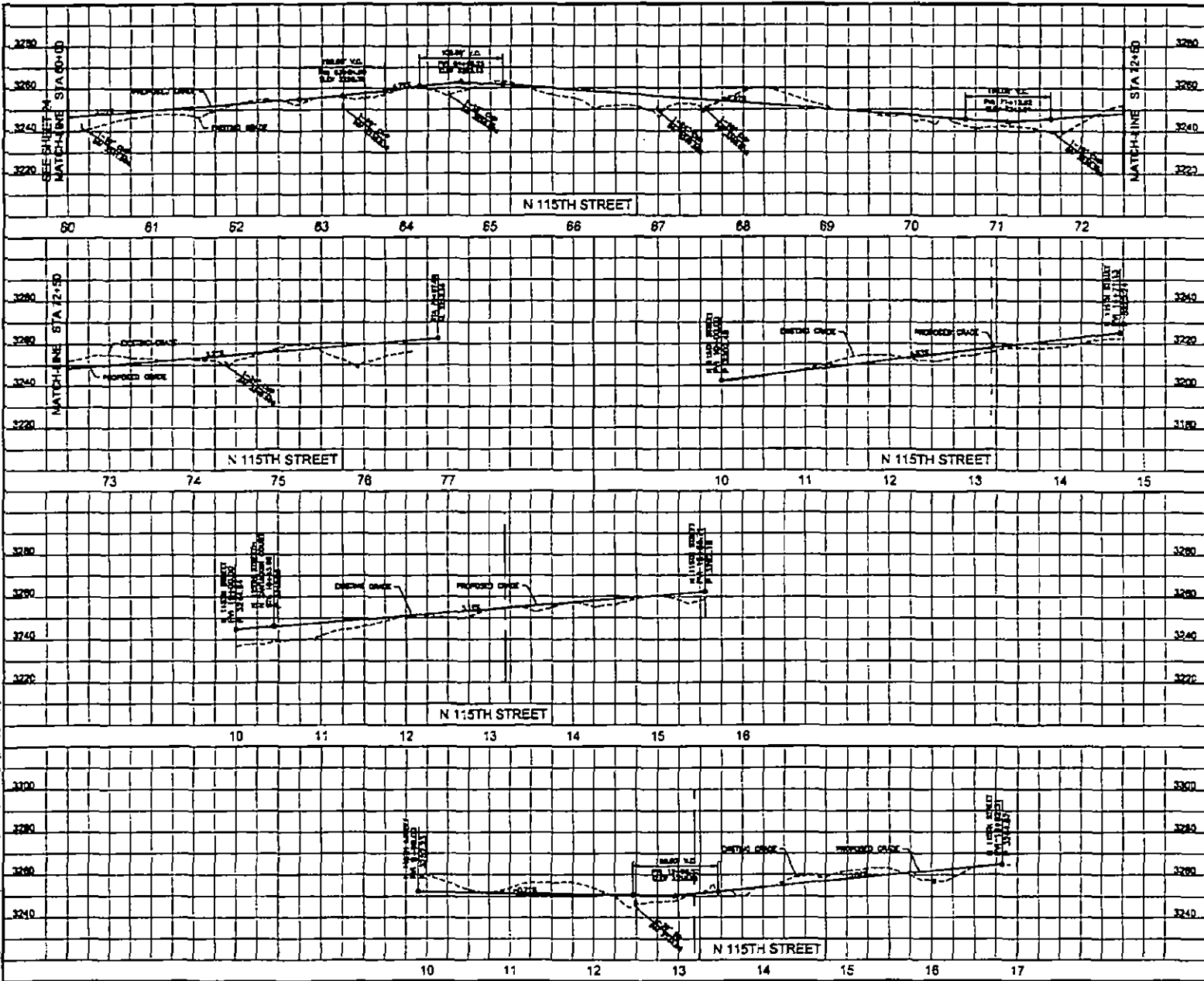
PROFILE
N WILDCAT ST./
N 115TH ST.
SEE SHEET 23 FOR USE
VICINITY MAP
NOT TO SCALE
SCALE 1" = 40' HOR.
1" = 10' VERT.

ICV
ENGINEERING
450 N. 17th STREET
PACIFIC, NJ 08053
PHONE: 609.344.9997
FAX: 609.344.9993
WWW: WWW.ICV-ENG.COM

SHEET NUMBER
24 of 29

DATE PREPARED: 08/05/09
BY: J. J. JONES
CHECKED BY: J. J. JONES

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



NO. 222, 10-8-15
VICINITY MAP
NOT TO SCALE
SCALE: 1" = 50' HORIZ.
1" = 10' VERT.

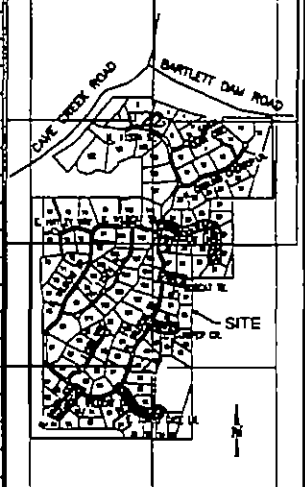
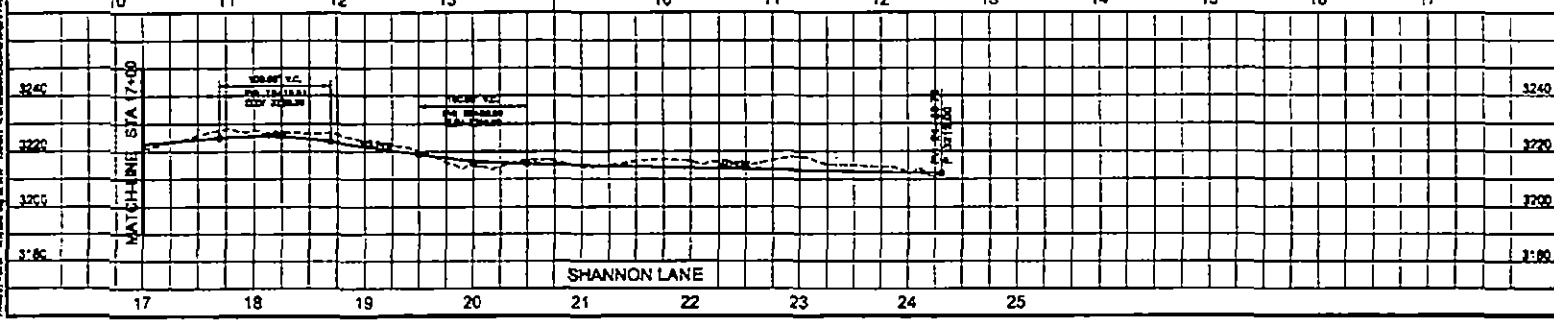
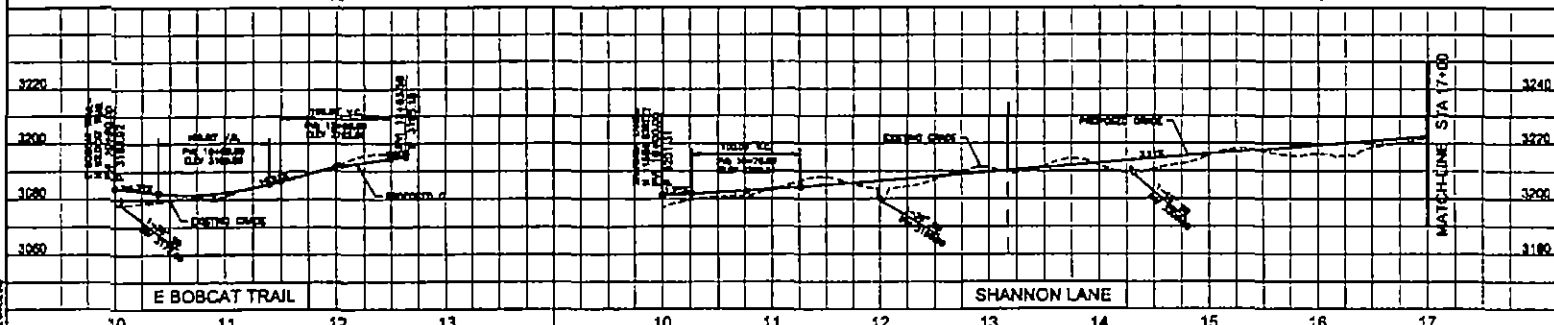
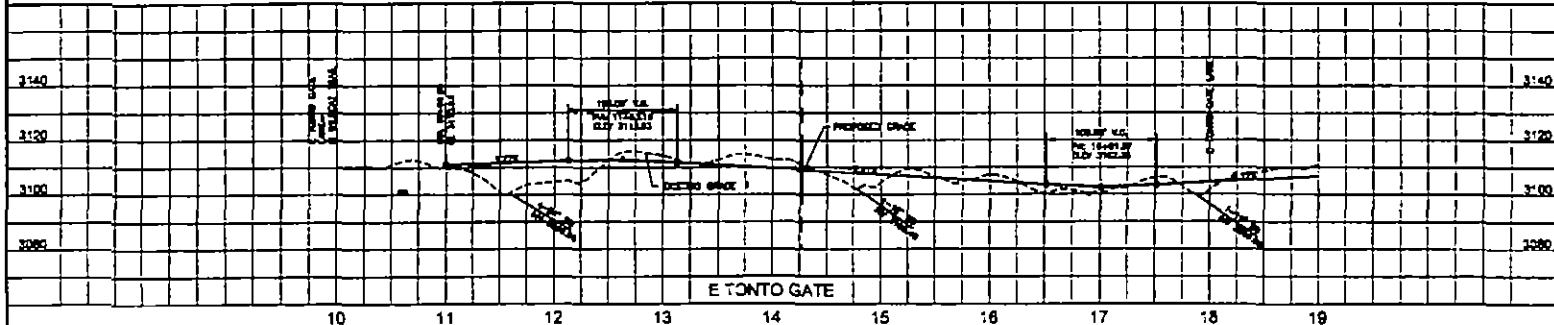
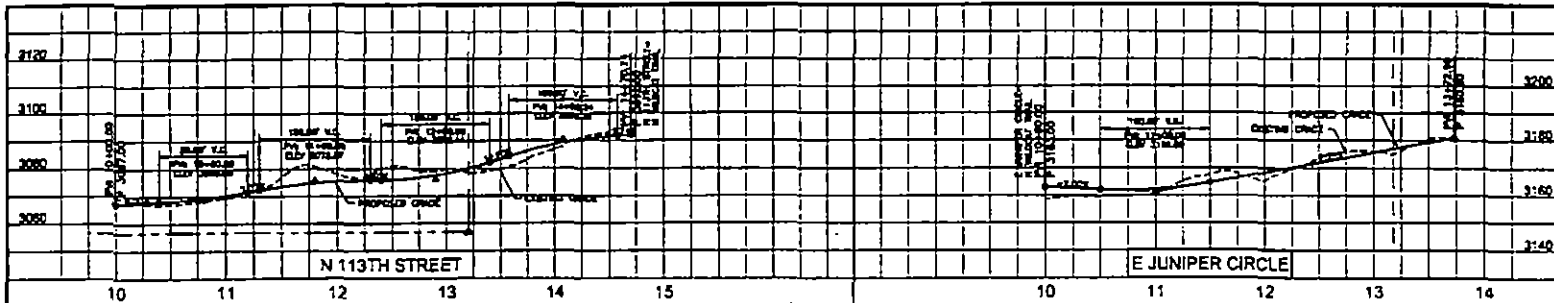


DATE PREPARED: 02/01/15
DRAWN BY: [Signature]



SHEET NUMBER
25 of 29

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



SEE DIST. TONAGE
VICINITY MAP



STATE ENGINEER LICENSE
NUMBER 02

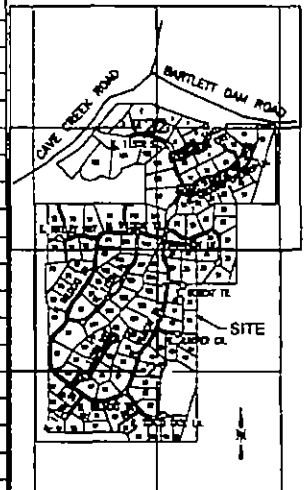
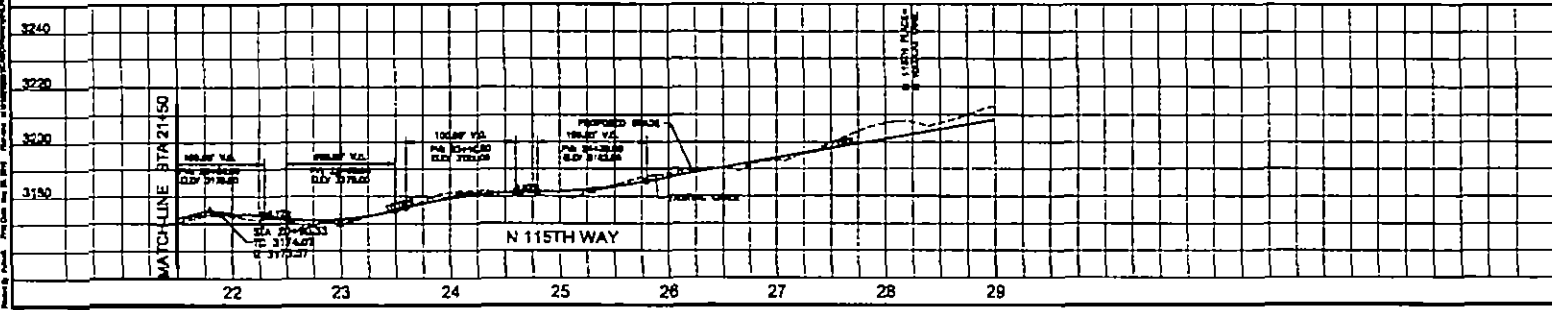
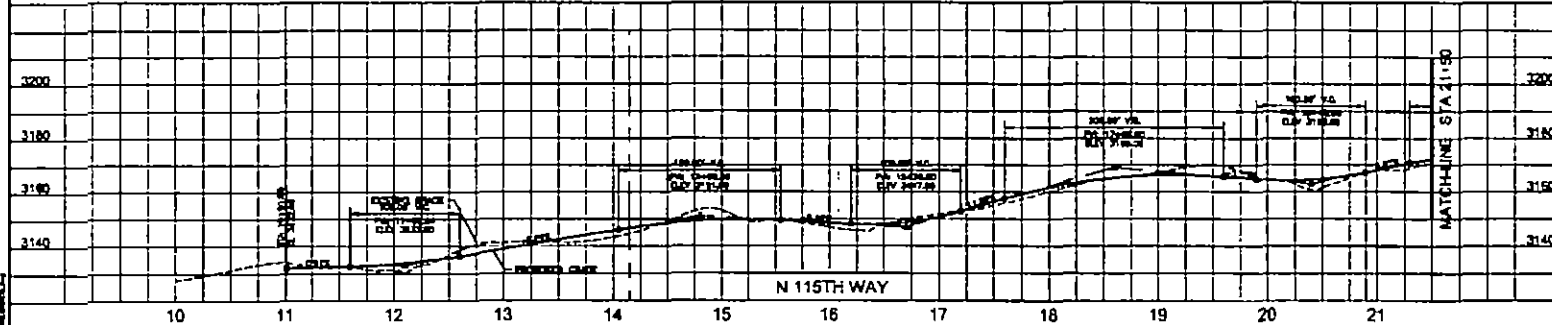
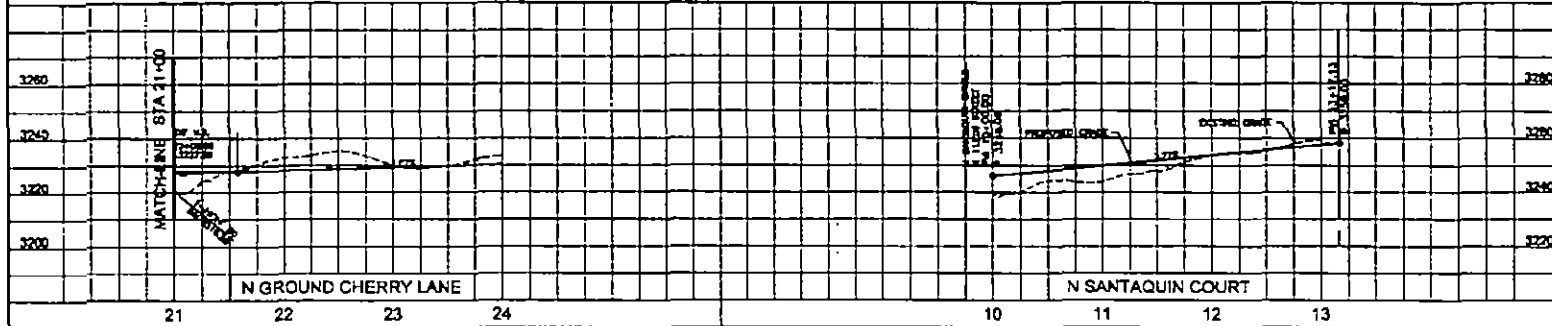
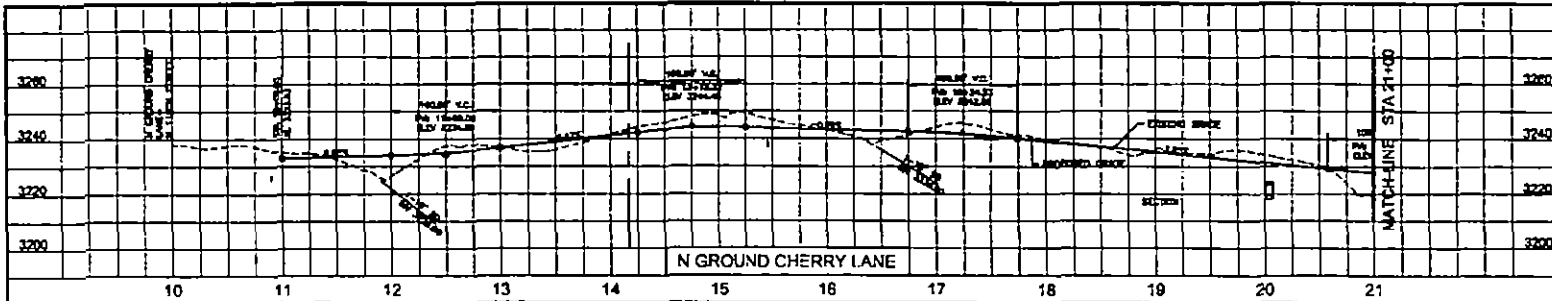
CVL
CONSULTANTS

555 N. 17TH STREET
PHOENIX, AZ 85016

PHONE: (602) 344-1001
FAX: (602) 344-1002
WEB: www.cvl.com

SHEET NUMBER
26 of 29

PRELIMINARY
GRADING PLAN FOR
WILDCAT HILL



800 7200 TEN A BEE
VICINITY MAP



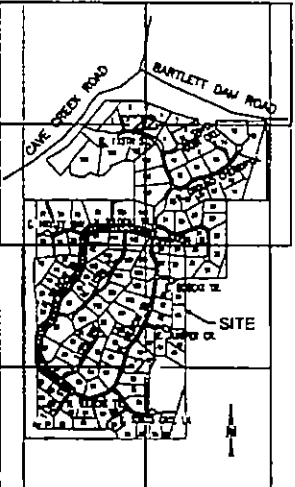
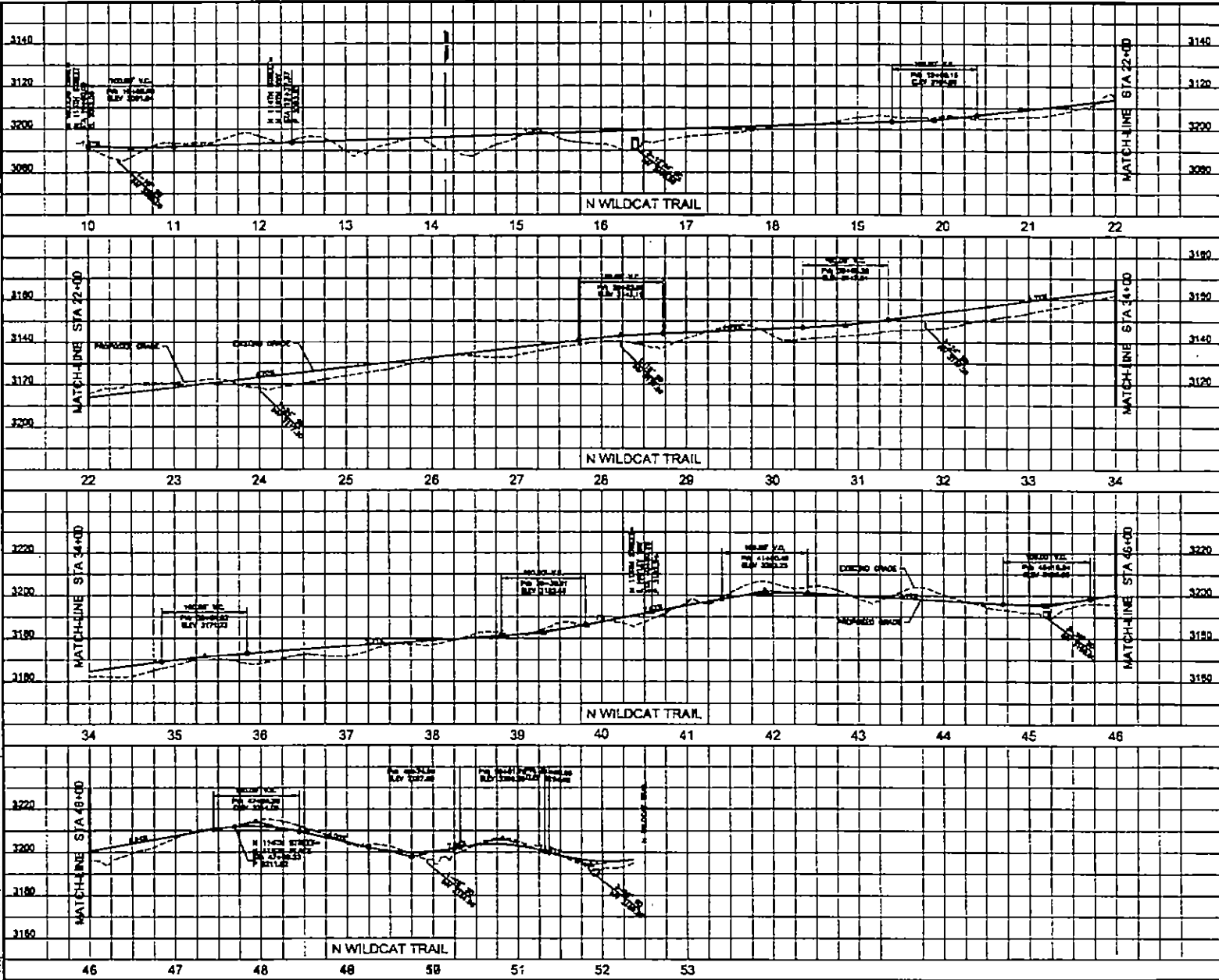
DATE PREPARED: 08/04/19
DESIGNER: JIC
CHECKER: JIC



200 N. 17TH STREET
PRAIRIE, NC 27659
PHONE: 919.866.0000
FAX: 919.866.0001
WEB: WWW.ICV.COM

SHEET NUMBER
27 of 29

PRELIMINARY
GRADING PLAN FOR
WILDCAT HILL



VICINITY MAP

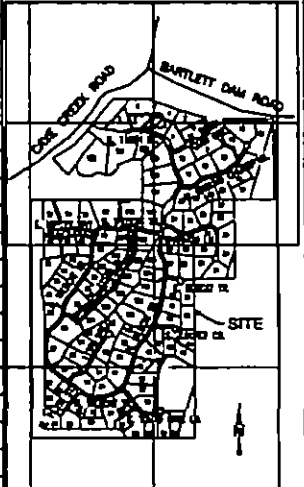
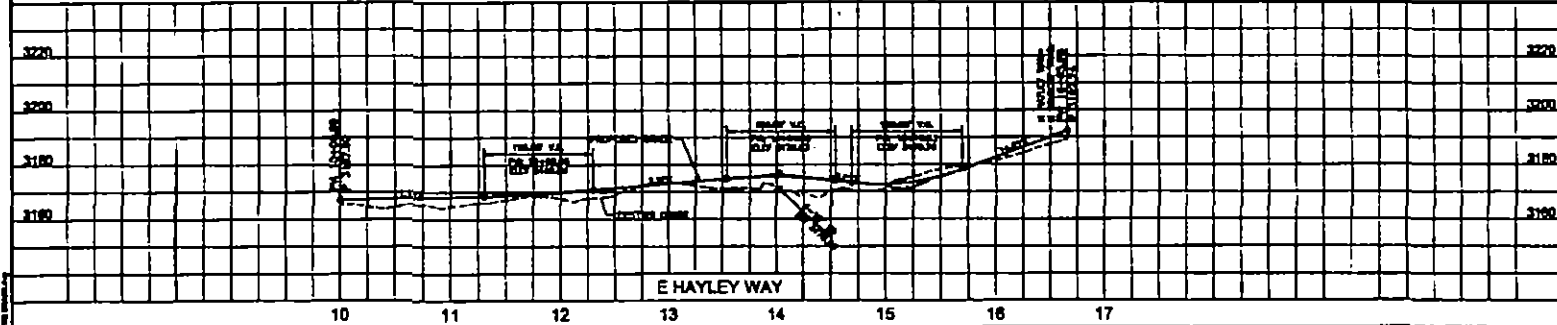
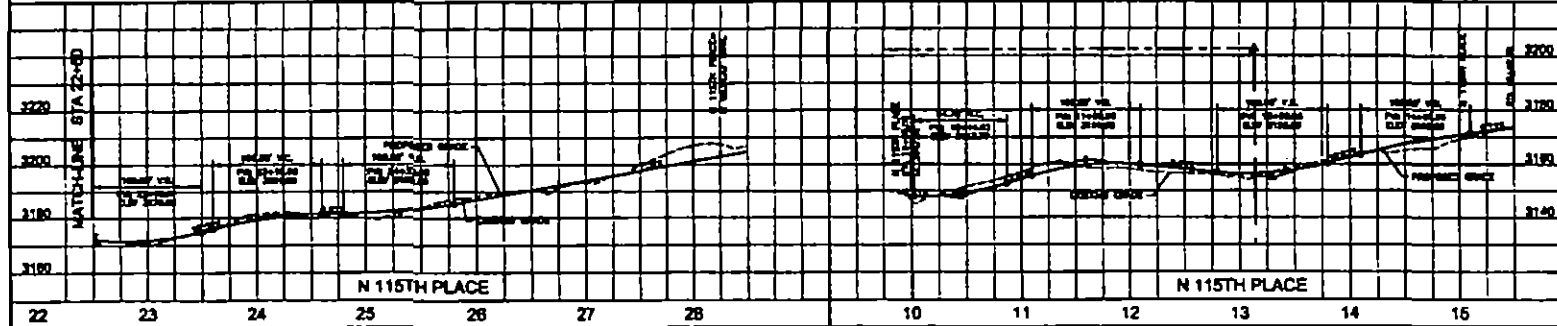
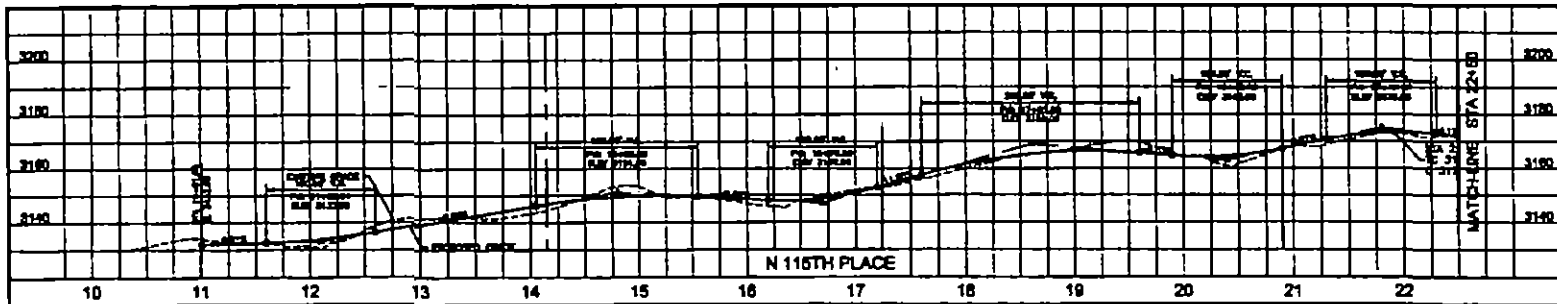


DATE PREPARED: 08/09/19
DESIGNER: [Signature]
DRAWN BY: [Signature]



SHEET NUMBER
28 OF 29

PRELIMINARY
GRADING PLAN FOR
WILDCAT HILL



SECTION 16.00
VICINITY MAP

SCALE: 1" = 40' HORIZ.
1" = 10' VERT.



ICVL
INTEGRATED CIVIL
ENGINEERS & ARCHITECTS
P.C.
1100 NE 12TH AVENUE
SUITE 200
PORTLAND, OREGON 97232
503.281.1100
www.icvl.com

SHEET NUMBER
29 of **29**



SCOTTSDALE, AZ

OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4455 E. CAMELBACK CIRCLE
 PHOENIX, AZ 85016
 TEL: (602) 286-1844

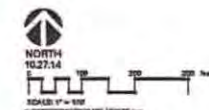
CVL DESIGN TEAM
 Landscape Architects/Planners
 TRACY WY STARRBY

CONCEPT PLANT SCHEDULE

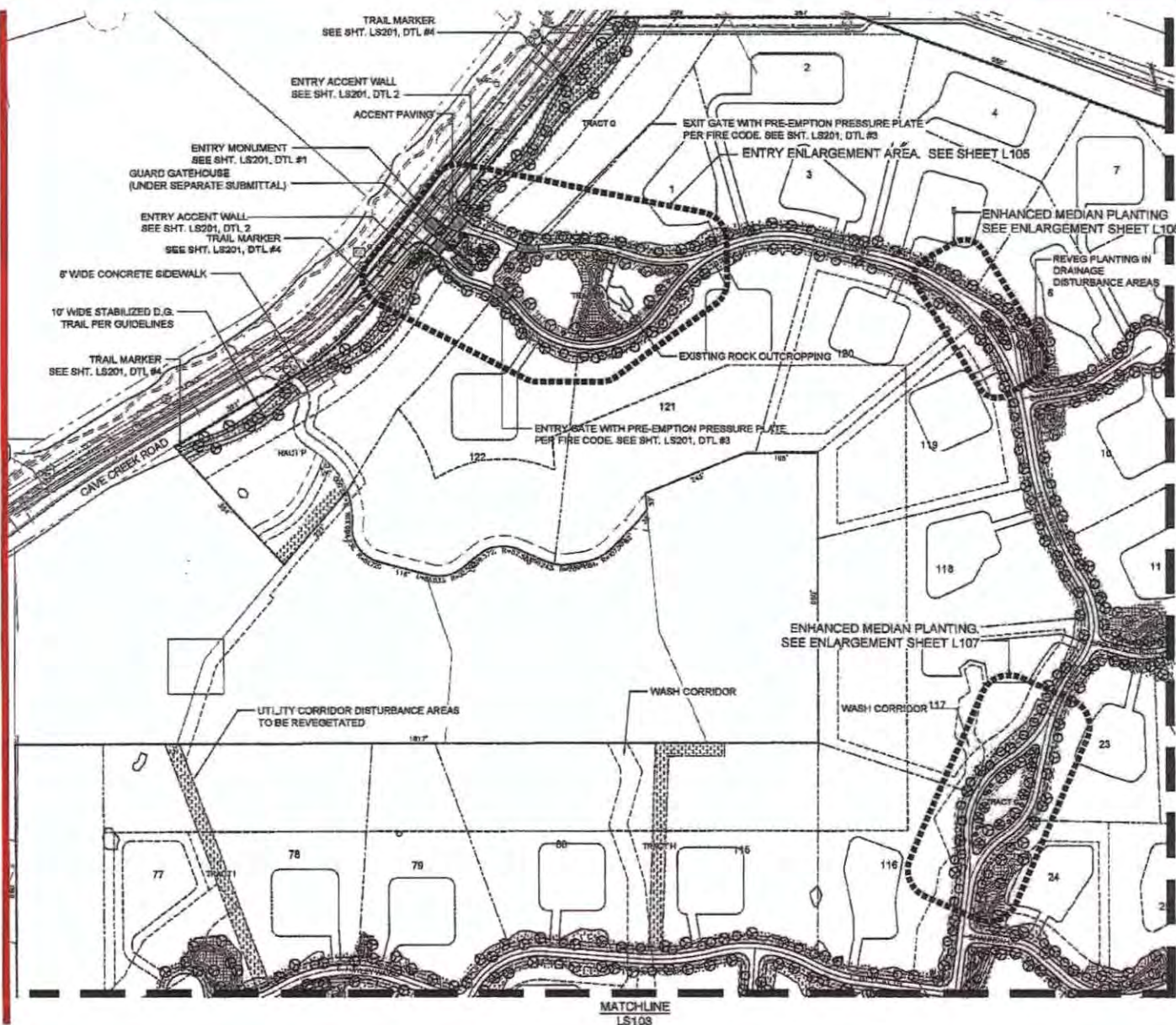
| | | |
|--|--|--------------|
| | NATIVE TREE TREE BOX SIZE TO VARY. 24" BOX SIZE ARIZONA PAVONARIA FLORIDA PREGONIA VILLITANA | 800 |
| | SHRUBS BOX SIZE TO VARY. REFER TO NATIVE INVENTORY PLAN PAVONARIA FLORIDA PAVONARIA MICROPHYLLA PREGONIA VILLITANA | 214 |
| | GROUNDCOVER REFER TO NATIVE INVENTORY PLAN GARDNERIA QUANTIA | 20 |
| | ACCENT TREE SEE VARIETY OF BOX SIZES ELMIRA TOSTER | 20 |
| | RESIDENTIAL RESTORATION AREA ALL FINAL PLANT SELECTIONS IN THIS RESTORATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR SOIL AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL SEX AND QUANTITIES FOUND ON THE SITE. | 1,241,410 SF |
| | DESERT APPROPRIATE RESTORATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR SOIL AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL SEX AND QUANTITIES FOUND ON THE SITE. | 47,732 SF |
| | RETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "RETENTION BASINS AND DRAINAGE CHANNELS" FOR SOIL AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL SEX AND QUANTITIES FOUND ON THE SITE. | 175,289 SF |
| ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE HOUSE PLANT TO A WALKWAY OR PEDESTRIAN AREA. | | |



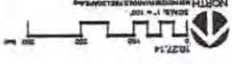
4200 N. 120th Street, Phoenix, AZ 85018, Phone: 602.954.8291, Fax: 602.954.8292, www.cvl.com



LS101
 001 of 013



002 of 018
LS102



DATE: 03/07/2014
PROJECT: 102-10100-0010
DRAWN BY: JLM
CHECKED BY: JLM
SCALE: AS SHOWN
SHEET NO. 002 OF 018

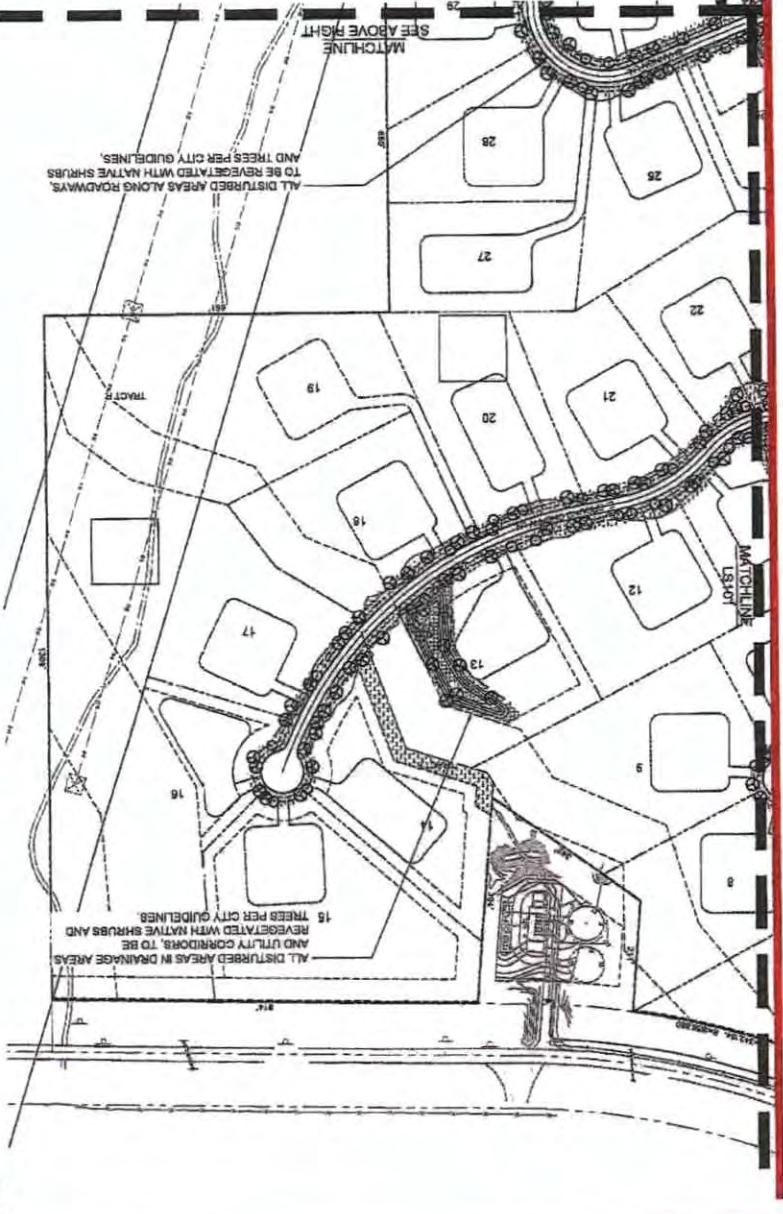
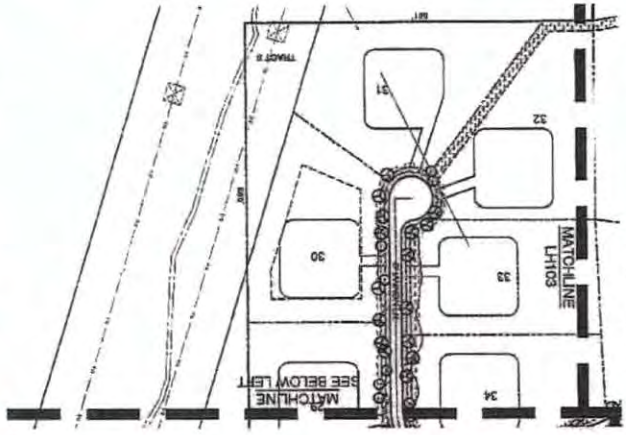


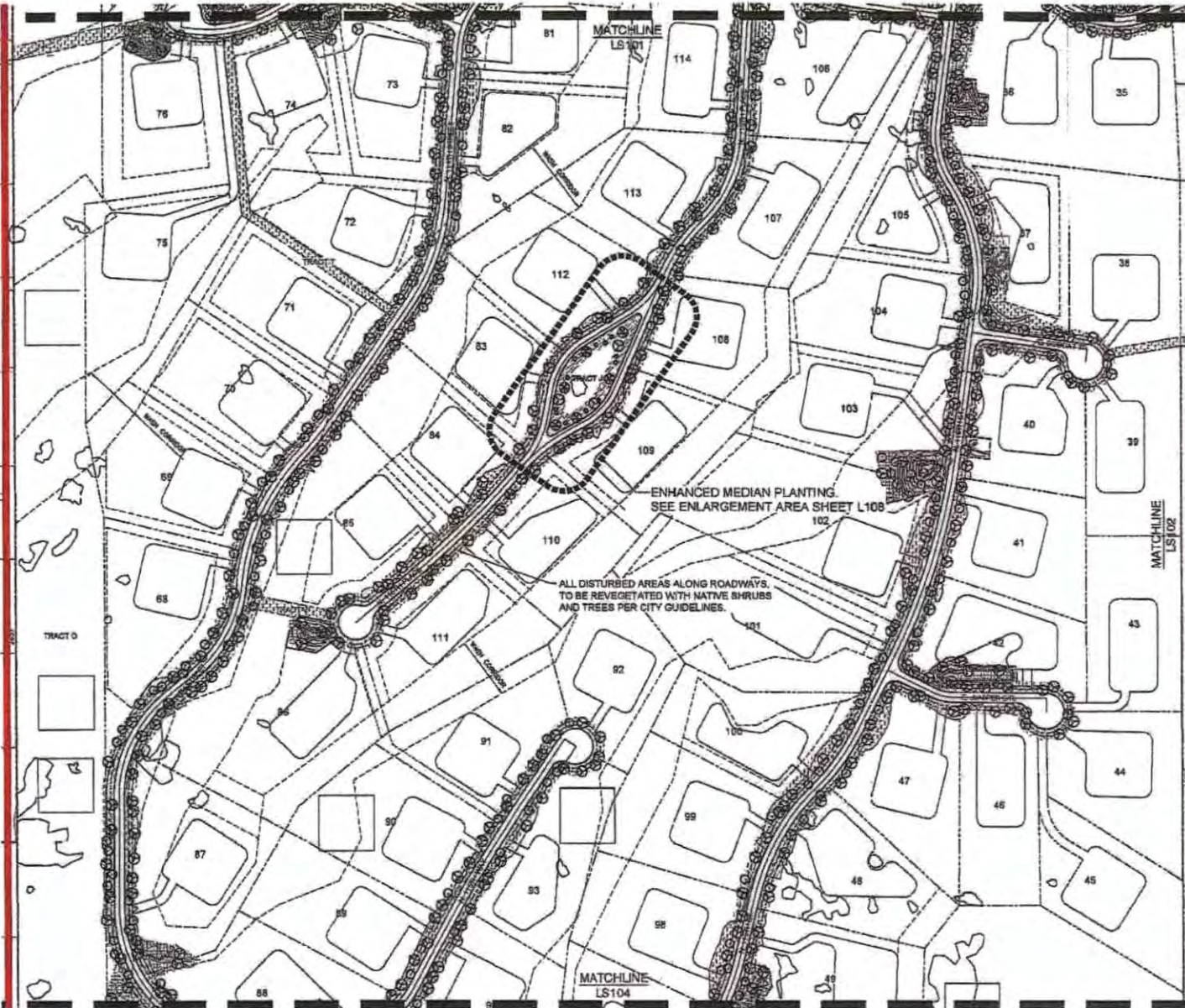
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF FIVE FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF SIX FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF SEVEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF EIGHT FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF NINE FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF ELEVEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWELVE FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF THIRTEEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF FOURTEEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF FIFTEEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF SIXTEEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF SEVENTEEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF EIGHTEEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF NINETEEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY ONE FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY TWO FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY THREE FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY FOUR FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY FIVE FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY SIX FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY SEVEN FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY EIGHT FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF TWENTY NINE FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.
- ALL PLANT MATERIAL WITH THICK STEMS SHALL BE PLANTED A MINIMUM OF THIRTY FEET FROM THE EDGE OF THE WALKING PLANT TO A MINIMUM OF FORTY INCHES.

CONCEPT PLANT SCHEDULE

OWNER / DEVELOPER: WALKER PARTNERS LLP
4455 E CHASE BLVD, SUITE 200
LITTLETON, COLORADO 80120
TEL: 303-755-1544

DESIGNER: CML CONSULTANTS
102-10100-0010
TEL: 303-755-1544





OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4005 E CAMELBACK CDR
 PHOENIX, AZ 85018
 TEL: (602) 556-1544

CVL DESIGN TEAM
 Landscape Architect/Project Manager:
 TRACY W. STARNBY

CONCEPT PLANT SCHEDULE

| | | |
|---|---|--------------|
| | NATIVE TREE TREE BOX SIZE TO VARY. 24" BOX SIZE | 200 |
| | ANNUAL PANDORINA FLORIDA PRODRIPS VILLOSA | 314 |
| | DESERT TREE BOX 60X60 VARY. REFER TO NATIVE INVENTORY PLAN. PANDORINA FLORIDA PANDORINA MICROPHYLLEA PRODRIPS VILLOSA | 58 |
| | DESERT SHRUB REFER TO NATIVE INVENTORY PLAN GARNETIA QUARTEA | 33 |
| | ACCENT TREE SIZE VARYING. 24" BOX ANNUAL. DUNEVA YUKOTA | 1,241,418 SF |
| | WETLAND REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR WETLAND AREAS. PLANT SPECIES AND IDENTIFIERS SHALL REFLECT THE NATURAL MIX AND IDENTIFIERS FOUND ON THE SITE. | 47,732 SF |
| | DESERT APPROPRIATE REVEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR DUNE AREAS. PLANT SPECIES AND IDENTIFIERS SHALL REFLECT THE NATURAL MIX AND IDENTIFIERS FOUND ON THE SITE. | 175,209 SF |
| | DETENTION BASIN AND DRAINAGE CHANNEL ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASIN AND DRAINAGE CHANNELS" FOR TIDE AREAS. PLANT SPECIES AND IDENTIFIERS SHALL REFLECT THE NATURAL MIX AND IDENTIFIERS FOUND ON THE SITE. | |
| <p>ALL PLANT MATERIAL, WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MATURE PLANT TO A WALNUT OR POKERWICH AREA.</p> | | |

CVL
 CONSULTANTS

4005 N 12th Street, Phoenix, AZ 85014, (602) 962-8461 / (602) 962-8023, www.cvl.com

NORTH
 12/27/14

SCALE: 1" = 10'

LS103
 003 of 013



SCOTTSDALE, AZ

OWNER / DEVELOPER
WILDCAT PARTNERS LLC
4605 E. CAMERLACK CIRCLE
PHOENIX, AZ 85218
TEL: (602) 965-1544

CVL DESIGN TEAM
Landscape Architecture/Project Manager
TIMOTHY STANNETT

MATCHLINE
LS109



TRACT K
ALL DISTURBED AREAS ALONG ROADWAYS,
TO BE REVEGETATED WITH NATIVE SHRUBS
AND TREES PER CITY GUIDELINES.

CONCEPT PLANT SCHEDULE

| | | |
|--|--|--------------|
| | NATIVE TREE TREE SIZE: 30" DBH TO VARY, 34" DBH SIZE NATIVE: PARSONSIA FLORIDA PROCORDIA VULGARIS | 808 |
| | SHRUB SIZE: 12" DBH VARY, REFER TO NATIVE INVENTORY PLAN: PARSONSIA FLORIDA PROCORDIA VULGARIS PROCORDIA VULGARIS | 314 |
| | SMALL SHRUB REFER TO NATIVE INVENTORY PLAN CAREXNA QUANTA | 20 |
| | ACCENT TREE SIZE: 18" DBH, 24" DBH, 30" DBH OLIVERA TEXENSIS | 33 |
| | REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL MIX AND QUANTITIES FOUND ON THE SITE. | 1,241,418 SF |
| | NATIVE AREA ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL MIX AND QUANTITIES FOUND ON THE SITE. | 47,328 SF |
| | RETENTION BASIN AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL MIX AND QUANTITIES FOUND ON THE SITE. | 178,298 SF |
| | ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MATURE PLANT TO A WALKWAY OR PEDESTRIAN AREA. | |

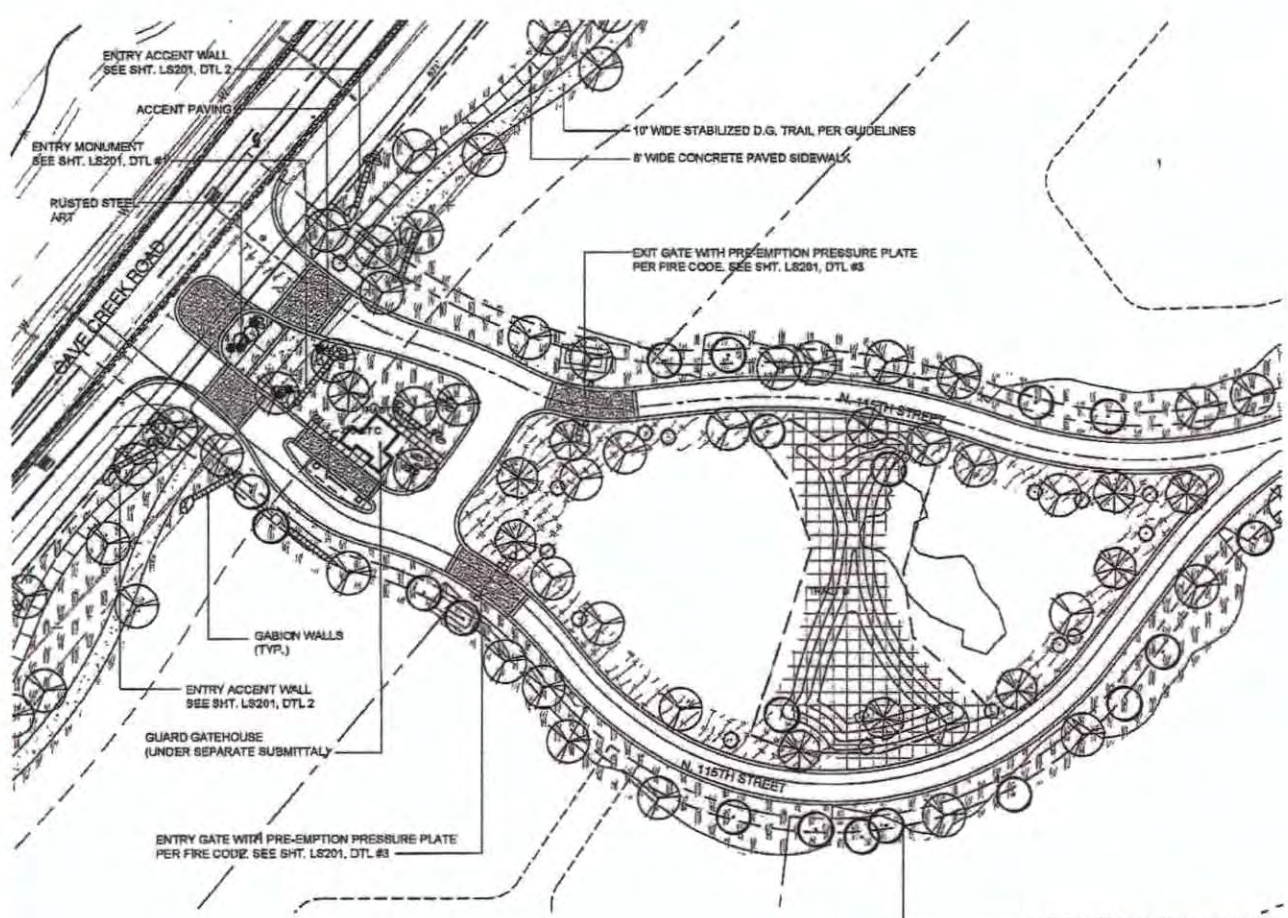
TRAIL NODE ENLARGEMENT AREA. SEE SHEET L109



CVL
4500 N. 42ND STREET, PHOENIX, AZ 85018, PHONE: (602) 965-1544, FAX: (602) 965-1545, WWW.CVLD.COM
(Landscape Architecture/Project Manager)



LS104
004 of 013



SCOTTSDALE, AZ

OWNER / DEVELOPER: WILDCAT PARTNERS, LLC, 4035 E CAMELBACK CMO, PHOENIX, AZ 85018, TEL: 602-965-1544
 CIVL DESIGN TEAM: Landscape Architecture/Project Manager: TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

| | | |
|--|--|--------------|
| | <p>SPRING TREES TREE BOX SIZE TO VARY. 24" BOX SIZE. NURSERY: PANORAMA FLORIDA, PROSCOPUS VULGARIS</p> | 800 |
| | <p>SUMMERTRE TREES SEE SITE UNIT. REFER TO NATIVE INVENTORY PLAN. PANORAMA FLORIDA, PANORAMA MICROPHYLLUM, PROSCOPUS VULGARIS</p> | 314 |
| | <p>SUMMERTRE SHRUBS REFER TO NURSERY INVENTORY PLAN. OLYMPIA GROWERS</p> | 30 |
| | <p>SHRUB TREES SEE WAREHOUSE. 24" BOX MINIMUM. OLYMPIA GROWERS</p> | 23 |
| | <p>INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ISLAND AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL MIX AND DIVERSITY FOUND ON THE SITE.</p> | 1,241,418 SF |
| | <p>DESIGN APPROVED REVEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESIGN APPROVED PLANT LIST" FOR ISLAND AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL MIX AND DIVERSITY FOUND ON THE SITE.</p> | 47,732 SF |
| | <p>RESTORATION BARRIERS AND BOUNDARY CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS BY DETENTION BASIN AND CHANNEL CHANNELS" FOR ISLAND AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL MIX AND DIVERSITY FOUND ON THE SITE.</p> | 170,299 SF |
| <p>ALL PLANT MATERIAL WITH "TRUNKY" SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MAJOR PLANT TO A WALKWAY OR PEDESTRIAN AREA.</p> | | |



4255 N 129th Street, Phoenix, AZ 85018 phone 602-964-8901 fax 602-964-9036 www.civil.com
 30 Phoenix Ave, Suite 1000, Phoenix, AZ 85018 phone 602-964-8901 fax 602-964-9036 www.civil.com

COMMUNITY ENTRANCE



LS105
005 of 013

Wildcat Hill

SCOTTSDALE, AZ

OWNER / DEVELOPER
WILDCAT PARTNERS LLC,
4400 E. CAMELBACK ROAD
PHOENIX, AZ 85018
TEL: (602) 385-1544

CIVIL DESIGN TEAM
Landscape Architect/Project Manager
TRACY WY STANLEY

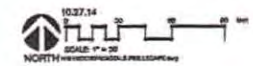
CONCEPT PLANT SCHEDULE

| | | |
|--|--|--------------|
| | NATIVE SHRUB TREE BOX SIZE TO VARY, 24" BOX SIZE SUNSHINE PARSONSIA FLORIDA PRODRIPS YELLOW | 888 |
| | SALVADO TREE BOX SIZES VARY, REFER TO NATIVE INVENTORY PLAN PARSONSIA FLORIDA PARSONSIA MICRO-PANICULATA PRODRIPS YELLOW | 314 |
| | SALVADO SHRUB REFER TO NATIVE INVENTORY PLAN DARRIGEA GONVREA | 88 |
| | ACCENT TREE BOX SIZES VARY, 24" BOX MINIMUM FLORIDA YACONIA | 33 |
| | RECREATION AREA ALL FINAL PLANT SELECTIONS IN THIS RECREATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR SOLO AREAS. PLANT SPECIES AND GENETICS SHALL REFLECT THE NATURAL MIX AND GENETICS FOUND ON THE SITE. | 1,211,418 SF |
| | DESERT APPROPRIATE SELECTIONS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR SOLO AREAS. PLANT SPECIES AND GENETICS SHALL REFLECT THE NATURAL MIX AND GENETICS FOUND ON THE SITE. | 47,722 SF |
| | RETENTION BASIN AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR SOLO AREAS. PLANT SPECIES AND GENETICS SHALL REFLECT THE NATURAL MIX AND GENETICS FOUND ON THE SITE. | 175,309 SF |
| | ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE WALKWAY PLANT TO A WALKWAY OR PEDESTRIAN AREA. | |



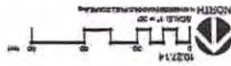
4400 N. 10TH STREET, PHOENIX, AZ 85014, PHONE 480.224.9507, FAX 480.224.9508, WWW.ICV.COM

MEDIAN 1



LS106
005 of 013

LS107
DOT OF 013



MEDIAN 2

4450 W. Camelback Road, Phoenix, AZ 85018, Phone: 602.954.8871, Fax: 602.954.8872, www.cvl.com



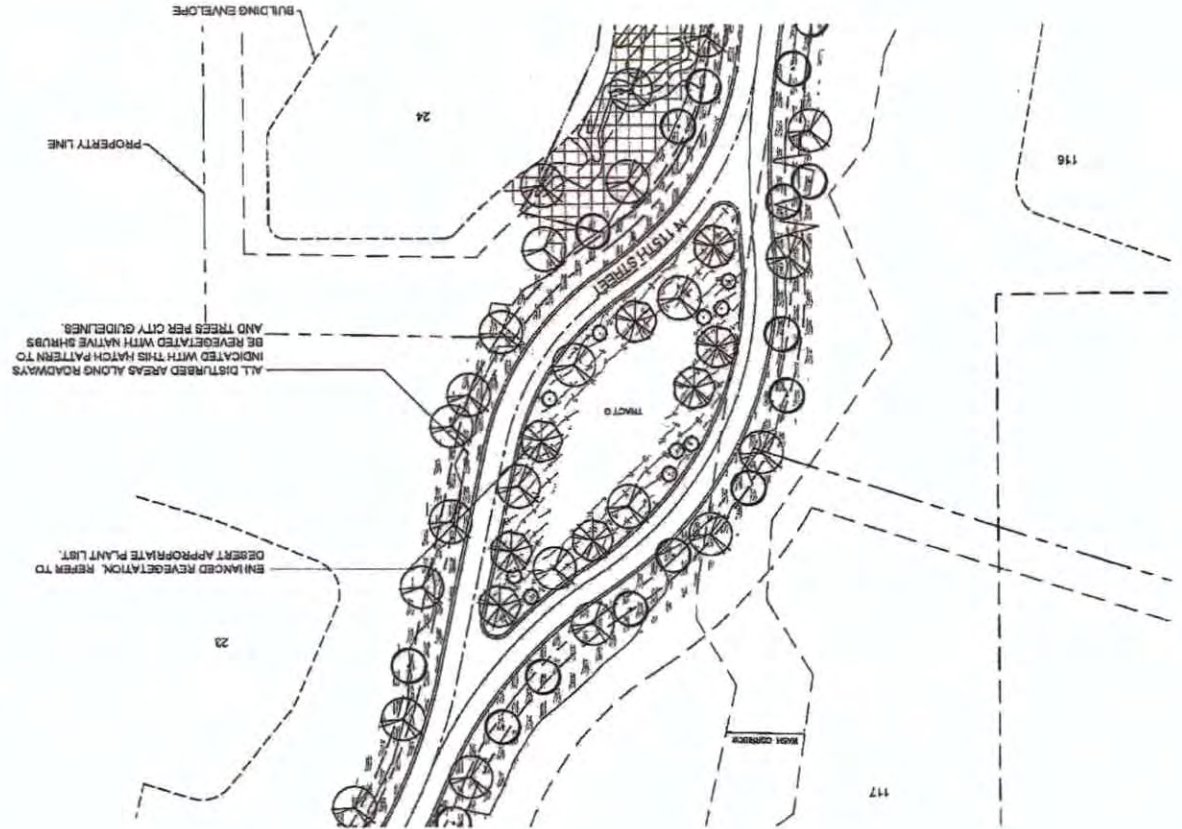
- 17.7500 SF
- ALL SMALL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF PHOENIX.
- 47.7500 SF
- ALL SMALL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF PHOENIX. SCOTT'SLAND'S "DESERT PLANTS" LIST SHALL BE USED FOR SMALL PLANT SELECTIONS. PLANT SELECTIONS AND TREE TYPES SHALL REFLECT THE NATURAL AND OPENING TONES ON THE SITE.
- 1.241418 SF
- ALL SMALL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF PHOENIX. SCOTT'SLAND'S "DESERT PLANTS" LIST SHALL BE USED FOR SMALL PLANT SELECTIONS. PLANT SELECTIONS AND TREE TYPES SHALL REFLECT THE NATURAL AND OPENING TONES ON THE SITE.
- 23
- ALL PLANT MATERIALS SHALL BE SELECTIONS FROM THE CITY OF PHOENIX. SCOTT'SLAND'S "DESERT PLANTS" LIST SHALL BE USED FOR SMALL PLANT SELECTIONS. PLANT SELECTIONS AND TREE TYPES SHALL REFLECT THE NATURAL AND OPENING TONES ON THE SITE.
- 23
- ALL PLANT MATERIALS SHALL BE SELECTIONS FROM THE CITY OF PHOENIX. SCOTT'SLAND'S "DESERT PLANTS" LIST SHALL BE USED FOR SMALL PLANT SELECTIONS. PLANT SELECTIONS AND TREE TYPES SHALL REFLECT THE NATURAL AND OPENING TONES ON THE SITE.
- 214
- ALL PLANT MATERIALS SHALL BE SELECTIONS FROM THE CITY OF PHOENIX. SCOTT'SLAND'S "DESERT PLANTS" LIST SHALL BE USED FOR SMALL PLANT SELECTIONS. PLANT SELECTIONS AND TREE TYPES SHALL REFLECT THE NATURAL AND OPENING TONES ON THE SITE.
- 228
- ALL PLANT MATERIALS SHALL BE SELECTIONS FROM THE CITY OF PHOENIX. SCOTT'SLAND'S "DESERT PLANTS" LIST SHALL BE USED FOR SMALL PLANT SELECTIONS. PLANT SELECTIONS AND TREE TYPES SHALL REFLECT THE NATURAL AND OPENING TONES ON THE SITE.

CONCEPT PLANT SCHEDULE

OWNER / DEVELOPER
WILSON PARKWAY LLC
4450 E CAMELBACK ROAD
PHOENIX, AZ 85018
TEL: (602) 954-1544

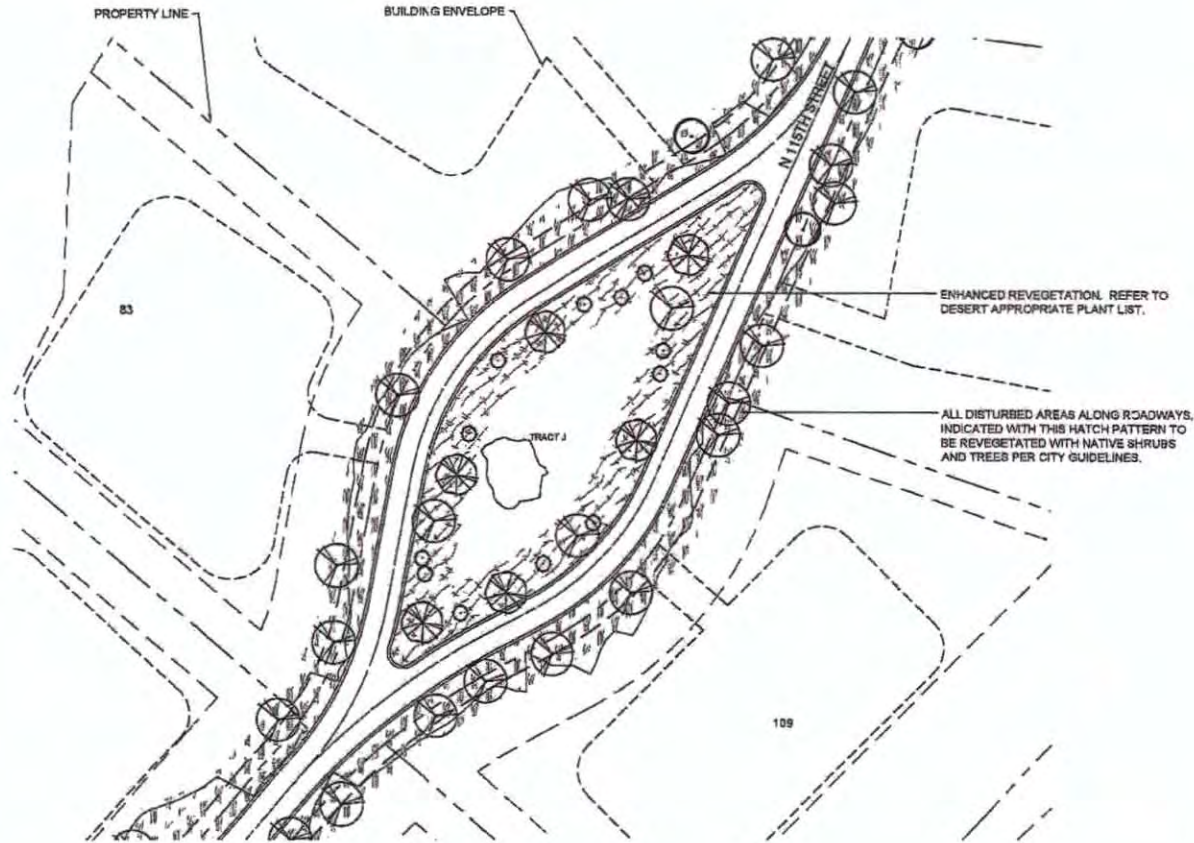
OWNER / DESIGN TEAM
LAWSON ARCHITECTURAL GROUP
TIMOTHY STRANDBERG
PHOENIX, AZ

SCOTTSDALE, AZ
Scott's Land



ALL DISTURBED AREAS ALONG ROADWAYS INDICATED WITH THIS HATCH PATTERN TO BE REVEGETATED WITH NATIVE SHRUBS AND TREES PER CITY GUIDELINES.

ENHANCED REVEGETATION, REFER TO DESERT APPROPRIATE PLANT LIST.



CONCEPT PLANT SCHEDULE

| | | |
|--|--|--------------|
| | MIMALE TREES TREE BOX SIZE TO VARY. 24" BOX SIZE MIMALE PARSONIA FLORIDA PROCEPS VULGARIS | 828 |
| | SILVER CHERRY TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN. PARSONIA FLORIDA PARSONIA MICROPHYLLA PROCEPS VULGARIS | 214 |
| | SHRUBS AND BUSHES REFER TO NATIVE INVENTORY PLAN CANNEDIA SIGMATA | 56 |
| | ACCENT TREES SEE SHEET. 24" BOX MINIMUM QUINCY TEXOSA | 32 |
| | REVEGETATION AREAS ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "RESIDENTIAL PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL VEGETATION FOUND ON THE SITE. | 1,241,418 SF |
| | ROADWAY ADJACENT AREAS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL VEGETATION FOUND ON THE SITE. | 47,732 SF |
| | ADDITIONAL DRIVE AND DRIVEWAY CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN EXTENSION DRIVE AND DRIVEWAY CHANNELS" FOR URBAN AREAS. PLANT SPECIES AND QUANTITIES SHALL REFLECT THE NATURAL VEGETATION FOUND ON THE SITE. | 175,208 SF |

ALL PLANT MATERIAL WITH THIRTY SPHERE
DUAL BE PLANTED A MINIMUM OF FOUR FEET
FROM THE EDGE OF THE DRIVEWAY PLANT TO A
WALKWAY OR PAVEMENT AREA.

Wildcat Hill

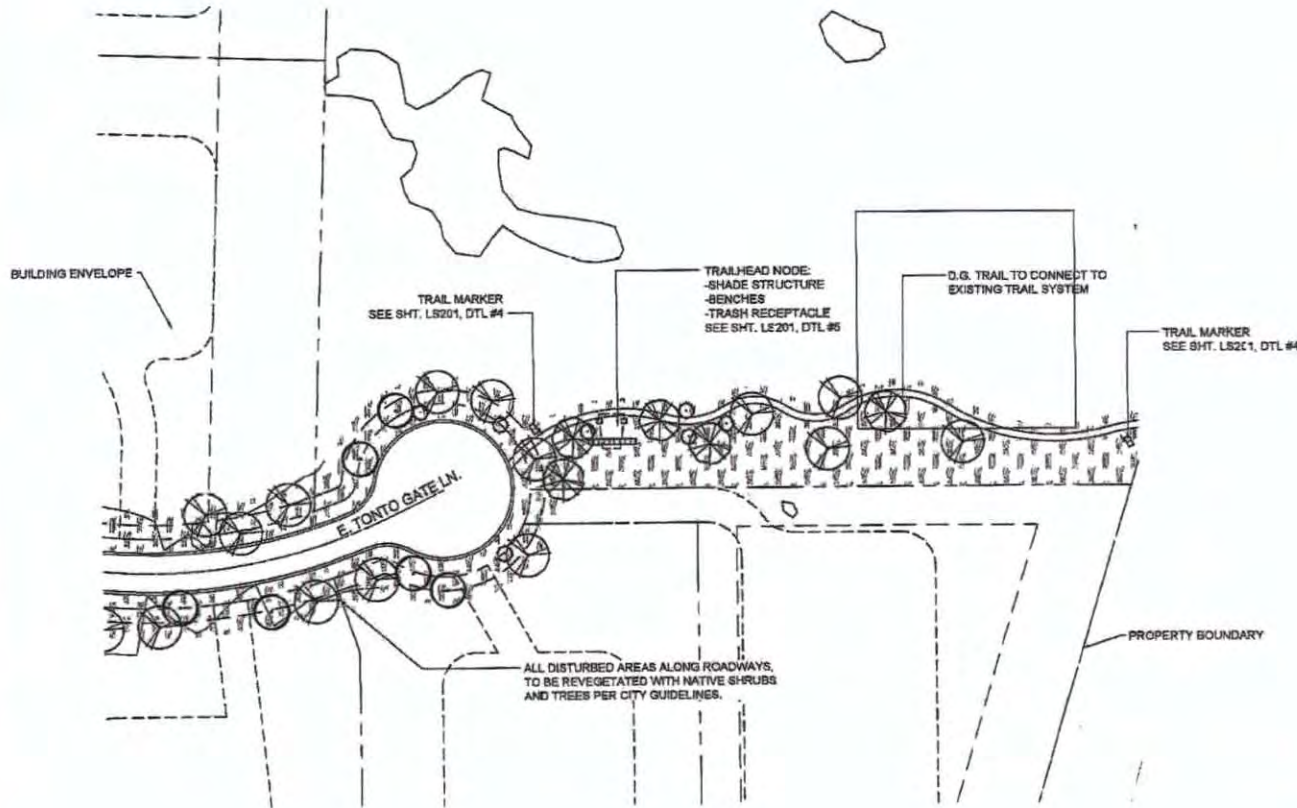
SCOTTSDALE, AZ

OWNER / DEVELOPER:
WILDCAT PARTNERS LLC,
4403 E. CAMELBACK CND
PHOENIX, AZ 85018
TEL: 602-966-1544

CIVIL DESIGN TEAM
Landscape Architect/Project Manager:
TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

| | | |
|--|--|--------------|
| | WAXY TREE 24" BOX SIZE TO WAXY, 24" BOX SIZE WAXY PANDANUS FLORIDA PROSOPIS VELUTINA | 888 |
| | SHADE TREE 24" BOX SIZE WAXY, REFER TO NATIVE SHADY TREE PANDANUS FLORIDA PANDANUS MICROPHYLLUS PROSOPIS VELUTINA | 214 |
| | SHADE BUSHES REFER TO NATIVE SHADY TREE GARDENIA SANTALUM | 88 |
| | SHADE TREE 24" BOX SIZE GARDENIA SANTALUM | 33 |
| | SCISSOR CUTTING AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND IDENTITIES SHALL REFLECT THE NATURAL VEGETATION AND IDENTITIES FOUND ON THE SITE. | 1,241,418 SF |
| | OPEN AREAS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND IDENTITIES SHALL REFLECT THE NATURAL VEGETATION AND IDENTITIES FOUND ON THE SITE. | 47,732 SF |
| | WATERWAYS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANT LIST" FOR URBAN AREAS. PLANT SPECIES AND IDENTITIES SHALL REFLECT THE NATURAL VEGETATION AND IDENTITIES FOUND ON THE SITE. | 175,288 SF |
| | ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MAJOR PLANT TO A WALKWAY OR PAVED AREA. | |



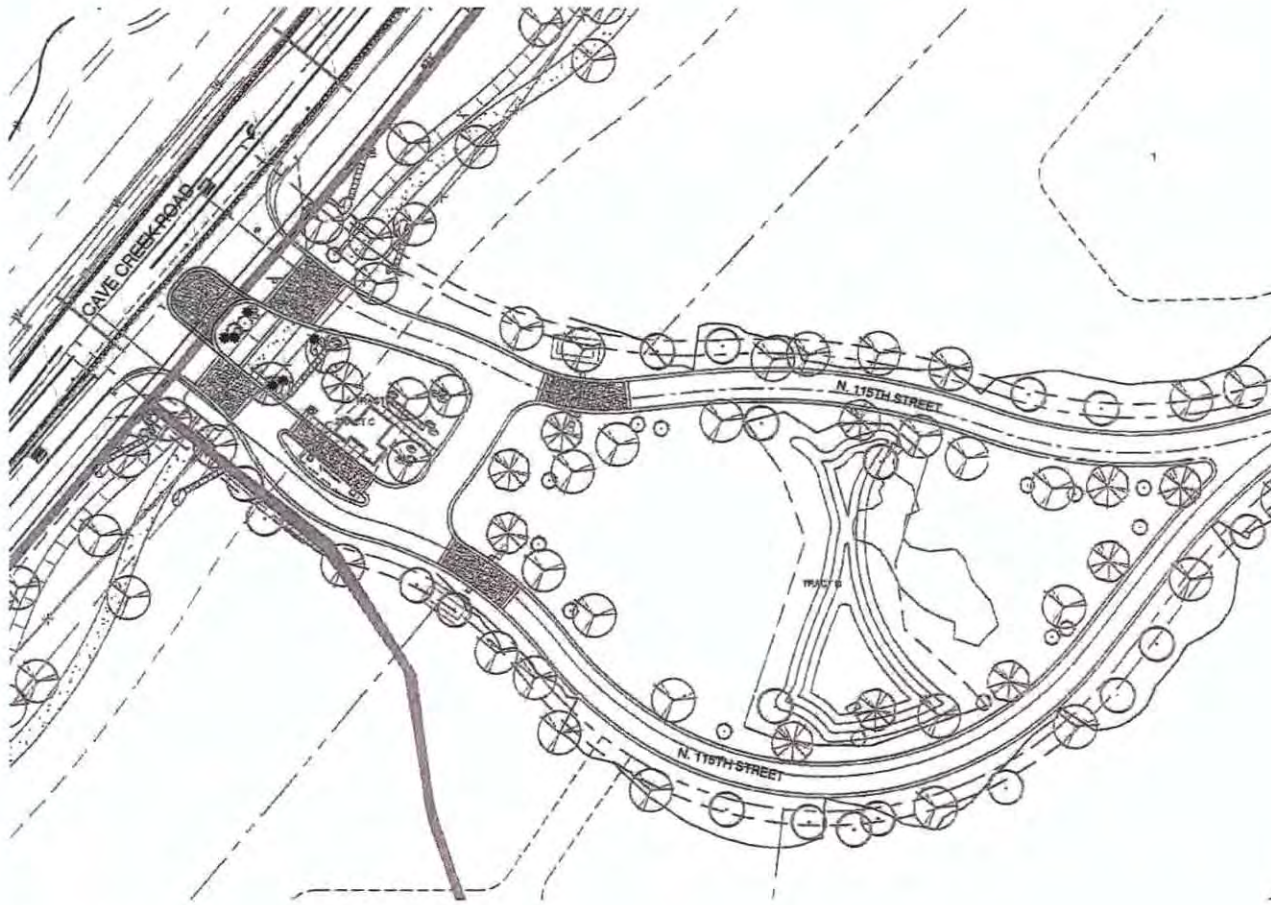
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TRAILHEAD NODE



10.27.14
NORTH
SCALE 1" = 10'

LS109
009 of 013



Wildcat Hill

SCOTTSDALE, AZ

OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4455 E. CAMBEROCK ROAD
 PHOENIX, AZ 85018
 TEL. (602) 365-1544

CVL DESIGN TEAM
 Landscape Architect/Project Manager
 TIMOTHY STARKBY

LIGHTING SCHEDULE

| SYMBOL | MANUFACTURER/DESCRIPTION | QTY | DETAIL | MATERIAL | FINISH | ELECTRICAL | LAMP | WATER | GLASS TEMP | LENS | SILVER | DIFFUSER/LENS | MOUNTING | OPTION |
|--------|---|-----|--------|----------------|--------------------|----------------|------|-------|------------|-------------|--------|---------------|-----------------|-----------------------|
| ⊗ | TRC DOWNLIGHT 1" LUMINAIRE VC - LED | 10 | | COPPER | 24" WEATHERED IRON | 10 TO 15 VOLTS | 3.2W | NA | NA | IN "ROSTED" | NA | SH-FLD | NA | 150 PERFORATED SLATVE |
| ⊙ | DOWNWARD WALL WASHER LUMINAIRE L ¹ - LED | 6 | | BRASS | 24" WEATHERED IRON | 10 TO 15 VOLTS | 1.1W | 24V | 2500K | IN "ROSTED" | NA | SH-FLD | LARGER WALL CAP | NA |
| ⊗ | WALL MOUNTED DOWNLIGHT LUMINAIRE DC - LED | 2 | | ALUMINUM ALLOY | 24" WEATHERED IRON | 10 TO 15 VOLTS | 3.2W | 10.1V | NA | IN "ROSTED" | NA | SH-FLD | 1/8" NUBSA SCR | NA |

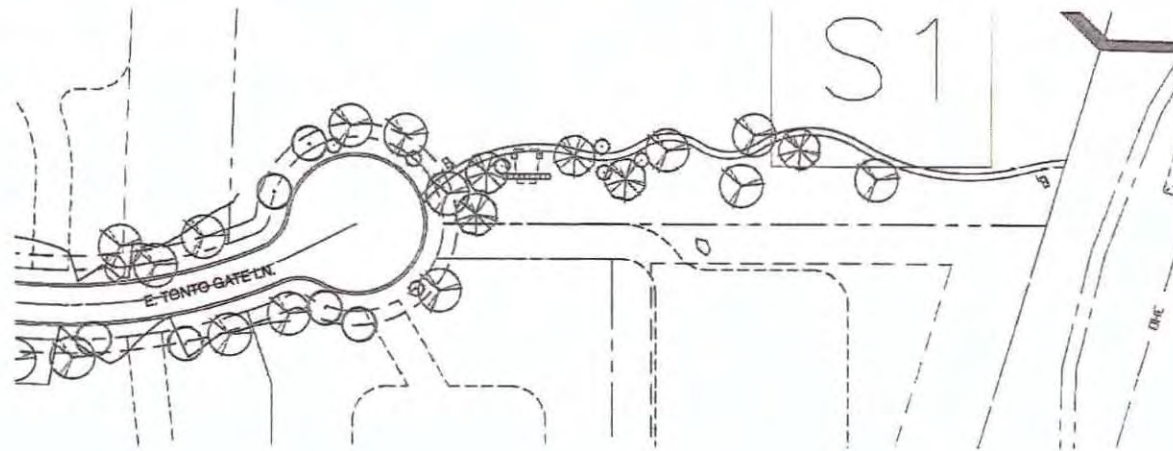


4525 N. US-89th, Phoenix, AZ 85018, phone (602) 964-6071, fax (602) 964-8910, www.cvl.com
 24-hour emergency maintenance, landscape design, site plan, and construction management

COMMUNITY ENTRANCE LIGHTING



LS110
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LIGHTING SCHEDULE

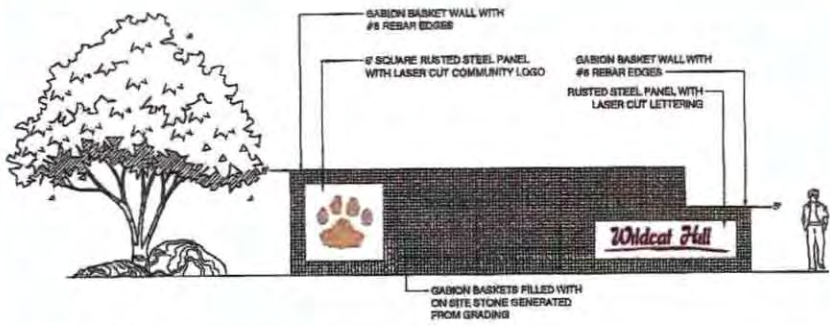
| SYMBOL | MANUFACTURER/DESCRIPTION | QTY | DEFIN. | MATERIAL | FINISH | ELECTRICAL | LAMP | WATTS | CODE/TMP | SIZE | BALAST | OPTIC/GRATE | MOUNTING | OPTIONS |
|--------|---|-----|--------|----------------|-------------------|----------------|------|-------|----------|---------------|--------|-------------|----------------|-----------------------|
| | TREE DOWNLIGHT: 12" LUMINAIRE V6 - LED | 12 | | COPPER | W6 WEATHERED IRON | 10 TO 15 VOLTS | 3LED | 4.2W | NA | Ø1" PROTECTED | NA | SPRUELED | NA | Ø1" PERFORATED SLEEVE |
| | DOWNWARD WALL WASH UNDER LED: 7" LUMINAIRE L' - LED | 4 | | BRASS | W6 WEATHERED IRON | 10 TO 15 VOLTS | 1LED | 2W | 2800K | Ø1" PROTECTED | NA | SPRUELED | LARGE WALL CAP | NA |
| | WALL WASH/WALL DOWNLIGHT: 12" LUMINAIRE L2 - LED | 4 | | ALUMINUM ALLOY | W6 WEATHERED IRON | 10 TO 15 VOLTS | 3LED | 10.1W | NA | Ø1" PROTECTED | NA | SPRUELED | W6 VERSA SOLE | NA |

Wildcat Hill

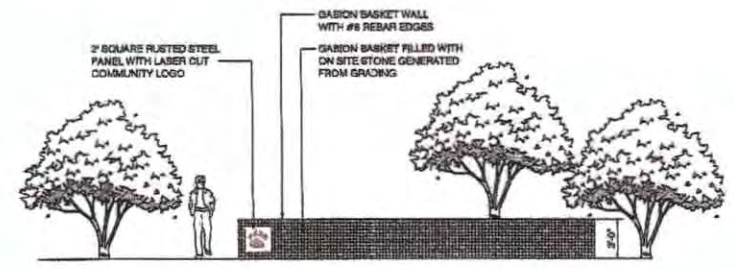
SCOTTSDALE, AZ

OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4025 E. COMBES AVE. #200
 PHOENIX, AZ 85034
 TEL. 602-355-1544

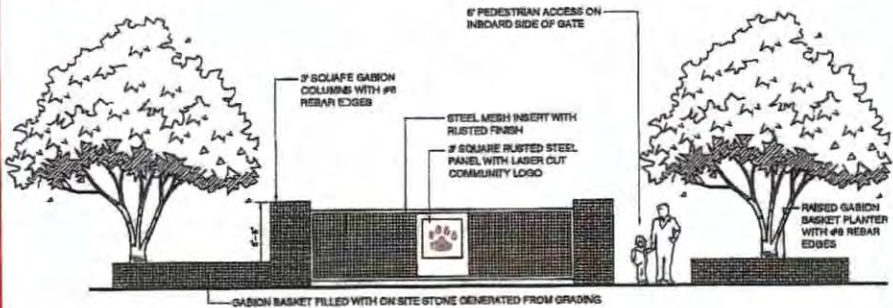
CVL DESIGN TEAM
 Landscape Architects/Project Manager
 TRACY H. STANLEY



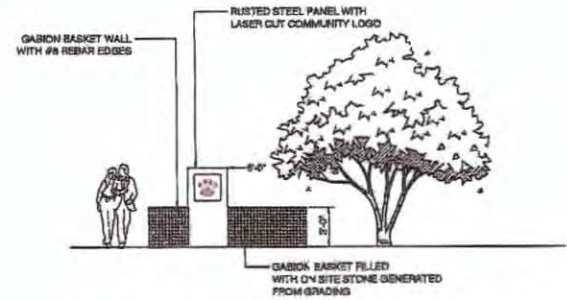
1 ENTRY MONUMENT
 1/4" = 1'-0"



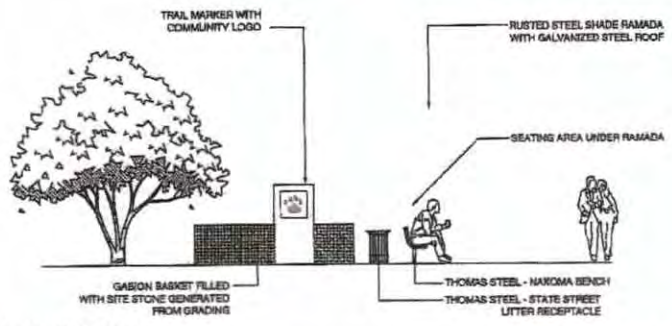
2 ENTRY ACCENT WALL WITH COMMUNITY LOGO
 1/4" = 1'-0"



3 ENTRY AND EXIT GATES
 1/4" = 1'-0"



4 TRAIL MARKER
 1/4" = 1'-0"



5 RAMADA SEATING AREA
 1/4" = 1'-0"

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10.27.14

LS201
 012 of 013

FXLuminaire

LED Down Light



The DE: Down Light is a modern, sleek luminaire that provides a wide range of lighting options. It is available in a variety of finishes and is designed to be a versatile lighting solution for any space.

DE: Down Light

| Finish | 1 | 2 | 3 | 4 |
|-------------------|------------|------------|------------|------------|
| Standard | 100mm | 200mm | 300mm | 400mm |
| Special | 100mm | 200mm | 300mm | 400mm |
| Material | Aluminum | Aluminum | Aluminum | Aluminum |
| Weight | 1.1kg | 2.2kg | 3.3kg | 4.4kg |
| Power | 10W | 20W | 30W | 40W |
| Beam Angle | 30° | 45° | 60° | 75° |
| Color Temperature | 3000K | 4000K | 5000K | 6000K |
| Life Span | 50,000 hrs | 50,000 hrs | 50,000 hrs | 50,000 hrs |

FXLuminaire DE: Down Light, 100mm

FXLuminaire

FXLuminaire

LED Wall Light



The LF: Wall Light is a modern, sleek luminaire that provides a wide range of lighting options. It is available in a variety of finishes and is designed to be a versatile lighting solution for any space.

LF: Wall Light

| Finish | 1 | 2 |
|-------------------|------------|------------|
| Standard | 100mm | 200mm |
| Special | 100mm | 200mm |
| Material | Aluminum | Aluminum |
| Weight | 1.1kg | 2.2kg |
| Power | 10W | 20W |
| Beam Angle | 30° | 45° |
| Color Temperature | 3000K | 4000K |
| Life Span | 50,000 hrs | 50,000 hrs |

FXLuminaire LF: Wall Light, 100mm

FXLuminaire

FXLuminaire

LED Down Light



The VE: Down Light is a modern, sleek luminaire that provides a wide range of lighting options. It is available in a variety of finishes and is designed to be a versatile lighting solution for any space.

VE: Down Light

| Finish | 1 | 2 |
|-------------------|------------|------------|
| Standard | 100mm | 200mm |
| Special | 100mm | 200mm |
| Material | Aluminum | Aluminum |
| Weight | 1.1kg | 2.2kg |
| Power | 10W | 20W |
| Beam Angle | 30° | 45° |
| Color Temperature | 3000K | 4000K |
| Life Span | 50,000 hrs | 50,000 hrs |

FXLuminaire VE: Down Light, 100mm

FXLuminaire

ORDERING INFORMATION

LED

ORDERING INFORMATION

LED

ORDERING INFORMATION

LED

DE: Down Light

FACTORY FINISHED OPTIONS: Order 1 = 2, Order 2 = 3, Order 3 = 4

1. FINISH: CE

2. SPECIAL: 20° Beam Angle, 30° Beam Angle, 45° Beam Angle, 60° Beam Angle, 75° Beam Angle

3. LIGHT: 10W, 20W, 30W, 40W

4. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

5. BEAM: 10°, 15°, 20°, 25°, 30°, 35°, 40°, 45°, 50°, 55°, 60°, 65°, 70°, 75°, 80°, 85°, 90°, 95°, 100°

6. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

7. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

FXLuminaire

FXLuminaire

LF: Wall Light

FACTORY FINISHED OPTIONS: Order 1 = 2, Order 2 = 3, Order 3 = 4

1. FINISH: CE

2. SPECIAL: 20° Beam Angle, 30° Beam Angle, 45° Beam Angle, 60° Beam Angle, 75° Beam Angle

3. LIGHT: 10W, 20W, 30W, 40W

4. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

5. BEAM: 10°, 15°, 20°, 25°, 30°, 35°, 40°, 45°, 50°, 55°, 60°, 65°, 70°, 75°, 80°, 85°, 90°, 95°, 100°

6. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

7. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

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VE: Down Light

FACTORY FINISHED OPTIONS: Order 1 = 2, Order 2 = 3, Order 3 = 4

1. FINISH: CE

2. SPECIAL: 20° Beam Angle, 30° Beam Angle, 45° Beam Angle, 60° Beam Angle, 75° Beam Angle

3. LIGHT: 10W, 20W, 30W, 40W

4. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

5. BEAM: 10°, 15°, 20°, 25°, 30°, 35°, 40°, 45°, 50°, 55°, 60°, 65°, 70°, 75°, 80°, 85°, 90°, 95°, 100°

6. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

7. SPECIAL FINISHES: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

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 Landscape Architect/Project Manager:
 TIMOTHY STARKEY

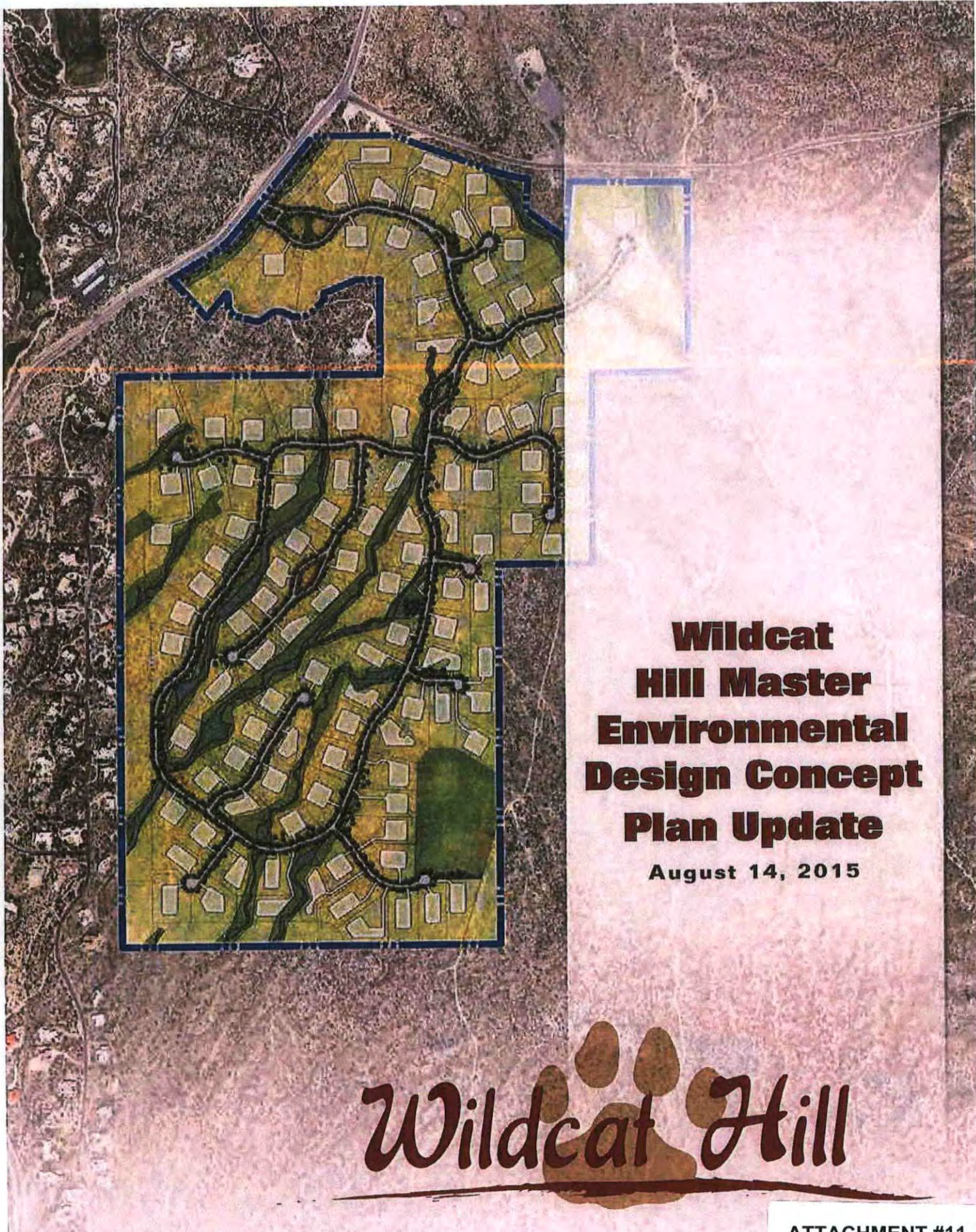
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LS202
 013 of 013



**Wildcat
Hill Master
Environmental
Design Concept
Plan Update**

August 14, 2015

Wildcat Hill

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Appendix A: Native Plant Inventory

Appendix B: Supplemental Design Guidelines

**Appendix C: Wildcat Hill Master Environmental Design Concept Plan
(1-MP-2005)**

Appendix D: Indigenous Plants

Appendix E: Desert Appropriate Plant List



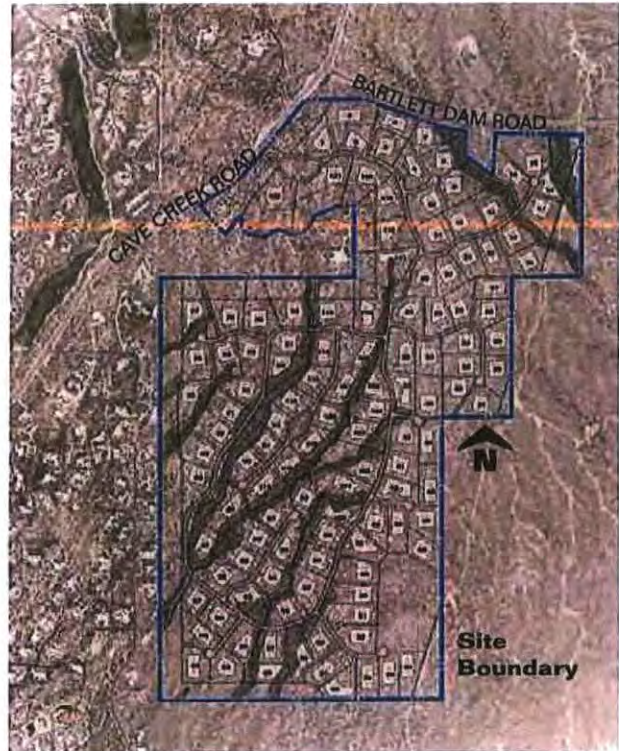
1.00 Introduction

Wildcat Hill has a previous Master Environmental Design Concept Plan (MEDCP), dated July 2005, and approved December 2005. The purpose of this MEDCP report is to incorporate and amend that MEDCP into the updated project proposal. Some elements have been expanded, while some have been revised or removed. This report will follow the same outline of that MEDCP, and *will highlight the amended sections.*

1.01 Project Location

The Wildcat Hill project is located at the southeast corner of Bartlett Lake Drive and Cave Creek Road in the northern region of Scottsdale. The location and boundary for the Wildcat Hill project remains the same as the 2005 MEDCP (*See Exhibit A - Context Aerial*). Analysis of the vegetation and site features indicate the same conditions as those present at the time of the 2005 MEDCP.

The 353-acre Wildcat Hill community is a unique example of pristine upper Sonoran Desert with beautiful wash corridors, rock outcroppings, and native desert vegetation. Extensive effort was put into the planning and site design of Wildcat Hill to

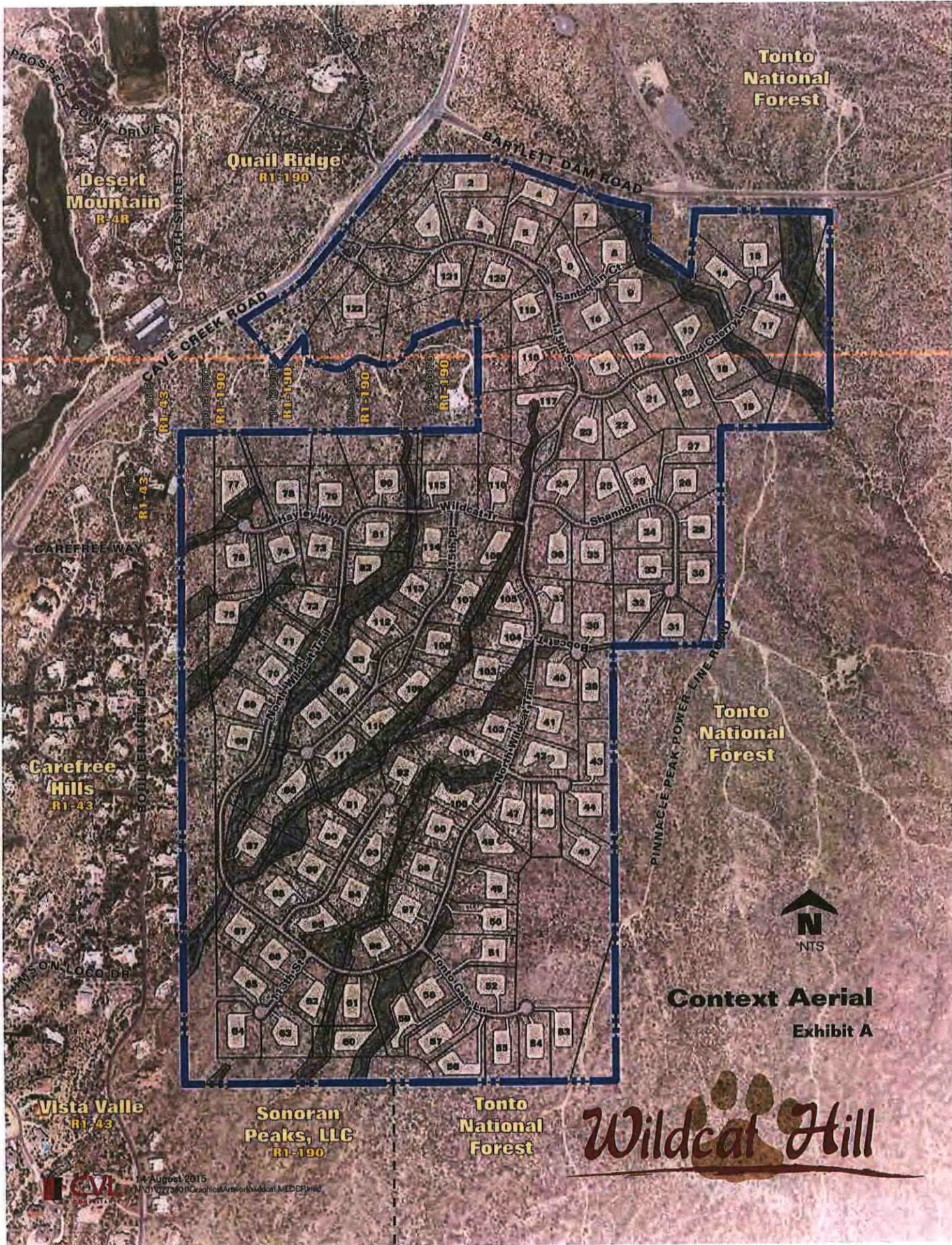


ensure that significant areas and high quality examples of these natural and cultural resources were preserved.

The current proposal for the Preliminary Plat and the Site Plan has been revised since the 2005 MEDCP; the net result has been a small increase in number of lots, but while greatly increasing the amount of Natural Area Open Space (NAOS) to be dedicated (See Exhibit B - NAOS Comparison).

NAOS Comparison





Tonto National Forest

Quail Ridge
R1-190

Desert Mountain
R-4R

Carefree Hills
R1-43

Tonto National Forest

Vista Valle
R1-43

Sonoran Peaks, LLC
R1-190

Tonto National Forest

Context Aerial
Exhibit A

Wildcat Hill



14 August 2015
Map 01 021601 Context Aerial of Wildcat Hill, MEDB, Inc.

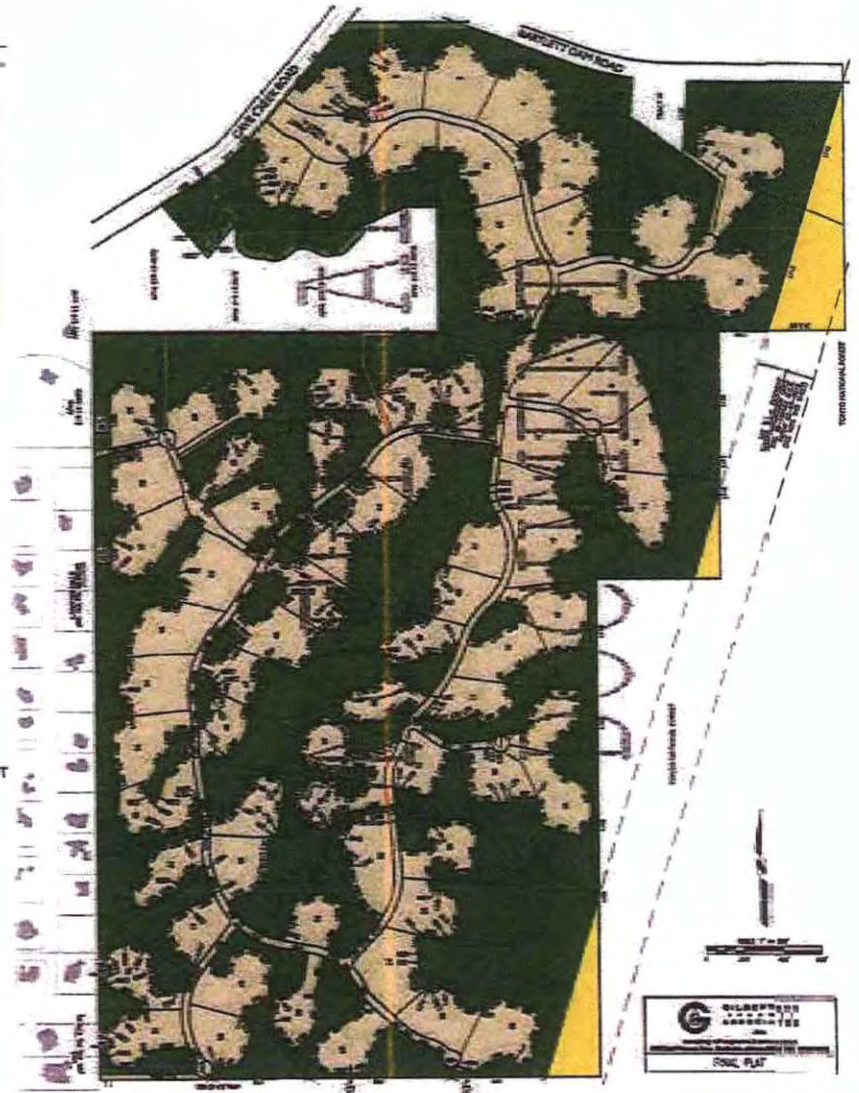
Exhibit B

NAOS Comparison

Wildcat Hill



PROPOSED PLAT



EXISTING PLAT (2006)



1.02 Request

As with the previous plan, this application represents a request for the Development Review Board to approve this update to the 2005 MEDCP for Wildcat Hill, as amended within this document, and the associated preliminary plat.

This document adheres to the intent of the original MEDCP by maintaining a low profile of development that blends with the natural terrain and desert character. Where changes to the original MEDCP are noted, they are generally due to changes in regulations since the MEDCP, changes resulting from the revised site plan design, or are intended to reduce the impact of development beyond the original MEDCP.

2.00 Landscape & Revegetation Program

2.01 Landscape Character Zones

This updated proposal maintains the original concept for the three Landscape Character Zones, *but has provided a positive increase in net area of NAOS to the project.*

Undisturbed Natural Areas: These areas are the undisturbed NAOS as indicated in the exhibit shown below. The total amount of NAOS has been increased from the 2005 MEDCP, and exceeds the requirements of the ESL ordinances.

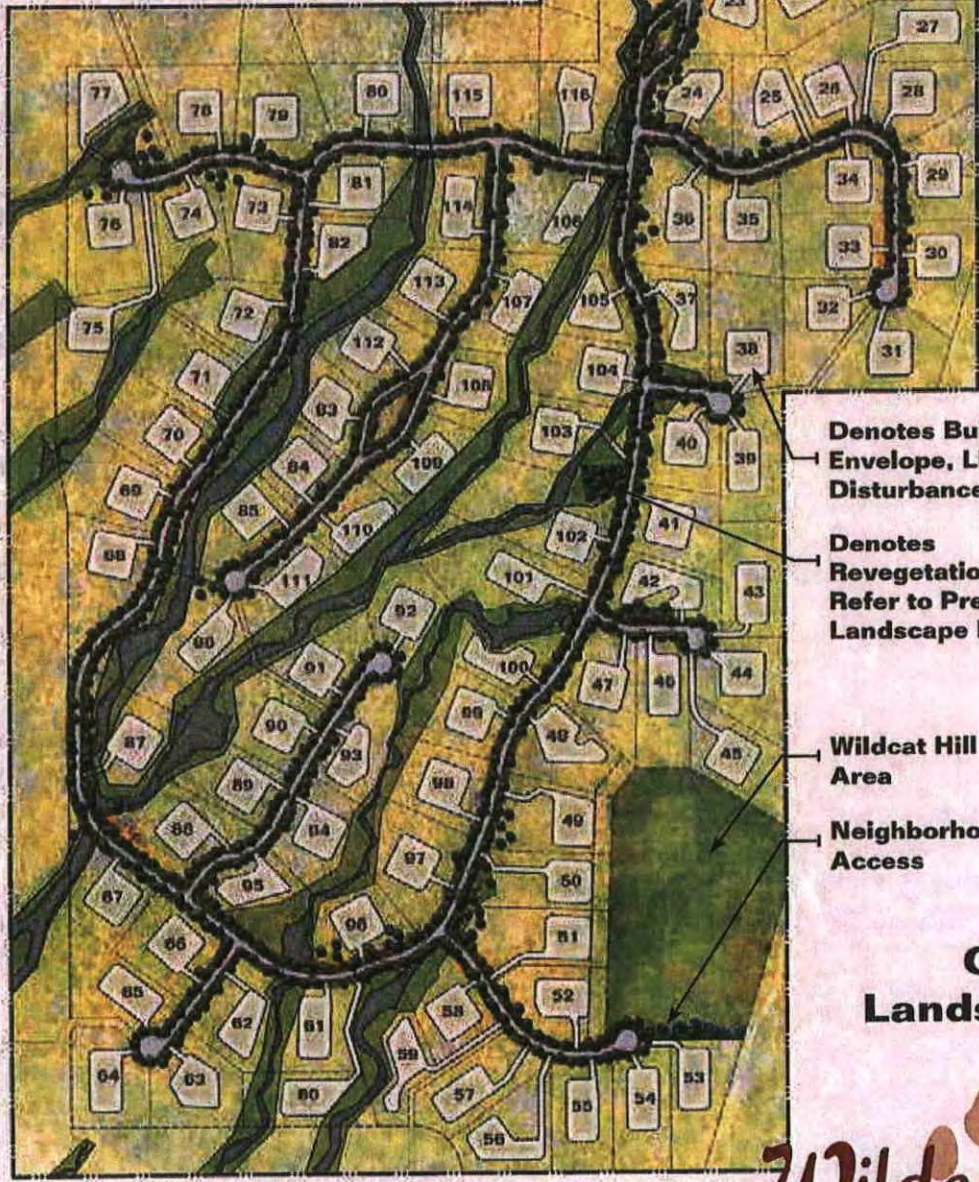
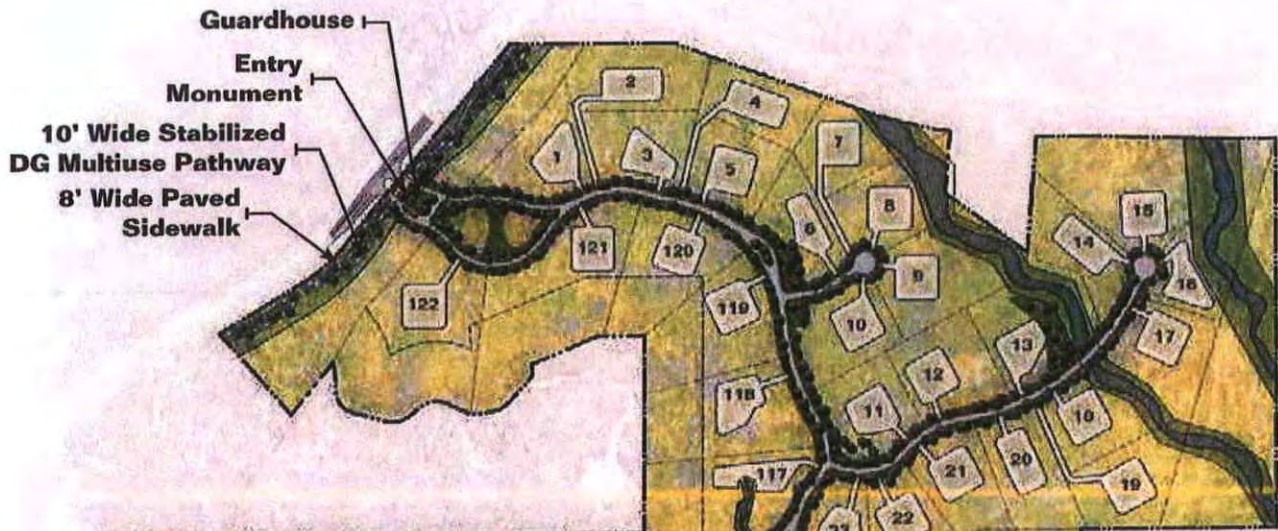
Revegetated Natural Areas: These encompass the disturbed areas generally located along the street corridors and drainage improvements. These areas will be dedicated as NAOS (revegetated) where appropriate. All plant species used for revegetation shall conform to the "Indigenous Plant List" (see Appendix D) from the City of Scottsdale. Refer to Section 2.06 for description.

Enhanced Natural Areas: As before, select areas central to the community, and already being impacted by infrastructure improvements will be revegetated with plant material that will provide additional seasonal color and interest into this proposal. These plants will conform to the "Desert Appropriate Plant List" (see Appendix E) from the City of Scottsdale. Refer to Section 2.06 for description. These areas will not be a part of the NAOS areas, and will be the responsibility of the Homeowners Association to maintain.

Revegetated Drainage Areas: These areas include disturbed areas that will be used for drainage areas or retention basins, and will be revegetated in accordance with Design Standards & Policies Manual Section 2-1.903.



Landscape Character Zone Example



- Denotes Building Envelope, Limit of Disturbance.
- Denotes Revegetation Area. Refer to Preliminary Landscape Plans
- Wildcat Hill Conservation Area
- Neighborhood Trail Access

Conceptual Landscape Plan
Exhibit C



2.02 Landscape Revegetation Areas

The revegetation areas are outlined in the graphic below, and consist of the three primary development impacts noted in the 2005 MEDCP, namely cut and fill areas for infrastructure, Storm Water Management improvements, and Erosion Control (*Conceptual Landscape Plan*).

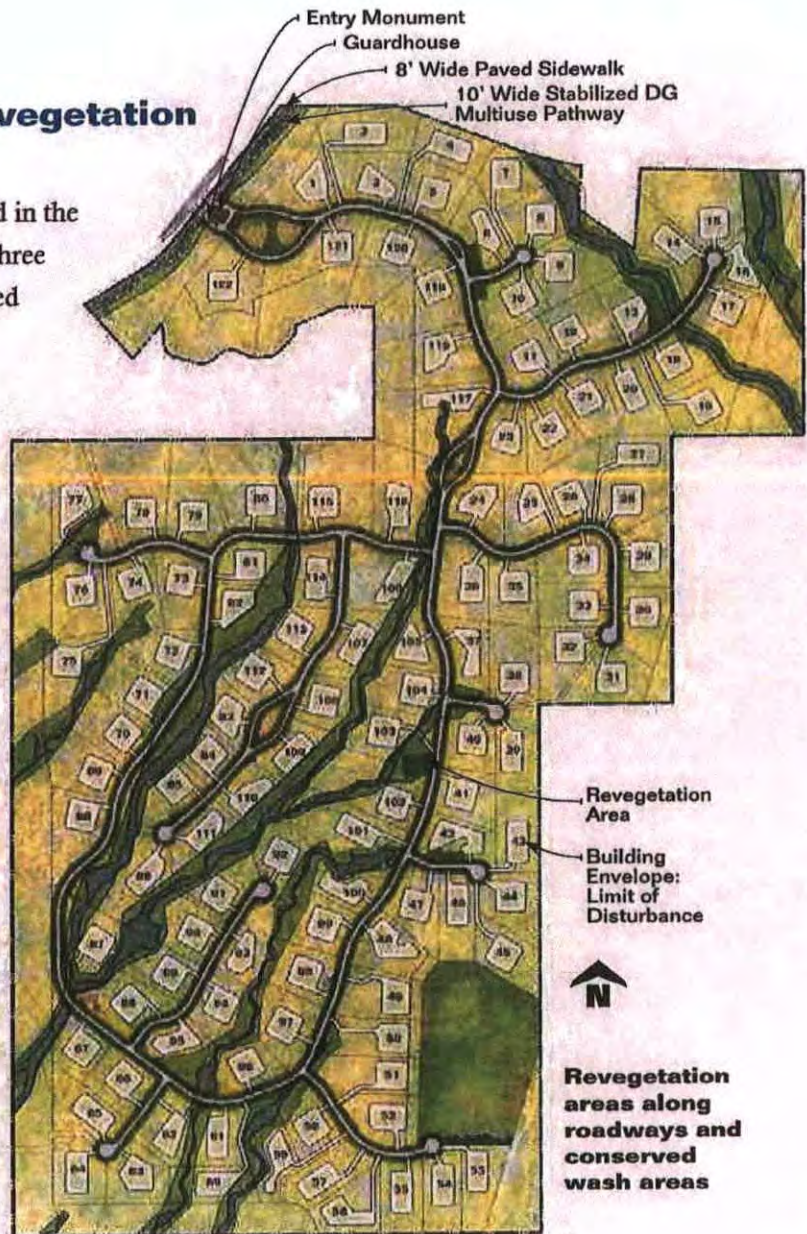
2.03 Revegetation Techniques

The same revegetation techniques outlined with the 2005 MEDCP shall be utilized. These include the following:

Transplanting: An updated native plant inventory has been prepared as a part of the preliminary plat submittal, and outlines the plants eligible for salvage and transplant. These transplanted species will be the backbone of the revegetation program by providing larger plant material of unique rugged desert character due to their natural unmaintained growth.

Container Materials of native desert species bought from local nurseries will be used to supplement the salvaged plant materials.

Hydro-seed of native plant materials may be utilized to revegetated scarred areas of natural open space.

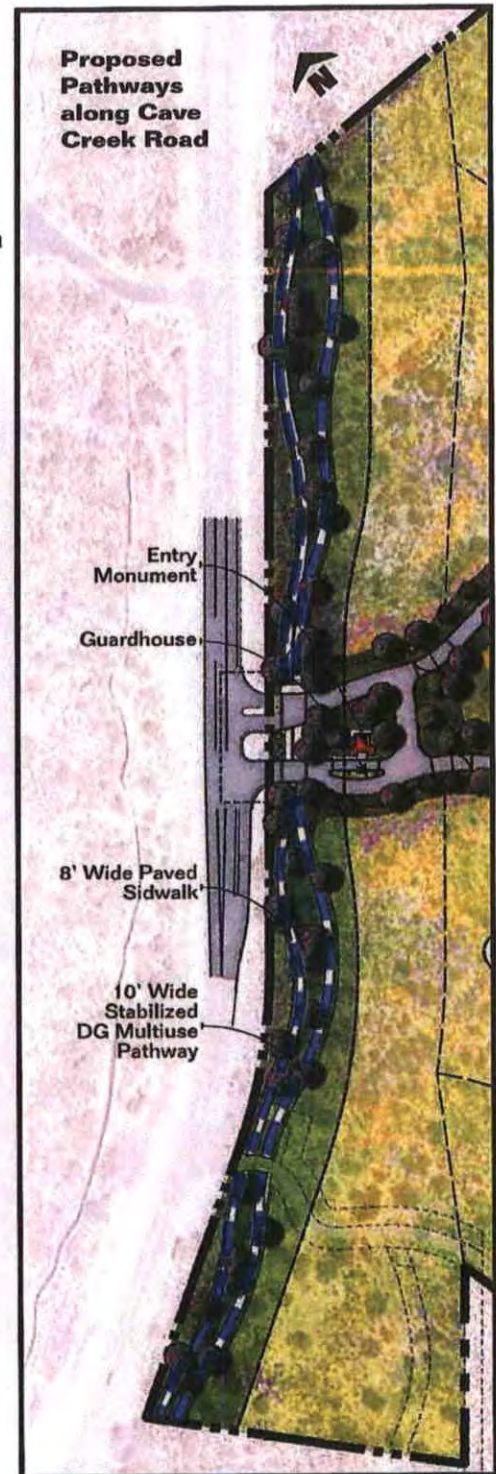
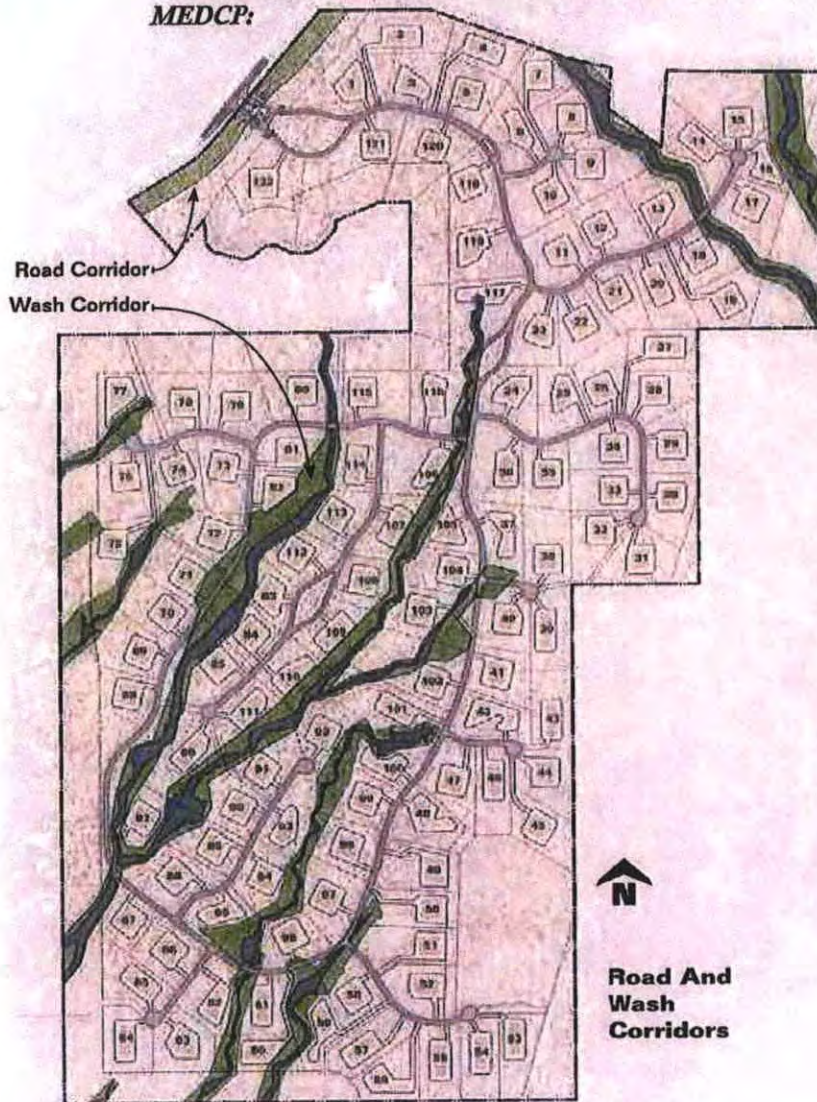


2.04 Scenic and Vista Corridors

This plan adheres to the Scenic and Vista Corridors plan outlined in the 2005 MEDCP, namely Cave Creek Road and Bartlett Lake Road. Deep setbacks along these corridors will remain natural and undisturbed except where infrastructure improvements are required.

The Vista Corridor washes previously identified have been maintained and incorporated into this proposal as intended in the 2005 MEDCP.

The following changes have been implemented since the 2005 MEDCP:



- Per the City of Scottsdale requirements, adopted after the 2005 MEDCP, the scenic corridor along Cave Creek Road will provide both an 8' wide paved pedestrian sidewalk, and a 10' wide natural surface multi-use trail. These elements have been incorporated into the corridor setback, and will follow the natural terrain and minimize impact to site features and existing trees.
- The setback buffer adjacent to existing development has been increased to reduce the visual impact of development for existing residents.

2.05 Irrigation Techniques

The irrigation techniques outlined in the 2005 MEDCP will be utilized for this project. All temporary irrigation for revegetated NAOS areas shall conform to City of Scottsdale requirements.

2.06 Plant Palette

The 2005 MEDCP provided a basis of design by providing sample plant inventory areas to assess the natural plant mixes, ratios, and densities unique to this site (See Section 2.09 & 2.10). The updated native plan inventory prepared with this submittal yielded similar results (See Appendix A).

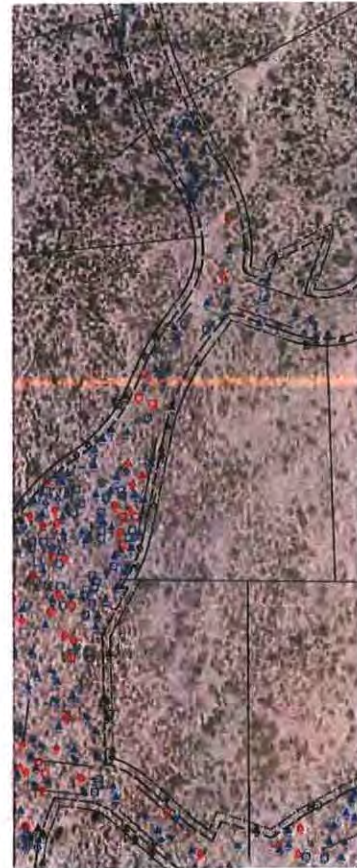
The plant palette will remain consistent with the 2005 MEDCP, with species utilized for the two revegetation Landscape Character Zones listed in section 2.01 being selected from the City of Scottsdale "Indigenous Plant List" (see Appendix D) and "Desert Appropriate Plant List", (see Appendix E) respectively.

2.07 Other Landscape Materials

This proposal conforms with the 2005 MEDCP approach to inert landscape materials within the site development as outlined below.

Imported granite will not be used; rather native granitic top soil will be salvaged and stockpiled from the infrastructure operations, and reused on the site for landscape areas.

Where feasible, fractured rock salvaged from the site will be utilized as rip rap for erosion control. Where disturbance is visible and in contrast to the existing desert coloration, an application of Permeon, Natina, or similar staining agent will be utilized to create a natural blended color tone. Should imported rip-rap be required, its color will be selected to blend with the natural desert color of the site.



Sample Image from 2014
Native Plant Inventory update

Site boulders of salvageable size that are located within cut and fill infrastructure areas will be salvaged for reuse on the site.

Culverts and headwalls shall be of an integral color concrete in Davis flagstone brown, or will receive an application of a Permeon or Natina staining agent to blend with the natural desert.

2.08 Landscape Lighting

All landscape lighting, and accent lighting, will be limited to the main entry area (including the entry monument, gate house and entry gates), or the pedestrian trail connection at the south end of the project.

Landscape lighting shall be a FX Luminaire, or similar, with a distressed “Natural Iron” finish.

New city ordinances since the 2005 MEDCP restrict the use of uplighting of 1600 lumen or less in residential areas. Therefore, the uplighting fixtures as shown in the 2005 MEDCP will not be utilized. All landscape lighting will project downward and shall be properly shielded per Scottsdale requirements.



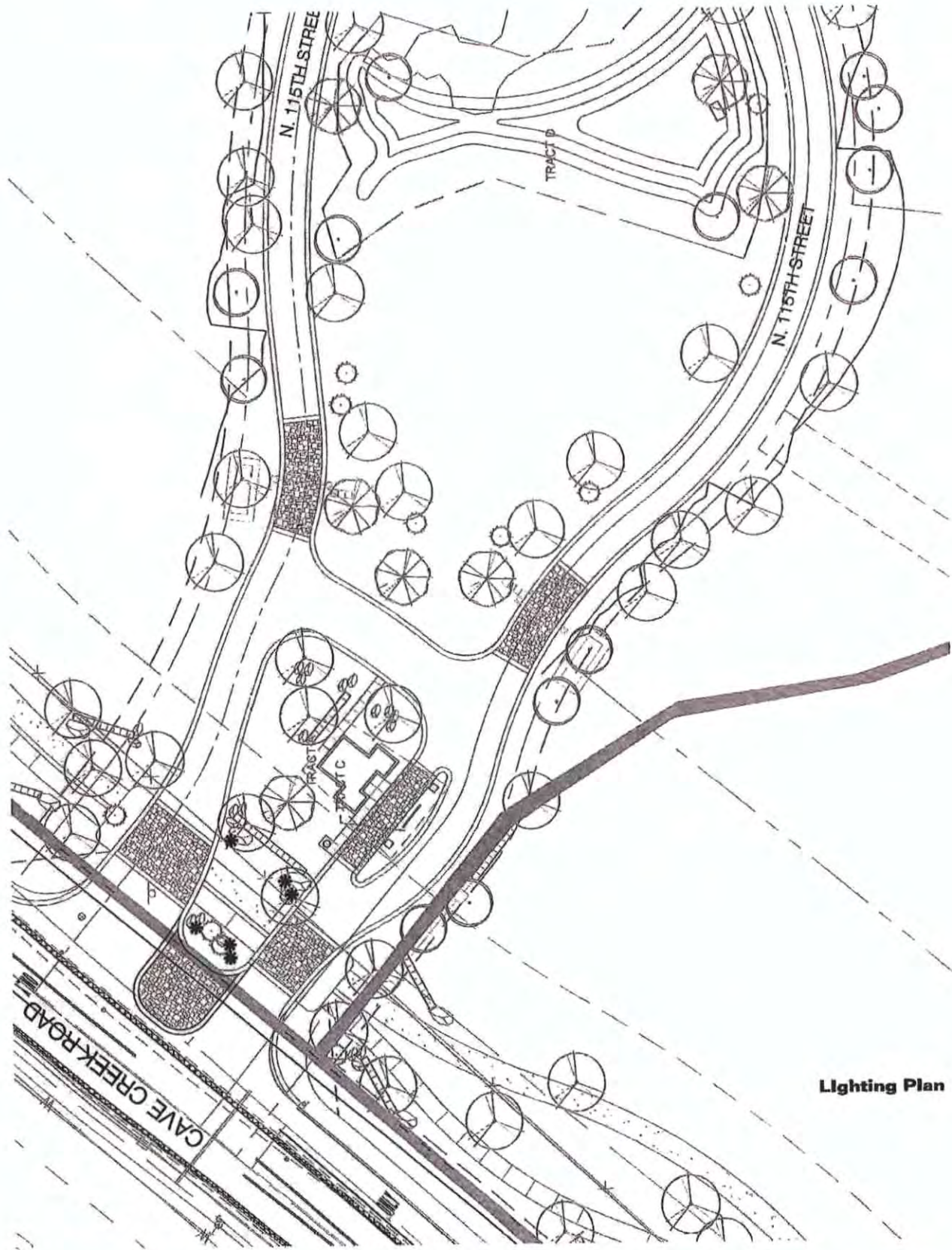
Proposed Landscape Fixtures

Lighting Schedule

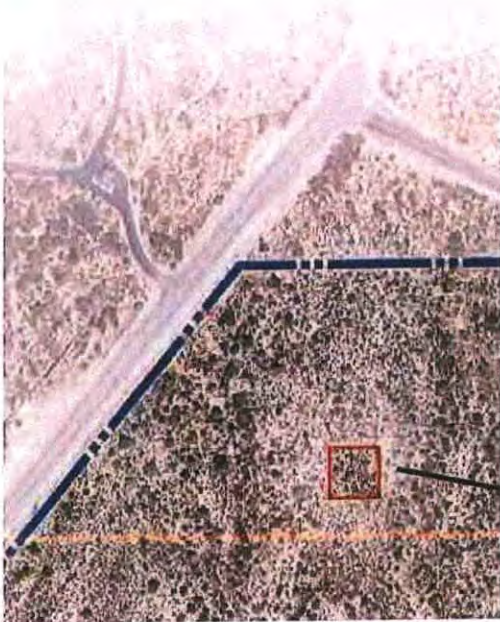
| Symbol | Manufacturer / Model/ Description | QTY | Material | Lamp | Watts | Color Temp | Mounting | Options |
|--------|--|-----|----------------|-------|-------|------------|----------------|------------------------|
| ⊗ | Tree Downlight: FX Luminaire VE - LED | 19 | Copper | 3 LED | 4.2W | N/A | N/A | (PS) Perforated Sleeve |
| □ ○ | Downward Wall Wash Linear LED: FX Luminaire LF - LED | 6 | Brass | 1 LED | 2W | 2900K | Under Wall Cap | N/A |
| ⊗ | Wall Mounted Downlight: FX Luminaire DE - LED | 8 | Aluminum Alloy | 3 LED | 10.1W | N/A | (VB) Versa Box | N/A |

All Finishes: (WI) Weathered Iron
All Electrical: 10-15 volts

All Lenses: (F) Frosted
All Optics/Glare: Shielded



Lighting Plan



2.09 Revegetation Sample Area #1

The plant density samples provided in the 2005 MEDCP were verified by the updated native plant inventory. The densities and ratios shown in Sample Area 1 will be utilized in determining plant densities for revegetation in the northern portion of the project.

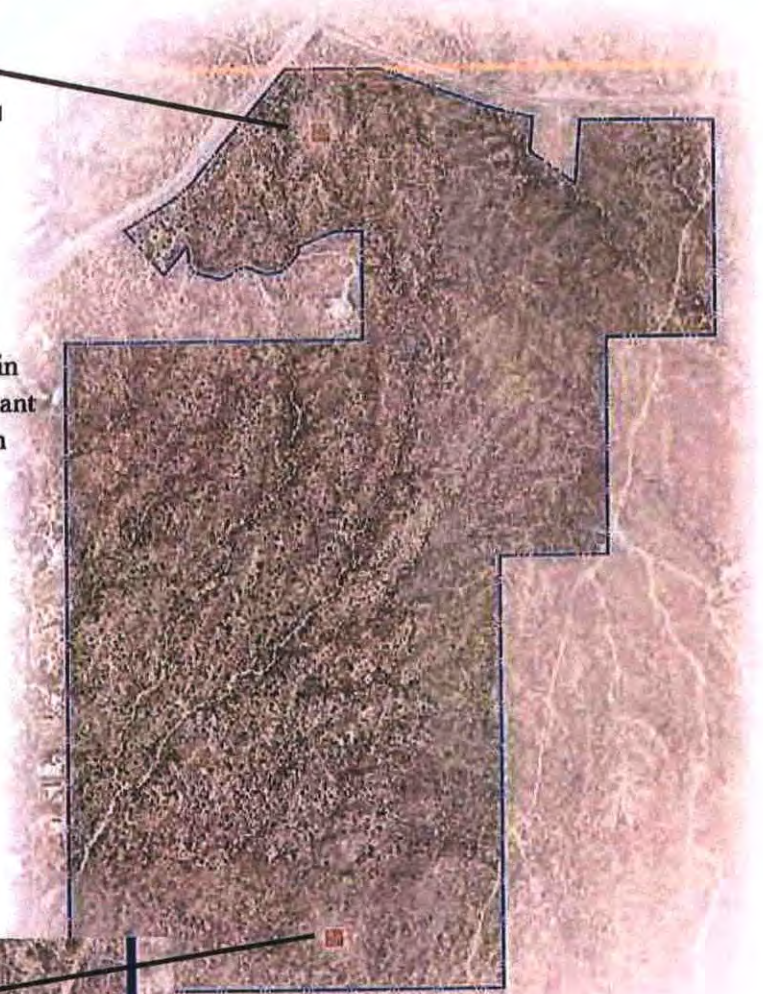
- | | | | |
|-----------------------|----|-------------------|-----|
| • Foothill Palo Verde | 8 | • Catclaw Acacia | 22 |
| • Native Mesquite | 1 | • Golden Eye | 35 |
| • Whitethorn Acacia | 23 | • Turpentine Bush | 150 |

Prototypical
of Sample Area 1

2.10 Revegetation Sample Area #2

The plant density samples provided in the 2005 MEDCP were verified by the updated native plant inventory. The densities and ratios shown in Sample Area 2 will be utilized in determining plant densities for revegetation in the southern portion of the project.

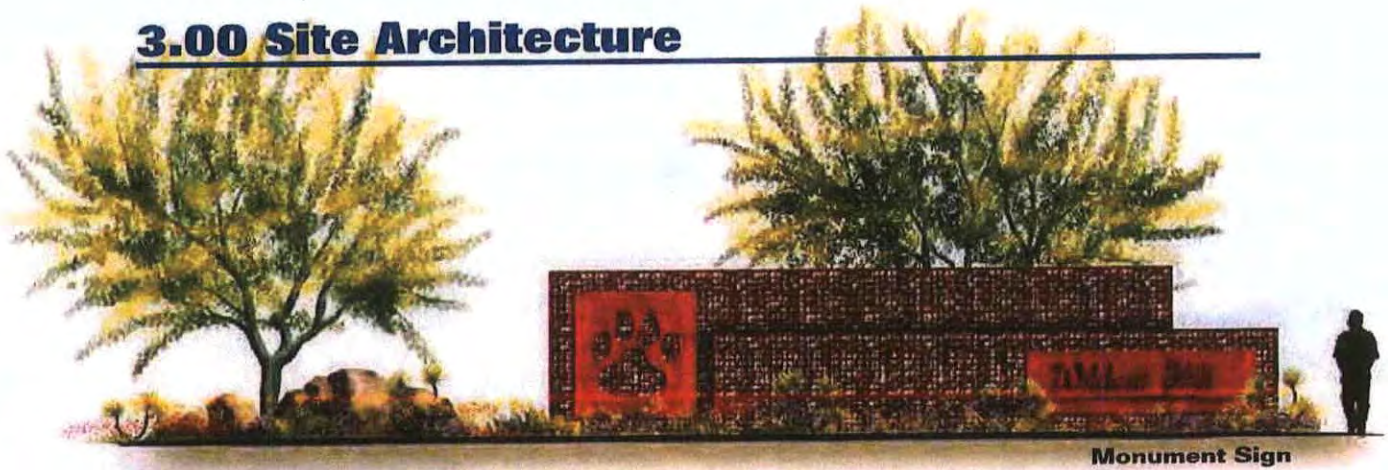
- | | |
|-----------------------|-----|
| • Foothill Palo Verde | 6 |
| • Native Mesquite | 1 |
| • Lycium | 2 |
| • Flattop Buckwheat | 35 |
| • Golden Eye | 35 |
| • Turpentine Bush | 106 |
| • Ratany | 8 |
| • Fairy Duster | 70 |
| • Creosote | 1 |
| • Barrel Cactus | 1 |



Prototypical
of Sample Area 2



3.00 Site Architecture



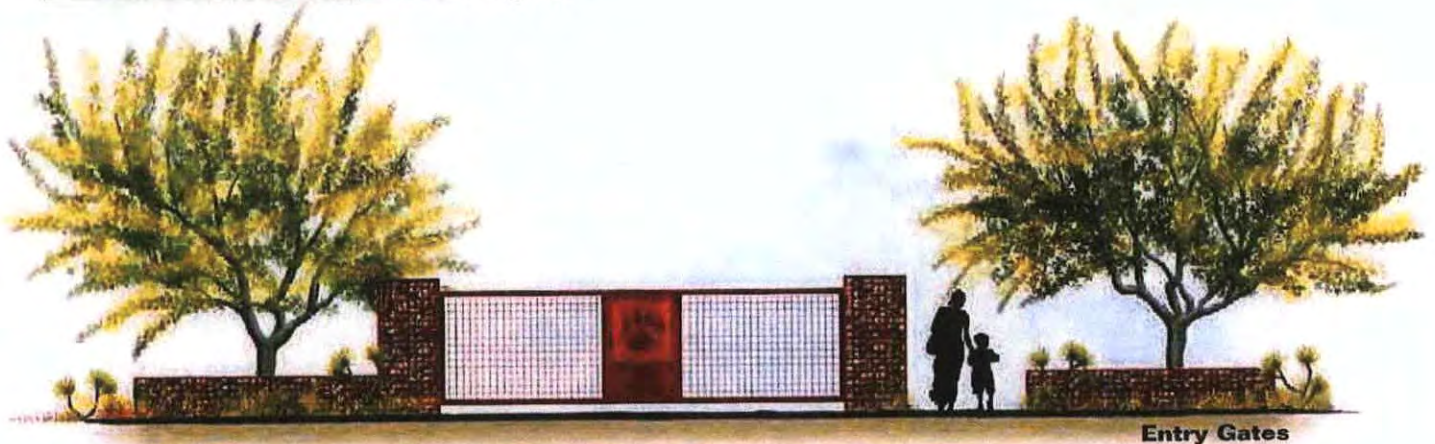
3.01 Monument Sign

The character of the entry monument has been maintained from the 2005 MEDCP. Minor modifications include the addition of rock gabion baskets and rusted steel elements, as depicted in the image on the following page.

3.02 Entry Gates

The entry gates have been revised from the 2005 MEDCP to incorporate a simpler design motif as well as the rusted steel panels that reference the logo for the project. Similar panels will be utilized for trail markers within the site.

Rusted
Metal
Agave



3.03 Gate House Site Plan

The architectural concepts shown on the following pages are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*

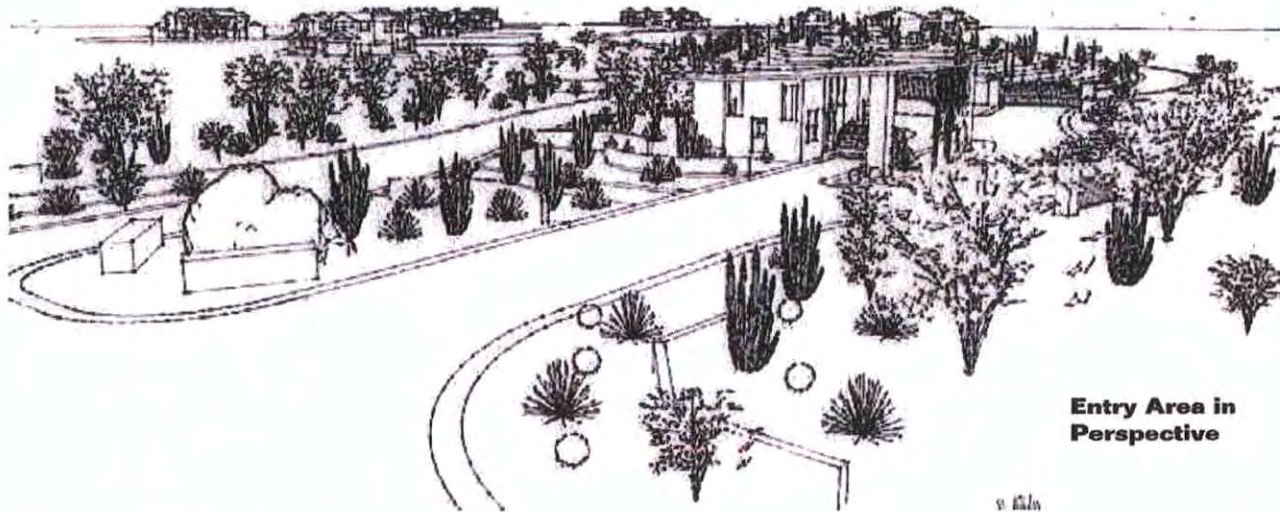
The gate house site plan concept has been slightly revised from the 2005 MEDCP, as shown below. The program for the gatehouse has been reduced, which resulted in a reduction of footprint and necessary parking. The previous concept was based on a Tuscan Villa concept. With the reduction in size, the character has been revised to incorporate the board form concrete and rusted metal elements utilized in the entry.

3.04 Gate House Floor Plan

The program for the gatehouse is intended to be limited to security and hospitality functions. This reduced program allowed a reduction in the overall development impact to the site. An updated floorplan has not been provided with this submittal. The architectural concepts shown here are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*



Entry Plan Showing Gatehouse

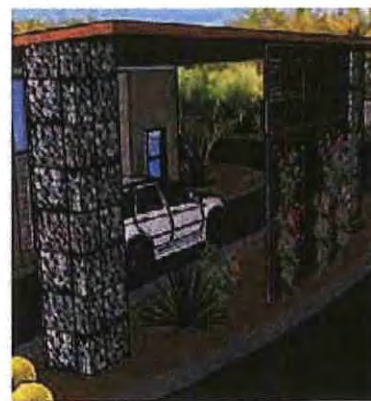


Entry Area in Perspective

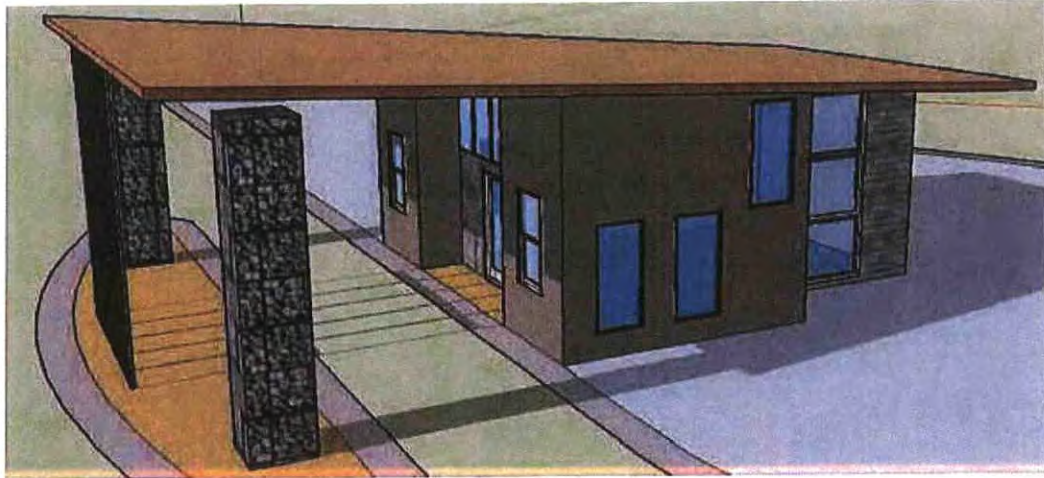
3.05 Gate House Front Elevation

An updated character image of the gatehouse has been provided below to aid in the future design of the gate house, and to ensure its character is consistent to the site architectural elements throughout the project.

The architectural concepts shown here are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*



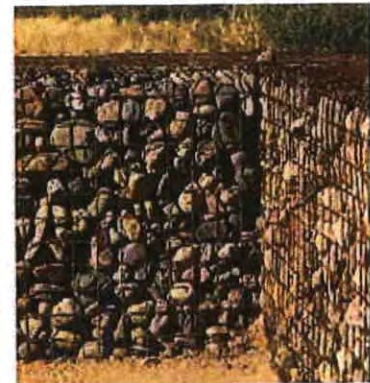
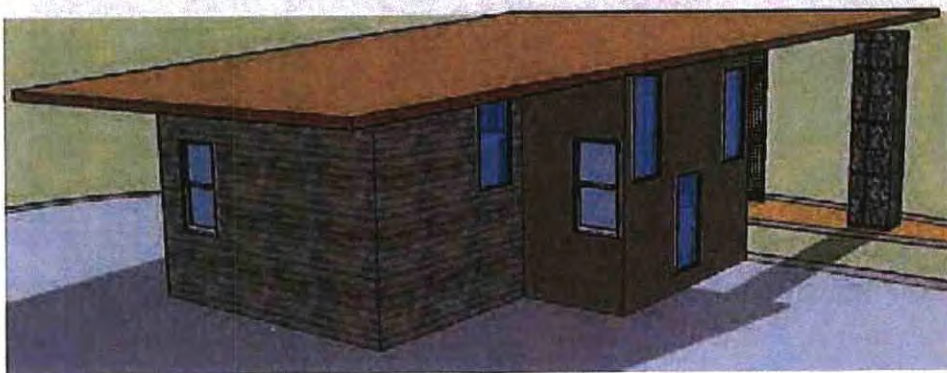
**Gatehouse
Front
Elevation**



3.06 Gate House Rear Elevation

An updated character image of the gatehouse has been provided below to aid in the future design of the gate house, and to ensure its character is consistent to the site architectural elements throughout the project.

The architectural concepts shown here are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*



3.07 Fence Location Map

The site fencing concept noted in the 2005 MEDCP has been eliminated from the project for the following reasons:

- It created an unnecessary boundary along the perimeter of the project, rather than blending seamlessly with the desert.
- It crossed easement areas necessary for maintenance of the overhead powerlines along the eastern boundary.

Rather, disturbed and abandoned roads within the development will be revegetated with indigenous plant material to deter trailblazing into the natural areas to the east. The perimeter of the site will be left natural and open.

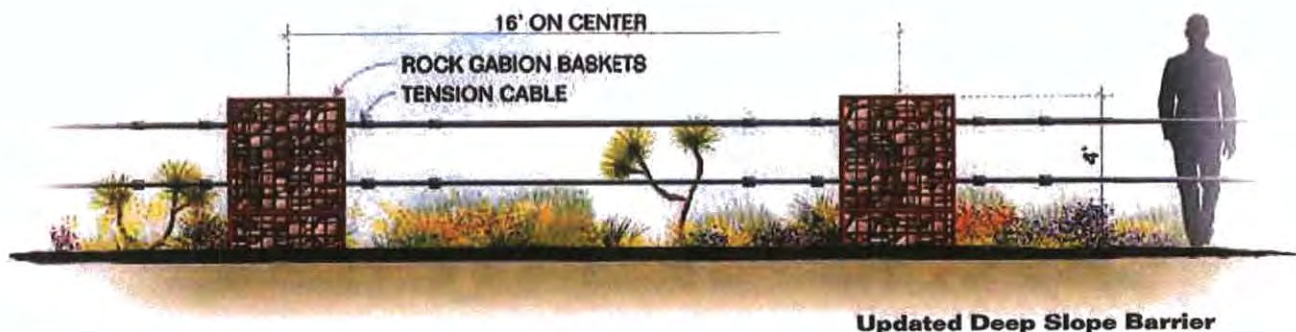
All fences and site walls, except those indicated at the trailhead and front entry will be limited to within the lot building envelopes, and shall conform to City of Scottsdale requirements.

3.08 Wire Fence

The site fencing concept noted in the 2005 MEDCP has been eliminated from the project.

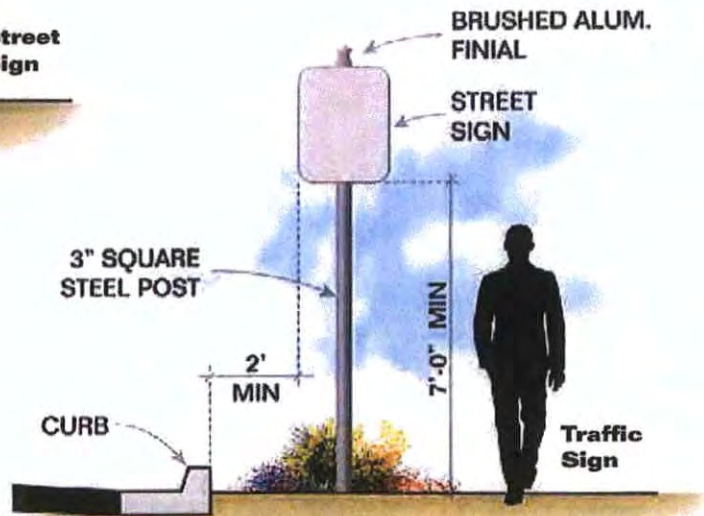
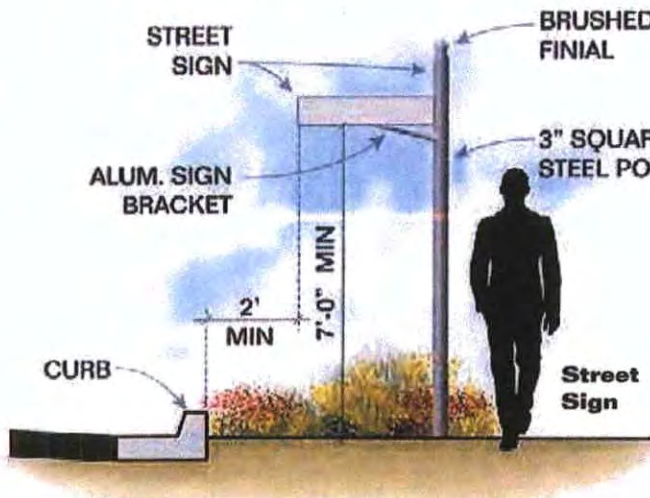
3.09 Barrier at Steep Slope

Where steep slopes adjacent to vehicular circulation pose a safety hazard, the barrier concept shown in the 2005 MEDCP will be utilized, with the stone veneer low walls being replaced with rusted mesh rock gabion baskets, and the chain fence being replaced with tensioned cable (*updated image below*).



3.10 Street Sign

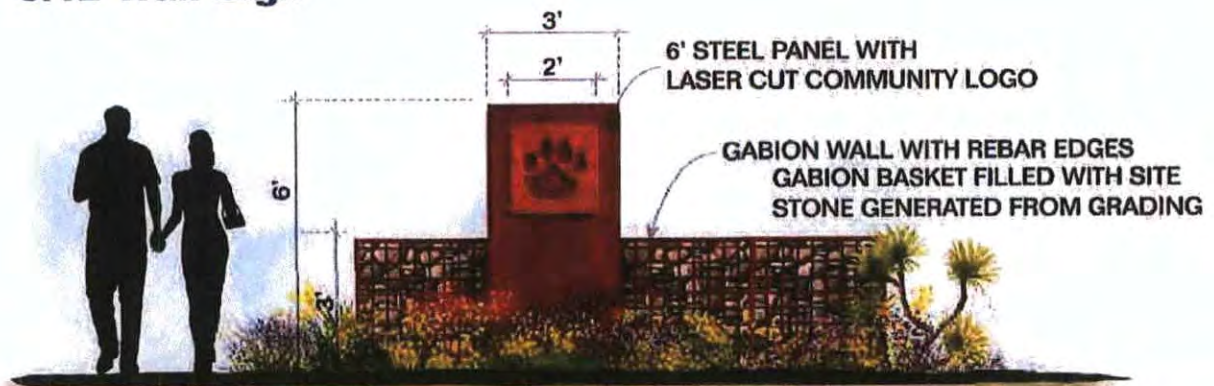
The Street sign concept shown in the 2005 MEDCP will be utilized within the project. This concept is depicted below left for reference, and utilizes a rusted steel 3" square post with brushed aluminum finial.



3.11 Traffic Sign

The traffic sign concept shown in the 2005 MEDCP will be utilized within the project. This concept is depicted above right for reference, and utilizes a rusted steel 3" square post with brushed aluminum finial.

3.12 Trail Sign



3.13 Site Amenities

Developed open space was kept to a minimum in place of undeveloped natural open space. For this reason, Site Amenities were limited to the trailhead connection in the southeast corner of the site, near Wildcat Hill. Trailhead signage, as depicted previously, is provided at the trail access point. A simple 'rustic' ramada shelter with a picnic table is also provide, and illustrated in the image below. The ramada will be of corten steel construction, with a natural rust finish.



Ramada

4.00 Planning Systems

4.01 Local Washes and Drainage Corridors

An Inventory of all washes present on the Wildcat Hill site was performed by Gilberston Associates, Inc. All washes that exceed 50 CFS were accurately delineated prior in the development of the site plan. Roadway alignments, building envelopes and lot lines were carefully planned to minimize disturbance to the 50 cubic feet per second washes throughout the site. Further in-field evaluation of the site plan resulted in minor adjustments to the plan to ensure minimal disturbance of the washes and associated vegetation. The use of Amended Development Standards provide flexibility in the layout of the plan to ensure protection of these important drainage, vegetation and wildlife corridors.

4.02 Vehicular Circulation

The initial vehicular circulation plan was based on the design proposed in the 2005 preliminary plat and MEDCP. Adjustments were made to the circulation after closer evaluation of boulder locations, and a field visit with Scottsdale staff to review the proposed alignment.

The internal vehicular circulation pattern is a direct reflection of the desire of the planning and development team to minimize disturbance of the predominant natural features of the property including the wash corridors, boulder outcroppings, steep slopes, significant stands of vegetation and Wildcat Hill. The layout creates a “looped” collector that meanders both horizontally and vertically with the terrain. Flag lots and cul-de-sac streets were also utilized to minimize construction and disturbance to the natural environment.

4.03 Pedestrian Circulation

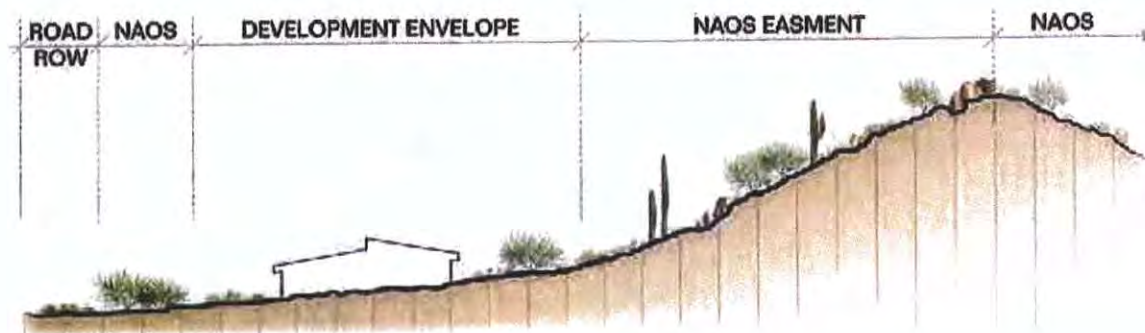
Due to the extremely low density (.21) units per acre) of the Wildcat Hill project, no formal trail system is planned for the community. Granite shoulders adjacent to all internal roadways will function as pedestrian trail systems. The loop configuration for the internal street layout allows each home site the opportunity for connectivity throughout the neighborhood with links to Cave Creek Road, the power line corridor trail and future connections to the south.

Extensive discussion with the Tonto National Forest and the City of Scottsdale Trails coordinators have resulted in an united desire to limit pedestrian access points into the Forest and Preserve Lands adjacent to the Wildcat Hill. Specific limited points of ingress and egress allow for better control, supervision and maintenance of activities within the Forest and the Preserve Lands.

4.04 Wildcat Hill Preservation

One of the primary planning objectives continues to be the preservation of Wildcat Hill. Particular care was given to the layout of the lots and roads near Wildcat Hill to ensure that significant rock outcroppings were not impacted, and that development did not affect the character of Wildcat Hill. 3D modelling software was used to visualize the natural rock outcroppings and terrain with the development plan overlay.

The site plan was purposefully designed to maintain the hill as a permanent open space. Building envelopes and roadways have been located in a manner that provides permanent protection of the natural amenity for the future residents of the Wildcat Hill

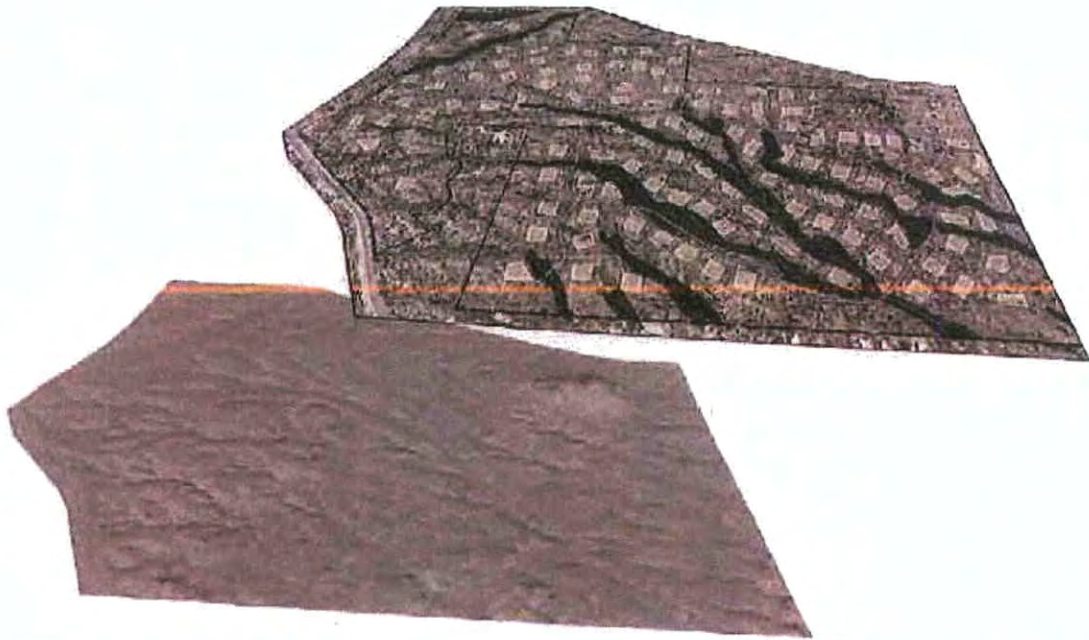


4.05 Wildcat Hill Preservation Concept

The preservation concept currently being proposed exceeds the 2005 MEDCP proposal by dedicating Wildcat Hill as Conservation Open Space.

Preservation of Wildcat Hill. The varied lot sizes and widths allow for flexibility in the site plan that accommodates the preservation of the Wildcat Hill as permanent open space. Future protection of Wildcat Hill will be created to prohibit public use of the hill to prevent further disturbance and trash dumping. This preserved mountain feature not only benefits the future residents of the subdivision, but provides a visual landmark for other Scottsdale residents and area visitors.

In addition, the images shown on the next page were created from the modeling software used to overlay the site design with the natural terrain and boulder locations around Wildcat Hill



Appendix A: Native Plant Inventory

-  PROPERTY LINE
 LIMIT OF INVENTORY
 LIMIT OF DISTURBANCE
 BLUE = NON-SALVAGEABLE
 RED = SALVAGEABLE
 BLACK = REMAIN IN PLACE

| TREE LEGEND | | |
|--------------|-------------------------|---------------------|
| | SCIENTIFIC NAME | COMMON NAME |
| . | CERCIDIUM FLORIDUM | BLUE PALO VERDE |
| ⌵ | ACACIA GREGGII | CATCLAW ACACIA |
| + | CASTELA EMORYI | CRUCIFIXION THORN |
| | PARKINSONIA MICROPHYLLA | FOOTHILL PALO VERDE |
| ▲ | CELTIS PALLIDA | HACKBERRY |
| ⌵ | JUNIPEROUS SPECIES | JUNIPER |
| | PROSOPIS JULIFLORA | NATIVE MESQUITE |
| + | BERBERIS HAEMATOCARPA | RED BARBERRY |
| | ACACIA CONSTRICTA | WHITETHORN ACACIA |
| CACTI LEGEND | | |
| × | FEROCACTUS WISLIZENII | BARREL |
| ☼ | FOUQUIERIA SPLENDENS | OCOTILLO |
| | CARNEGIEA GIGANTEA | SAGUARO |
| | YUCCA ELATA | SOAPTREE YUCCA |

Native Plant Inventory Legend



Summary Of Inventory

| <i>Trees/Box Table</i> | | | | | | | | |
|------------------------|--------------|---------------|---------------|----------------|--------------|---------------|---------------|----------------|
| | Salvage | | Non-Salvage | | Remain | | Total | |
| | QTY | IN | QTY | IN | QTY | IN | QTY | IN |
| Blue Palo Verde | 11.0 | 80.0 | 52.0 | 587.0 | 22.0 | 261.0 | 85.0 | 928.0 |
| Catclaw Acacia | 6.0 | 31.0 | 1150.0 | 10417.0 | 289.0 | 2694.0 | 1445.0 | 13142.0 |
| Crucifixion Thorn | 19.0 | 136.0 | 33.0 | 376.0 | 13.0 | 129.0 | 65.0 | 641.0 |
| Foothill Palo Verde | 167.0 | 1819.0 | 469.0 | 5176.0 | 180.0 | 2177.0 | 816.0 | 9172.0 |
| Hackberry | 0.0 | 0.0 | 50.0 | 477.0 | 5.0 | 58.0 | 55.0 | 535.0 |
| Juniper | 1.0 | 8.0 | 0.0 | 0.0 | 0.0 | 0.0 | 1.0 | 8.0 |
| Native Mesquite | 8.0 | 67.0 | 49.0 | 928.0 | 13.0 | 208.0 | 70.0 | 1203.0 |
| Red Barberry | 7.0 | 45.0 | 191.0 | 2080.0 | 46.0 | 540.0 | 244.0 | 2665.0 |
| Soaptree Yucca | 57.0 | 323.0 | 12.0 | 118.0 | 17.0 | 102.0 | 86.0 | 543.0 |
| White Thorn Acacia | 0.0 | 0.0 | 1.0 | 5.0 | 1.0 | 10.0 | 2.0 | 15.0 |
| Totals: | 276.0 | 2509.0 | 2007.0 | 20164.0 | 586.0 | 6179.0 | 2869.0 | 28852.0 |
| <i>Cacti Table</i> | | | | | | | | |
| | Salvage | | Non-Salvage | | Remain | | Total | |
| | QTY | IN | QTY | IN | QTY | IN | QTY | IN |
| Barrel Cactus | 38.0 | 149.0 | 4.0 | 16.0 | 12.0 | 46.0 | 54.0 | 211.0 |
| Ocotillo | 2.0 | 20.0 | 0.0 | 0.0 | 0.0 | 0.0 | 2.0 | 20.0 |
| Saguaro | 5.0 | 90.0 | 4.0 | 116.0 | 2.0 | 72.0 | 11.0 | 278.0 |
| | 45.0 | 259.0 | 8.0 | 132.0 | 14.0 | 118.0 | 67.0 | 509.0 |

Native Plant Inventory Summary of Inventory



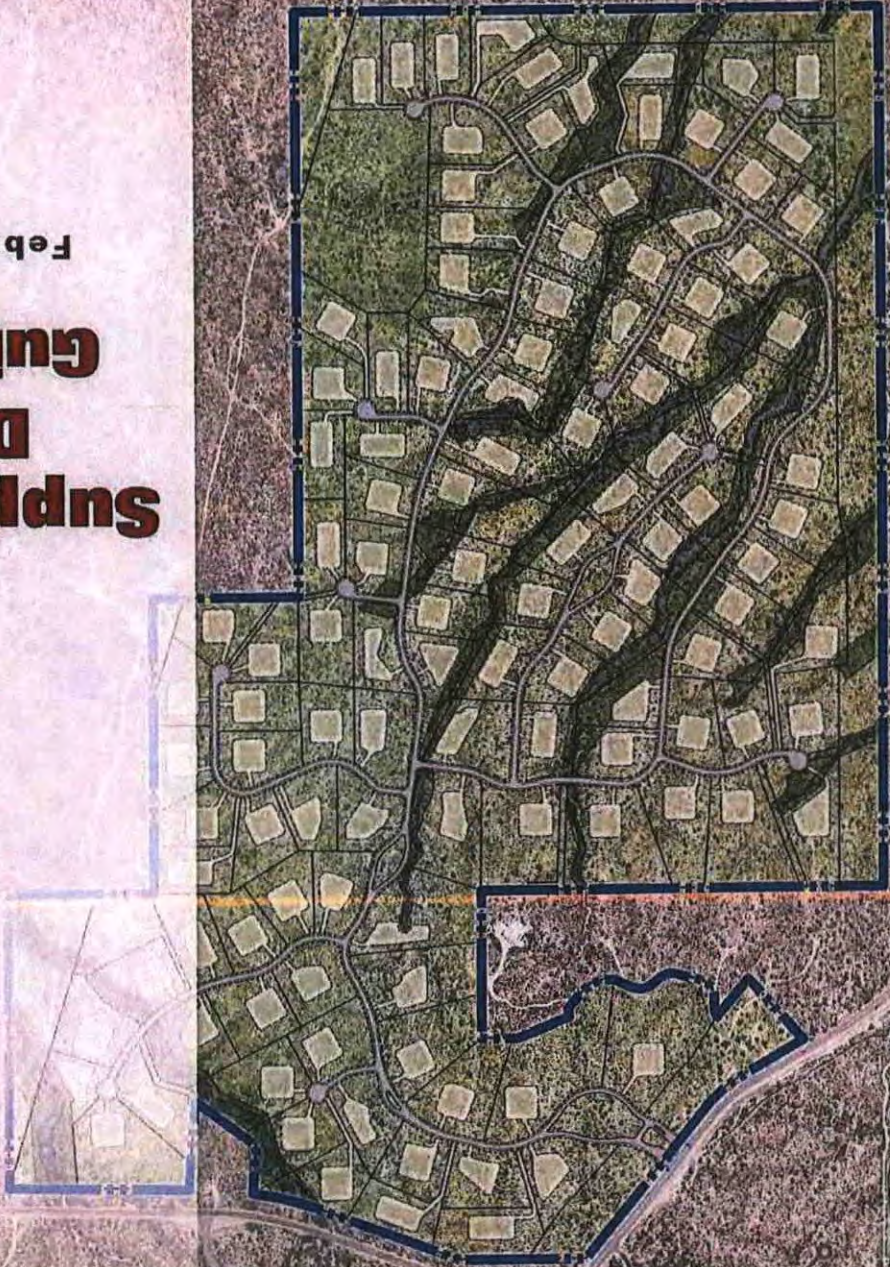
Appendix B: Supplemental Design Guidelines



Wilder at Hill

February 9, 2015

Supplemental Design Guidelines



WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

Introduction

The 353-acre Wildcat Hill community is a unique example of pristine upper Sonoran Desert with beautiful wash corridors, rock outcroppings, and native desert vegetation. Extensive effort was put into the planning and site design of Wildcat Hill to ensure that significant areas and high quality examples of these natural and cultural resources were preserved.

Wildcat Hill has been designated as an Environmentally Sensitive Lands area (ESL). The City of Scottsdale has developed specific design guidelines and requirements on development within ESL areas which are intended to preserve, protect, and enhance this natural resource. The purpose of these supplemental design guidelines is to expand upon the requirements of the City of Scottsdale, and to ensure that continued development within the Wildcat Hill community follows the sensitive design principles established with the planning of Wildcat Hill.

City of Scottsdale Regulations

These Supplemental Design Guidelines are intended to supplement the regulations provided by the City of Scottsdale, and not replace or supersede them. Development of community open space areas and residential lots within the Wildcat Hill community shall comply with the City of Scottsdale ordinances, regulations and guidelines that are current at the time of construction of the proposed project. These include but are not limited to the following:

- Design Standards and Policy Manual (DS&PM)
- Environmentally Sensitive Land Ordinance (ESLO)
- Scottsdale Sensitive Design Principles
- Scenic Corridor Design Guidelines for Cave Creek Road
- Single Family Plan Requirements – ESL Areas

A complete list of applicable guidelines and regulations is available from the City of Scottsdale.

In addition to the policies and regulations referenced above, the following supplemental design guidelines contained within this document shall apply to all site development, new construction, remodel, or exterior renovations, both on residential lots, and within community open space areas. In the event of conflicts between the City of Scottsdale's guidelines and requirements, and the guidelines established in this document, the stricter requirement shall prevail.

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

A. Site Design

The following design guidelines shall apply:

1. **Revisions to Building Construction Envelope** – At their cost, Owner may propose an alternative building construction envelope (Envelope) for approval by the Wildcat Hill Design Review Committee (DRC) as outlined in Section C, with the intent to allow the architecture and site development on the lot to be more responsive to the natural landforms existing on the site. The proposed Envelope shall respect the exiting landforms, washes, rock outcroppings and exiting vegetation. The proposed building envelope shall not increase in area beyond that established with the original building envelope with the following exception. Owner may increase the building envelope up to 10% in the following conditions:
 - a. Increase in building envelope does not exceed maximum disturbance area allowed by the City of Scottsdale
 - b. Total disturbance area for the project (inclusive of site development and temporary construction disturbance) does not exceed 40% of the gross lot area.
 - c. Owner agrees to restrict all exterior plantings, including enclosed areas, to the **Indigenous Plant List** only, as listed on the City of Scottsdale's **Indigenous, Desert Appropriate and Recommended Plant Lists**.
2. **Site Grading and Drainage**
 - a. Cut and Fills on the site shall not exceed 4' from natural terrain, except by approval by the DRC. Owner shall provide justification for the variance, and shall be based on its ability to improve the responsiveness of the architecture to the natural terrain. Cut and Fill variances will not be allowed for driveway surfaces.
3. **Hardscape Surfaces**
 - a. **General Guidelines**
 - i. Paving material shall be of a natural desert tone, with color and material selected to reduce ambient heat.
 - ii. Asphaltic pavement shall not be used within any portion of the Wildcat Hill Project, except for the designated streets.
 - iii. Porous paving material is encouraged to reduce water run-off.
 - b. **Vehicular Pavement Areas**
 - i. Driveway widths shall not exceed 16' at the connection to the local street or along the driving surface. Width may exceed 16' at guest parking area, or the connection to the garage.
 - ii. Off-street guest parking shall be screened from the street by a minimum 3' high site wall
 - c. **Site Walls**
 - i. Site walls shall not follow the building envelope and shall not enclose the entire building envelope area.
 - ii. View fences that follow the natural terrain are encouraged.

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

- iii. All mechanical areas shall be enclosed by a solid site wall a minimum of 4' high, and include an opaque gate.

4. Landscape

- a. **NAOS:** Landscape areas outside the building envelope shall remain as dedicated Natural Area Open Space (NAOS), as regulated by the City of Scottsdale. Revisions to the Building Envelope shall require a revision to the dedicated NAOS area.
- b. **Revegetated Natural Landscape:** Any undisturbed areas inside the building envelope shall remain as natural planting. Any disturbed landscape areas inside the building envelope that is not enclosed from view by a site wall of at least 4' shall be revegetated as natural landscape. Plantings in this area shall be from the **Indigenous Plant List** only, as listed on the City of Scottsdale's **Indigenous, Desert Appropriate and Recommended Plant Lists**.
- c. **Screened Landscape:** Landscape plantings within areas enclosed by an opaque site wall of 3' to 4', or a 6' view wall with openings greater than 50% of the surface area shall use plants from the **Indigenous, Desert Appropriate and Recommended Plant Lists**. No greater than 60% of the plant species and no greater than 60% of the plant quantity may be from the **Recommended Plants for Enclosed Areas** list.
- d. **Enclosed Landscape:** Landscape areas enclosed by an opaque site wall of greater than 4' shall comply with City of Scottsdale requirements.
- e. **Boulders:** No imported boulders shall be used in the site. Only boulders salvaged construction may be relocated on the site. Boulders shall be placed in a natural way to mimic the surrounding areas, and shall be buried a minimum of 1/3 their height, or to the depth they were previous buried naturally, whichever is greater.

5. Exterior Lighting

- a. Lighting Fixtures
 - i. All exterior lighting fixtures shall be lamped with LED lights
 - ii. Except for building mounted lights, all exterior fixtures shall not be mounted higher than 36"
- b. Lighting Levels
 - i. Exterior lighting levels are intended to be of a low intensity. High intensity (Torch lighting) of trees or structures are not allowed.
- c. Lighting Control
 - i. All exterior lighting shall include a sensor to control timing of fixtures from dusk to dawn.

B. Architectural Design

The following design guidelines shall apply:

1. **Architectural Styles** – Southwest inspired or desert inspired architecture are encourage, particularly Pueblo Revival style, Mission Revival style, Territorial, or Contemporary Southwest are encourage.

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

2. Architectural Materials

- a. Roof – Asphaltic roofing materials are not allowed where visible.

C. Wildcat Hill Design Review Board

The HOA will establish a Design Review Committee (DRC) that will be responsible for the review and approval of plans prior to construction. The DRC The design review process is a three step process: Conceptual Plan Review, Final Plan Review, and Construction Review.

All plans noted below shall be 24x36 blackline drawings, unless noted as a color plan, which may be submitted as 11x17 drawings.

1. Conceptual Plan Review – Conceptual Plan Submittal shall include the following:
 - a. Preliminary Architectural Site Plan
 - i. To include Existing Building Envelope, and any proposed changes to the building envelope.
 - ii. Written Justification for changes to the Building Envelope.
 - b. Preliminary Architectural Floor Plan
 - c. Preliminary Exterior Elevations
 - i. 24" x 36" blackline
 - ii. 11" x17" color
 - d. Native Plant Inventory
 - e. Preliminary Grading Plan
 - f. Color Cut and Fill Exhibit. Cuts shall be denoted in shades of red depicting 2' intervals. Fills shall be denoted in shades of green depicting 2' intervals.
 - g. Preliminary Landscape Plan
 - h. Preliminary Materials Board
2. Final Plan Review – The Final Plan review is intended to occur prior to the City of Scottsdale Building Permit submittal, but may occur concurrently with permission from the DRC. The final plan submittal to the DRC will not include all of the items necessary for the City of Scottsdale Building Permit submittal, but those items listed below shall meet the standards and checklist requirements for the Building Permit submittal as determined by the City of Scottsdale. The Final Plan Review to the DRC shall include the following:
 - a. Architectural Site Plan
 - b. Architectural Floor Plan
 - c. Exterior Elevations
 - d. Native Plant Inventory
 - e. Grading Plan
 - f. Color Cut and Fill Exhibit.
 - g. Landscape Plan
 - h. Materials Board
3. Construction Review

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

- a. At substantial completion, the DRC and Owner shall meet on site to review the construction and its conformance to the approved final plans.
- b. Changes to the approved plans made during construction or during the Permit Review process shall be provided to the DRC for records.

D. Project Construction

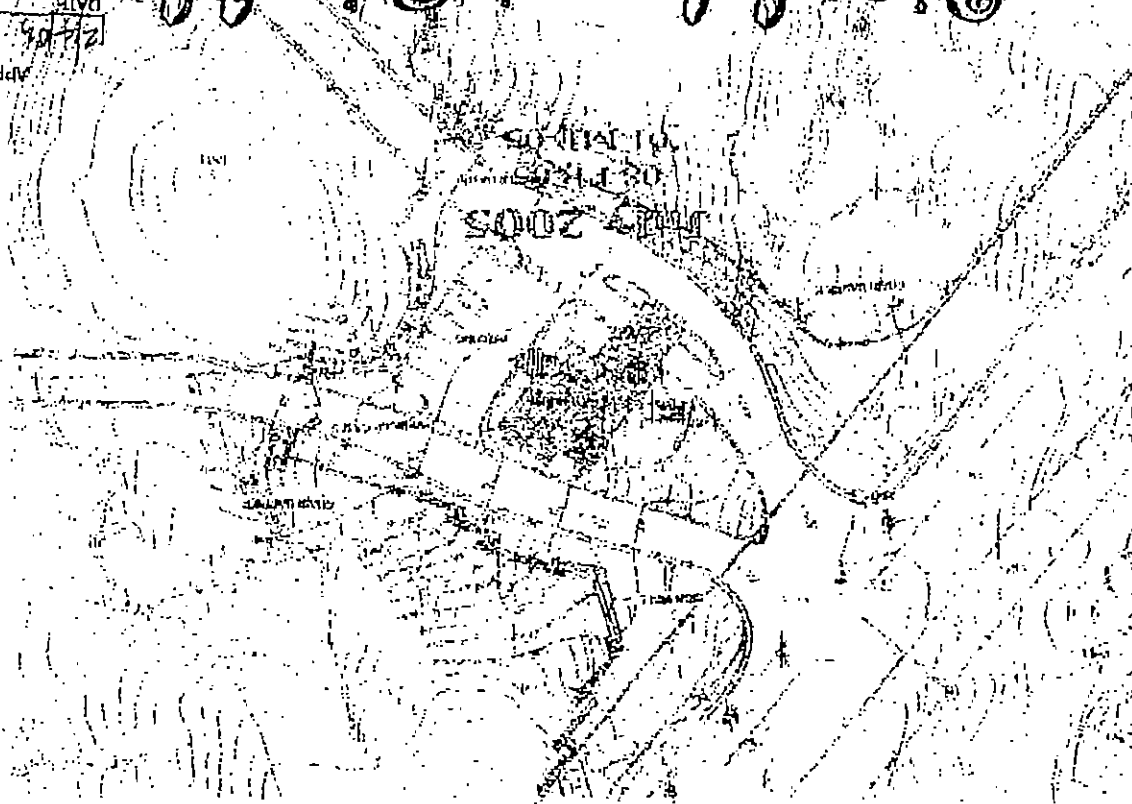
1. **Construction Fencing** – The building envelope shall be fenced off with a 6' high chainlink fence fitted with green or tan fabric on the exterior. The fencing shall be reviewed by the DRC prior to construction.
2. **Approved Materials** – Contractor shall keep a set of approved plans and approved materials on site during construction.

**Appendix C: Wildcat Hill Master
Environmental Design Concept Plan
(1-MP-2005)**



Wildcat Hall

APPROVED
DATE: 2/2/06
INITIALS: [Signature]



of Master Environmental Design Concept Plan

Project Contact:

Mr. Mark Burushko
MB Group, L.L.C.
4500 North Miller Road, Suite 240
Scottsdale, Arizona 85251
(480) 941-1444

Wildcat Hill



- TORNOW ASSOCIATES, P.C. - SHI, STUDIO - GILBERTSON ASSOCIATES, INC. -

Master Environmental Design Concept Plan

PLANNING & DEVELOPMENT TEAM

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CIVIL ENGINEER:

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 (602) 955-8063

COMMUNITY ARCHITECTURE:

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 c/o Craig Johnson
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 Phoenix, AZ 85014
 (602) 248-4912

PREPARED BY:

Tomow Associates, P.C.
 SHJ Studio

PREPARED:

July 2005

CLIENT NUMBER(S):

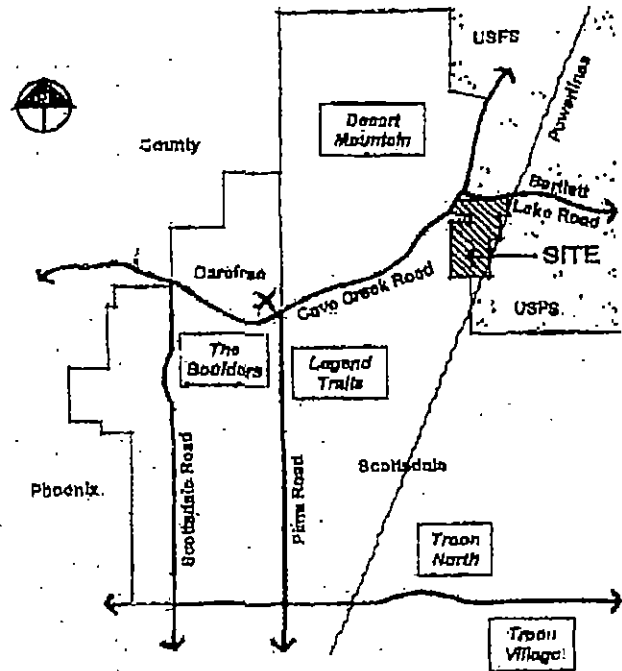
143-PA-2004
 03-PP-2005
 01-MP-2000

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Wildcat Hill

03 Master Environmental Design Concept Plan



1.00 INTRODUCTION

1.01 PROJECT LOCATION

The Wildcat Hill project is located at the southeast corner of Bartlett Lake Drive and Cave Creek Road in the northern region of Scottsdale. Wildcat Hill was annexed into the City in late 2000 and the underlying R1-180 zoning was adopted subsequent to the annexation.

The property is approximately 360 acres in area. The planning and development team proposes to develop the community with seventy-six (76) single-family custom home sites, pursuant to the EEL ordinance and the R1-180 development standards, as amended. Lots will average approximately five acres in area. The proposed Wildcat Hill development is primarily comprised of natural open spaces and low-density residential uses. Home sites have been planned to preserve the site's natural features and maintain opportunity towards the adjacent regional view present from the area.

Access to the Wildcat Hill project will be via Cave Creek Road. The primary objective of the layout of internal roads and home sites was to clearly reflect sensitivity to the preservation of native vegetation, washes, and the Wildcat Hill landscape near the southeast corner of the project.

1.02 REQUEST

This application represents a request for Development Review Board approval of a Master Environmental Design Concept Plan (MEDCP) and preliminary plat for the Wildcat Hill development.

This instrument is a summary of the community design elements that will establish the character and tone for all of the components of the Wildcat Hill master plan. This MEDCP document contains information regarding the proposed community architecture (walls, signs, lighting, etc.), as well as the landscape and revegetation program for the community. This document is not intended to cover the design concepts for the architecture and landscape components of individual residential lots. These elements will be addressed through future community architectural guidelines and covenants, conditions and restrictions.

The predominant goal of the community thematic elements contained in this MEDCP is to establish a low profile and to blend into and complement the existing natural desert setting of the site. Materials will be complementary in color and texture with surrounding the desert.

Wildcat Hill

Wildcat Hill Master Environmental Design Concept Plan

2.00 LANDSCAPE & REVEGETATION PROGRAM.

Due to the low-density of the Wildcat Hill development, the primary landscape theme for the project common areas and community facilities will focus on maintaining the inherent natural desert setting of the site. A significant portion of the project will be left as Undisturbed Natural Area Open Space (NAOS). Disturbance of the existing landscape will only occur during the construction of infrastructure and within designated development envelopes on individual home sites.

2.01 LANDSCAPE CHARACTER ZONES.

The landscape concept for Wildcat Hill includes three character zones:

Undisturbed Natural Areas. Undisturbed natural areas are those areas that are not disturbed during the development of the project. These areas may be situated towards the NAOS requirements for the related lot, street and/or community. Per the ESL standards, undisturbed natural areas may be supplemented with additional indigenous materials.

Revegetated Natural Areas. Revegetation will be used to restore the natural desert character of sites that have been disturbed during project construction or may have been previously disturbed by off-road vehicles. Many of these areas will be used for NAOS needs where appropriate.

Enhanced Natural Areas. Areas that feature community theme elements such as parcel entries, monument or parcel signs, etc. will be enhanced with additional native and near-native vegetation to complement and highlight the area. These areas will not be visible from outside of the community, will not be credited as NAOS and will be the maintenance responsibility of the master developer or future homeowners association.

2.02 LANDSCAPE REPRESENTATION AREAS.

During the construction of the Wildcat Hill project, potential areas responsible for disturbances include the roadway cuts and fills, drainage improvements (storage basins, wash stabilization, etc.) and utility installation. These areas will be restored using revegetation techniques described above as well as the following supplemental concepts:

Cuts and Fills for Infrastructure. Cut and fill slopes will be constructed to mirror natural grades adjacent to the site where practical. Varying slopes of 2:1 or less will be used where the soil supports the grades naturally. In addition, the transition areas (where cut and fill slopes tie into natural grades) will be softly rounded to blend naturally and avoid sharp edges. Slope stabilization techniques described below may be used to create stable slopes with a natural appearance.

Storm Water Management. The predominant storm-water management component will be the use of the existing, undisturbed washes that traverse the site. Other storm-water management facilities anticipated for Wildcat Hill include storage basins, wash stabilization and new wash channel construction. These areas will be handled in a manner consistent with other restoration techniques previously described including naturalized grading and slope stabilization, revegetation and stabilization. Further, per City requirements, storage basins shall be constructed using uncemented and rounded shapes to blend with natural contours.

Erosion Protection & Slope Stabilization. Erosion protection and slope stabilization will be accomplished with the use of granite boulders, natural rip-rap and/or subsurface geo-textiles. These techniques along with revegetation will help re-stabilize cut or fill areas, washes and other graded conditions within the project.

2.03 REVEGETATION TECHNIQUES.

The following techniques will be used for restoring disturbed areas:

Transplanting. Where practical, many of the plants used for revegetation will be transplanted materials that have been salvaged from on-site construction activities. This includes "holding-up" larger materials for replanting or temporary storage as well as "bare-root" transplanting of cacti and small shrubs and ground covers.

Container Materials. To supplement the salvaged materials, many of the native plants used for revegetation will be purchased from local plant nurseries. There are a wide variety of native plant species available from local growers that have a good survival rate once installed.

Hydro-seeding. In small areas that are not proposed to be NAOS (utility easements, rights-of-way, etc.) or other remote areas a hydro-seed mix of site specific native shrubs, ground covers and grasses will be utilized to restore the ground plane and stabilize the soil. These areas may be supplemented with bare-root cactus transplants and granite boulders as available from on-site.

Note: In some locations, a combination of the three techniques described above may be used.

2.04 SCENIC CORRIDORS.

Scenic Corridors are proposed along Cave Creek and Bartlett Lake Roads. The Scenic Corridors are intended to provide a natural aesthetic along arterial and collector streets in the ESL district.

The master developer of Wildcat Hill is proposing to use this area as a natural noise barrier also. In-field site analysis has shown that there is a tremendous volume of traffic noise generated along Cave Creek and Bartlett Lake Roads. The Scenic Corridor may be supplemented with additional indigenous plant material, noise mitigation walls and/or naturalistic landscaping to help buffer this condition.

Viola Corridor washes are defined as washes that exceed 750 c.f.s. All washes deemed to be Scenic Corridors within the Wildcat Hill site will be preserved and buffered as outlined in the City's guidelines.

2.05 IRRIGATION TECHNIQUES.

Revegetation areas will be temporarily irrigated until all plants have been fully established as indicated below:

- Trees..... Up to Three Years
- Shrubs & Ground Covers..... Up to One Year

The irrigation program will vary depending on the size and location of the revegetation site. Many areas will be irrigated with a temporary drip irrigation system. However, in arid or remote areas, plants will be hand-watered until established. Hydro-seed areas will be watered pursuant to the applicator's requirements.

Wildcat Hill

Master Environmental Design Concept Plan

2.00 LANDSCAPE & REVEGETATION PROGRAM (continued).

2.01 PLANT PALETTE

INDIGENOUS PLANTS

Two 100' x 100' sample area inventories of the site were taken to establish the base plant palette for the project. Based on those surveys, all of the materials identified below are suitable for use in all three landscape character zones. See actual inventories on Sheet 4.

Redtail Palo Verde
 Native Mesquite
 Catalina Acacia
 Hackberry
 Lythium
 Geywhorn
 Jajoba
 Redthay
 Ephedra
 Canyon Redwood
 Turpentine Bush
 Burro
 Saguaro Cactus
 Cholla
 Ocotillo
 Staghorn Cholla
 Hedgehog Cactus
 Sonoran Yucca

ADDITIONAL INDIGENOUS PLANTS

The following indigenous plants were not found within the sample areas, however, some are present on the site or within the ESI district of Scottsdale and are therefore suitable for use within the Wildcat Hill community:

| | |
|-----------------------|-------------------|
| • Ironwood Tree | • Giant Burro |
| • Cottonwood | • Sugar Bush |
| • Juniper | • Birdnest |
| • Prickly Pear Cactus | • Desert Marigold |
| • Yucca | • Fairy Duster |
| • Cholla bush | • Cholla |

| | |
|--------------|-------------------|
| • Deer Grass | • Desert Milkweed |
| • Mormon Tea | • Desert Spoon |

ENHANCED AREA PLANTS

The following low water use plants are suitable for use within the ESI district and may be utilized within the community:

| | |
|------------------------|-----------------------|
| • Cordia species | • Mexican Primrose |
| • Red Yucca | • Penstemon |
| • Dalea species | • Selvia species |
| • Leucophyllum species | • Rhus species |
| • Verbena | • Deer Grass |
| • Angelin Daisy | • Arizona Yellow Bell |
| • Aloe species | • Agave species |

TURF

For city requirements, turf, if provided, shall be permitted interior to the site and shall be limited as outlined below.

- Turf will not be visible from outside of project
- Turf will be limited to common areas or private residences only
- No turf will be permitted in right-of-way
- Common bermuda grass is not permitted

2.02 OTHER LANDSCAPE MATERIALS

The plant palette described above will be supplemented with the following native materials:

Grants. Where feasible to do so, no imported decomposed granite will be used at Wildcat Hill. Native top material will be salvaged during construction for re-use in restoration and revegetation areas.

Rip-rap. Local rock excavated from utility and infrastructure construction will also be stockpiled for use as a natural rip-rap material. This natural rip-rap will be used as necessary to stabilize slopes and potential erosion areas adjacent to drainage elements. In visible locations, the rip-rap will be treated with a manganese-based varnish product such as "Perman".

Boulders. The development project site is sown with granite boulders

In a wide range of shapes and sizes. Compatible materials will be used (salvaged from the site and imported) to further enhance the natural appearance of the landscape in all three character zones.

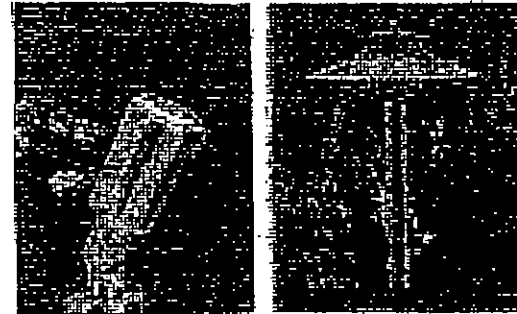
Columns & Headwalls. All columns, headwalls and/or other such structures will be integrally colored or stained a color that closely blends with the surrounding granite ground cover.

2.03 LANDSCAPE LIGHTING

Low-voltage lighting is anticipated to accent important community landscape locations such as monument signs, neighborhood identity signs and the associated landscape features. Fixtures will feature properly shielded sources of light per City ordinance.

Low Voltage Spot Light
FX Luminaire—RS 20

Low Voltage Path Light
FX Luminaire—DM 20



Wildcat Hill

CS Master Environmental Design Concept Plan ES

2.00 LANDSCAPE & REVEGETATION PROGRAM (continued).

2.01 REVEGETATION SAMPLE AREA #1

A survey of plants within an area approximately 100-feet by 100-feet was performed by Daniela Verde to determine a typical revegetation palette for Wildcat Hill. The following survey is typical of the north portion of the property:

| | |
|-----------------------|-----|
| - Foothill Palm Verde | 8 |
| - Native Manzanita | 1 |
| - Whitehorn Acacia | 23 |
| - Desert Rose | 22 |
| - Golden Eye | 35 |
| - Turpentine Bush | 160 |

2.10 REVEGETATION SAMPLE AREA #2

A survey of plants within an area approximately 100-feet by 100-feet was performed by Daniela Verde to determine a typical revegetation palette for Wildcat Hill. The following survey is typical of the south portion of the property:

| | |
|-----------------------|-----|
| - Foothill Palm Verde | 0 |
| - Native Manzanita | 1 |
| - Lycium | 2 |
| - Flattop Buckwheat | 38 |
| - Golden Eye | 35 |
| - Turpentine Bush | 108 |
| - Rainier | 8 |
| - Fairy Duster | 70 |
| - Crosscane | 1 |
| - Beard Cactus | 1 |

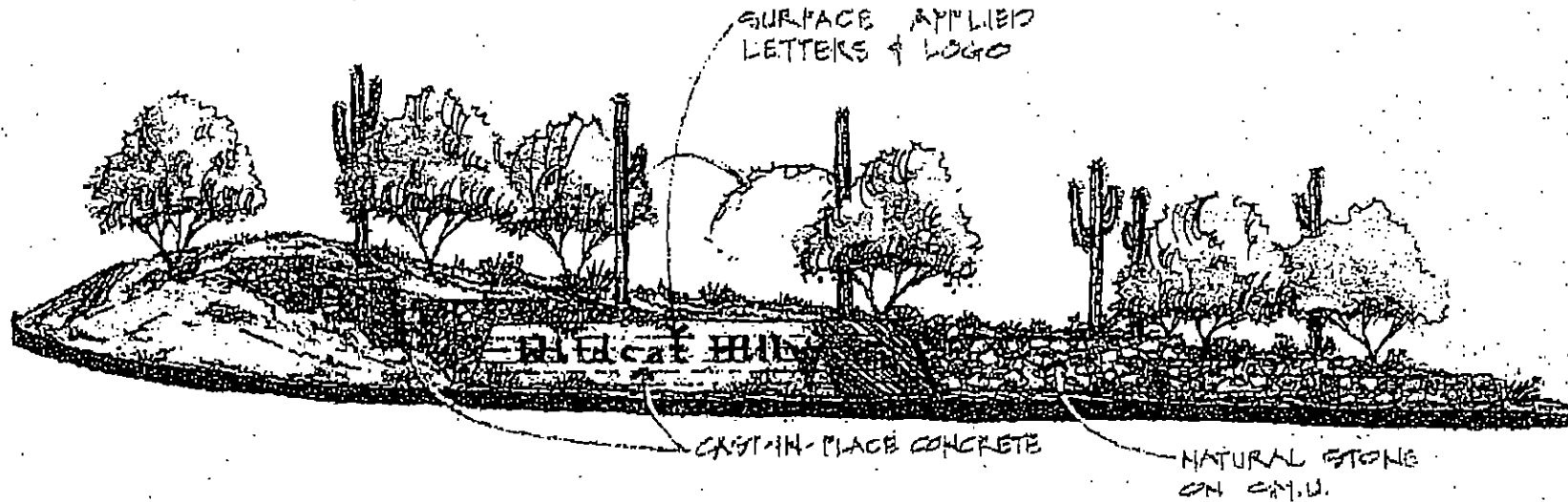
Wildcat Hill



Master Environmental Design Concept Plan

3.00 SITE ARCHITECTURE CONCEPTS

3.01 MONUMENT SIGN CONCEPT



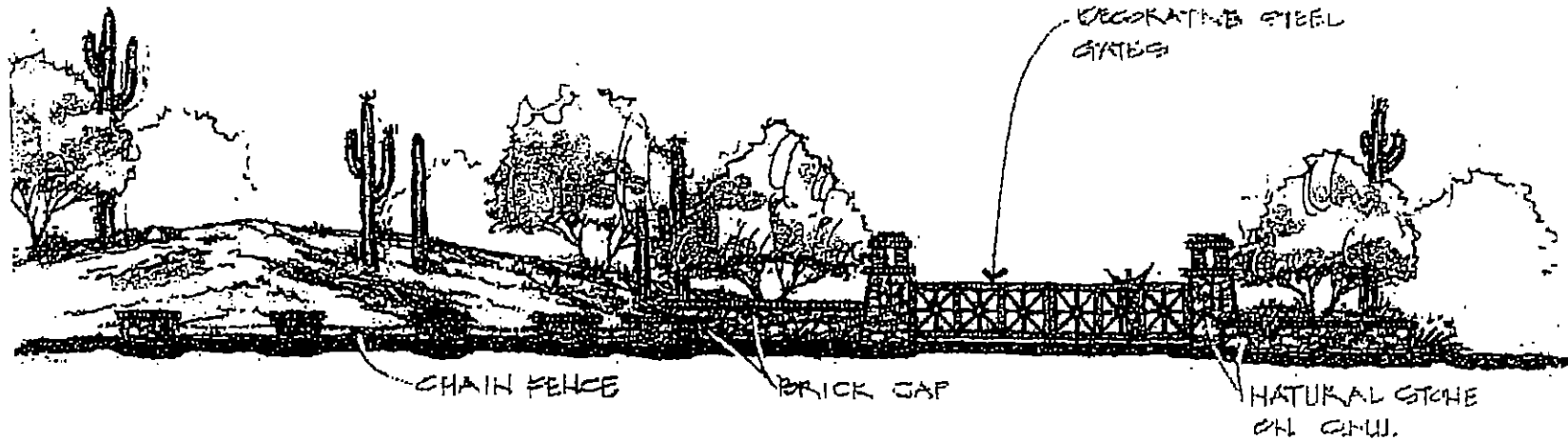
Wildcat Hill

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Master-Environmental Design Concept Plan

3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.02 ENTRY GATE CONCEPT



Wildcat Hill

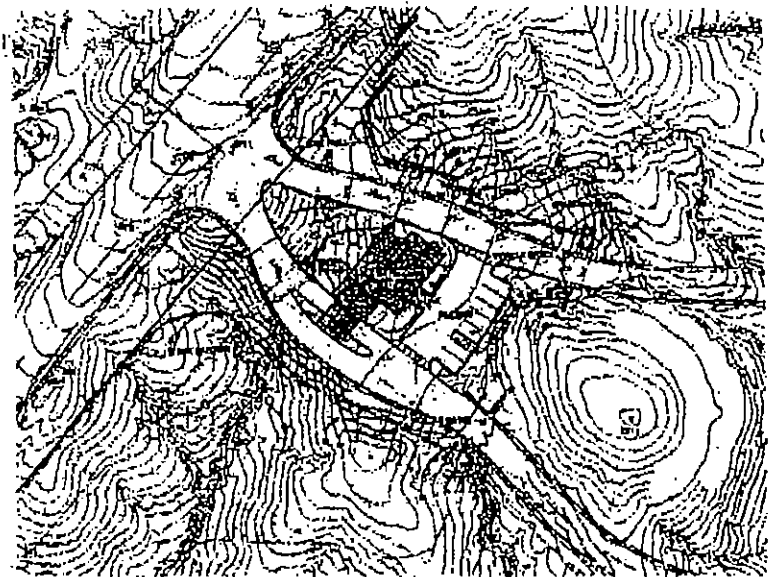
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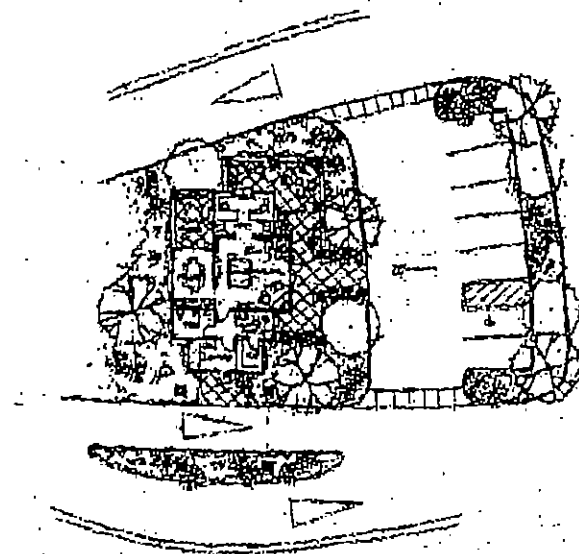
03 Master Environmental Design Concept Plan 03

3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.61 GATE HOUSE CONCEPT - SITE PLAN



3.62 GATE HOUSE CONCEPT - FLOOR PLAN



Wildcat Hill

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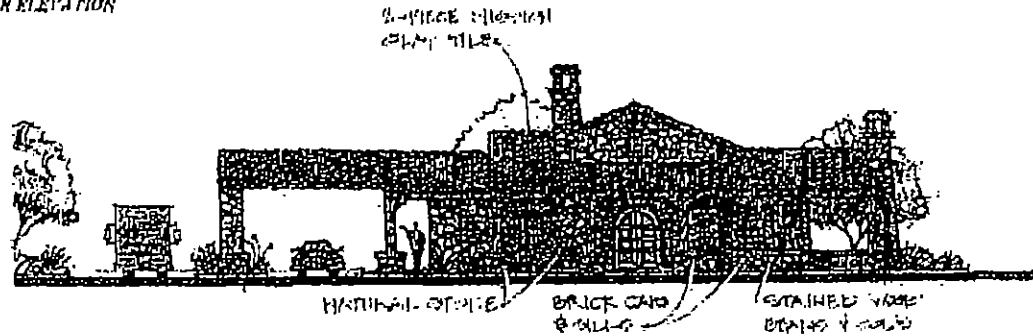
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3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.05 GATE HOUSE CONCEPT - FRONT ELEVATION



3.06 SITE HOUSE CONCEPT - REAR ELEVATION

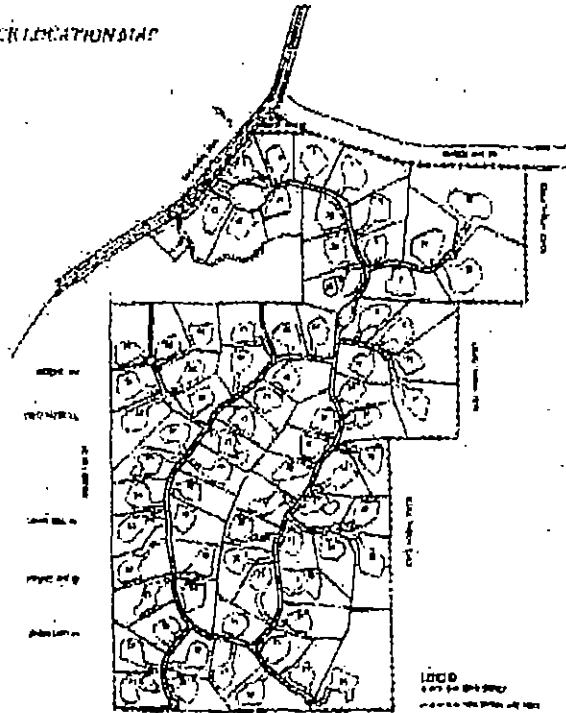


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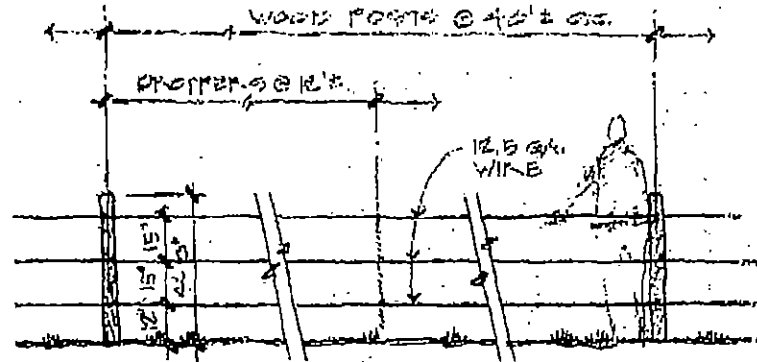
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3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.07 FENCE LOCATION MAP



3.08 WOOD FENCE CONCEPT

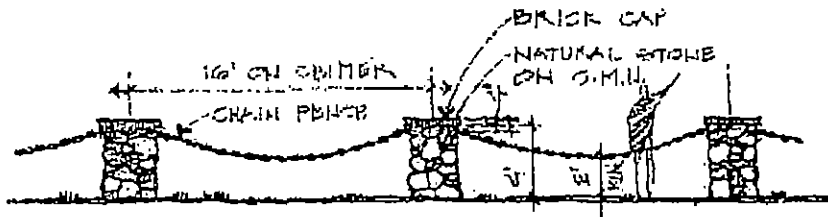


Wildcat Hill

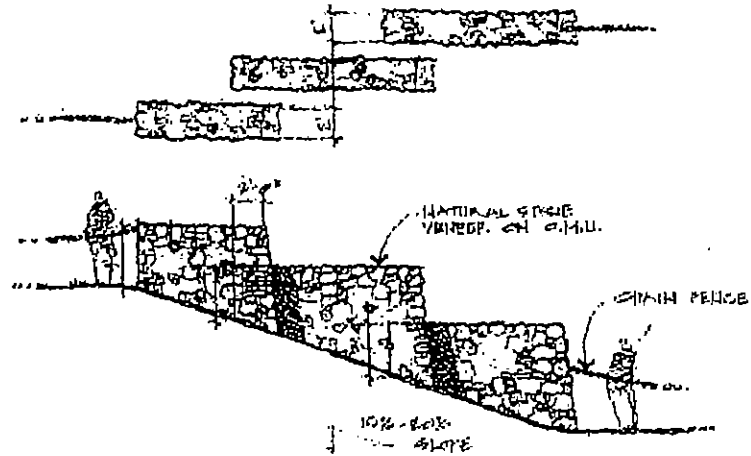


3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.09 BARRIER CONCEPT



3.10 BARRIER CONCEPT - STEEP SLOPE CONDITIONS



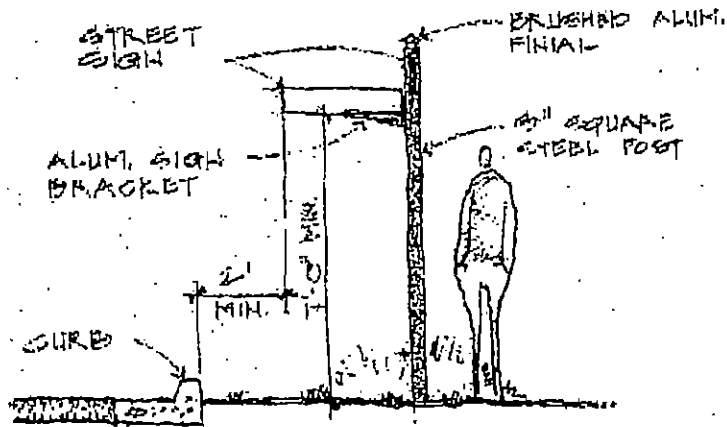
Wildcat Hill



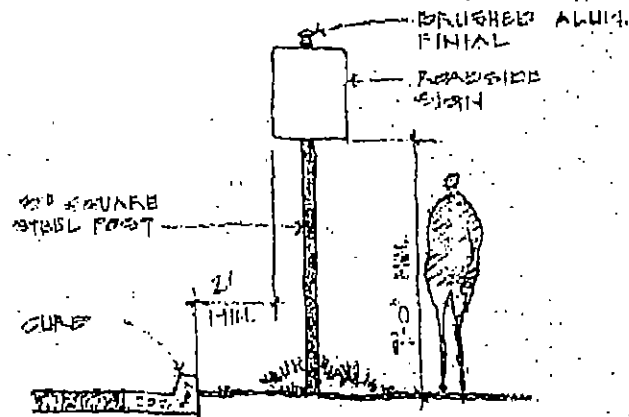
03 Master Environmental Design Concept Plan 80

3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.11 STREET SIGN CONCEPT



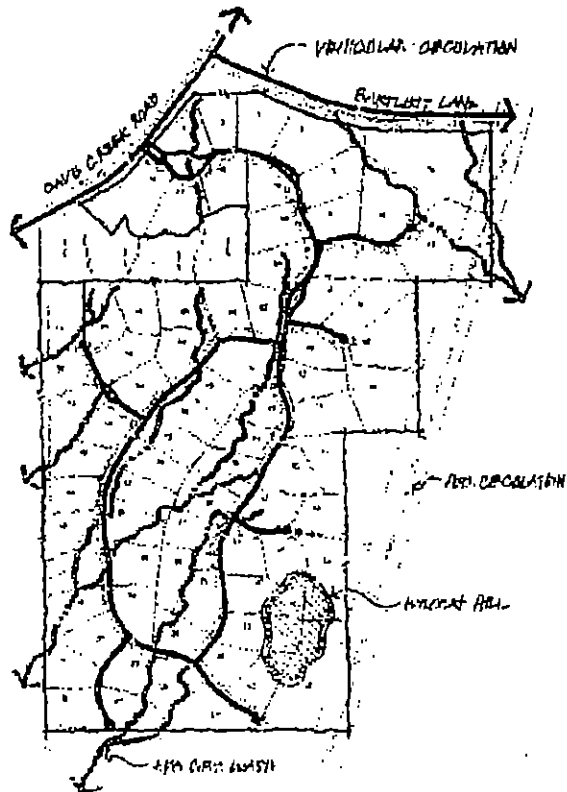
3.12 TRAFFIC SIGN CONCEPT



Wildcat Hill



Master Environmental Design Concept Plan



4.00 PLANNING SYSTEMS.

4.01 LOCAL WASHES AND DRAINAGE CORRIDORS.

An inventory of all washes present on the Wildcat Hill site was performed by Gilbertson Associates, Inc. All washes that exceed 50 CFS were accurately delineated prior to the development of the site plan. Roadway alignments, building envelopes and lot lines were carefully planned to minimize disturbance to the 50 CFS washes throughout the site. Further in-field evaluation of the site plan resulted in minor adjustments to the plan to ensure minimal disturbance of the washes and associated vegetation. The use of Amundsen Developmental Standards provide flexibility in the layout of the plan to ensure protection of these important drainage, vegetation and wildlife corridors.

4.02 VEHICULAR CIRCULATION.

As stated above, the internal vehicular circulation pattern is a direct reflection of the desires of the planning and development team to minimize disturbance of the predominant natural features of the property including the wash corridors, Boulder outcroppings, a steep slope, significant stands of vegetation and Wildcat Hill. The layout provides a "loose" collector (loop) roadway both horizontally and vertically with the terrain. Plug lots and cul-de-sac streets were also utilized to minimize construction and disturbance to the natural environment.

4.03 PEDESTRIAN CIRCULATION.

Due to the extremely low density (0.21 units per acre) of the Wildcat Hill project, no formal trail system is planned for the community. Gravel shoulders adjacent to all internal roadways will function as pedestrian trail systems. The loop configuration of the internal street layout allows each home the opportunity for connectivity throughout the neighborhood with links to Cayo Creek Road, the power line corridor trail and future connections to the creek.

Extensive discussions with the Tonto National Forest and the City of Scottsdale trail coordinators have resulted in a unified desire to limit pedestrian access points into the Forest and Preserve lands adjacent to Wildcat Hill. Specific limited points of ingress and egress allow for better control, supervision and enjoyment of activities within the Forest and Preserve lands.

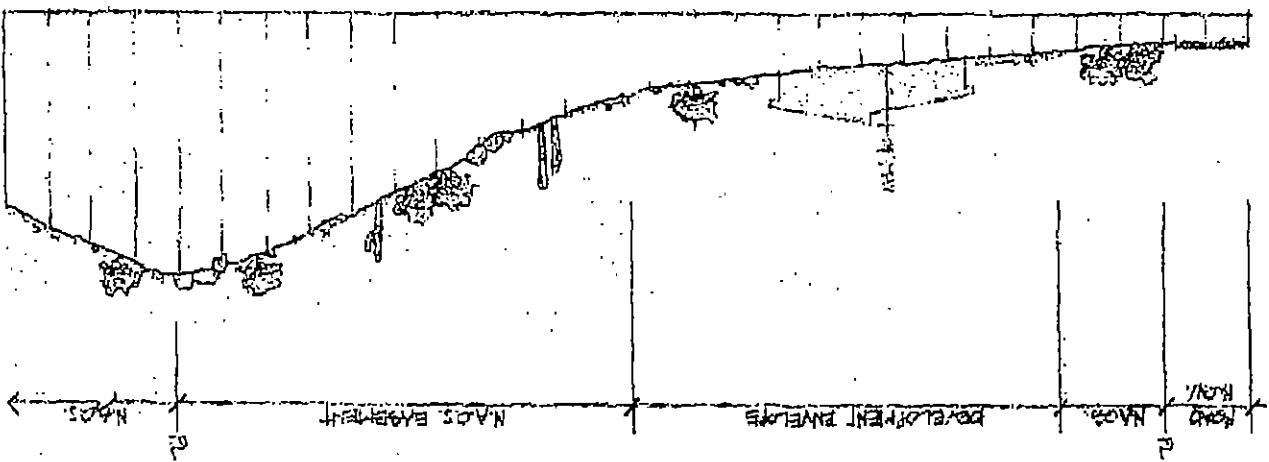
4.04 WILDCAT HILL PRESERVATION.

One of the primary objectives of the planning and development team was the preservation of the Wildcat Hill landform. The site plan was purposefully designed to maintain the Hill as permanent open space. Building envelopes and roadways have been located in a manner that provides permanent protection of the natural amenity for the future residents of the Wildcat Hill development as well as residents in adjacent neighborhoods surrounding Wildcat Hill. See cross section on the following page.

Wildcat Hill



Wildcat Hill



Development of Wildcat Hill. The varied lot sizes and widths allow for flexibility in the site plan and accommodate the preservation of the wooded hill top permanent green space. Future protection of Wildcat Hill will be achieved through the use of NAOS rather than other easements recorded with the first plat. Easements will be created to provide public use of the hill to prevent further deterioration and waste during. Further, the community will be developed with strict C.O. & R's and deed restrictions that restrict the use of the area. The preserved mountain terrain not only enhances the land's aesthetics but provides a visual landmark for other surrounding residential and urban areas.

4.00 PLANNING SYSTEMS (continued)

Appendix D: Indigenous Plants

Indigenous Plant List

This list was compiled by the City of Scottsdale to be used in conjunction with the Environmentally Sensitive Lands Ordinance (ESLO) regulations in the Zoning Ordinance. These plants may be used for re-vegetation in Natural Area Open Space (NAOS) areas and in right-of-way as well, as any landscape areas.

The location and height of plants that are not on this list are regulated by ESLO (Section 6.1070.G.1.i in the Zoning Ordinance). The plants on this list are indigenous to the *Sonoran Desert*, but may not be appropriate for all locations. Plants listed below are generally found with in the following elevation ranges: 1,500 - 2,500 feet elevation, designated by an equal sign (=). 2,500 – 3,000 feet elevation, designated by a percent sign (%). 3,000 plus feet elevation a number sign (#). The choice of plants for a specific site should be based upon whether the plants occur naturally within the area where the property is located.

The Zoning Administrator in the Planning, Neighborhood, and Transportation Division may add plants to this list based upon recommendations from city staff. Private consultants may suggest to staff that plants be added or deleted from the list. **Plants that are protected by the Native Plant Ordinance**, Chapter 46 of the City Code and Section 6.1070 of the Zoning Ordinance, are designated with an asterisk (*).

Plants designated with a plus (+) are restricted according to Water Resources Ordinance No. 3161 and must receive prior approval from the Arizona Department of Water Resources and the City of Scottsdale Water Resources Department before they may be lawfully planted. The indigenous plants on this list are also, in general, low water users according to the Arizona Department of Water Resources.

Please check with staff as to where a variety of a specific plant species may be indigenous.

TREES

| | | | |
|---|---|---------------------|-------|
| <i>Acacia constricta</i> | * | White Thorn | # |
| <i>Acacia greggii</i> | * | Cat Claw | % # |
| <i>Berberis haematocarpa</i> | * | Red Barberry | % # |
| <i>Berberis harrisoniana</i> | * | Harrison Barberry | % # |
| <i>Canotia holacantha</i> | * | Crucifixion Thorn | % |
| <i>Celtis pallida</i> | * | Desert Hackberry | = % # |
| <i>Celtis reticulata</i> | + | Net-leaf Hackberry | = % # |
| <i>Cercidium (Parkinsonia) floridum</i> | * | Blue Palo Verde | = % # |
| <i>Cercidium</i> | * | Foothill Palo Verde | = % # |
| <i>(Parkinsonia) microphyllum</i> | | | |
| <i>Chilopsis linearis</i> | * | Desert Willow | % # |

| | | | |
|--------------------------------|----|--------------------|-------|
| <i>Juniperus monosperma</i> | * | One-seeded Juniper | # |
| <i>Olneya tesota</i> | * | Ironwood | = |
| <i>Populus fremontii</i> | +* | Cottonwood | # |
| <i>Prosopis velutina</i> | * | Arizona Mesquite | = % # |
| <i>Quercus turbinella</i> | | Scrub Oak | # |
| <i>Rhus ovata</i> | + | Sugar Sumac | # |
| <i>Vauquelinea californica</i> | | Arizona Rosewood | # |

SUCCULENTS / CACTI

| | | | |
|--|---|-------------------|-------|
| <i>Agave deserti</i> | | Desert Agave | = |
| <i>Agave murpheyi</i> | | Murphey's | = % |
| <i>Agave palmeri</i> | | Palmer's Agave | # |
| <i>Carnegiea gigantea</i> | * | Saguaro | = % # |
| <i>Dasyliirion wheeleri</i> | | Desert Spoon | # |
| <i>Echinocereus engelmannii cactus</i> | | Hedgehog Cactus | = % # |
| <i>Ferocactus cylindraceus Barrel</i> | * | Compass Barrel | = % # |
| <i>Ferocactus wislizenii Barrel</i> | * | Fishhook Barrel | = % |
| <i>Fouquieria splendens</i> | * | Ocotillo | = % # |
| <i>Mammillaria microcarpa Cactus</i> | | Fishhook Cactus | = % |
| <i>Opuntia engelmannii</i> | | Engelmann's | % # |
| | | Prickly-pear | |
| <i>Opuntia fulgida</i> | | Chainfruit Cholla | = % |
| <i>Opuntia leptocaulis</i> | | Desert Christmas | = % |
| | | Cholla | |
| <i>Opuntia phaeacantha</i> | | Sprawling | = % # |
| | | Prickly-pear | |
| <i>Opuntia versicolor</i> | | Staghorn Cholla | = % # |
| <i>Peniocereus greggii</i> | * | Desert Night- | |
| | | blooming Cereus | = % # |
| <i>Yucca baccata</i> | | Banana Yucca | = % |
| <i>Yucca elata</i> | * | Soaptree Yucca | % # |

SHRUBS / BUSHES

| | | | |
|-------------------------------|---|----------------------|-------|
| <i>Ambrosia ambrosioides</i> | + | Giant Bursage or | = % |
| | | Canyon Ragweed | |
| <i>Ambrosia deltoidea</i> | | Triangl-leaf Bursage | = % |
| | | or Bursage | |
| <i>Ambrosia dumosa</i> | | White Bursage | = |
| <i>Anisacanthus therberi</i> | | Desert Honeysuckle | = |
| <i>Atriplex canescens</i> | | Fourwing Saltbush | = |
| <i>Atriplex lentiformis</i> | | Quailbush | |
| <i>Atriplex polycarpa</i> | | Desert Saltbush | = |
| <i>Calliandra eriophylla</i> | | Fairy Duster | = % # |
| <i>Cassia (Senna) covesii</i> | | Desert Senna | = % # |

| | | |
|---------------------------------------|--------------------|-------|
| <i>Cercis occidentalis</i> | Western Redbud | # |
| <i>Cercocarpus betuloides</i> | Birch-leaf Moutian | = |
| <i>Chrysothamnus nauseosus</i> | Mohogany | |
| <i>Datura wrightii</i> | Rabbitbrush | % # |
| <i>Dodonaea viscosa</i> | Sacred Datura | = % |
| <i>Encelia farinosa</i> | Hopbush | % # |
| <i>Encelia frutescens</i> | Brittlebush | = % # |
| <i>Ephedra aspera</i> | Green Brittlebush | # |
| <i>Ericameria laricifolia</i> | Mormon Tea | = % # |
| <i>Eriogonum fasciculatum</i> | Turpentine Bush | % # |
| <i>Gutierrezia sarothrae</i> | Flat-top Buckwheat | % # |
| <i>Hyptis emoryi</i> | Suakeweed | % # |
| <i>Justicia californica</i> | Desert Lavender | % # |
| <i>Koeberlinia spinosa</i> | Chuparosa | = % # |
| <i>Larrea (divaricata) tridentata</i> | Crucifixion Thorn | = % |
| <i>Lotus rigidus</i> | Creosote Bush | = % |
| <i>Lycium andersonii</i> | Deer Vetch | % # |
| <i>Lycium fremontii</i> | Desert Wolfberry | = % # |
| <i>Pluchea sericea</i> | Fremont Wolfberry | = % # |
| <i>Simmondsia chinensis</i> | Arrow Weed | % # |
| <i>Trixis californica</i> | Jojoba | = % # |
| <i>Viguiera deltoidea</i> | Trixis | % # |
| <i>Zizyphus obtusifolia</i> | Goldeneye | = % # |
| | Gray Thorn | = % |

ANNUALS / PERENNIALS / VINES

| | | |
|----------------------------------|----------------------|-----|
| <i>Abronia villosa</i> | Sand Verbena | |
| <i>Amsinckia intermedia</i> | Fiddleneck | |
| <i>Baileya multiradiata</i> | Desert Marigold | = % |
| <i>Cucurbita digitata</i> | Coyote Gourd | |
| <i>Dichelostemma pulchellum</i> | Desert Hyacinth | |
| <i>Dyssodia pentachaeta</i> | Dogweed/Golden | % # |
| <i>Eriophyllum lanosum</i> | Dyssodia | |
| <i>Eschscholzia mexicana</i> | Woolly Daisy | |
| <i>Gaillardia aristata</i> | Mexican Gold Poppy | % # |
| <i>Gilia latifolia</i> | Gaillardia | |
| <i>Janusia gracilis</i> | Starflower | |
| <i>Lasthenia chrysostoma</i> | Slender Janusia Vine | |
| <i>Lesquerella gordonii</i> | Goldfields | |
| <i>Lupinus sparsiflorus</i> | Bladderpod Mustard | |
| <i>Machaeranthera asteroides</i> | Desert Lupine | |
| <i>Melampodium leucanthum</i> | Tansyaster | |
| <i>Orthocarpus purpurascens</i> | Blackfoot Daisy | |
| <i>Penstemon parryi</i> | Owl's Clover | |
| | Parry's Penstemon | |

Penstemon pseudospectabilis
Phacelia campanularia
Phacelia crenulata
Platystemon californicus
Proboscidea parviflora
Psilostrophe cooperi
Plantago purshii
Rafinesquia neomexicana
Salvia columbariae
Senecio salignus
Sphaeralcea ambigua
Stephanomeria pauciflora

Desert Penstemon
Desert Bluebell
Scorpionweed
Creamcups
Devil's Claw
Paper Flower % #
Indian Wheat
Desert Chicory
Desert Chia
Willow Groundsel % #
Desert Globemallow = %
Desert Straw

GRASSES

Aristida purpurea
Bouteloua aristidoides
Bouteloua curtipendula
Erioneuron pulchellum
Hilaria belangeri

Purple Threeawn = %
Needle Grama = % #
Sideoats Grama = % #
Fluffgrass = % #
Curly Mesquite = %

Appendix E: Desert Appropriate Plant List

Desert Appropriate Plant List

These plants can be used in landscaped areas that are not enclosed, but are separated from Natural Area Open Space (NAOS) by low walls, paved walkways, headers, or similar physical barriers. If landscaped areas are not physically separated from Natural Area Open Space (NAOS) areas, the plants that may be used shall come from the Indigenous Plant List above. Plants on this list may be used in areas that are enclosed by a three (3) foot high, or greater, opaque wall.

Native-Like Plants

TREES

| | |
|--------------------------------------|---------------------------|
| Acacia berlandieri | Guajillo |
| Acacia cochliacantha | Boat-spine Acacia |
| Acacia crassifolia | Butterfly Acacia |
| Acacia farnesiana | Sweet Acacia |
| Acacia pennatula | Feather Acacia |
| Acacia rigidula | Chaparro Prieta |
| Acacia schaffneri | Twisted Acacia |
| Ceiba aesculifolia | Silk Cotton Tree |
| Cercidium sonora | Sonoran Palo Verde |
| Condalia globosa | Globosa Blue Wood |
| Jatropha cinerea | Leafy Limberbush |
| Lysiloma watsonii divaricatum | Rincon Feathertree |

SUCCULENTS/CACTI

| | |
|----------------------------------|----------------------------------|
| Agave colorata | Mescal Ceniza |
| Agave geminiflora | Twin-Flowered Agave |
| Agave lechugilla | Lechugilla |
| Agave lophantha | Holly Agave |
| Agave ocahui | Ocahui Agave |
| Agave parryi huachucensis | Huachuca Agave |
| Agave parryi truncate | Gentry's Agave |
| Agave victoriae-reginae | Queen Victoria Agave |
| Chrysactina Mexicana | Domianita Daisy |
| Dasyllirion acrotriche | Green Desert Spoon |
| Dasyllirion longissima | Toothless Sotol |
| Dasyllirion texanum | Texas Sotol |
| Echinocactus grusonii | Golden Barrel Cactus |
| Euphorbia antisyphilitica | Candelia |
| Hesperaloe nocturna | Night-Blooming Hesperaloe |
| Nolina bigelovii | Bigelow Nolina |
| Nolina lingifolia | Mexican Grass Tree |

Nolina matapensis
Nolina microcarpa
Opuntia basilaris
Opuntia violaceae
Stenocercus thurberi
Yucca schottigera
Yucca schottii
Yucca valida
Yucca whipplei

Tree Bear Grass
Bear Grass
Beavertail Cactus
Purple Prickly Pear
Organ Pipe Cactus
Mohave Yucca
Mountain Yucca
Tree Yucca
Our Lord's Candle

SHRUBS/BUSHES

Acacia angustissima
Acacia cultiformis
Aloysia lycioides
Aloysia wrightii
Anisacanthus andersonii

Anisacanthus piperulus

Anisacanthus quadrifidus wrightii
Asclepias linaria
Asclepias subnata
Berberis haematocarpa
Brongniartia alamosana
Buddleia marrubifolia
Busera fagaroides
Busera hindsiana
Caesalpinia pulmia
Calliandra californica
Calliandra peninsularis
Condalia correllii
Cordia parvifolia
Cordia sonorae
Dalea bicolor argyrea
Dalea pulchra
Dalea wislizenii
Erythrina flabelliformis
Eysenhardtia orthocarpa
Fallugia paradoxa
Forestiera acuminata parvifolia
Jatropha cardiophylla
Justicia candicans
Lycium brevipes

Fern Acacia
Knife Acacia
White Bush
Wright's Bee Bush
Magdalena Palm Canyon
Honeysuckle
Red Chihnuan
Honeysuckle
Flame anisacanthus
Pineleaf Milkweed
Desert Milkweed
Red Mahonia
Alamos Pea Tree
Woolly Butterfly Bush
White Bark Tree
Red Elephant Tree
Copper Caesalpinia
Baja fairy Duster
La Paz Fairy Duster
Mexican Blue Wood
Little-Leaf Cordia
Sonoran Cordia
Silver Dalea
Bush Dalea
Wislizenii's Dalea
Arizona Coral Bean
Kidneywood
Apache Plume
Desert Olive
Limberbush
Red Honeysuckle
Mexican Wolfberry

Maytenus phyllanthowes
Muhlenbergia dumosa
Muhlenbergia rigens
Rhus choriophylla
Rhus microphylla
Rhus trilobatta
Rhus virens
Ruellia californica
Ruellia peninsularis
Senna wislizenii
Solanum hindsianum
Sophora arizonica
Tecoma stans
Vallesia baileyana
Zauschneria californica

Mangle Dulce
Bamboo Muhly
Deer Grass
Chihuahuan Leather-Leaf
Little-Leaf Desert Sumac
Squaw Bush
Huachuca Sumac
Sonoran Desert Ruellia
Baja Ruellia
Shrubby Senna
Blue Solamun Shrub
Arizona Mescal Bean
Narrow-Leaf Yellow Bells
Vallesia
Hummingbird Trumpet
Bush

GROUNDCOVER

Ageratm corymbosum
Dalea greggii
Pelisiphonia brachysiphon
Stachys coccinea
Tagetes palmeri
Zinnia acerosa

Desert Ageratum
Trailing Indigo Bush
Rock Trumpet
Texas Bctony
Mt. Lemmon Marigold
Desert Zinnia

EARL, CURLEY & LAGARDE, P.C.
ATTORNEYS AT LAW

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3101 North Central Avenue
Suite 1000
Phoenix, Arizona 85012

April 28, 2015

SUPPLEMENT
Citizen Review Report
Wildcat Hill-South of Cave Creek Road and Bartlett Dam Road
Rezoning, MEDCP and Preliminary Plat requests
Project Number 231-PA-2014

As summarized on the attached Citizen Review Report, this proposed development has been reviewed on numerous occasions and in different types of meetings; e.g. open house or personal face to face meetings with area owners and residents. Subsequent to the September open house meeting, the Applicant was requested by Staff to make a supplemental application for this proposal. The original subdivision for Wildcat Hill received a master plan approval known as a MEDCP. Staff requested that the original MEDCP application be updated amended to be consistent with these proposed development. The subsequently submitted MEDCP is consistent with the proposed rezoning and preliminary pre-plat applications and with the presentation and discussions with area owners.

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3101 North Central Avenue
Suite 1000
Phoenix, Arizona 85012

October 23, 2014

Citizen Review Report
Wildcat-South of Cave Creek Road and Bartlett Dam Road
Rezoning and Preliminary Plat request
Project Number 231-PA-2014

PROJECT DESCRIPTION

Quantum Capital and Wildcat Partners, LLC, seeks approval of a Rezoning and a companion Preliminary Plat for the property known as Wildcat Hill, an approximate 360 acre property located south of Cave Creek Road and Bartlett Dam Road. The proposal is to develop 122 ultra-low density lots that will be a minimum of 80,000 square feet in size for custom and semi-custom home development. This subdivision will be buffered on all sides either by 160 ft. – 200 ft. of natural area open space or by the Tonto National Forest to the north and east. At a minimum of 80,000 square feet the lots will be almost double the size of the existing low density residential development in the area-most all of which is zoned R1-43. This rezoning case and companion preliminary plat will allow only one home for every 2.7 acres – roughly 1/3 of the surrounding zoning and lotting patterns.

This zoning request for R1-70 complies with the General Plan land use designation for this area.

CITIZEN NOTIFICATION PROCESS

Following submittal of the Citizen Review Plan, the following Citizen Review Plan process was initiated:

- A notification letter was sent by first class mail on August 29, 2014 to all property owners and HOAs within 750-feet of the subject site to advise them of the proposed Rezoning and Preliminary Plat applications and neighborhood meeting. Copies of the list, map and letter are attached.
- Owners of lots immediately abutting the site were personally contacted to discuss the various elements of the request and to determine if there were any specific concerns relating to this property and the proposed development. Most of these contacts involved in-person meetings.
- A Neighborhood Open House Meeting was held on Tuesday, September 16, 2014 at 6:00 p.m. at the Carefree Resort and Conference Center (Palo Verde Room), 37220 N. Mule Train Road. The project engineers, property owner and zoning counsel all attended this Open House. Twenty six (26) residents and property owners from the surrounding area attended. A copy of the sign-in sheet is attached.

RESULTS OF CITIZEN NOTIFICATION PROCESS

As noted above, the property owner, David Cornwall, visited personally with nearly all of the property owners adjacent to the subject property prior to the Neighborhood Meeting Open House. As a result, most of the residents' questions had already been answered, but the meritorious features of the proposal were reviewed again and a number of exhibits illustrating the proposed 122 lot development and comparing the new proposal to the previously approved and recorded plat were utilized and proved helpful to the residents to visualize the proposal.

David Cornwall continues to be in contact with these nearby owners and other interested parties in the area to keep them informed. If necessary, the development team will hold additional follow-up meetings with these interested parties and/or surrounding owners.

SUMMARY OF NEIGHBORHOOD MEETING OPEN HOUSE

The neighborhood meeting on September 16th was very positive. As noted, the owner, Dave Cornwall, engineers from Coc and Van Loo, Brian Hensley and George Cannataro and representatives of Earl, Curley and Lagarde, Stephen C. Earl and Gary King, were all present to review the proposed developments details and answer any questions. Twenty six (26) people attended. The primary area of interest from the neighbors was how drainage would be handled since the area, and valley, had just experienced a very significant rain event. The questions raised and corresponding responses are as follows:

1. How will drainage be handled?

Response – Drainage will be handled in accordance with all of the City's and County's regulations. However, while not related to the subject property, the area has recently experienced damage due to run-off from a major storm event. Mr. Cornwall is working with the residents to possibly help this existing situation with design on the subject property. The project may therefore help to alleviate the impact of severe flood run-off in the larger area.

2. How will the new water storage facility function?

One resident from Tonto Hills asked several questions about the proposed water facility – where will it be placed, what elements will be included, are there any above ground water storage ponds?

Response – All elements of this water pump and storage facility will be inside the new building. The storage ponds are below ground and the facility is in the NEC.

Will the water facility emit noise?

Response – No, there will not be any noise projected outside the building.

3. Are you aware of ATV's that come into this area?

Response – Yes

4. What about access to Wildcat Hill?

Response – There will be public access maintained to and from the landform. Individuals may hike along the power line corridor and onto Wildcat Hill. No motorized vehicles will be allowed.

5. Won't this development generate a lot of traffic on Cave Creek Road?

Response – Not really. Only 122 lots are proposed with this project as compared to Desert Mountain with thousands of units. It's really the lifestyle issue and people who choose to live here in this far north area of Scottsdale tend to not be commuters. And Wildcat will be adding a right turn lane to move traffic off of Cave Creek Road more smoothly into the subdivision, thus allowing for a continuous flow of traffic on Cave Creek Road.

6. You should have a second entrance.

Response – We do have a secondary emergency access/exit.

7. What building height are you proposing?

Response – Code allows 30 ft. above natural grade but we are limiting height to 24'.

8. What about water pressure?

Response – We are constructing the water storage facility on site, which will improve water pressure downstream, but there will be no change for Tonto Hills.

9. Will there be lot sales to individual private parties?

Response – Yes.

10. General comments from residents to the west included:

- We are pleased with fewer units along our common property line, the deeper and larger setbacks and no disturbance in the buffer along the west property line.
- The proposed plan looks much more open with much less disturbance on-site as compared to the recorded plat and we appreciate the fewer crossings of the natural washes.
- Although the existing recorded plat has fewer lots, these proposed lots are still 1.8 to 2.7 acres in size and the other design features offset the increase in density.
- We are primarily concerned with ensuring there are no adverse changes to natural stormwater drainage/washes throughout the area.
- On all the areas of interest upon which the development team received questions, the attendees indicated they were satisfied with the answers given:

Pump Station – Satisfied

Traffic – Satisfied

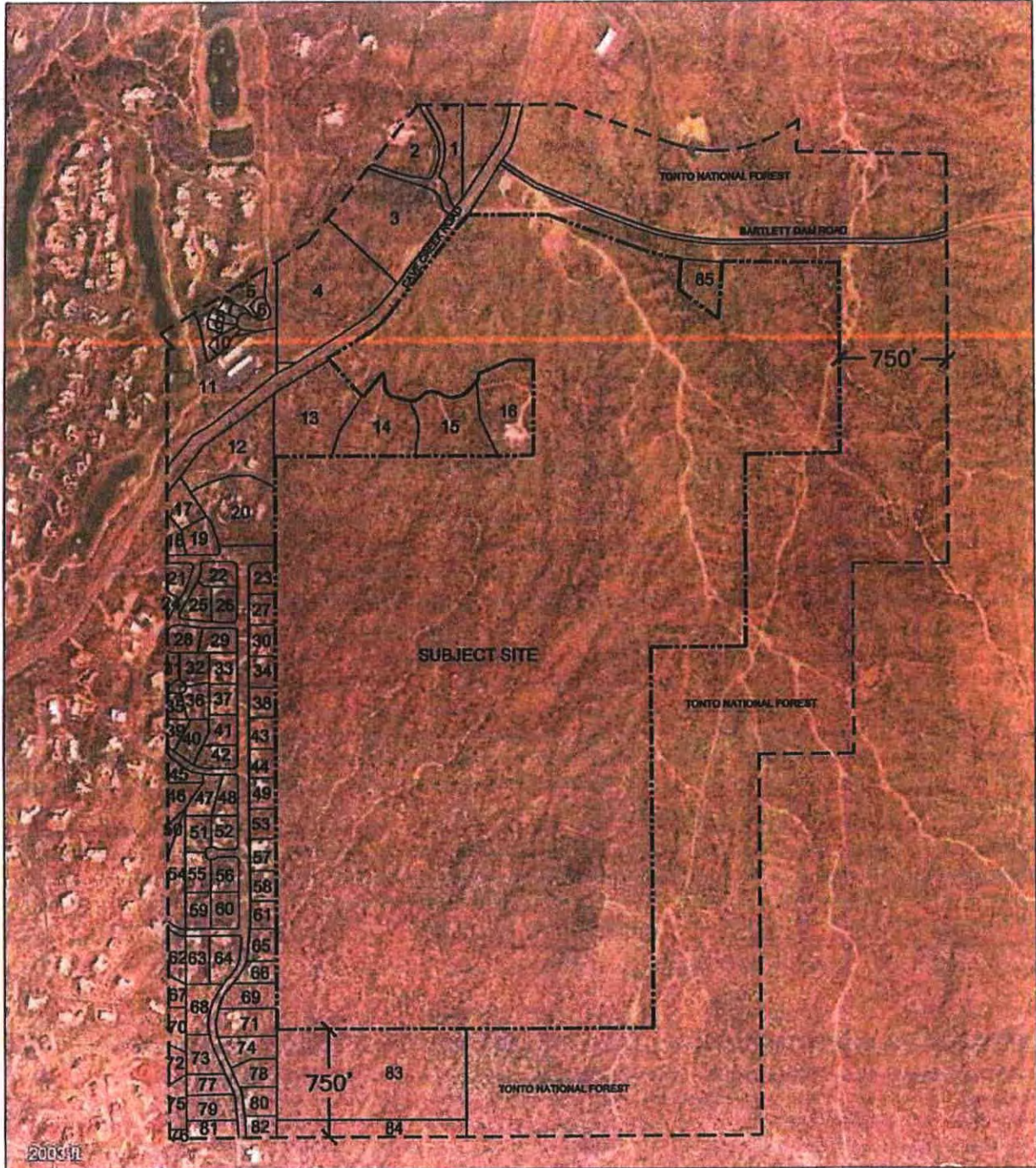
Building Height – Satisfied

Density – Satisfied

Open Space – Satisfied

Natural Buffers to Existing Homes – Satisfied

After the main session of answering questions, various individuals came up and expressed how well the plan was designed and how supportive they were.



WILDCAT HILL BUFFER EXHIBIT

Wildcat



Not to Scale

9/2/2014

WILDCAT HILL BUFFER EXHIBIT APN TABLE

| LABEL # | Owner | APN |
|---------|---|-----------|
| 1 | GOULDER ANDREW P/CHARLOTTE E TR | 21913018 |
| 2 | THORNING MARTHA/ETAL | 21913017 |
| 3 | CHRISTENSEN GREGG A | 21913009 |
| 4 | QUAIL RIDGE DEVELOPMENT LLC | 21913010 |
| 5 | DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C | 21959076 |
| 6 | DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C | 21959078 |
| 7 | ALBANY ANTHONY W/ELAINE C TR | 21959066 |
| 8 | WADDELL KIM | 21959067 |
| 9 | SHIRLEY J HARTMAN TRUST | 21959068 |
| 10 | ULLYOT JOAN L TR | 21959069 |
| 11 | DESERT MOUNTAIN CLUB INC | 21913388 |
| 12 | HULSING DARRELL A/MERIDY J | 21911160E |
| 13 | SCHNEIDER JOSEPH/CAROLINE | 21913007D |
| 14 | SHASKAN FELIX/JANET W TR | 21913007E |
| 15 | SHEAHAN KAMES A/MELODY K | 21913007F |
| 16 | MCCLINTON DAVID B/JAN B | 21913007G |
| 17 | KIMBERLY S BLACKWELL LIVING TRUST | 21960906 |
| 18 | BLACKWELL TIMOTHY L/KIMBERLY S | 21960908 |
| 19 | VOLLMER KEVIN J TR | 21960907 |
| 20 | HARDY ROBERT CHARLES/TERRI LEE ADRIAN | 21911160D |
| 21 | CONNER VICTOR S/SHARON L | 21911227 |
| 22 | BAIRD CRAIG/LISA TR | 21911228 |
| 24 | PIERSON ROBERT G/HELEN M | 21911226 |
| 25 | KELLEY BRIAN P/MILEAH N | 21911229 |
| 26 | GUDENSCHWAGER PHILIP F & KATHLEEN D | 21911230 |
| 27 | KELLEY LEWIS M JR/PATSY J TR | 21911256 |
| 28 | LAI RICHARD TSENG-YU & BARBARA ELLEN | 21911232 |
| 29 | MILDE JAMES H/LESLIE NEWBERG TR | 21911231A |
| 30 | FRITSCH TRUST | 21911257 |
| 31 | LOTT PETER C/BLENDA KAYE TR | 21911233 |
| 32 | LADDON MICHAEL/NINA TR | 21911234 |
| 33 | ROMBERGER ROBERT M/ALICE M | 21911235 |
| 34 | MILDE JAMES H/LESLIE N TR | 21911258 |
| 35 | JACKLIN L PREROST TR/RICHARD J DOUBEK TR | 21911241 |
| 36 | ARRENDALE WILLIAM/JENNIFER | 21911240 |
| 37 | BLACK REVOCABLE TRUST | 21911236 |

| | | |
|----|---|------------|
| 38 | HAMMIL RODNEY H/GREY-HAMMIL GINA D | 21911259 |
| 39 | STEECH DANIEL D | 21911242 |
| 40 | RDT ENTERPRISES LLC | 21911239 |
| 41 | SPECIAL K TRUST | 21911237 |
| 42 | CONCHITA TRUST | 21911238 |
| 43 | HAMMIL RODNEY H/GREY-HAMMIL GINA D | 21911260 |
| 44 | SCHNEIDER HERBERT W/SONJA I | 21911261 |
| 45 | SANDERS L DAVID III | 21911246 |
| 46 | NOME PAUL N/NIKI TR | 21956660A |
| 47 | DILLIAN HOLMES MARTIN/SALLE SCOTT | 21911247 |
| 48 | EDWARDS ARMIN W | 21911248 |
| 49 | KLEINBERG STUART/CAROL TR | 21911262 |
| 50 | SAMMONS NICHOLAS F/MARY F | 21956980 |
| 51 | MAREX SOLUTIONS LLC | 21911250 |
| 52 | D I KORDYSH LLC | 21911249 |
| 53 | JOHN & VALLIE PETERSEN LLC | 21911263 |
| 54 | SAMMONS NICHOLAS F/MARY F | 21956981 |
| 55 | NABER GERALD L/AMERICA TR | 21911251 |
| 56 | EBERT BARRY A & PAMELA B | 21911252 |
| 57 | HAAG LUCIEN C/SANDRA M TR | 21911264 |
| 58 | BOWMAN MARVIN NEWTON/SHIRLEY ANN TR | 21911265 |
| 59 | WEILAND ERWIN | 21911253 |
| 60 | RIVERO-LOWEN ALINA | 21911254 |
| 61 | CULLIVAN MICHAEL/SUNDSTROM ANNE V | 21911266 |
| 62 | VANTAGE | 21956973 |
| 63 | NELSON DAN W/ILENE D | 21960003 |
| 64 | HEILIGER GARY LOUIS/DEANNA LYNN TR | 21960002 |
| 65 | WILKINSON BRIAN D/CARMA L | 21960001 |
| 66 | ENTRUST AZ FBO STEPHEN MILEY IRA | 21960005 |
| 67 | MCFARLIN MICHAEL J/HEIDI A | 21956972 |
| 68 | MASALKHI MUTTAA/RAGHED | 21960004 |
| 69 | SRM NAM TRUST | 21960006 |
| 70 | CONROY PATRICK J/BRENDA K | 21960878 |
| 71 | PERRY DOUGLAS J/DEBRA L | 21960007 |
| 72 | SCHNEIDER ALLEN/SHARON | 21960879 |
| 73 | ENG MARLENE TR | 21960009 |
| 74 | ENTRUST ARIZONA LLC | 21960008 |
| 75 | GARRY S ORAFFERTY AND CAROL J ORAFFERTY REVOC | 21960881 |
| 76 | LOMBARDI ALAN T/TAMMY | 219-60-884 |
| 77 | IRONWOOD RESOURCES LLC | 21960010 |
| 78 | ROWE HELEN/GURNEY KEVIN | 21960011 |

| | | |
|----|--------------------------|----------|
| 79 | WHAN DENNIS M/KAREN J TR | 21960013 |
| 80 | RICKARD LIVING TRUST | 21960012 |
| 81 | MEYERS JOSEPH/TRACY | 21960014 |
| 82 | HIGHFILL JERRY W/JENNY S | 21960015 |
| 83 | SONORAN PEAKS LLC | 21957002 |
| 84 | SONORAN PEAKS LLC | 21957003 |
| 85 | SCOTTSDALE CITY OF | 21913375 |

EARL, CURLEY & LAGARDE, P.C.
ATTORNEYS AT LAW

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3101 North Central Avenue
Suite 1000
Phoenix, Arizona 85012

September 19, 2014

Dr. Debbi Burdick
Superintendent
Cave Creek Unified School District 93
P.O. Box 426
Cave Creek, Arizona 85327

**RE: Rezoning request (Project No.: 231-PA-2014)
South side of Cave Creek Road at Bartlett Dam Road**

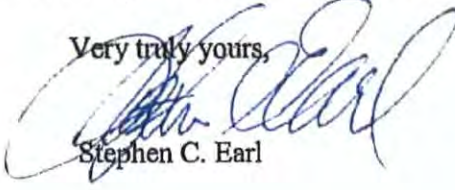
Dear Dr. Burdick,

The letter is being sent to you pursuant to City of Scottsdale Zoning Code (Ordinance No. 455), Article 1, Administration And Procedures, Section 1.1500, Collaborative City And School Planning.

Please be advised that on behalf of Quantum Capital and Wildcat Partners, LLC we are applying for rezoning of 353 acres at Cave Creek Road and Bartlett Dam Road from R1-190 Residential classification to R1-70 Residential classification. This change will result in an increase in single family homes allowed on the subject property. The property is currently platted with 76 lots. This application to rezone the property to R1-70 would increase the total number of lots to 122 units; an increase of 46 lots or 1 new lot for every 7.7 acres of the property. The lots will still range in size from a minimum of 1.8 acres up to 2.7 acres.

Enclosed please find a project summary, a location map, aerial with site plan and the Determination Form required by the City per the above Ordinance. We would like to schedule a meeting with you to discuss this single family residential zoning proposal. I can be reached at (602) 265-0094, Fax (602) 265-2195 or by email at: searl@ecllaw.com.

Very truly yours,


Stephen C. Earl

Attachment: Project Narrative
Vicinity Map
Vicinity Map/Aerial with Site Plan
Determination Form

cc: City of Scottsdale Planning and Development Services
Jesus Murillo



SCHOOL DISTRICT Determination of Adequate Facilities

City of Scottsdale Project Number: 231 -PA- 2014

Project name: Wildcat Hill

Project Location South of Cave Creek Road and Bartlett Dam Road

Applicant Name: Stephen C. Earl of Earl, Curley & Lagarde P.C. Phone: (602) 265-0094

Applicant E-mail: searl@ecllaw.com Fax: (602) 265-2195

School District: Cave Creek Unified School District 93

I, _____ hereby certify that the following determination has been made in regards to the Referenced project:

- The school district had adequate school facilities to accommodate the projected number of additional students generated by the proposed rezoning within the school district's attendance area; or
- The school district will have adequate school facilities via a planned capital improvement to be constructed within one year of the date of notification of the district and located within the school district's attendance area; or
- The school district has determined an existing or proposed charter school as contracted by the district can be provide adequate school facilities for the projected increase in students; or
- The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities within the school district's attendance area in a timely manner (a copy said agreement is attached hereto); or
- The school district does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

Attached are the following documents supporting the above certification:

- Maps of the attendance areas for elementary, middle and high schools for this location.
- Calculations of the number of students that would be generated by the additional homes.
- School capacity and attendance trends for the past three years.

Or,

I, _____, hereby request a thirty (30) day extension of the original discussion and response time.

Superintendent or Designee

Date

Planning, Neighborhood and Transportation Division

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088

Project Narrative
Rezoning and Preliminary Plat requests (Project No.: 231-PA-2014)
South of Cave Creek Road and Bartlett Dam Road

September 19, 2014

Quantum Capital and Wildcat Partners, LLC, will soon be submitting a Rezoning application for R1-70 and a companion Preliminary Plat application for a new ultra low density residential subdivision to be known as Wildcat on approximate 360 acres on the south side of Cave Creek Road at Bartlett Dam Road (See Exhibit A - Aerial Photo). In advance of our filing of these applications, we would like to provide you with some details about the requests.

The existing recorded subdivision on this property has 76 lots. This proposal is to develop 122 lots under the proposed R1-70 Residential zoning district with minimum lot sizes of 1.8 up to 2.7 acres for custom and semi-custom homes. This represents an increase of 1 new lot for every 7.7 acres. The site will be buffered on all sides either by a self-imposed 160 ft. – 200 ft. natural area open space buffer or by the Tonto National Forest on the north and east. Even with this increase in density, these lots will still be almost double the size of most of the existing low density residential development in the larger area under the R1-43 zoning classification. The proposed R1-70 and companion proposed plat will allow only one unit for every 2.9 acres.

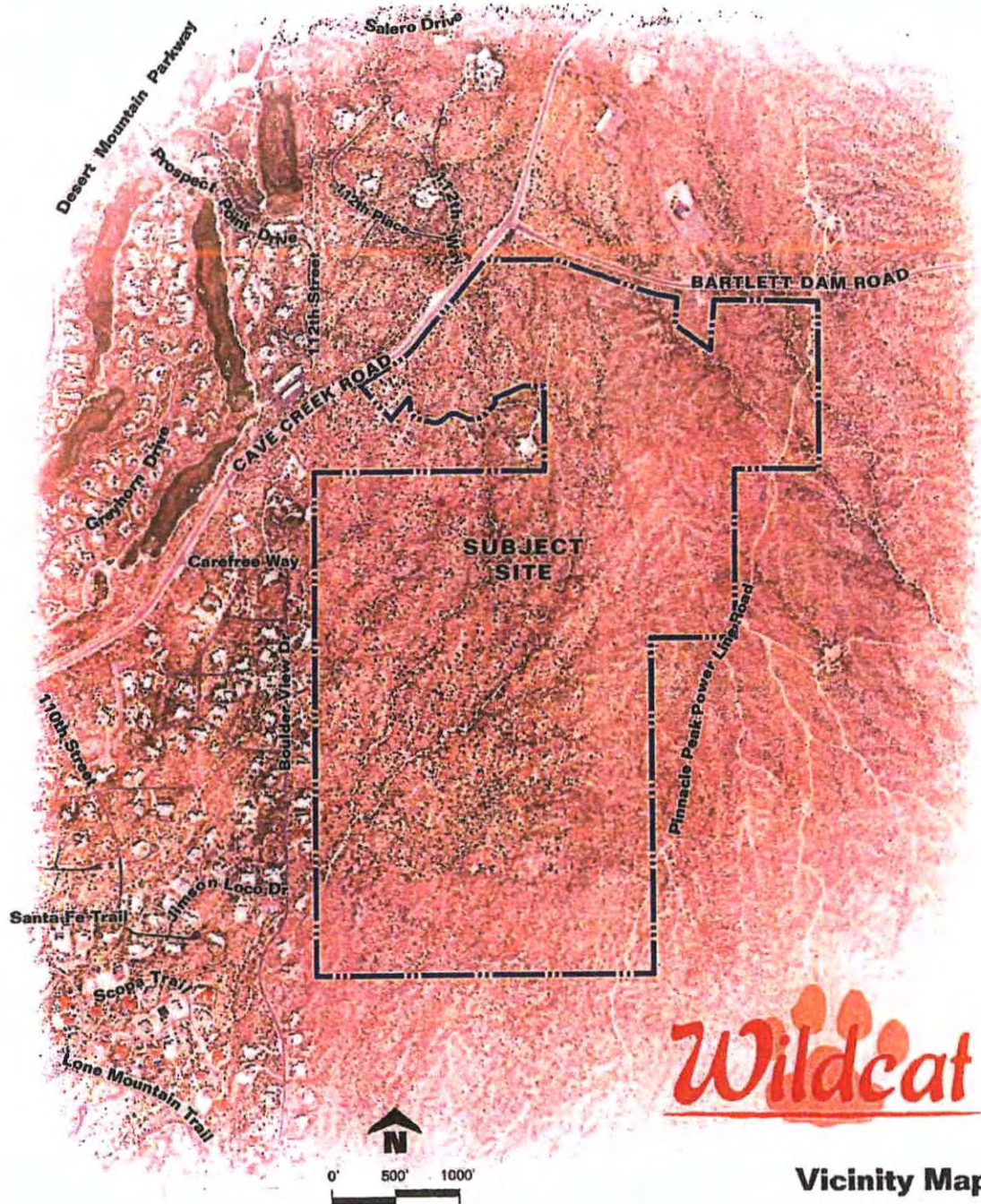
This zoning request complies with the Scottsdale General Plan land use designation for this area.

All lots will feature carefully planned development envelopes that maximize the protection of the site's numerous topographical features and natural vegetation (i.e. regional mountain vistas, wash corridors, Sonoran desert vegetation, boulder outcroppings and the site's namesake landform – Wildcat Hill.

If you have any question regarding our proposal please contact me or our in-house planner on this project, Gary King at (602) 265-0094 or e-mail: gking@ecclaw.com.

The City of Scottsdale Planner assigned to this case is Jesus Murillo and he can be reached at (480) 312-7849 or email: jmurillo@scottsdaleaz.gov. The Pre-Application number for this case is: 231-PA-2014. After submittal, project information is available at www.scottsdaleaz.gov/projects/ProjectsInProgress.

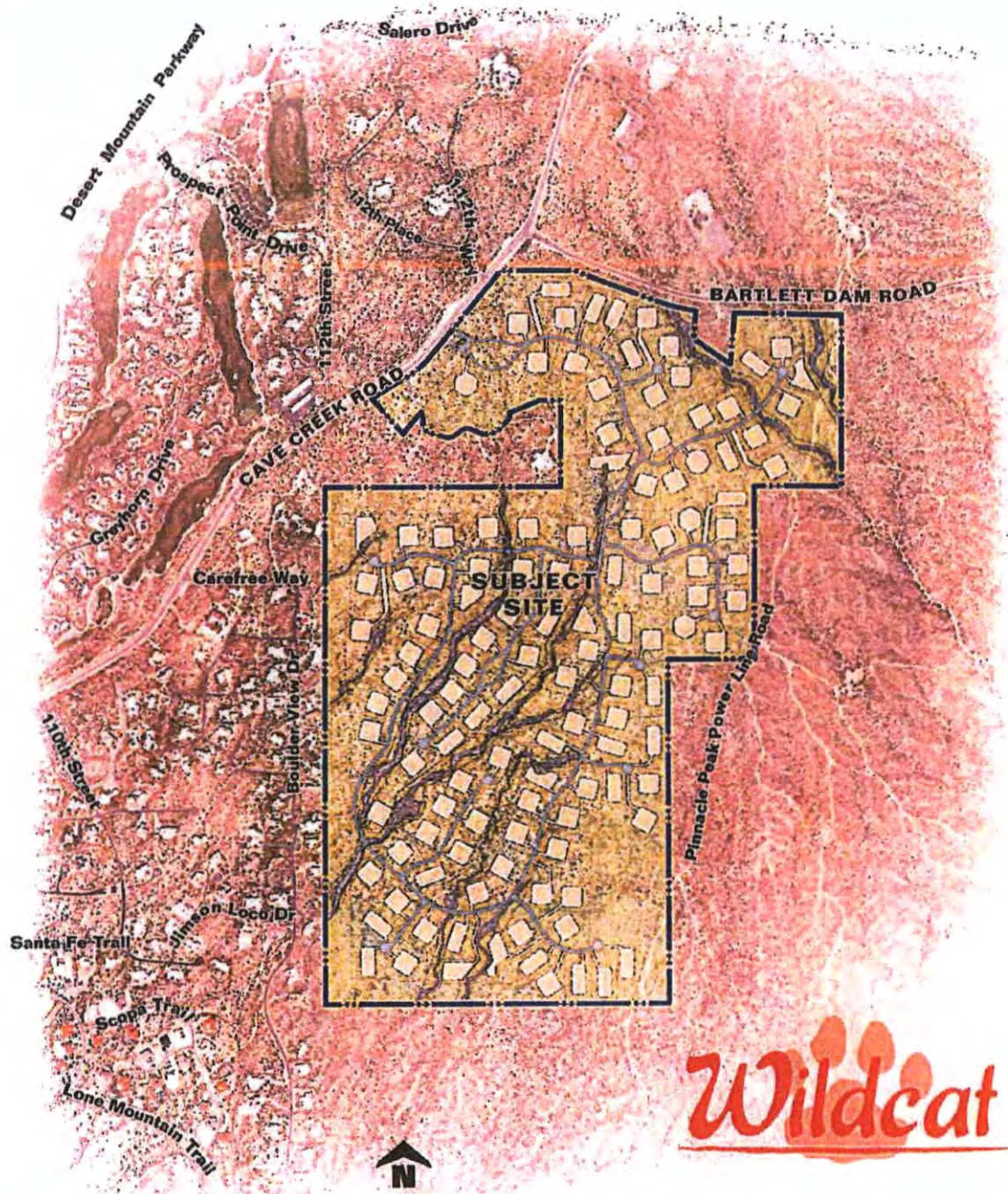
Attachment: Vicinity Map
Vicinity Map/Aerial with Site Plan
School District Response Form



Wildcat

Vicinity Map

28 August 2014
 N:\410253001\Graphics\Wildcat.indd CVL



Wildcat



Vicinity Map with Site Plan

| SENDER: COMPLETE THIS SECTION | COMPLETE THIS SECTION ON DELIVERY |
|--|---|
| <ul style="list-style-type: none"> ■ Complete Items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. | <p>A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee X</p> <p>B. Received by (Printed Name) C. Date of Delivery</p> |
| <p>1. Article Addressed to:</p> <p>Dr. Debbi Burdick Superintendent Cave Creek Unified School District 93 PO Box 426 Cave Creek, AZ 85327</p> | <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p> |
| <p>2. Article Number (Transfer from service label) 7012 0470 0001 0498 2737</p> | |
| PS Form 3811, February 2004 | Domestic Return Receipt 102595-02-M-1540 |

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS. FOLD AT DOTTED LINE.
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 Cave Creek, AZ 85327**

PS Form 3800, August 2006 See Reverse for Instructions

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Ricardo Toris
Earl, Curley & Lagarde, PC
3101 N. Central Ave., #1000
Phoenix, AZ 85012

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US POSTAGE

\$07.40



EARL, CURLEY & LAGARDE, P.C.

ATTORNEYS AT LAW

3101 NORTH CENTRAL, SUITE 1000

PHOENIX, ARIZONA 85012

TO:

Dr. Debbi Burdick, Superintendent
Cave Creek Unified School Dist 93
PO Box 426
Cave Creek, AZ 85327

MAILING NOTIFICATION INFORMATION

DATE: September 3, 2014

TO: FILE

CLIENT: Cornwall/Wildcat Hill NEIGHBORHOOD MEETING

RE: South of Cave Creek Road and Bartlett Dam Road

On this date August 29, 2014
(Date letters were send out/postage date)

169 notification letters were mailed out
(number of notification letters)

By: Rebecca Peterson/Ric Toris
(person responsible for mailing)

Attached: A copy of the notification letter;
 A copy of the notification letter attachments;
 A copy of the notification map;
 A copy of the notification mailing labels
 (including HOA/interested parties/additional
 notification).

EARL, CURLEY & LAGARDE, P.C.
ATTORNEYS AT LAW

Telephone (602) 265-0094
Fax (602) 265-2195
www.ecllaw.com

3101 North Central Avenue
Suite 1000
Phoenix, Arizona 85012

August 29, 2014

RE: *Neighborhood Meeting*
Rezoning request (Project No.: 231-PA-2014)
South and west of Cave Creek Road and Bartlett Dam Road

Dear *Property Owner* or *Homeowner Association*:

The purpose of this letter is to inform you that our office, on behalf of the Quantum Capital and Wildcat Partners, LLC, plans to submit a Rezoning application and a companion Preliminary Plat application for the property known as Wildcat Hill, an approximate 360 acre property located south of Cave Creek Road and Bartlett Dam Road (See Exhibit A - Aerial Photo). In advance of our filing these applications, we would like to provide you with some details about the request and also invite you to a neighborhood meeting to learn more about these requests.

In short, the proposal is to develop 122 lots under R1-70 zoning with minimum sizes of 80,000 square feet or larger for custom home development. The site will be buffered on all sides either by a 160 ft. – 200 ft. of natural area open space or the Tonto National Forest on the north and east. These lots will be almost double the size of the existing low density residential development in the larger area-most all of which is zoned R1-43. The rezoning and companion proposed plat will allow only one unit for every 2.9 acres – roughly 1/3 as dense as the surrounding zoning and lotting pattern.

This zoning request for R1-70 complies with the Scottsdale General Plan land use designation for this area. While the proposed R1-70 zoning could otherwise allow up to 160 lots, this project will be restricted to only 122 lots with the 80,000 square feet minimum lot area noted above, which is significantly larger than the minimum of 60,000 sq. ft. in the R1-70 zoning district.

You are invited to attend our Neighborhood Meeting on:

Tuesday, September 16, 2014 at 6:00 p.m.
at the Carefree Resort and Conference Center (Palo Verde 1 Room)
37220 N. Mule Train Rd, Carefree, AZ 85377

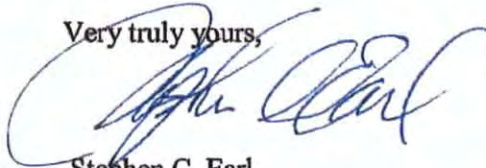
Again, this request is for approval of a Rezoning request for R1-70 zoning (which complies with the General Plan land use designation) with a companion preliminary plat for 122 residential lots that will be restricted to a minimum lot area of 80,000 square feet. All lots will feature carefully planned development envelopes that maximize the protection of the site's numerous topographical features and natural vegetation (i.e. regional mountain vistas, wash corridors, Sonoran desert vegetation, boulder outcroppings and the site's namesake landform – Wildcat Hill).

August 29, 2014
Page 2

We hope you can join us on Tuesday, September 16, 2014. If you are unable to attend and review our proposal please contact me with any questions or comments or you may also contact our in-house planner, Gary King at (602) 265-0094 or e-mail: gking@ecllaw.com.

The City of Scottsdale Planner assigned to this case is Jesus Murillo and he can be reached at (480) 312-7849 or email: jmurillo@scottsdaleaz.gov. The Pre-Application number for this case is: 231-PA-2014. After submittal, project information is available at www.scottsdaleaz.gov/projects/ProjectsInProgress.

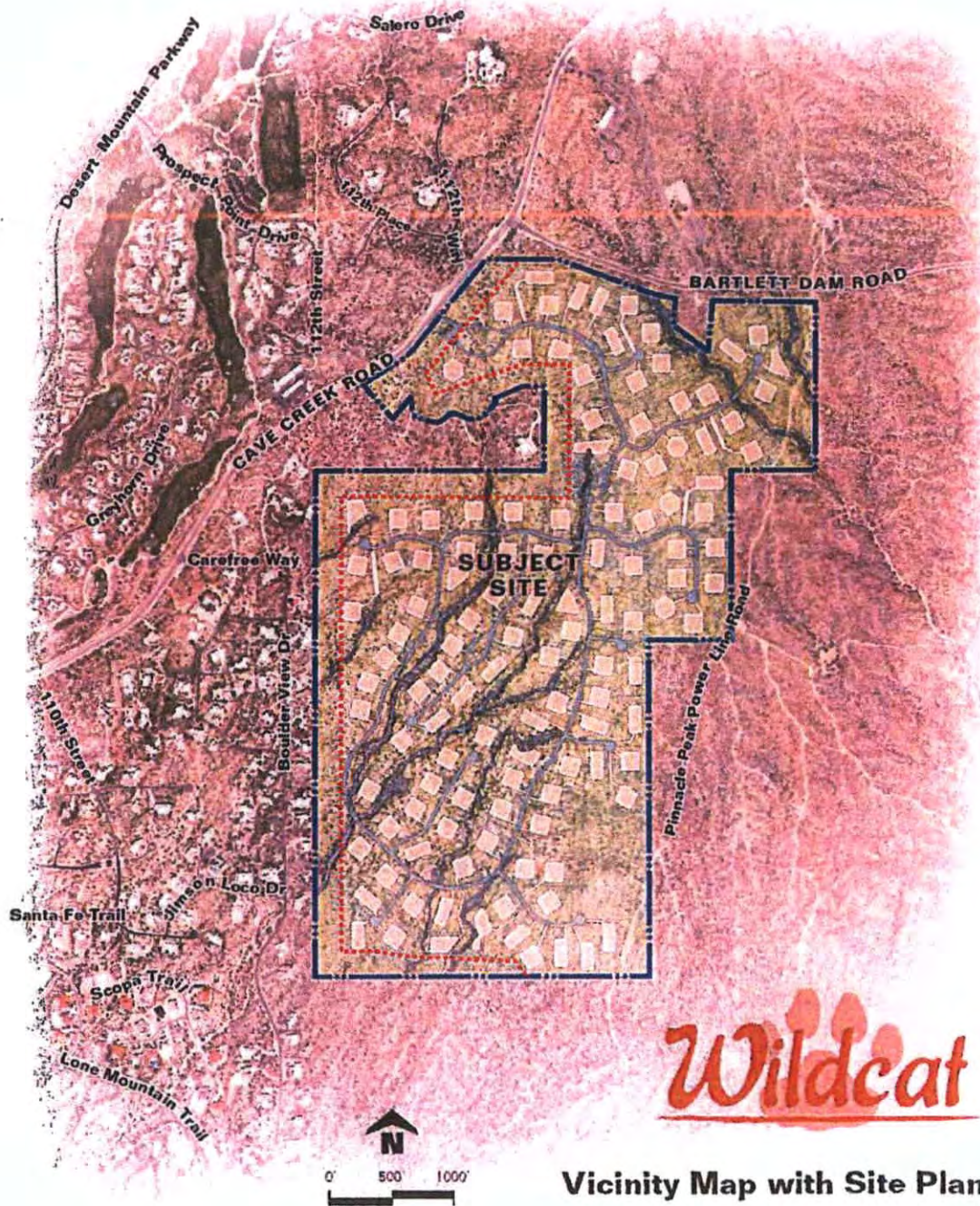
Very truly yours,

A handwritten signature in blue ink, appearing to read "Stephen C. Earl", written over a circular scribble.

Stephen C. Earl

Attachment: Aerial with Site Plan

O:\INDEX\Cornwall\Wilmot Hill\Letters\Neighborhood Meeting Letter_8.27.2014.docx



Wildcat

Vicinity Map with Site Plan



Affidavit of Posting

Required: Signed, Notarized originals.
Recommended: E-mail copy to your project coordinator.

Project Under Consideration Sign (White) Public Hearing Notice Sign (Red)

Case Number: 231-PA-2014

Project Name: _____

Location: south of Cave Creek and Bartlett Dam Roads

Site Posting Date: August 29, 2014

Applicant Name: Earl, Curley & Lagarde

Sign Company Name: Dynamite Signs, Inc.

Phone Number: 480-585-3031

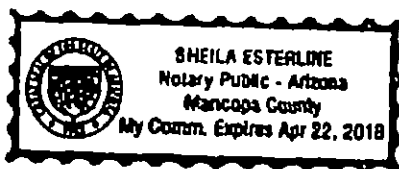
I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Earl Curley
Applicant Signature

8.29.14
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me this the 29 day of Aug 2014



Sheila Esterline
Notary Public

My commission expires: Apr 22, 2018

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: September 16, 2014
Time: 6:00 P.M.
Location: Carefree Resort & Conference Center (Palo Verde Rm.)
37220 N. Mule Train Rd., Carefree, AZ 85377

Site Address: South of Cave Creek and Bartlett Dam Roads
Scottsdale, AZ 85262

Project Overview:

- Description of Request: A Rezoning and companion Preliminary Plat request
- Description of Project and Proposed Use: Proposed 122 large lot residential community
- Site Acreage: +/- 380 acres
- Site Zoning: Existing: R1-190 Proposed: R1-70

Applicant Contact:

Stephen Earl / Gary King 602-265-0094
searl@ecflaw.com / gking@ecflaw.com

City Contact:

Jesus Murillo 480-312-7849
jmurillo@scottsdaleaz.gov

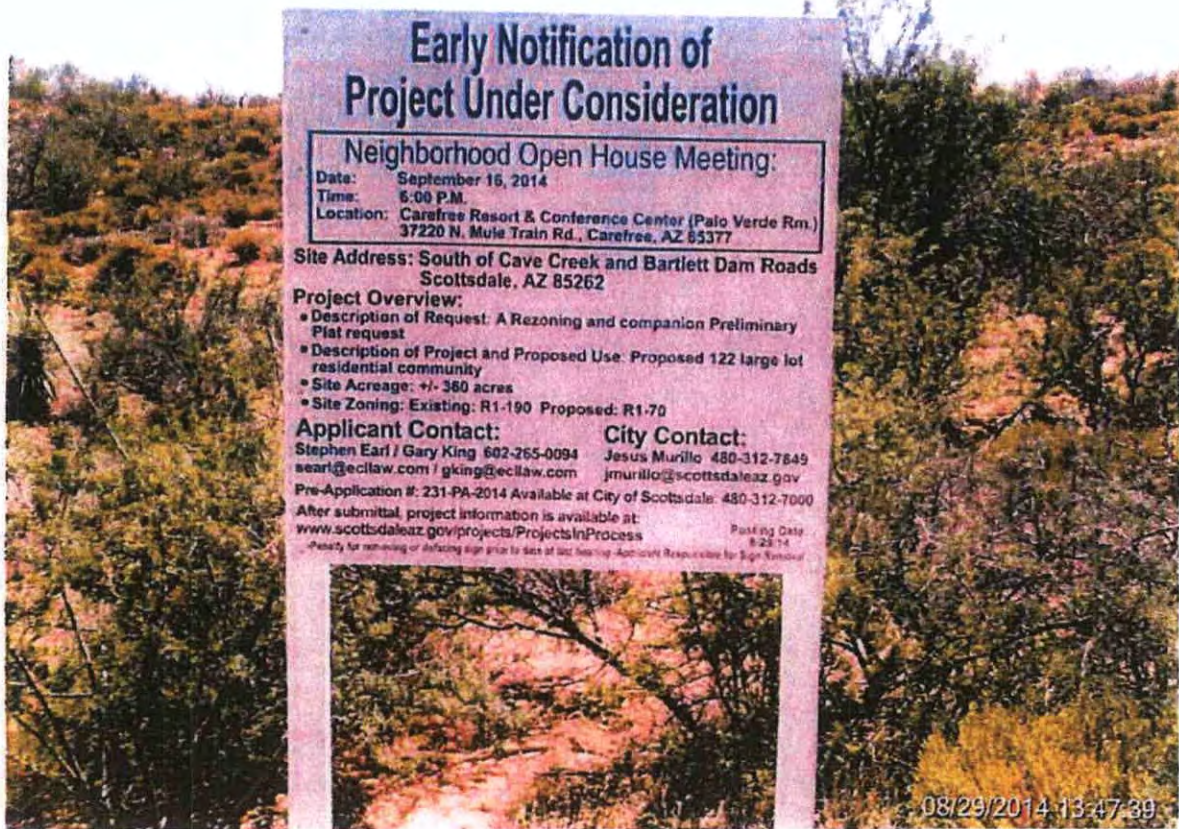
Pre-Application #: 231-PA-2014 Available at City of Scottsdale: 480-312-7000

After submittal, project information is available at:
www.scottsdaleaz.gov/projects/ProjectsInProcess

Posting Date:
8-28-14

Penalty for removing or defacing sign prior to date of last hearing - Applicant Responsible for Sign Removal

08/29/2014 13:04:13



Early Notification of Project Under Consideration

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Stephen Earl / Gary King 602-265-0094
searl@ecflaw.com / gking@ecflaw.com

City Contact:

Jesus Murillo 480-312-7849
jmurillo@scottsdaleaz.gov

Pre-Application #: 231-PA-2014 Available at City of Scottsdale: 480-312-7000

After submittal, project information is available at:
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Posting Date:
8-28-14

Penalty for removing or defacing sign prior to date of last hearing - Applicant Responsible for Sign Removal

08/29/2014 13:47:39

Neighborhood Meeting

SIGN-IN SHEET

Wildcat

September 16, 2014 at 6:00 pm

Palo Verde Room, Carefree Resort & Conference Center
37220 North Mule Train Road

→ STEVEN RENSEL@GMAIL.COM

| NAME | ADDRESS/CITY/ZIP | PHONE & E-MAIL |
|--------------------------|---|-------------------------------|
| GINA GREY | 39023 N. BOULDER VIEW DR. SCOTT. | 480-595-5588 |
| ROD HAMMIL | " " | " ginaewspa.org |
| STEVEN RENSEL | 42421 N Samadera Ck AZ 85331 | 602-377-9855 |
| Geuld Mann | 11522 E Marana Road CC AZ | 602-920-4304 |
| Shirley + Marvin Bowman | 38625 N Boulder View Dr Carefree 85377 | 480-488-3231 |
| Joe Schwab | 6559 E Marana Vista Ln | 480 703-6086 |
| Steve & Nancy Miley | 38127, 38151, 38079 N. Boulder View Dr | 480 361 1158 srml47@aol.com |
| HERB + SONJA SCHWEIDEL | 38843 N. BOULDER VIEW DR | 480-488-5753077 |
| FELIX SHASKAN | PO Box 5513 CAREFREE | 480-595-7241 |
| Dan Wolski | PO Box 2335 Carefree AZ 85377 | 480-266-7557 dan.wolski@ |
| Dennis + Karen Uhan | 38006 N. BOULDER VIEW DR 85262 | durban@cox.net ruschka.com |
| Danell + Meridy Hulsing | 14610 N. 8 th Way, Phx, AZ 85022 | 602-881-2273 |
| Luke + Sandi Haag | 38643 N. Boulder View Dr. Scotts 85262 | 480-488-4445 |
| Nishi Mulder | 38904 Boulder View Dr S | 480-488-8808 |
| Toni Hardy | PO Box 3427 Carefree 85377 | 480-488-1251 |
| Henry Rynn | 39221 N Carefree Rd | 602-347-9575 rynn@inxsol.com |
| STUART + CAROL KLEINBERG | 38825 N BOULDER VIEW DR, SP, 85262 | 480-585-9721 CAROL.KLEINBERG@ |

ADL. EST

| NAME | ADDRESS/CITY/ZIP | PHONE & E-MAIL |
|--------------|---|-------------------------------------|
| Tom Cogliari | 42057 N. Old Man Rd. Cave Creek, AZ 85531 | 480 725-8098 kaizen@weyher.com |
| KEITH PEIRCE | PO Box 2800-121 CAVE CREEK AZ | 480 5959126 CAVE CREEK 300 25th St. |
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Community Input Certification

CASE NO: 231-PA-2014

PROJECT LOCATION: SEC Cave Creek Road & Bartlett Dam Road

COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

| DATE | NAME (Person, Organization, Etc. and Address) | Type of Contact | | |
|-----------|---|-----------------|-------|--------|
| | | Meeting | Phone | Letter |
| Aug. 2014 | (see attached) | | | |
| Sept 2014 | | X | X | |
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Clay King
Signature of owner/applicant

10/27/14
Date

Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

**Wild Cat 231-PA-2014
Community Input Certification List**

Names of People Contacted

In Person

HULSING DARREL A/MERIDY J,
HARDY ROBERT CHARLES/TERRI LEE ADRIAN,
KELLEY LEWIS M JR/PATSY J TR,
FRITSCH TRUST,
SCHNEIDER HERBERT W/SONJA I,
HAMMIL RODNEY H/GREY-HAMMIL GINA D,
KLEINBERG STUART/CAROL TR,
HAAG LUCIEN C/SANDRA M TR,
BOWMAN MARVIN NEWTON/SHIRLEY ANN TR,
HOLLAND TIMOTHY J/CAROL J TR,
ENTRUST AZ FBO STEPHEN MILEY IRA,
SRM NAM TRUST,
ENTRUST ARIZONA LLC,
SONORAN PEAKS LLC,
ROWE HELEN/GURNEY KEVIN,

14610 N 8TH WAY, PHOENIX, AZ 85022
PO BOX 3427, CAREFREE, AZ 85377
PO BOX 3470, CAREFREE, AZ 85377
39205 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
38843 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
39023 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
38825 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
38643 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
PO BOX 2050, CAREFREE, AZ 85377
38175 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
20860 N TATUM BLVD STE 240, PHOENIX, AZ 85050
38127 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
20860 N TATUM BLVD, NO 240, PHOENIX, AZ 85050
14901 N SCOTTSDALE RD STE 201, SCOTTSDALE, AZ 85254
38055 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262

By Phone

JOHN & VALLIE PETERSEN LLC,

1812 DUNHILL CIRC, GLENVIEW, IL 60025



**SCOTTSDALE DEVELOPMENT REVIEW BOARD
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA
Thursday, December 5, 2019**

SUMMARIZED MEETING MINUTES

PRESENT:

Solange Whitehead, Councilmember
Tammy Caputi, Vice Chair
Prescott Smith, Planning Commissioner
Joe Young, Design Member
Shakir Gushgari, Design Member
William Scarbrough, Development Member
Doug Craig, Design Member

ABSENT:

None

STAFF:

Steve Venker
Margaret Wilson
Melissa Berry
Chris Zimmer
Ben Moriarity
Greg Bloemberg
Jesus Murillo

CALL TO ORDER

Councilwoman Whitehead called the meeting of the Development Review Board to order at 1:01 PM.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

* Note: These are summary action minutes only. A complete copy of the meeting audio/video is available on the Development Review Board website at:
http://scottsdale.granicus.com/ViewPublisher.php?view_id=36

ADMINISTRATIVE REPORT

1. Identify supplemental information, if any, related to December 5, 2019 Development Review Board agenda items, and other correspondence.

MINUTES

2. Approval of the November 21, 2019 Development Review Board Meeting Minutes.

BOARD MEMBER SCARBROUGH MOVED TO APPROVE THE OCTOBER 17, 2019 DEVELOPMENT REVIEW BOARD MEETING MINUTES, 2nd BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY IN FAVOR BY COUNCILWOMAN WHITEHEAD, VICE CHAIR CAPUTI, COMMISSONER SMITH, BOARD MEMBERS YOUNG, GUSHGARI, CRAIG, AND SCARBROUGH WITH AN AYE VOTE OF SEVEN (7) TO ZERO (0).

CONSENT AGENDA

3. 21-DR-2019 (Shalimar Sands Apartments)
Request approval of the site plan and building elevations for the renovation of an existing apartment complex and a new 2-story-tall building, with two dwelling units totaling approximately 1,320 square feet of building area, on a 1.22-acre site.
6824 East 4th Street
Synectic Design, Architect/Designer

VICE CHAIR CAPUTI MOVED TO APPROVE 21-DR-2019, 2nd BY BOARD MEMBER SCARBROUGH. THE MOTION CARRIED UNANIMOUSLY IN FAVOR BY COUNCILWOMAN WHITEHEAD, VICE CHAIR CAPUTI, COMMISSONER SMITH, BOARD MEMBERS YOUNG, GUSHGARI, CRAIG, AND SCARBROUGH WITH AN AYE VOTE OF SEVEN (7) TO ZERO (0).

REGULAR AGENDA

4. 1-PP-2019 (Wildcat Hill)

Request approval of the preliminary plat for a 122-lot residential subdivision on a 353-acre site, with amended development standards for increased minimum lot area, reduced minimum lot width, reduced maximum building height, reduced setbacks, and including the Natural Area Open Space plan, the preliminary landscape and hardscape plan, and the project phasing exhibit.

Southeast Corner of North Cave Creek Road and East Bartlett Dam Road
CVL Consultants, Architect/Designer

BOARD MEMBER GUSHGARI MOVED TO APPROVE 1-PP-2019, 2nd BY BOARD MEMBER YOUNG. THE MOTION CARRIED UNANIMOUSLY IN FAVOR BY COUNCILWOMAN WHITEHEAD, VICE CHAIR CAPUTI, COMMISSONER SMITH, BOARD MEMBERS YOUNG, GUSHGARI, CRAIG, AND SCARBROUGH WITH AN AYE VOTE OF SEVEN (7) TO ZERO (0).

5. 9-UP-2019 (Indian Bend Wash Municipal Use Master Site Plan)

Request a recommendation to City Council regarding a request by the City of Scottsdale for approval of a Municipal Use Master Site Plan (MUMSP) for the purpose of updating the overall design concept for Indian Bend Wash (IBW) in preparation for future upgrades, to be completed on a phased basis.

Indian Bend Wash from East Thomas Road to East McKellips Road
J2 Engineering & Environmental Design, LLC, Architect/Designer

COUNCILWOMAN WHITEHEAD MOVED TO RECOMMEND APPROVAL OF 9-UP-2019 TO CITY COUNCIL, 2nd BY BOARD MEMBER YOUNG. THE MOTION CARRIED UNANIMOUSLY IN FAVOR BY COUNCILWOMAN WHITEHEAD, VICE CHAIR CAPUTI, COMMISSONER SMITH, BOARD MEMBERS YOUNG, GUSHGARI, CRAIG, AND SCARBROUGH WITH AN AYE VOTE OF SEVEN (7) TO ZERO (0).

Alex McLaren, Sonnie Kirtley, and Nancy Canton spoke.

6. 2020 Development Review Board Calendar
Review and possible approval of the Development Review Board 2020 hearing dates.

BOARD MEMBER SCARBROUGH MOVED TO APPROVE THE 2020 DEVELOPMENT REVIEW BOARD CALENDAR WITH THE ADDITION OF A MAY 28, 2020 JOINT MEETING WITH PLANNING COMMISSION, 2nd BY VICE CHAIR CAPUTI. THE MOTION CARRIED UNANIMOUSLY IN FAVOR BY COUNCILWOMAN WHITEHEAD, VICE CHAIR CAPUTI, COMMISSONER SMITH, BOARD MEMBERS YOUNG, GUSHGARI, CRAIG, AND SCARBROUGH WITH AN AYE VOTE OF SEVEN (7) TO ZERO (0).

NON-ACTION AGENDA

7. 628-PA-2019 Goldstein Diamonds
This is a non-action item. Staff is requesting that the Development Review Board provide comments regarding preliminary concepts for the redesign of an existing building located at 10830 North Scottsdale Road.

THE BOARD DISCUSSED AND STAFF PROVIDED COMMENTS REGARDING THE REDESIGN OF AN EXISTING BUILDING.

ADJOURNMENT

With no further business to discuss, the regular meeting of the Development Review Board adjourned at 2:26 PM.

From: Murillo, Jesus
Sent: Sunday, December 20, 2020 2:54 PM
To: Christine Usher; Brian Wilkinson; Carma Wilkinson
Subject: RE: Following up on 38151 N Boulder View & Wildcat Hill

Hello Chris,

Your client's lot will continue to be used, because the tract continues down, south, to align with you clients parcel. The owner would have to acquire additional easements if they did not use the existing easement on this parcel.

Sincerely,

Jesús

From: Christine Usher <chris@usherhomes.com>
Sent: Friday, December 11, 2020 11:08 AM
To: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>; Brian Wilkinson <Abcwilk@live.com>; Carma Wilkinson <carmachameleon@comcast.net>
Subject: Re: Following up on 38151 N Boulder View & Wildcat Hill

⚠ External Email: Please use caution if opening links or attachments!

Hi Jesus,

Can you answer the question below from my client?

Did I understand Jesus correctly that our lot 38151 is further south than the new plat and will probably not be used???

B

Warm Regards,

Chris Usher



CHRIS USHER

REALTOR®

chris@usherhomes.com

PHONE (480) 861-6624

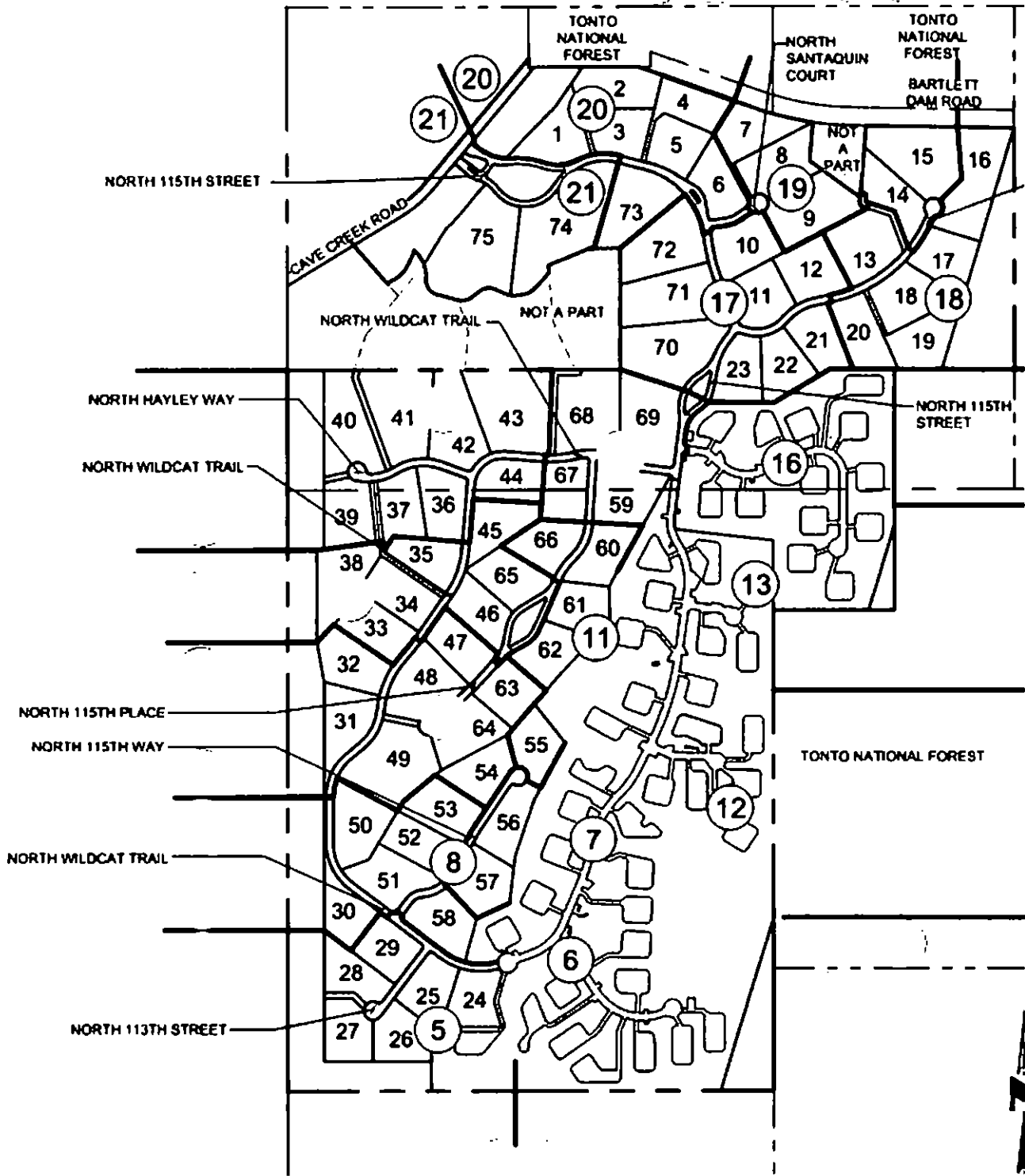


USHERHOMES.COM

On Dec 10, 2020, at 4:34 PM, Murillo, Jesus <JMurillo@ScottsdaleAz.Gov> wrote:

ATTACHMENT #14

<image002.png>



From: Christine Usher <chris@usherhomes.com>
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chris@usherhomes.com

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USHERHOMES.COM

On Dec 10, 2020, at 4:34 PM, Murillo, Jesus <JMurillo@ScottsdaleAz.Gov> wrote:

Hello Chris,

No, the current lot layout identifies the lots prior to the rezoning and preliminary plat approval. Please see below for that approved layout.

As you can see from the graphic below, the Wildcat Hill lots will no longer abut your clients parcel, there is a 150 foot to 200 foot tract between the lots. Your clients lot aligns with lot 27.

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Thanks Jesus!

Are the Wildcat lots shown on tax records right now the same as they were before?

Warm Regards,

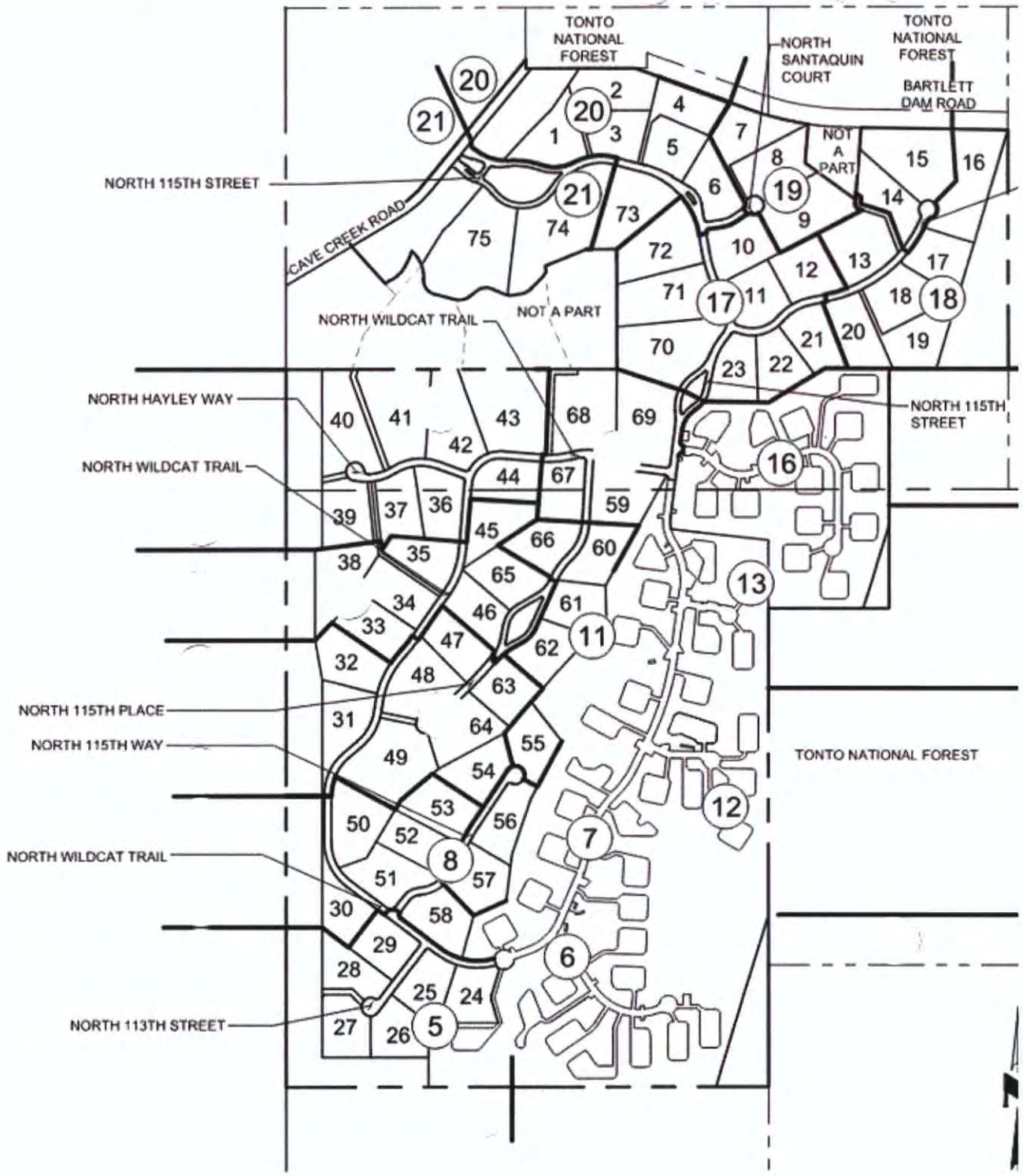
Chris Usher

<image001.jpg>

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<image002.png>



KEY
NOT TO

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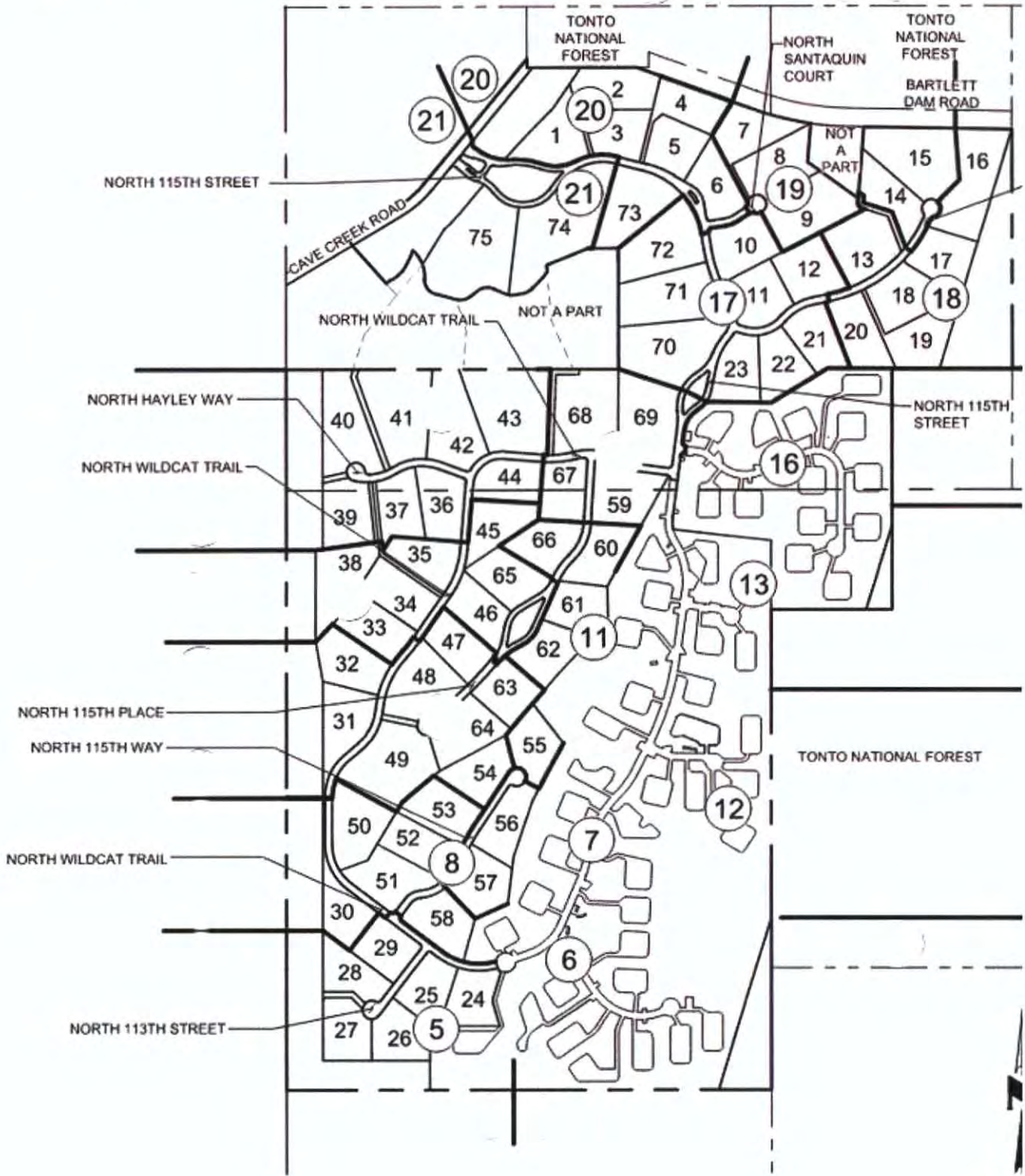
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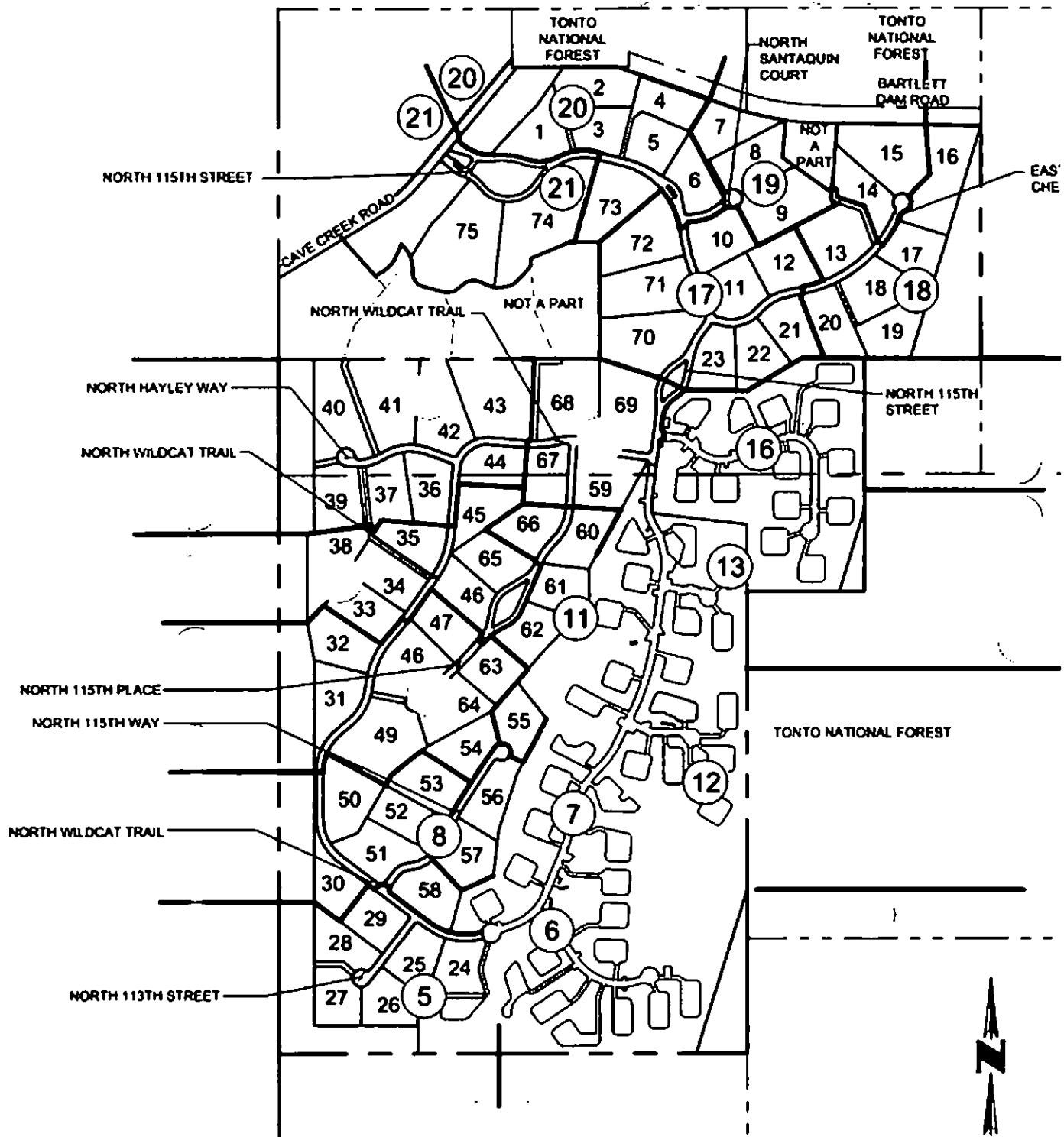
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Chris Usher

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<Scan001.PDF>



KEY MAP
NOT TO SCALE

From: Christine Usher <chris@usherhomes.com>

Sent: Thursday, December 10, 2020 2:54 PM

To: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>

Cc: Brian Wilkinson <Abcwilk@live.com>; Carma Wilkinson <carmachameleon@comcast.net>

Subject: Re: Following up on 38151 N Boulder View & Wildcat Hill

⚠ External Email: Please use caution if opening links or attachments!

Thanks Jesus!

Are the Wildcat lots shown on tax records right now the same as they were before?

Warm Regards,

Chris Usher



CHRIS USHER

REALTOR®

chris@usherhomes.com

PHONE (480) 861-6624



USHERHOMES.COM

On Dec 10, 2020, at 10:54 AM, Murillo, Jesus <JMurillo@ScottsdaleAz.Gov> wrote:

<Scan001.PDF>

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Sent: Thursday, December 10, 2020 10:54 AM
To: Christine Usher
Cc: Brian Wilkinson; Carma Wilkinson
Subject: RE: Following up on 38151 N Boulder View & Wildcat Hill
Attachments: Scan001.PDF

Hello Christine,

I hope all is going well. As we previously discussed, the zoning elements of this project have been in place for a while now (zoning approved in 2015). Approved zoning designations do not expire. It was the preliminary plat that had expired a couple of years ago. It is the re-approval of the preliminary plat/final plat that is in the final stages of re-approval. The final plat is scheduled for the January 12, 2021 City Council hearing date. If approved, staff would be able to begin to issue permits for the property. The final plat was just recently scheduled for City Council approval this last Tuesday, therefore staff will soon begin the task of completing the report and attachments. In fact, staff just notified the applicant of the date yesterday.

I was able to locate the easement you are inquiring about. There is an easement that exists on the property you have mentioned below (along the northern boundary). The easement was obtained but the owner of the Wildcat Hill project in 2015 (please see the attachment). The easement was required by engineering and platting staff prior to Planning Commission and City Council approval of the rezoning. I would look on the owner of parcel 219-60-005's (38151 N Boulder View) title report for confirmation of this information. Any document recorded against this property would be found on the title report. City records would not identify the easement because the easement is a private agreement between the two owners. I will see if my GIS department would be willing to add it to our maps.

I will provide a link to the hearing and report once the materials have been completed and ready for public consumption.

Please feel free to contact me with any further questions or comments.

Sincerely,

Jesús

From: Christine Usher <chris@usherhomes.com>
Sent: Wednesday, December 09, 2020 12:45 PM
To: Murillo, Jesus <JMurillo@ScottsdaleAz.Gov>
Cc: Chris Usher <chris@usherhomes.com>; Brian Wilkinson <Abcwilk@live.com>; Carma Wilkinson <carmachameleon@comcast.net>
Subject: Following up on 38151 N Boulder View & Wildcat Hill

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Hi Jesus,

We spoke early this fall about the Wildcat Hill going in behind my Boulder View listings. I have my clients home and two lots on either side listed (Home is 38175 N Boulder View and lots are 38609 and 38151). I am trying to see where things are at with Wildcat Hill zoning which is the neighborhood going in behind Boulder View to the east.

Can you tell us where things are at with zoning? My client said there was talk of bringing the utilities for that subdivision through 38151 N Boulder View. Brian Wilkinson the homeowner has never received any news from the City of Scottsdale or Wildcat Hill on this easement. **Is there an easement on this lot now or will they be asking for an easement?** I have looked through city records and do not see the easement on any maps.

We would also like to have a link to the city site showing progress of this development as far as zoning. When we last spoke you said city engineers were making Wildcat change some things since their approval in 2015 (expired).

We know you are swamped but we are currently negotiating offers and need a quick reply.

THanks!!!

Warm Regards,

Chris Usher



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THOMAS TITLE & ESCROW

OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
20150225561 04/02/2015 01:40
ELECTRONIC RECORDING

When recorded, mail to:

L151091-12-1-1--
Yorkm

David L. Lansky, Esq.
Dickinson Wright PLLC
1850 North Central Avenue, Suite 1400
Phoenix, Arizona 85004

L151091

1 of 1

PERMANENT UTILITY EASEMENT

For the consideration of Ten Dollars (\$10.00) and other valuable consideration, the receipt and sufficient of which are hereby acknowledged, VANTAGE ARIZONA FBO STEPHEN R. MILEY IRA ("Grantor"), hereby grants to WILDCAT PARTNERS, LLC, an Arizona limited liability company (collectively, the "Grantee"), a permanent, non-exclusive easement ("Easement") in, over, under, upon and across that certain portion of the real property owned by Grantor which is described on Exhibit A attached hereto and made a part hereof (the "Easement Property"), which is a portion of a larger parcel owned by Grantor and legally described on Exhibit B attached hereto and made a part hereof ("Grantor's Property").

The Easement is granted to enable Grantee to utilize the Easement Property for construction, installation, reconstruction, replacement, removal, repair, operation and maintenance of any and all utility lines and installations ("Facilities") and purposes incidental thereto, including a reasonable right of access over Grantor's Property to the Easement Area, for the benefit of property owned by Grantee and surrounding property owners now or hereafter contained within the subdivision to be known as Wildcat Hill and legally described on Exhibit C attached hereto and made a part hereof ("Benefitted Property"). Grantor also grants to Grantee ingress and egress rights to, from, across and along the Easement Property as reasonably may be necessary for Grantee to utilize the Easement Property for the purposes set forth herein. To the fullest extent possible, all Facilities shall be located underground.

All repair, replacement, maintenance or renovation of the Facilities shall be at Grantee's sole cost and expense and shall be performed in compliance with all applicable laws. The plans for Facilities to be installed on the Easement Property shall be prepared by an engineer licensed in the State of Arizona and shall be approved by the City of Scottsdale (the "Approved Plans") before Grantee performs any work on the Easement Property. Grantee's work, including the installation of the Facilities, shall be performed in a good, workmanlike and lien free manner, in conformance with the codes and ordinances of governmental authorities having jurisdiction and in accordance with the Approved Plans. All permits for Grantee's work on the Easement Property shall be obtained by Grantee. Grantee shall, at Grantor's request, assign to Grantor, on a non-exclusive basis, all assignable warranties pertaining to Grantee's work on the Easement Property. If, for any reason, Grantee does not fulfill its duty to repair, replace, maintain and/or renovate the Facilities, Grantor shall have a right of self-help, including the right to repair, replace, maintain and/or renovate and to be reimbursed by the Grantee for the actual amounts incurred.

If Grantee herein finds it necessary to perform excavation activities in or around the Easement Property and Grantee disturbs or damages any of the property or improvements on Grantor's Property while performing such excavation, all such property or improvements disturbed or damaged shall be restored as close to original condition as is reasonably possible at the expense of the Grantee.

Grantee shall keep the Easement Property free of liens attributable to Grantee's work.

Grantee shall indemnify, defend and hold Grantor harmless for, from and against all liability, claims, suits, demands, damages, judgments, costs, interest and expenses (including reasonable attorneys' fees and disbursements) in connection with loss of life, personal injury and/or damage to Grantor's Property arising from or out of any act or omission of the Grantee, its agents, contractors, servants and employees.

The Easement shall in no way restrict the right or interest of Grantor in the use, peace and quiet enjoyment of Grantor's Property (including the Easement Property) to the extent that such use does not unreasonably interfere with the Easement and related rights granted herein to the Grantee; provided, however, Grantor will not construct within the Easement Property walls, fences, structures or install landscaping (but this restriction on landscaping shall only be applicable to landscaping that would be prohibited by the City of Scottsdale).

Grantor shall have the right to use the surface of the Easement Property in any manner which is not inconsistent with and does not interfere with the Grantee's use of the Easement Property; provided, however, Grantor will not construct within the Easement Property walls, fences, structures or install landscaping (but this restriction on landscaping shall only be applicable to landscaping that would be prohibited by the City of Scottsdale).

The easements, covenants and conditions herein contained shall run with the Easement Property for the benefit of the Benefitted Property, and shall be a burden on the Easement Property appurtenant to the Benefitted Property and shall inure to the benefit of and be binding upon the parties hereto, their successors and assigns.

IN WITNESS WHEREOF, the undersigned has executed this Easement effective as of this _____ day of _____, 20__.

GRANTOR:

VANTAGE ARIZONA FBO STEPHEN R. MILEY IRA

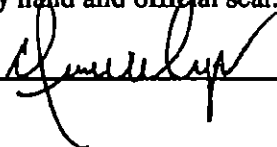
By: *Stephen R. Miley*
Name: Stephen R. Miley
Its: OWNER

STATE OF Arizona }
 }
COUNTY OF Maricopa }ss
 }

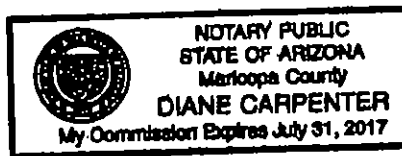
On 4/1/15, before me, Diane Carpenter (here insert name and title of the officer), personally appeared Stephen E. Wiley, proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Indiana that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 

(This area for official notarial seal)

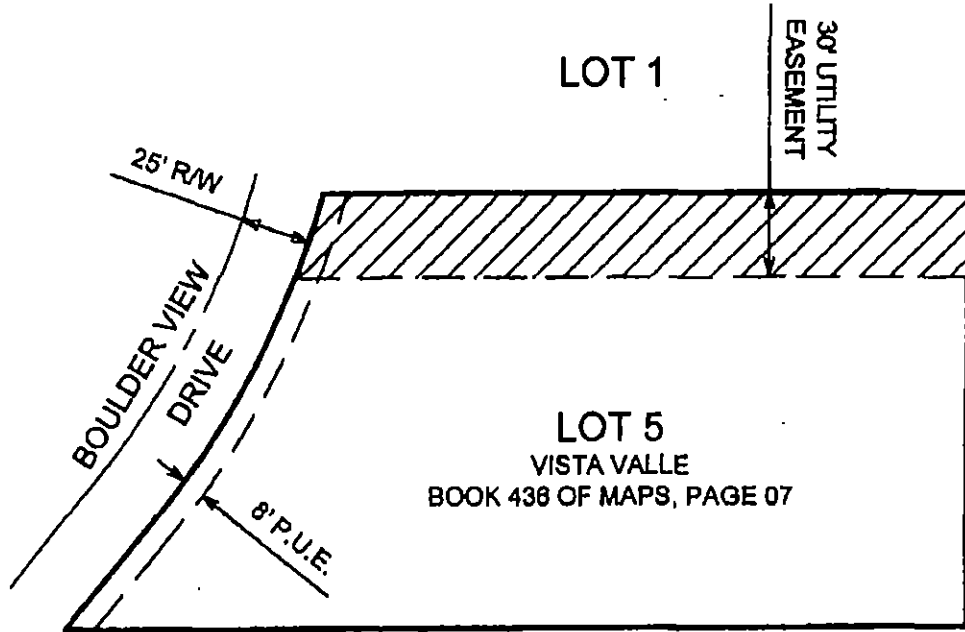


20150225561

EXHIBIT A
LEGAL DESCRIPTION FOR
30' UTILITY EASEMENT

The Northerly 30.00 feet of Lot 5 as shown on a Final Plat of Vista Valle as recorded in Book 436 of Maps, Page 7, Records of Maricopa County, being a subdivision situated in the East Half of the East Half of the Southeast Quarter of Section 28, and the East Half of the East Half of the Northeast Quarter of Section 33, Township 6 North, Range 5 East of the Gila and Salt River Meridian, Maricopa County, Arizona.

EXHIBIT A



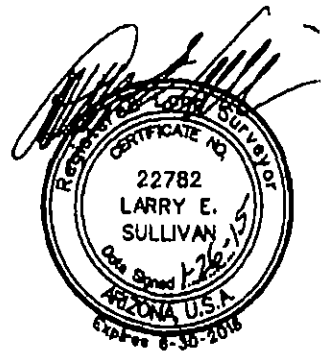
LOT 6



LEGEND

R/W RIGHT OF WAY
 P.U.E. PUBLIC UTILITY EASEMENT

 UTILITY EASEMENT




| | | |
|--|----------------------|---|
| SCALE: 1"=80' | | |
| EXHIBIT | 30' UTILITY EASEMENT |  |
| 4560 North 12th Street Phoenix, Arizona 85014 Phone 602-284-8831 http://www.cvlcl.com | LOT 5, VISTA VALLE | 1 OF 1 |

EXHIBIT B TO PERMANENT UTILITY EASEMENT

Legal Description of Grantor's Property

Lot 5, as shown on a final plat of Vista Valle as recorded in Book 436 of Maps, Page 7, records of Maricopa County, Arizona, being a subdivision situated in the East Half of the East Half of the Southeast Quarter of Section 28 and the East Half of the East Half of the Northeast Quarter of Section 33, Township 6 North, Range 5 East of the Gila and Salt River Meridian, Maricopa County, Arizona

February 25, 2015

LEGAL DESCRIPTION FOR
WILDCAT HILL

Lots 1 through 76, inclusive and Tracts A through G, inclusive, of Wildcat Hill, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 957 of Maps, Page 8, being more particularly described as follows:

That part of Sections 22 and 27, Township 6 North, Range 5 East of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the B.L.M. Brass Cap marking the Southwest Corner of said Section 27, from which the B.L.M. Brass Cap marking the South Quarter Corner of said Section 27 bears North $89^{\circ}52'51''$ East, a distance of 2,643.30 feet;

Thence North $00^{\circ}05'34''$ West, along the West line of the Southwest Quarter of said Section 27, a distance of 1,981.30 feet to the Southeast Corner of the North Half of the North Half of the Southwest Quarter of said Section 27, said point being the True Point of Beginning;

Thence continuing North $00^{\circ}05'34''$ West, along said West line, a distance of 660.44 feet to the 1/2" Rebar with Cap LS#33851 marking the West Quarter Corner of said Section 27;

Thence North $00^{\circ}04'25''$ West, along the West line of the Northeast Quarter of said Section 27, a distance of 2,636.50 feet to the Southwest Corner of said Section 22;

Thence North $00^{\circ}05'22''$ West, along the West line of the Southwest Quarter of said Section 22, a distance of 660.32 feet;

Thence North $89^{\circ}52'10''$ East, a distance of 1,816.84 feet;

Thence North $00^{\circ}04'26''$ West, a distance of 660.20 feet;

Thence South $89^{\circ}52'24''$ West, a distance of 165.21 feet;

Thence South $67^{\circ}33'48''$ West, a distance of 243.21 feet;

Thence South $04^{\circ}47'44''$ East, a distance of 37.12 feet;

Thence South $37^{\circ}32'34''$ West, a distance of 36.04 feet;

Thence South $43^{\circ}15'49''$ West, a distance of 81.79 feet to the beginning of a tangent curve of 107.50 foot radius, concave Northwesterly;

Thence Southwesterly, along said curve, through a central angle of $37^{\circ}56'23''$, a distance of 71.18 feet;

Legal Description for
Wildcat Hill
February 25, 2015

Thence South $81^{\circ}12'12''$ West, a distance of 36.73 feet to the beginning of a tangent curve of 97.50 foot radius, concave Northeasterly;

Thence Northwesterly, along said curve, through a central angle of $33^{\circ}03'04''$, a distance of 56.24 feet;

Thence North $65^{\circ}44'44''$ West, a distance of 64.34 feet to the beginning of a tangent curve of 87.50 foot radius, concave Southeasterly;

Thence Southwesterly, along said curve, through a central angle of $63^{\circ}14'11''$, a distance of 96.57 feet;

Thence South $51^{\circ}01'05''$ West, a distance of 44.96 feet to the beginning of a tangent curve of 92.50 foot radius, concave Northwesterly;

Thence Southwesterly, along said curve, through a central angle of $53^{\circ}17'24''$, a distance of 86.03 feet;

Thence North $75^{\circ}41'31''$ West, a distance of 116.18 feet to the beginning of a tangent curve of 81.72 foot radius, concave Northeasterly;

Thence Northwesterly, along said curve, through a central angle of $80^{\circ}05'37''$, a distance of 114.24 feet to the beginning of a tangent reverse curve of 182.50 foot radius, concave Southwesterly;

Thence Northwesterly, along said curve, through a central angle of $25^{\circ}13'21''$, a distance of 80.34 feet;

Thence South $39^{\circ}53'40''$ West, a distance of 220.75 feet;

Thence North $41^{\circ}47'33''$ West, a distance of 364.37 feet to a point on the Southeasterly right-of-way line of Cave Creek Road;

Thence along said Southeasterly right-of-way line the following courses:

Thence North $58^{\circ}48'30''$ East, a distance of 321.01 feet to the beginning of a tangent curve of 627.96 foot radius, concave Northwesterly;

Thence Northeasterly, along said curve, through a central angle of $19^{\circ}13'16''$, a distance of 210.66 feet;

Thence North $39^{\circ}35'14''$ East, a distance of 870.82 feet;

Legal Description for
Wildcat Hill
February 25, 2015

Thence North $89^{\circ}51'40''$ East, departing said Southeasterly right-of-way line, a distance of 298.54 feet;

Thence North $89^{\circ}52'31''$ East, a distance of 266.63 feet to a point on the Southerly right-of-way line of Bartlett Dam Road;

Thence along said Southerly right-of-way line the following courses:

Thence South $70^{\circ}10'04''$ East, a distance of 650.03 feet to a point on a 1,656.88 foot radius non-tangent curve, whose center bears North $20^{\circ}07'57''$ East;

Thence Southeasterly, along said curve, through a central angle of $11^{\circ}49'58''$, a distance of 342.18 feet;

Thence South $04^{\circ}28'01''$ West, departing said Southerly right-of-way line, a distance of 210.90 feet;

Thence South $54^{\circ}04'16''$ East, a distance of 341.98 feet;

Thence North $04^{\circ}28'01''$ East, a distance of 393.70 feet to a point on the Southerly right-of-way line of Bartlett Dam Road;

Thence South $89^{\circ}03'00''$ East, along said Southerly right-of-way line, a distance of 813.52 feet to a point on the East line of the West Half of the Southeast Quarter of said Section 22;

Thence South $00^{\circ}04'12''$ East, along said East line, a distance of 1,309.27 feet to the Northeast Corner of the Southeast Quarter of the Southwest Quarter of the Southeast Quarter of said Section 22;

Thence South $89^{\circ}51'16''$ West, along the North line of the Southeast Quarter of the Southwest Quarter of the Southeast Quarter of said Section 22, a distance of 661.05 feet to the Northwest Corner thereof;

Thence South $00^{\circ}03'54''$ East, along the West line of the Southeast Quarter of the Southwest Quarter of the Southeast Quarter of said Section 22, a distance of 660.11 feet to the Southwest Corner thereof;

Thence South $00^{\circ}04'55''$ East, along the East line of the Northwest Quarter of the Northwest Quarter of the Northeast Quarter of said Section 27, a distance of 659.59 feet to the Southeast Corner thereof;

Legal Description for
Wildcat Hill
February 25, 2015

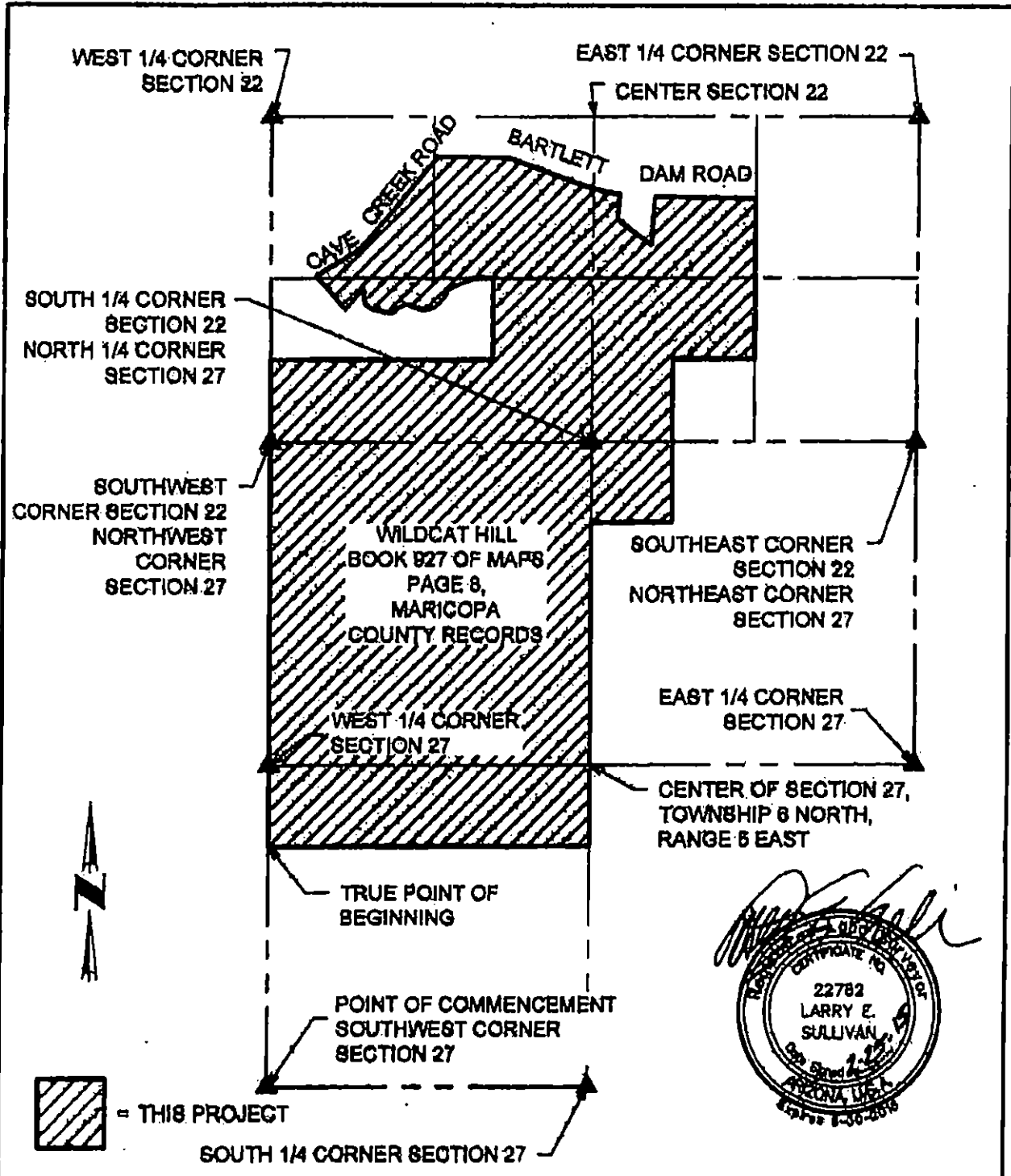
Thence South 89°51'43" West, along the South line of the Northwest Quarter of the Northwest Quarter of the Northeast Quarter of said Section 27, a distance of 660.98 feet to the Southwest Corner thereof;

Thence South 00°05'34" East, along the East line of the Northwest Quarter of said Section 27, a distance of 1,978.39 feet to the 1/2" Rebar with Cap LS#19857 marking the Center of said Section 27;

Thence South 00°05'33" East, along the East line of the Southwest Quarter of said Section 27, a distance of 660.27 feet to the Southeast Corner of the North Half of the North Half of the Southwest Quarter of said Section 27;

Thence South 89°53'29" West, along the South line of the North Half of the North Half of the Southwest Quarter of said Section 27, a distance of 2,643.30 feet to the True Point of Beginning.

Containing 353.146 Acres, more or less.



NOT TO SCALE
EXHIBIT
4550 North 12th Street
Phoenix, Arizona 85014
Phone 602-284-6831
http://www.cvl.com

EXHIBIT
WILDCAT HILL

CVL
CONSULTANTS
1 OF 1

20150225561

EXHIBIT C

Due Diligence Materials

A Phase I Environmental Report for the Easement Property (if existing and if in the possession of Seller)

A Survey of the Easement Property (if existing and if in the possession of Seller)

Notices received from governmental authorities pertaining to the Easement Property (if existing and if in the possession of Seller)

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Sent: Wednesday, December 09, 2020 12:45 PM
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Cc: Chris Usher; Brian Wilkinson; Carma Wilkinson
Subject: Following up on 38151 N Boulder View & Wildcat Hill

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