PRELIMINARY WATER MASTER PLAN

Scottsdale Collective

Entertainment/Canal Districts

Scottsdale, AZ 85251

PRELIMINARY Basis of Design Report

- ☐ ACCEPTED
- ☑ ACCEPTED AS NOTED
- ☐ REVISE AND RESUBMIT

CITY OF SCOTTSDALE
SCOTTSDALE WATER
9379 E San Salvador Dr.
Scottsdale, AZ 85258

Disclaimer: If accepted; the preliminary approval is granted under the condition that a final basis of design report will also be submitted for city review and approval (typically during the DR or PP case). The final report shall incorporate further water or sewer design and analysis requirements as defined in the city design standards and policy manual and address those items noted in the preliminary review comments (both separate and included herein). The final report shall be submitted and approved prior to the plan review submission.
For questions or clarifications contact the Water Resources Planning and Engineering Department at 480-312-5685.

BY ldillon DATE 9/10/2020

BY ldillon DATE 8/31/2020

Prepared For:

Nelsen Partners

15210 N. Scottsdale Rd., Suite 300
Scottsdale, Arizona 85254
480.949.6800 **www.NelsenPartners.com**

Prepared by:

Registered Professional Engineer (Civil)
CERTIFICATE NO.
45621
ALI SAMIH
FAKIH
Date Signed 08/07/20
ARIZONA, U.S.A.

Address comments on resubmittal:

1) City Center: You're creating a long dead end 8" line, not acceptable. Restore looping that currently exists.DS&PM 6-1.402

2) City Center: Can't tap services or fire lines onto a large transmission main. Install smaller public water line to tap. Existing building has this. DS&PM 6-1.416, K and 6-1.505, D.

3) Mint:Install tee for existing line and services and extend 8" to end of developing Mint parcel and cap. Desire is to eventually loop line to Buckboard.

4) Demand peaking factor for restaurants should be between 5 and 6.

STIPULATION

STIPULATION

Sustainability Engineering Group
8280 E. Gelding Drive, Suite 101
Scottsdale, AZ 85260
480.588.7226 **www.azSEG.com**

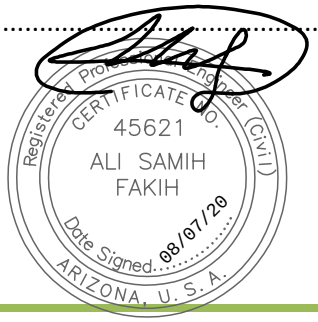
Project Number: 200409

Submittal Date: May 7, 2020 (Zoning)
Revision Date: August 7, 2020 (Zoning Resubmittal)

Case No.: 9-ZN-2020; 1-II-2020 **Plan Check No.: TBD**

9-ZN-2020
08/11/20

Table of Contents



9-ZN-2020
08/11/20

LIST OF FIGURES:

APPENDICIES:

9-ZN-2020
08/11/20

1. INTRODUCTION

1.1. SUMMARY OF PROPOSED DEVELOPMENT:

The report presents a preliminary water infrastructure analysis for redevelopment of three areas within the City of Scottsdale located south and east of the Camelback Road / Scottsdale Road intersection. The three areas have development options that include high density residential, resort hotel, restaurant, office, commercial/retail and fitness/spa uses. The intent of this design report is to show the proposed water infrastructure required to provide service to the following three redevelopments based on the recently performed system flow tests.

A. City Center is a six-story residential development located adjacent to the intersection within the Arizona Canal District and will replace an existing commercial/office building.
B. The Maya Hotel is a 12-story residential development located in the Entertainment District east of Buckboard Trail between Indian Plaza and Shoeman Lane.
C. The Mint is a 9-story residential and retail development located south of Camelback Road and west of Civic Center Plaza also within the Entertainment District.

Refer to **FIGURE 1** for a Vicinity Map and **FIGURE 2** highlighting the projects noted above.

1.2. LEGAL DESCRIPTIONS AND AREA:

Each of the three Master Planned areas consist of multiple land parcels lying within Section 23, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Scottsdale, Arizona.

A. City Center: Parcels 173-41-016B, -017A, -015A and -021A, 173-41-005, and 173-41-004 consisting of 118,880 square feet or 2.729 acres more or less.
B. The Maya: Parcels 173-41-260, -182 and -183 consisting of 16,292 square feet or 0.374 acres more or less.
C. The Mint: Parcels 173-41-216, -149 thru -153, -119A and 173-40-123 consisting of 56,986 square feet or 1.308 acres more or less.

2. DESIGN DOCUMENTATION

2.1. DESIGN COMPLIANCE:

Preparation of this report has been done in accordance with requirements of the City of Scottsdale Design Standards & Policies Manual (DS&PM) 2018 [1] and direction from the City of Scottdale Water Resources Department. Design calculations for the proposed water infrastructure are all based on the DS+PM recommendations in Section 6-1.403.

9-ZN-2020
08/11/20

3. EXISTING CONDITIONS

3.1. EXISTING ZONING & LAND USE:

Existing zoning across the three parcels includes C-3 DO and P-C-2/P-3 DO with land uses varying from commercial office, retail, restaurant and entertainment. This project proposes rezoning.

3.2. EXISTING TOPOGRAPHY, VEGETATION AND LANDFORM FEATURES:

This area of Scottsdale is relatively flat with minor grades sloping to the Indian Bend Wash approximately ½ mile to the east. All three parcels have been previously developed with buildings and pavement covering most of the properties and minor site landscaping typical of the downtown vicinity.

Refer to **FIGURE 3** for an aerial of the overall project existing conditions.

3.3. EXISTING UTILITIES:

Water service to this area of Scottsdale largely consists of distribution piping varying in size from 6" to 12". A 20" water transmission line was constructed in Shoeman Lane between Scottsdale Road and Brown Avenue where it reduces to a 16" pipe and continues north to Camelback Road, then west crossing under the Arizona Canal. This transmission line is part of a larger loop that encircles the downtown area providing water to Zone 1A. Refer to **FIGURE 4** for City Quarter Section Map (QS 17-45).

Parcel A - City Center, has a water line extended through the property that will need to be removed. Camelback Road frontage to the site contains 8, 12 and 16" pipes. Brown Avenue contains the previously mentioned 16" pipe.

Parcel B – Maya, has a 12" DIP along Shoeman Lane to the west feeding an 8 and 6" distribution system along Buckboard Trail and Shoeman Lane to the east.

Parcel C – The Mint, has 8 and 12" ACP lines along the Camelback Road frontage and a 6" ACP along Saddlebag Trail, Civic Center Plaza, Indian Plaza and Saddlebag Trail.

All properties, consisting of multiple parcels have several meters and fire lines that will be inventoried for fee credit prior to being removed as necessary for new construction. Refer to Preliminary Utility Exhibits in APPENDIX II for anticipated limits of water line removals.

3.4. FIRE HYDRANT FLOW TESTING:

Flow testing was performed adjacent to all three sites on the morning of April 13, 2020. Results of the tests, including corresponding supply curves, are shown in **APPENDIX I.** Summarizing, all three tests has static pressures above 100 psi and at 30 psi provided flows from 4,603 gpm to 7,058 gpm. Table 1 shows results of the tests.

9-ZN-2020
08/11/20

Table 1 - RESULT SUMMARY OF FIRE HYDRANT FLOW TESTING

DEVELOPMENT	FH LOCATIONS	STATIC PRESSURE (psi)	RESIDUAL PRESSURE (psi)	PITOT PRESSURE (psi)	FLOWING GPM	GPM @ 72 PSI	GPM @ 30 PSI
City Center	Brown Avenue & Shoeman Lane	100	90	33	2468	4303	7058
The Maya	Buckboard Trail & Shoeman Lane	102	84	37	2614	3444	5526
The Mint	Indian Plaza & Civic Center Plaza	104	80	34	2506	2927	4603

4. PROPOSED CONDITIONS

4.1. MASTER PLAN:

With strong pressures and flows in the existing water infrastructure, it is anticipated the three proposed projects can all be provided domestic, fire and irrigation service off connections to the existing system.

4.2. PROPOSED WATER SYSTEM (Refer to FIGURE 5):

City Center will need to remove a public water line crossing the site. The ends of this pipe located at the Arizona Canal and Brown Road can be used for fire protection. Two fire hydrants exist on the property and will be relocated as necessary, providing adequate coverage. The proposed development will be serviced off of the existing 16" water line along Brown Avenue.

The Maya will receive metered service and fire protection off the 8" main located in Buckboard Trail. A fire hydrant exists across at the intersection of Shoeman Lane and Buckboard Trail and will provide adequate protection for the proposed building.

The west Mint commercial building will receive metered service and fire protection from the 8" line in Camelback Road. The east hotel building will receive metered service and fire protection from the 6" line in Indian Plaza. Fire hydrants exist on Saddlebag Trail, Civic Center Plaza and Indian Plaza.

All unused existing water service lines to these sites will be removed to the main per City requirements unless reused for site development.

A Preliminary Utility Plan is included as **APPENDIX II.**

4.3. MAINTENANCE RESPONSIBILITIES:

No water main extensions are proposed. All proposed water meters will be installed in right-of-way or easement dedicated to the city. All proposed building service connections and fire lines will be private and maintained by the building owners. Backflow prevention will be provided on all metered services.

9-ZN-2020
08/11/20

5. WATER SYSTEM COMPUTATIONS

5.1. WATER FLOW DEMANDS:

This Master Plan includes development options for the three sites.

The City design criteria and resulting maximum demands for the average, max day and peak hour flows are shown in Tables 1 through 4 below. The developer desires to maintain flexibility in designated uses. This report will only evaluate the maximum demands anticipated for each site as a basis for Zoning approval. Final uses/demands may be less.

Table 1: COS Design Criteria - Average Day Demands

Land Use	Unit Demand (gpm)	Unit	Max Day Factor	Peak Hour Factor
High Density Residential	0.27	per unit	2	3.5
Resort Hotel	0.63	per room	2	3.5
Restaurant	1.81E-03	per sq. ft.	2	3.5
Office	8.34E-04	per sq. ft.	2	3.5
Commercial/Retail	1.11E-03	per sq. ft.	2	3.5
Fitness/Spa	1.50E-03	per sq. ft.	2	3.5

Ideally this needs to be increased to 6 for under 15kft2 and 5 for over 15kft2 (for square footages being served in same building or meter)

Table 2: GREATEST WATER DEMAND CALCULATIONS - Parcel A (City Center)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential	106	0.27	28.6	57.2	100.2
Resort Hotel	214	0.63	134.8	269.6	943.7
Restaurant	41,109	1.81E-03	74.4	148.8	520.9
Office		8.34E-04			
Commercial/Retail		1.11E-03			
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	237.8	475.7	1,564.8

Table 3A: GREATEST WATER DEMAND CALCULATIONS - Parcel B (The Mint - West)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential		0.27			
Resort Hotel		0.63			
Restaurant	13,881	1.81E-03	25.1	50.2	87.9
Office		8.34E-04			
Commercial/Retail		1.11E-03			
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	25.1	50.2	87.9

9-ZN-2020
08/11/20

Table 3B: GREATEST WATER DEMAND CALCULATIONS - Parcel B (The Mint - East)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential		0.27			
Resort Hotel	116	0.63	73.1	146.2	255.8
Restaurant	14,135	1.81E-03	25.6	51.2	89.5
Office		8.34E-04			
Commercial/Retail		1.11E-03			
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	98.7	197.3	345.3

Table 4: GREATEST WATER DEMAND CALCULATIONS - Parcel C (The Maya)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential		0.27			
Resort Hotel	161	0.63	101.4	202.9	355.0
Restaurant	10,440	1.81E-03	18.9	37.8	66.1
Office		8.34E-04			
Commercial/Retail		1.11E-03			
Fitness/Spa	1,120	1.50E-03	1.7	3.4	5.9
		TOTAL DEMANDS:	122.0	244.0	427.0

All three facilities will require the public water system to provide 2500 gpm consistent with other high-rise/high-density projects in the City. All buildings will require mechanical engineering evaluations to determine the extent of any required building pumps and storage required within the structure.

5.2. VARIANCE FROM STATED DESIGN FLOWS:

No variance from the stated design criteria in the DS+PM is requested.

5.3. WATER SYSTEM ANALYSIS:

Based on the results of the fire hydrant flow tests conducted adjacent to each site, the existing water system appears to have adequate pressure and capacity to provide domestic service and fire protection.

6. SUMMARY

6.1. SUMMARY OF PROPOSED IMPROVEMENTS:

This Preliminary Master Plan supports the development of City Center, Maya and The Mint compliant to the requirements stated in Chapter 6 of the COS DS+PM. Preliminary analysis indicates the existing water infrastructure is sufficient to provide domestic service and fire protection. All existing metered

9-ZN-2020
08/11/20

services, fire line and pipe not needed for the master planned development will inventoried and shown to be removed per requirements of the DS+PM on the final improvement plans.

Final Basis of Design Reports will be submitted as each site progresses through the development review process.

6.2. PROJECT SCHEDULE:

The infrastructure removal and domestic/fire service connections required of each Parcel will be detailed on their respective improvement plans and constructed with the improvements for that Parcel. No timeline has presently been documented for the construction of individual Parcels. It is anticipated as each Parcel develops, all related water service and fire line appurtenances will be constructed as shown on **APPENDIX II.**

7. SUPPORTING MAPS

7.1. UTILITY PLANS

Preliminary Utility Exhibits with proposed service connections to the existing water system is included as **APPENDIX II.**

8. REFERENCES

1. COS QS Water Plan number 17-45
2. City of Scottsdale Design Standards & Policies Manual, 2018 (Chapter 6 – Water)

9-ZN-2020
08/11/20

FIGURES

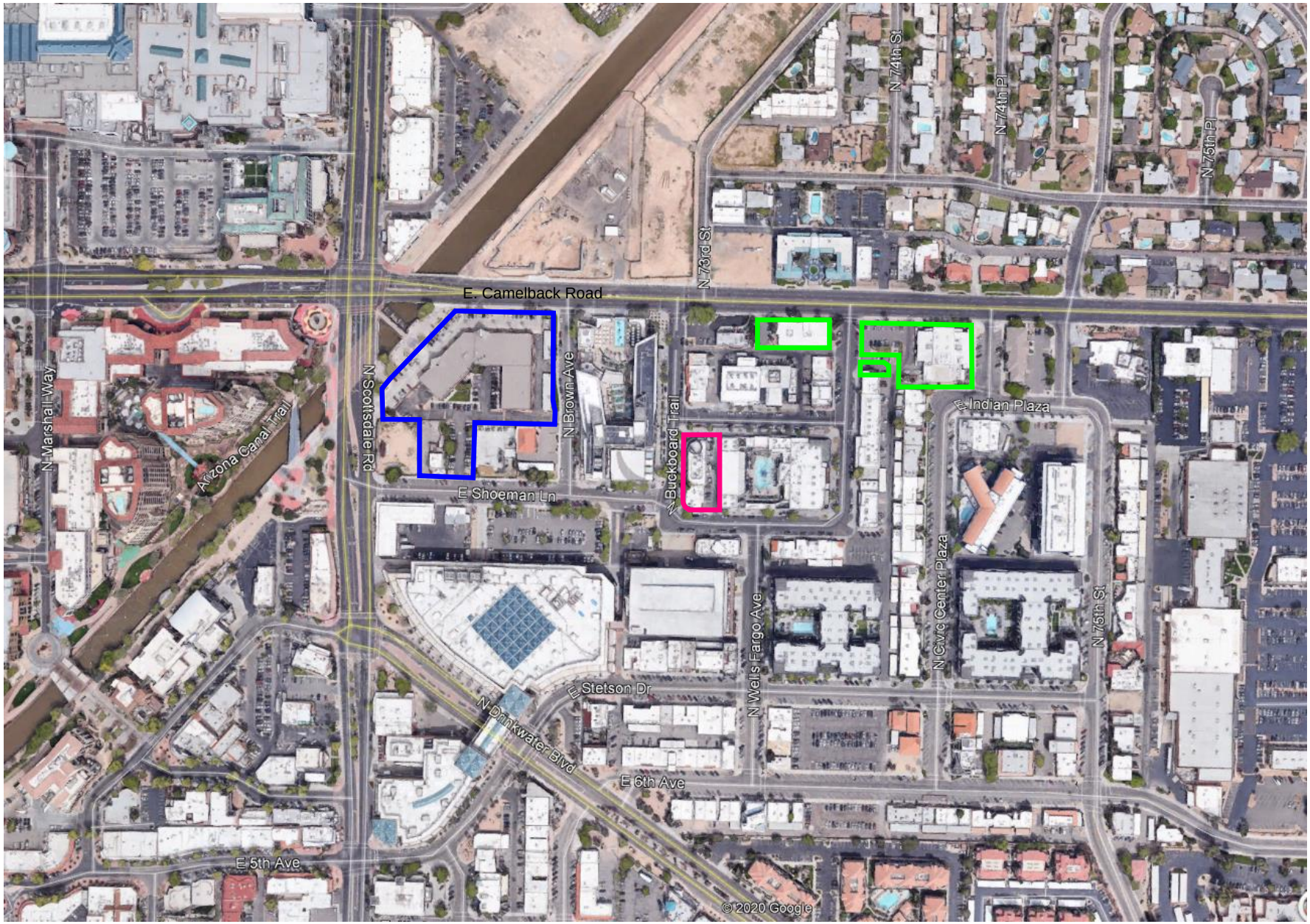


Figure 1- Vicinity Map

NORTH

SCALE: N.T.S

City Center
The Mint
Maya Hotel

9-ZN-2020
08/11/20

Approved Development
2 – Safari, Phase II
3 – Blue Sky
4 – Waterview
5 – DC Hotel
Proposed Development
A – City Center
B – Maya
C - The Mint
Future Development
X – Caesars Phase II

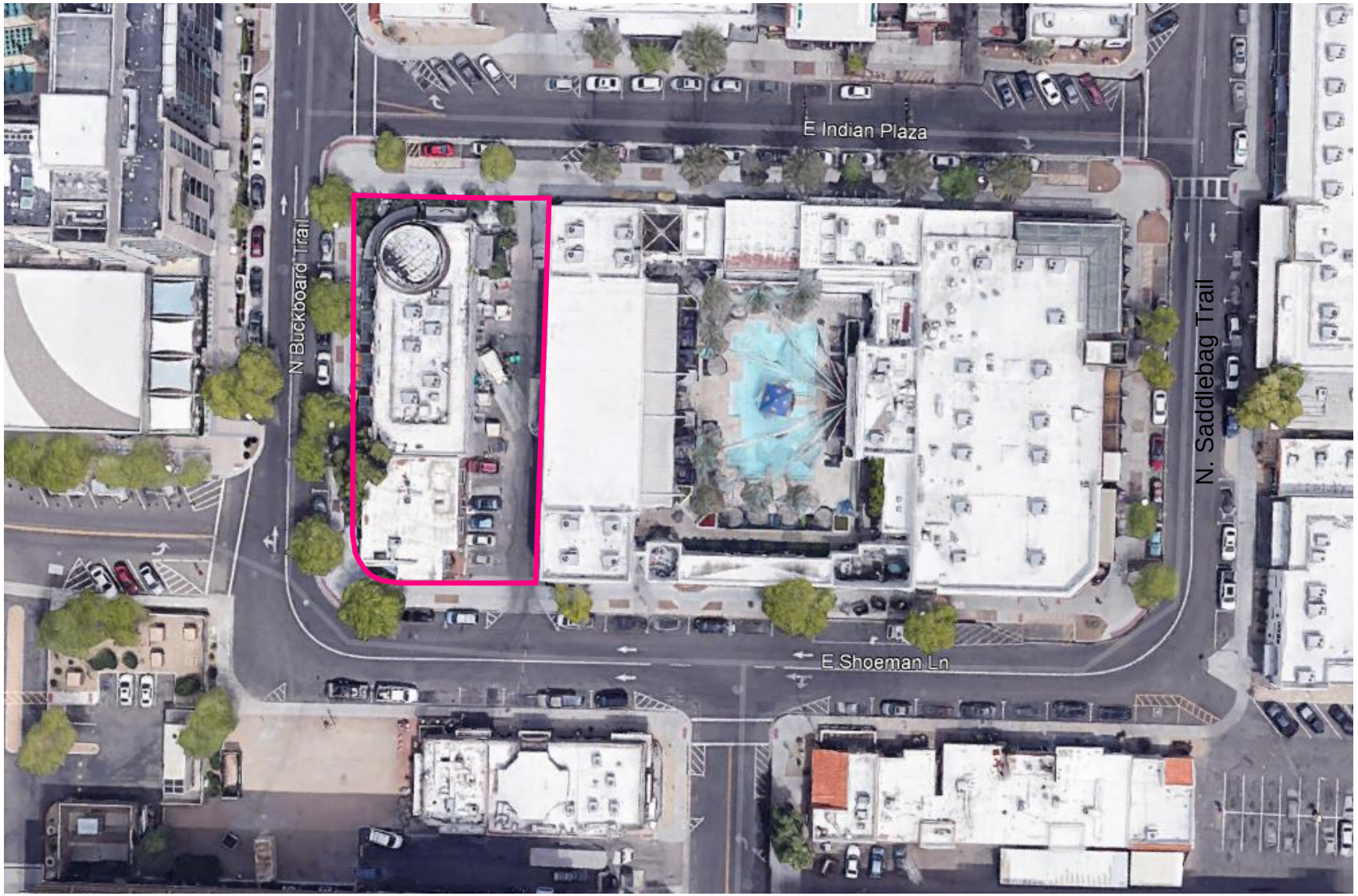
FIGURE 2 – Local Projects, Approved or Proposed

NORTH

SCALE: N.T.S

Figure 3A- Aerial Map
City Center

9-ZN-2020
08/11/20

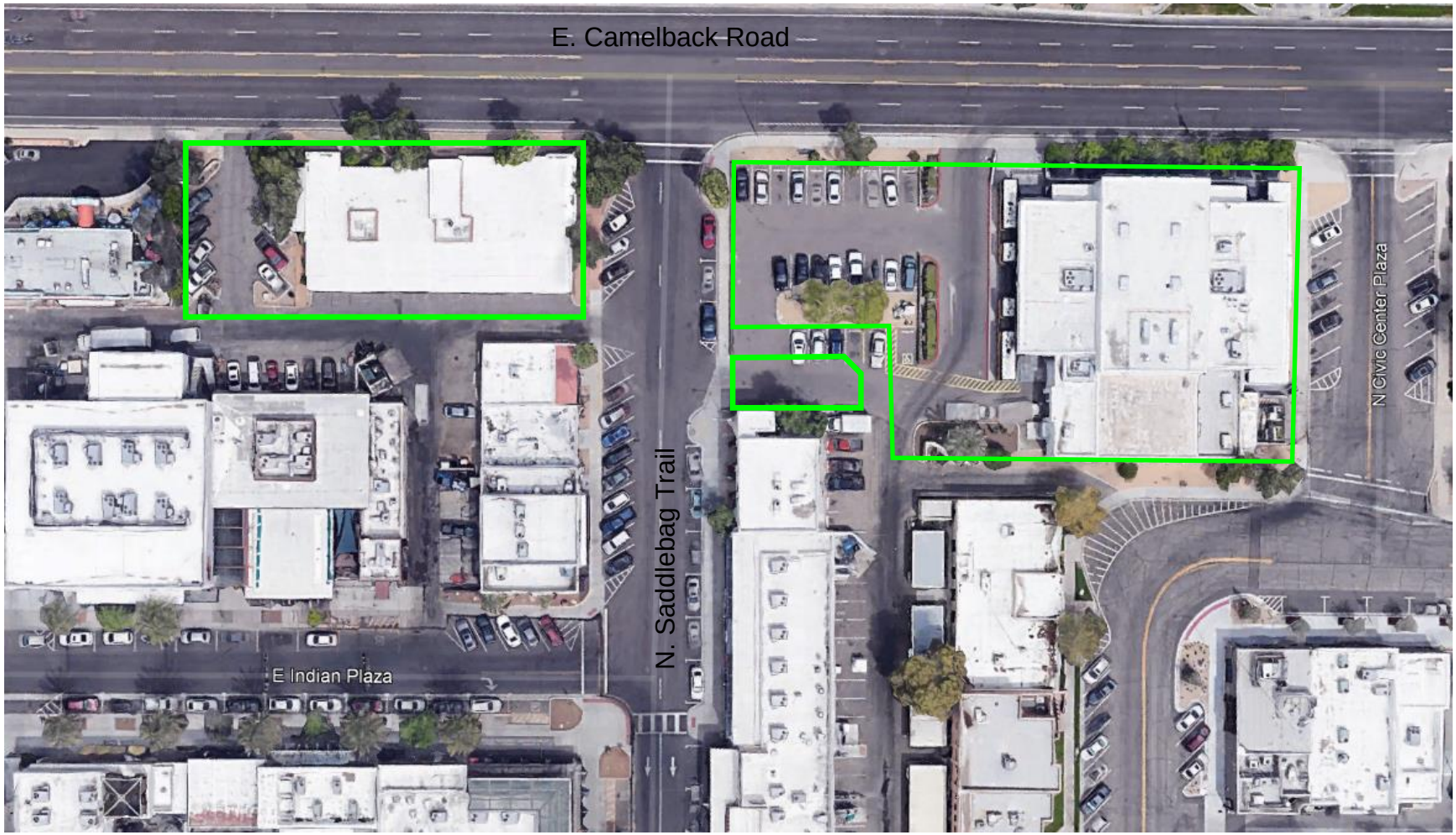


NORTH

SCALE: N.T.S

Figure 3B- Aerial Map
Maya Hotel

9-ZN-2020
08/11/20



NORTH

SCALE: N.T.S

Figure 3C- Aerial Map
The Mint

9-ZN-2020
08/11/20

17-44

17-46

16-45

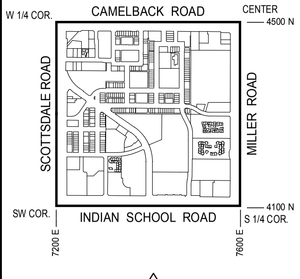
GENERAL NOTES:

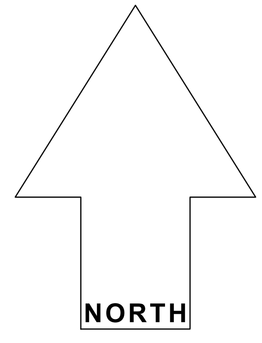
- THIS IS A COMPUTER GENERATED DRAWING. FOR ANY REVISIONS PLEASE CONTACT THE CITY OF SCOTTSDALE GIS DEPARTMENT AT (480) 312-7792.
- THE SECTION LINE BEARING AND DISTANCES ARE BASED ON THE CITY OF SCOTTSDALE GPS SURVEY OF SEPTEMBER, 1991. BEARINGS ARE NAD 83 GRID AND DISTANCES ARE FLATTENED TO GROUND. WHERE NO CORNER WAS FOUND THE DIMENSIONS ARE GIVEN TO CALCULATED SECTION CORNERS AND ARE NOTED AS 'CALCULATED' ON THE MAP.

LEGEND:

- Cleanout
- Lift Station (LS)
- Manhole
- Non-GPS Point
- Plug
- Sewer Service Point
- Sewer Tap Point
- Sewer Valve
- Treatment Plant
- Sewer Main - Gravity
- Sewer Main - Force (Force)
- Sewer Main - Private

VICINITY MAP





The map scale of 1" = 100' is based on a full size print of 30" x 36"

SEWER

QUARTER SECTION MAP

17-45

SW 1/4 SEC. 23 T2N R4E

FIGURE 4

N O T I C E

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THE CITY OF SCOTTSDALE

08/11/2020 6:NZ-2020

CITY OF SCOTTSDALE

SCOTTSDALE GEOGRAPHIC INFORMATION SYSTEMS

3629 North Drinkwater Boulevard
Scottsdale, Arizona 85251

27-AUG-17

GENERAL NOTES:

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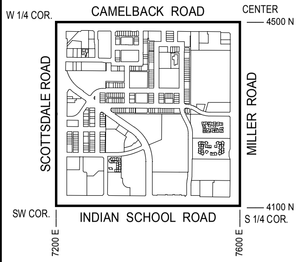
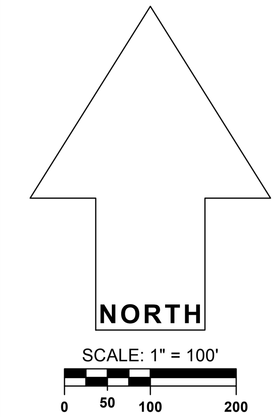
LEGEND:

- Air Release Valve (ARV)
- Non-potable Air Release Valve (NPARV)
- Blowoff
- Cap
- Cathodic Protection (CPT)
- Fill Drain (FND)
- Fire Hydrant
- Non-GPS Point
- Pressure Reducing Valve (PRV)
- Pump (WP)
- Reducer
- Sample Station (SS)
- Water Manhole (WMH)
- Non-Potable Manhole (NPMH)
- Well (WELL)
- Valve
- Non-potable Valve (NPV)
- Vault (WVT)
- Water Main
- Non-Potable Main (NP)
- Fire / Private Main
- Non-Scottsdale Main

VICINITY MAP





The map scale of 1" = 100' is based on a full size print of 30" x 36"

WATER

QUARTER SECTION MAP

17-45

SW 1/4 SEC. 23 T2N R4E

FIGURE 4

N O T I C E

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CITY OF SCOTTSDALE

SCOTTSDALE GEOGRAPHIC INFORMATION SYSTEMS

3629 North Drinkwater Boulevard
Scottsdale, Arizona 85251

6-NZ-2020
08/11/20

APPENDICIES

I. Design Requirements
II. Water Demands
III. Fire Hydrant Flow Tests

CITY OF SCOTTSDALE – DESIGN STANDARDS AND POLICIES MANUAL
EXCERPT FROM FIGURE 6-1.2

Table 1: COS Design Criteria - Average Day Demands

Land Use	Unit Demand (gpm)	Unit	Max Day Factor	Peak Hour Factor
High Density Residential	0.27	per unit	2	3.5
Resort Hotel	0.63	per room	2	3.5
Restaurant	1.81E-03	per sq. ft.	2	3.5
Office	8.34E-04	per sq. ft.	2	3.5
Commercial/Retail	1.11E-03	per sq. ft.	2	3.5
Fitness/Spa	1.50E-03	per sq. ft.	2	3.5

APPENDIX I – Design Requirements

PARCEL A – CITY CENTER WATER DEMANDS / OPTIONS

Option 1: WATER DEMAND CALCULATIONS - Parcel A (City Center)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential	136	0.27	36.7	18.4	128.5
Resort Hotel	190	0.63	119.7	59.9	419.0
Restaurant	10,000	1.81E-03	18.1	9.1	63.4
Office		8.34E-04			
Commercial/Retail	36,887	1.11E-03	40.9	20.5	143.3
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	215.5	107.7	754.1

Option 2: WATER DEMAND CALCULATIONS - Parcel A (City Center)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential	237	0.27	64.0	128.0	224.0
Resort Hotel		0.63			
Restaurant	10,000	1.81E-03	18.1	36.2	63.4
Office		8.34E-04			
Commercial/Retail	36,887	1.11E-03	40.9	81.9	143.3
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	123.0	246.1	430.6

Option 3: WATER DEMAND CALCULATIONS - Parcel A (City Center)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential		0.27			
Resort Hotel	449	0.63	282.9	565.7	1,980.1
Restaurant	10,000	1.81E-03	18.1	36.2	126.7
Office		8.34E-04			
Commercial/Retail	36,887	1.11E-03	40.9	81.9	286.6
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	341.9	683.8	2,393.4

APPENDIX II – Water Demands

PARCEL B – THE MINT WATER DEMANDS / OPTIONS

Option 1: WATER DEMAND CALCULATIONS - Parcel B (The Mint)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential	62	0.27	16.7	58.6	58.6
Resort Hotel		0.63			
Restaurant	5,280	1.81E-03	9.6	19.1	33.4
Office	3,600	8.34E-04	3.0	6.0	10.5
Commercial/Retail	22,281	1.11E-03	24.7	49.5	86.6
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	54.0	133.2	189.1

Option 2: WATER DEMAND CALCULATIONS - Parcel B (The Mint)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential		0.27			
Resort Hotel	116	0.63	73.1	255.8	255.8
Restaurant	5,280	1.81E-03	9.6	19.1	66.9
Office	3,600	8.34E-04	3.0	6.0	21.0
Commercial/Retail	22,281	1.11E-03	24.7	49.5	173.1
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	110.4	330.4	516.8

APPENDIX II –
Water Demands

PARCEL C – MAYA WATER DEMANDS / OPTIONS

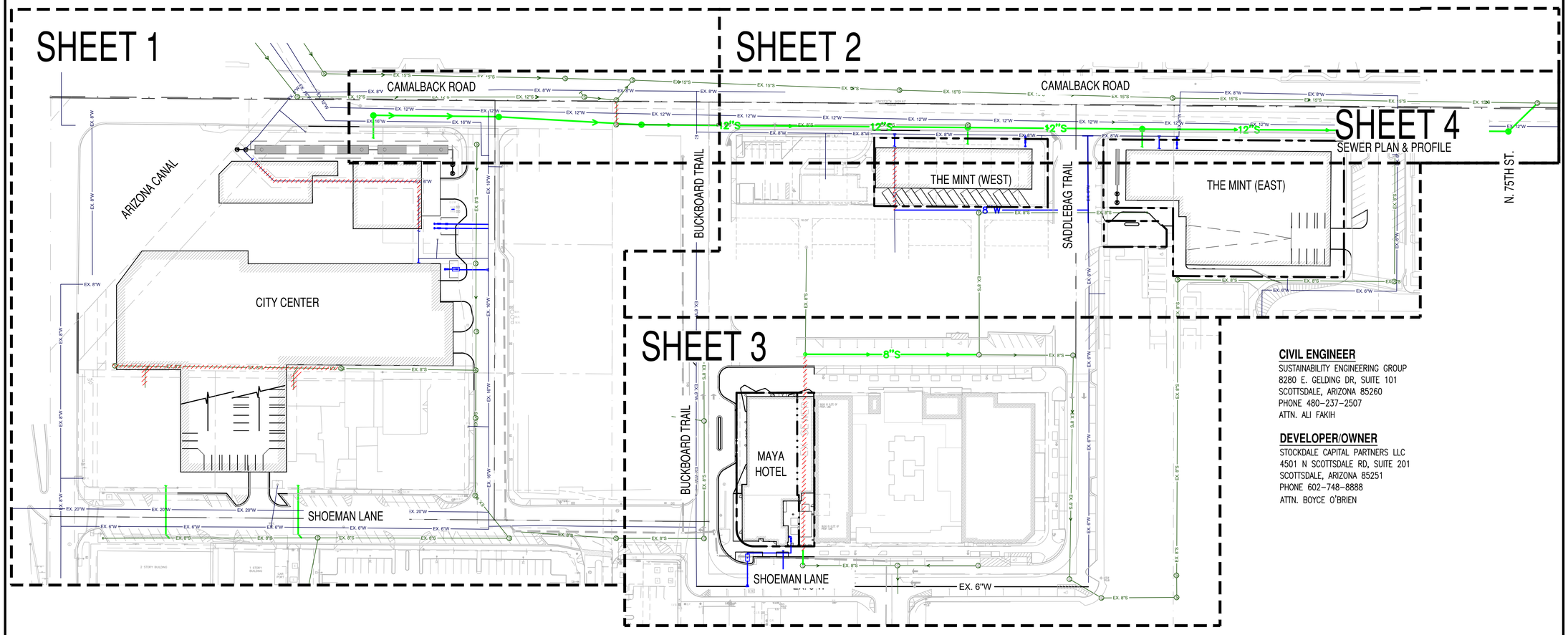
Option 1: WATER DEMAND CALCULATIONS - Parcel C (The Maya)

	Units or Area (sq. ft.)	Unit Demand (gpm)	Avg. Day Demand (gpm)	Max Day Demand (gpm)	Peak Hour Demand (gpm)
High Density Residential		0.27	0.0	0.0	0.0
Resort Hotel	160	0.63	100.8	50.4	352.8
Restaurant		1.81E-03			
Office		8.34E-04			
Commercial/Retail		1.11E-03			
Fitness/Spa		1.50E-03			
		TOTAL DEMANDS:	100.8	50.4	352.8

APPENDIX II –
Water Demands

SHEET UPDATED 9/10/20, SEE LAST PAGES OF REPORT

OVERALL
UTILITY EXHIBIT & KEY MAP



NOTE:

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2. MANHOLES 3 THROUGH 7 RIMS HAS BEEN SET BASED ON QUARTER SECTION MAP.
3. EXISTING MANHOLE AT THE CONNECTION POINT INVERTS AND RIM WAS SET BASED ON QUARTER SECTION MAP.

EXISTING LEGEND

EX. S	SEWER LINE
EX. W	WATER LINE
IRR	IRRIGATION LINE
	STORM DRAIN LINE
CB	CATCH BASIN
S	SEWER MANHOLE
D	STORM MANHOLE
WV	WATER VALVE
WMB	WATER METER BOX
ECB	ELECTRIC CABINET

PROPOSED LEGEND:

	PROPERTY LINE
X"W	WATER LINE
X"S	SEWER LINE
WM	WATER METER
	GATE VALVE
	T.S.V.B.&C.
	BACK FLOW PREVENTER
	CAP
S	SEWER MANHOLE
	WATER/SEWER LINE ABANDONMENT

NORTH

OVERALL UTILITY EXHIBIT & KEY MAP

0' 60' 120' 180'

SCALE: 1" = 60'

CIVIL ENGINEER
SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR, SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE 480-237-2507
ATTN. ALI FAKIH

DEVELOPER/OWNER
STOCKDALE CAPITAL PARTNERS LLC
4501 N SCOTTSDALE RD, SUITE 201
SCOTTSDALE, ARIZONA 85251
PHONE 602-748-8888
ATTN. BOYCE O'BRIEN

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY ENGINEERING GROUP
SEG
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

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ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

PROJECT: SCOTTSDALE COLLECTIVE
LOCATION

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020
ISSUED FOR: ZONING

REVISION NO.:	DATE:
1	
2	
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JOB NO.: 200226

SHEET TITLE: UTILITY EXHIBIT KEY MAP

SHEET NO.:

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9-ZN-2020
08/11/20

SHEET UPDATED 9/10/20, SEE LAST PAGES OF REPORT

CITY CENTER
PRELIMINARY UTILITY EXHIBIT

You're creating a long dead end 8" line, not acceptable. Restore looping that currently exists.

CAMELBACK ROAD

SSMH
RIM=1272.30
INV=1263.53 N
INV=1263.64 E
INV=1263.41 S

SSMH
INV=1260.04 NW
INV=1260.00 E

PROPOSED NEW 12" SEWER LINE @1.00%

EXISTING 16" D.I.P. WATER LINE

EXISTING 8" A.C.P. WATER LINE

144" R.C.P. STORM LINE

SSMH
INV=1259.80 W
INV=1259.68 E

SSMH
INV=1259.63 W
INV=1259.63 E
INV=1259.71 NW

SSMH
RIM=1271.00
INV=1261.11 S
INV=1258.60 W
N.F. NE

SSMH
INV=1258.50 SW
INV=1257.32 W
INV=1257.25 E

EXISTING FIRE HYDRANT

PROPOSED BUILDING FIRE CONNECTION

14.95' U.U.E.

MH-1
RIM=1275.87
IE=1264.50 W
IE=1264.60 S

MH-2
RIM=1272.17
IE=1263.03 W
IE=1262.93 E

PROPOSED NEW 12" SEWER LINE @1.00%

SSMH
RIM=1270.51
INV=1261.36 E
INV=1261.26 N

EXISTING 8" V.C.P LINE AND MANHOLE TO BE REMOVED

MH-3
RIM=1270.69
IE=1261.26 W
IE=1261.16 E

EXISTING 8" V.C.P SEWER LINE TO BE REPLACED WITH 15" SEWER LINE

MATCHLINE REFER TO SHEET 2

BUCKBOARD TRAIL

EXISTING 8" C.I.P. WATER LINE

PROPOSED SEWER SERVICE CONNECTION

EXISTING 6" A.C.P. WATER LINE TO BE REMOVED

12' WATER EASEMENT TO BE ABANDONED

PROPOSED IRRIGATION WATER METER

PROPOSED 2" SERVICE WATER METER

Can't tap services onto transmission main. Install smaller public water line to tap. Existing building has this.

EXISTING FIRE HYDRANT

PROPOSED BUILDING FIRE CONNECTION

EXISTING FIRE HYDRANT

PROPOSED 3" SERVICE WATER METER

EXISTING 8" V.C.P SEWER LINE

EXISTING 16" D.I.P. WATER LINE

EXISTING 18" HDPE STORM LINE

BROWN AVE

10' U.U.E.

SSMH
RIM=1272.58
INV=1266.09

EXISTING 8" V.C.P SEWER LINE TO BE REMOVED

SSMH
RIM=1269.64
INV=1263.53 N
INV=1263.64 E
INV=1263.41 S

16' P.U.E. & IRRIGATION EASEMENT

EXISTING 8" V.C.P SEWER LINE

SCOTTSDALE ROAD

EXISTING SEWER SERVICE LINE TO BE ABANDONED

5' U.E.

APN: 173-41-006A

33' R.O.W.

7' ROAD WAY & P.U.E

PROPOSED SERVICE RELOCATION PER ON THE WATERFRONT CIVIL IMPROVEMENT PLANS CASE NO. 59-DR-2014#2

20' P.U.E.

EXISTING SEWER SERVICE LINE TO BE ABANDONED

UPTON CONDOMINIUM
APN: 173-41-323

APN: 173-41-002

EXISTING FIRE HYDRANT

5' P.U.E

EXISTING FIRE HYDRANT

PROPOSED NEW LOCATION FOR SEWER SERVICE CONNECTION

1' V.N.E

SSMH
RIM=1269.25
INV=1262.86 N
INV=1262.44 SE

EXISTING 20" D.I.P. WATER LINE

SHOEMAN LANE

EXISTING 6" A.C.P. WATER LINE

SSMH
RIM=1270.03
INV=1263.18 S
INV=1262.91 E&W

EXISTING 8" V.C.P SEWER LINE

SSMH
RIM=1268.65
INV=1261.62 NW
INV=1261.16 E&W

MATCHLINE REFER TO SHEET 3

NOTE:

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EXISTING LEGEND

- EX. S — SEWER LINE
- EX. W — WATER LINE
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- STORM DRAIN LINE
- CB — CATCH BASIN
- S — SEWER MANHOLE
- D — STORM MANHOLE
- WV — WATER VALVE
- WMB — WATER METER BOX
- ECB — ELECTRIC CABINET

PROPOSED LEGEND:

- PROPERTY LINE
- X"W — WATER LINE
- X"S — SEWER LINE
- WM — WATER METER
- GATE VALVE
- T.S.V.B.&C.
- BACK FLOW PREVENTER
- CAP
- SEWER MANHOLE
- WATER/SEWER LINE ABANDONMENT

NORTH

CITY CENTER

0' 30' 60' 90'

SCALE: 1" = 30'

SUSTAINABILITY ENGINEERING GROUP
SEG
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW. AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

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In Maricopa County: (602) 263-1100

PROJECT	CITY CENTER
LOCATION	NWC SCOTTSDALE RD & CAMELBACK RD
DRAWN	KA 04/28/2020
DESIGNED	KA 04/28/2020
QC	SC
QA	AF
PROJ. MGR.	AF

DATE: 07/24/2020

ISSUED FOR: PRELIMINARY REVIEW

REVISION NO.:	DATE:
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JOB NO.: 200226

SHEET TITLE: UTILITY EXHIBIT

SHEET NO.: 1

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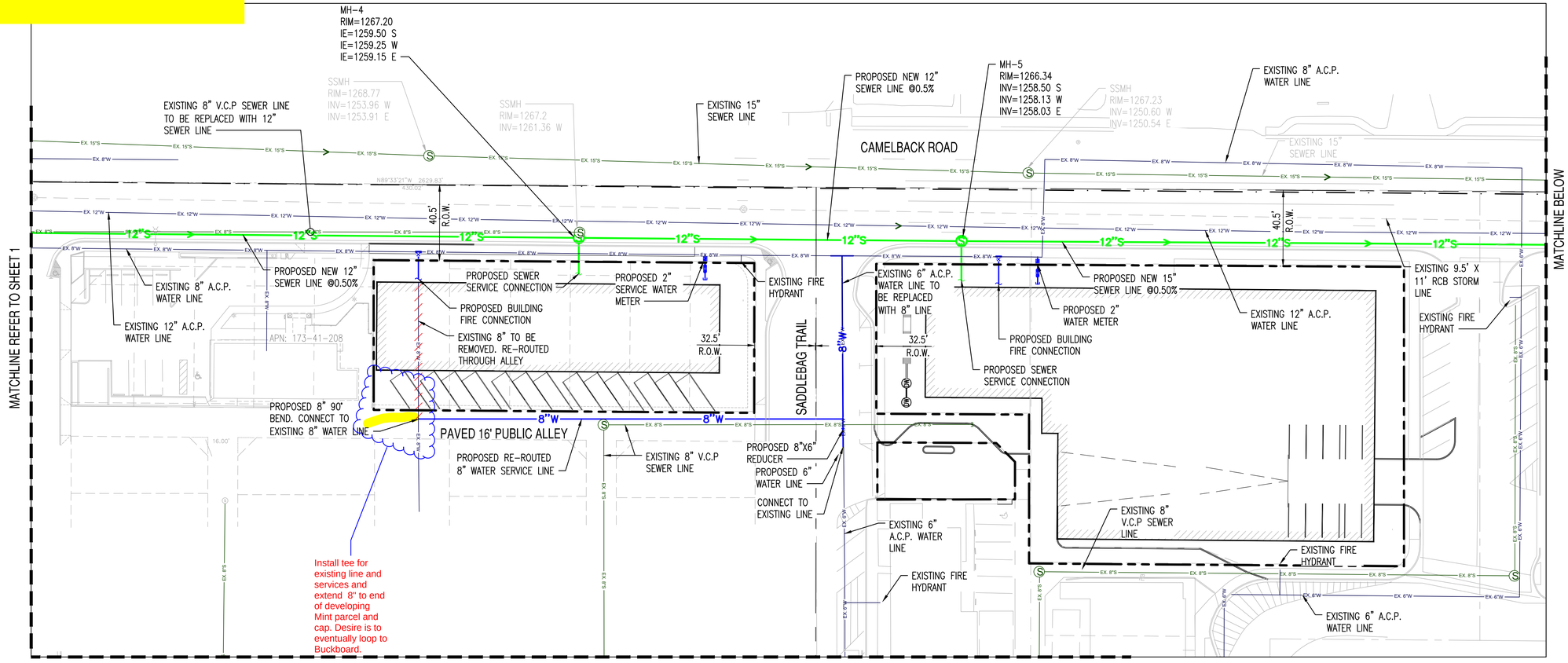
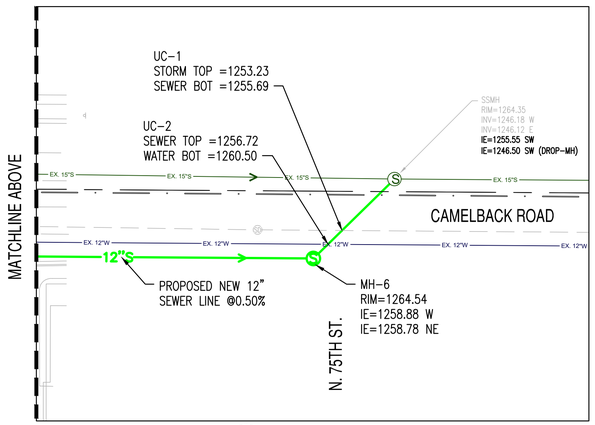
LOCATION: Z:\SHARED\PROJECTS\NELSEN PARTNERS\MASTER PLAN-SCOTTSDALE-200409\11 CAD (SEG)\11.2 ENTITLEMENT-PLANNING\UTILITY EXHIBIT.DWG SAVED BY: TADAMON.MOHAMMED DATE: 7/21/2020

9-ZN-2020
08/17/20

SHEET UPDATED 9/10/20, SEE LAST PAGES OF REPORT

THE MINT
PRELIMINARY UTILITY EXHIBIT





PLAN VIEW
SCALE: 1" = 30'

NORTH

THE MINT
0' 30' 60' 90'
SCALE: 1" = 30'

NOTE:
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D	STORM MANHOLE
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ECB	ELECTRIC CABINET

PROPOSED LEGEND:

	PROPERTY LINE
X"W	WATER LINE
X"S	SEWER LINE
WM	WATER METER
	GATE VALVE
	T.S.V.B.&C.
	BACK FLOW PREVENTER
	CAP
S	SEWER MANHOLE
	WATER/SEWER LINE ABANDONMENT

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW. AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

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Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

PROJECT: THE MINT
LOCATION: CAMELBACK RD & SADDLEBAG TRAIL

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020
ISSUED FOR: PRELIMINARY REVIEW

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JOB NO.: 200226
SHEET TITLE: UTILITY EXHIBIT
SHEET NO.: 2

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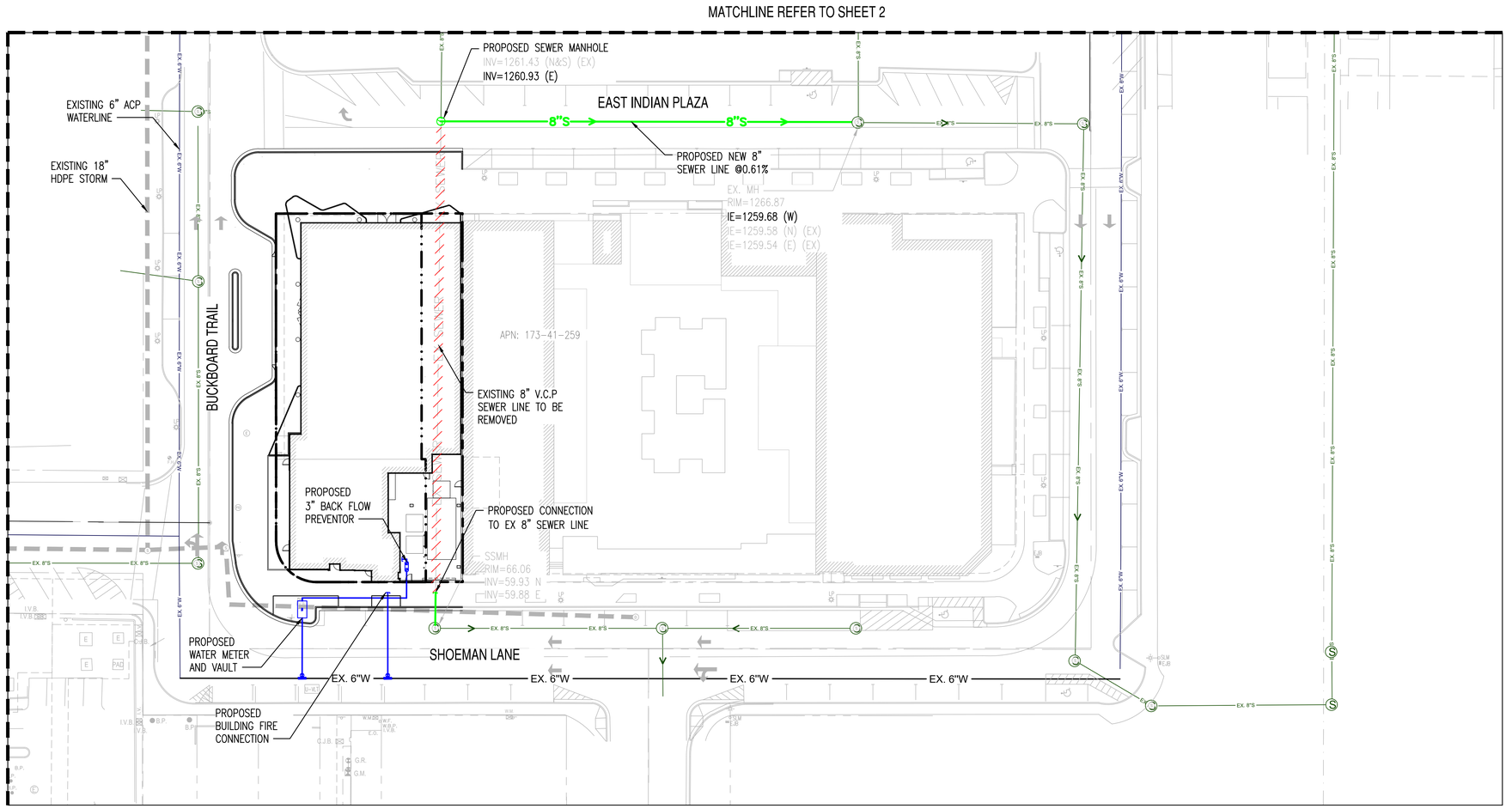
LOCATION: Z:\SHARED\PROJECTS\NELSEN PARTNERS\MASTER PLAN-SCOTTSDALE-200409\11 CAD (SEG)\11.2 ENTITLEMENT-PLANNING\UTILITY EXHIBIT.DWG SAVED BY: KENYA.AVINA DATE: 8/7/2020

9-ZN-2020
08/17/20

SHEET UPDATED 9/10/20, SEE LAST PAGES OF REPORT

MAYA HOTEL
PRELIMINARY UTILITY EXHIBIT



EXISTING LEGEND

EX. S	SEWER LINE
EX. W	WATER LINE
IRR	IRRIGATION LINE
	STORM DRAIN LINE
CB	CATCH BASIN
S	SEWER MANHOLE
D	STORM MANHOLE
WV	WATER VALVE
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ECB	ELECTRIC CABINET

PROPOSED LEGEND:

	PROPERTY LINE
X"W	WATER LINE
X"S	SEWER LINE
WM	WATER METER
	GATE VALVE
	T.S.V.B.&C.
	BACK FLOW PREVENTER
	CAP
S	SEWER MANHOLE
	WATER/SEWER LINE ABANDONMENT

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NORTH

MAYA HOTEL

0' 30' 60' 90'

SCALE: 1" = 30'

PRELIMINARY
NOT FOR
CONSTRUCTION

SEG SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

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ARIZONA811
Arizona Blue Stake, Inc.
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In Maricopa County: (602) 263-1100

PROJECT: MAYA HOTEL
LOCATION: NWC EAST INDIAN PLAZA & BUCKBOARD TRAIL

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020

ISSUED FOR: PRELIMINARY REVIEW

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JOB NO.: 200226

SHEET TITLE: UTILITY EXHIBIT

SHEET NO.: 3

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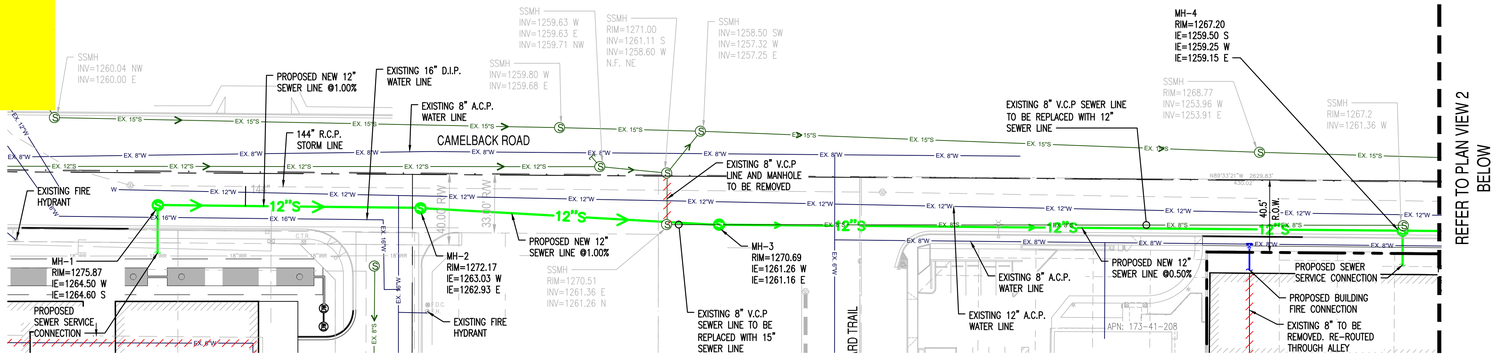
08/17/20

SHEET UPDATED 9/10/20, SEE LAST PAGES OF REPORT

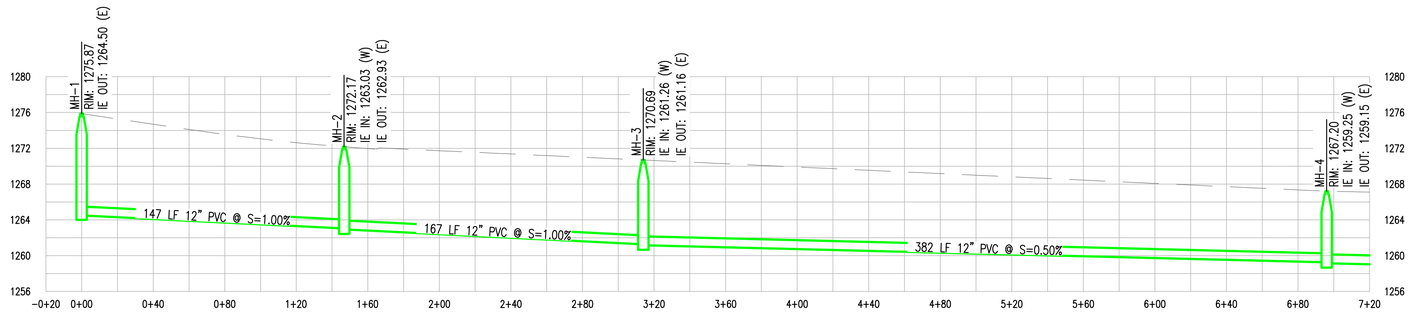


NORTH

SEWER PLAN VIEW 1

0' 40' 80' 120'

SCALE: 1" = 40'



SEWER PROFILE VIEW 1

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

NOTE:

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PROPOSED LEGEND:

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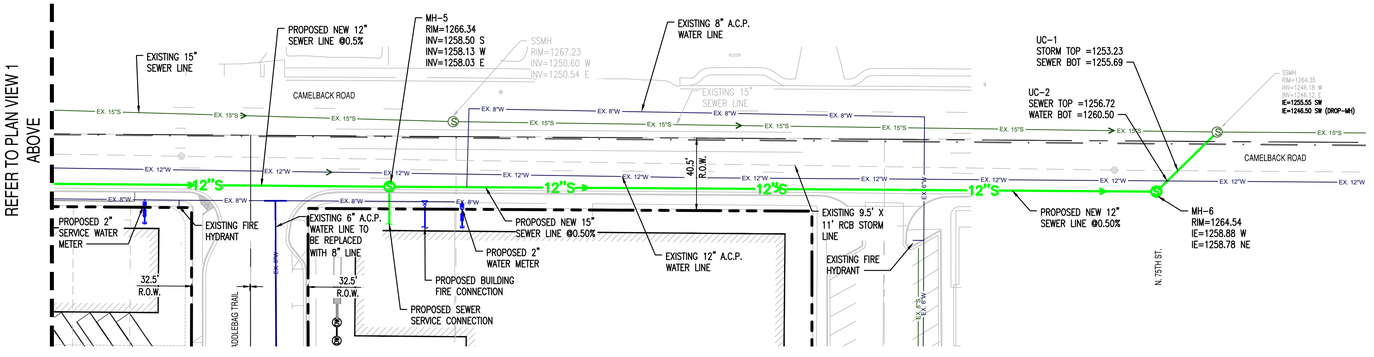
- X"S — SEWER LINE
- WM — WATER METER
- GATE VALVE
- T.S.V.B.&C.
- BACK FLOW PREVENTER
- CAP
- S — SEWER MANHOLE
- WATER/SEWER LINE ABANDONMENT

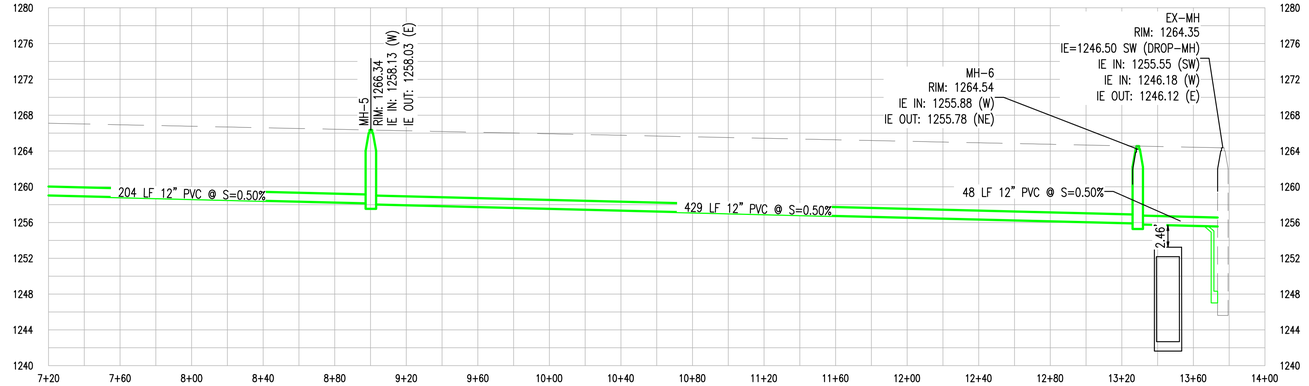


NORTH

SEWER PLAN VIEW 2

0' 40' 80' 120'

SCALE: 1" = 40'



SEWER PROFILE VIEW 2

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

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PROJECT: MAYA HOTEL
LOCATION: NWC EAST INDIAN PLAZA & BUCKBOARD TRAIL

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020
ISSUED FOR: PRELIMINARY REVIEW

REVISION NO.:	DATE:
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JOB NO.: 200226

SHEET TITLE: PROPOSED SEWER PLAN & PROFILE

SHEET NO.: 4

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LOCATION: Z:\SHARED\PROJECTS\NELSEN PARTNERS\MASTER PLAN-SCOTTSDALE-200409\11 CAD (SEG)\11.2 ENTITLEMENT-PLANNING\UTILITY EXHIBIT.DWG SAVED BY: KENYA.AVINA DATE: 8/7/2020

9-ZN-2020 08/11/20

Arizona Flow Testing LLC

HYDRANT FLOW TEST REPORT

Project Name:	Scottsdale Collective-City Center
Project Address:	Brown Ave. & Shoeman Lane (NWC), Scottsdale, Arizona, 85251
Client Project No.:	Not Provided
Arizona Flow Testing Project No.:	20137A
Flow Test Permit No.:	C61868
Date and time flow test conducted:	April 13, 2020 at 6:55 AM
Data is current and reliable until:	October 13, 2020
Conducted by:	Floyd Vaughan – Arizona Flow Testing, LLC (480-250-8154)
Coordinated by:	Ray Padilla –City of Scottsdale-Inspector (602-541-0586)

Raw Test Data

Static Pressure: **100.0 PSI**
(Measured in pounds per square inch)

Residual Pressure: **90.0 PSI**
(Measured in pounds per square inch)

Pitot Pressure: **33.0 PSI**

(Measured in pounds per square inch)

Diffuser Orifice Diameter: One 4-inch Pollard Diffuser
(Measured in inches)

Coefficient of Diffuser: 0.9

Flowing GPM: **2,468 GPM**
(Measured in gallons per minute)

GPM @ 20 PSI: **7,587 GPM**

Data with 28 PSI Safety Factor

Static Pressure: **72.0 PSI**
(Measured in pounds per square inch)

Residual Pressure: **62.0 PSI**
(Measured in pounds per square inch)

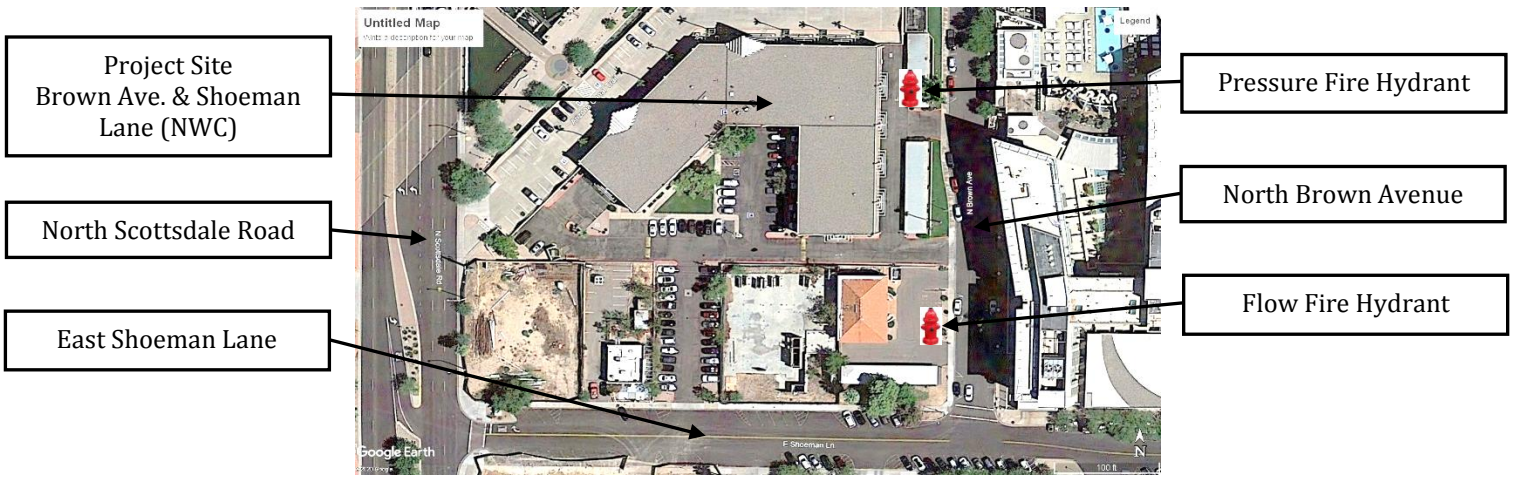
Distance between hydrants: Approx.: 250 feet

Main size: Not Provided

Flowing GPM: **2,468 GPM**

GPM @ 20 PSI**:** **6,013 GPM**

Flow Test Location **North**



FH Test for City Center at Brown Avenue and Shoeman Lane

ANVIL FIRE PLLC | PACKAGED ENCLOSURES | PUMPS | APPS | BLOG | CONTACT

Logarithmic Graph of Water Supply

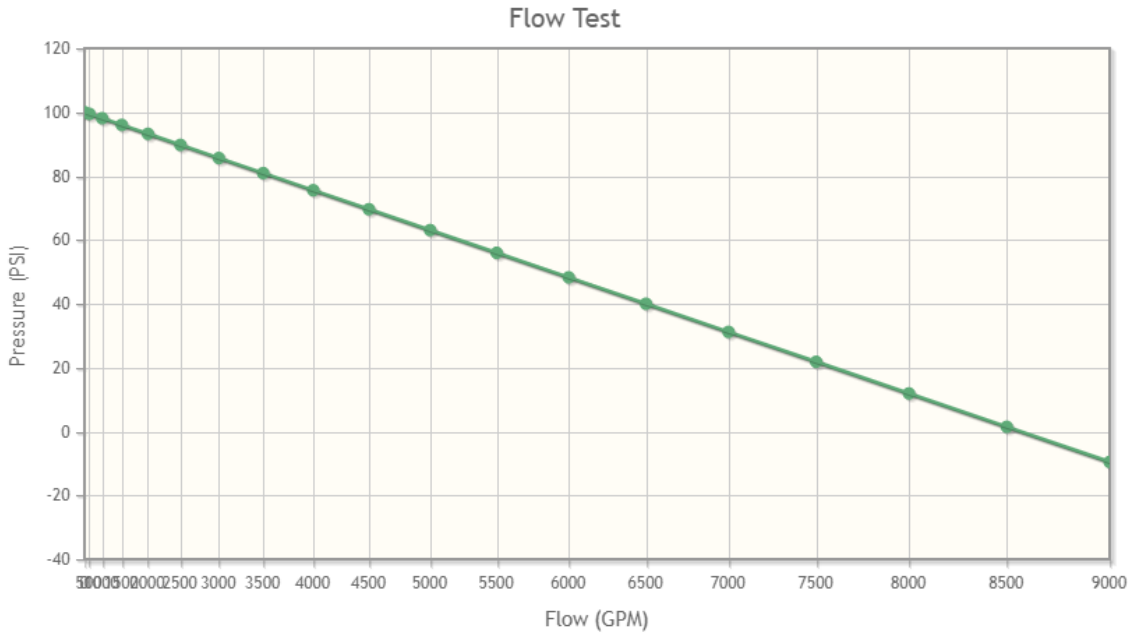
Summary: This app provides a N^1.85 logarithmic graph based on NFPA 291 recommendations. We also offer a blank PDF logarithmic flow test sheet.

Graph Points

100	Static Pressure
90	Residual Pressure
2468	Residual Flow

Data Points

Flow	Pressure
4303.388	72



9-ZN-2020
08/11/20

Arizona Flow Testing LLC

HYDRANT FLOW TEST REPORT

Project Name:	Scottsdale Collective-Maya
Project Address:	Buckboard Ave. & Shoeman (NEC), Scottsdale, Arizona, 85251
Client Project No.:	Not Provided
Arizona Flow Testing Project No.:	20137B
Flow Test Permit No.:	C61869
Date and time flow test conducted:	April 13, 2020 at 7:05 AM
Data is current and reliable until:	October 13, 2020
Conducted by:	Floyd Vaughan – Arizona Flow Testing, LLC (480-250-8154)
Coordinated by:	Ray Padilla –City of Scottsdale-Inspector (602-541-0586)

Raw Test Data

Static Pressure: **102.0 PSI**
(Measured in pounds per square inch)

Residual Pressure: **84.0 PSI**
(Measured in pounds per square inch)

Pitot Pressure: **37.0 PSI**

(Measured in pounds per square inch)

Diffuser Orifice Diameter: One 4-inch Pollard Diffuser
(Measured in inches)

Coefficient of Diffuser: 0.9

Flowing GPM: **2,614 GPM**
(Measured in gallons per minute)

GPM @ 20 PSI: **5,928 GPM**

Data with 30 PSI Safety Factor

Static Pressure: **72.0 PSI**
(Measured in pounds per square inch)

Residual Pressure: **54.0 PSI**
(Measured in pounds per square inch)

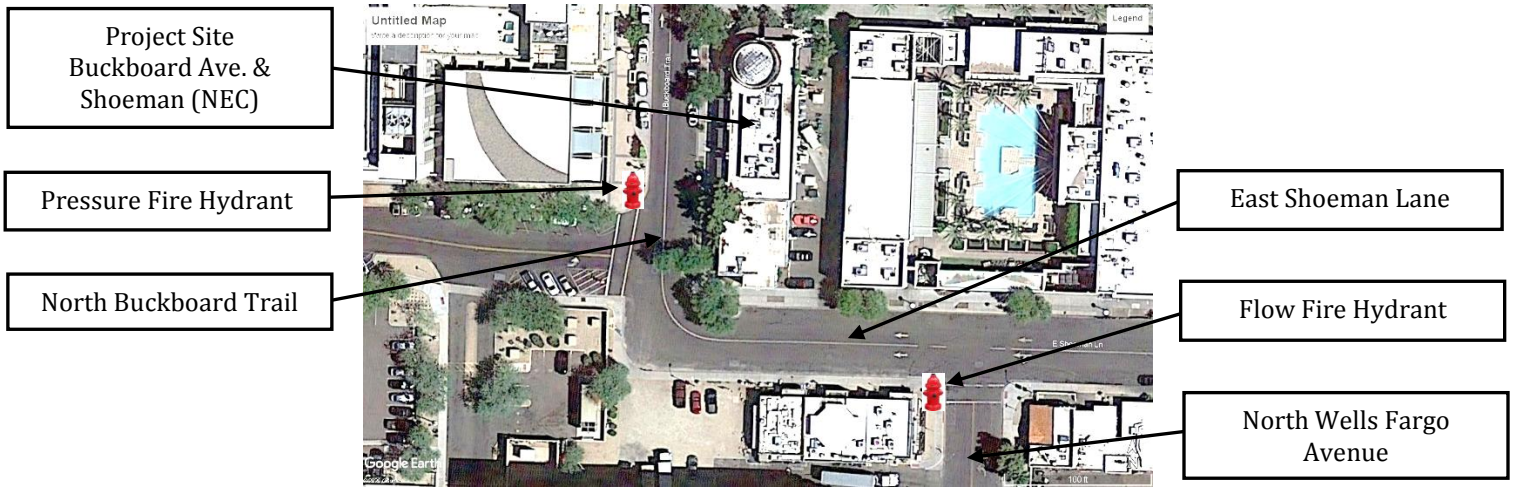
Distance between hydrants: Approx.: 340 feet

Main size: Not Provided

Flowing GPM: **2,614 GPM**

GPM @ 20 PSI**:** **4,635 GPM**

Flow Test Location **North**



APPENDIX III
9-ZN-2020
08/11/20

FH Test for The Maya at Buckboard Avenue and Shoeman Lane

ANVIL FIRE PLLC | PACKAGED ENCLOSURES | PUMPS | APPS | BLOG | CONTACT

Logarithmic Graph of Water Supply

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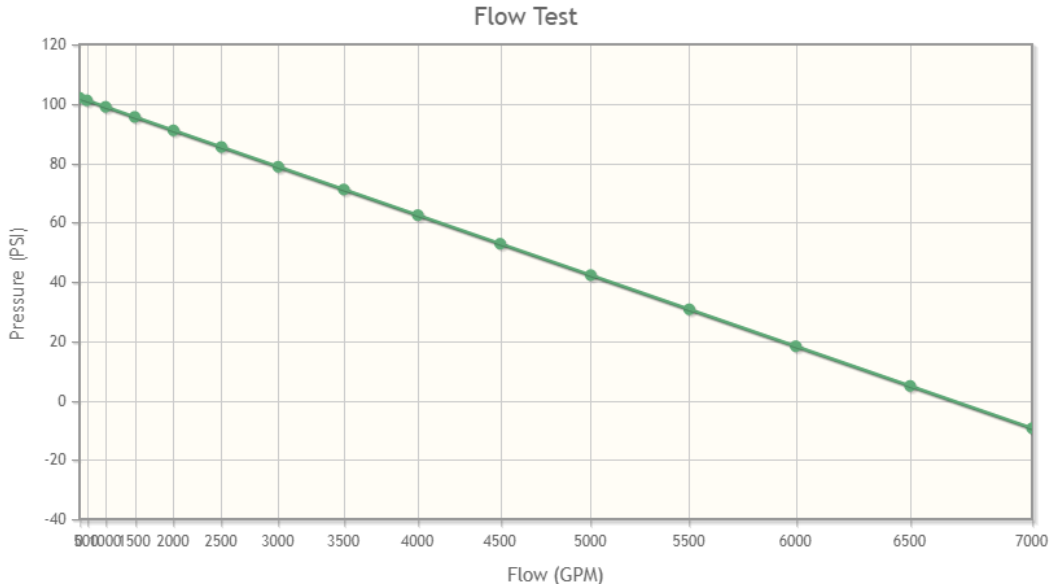
Graph Points

102	Static Pressure
84	Residual Pressure
2614	Residual Flow

Data Points

Flow	Pressure
3444.323	72



9-ZN-2020
08/11/20

Arizona Flow Testing LLC

HYDRANT FLOW TEST REPORT

Project Name:	Scottsdale Collective-Mint
Project Address:	Civic Center Plaza & Indian Plaza (NWC), Scottsdale, Arizona 85251
Client Project No.:	Not Provided
Arizona Flow Testing Project No.:	20137C
Flow Test Permit No.:	C61870
Date and time flow test conducted:	April 13, 2020 at 7:15 AM
Data is current and reliable until:	October 13, 2020
Conducted by:	Floyd Vaughan – Arizona Flow Testing, LLC (480-250-8154)
Coordinated by:	Ray Padilla –City of Scottsdale-Inspector (602-541-0586)

Raw Test Data

Static Pressure: **104.0 PSI**
(Measured in pounds per square inch)

Residual Pressure: **80.0 PSI**
(Measured in pounds per square inch)

Pitot Pressure: **34.0 PSI**

(Measured in pounds per square inch)

Diffuser Orifice Diameter: One 4-inch Pollard Diffuser
(Measured in inches)

Coefficient of Diffuser: 0.9

Flowing GPM: **2,506 GPM**
(Measured in gallons per minute)

GPM @ 20 PSI: **4,928 GPM**

Data with 32 PSI Safety Factor

Static Pressure: **72.0 PSI**
(Measured in pounds per square inch)

Residual Pressure: **48.0 PSI**
(Measured in pounds per square inch)

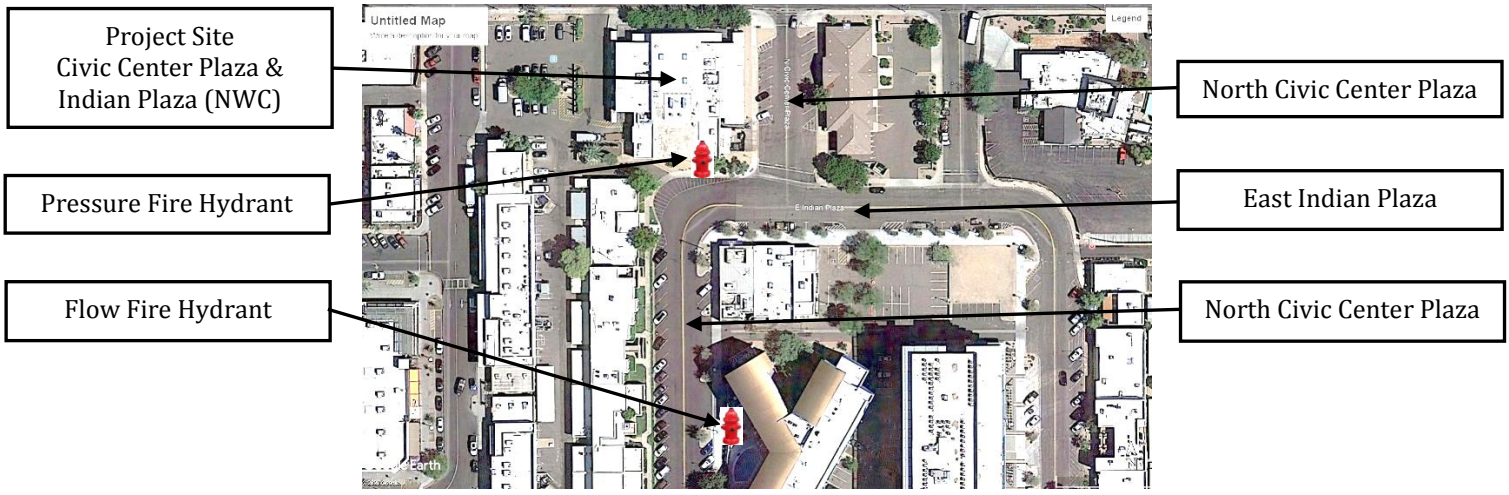
Distance between hydrants: Approx.: 290 feet

Main size: Not Provided

Flowing GPM: **2,506 GPM**

GPM @ 20 PSI**:** **3,804 GPM**

Flow Test Location **North**



APPENDIX III
9-ZN-2020
08/11/20

FH Test for The Mint at Civic Center Plaza and Indian Plaza

ANVIL FIRE PLLC | PACKAGED ENCLOSURES | PUMPS | APPS | BLOG | CONTACT

Logarithmic Graph of Water Supply

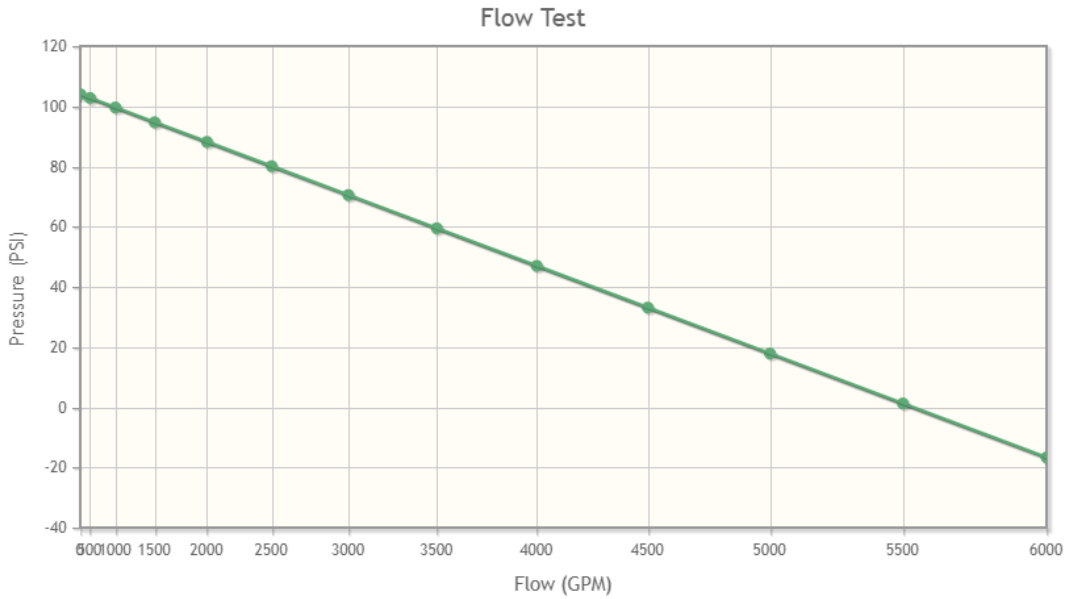
Summary: This app provides a N^1.85 logarithmic graph based on NFPA 291 recommendations. We also offer a blank PDF logarithmic flow test sheet.

Graph Points

104	Static Pressure
80	Residual Pressure
2506	Residual Flow

Data Points

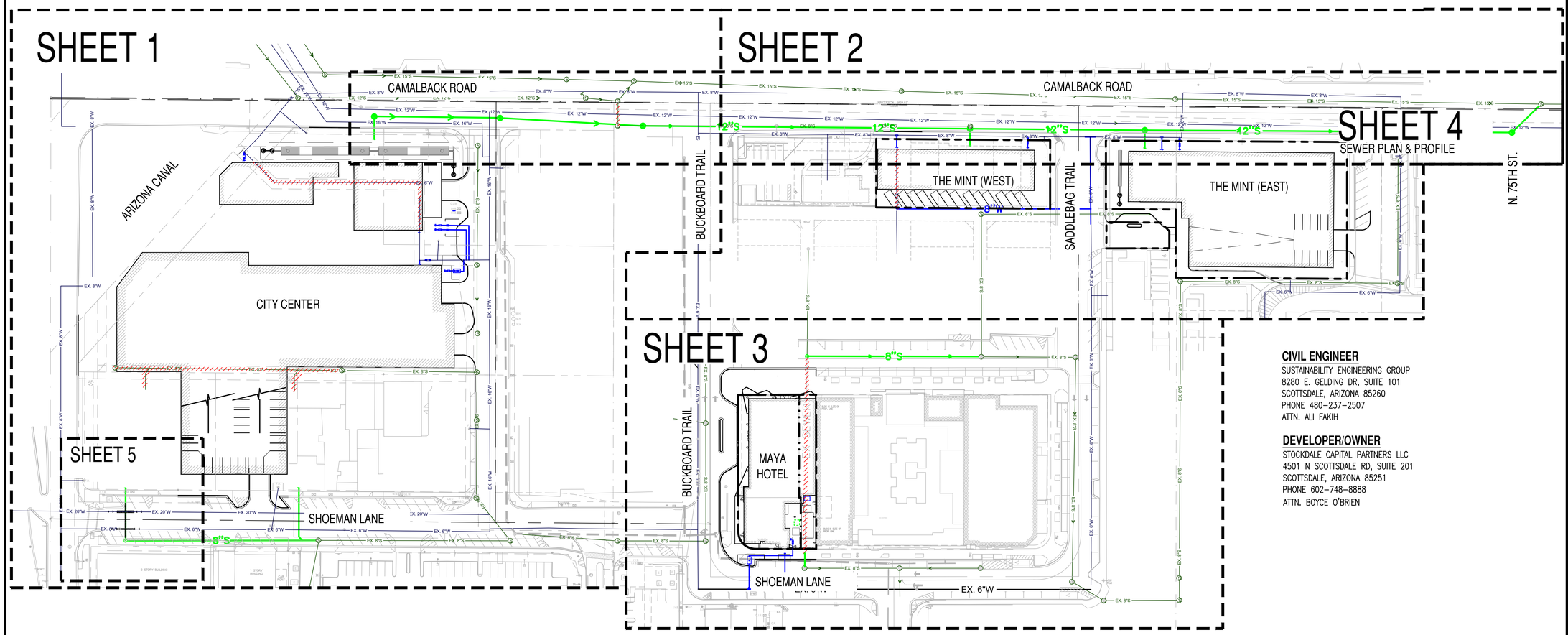
Flow	Pressure
2927.170	72



9-ZN-2020
08/11/20

WATER RESOURCES: SEG PROVIDED THIS REVISED SHEET ON 9/10/2020. ANY PREVIOUS COMMENT NOT ADDRESSED ARE STILL APPLICABLE. WATER RESOURCES HAS ADDED ADDITIONAL COMMENTS.

OVERALL UTILITY EXHIBIT & KEY MAP



NOTE:

1. MANHOLES 1 AND 2 RIMS HAS BEEN SET BASED ON THE SURVEY RECEIVED FROM MLC SERVICES,LLC.
2. MANHOLES 3 THROUGH 7 RIMS HAS BEEN SET BASED ON QUARTER SECTION MAP.
3. EXISTING MANHOLE AT THE CONNECTION POINT INVERTS AND RIM WAS SET BASED ON QUARTER SECTION MAP.

EXISTING LEGEND

EX. S	SEWER LINE
EX. W	WATER LINE
IRR	IRRIGATION LINE
	STORM DRAIN LINE
CB	CATCH BASIN
S	SEWER MANHOLE
D	STORM MANHOLE
WV	WATER VALVE
WMB	WATER METER BOX
ECB	ELECTRIC CABINET

PROPOSED LEGEND:

	PROPERTY LINE
X"W	WATER LINE
X"S	SEWER LINE
WM	WATER METER
	GATE VALVE
	T.S.V.B.&C.
	BACK FLOW PREVENTER
	CAP
S	SEWER MANHOLE
	WATER/SEWER LINE ABANDONMENT

NORTH

OVERALL UTILITY EXHIBIT & KEY MAP

0' 60' 120' 180'

SCALE: 1" = 60'

CIVIL ENGINEER
SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR, SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE 480-237-2507
ATTN. ALI FAKIH

DEVELOPER/OWNER
STOCKDALE CAPITAL PARTNERS LLC
4501 N SCOTTSDALE RD, SUITE 201
SCOTTSDALE, ARIZONA 85251
PHONE 602-748-8888
ATTN. BOYCE O'BRIEN

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY ENGINEERING GROUP
SEG
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW. AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

Call at least two full working days before you begin excavation. ARIZONA 811 Arizona Blue Stake, Inc. Dial 8-1-1 or 1-800-STAKE-IT (782-5348) In Maricopa County (602) 263-1100

PROJECT: SCOTTSDALE COLLECTIVE
LOCATION:

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020
ISSUED FOR: ZONING

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 200226

SHEET TITLE: UTILITY EXHIBIT KEY MAP

SHEET NO.:

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CITY CENTER
PRELIMINARY UTILITY EXHIBIT

WATER RESOURCES: SEG PROVIDED THIS REVISED SHEET ON 9/10/2020. ANY PREVIOUS COMMENT NOT ADDRESSED ARE STILL APPLICABLE. WATER RESOURCES HAS ADDED ADDITIONAL COMMENTS.

* FIRE LINE TO STAY CONNECTED CONTINUOUSLY BETWEEN CAMELBACK ROAD AND BROWN AVE THROUGH INTERNAL NETWORK IN THE BUILDING.

CAMELBACK ROAD

SSMH
INV=1260.04 NW
INV=1260.00 E

SSMH
INV=1263.64 E
INV=1263.41 S

PROPOSED NEW 12" SEWER LINE @1.00%

EXISTING 16" D.I.P. WATER LINE

EXISTING 8" A.C.P. WATER LINE

144" R.C.P. STORM LINE

SSMH
INV=1259.63 W
INV=1259.63 E
INV=1259.71 NW

SSMH
INV=1259.80 W
INV=1259.68 E

SSMH
RIM=1271.00
INV=1261.11 S
INV=1258.60 W
N.F. NE

SSMH
INV=1258.50 SW
INV=1257.32 W
INV=1257.26 E

Existing hydrants not shown, new hydrants not shown. Looping through the City Center site will be required (Current site has).

EXISTING 8" V.C.P LINE AND MANHOLE TO BE REMOVED

EXISTING FIRE HYDRANT

BACKFLOW PREVENTION ASSEMBLY

*PROPOSED BUILDING FIRE CONNECTION

14.95' U.U.E.

MH-1
RIM=1275.87
IE=1264.50 W
IE=1264.60 S

PROPOSED SEWER SERVICE CONNECTION

MH-2
RIM=1272.17
IE=1263.03 W
IE=1262.93 E

PROPOSED NEW 12" SEWER LINE @1.00%

SSMH
RIM=1270.51
INV=1261.36 E
INV=1261.26 N

MH-3
RIM=1270.69
IE=1261.26 W
IE=1261.16 E

EXISTING 8" V.C.P SEWER LINE TO BE REPLACED WITH 12" SEWER LINE

EX SEWER SERVICE CONNECTION TO TIE TO NEW PEOPOSED SEWER

EXISTING 8" C.I.P. WATER LINE

This City Center building extension is dependent on sewer service rerouting to Shoeman and extension of sewer on Shoeman.

Provide documentable written concurrence with On the Waterfront and Marquee owners, or official reps, on who will be responsible for revising respective already approved plans or otherwise responsible for necessary coordination items related to this modification. Describe necessary and proposed coordination.
iii.

Provide documentable written confirmation from Marquee Engineer that the extended Shoeman sewer will not conflict with the current design.

EXISTING 6" A.C.P. WATER LINE TO BE REMOVED

12' WATER EASEMENT TO BE ABANDONED

PROPOSED 2" SERVICE WATER METER

PROPOSED 1" IRRIGATION WATER METER

EXISTING FIRE HYDRANT

Within the final BOD provide analysis showing that 6" will be adequate.

*PROPOSED BUILDING FIRE CONNECTION

BACKFLOW PREVENTION ASSEMBLY

PROPOSED 3" SERVICE WATER METER

EXISTING 8" V.C.P SEWER LINE

EXISTING 16" D.I.P. WATER LINE

EXISTING 18" HDPE STORM LINE

BUCKBOARD TRAIL

MATCHLINE REFER TO SHEET 2

This connection/reroute of lateral is pending and dependent on this property owners formal agreement to this. The Collective/ Collection will have to relocate this lateral and make any necessary plumbing modification s to the impacted parcel to maintain sewer service.

10' U.U.E.

SSMH
RIM=1272.58
INV=1266.09

EXISTING 8" V.C.P SEWER LINE TO BE REMOVED

SSMH
RIM=1269.64
INV=1263.53 N
INV=1263.64 E
INV=1263.41 S

16' P.U.E. & IRRIGATION EASEMENT

EXISTING 8" V.C.P SEWER LINE

SCOTTSDALE ROAD

EXISTING SEWER SERVICE LINE TO BE ABANDONED

5' U.E.

APN: 173-41-006A

20' P.U.E.

EXISTING SEWER SERVICE LINE TO BE ABANDONED

UPTON CONDOMINIUM
APN: 173-41-323

APN: 173-41-002

EXISTING FIRE HYDRANT

BROWN AVE

The design shall allow for reasonable third party oversizing of the new Camelback sewer prior to either final BOD approval or plan approvals. Oversizing of the Camelback sewer will be pursued by the City and/or by any potential future development that will need to connect to the new sewer (particularly the NWC of Brown and Shoeman).

The design depth of the new Camelback sewer shall accomodate connection of potential future redevelopment north of Shoeman and west of Brown and north of Indian Plaza between Brown and 75th St.

33' R.O.W.

7' ROAD WAY & P.U.E

PROPOSED SERVICE RELOCATION PER ON THE WATERFRONT CIVIL IMPROVEMENT PLANS CASE NO. 59-DR-2014#2 IE=1269.27

EXISTING FIRE HYDRANT

PROPOSED NEW LOCATION FOR SEWER SERVICE CONNECTION

This connection/reroute of lateral is pending and dependent on this property owners formal agreement to this. The Collective/ Collection will have to relocate this lateral and make any necessary plumbing modification s to the impacted parcel to maintain sewer service.

SSMH
RIM=1269.25
INV=1262.86 N
INV=1262.44 SE

EXISTING 20" D.I.P. WATER LINE

SHOEMAN LANE

CONCRETE ENCASEMENT PER M.A.G. STD. DET. 404-3.

MH-7
RIM=1273.21
IE=1268.66 6" N
IE=1263.82' 8" E

EXISTING 6" A.C.P. WATER LINE

PROPOSED NEW 8" SEWER LINE @0.70%

SSMH
RIM=1270.03
INV=1263.18 S
INV=1262.91 E&W

EXISTING 8" V.C.P SEWER LINE

SSMH
RIM=1268.65
INV=1261.62 NW
INV=1261.16 E&W

SHEET 5

MATCHLINE REFER TO SHEET 3

NOTE:

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EXISTING LEGEND

EX. S	SEWER LINE
EX. W	WATER LINE
IRR	IRRIGATION LINE
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CB	CATCH BASIN
S	SEWER MANHOLE
D	STORM MANHOLE
WV	WATER VALVE
WMB	WATER METER BOX
ECB	ELECTRIC CABINET

PROPOSED LEGEND:

	PROPERTY LINE
X"W	WATER LINE
X"S	SEWER LINE
WM	WATER METER
	GATE VALVE
	T.S.V.B.&C.
	BACK FLOW PREVENTER
	CAP
S	SEWER MANHOLE
	WATER/SEWER LINE ABANDONMENT

NORTH

CITY CENTER

0' 30' 60' 90'

SCALE: 1" = 30'

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY ENGINEERING GROUP
SEG
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW. AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

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PROJECT	LOCATION
CITY CENTER	NWC SCOTTSDALE RD & CAMELBACK RD

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020

ISSUED FOR: PRELIMINARY REVIEW

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 200226

SHEET TITLE: UTILITY EXHIBIT

SHEET NO.: 1

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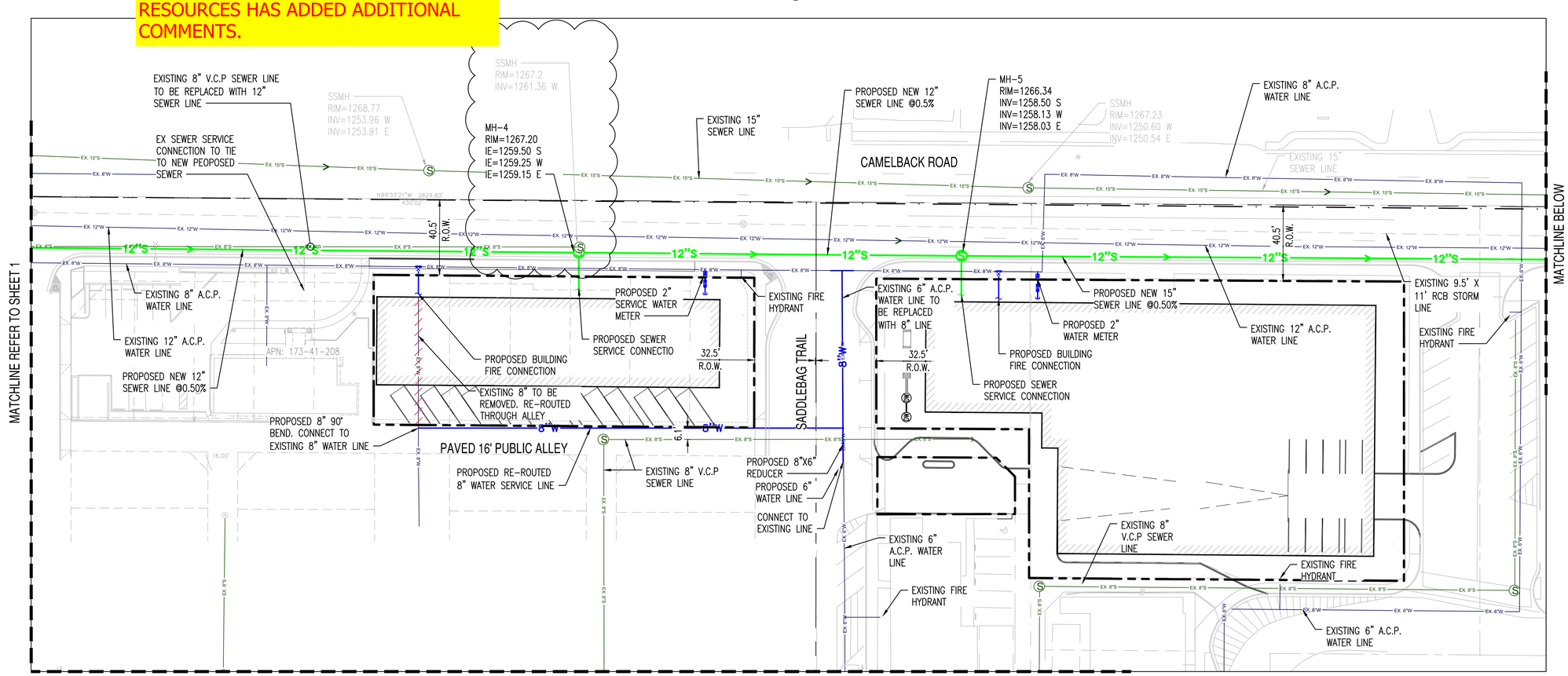
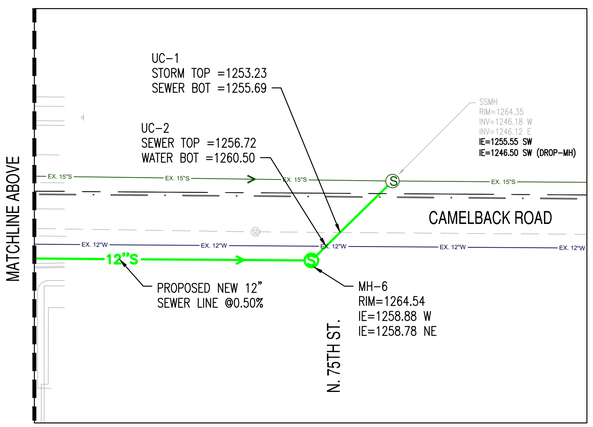
LOCATION: Z:\SHARED\PROJECTS\WELSEN PARTNERS\MASTER PLAN-SCOTTSDALE-200409\11 CAD (SEG)\11.2 ENTITLEMENT-PLANNING\UTILITY EXHIBIT.DWG SAVED BY: TADAMON.MOHAMMED DATE: 9/9/2020

WATER RESOURCES: SEG PROVIDED THIS REVISED SHEET ON 9/10/2020. ANY PREVIOUS COMMENT NOT ADDRESSED ARE STILL APPLICABLE. WATER RESOURCES HAS ADDED ADDITIONAL COMMENTS.

THE MINT
PRELIMINARY UTILITY EXHIBIT





PLAN VIEW
SCALE: 1" = 30'

NOTE:

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EX. W	WATER LINE
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	STORM DRAIN LINE
CB	CATCH BASIN
S	SEWER MANHOLE
D	STORM MANHOLE
WV	WATER VALVE
WMB	WATER METER BOX
ECB	ELECTRIC CABINET

PROPOSED LEGEND:

	PROPERTY LINE
X"W	WATER LINE
X"S	SEWER LINE
WM	WATER METER
	GATE VALVE
	T.S.V.B.&C.
	BACK FLOW PREVENTER
	CAP
S	SEWER MANHOLE
	WATER/SEWER LINE ABANDONMENT

NORTH
THE MINT
0' 30' 60' 90'
SCALE: 1" = 30'

PRELIMINARY
NOT FOR
CONSTRUCTION

SEG SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
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PROJECT	THE MINT
LOCATION	CAMELBACK RD & SADDLEBAG TRAIL

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020
ISSUED FOR: PRELIMINARY REVIEW

REVISION NO.:	DATE:
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JOB NO.: 200226

SHEET TITLE: UTILITY EXHIBIT

SHEET NO.: 2

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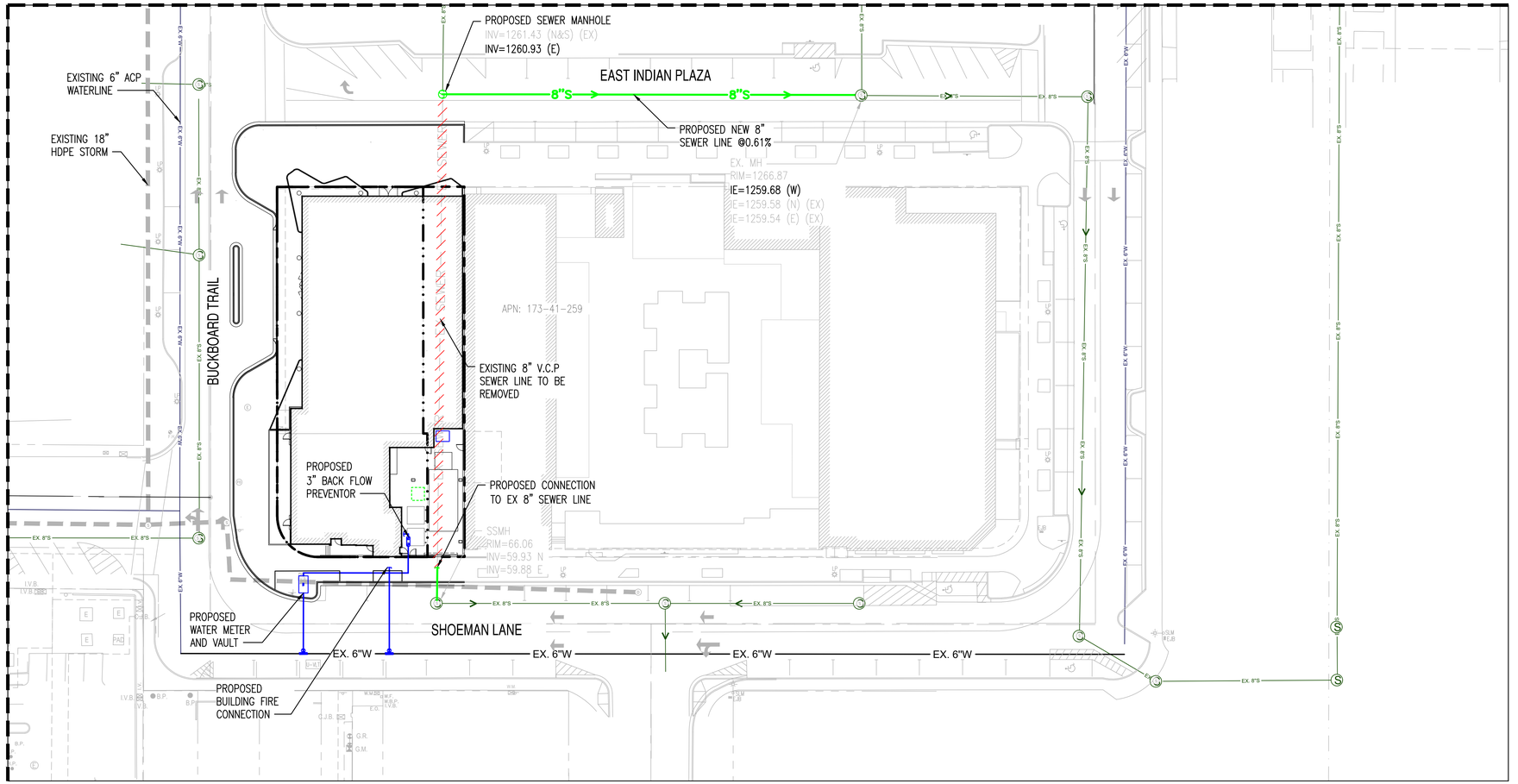
WATER RESOURCES: SEG PROVIDED THIS REVISED SHEET ON 9/10/2020. ANY PREVIOUS COMMENT NOT ADDRESSED ARE STILL APPLICABLE. WATER RESOURCES HAS ADDED ADDITIONAL COMMENTS.

MAYA HOTEL
PRELIMINARY UTILITY EXHIBIT

MATCHLINE REFER TO SHEET 1

MATCHLINE REFER TO SHEET 2



EXISTING LEGEND

EX. S	SEWER LINE
EX. W	WATER LINE
IRR	IRRIGATION LINE
	STORM DRAIN LINE
CB	CATCH BASIN
S	SEWER MANHOLE
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WMB	WATER METER BOX
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	PROPERTY LINE
X"W	WATER LINE
X"S	SEWER LINE
WM	WATER METER
	GATE VALVE
	T.S.V.B.&C.
	BACK FLOW PREVENTER
	CAP
S	SEWER MANHOLE
	WATER/SEWER LINE ABANDONMENT

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NORTH

MAYA HOTEL

0' 30' 60' 90'

SCALE: 1" = 30'

PRELIMINARY
NOT FOR
CONSTRUCTION

SEG SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

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ARIZONA811 Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

PROJECT: MAYA HOTEL
LOCATION: NWC EAST INDIAN PLAZA & BUCKBOARD TRAIL

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020

ISSUED FOR: PRELIMINARY REVIEW

REVISION NO.:	DATE:
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JOB NO.: 200226

SHEET TITLE: UTILITY EXHIBIT

SHEET NO.: 3

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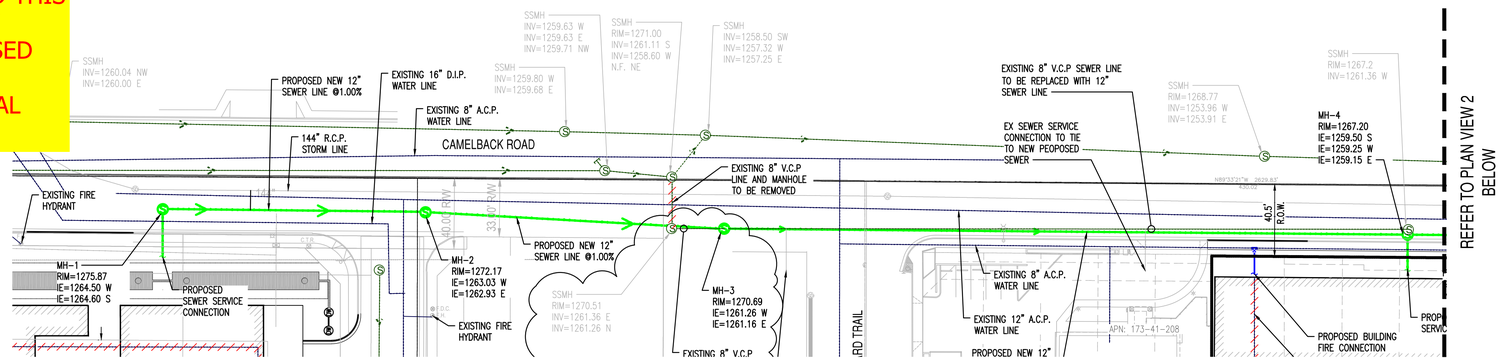
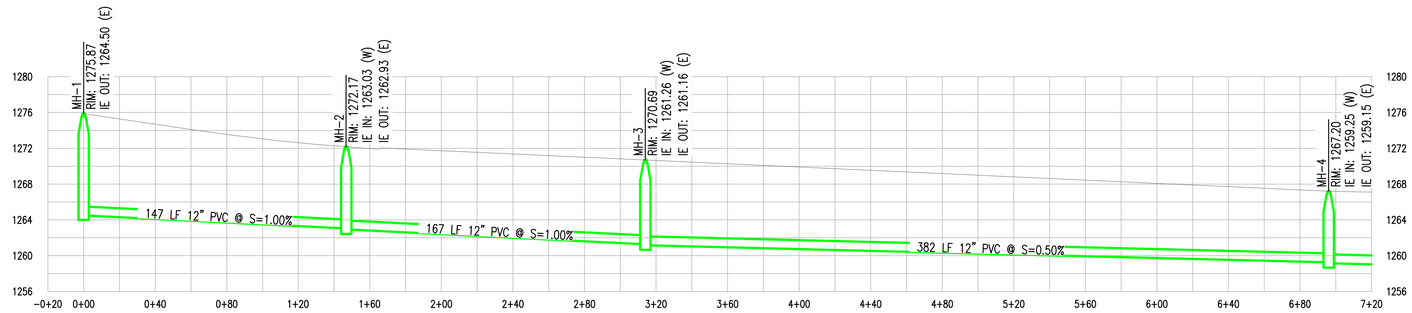


NORTH

SEWER PLAN VIEW 1

0' 40' 80' 120'

SCALE: 1" = 40'



SEWER PROFILE VIEW 1

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

NOTE:

1. MANHOLES 1 AND 2 RIMS HAS BEEN SET BASED ON THE SURVEY RECEIVED FROM MLC SERVICES,LLC.
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3. EXISTING MANHOLE AT THE CONNECTION POINT INVERTS AND RIM WAS SET BASED ON QUARTER SECTION MAP.

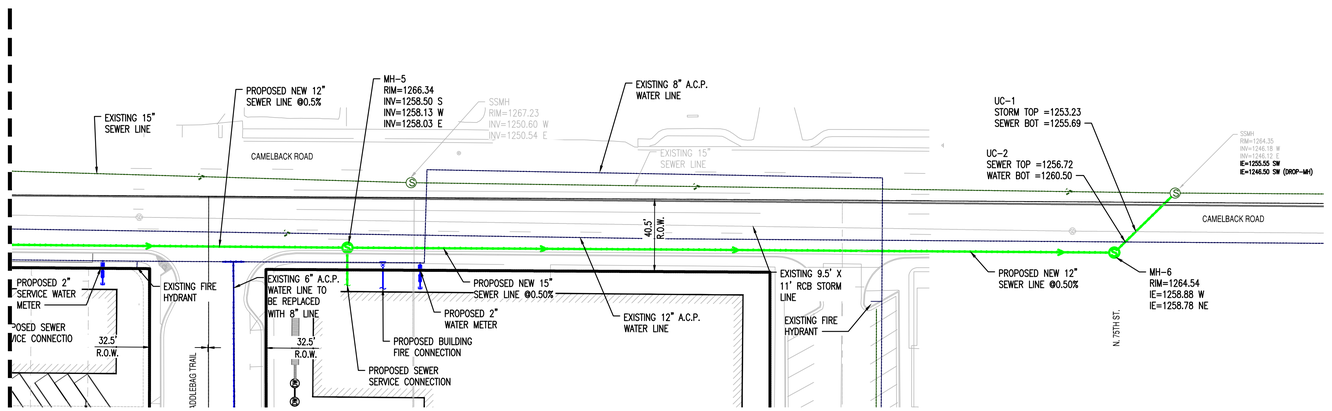
EXISTING LEGEND

- EX. S — SEWER LINE
- EX. W — WATER LINE
- IRR — IRRIGATION LINE
- STORM DRAIN LINE
- CB — CATCH BASIN
- S — SEWER MANHOLE
- D — STORM MANHOLE
- WV — WATER VALVE
- WMB — WATER METER BOX
- ECB — ELECTRIC CABINET

PROPOSED LEGEND:

- PROPERTY LINE
- X"W — WATER LINE
- X"S — SEWER LINE
- WM — WATER METER
- GATE VALVE
- T.S.V.B.&C.
- BACK FLOW PREVENTER
- CAP
- S — SEWER MANHOLE
- WATER/SEWER LINE ABANDONMENT

REFER TO PLAN VIEW 1 ABOVE

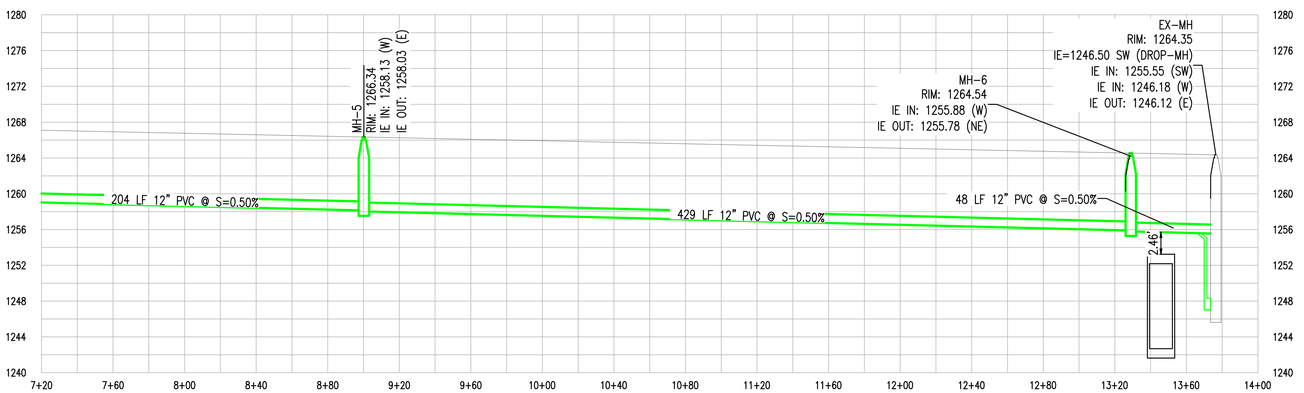


NORTH

SEWER PLAN VIEW 2

0' 40' 80' 120'

SCALE: 1" = 40'



SEWER PROFILE VIEW 2

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

PRELIMINARY
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SEG SUSTAINABILITY ENGINEERING GROUP
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Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

PROJECT: MAYA HOTEL
LOCATION: NWC EAST INDIAN PLAZA & BUCKBOARD TRAIL

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020

ISSUED FOR: PRELIMINARY REVIEW

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 200226

SHEET TITLE: PROPOSED SEWER PLAN & PROFILE

SHEET NO.: 4

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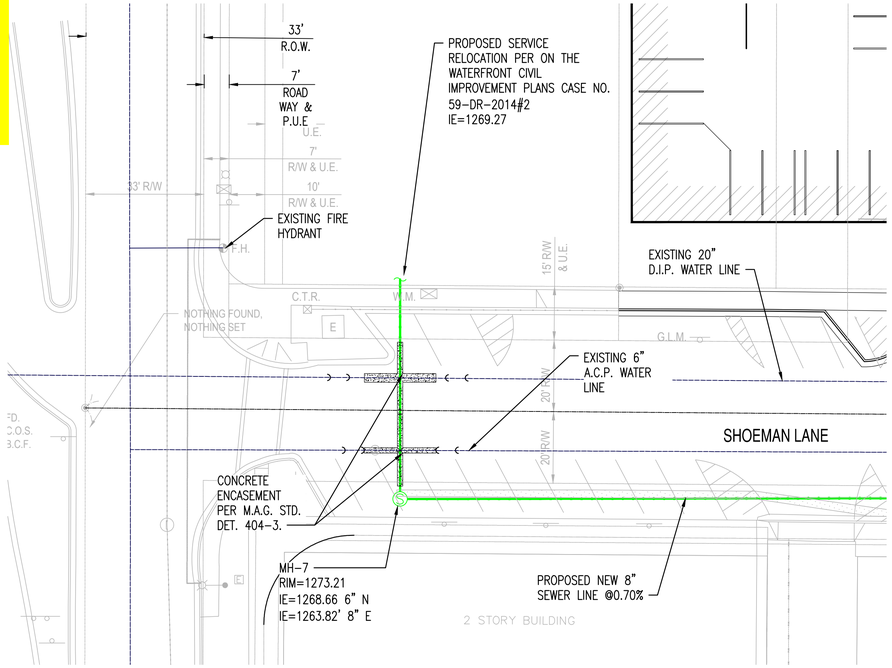
LOCATION: Z:\SHARED\PROJECTS\NELSEN PARTNERS\MASTER PLAN-SCOTTSDALE-200409\11 CAD (SEG)\11.2 ENTITLEMENT-PLANNING\UTILITY EXHIBIT.DWG SAVED BY: TADAMON.MOHAMMED DATE: 9/9/2020

WATER RESOURCES: SEG PROVIDED THIS REVISED SHEET ON 9/10/2020. ANY PREVIOUS COMMENT NOT ADDRESSED ARE STILL APPLICABLE. WATER RESOURCES HAS ADDED ADDITIONAL COMMENTS.



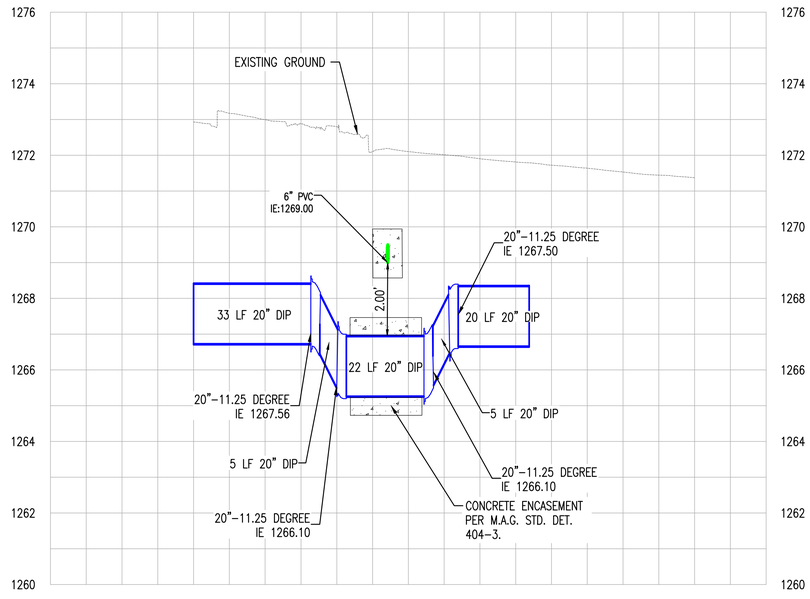
NOTE:
REQUIRES VERTICAL REALIGNMENT PER MAG STD. DET. 370. PROVIDE 2' MINIMUM CLEAR SEPARATION WITH CONCRETE ENCASEMENT PER MAG STD. DET. 404-3 & MAG SPECIFICATION 610.5.

WATER CROSSING 1

0' 20' 40' 60'

SCALE: 1" = 20'

NORTH



WATER CROSSING 1

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

PRELIMINARY
NOT FOR
CONSTRUCTION

SEG SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534

Call at least two full working days before you begin excavation.
ARIZONA811 Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

PROJECT: MAYA HOTEL
LOCATION: NWC EAST INDIAN PLAZA & BUCKBOARD TRAIL

DRAWN	KA	04/28/2020
DESIGNED	KA	04/28/2020
QC	SC	
QA	AF	
PROJ. MGR.	AF	

DATE: 08/07/2020
ISSUED FOR: PRELIMINARY REVIEW

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 200226

SHEET TITLE: WATER CROSSING

SHEET NO.: 5

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