HISTORIC PRESERVATION PLAN & DESIGN GUIDELINES
for the rehabilitation of

THE KIMSEY BUILDING

15 January 2021

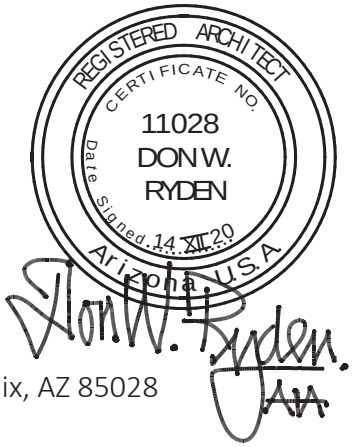
SCOTTSDALE, ARIZONA

Prepared for Owner-Developer **PEG COMPANIES**
Prime Architect **GENSLER PHOENIX**

Prepared by **RYDEN ARCHITECTS, INC.**
with **DOUGLAS SYDNOR ARCHITECT & ASSOCIATES**

THE KIMSEY BUILDING

and New Construction of a Hotel and Residences
7120 East Indian School Road – Scottsdale, AZ 85251
14 December 2020



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CHAPTER I
Introduction

Oblique aerial view of the Kimsey Building in about 1963 when occupied by Scottsdale City Hall, Lederman Music, and Olan Mill Photography.

the purpose of the historic preservation plan

This Historic Preservation Plan (HP Plan or HPP) provides guidance for planning and undertaking improvements to the **Kimsey Building**, a 1963 commercial building also known as Butler Homes Building, Old City Hall, Triangle Building, and The Triangle, at 7120 East Indian School Road, Scottsdale, Arizona 85251. As an individual property, this building is eligible for designation by the City of Scottsdale as a historic property for the purposes of zoning administration and historic resource management. The preservation policies, guidelines, and recommendations in the HP Plan should be used by the property owner in planning for adaptive use rehabilitation, alterations, additions, new construction, and site improvements. This HP Plan also addresses the design of new buildings or relocated buildings within or adjacent to the defined historic area.

The HP Plan will be used by Scottsdale's Historic Preservation Commission (HPC) and the staff of the City Historic Preservation Office (CHPO) in making decisions about issuing Certificates of "No Effect" or "Appropriateness." The City requires these approvals for all work related to any alteration of the exterior of the building or the site and all work requiring a building permit that is undertaken for a designated HP Historic Property. Refer to Z.O. Sec.6.121 and 6.122. This document will also be used in evaluating the appropriateness of the City's own public works projects within and adjacent to the historic resource.

These guidelines should assist the property owner in understanding the historic character of the building and context of time and place in which it was constructed. This should help in making appropriate decisions about maintenance, preservation (repair and replacement), rehabilitation, and new construction.

WHY PRESERVE HISTORIC RESOURCES?

Throughout our nation, communities promote historic preservation because doing so contributes to neighborhood livability and quality of life, minimizes negative impacts on the environment and yields economic rewards. These same reasons apply to Scottsdale. Because Scottsdale offers an outstanding quality of life, it attracts development that challenges the community to protect its unique character. Preserving historic resources is a part of an overall strategy of maintaining community identity and livability. As Scottsdale continues to change, it will maintain its ties to the past through the preservation of its architectural heritage reflected in its historic resources. Keeping these resources creates a sense of place for residents and provides visitors with a connection with the local heritage.

THE POLICY BASIS FOR PRESERVATION GUIDELINES

The preservation guidelines presented in this HP Plan are in keeping with the generally accepted historic preservation standards provided by the National Park Service about the best way to approach making alterations and additions to properties as well as constructing new buildings and site improvements associated with designated historic buildings. They provide a basis for making decisions about changes that affect the appearance of individual buildings or the general character of a historic district. These historic preservation guidelines do not dictate design solutions. Rather, they define a range of appropriate responses to various specific design issues within the context of historic resources.

The City of Scottsdale has also developed a GREEN BUILDING PROGRAM that is a model for many cities around the country. The goal of the program is to "encourage" energy efficient, healthy, and environmentally responsible buildings in the Sonoran Desert region." The Green Building Guidelines cover a variety of issues from Site Use and Landscaping, Energy Conservation, Additions and Enclosures – objectives that mesh comfortably with preservation goals.

This HP Plan with its set of Preservation Policies, Design Guidelines, and Treatment Recommendations is meant to supplement the Department of Planning and Development Services' Green Building: Guidelines for Sustainable Building in the Sonoran Desert. The guidelines will address specifically those elements and issues directly related to fostering appropriate rehabilitation and compatible additions to this building.

The HP Policies and Guidelines should not conflict with requirements of the Scottsdale Green Building regulations. Specific rehabilitation solutions that comply first with life/safety considerations and secondly with the HP Plan occasionally may then conflict with energy/resources concepts. Conflicts may be discovered regarding interpretation of these three considerations. Thus, consultation between the property owner's design team and representatives from these agencies should consult for evaluating priorities, impacts, and feasibilities and for identifying appropriate alternative design solutions.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The Secretary of the Interior's Standards & Guidelines for Rehabilitating Historic Buildings (Department of Interior regulations 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features, and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to the specific rehabilitation project in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The Kimsey Building seen in the background of the Scottsdale High School homecoming parade in about 1983.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive features, the new features shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

BASIC TREATMENTS FOR HISTORIC PRESERVATION

The Secretary of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings identifies the following preservation treatments:

Identify and Preserve the form and detailing of those architectural materials and features that are important in defining the historic character.

Protect and Maintain with minimal intervention, whenever possible.

Repair with the least degree of intervention. Substitute material is acceptable if the form and design as well as the substitute material itself convey the visual appearance of the remaining parts of the feature and finish.

Replace with new material because the level of deterioration or damage of materials precludes repair. The original material's performance will be evaluated before considering the use of a compatible substitute material.

Design for Missing Historic Features is acceptable when documentation exists to allow them to be accurately recovered in form and detailing.

THE SCOTTSDALE HISTORIC PRESERVATION REVIEW PROCESS

The Scottsdale Historic Property (HP) ordinance sets forth the process for reviewing plans to ensure that the preservation objectives for this property are met. The City HP ordinance is not intended to prohibit alterations, additions, or new construction to the building. Instead it is intended to 1) guide the proposed work so that it does not adversely affect the historic characteristics that distinguish the building, and 2) provide compatibility of the new with the old. The guidelines are limited to exterior work only. Owners and their architects, designers, and contractors are strongly encouraged to use the principles, policies, guidelines, and recommendations in this HP Plan to prepare improvement plans.

REVIEW PROCESS FOR PROPOSED ALTERATIONS

Pre-Application Submittal
When an HP property owner proposes an alteration to the building or site, the owner must submit a completed Pre-Application Request Form to the Historic Preservation Office for review. During a pre-application meeting Historic Preservation OIffce staff and the applicant will review the proposed scope of work and staff will provide guidance about information and drawings that will need to be submitted with the development application.

Development Application Checked for Completeness.
Applicant Advised that Building is Designated Historic.
Historic Preservation OIffce staff will promptly determine whether the application is complete for review as submitted or if additional information is needed. They will also make sure the applicant is aware that the building is designated historic and that they have a copy of this HP Plan and Guidelines.

Staff Decides on Suitable Process for Application Review.
Historic Preservation OIffce staff will determine what type of review is warranted based upon what is shown on the plans. If minor work is being undertaken, a Certificate of No Effect might be issued within 1-7 days of the application submittal. For more substantial changes, a Certificate of Appropriateness is required which will be determined at a public hearing by the Historic Preservation Commission.

For Minor Work, Staff Reviews and Approves
the Application for a Certificate of No Effect.
By ordinance, the review process for a Certificate of Appropriateness is required which will be determined at a public hearing by the Historic Preservation Commission. However, it can be completed quickly in as little as a few hours for the most minor projects that clearly meet the guidelines. A Certificate of No Effect can be approved and signed by Historic Preservation OIffce staff if the plan for minor work meets the preservation guidelines for the building, and there will be no visual effect on the historic characteristics of the HP building or site, and the owner accepts any staff proposed modifications to better meet the guidelines.

For Major Work, Staff Proceeds with the Application for a Certificate of Appropriateness.

When Historic Preservation OIffce staff determines that the proposed alterations and the visual impacts of the alterations are considered major, the application is referred to the City Historic Preservation Officer for review. Preparation is made for a public hearing before the Historic Preservation Commission (HPC).

Staff Prepares for a Commission Hearing.

A hearing date is set for the HPC to review the plans and their conformance with the HP Plan for the designated property. The property is posted with a hearing notice sign and the owner is notified about the time, date, and location for the hearing. Owners or their representatives are encouraged to meet with the Historic Preservation OIffce staff to discuss the planned work. After the Historic Preservation OIffce staff reviews the plans and meets with the owners, a staff report is prepared for the HPC with a recommendation as to whether the plans meet the HP Plan.

Historic Preservation Commission Conducts a Hearing.

The Historic Preservation Commission (HPC) will make their decisions about appropriateness of the proposed alterations according to the basic principles for historic preservation, which have evolved over time and reflect the accepted standards for historic preservation work today. They will also use the policies and preservation guidelines in this HP plan. The design elements and components of the building and site (e.g., massing, materials, windows, doors, porches, details, site improvements, landscaping, etc.) will be considered in the review. The Commission will compare the proposed alterations to the guidelines for each specific component. The owner, owner's representatives, neighbors, and interested citizens can comment on the application at the hearing.

Historic Preservation Commission Acts on the Certificate of Appropriateness Application.

Following the close of the public testimony, the Commission deliberates on whether the application meets the preservation guidelines for the building. The applicant may be asked to respond to questions from the Commission during their deliberations. The HPC has several actions they may choose to take on an application including:

1. Approve as submitted with reference to how the project plans meet the preservation guidelines.

2. Approve selected elements or components and deny others referencing relevant preservation guidelines for the decision.

3. Approve with stipulations on what needs to be modified in the proposed plans.

4. Continue the case to allow time for additional work or information to be provided.

5. Deny application as submitted with reference to how the project does NOT meet the preservation guidelines.

If the Commission proposes any modifications or stipulations, the owner or their representative will be asked if they accept the recommended changes. The Commission will vote on the request for a Certificate of Appropriateness based on the proposed plans with stipulations. If approved, the Historic Preservation Officer will sign the certificate required for the owner to proceed with the approved alterations. The owner must obtain a building permit if required.

DEFINITIONS OF HISTORIC PRESERVATION METHODS

ADAPTIVE USE/REUSE
The process of converting a building to a use other than that for which it was designed.

ALTERATION
The act or process of changing a building, structure, site improvement or landscaping in details, but not substance.

CONSERVATION
The act or process of intervening, on a technical level, to prevent further decay and retain as much of the original as possible.

MAINTENANCE
The act or process of keeping a building or structure in a state of good repair.

PRESERVATION
The act or process of applying measures to sustain the existing form, integrity, and material of a building or structure and the existing form and vegetative cover of a site. It may include initial stabilization work, where necessary, as well as ongoing maintenance of the historic building materials and vegetation.

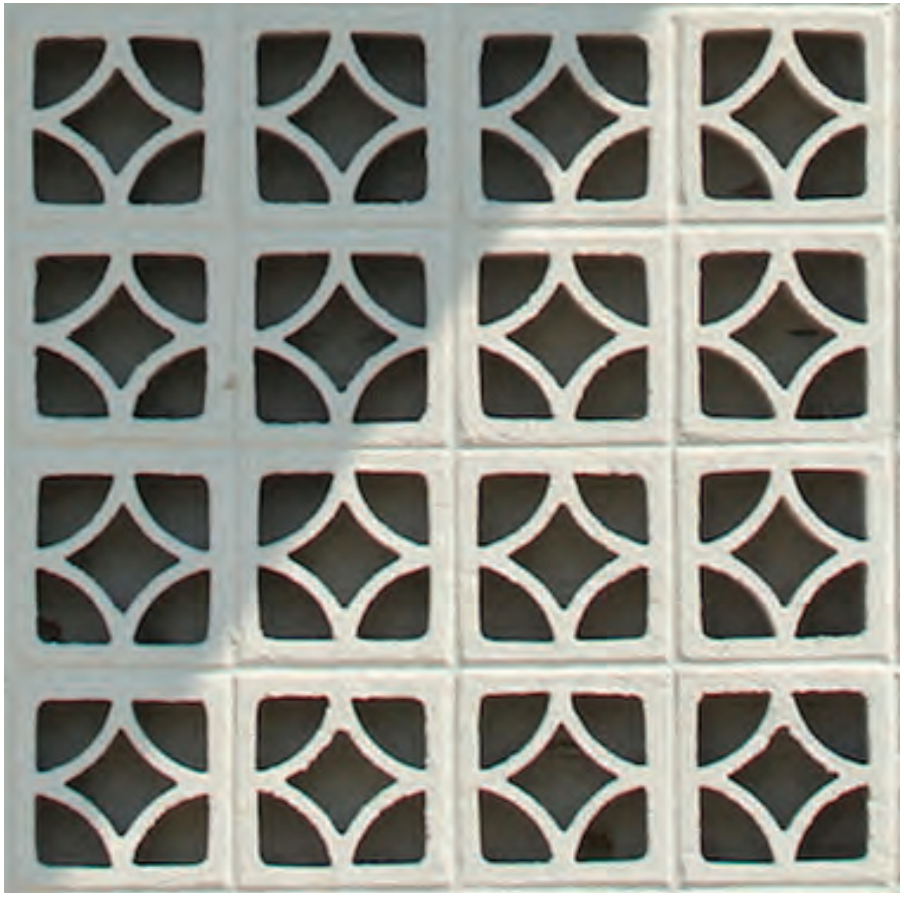
RECONSTRUCTION
The act or process of keeping a building or structure in a state of good repair.

REHABILITATION
The act or process of keeping a building or structure in a state of good repair.

REMODELING
To make over; rebuild. No attempt is made to maintain any historic integrity

RENOVATION
Questionable modernization of a historic building in which inappropriate alterations are made and important features and details eliminated.

REPLICATION/REPRODUCTION
Making a copy of something still in existence.



RESTORATION
The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period by means of the removal of later work or by the replacement of missing earlier work

STABILIZATION
Preservation without maintenance. Using techniques designed to minimize the deterioration of a structure or to arrest further deterioration. The act or process of applying measures designed to reestablish a weather-resistant enclosure and structural stability while maintaining the essential form as it exists at present.

CHAPTER 2

Building Description and Significance

Scott Sandler Photographic

statement of significance

HISTORIC SIGNIFICANCE & CONTEXT

As an excellent example of a Contemporary-style commercial building, the Kimsey Building is eligible for historic designation by the City of Scottsdale and for individual listing on the National Register of Historic places at a local level of significance under Criterion C (Design) in the Areas of Architecture and Commerce in Metropolitan Phoenix during the Modern Movement period of 1945 to 1975.

Brief Scottsdale History

In its early days, Scottsdale's economy, like most other communities in the Salt River Valley, was agriculturally based. After World War II, the "farmland gave way to residential developments, resorts, shopping centers, schools, and parks as Scottsdale grew into…[an] urban oasis." [1]

In the late 1940s, the community of Scottsdale, at the urging of the Scottsdale Chamber of Commerce, promoted a Western Revival theme of architecture for commercial businesses as a means to market itself as "The West's Most Western Town." A Western image was widely seen in books, movies, and television shows during the late-1940s and into the 1950s. The Chamber wanted to capitalize on that trend.

Scottsdale incorporated in 1951 having a population of approximately 2000. The approximately one square mile bounded by Miller Road on the east, Osborn Road on the south, Orange Road on the west (now 70th Street), and Camelback Road on the north included the subject property.[2] Two years later, 1953, the Chamber of Commerce's western theme became codified with the creation of an architectural board to review development plans and building designs. The adoption of this Western theme was actually in contrast with the town's agricultural past.

The population increased to 3,500 in 1955. Scottdale's "agrarian beginning brought about simple, utilitarian, and functionalist architecture,"[3] but this began to change following incorporation. And the rapid growth would have an impact on the subject property.

By 1961, Scottsdale achieved "city" status, with an adopted charter, and levying of sales tax, property taxes, and a business license tax.[4] It had grown from one square mile to five.[5] The annexation of surrounding land continued during the 1960s often in competition with the city of Phoenix.[6] And the Western architectural theme lost favor except in a few areas like the commercial venture of Rawhide.

The Western Revival push by the Scottsdale Chamber of Commerce starting in the late 1940s greatly impacted the architectural image of what is now called Old Town Scottsdale. One might describe the Old Town Scottsdale business area as having "a wooden 'cow town' façade."[7] A radical change to this look began in the mid-1960s with contemporary architecture to attract tourists: upscale shopping centers and luxurious resorts, art galleries, and golf courses.

[1] Fudala, Joan. Scottsdale. Charleston, SC: Arcadia Publishing, 2007:7.
[2] Fudala, Joan. Historic Scottsdale: A Life from the Land. San Antonio, TX: Historical Publishing Network, 2001:60.
[3] Sydnor, Douglas B. Scottsdale Architecture. Charleston, SC: Arcadia Publishing, 2010:7.
[4] Op.cit.: 66.
[5] Fudala, Joan. Historic Scottsdale: A Life from the Land. San Antonio, TX: Historical Publishing Network, 2001:109.
[6] It would continue to grow to 185 square miles.
[7] VanderMeer, Philip. Desert Visions and the Making of Phoenix: 1860-2009. Albuquerque: University of New Mexico Press, 2010: 165.

Building History

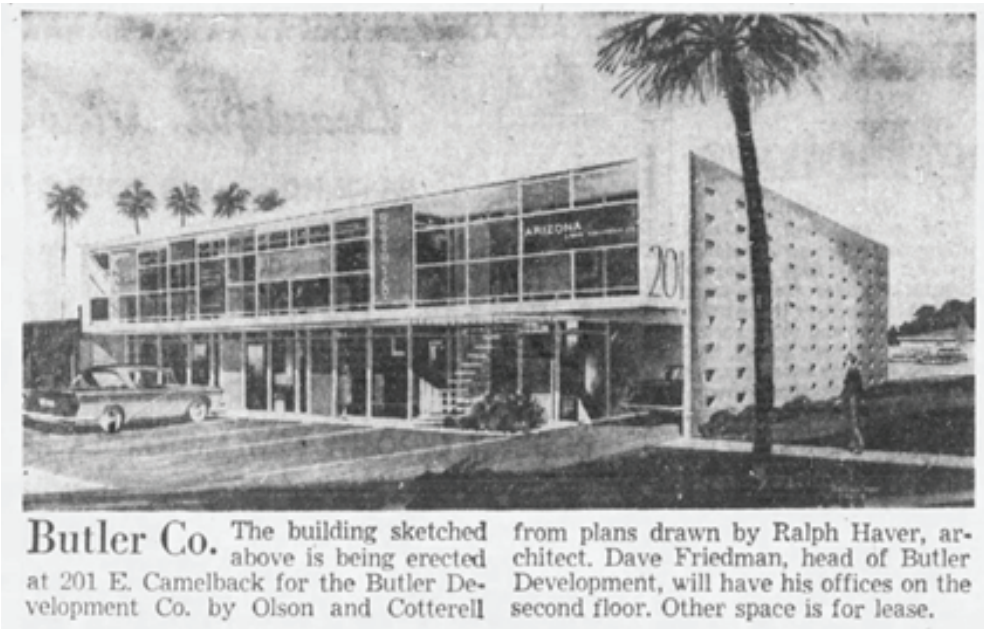
David J. Friedman (Butler Development) and Ralph Haver had a long relationship beginning at least with Friedman's Starlite Vista Subdivision (Phoenix) in 1954 followed by Orchid Park Subdivision (Phoenix) in 1956. Friedman also had Haver design a building to house his business at 201 E. Camelback Road in Phoenix in 1956. This two-story, approximately 5000-square-foot masonry building was Contemporary in style with glass walls facing the street.

Friedman called upon Haver once again to design Villa Monterey in 1961. With Friedman's business expanding, he had Haver design a new office building near the northwest corner of Scottsdale Road and Indian School in 1961. This building is now popularly called the Kimsey Building as a reflection of its shape.

Ralph Haver graduated from the University of Southern California with a Bachelor's in Architecture in 1937. He worked as a draftsman for four years in California before moving to Phoenix in 1941 where he went to work with the firm of Gilmore and Varney.

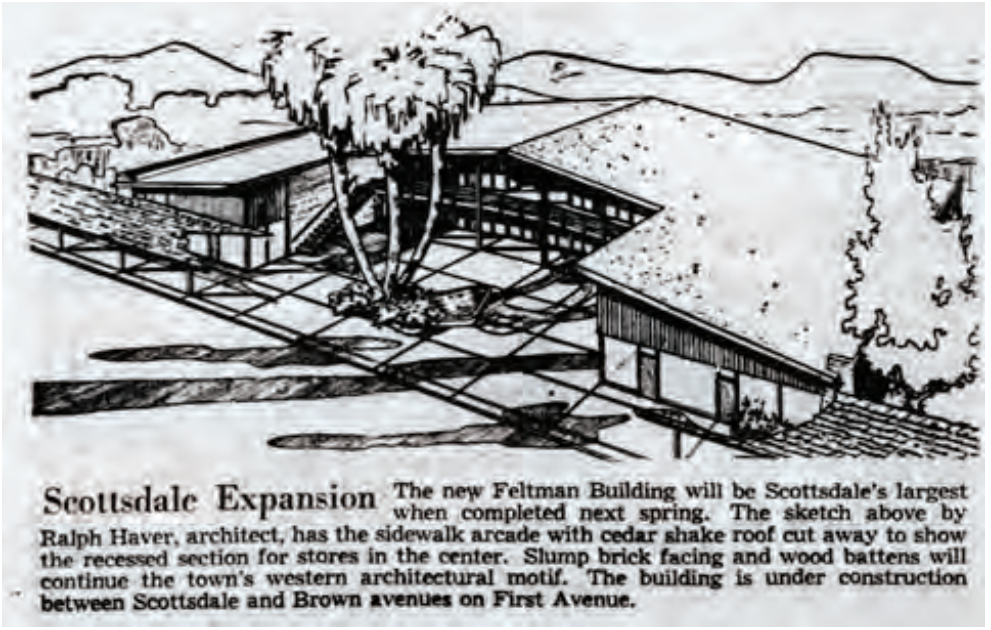
In 1946, Haver formed his own firm which later expanded with new associates. Over the years, Haver's firm designed many prominent commercial buildings in the Salt River Valley including banks, theaters, schools, churches, and government buildings in addition to the ubiquitous Haver homes.

The building at 7120 East Indian School Road, like the first home for Butler Development, is also two-story with large expanses of glass walls facing the street. However, Haver, in deference to the Western Revival theme of Old Town Scottsdale, added Western accents and vernacular materials much like he had previously done in the 1953 design of the Feltman Building now called Pima Plaza. Haver also used a low-pitched roof and symmetrical proportioning.



Butler Co. The building sketched above is being erected at 201 E. Camelback for the Butler Development Co. by Olson and Cotterell from plans drawn by Ralph Haver, architect. Dave Friedman, head of Butler Development, will have his offices on the second floor. Other space is for lease.

Figure: Arizona Republic, 16 September 1956: sec5, 17.



Scottsdale Expansion The new Feltman Building will be Scottsdale's largest when completed next spring. The sketch above by Ralph Haver, architect, has the sidewalk arcade with cedar shake roof cut away to show the recessed section for stores in the center. Slump brick facing and wood battens will continue the town's western architectural motif. The building is under construction between Scottsdale and Brown avenues on First Avenue.

Figure: Arizona Republic, 21 December 1952:sec4,4.

When looking at the evolution of the Butler Homes logo, it is difficult to know who influenced who. Haver certainly used a similar low-pitched roofline in the 1954 Lou Regester Furniture Store and in so many of his houses. Examining ads for Butler Homes over time though, one can see a slight modification in the angle shape until it becomes nearly symmetrical and approaches the angle of the roof of 7120 East Indian School Road. It is this Kimsey shape of the roof that quickly influenced the nickname of the building. People remember the Kimsey Building but have no idea where the Butler Homes Building is.

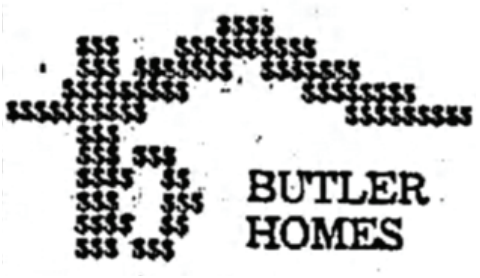
The first address for the Butler Homes office was given in a newspaper article as 44 West Indian School Road. This may have been a mistake because it was later changed to 60 West Indian School Road in all later articles. The current address is 7120 East Indian School Road. Scottsdale's numbering system did not change to follow the system used by Phoenix until early 1971, using Central Avenue as the zero point for east-west streets and Washington Street as the zero point for north-south streets.[8]

Scottsdale's aggressive annexation program in the mid-1950s and 1960s set the stage for expansion of city government buildings. More land and more residents required more city employees and more services such as police, parks, and libraries.

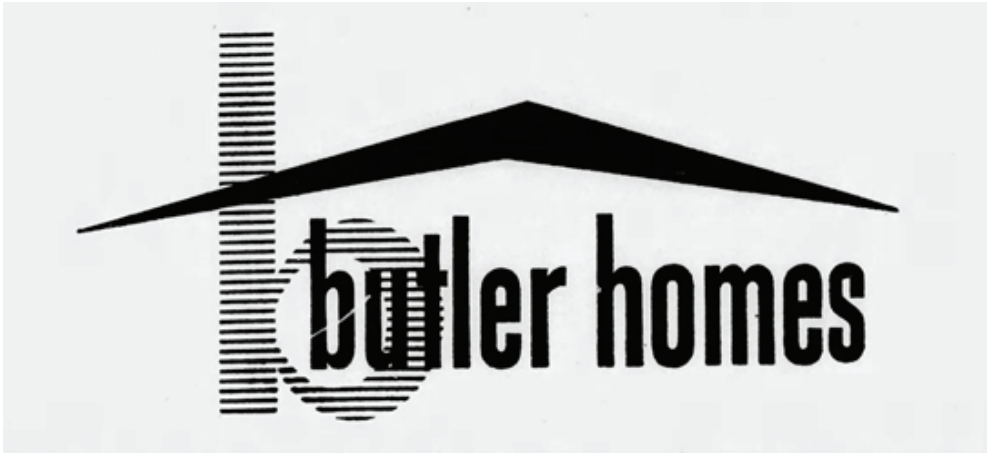
The City entered into an agreement to lease the west half of the Butler Homes Building in April 1963 for one year. According to the Scottsdale City Manager at the time, Ken Williams, having this larger space would help the growing needs of the City as it formulated plans for a much larger and permanent building. No one anticipated that it would take nearly five years to have those plans come to fruition.

During the City's occupation of the building, some interior modifications occurred. It took the citizens of Scottsdale several more years to approve bonds to support the design and construction of a future home for city hall and the library which would accommodate the needs of the rapidly growing town. The new civic center opened with a new city hall in 1968, Scottsdale government moved out of the Kimsey Building.

1957



1960



1961

[8] Brevoort Preservation Strategies. Historic and Architectural Documentation: 6902 and 6908 East First Avenue, Scottsdale, Arizona. Prepared for Blueprint Capital Services, LLC. 2018:4.

Based on ads and Scottsdale city directories, when the City of Scottsdale leased the Kimsey Building, Butler Homes initially remained, but a portion of the building was empty.[9] Butler Homes was no longer listed at the building and City Hall appears to have shared the building with only with Lederman's Music for a little over four years.[10]

Following its service as Scottsdale City Hall, the Kimsey Building returned to its original intent of housing various businesses which continued into the 2020s. One of its longtime tenants was the Arizona School of Real Estate, Inc. founded by James Pullaro in 1969. Typical of new tenants, modifications were made to the interior of the building to accommodate the classrooms and offices.

Business	1963	1964	1965	1966	1967	1968	1969
Butler Homes	●						●
Scottsdale City Hall	●	●	●	●	●		
Lederman's Music			●	●	●	●	
Gonzos (interior & Boutique)							●
AZ School of Real Estate							●
Hair Beauty Salon							●
Bender's Air Conditioning							●

Figure : Businesses housed in 60 West Indian School Road based on city directories. The directories may have been printed in the fall of each year which explains why Scottsdale City Hall was not shown in 1968. Note that Butler Homes once again appears to be in the building.

The Kimsey Family

William Edward Kimsey was born in DeKalb County, Indiana in 1851 and married Elizabeth Dole in 1872. All three of their children, Lois, Wallace, and Morton, were born in Indiana. Kimsey was an active citizen in his Indiana community. Besides being a farmer, he raised fruit on his acreage, he was a merchant, one-time postmaster, and eventually was elected Clerk of the Circuit Court of Steuben County. He served in this position from 1886-1894. Kimsey returned to farming when he left this office.

It is of note, that in this clerk office his daughter, Lois, met Thomas R. Marshall, an attorney, whom she married in 1895. Marshall was elected governor of Indiana in 1908 and served as Vice-President of the United States for two terms when Woodrow Wilson was President.

Health issues for Elizabeth Kimsey drove her and William Kimsey to initially come west to escape the harsh winters of Indiana starting around 1907/1908. It did not take Kimsey long to recognize opportunities in the Scottsdale area. He purchased five acres from Mrs. Ida T. Underhill, a widow, in November 1909, according to a newspaper report, although no deed of sale was found. This acreage was located on the north side of the road near the northwest corner of what is now Scottsdale Road and Indian School Road with the northern border along the Arizona Canal.

While the Underhills were known for starting one of the first "guest ranches" in Scottsdale, Kimsey stuck to what he knew: fruit. He purchased the lumber and built three houses over the course of several years along Indian School Road and planted oranges. Kimsey later sold two of the houses.

Kimsey and his wife continued to return to Indiana each year until the fall of 1913. At that point, Kimsey had sold a Kentucky farm, and also was selling the Indiana farm having decided to make Scottsdale he and his wife's permanent residence.

Numerous contemporary accounts of Kimsey's life state that he and his wife Elizabeth moved to Scottsdale permanently after he, William, had retired. By today's standards, 62 years old is not that old and based on the industriousness of William Kimsey, he too did not consider just living on his small Scottsdale farm. No, Kimsey continued to conduct his life much as he had done in Indiana.

[9] Whether there had been other tenants besides Butler Homes is not known but 60 ½ was listed as vacant. Mullin-Kille. Scottsdale Arizona Con Survey City Directory. Chillicothe, OH, 1963:62.
[10] A September 1963 ad indicates that Lederman had rented space in 60 West Indian School although it was not listed as there in the 1963 and 1964 directories.

As a recipient of irrigation water for his small orchard, Kimsey became involved with the Water Users Association. At the encouragement of property owners in Scottsdale in 1916, Kimsey ran and won the office of president of the Salt River Valley Water Users Association. It was written that Kimsey's "honesty and integrity are beyond question…and that his position as father-in-law of the vice-president of the United States would undoubtedly give him prestige with the powers that be."

Two years later, in 1918, Kimsey along with E. O Brown and Charles Miller founded the Scottsdale Light and Power Company to provide reliable electricity to Scottsdale residents. Initially, Kimsey was the secretary/ treasurer of the company. The company contracted with what is now SRP to install a generator at Arizona Falls to provide some of that electricity. Kimsey's son, Mort, took over his father's position in 1920 and continued to collect payment for the residential services until the company was purchased by the Central Arizona Light and Power Company (now Arizona Public Service) in 1939. Mort remained working at the power company until he retired in 1955.

As one of a group of prominent Scottsdale farmers and businessmen, Kimsey was listed as a director on the articles of incorporation of the Farmers' State Bank of Scottsdale in December 1920. When the doors opened on January 19, 1921, Scottsdale not only had its first bank, but Kimsey was listed as President with his business partner in the Scottsdale Light and Power Company, Charles Miller, listed as Vice-President. The bank promoted itself as "A bank that is trying to serve, faithfully and intelligently the commercial, citrus, dairying and farming interest of this [Scottsdale] community."

Following the formation of a new justice court approved by the Maricopa Board of Supervisors in December 1921, Kimsey was appointed Scottsdale's first justice of the peace in January 1922. He served in this position until his death in April 1924. Kimsey's remains were returned to the family plot in the Circle Hill Cemetery in Angola, IN. Elizabeth Kimsey died in 1932, and she too, was interred in the family plot in Angola, IN.

An obituary in the Steuben Republican (IN) described Kimsey in these words: "wherever he was called to serve, whether in public office or private station, he was a man whose motives bore the most rigid scrutiny and whose conduct did not shrink from the white light of publicity." Indeed, William Edward Kimsey was one of Scottsdale's most influential citizens of his time despite having lived in the area less than 20 years.

Over the years, the Kimsey family members adopted Scottsdale as their home. Lois Marshal annually came to the valley from her Indiana home during the winter months even long after her mother died in 1932. She often stayed in a suite at the Westward Ho. But it was her brother, Mort, who gave his heart to the community.

Much like his father's example, Mort was active in Scottsdale as a businessman, but also as a concerned citizen. His gas station which opened in 1918 on the northeast corner of Scottsdale Road and Main Street was the first such station in Scottsdale. It also served as the pay station for customers of Scottsdale Light and Power Company. A logical idea since Mort Kimsey served as the general manager of the company his father had helped start. That same gas station later served as the "home" of the Scottsdale fire engine for the all-volunteer force before incorporation.

Mort Kimsey actively participated in the Scottsdale Men's Community Club, and even served as president. He also was a member of Kiwanis and the Chamber of Commerce. He served on the first town council after Scottsdale incorporated in 1951, and became the second mayor serving from 1958-1962.

But perhaps the strongest means of showing his commitment to this adopted home was shown in Mort's appreciation of Scottsdale's history. He fought vigorously to save the Little Red School House and helped found the Scottsdale Historical Society. Mort passed his love of Scottsdale history on to his son Bill. Morton E. Kimsey died in 1974.

Bill Kimsey also continued the family connection to APS where he worked as an engineer in various capacities and also in administrative positions for thirty-one years. And that love of history pushed Bill to write a book, Reflections of Early Scottsdale – The Way It Was, donate photographs to the Scottsdale Historical Society, serve on the society's board of directors, and even volunteer as a docent. He too was active in numerous civic and business groups during his life.

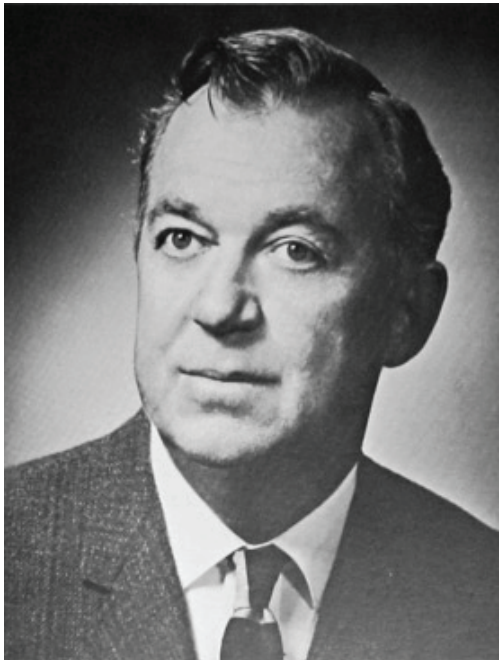
As for that initial purchase of acreage that William E. Kimsey made back in 1909, it had dwindled down to one acre according to his wife Elizabeth's will. And she gave it to her only living son, Mort. While Mort Kimsey did not live in the house, he did over the years remove the citrus trees and raze two of the houses. Finally in 1960, Mort Kimsey leased the property to Butler Homes for 50 years. In July 1961, the William E. Kimsey home was demolished. And in its place rose a two-story commercial building to be the headquarters of Butler Homes and designed by Ralph Haver. Butler Homes was to occupy half the second floor of the building and the remainder could accommodate a number of other offices or retail businesses.

Architect Ralph B. Haver – 1915-1987 (courtesy of Douglas B. Sydnor, FAIA)

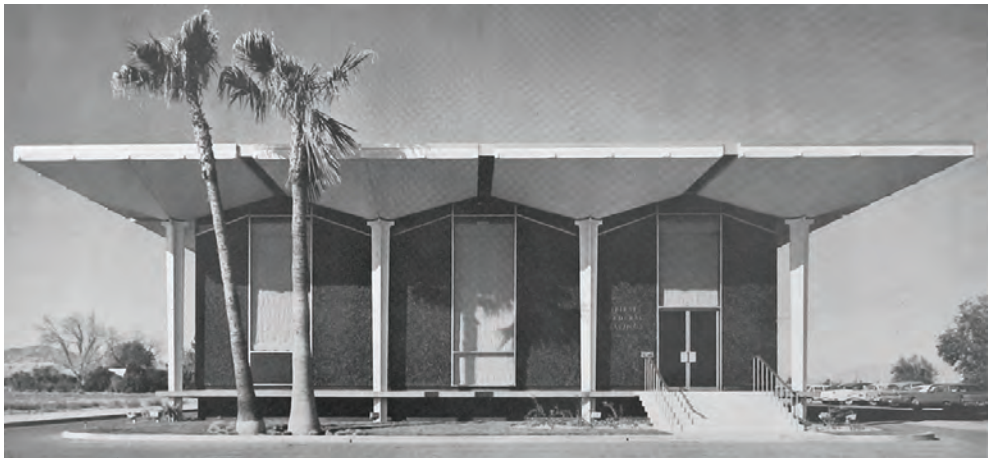
Ralph Haver, AIA, was one of the most influential and creative Arizona architects of the second half of the 20th century. He was active in the Phoenix metropolitan area from 1946 to the mid-1980s. That was a time when the 'Valley of the Sun' was experiencing unprecedented and booming growth. Haver had moved his family from California to Phoenix with the intention of helping build this city with a modern design approach that would appeal to the public. His firm's 1967 portfolio stated that they had completed approximately $500 million in projects, which included 20,000 tract homes over 5 years in Arizona, New Mexico, and Colorado. The body of work also included 250 projects including churches, schools, factories, commercial buildings, apartments, town homes, and civic buildings. He is known for such high-profile commissions as the 1960 Phoenix City Hall (with Edward L. Varney Associates, A.I.A.), 1964 Cine Capri Theater, 1966 Revlon Manufacturing Plant, and 1969 America Express Western Regional Headquarters.

Haver's firm completed numerous multi-family, commercial, and school projects in Scottsdale and are noted below. One of the most important commercial developments is the 1962 Kimsey Building at 7120 East Indian School Road, which is about 11,000 sf and 2 stories. The developer was David Friedman of Butler Home Builders, Inc. The office building was one of a series of local projects that they had jointly worked on. They collaborated on the 1961-1973 Villa Monterey Town Homes at Miller and Chaparral Roads in Scottsdale, and the 1954 Friedman Office Building at 201 East Camelback Road in Phoenix.

Soon after the Kimsey Building was completed in 1963, the City of Scottsdale rented space for their City Hall after leaving 131 East Main Street; and until such time that the current 1968 Scottsdale City Hall was constructed. The Kimsey Building fully expresses Haver's skill at 'wood post and beam construction' as it was evolving in numerous earlier designs as the 1952 Feltman Building (now Pima Plaza) in Scottsdale and the 1953 Entz-White Lumber Co. (demolished) in Phoenix.



The structure has a very strong street presence given the fronts' complete transparency with full height glazing; and the prominent, symmetrically composed, low-pitched roof form. It speaks to providing the public an open and pleasant invitation to enjoy the first level retail stores, and to acknowledging the upper level professional offices. Surface parking is immediately accessible off the street, in front, and convenient.



1963 First Federal Savings and Loan

The Scottsdale Architecture of Ralph Haver

1952	Feltman Building *(now Pima Plaza)*
1957	Kaibab Elementary School *– AIA Regional Award for Excellence in Design (demolished)*
1959	Hohokam Elementary School *(mostly demolished)*
1959	Town and Country III Scottsdale *– designated historic district since* 2005
1960	Coronado High School *(mostly demolished)*
1961-73	Villa Monterey Town Homes *– 9 phases, 7 phases are designated historic districts since 2011*
1963	First Federal Savings and Loan *– NSID Award for Excellence of Design & AIA Award of Merit (demolished)*
1964	Golden Keys Town Homes
1964	Polynesian Dairy Queen *(demolished, but may be reconstructed)*
1966	Villa D'Este
1968	Mayo's Furniture
1970	Villa Adrian
1973	Sentry Center

1959 Hohokam Elementary School

ARCHITECTURAL SIGNIFICANCE & CONTEXT

Architectural Context

Phoenix Architect Ralph Haver is primarily remembered for his Modern designs of post-World War II production housing throughout Metropolitan Phoenix area which are now marketed as the highly sought-after "Haver Houses" such as Town & Country subdivision in Scottsdale. Yet Haver and his business partner Jimmie Nunn produced a vast number of designs for churches, schools, municipal buildings, factories, multifamily housing, and custom homes. He occasionally applied his signature interpretation of the residential "Contemporary Style" or "California Modern" for commercial buildings, including the 1952 Feltman Building (now Pima Plaza at 7237 E. 1st Avenue, Scottsdale) and the 1954 Lou Register Furniture (now Copenhagen at 1791 E. Camelback Road, Phoenix).

Born in California and inspired by the work of his brick mason father, Ralph Haver followed his passion for architectural design. The received his architecture degree from the University of Southern California, Pasadena. Following his military service in the US Army Corps of Engineers in 1946, Haver moved to Phoenix to join his father and brother already constructing buildings there during the war.

It may be that Haver's early innovations in production housing methods and style was inspired by the designs of California architect Robert Anshen. The firm Anshen & Allen, as devotees of Frank Lloyd Wright, designed the first prototypes of "California Modern" houses for developer Joseph Eichler in 1949.

The Contemporary-style house was a sophisticated alternative to the traditional Ranch-style house. Haver's Modern houses were characterized by low-pitched gable roofs with deep overhangs, front-facing gables with projecting beam ends, wood post-and-beam structure, vaulted ceilings, integrally colored concrete floor slabs, Superlite concrete masonry units (including decorative Shado-Wall textured block and geometric "breeze block"), open floor plans, trellis-covered patios, glass walls, and transom windows that filled the gables. The newspaper ads for Town & Country homes offering sliding glass doors and the "Patio-Port" for "the finest in indoor-outdoor living." Yet Haver often softened the Modernist feeling of the post-and-beam "Contempos" by using vernacular ranch materials such as clinker-brick wainscoting, slump block, board-and-batten siding, red brick patios, and 2x4 roof decking.

Building Significance

Architect Ralph Haver designed the two-story Kimsey Building as the administrative headquarters for the Butler Development Company and as tenant rental spaces for businesses and retail shops. The building interiors were intended to be flexible to accommodate floor plans and mechanical and electrical systems for everchanging tenant uses. Thus, the interiors were provided as open spaces with a small restroom provided at the rear of almost every bay. As needed to separate tenants, demising walls from floor to ceiling were set on the grid lines of structural posts and storefront mullions. Air handlers for air conditioning were concealed in several small mechanical rooms opening to the breezeway or into tenant spaces.

The significant aspect of the building's interior is the spatial concept of flexible tenant spaces relating to the building shell volumes and storefront windows and doors. The surviving historic restrooms are not considered character-defining features. Likewise, the post-historic tenant improvements (i.e., partitions, doors, interior windows, dropped ceilings, soffits, finishes, fixtures) are not considered character-defining features.

To current understanding, the only special interior architectural feature was the original atrium and paired stairs at the west half of the building. Because there were no rear exits from the second floor, the atrium may have provided safe fire egress within the two-story tenant space. The atrium may have been infilled either during the historic period to provide more office space for expanding Scottsdale City Hall uses or after 1970 for more tenant rental space. Further archival and field investigation is needed to determine the timing and reason for the changes.

Unseen Obvious Design Inspirations

Although architects of the Modern period generally avoided the decorative design dogma of earlier Beaux Arts-trained traditionalists, Ralph Haver's work respects the natural environment and local heritage and culture in a building conveying "less is more." Few other Haver-designed buildings demonstrate the continuity of the spirit of place more obviously than does the Kimsey Building.

By taking the time to seek an architect's recipe of inspirations, much can be learned about the underlying messages and community memories baked into a building. Those unseen obvious connections to the past can provide inspirations for creating new designs and preservation treatments that perpetuate the values of the community.

The most obvious visual aspect of the Kimsey Building is its iconic isosceles triangular shape of the roof and its symmetrical façade with a central breezeway. But what inspired that triangular form? Kimsey family lore and historic archival research bring forth a historic photograph of Mr. & Mrs. William E. Kimsey's modest one-story, wood-frame farmhouse in about 1916.

Elizabeth & William E. Kimsey farmhouse, circa 1916, was demolished in 1961 for construction of the Kimsey Building. (Scottsdale Heritage Collection at the Scottsdale Public Library; SCOT-SHS-2012-0156A)

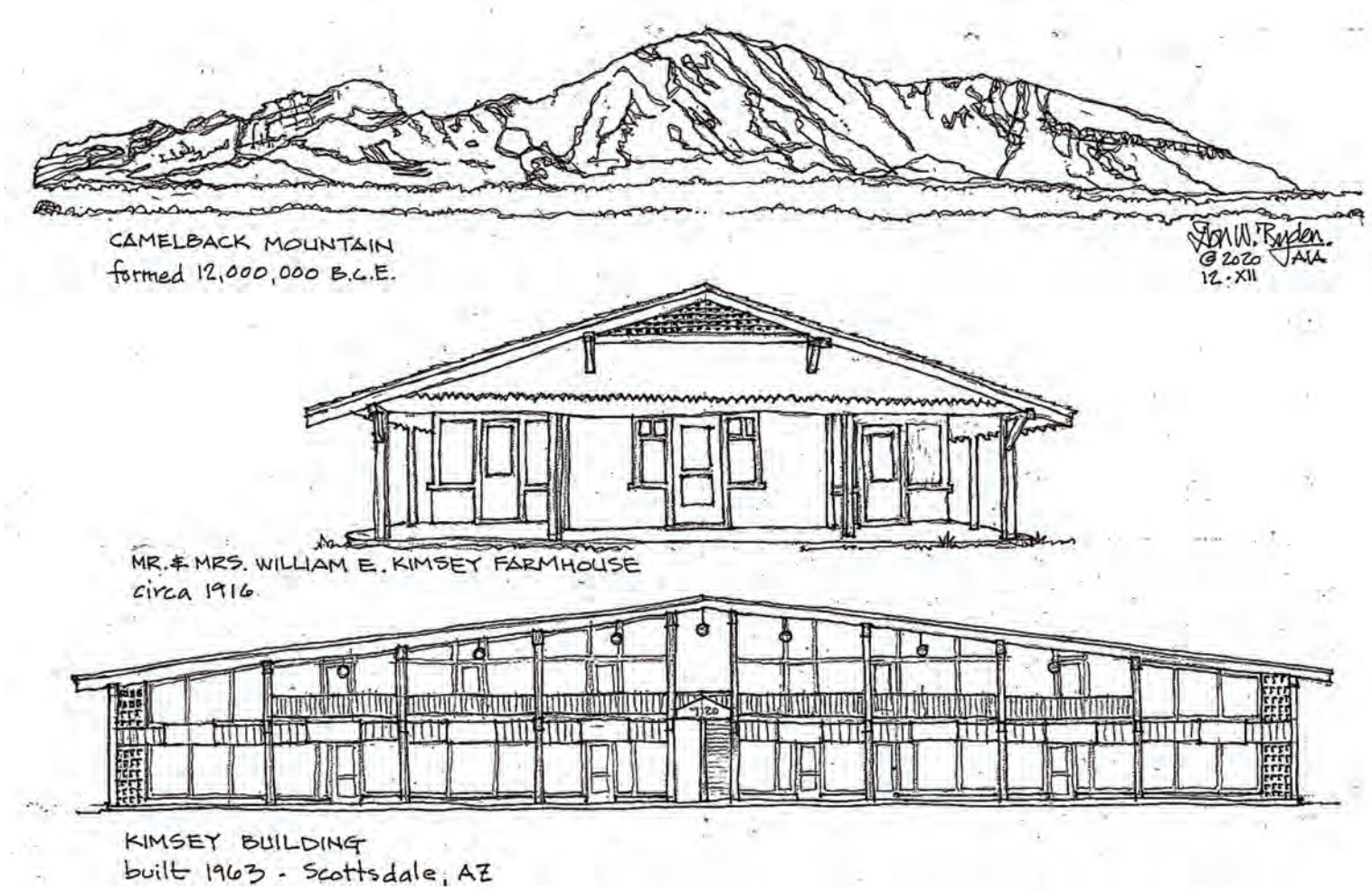
Amazingly, the front façade of the little Kimsey cottage possessed character-defining patterns that can still be seen in the front façade of the Kimsey Building. The now missing cottage was comprised of:

- *Symmetrical, low triangular front façade divided into three parts.*
- *Low-pitched roof with projecting beam ends and brackets at the deep gable overhang.*
- *Triangular attic ventilator at the gable peak with square-grid lattice for breezes.*
- *A broad beam spanning the full façade equally divides upper and lower portions of the façade.*
- *The rectangular cottage is set on grade level with a concrete slab as the porch floor.*
- *Shallow, wood-post front porch with three horizontal rectangular bays across the full façade.*
- *Beneath the porch, the central building shell steps forward of the flanking screened porches.*
- *A central entrance door is flanked by two sidelight windows.*
- *Each screen porch entrance door is flanked by two screened window openings.*
- *The wood wall sheathing emphasizes the horizontality of the cottage and triangular gable.*
- *The hierarchical pattern of threes within threes within threes subdivides the triangle concept.*
- *Unseen diagonal regulating lines connect façade feature points, e.g., porch posts to roof peak.*
- *Golden Rectangles and squares hide in wall planes, window frames and mullions, porch bays.*
- *South-facing front porch and shade-casting side porches provide passive heat and cooling.*

Could it have been that Ralph Haver, in paying homage to the Kimsey family settlers of Scottsdale, respectfully replicated the underlying elements of design and proportions of the farmhouse into the 1963 Kimsey Building that would replace the homeplace on its very site?

And taking the observations one more step into the past, could it have been that the unknown designer of the Kimsey cottage intuitively captured the triangular symmetry, ridge slope, and three parts of nearby Camelback Mountain?

Even if these architectural connections may remain conjectural, there is no doubt that visually the elements of design have passed down through the history of the Kimsey family site, farmhouse, and office building. Respectful historic preservation of the Kimsey Building will perpetuate the communal memory and carry on the community image for the common good for the citizens and visitors of Scottsdale.



HISTORIC PRESERVATION PRIORITIES

These Historic Preservation Priorities should help in evaluating appropriateness of proposed rehabilitation treatments in preserving the historic integrity of building and elements. The modal verbs "must, should, and may" respectively denote obligations, suggestions, and possibilities.

MUST PRESERVE

*Asterisk indicates a highly significant historic Character-defining Element (CDE)

Features

- ***Building massing** – Triangle shape of a symmetrical, Contemporary-style, broad-side, front-gable rectangular box; low-pitched 2:12 roof slope with minimal rooftop features; mirror-image, two-story building halves isolated by a breezeway
- ***Two-story, post-and-beam wood structural system at front porch** expresses Modern spatial concept and conveys interior system that allows flexibility of floor plans
- ***South façade design of features and spaces** including recessed wood storefront of grid pattern, second-floor balcony, flanking decorative masonry panels, aluminum-and-glass doors
- ***Decorative corbels** at projecting beam ends (south façade) of second floor and roof
- ***Deep overhangs** at eaves and south façade gable
- ***White globe pendant lights** (7) hung from roof deck, centered at porch bays of second floor
- ***Signs and support structure** of steel spanning between front porch posts

Spaces

- ***Detached building** symmetrically located at center of parcel and set back from the street
- ***Front parking area** between street and building
- ***Concrete terrace** beneath porch roof
- ***Design of a central, two-story breezeway with opposing stairways**
- ***High room volume** at entrances of the east and west projecting tenant bays

SHOULD PRESERVE

Features

- ***Planter strip for street trees*** along public sidewalk
- ***Two-story, post-and-beam wood interior structural system*** allows flexibility of floor plans
- ***Painted concrete block masonry walls*** (8x4x16)
- ***Design concept of masonry walls without openings*** on east and west facades

Elements of Architectural Design

- ***Aesthetic design composition:*** lines/form; harmony/balance; pattern/proportion; size/scale; repetition/rhythm; unity/variety; emphasis/hierarchy; space/movement; texture/color

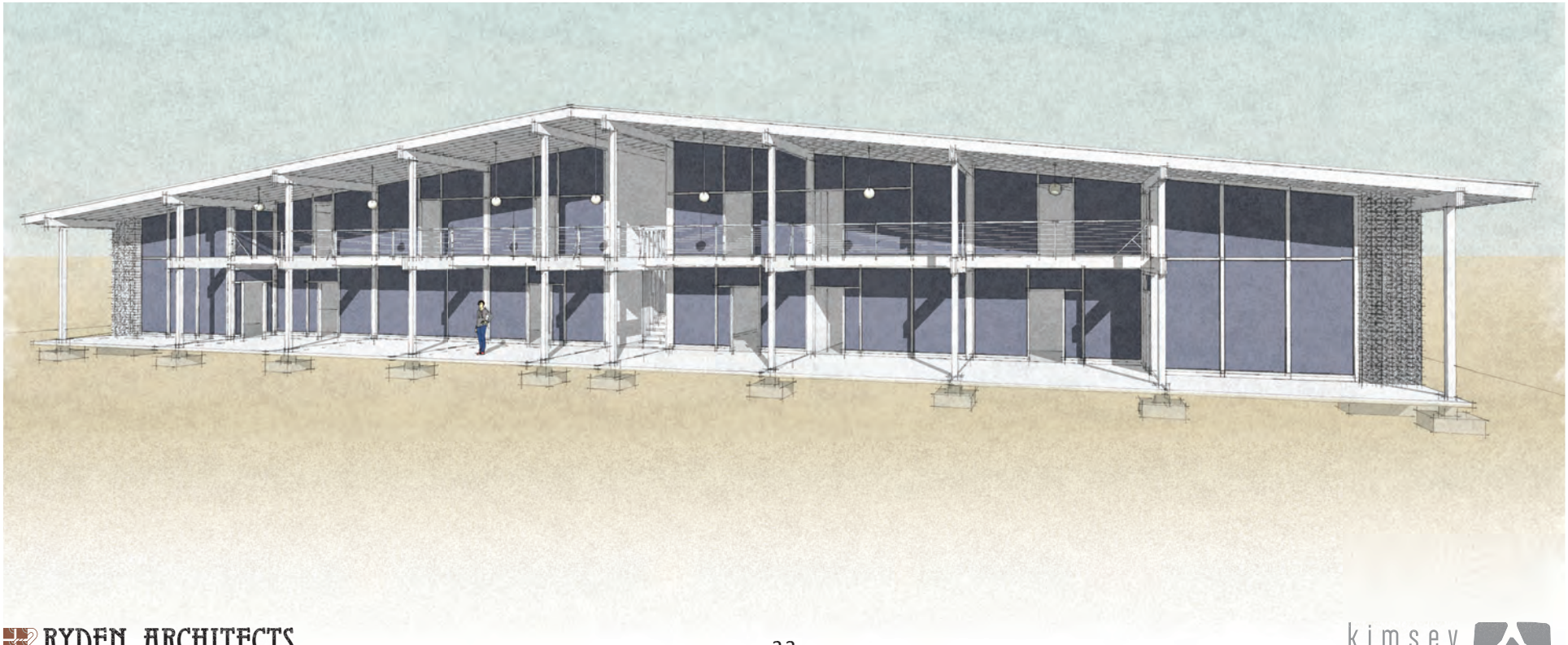
MAY PRESERVE

Features

- ***Design concept of steel casement windows and steel doors*** on north facade
- ***Post-mounted clock*** (missing) on post of front porch

Spaces

- ***Loft spaces*** above low ceilings in outermost tenant bays
- ***Atrium with two stairways*** (missing) in west half of building
- ***Feeling of three-bay open space*** across tenant spaces at first and second floors of west half



CHARACTER-DEFINING ELEMENTS OF THE KIMSEY BUILDING'S SOUTH FAÇADE

The numbers here cross-reference to the Treatment Guidelines found in Chapter 4.

SITE PLAN AND ELEMENTS

101 Detached building symmetrically located at center of parcel and set back from the street

103 Front parking area between street and building

105 Planter strip with trees and shrubs along public sidewalk between driveway entrance/exit

BUILDING MASSING

201 Triangle shape of a symmetrical, front-gable roof spanning the length of a rectangular plan

201.1 Low-pitched gable roof with deep overhangs and narrow fascia boards

201.2 Two-story, mirror-image building shells isolated by a breezeway

212 Two-story, central breezeway with two opposing stairways

210 Two-story, 7-bay-wide post-and-beam wood porch expresses open structural system inside

201.3 Recessed inner bays; projecting end bays

301.1 Full storefront façade expresses Modern outdoor-indoor spatial concept and plan flexibility

SOUTH FAÇADE ELEMENTS

201 Triangle shape of a symmetrical, front-gable roof spanning the length of a rectangular plan

201.1 Low-pitched gable roof with deep overhangs and narrow fascia boards

201.2 Two-story, mirror-image building shells isolated by a breezeway

212 Two-story, central breezeway with two opposing stairways

210 Two-story, 7-bay-wide post-and-beam wood porch expresses open structural system inside

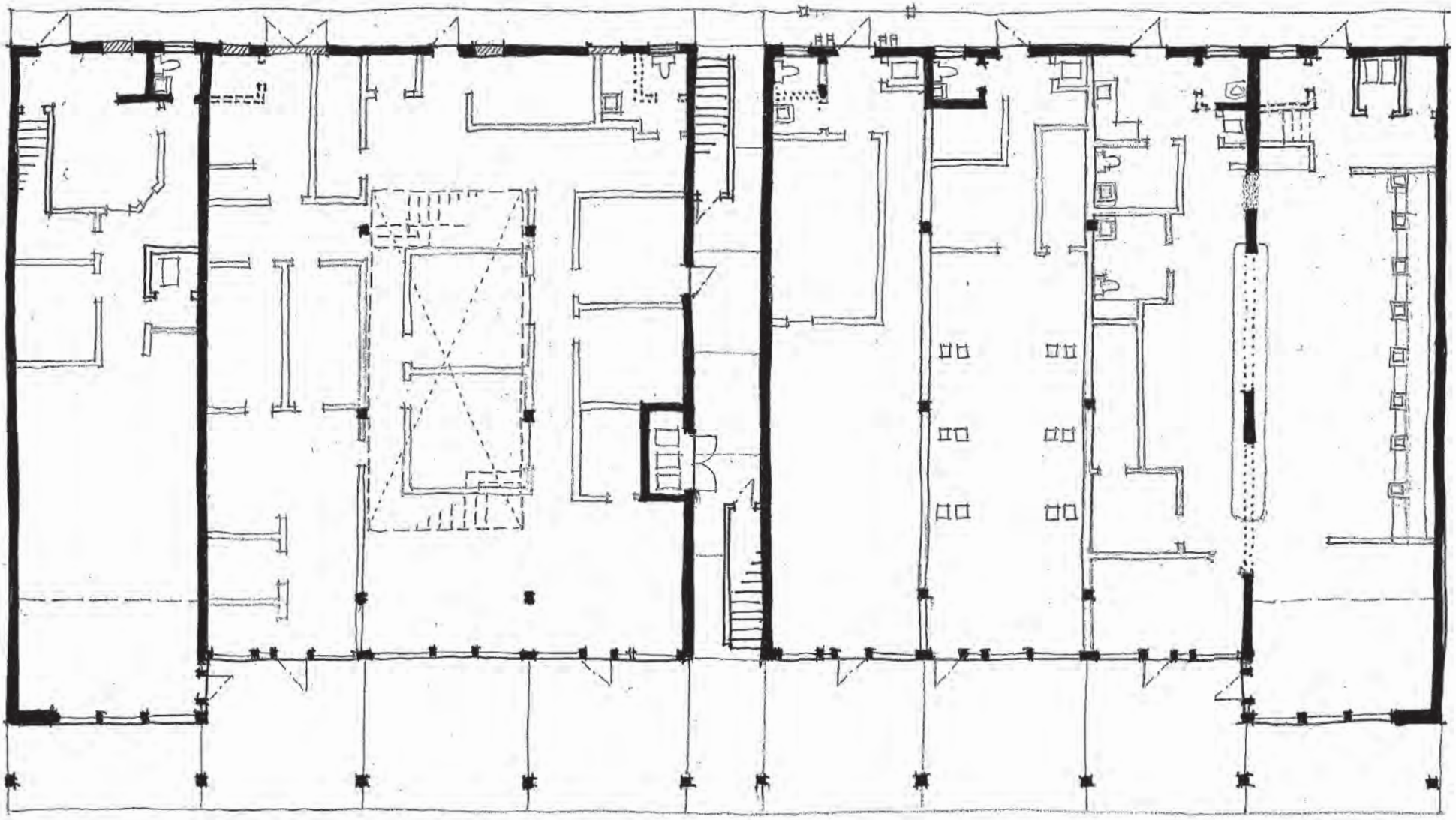
201.3 Recessed inner bays; projecting end bays

301.1 Full storefront façade expresses Modern outdoor-indoor spatial concept and plan flexibility

NORTH
0 2 4 8 12

FIRST FLOOR

As-Found plan 2020



NORTH
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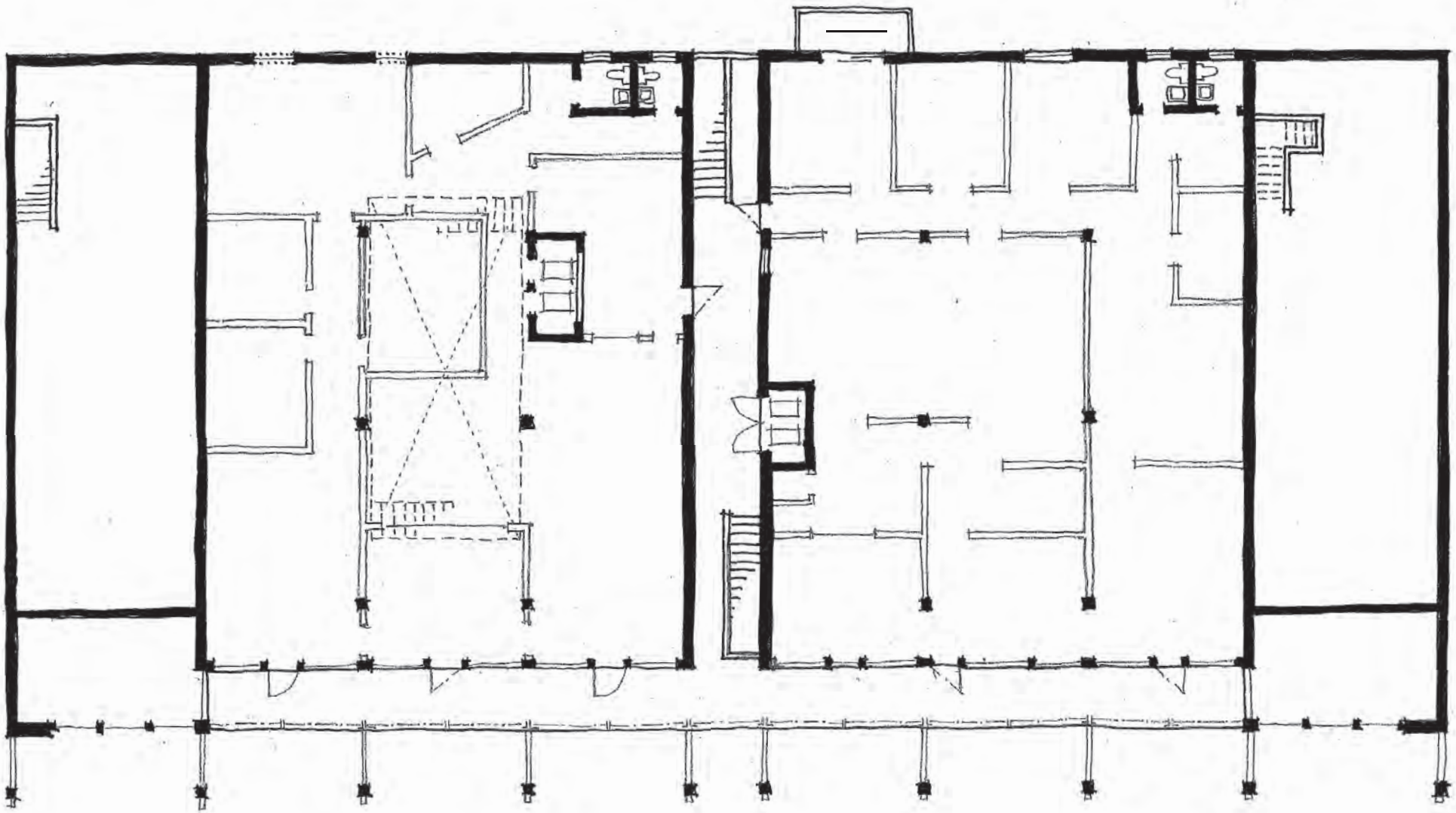
SECOND FLOOR

As-Found plan 2020



CHAPTER 3

Historic Preservation Policies and Guidelines

The Historic Preservation Plan & Design Guidelines for the Kimsey Building is the foundational document for appropriately envisioning, evaluating, and rehabilitating the historic property in the context of economic development through heritage conservation. By applying and interpreting The Secretary of the Interior's Standards for Rehabilitation specifically for the Kimsey Building, this chapter establishes the goals and objectives of change management in terms of policies and guidelines. POLICIES are actions presented in first person as imperative statements or mandates. GUIDELINES are actions presented in third person with the modal verbs "must, should, and may" respectively denoting obligations, suggestions, and possibilities.

Kimsey Building front façade and parking. (August 2020)

POLICY I: welcoming open site

Preserve the character-defining open space of the front setback, symmetrical placement of the building, and repetitive patterns of site features to retain the panoramic visual relationship between the historic Kimsey Building and its contemporary streetscape.

As part of the private residential/hotel development plan of 2020, several large, adjacent commercial parcels were consolidated as one property. The historic Kimsey Building stands on one of those properties. The non-historic Howard Johnson's Motel to the west and the non-historic Venue event center to the north were included. To facilitate development that avoids physical impact on the historic resource, a boundary was established around the Kimsey Building within the newly consolidated parcel. This boundary delineates the Historic Preservation Zoning Overlay for purposes of this HP Plan and for other historic preservation designations and programs. (See Aerial Site PLan of page 34.)

Existing conditions 2020

GUIDELINE 1.1

Front Open Space

The open space of the historic front setback and side yards must be retained.

GUIDELINE 1.2

Front Parking

The parking and pedestrian functions of the front setback should be retained.

GUIDELINE 1.3

Landscape Planter

The landscape planter between the public sidewalk and parking area should be retained.

GUIDELINE 1.4

Rear Open Space

Portions of the parking area behind the historic building may be utilized for additions and new construction.

POLICY 2: iconic building massing

Preserve the formal symmetrical building massing, broad front gable, forms, spaces, and order of the iconic Kimsey Building that inspire its popular nickname "The Triangle."

GUIDELINE 2.1
Building Massing

The formal symmetrical building massing, low-pitched gables at the long dimension of the rectangular building, the front façade, the two-story breezeway, and broad porch must be preserved.

GUIDELINE 2.2
Addition Shapes

Rectangular plans, simple geometric shapes, and low-pitched gable rooflines should be used for the design of additions, enclosures, or new construction.

GUIDELINE 2.3
Building Harmony

The scale, massing, shapes, proportions, and patterns of new construction must complement that of the historic building and must differentiate new elements from old.

GUIDELINE 2.4
Roof Equipment

Mechanical equipment, solar panels, or building features should not be placed on the roof where they can be seen from the street or from adjacent tall buildings.

If no location is economically and reasonably feasible other than the roof, equipment should be placed on the roof in a manner consistent with the building's characteristic underlying patterns and elements of design.

POLICY 3: signature façade features

Preserve the signature features and underlying design patterns of the character-defining façades that reflect the Modern-movement Contemporary style combined with New Formalism as interpreted by architect Ralph Haver.

GUIDELINE 3.1

Façades and Features

The character-defining design composition, architectural features, and historic materials of the exterior facades must be preserved.
All rehabilitation work must utilize appropriate methods of maintenance, repair, replacement, additions and alterations, and new construction.

GUIDELINE 3.2

Wood Storefronts

The character-defining wood and fixed plate-glass storefront with mill-finish aluminum doors must be preserved in a manner to minimize visual impact caused by energy conservation aspects of the Green Building Program.

GUIDELINE 3.3

Rear Facade

The utilitarian rear façade of low significance and integrity may be modified, and improved, stabilized, and enhanced in a complementary manner to the character of the building, but must remain subordinate to the front façade in visual importance. New features and additions must be complementary to yet differentiated from historic elements.

GUIDELINE 3.4

Rear Façade Windows and Doors

The steel casement windows and steel doors of the rear façade may be retained, relocated, removed, or replaced. If retaining or relocating the original steel casement windows on the rear facade, those features should be restored to their historic-period character.

If replacing the original steel casement windows with Green Building energy-efficient windows, new windows for the rehabilitated rear façade should interpret utilitarian steel windows rather than formal wood storefronts.

GUIDELINE 3.5

Concrete Block Walls

The bond pattern, joint profiles, unit sizes, and types of standard and ornamental concrete block walls must be preserved. Stucco must not be introduced as a veneer material in any manner and under any circumstance of rehabilitation or new construction.

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials must not be used. The surface cleaning of structures, if appropriate, must be undertaken using the gentlest means possible.

GUIDELINE 3.6

Porch and Breezeway

As the focal point of the character-defining symmetrical front facade, the broad front-gable porch with balcony and the central two-story breezeway must be preserved; the concept of paired stairways should be preserved.

POLICY 4: modern spatial concepts

Using the open interior volumes defined by the building shell and structural framework, rehabilitate the flexible historic office building through appropriate tenant improvements to replicate the essential Modern-movement concept of flowing spaces and daylighting.

As an office building designed for leased tenant occupancies, the major interior spaces were intended to be flexible for accommodating ever-changing functions set within a two-story grid structural system and building shell. After about sixty years of purposeful modifications and caring maintenance, virtually no remnants of historic-period tenant improvements survive—just as was intended by the creator architect. The intended resilience of the building is more significant than interim tenant improvements.

GUIDELINE 4.1

Appropriate Use

The building may be used for its historic purpose or for a new use that requires minimal change to its character-defining features both inside and outside.

GUIDELINE 4.2

Modern Spaces

Creative yet disciplined design of interior forms for new functions should be inspired by architectural principles and flowing volumes of the Modern Movement.

GUIDELINE 4.3

Partition at Storefront

Interior partitions and lowered ceilings meeting the storefronts must not intersect with glass but rather with mullions or gridline posts.

GUIDELINE 4.4

Visible Systems

In keeping with Modern-movement precepts of honesty of materials and construction, the adaptive use design may reveal mechanical and electrical systems within the interior spaces set among the expressed or implied structural system.

GUIDELINE 4.5

Code Compliance

The manner of introducing tenant improvements and modifying the building shell for compliance with building codes, accessibility guidelines, and energy conservation requirements should not adversely affect the character-defining elements or concepts of the building.

POLICY 5: inherent elements of design

Compatibly integrate new features, additions, and adjacent new construction with the Kimsey Building to incorporate its inherent elements of architectural design and to extend its underlying organizing patterns embodied by the front façade, roof, and building massing.

GUIDELINE 5.1

Subordinate Addition

An addition should be subordinate in scale and character to the historic building.

GUIDELINE 5.2

Rear Addition

Additions to and expansions of the historic building should be made at the rear to retain the historic building massing seen from the street.

GUIDELINE 5.3

Rooftop Features

Necessary minor mechanical features on the rooftop should be artfully placed as a composition of design elements in keeping with the patterns and proportions of the historic building façade.

GUIDELINE 5.4

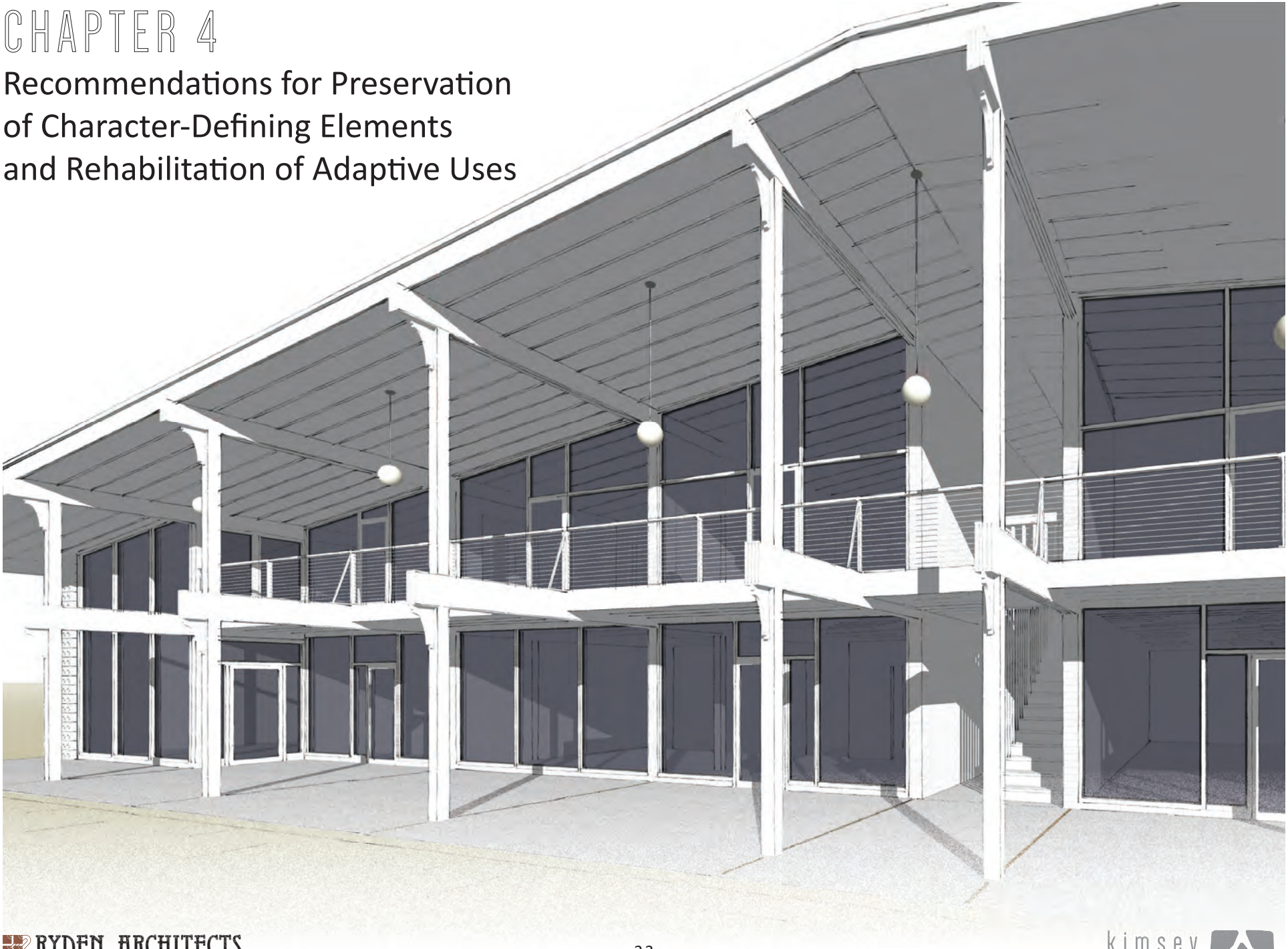
Pattern Extensions

The placement, design, and massing of additions and new construction should continue the patterns and proportions of the historic building.

The unseen diagonal regulating lines of the historic building, especially the front façade, should extend to guide the massing, façade, and openings of additions and new construction.

CHAPTER 4

Recommendations for Preservation of Character-Defining Elements and Rehabilitation of Adaptive Uses



101 site plan layout

Repair Deficiency

- Retain the clear panoramic view of the building as seen when moving along the street.
- Retain the open space forward of the building and porch terrace to the landscape planter along the public sidewalk on Indian School Road.
- Retain the front setback and its arrangement of one-way asphalt parking area and its two street curb cuts.
- Retain the narrow side yards flanking the building to continue use as driveways or adapt as walkways or landscape areas.
- Provide accessible ramps from the parking to porch and breezeway levels at locations convenient from ADA parking to front and rear entrances and to the central breezeway.

Alter/Add for New Use

- Consider utilizing the rear parking area for adaptive use as open space, an addition, or for detached structures. As needed, remove the narrow, deteriorated concrete walkway, utilities, and equipment at the rear facade.
- Replace power poles, transformer pots, and overhead wires with screened ground-mount or underground systems.

103 parking areas

Repair Deficiency

- Repair damaged and missing concrete curbs in kind to match existing.
- Resurface or replace asphalt paving and striping in kind to match existing.

Alter/Add for New Use

- Consider introducing improvements to the front parking area for adaptive use as a temporary outdoor venue for occasional private or community events. Such improvements must not adversely affect the character of the parking area, front façade, or view from the street.

2020 Aerial

105 landscape concept

Repair Deficiency

- Repair or replace damaged concrete curbs in kind at landscape planter. Consider retaining the post-historic period “sawtooth” shape of the landscape strip as it relates to the diagonal parking pattern and triangular aspect of the building façade.

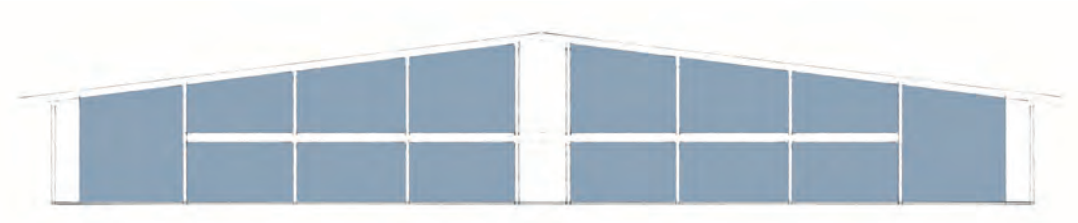
Replace Deficiency

- Replace non-functional in-ground landscape lighting system with energy-efficient system that addresses City Security and Dark Sky recommendations. In designing a new lighting system, evaluate ambient illumination provided by streetlights and building.
- Replace ill-functioning landscape irrigation drip system and timer.
- Remove and replace poorly maintained stone ground cover using material recommended by City ROW and streetscape design guidelines.

Replace Missing

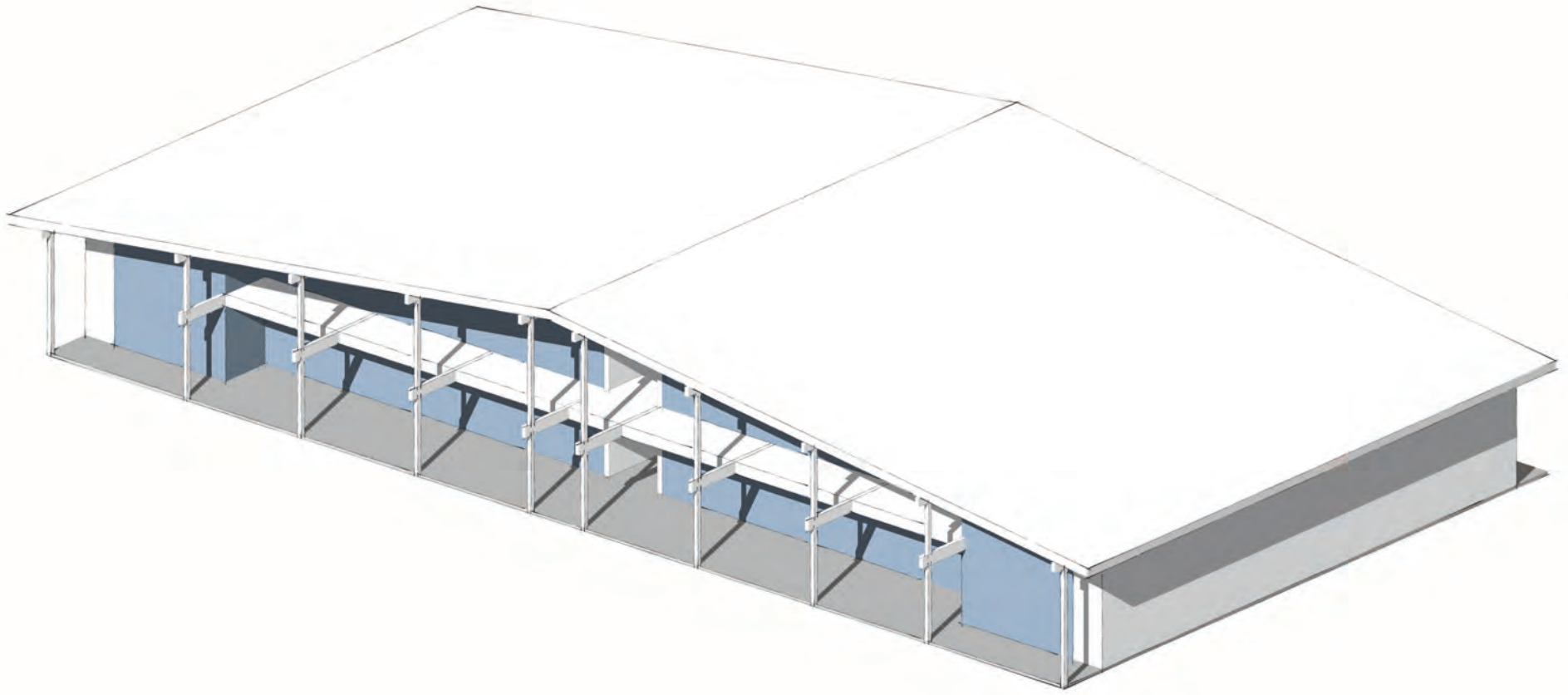
- Consider replacing the few existing sissoo trees and shrubs in the landscape strip with the missing rhythmic pattern of original Italian cypress trees and three shrubs to reflect the pattern of the porch bays and storefronts as shown in 1962 oblique aerial photo. Coordinate with City ROW and streetscape design guidelines.

201 building massing



Protect and Maintain

- Retain the original building massing by avoiding additions, alterations, or removals that diminish or obscure the character-defining shape, profile, silhouette, and spaces of the iconic “Triangle Building.”



202 building façades

Front facade (south elevation)

202.1 FRONT FAÇADE (South) - Character-defining Element

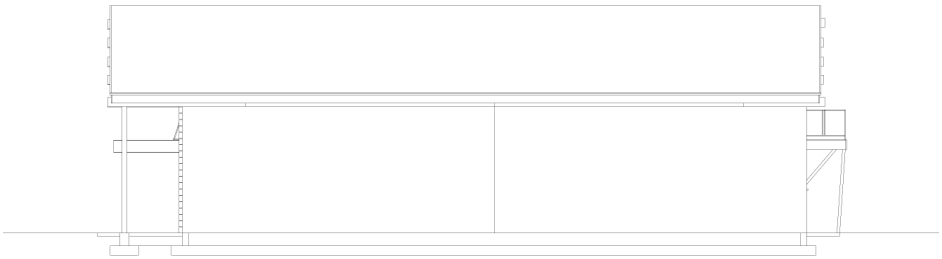
Protect and Maintain

- Verify that the glazing of the front façade storefront system (especially at the first floor) is tempered glass where required by building code.
- Provide maintenance and minor repairs or partial replacements to preserve the character-defining elements of the front façade.

Alter/Add for New Use

- When rehabilitating the interiors, minimize the effects of changes to the front façade (e.g., doorways, glazing) must be kept to a minimum.
- Where the building code requires replacement of original glass by tempered glass, mitigate public safety risks by introducing architectural guardrails or screens that pose minimal visual impact to the character of the storefront. If mitigation methods are not feasible, replace glass to minimize adverse effects on the storefront elements and on the character of the façade. Remove and replace poorly maintained stone ground cover using material recommended by City ROW and streetscape design guidelines.
- Consider replacement of original single-layer glass of the storefronts with insulated glass may be considered only if total-building energy conservation requirements (or desires) cannot be met by mitigation methods that preserve the character-defining storefront system and front façade.
- Avoid reflective or dark-tinted surfaces for glass treatments or replacements.

Rear facade (north elevation)



Side facade (east elevation)

Side facade (west elevation)

202.2 SIDE FAÇADES (East and West)

Protect and Maintain

- Provide maintenance and minor repairs or partial replacements to preserve the historic elements of the façades.

Alter/Add for New Use

- When rehabilitating the interiors for adaptive uses, avoid changes to the solid side façades (e.g., introducing windows, doors, louvers) if possible. If changes are necessary, restrain the design and respect the historic stylistic concept and patterns.

East facade having no openings or architectural features.

Structural masonry joint revealing horizontal steel reinforcing "ladders".

202.3 REAR FAÇADE (North)

Repair Deficiency

- Because the rear façade is of low significance and integrity, and because it is in only fair condition, consider the rear façade as the best opportunity for adaptive use changes and visual enhancements.
- Repair damage and deterioration on the building features of the rear façade (e.g., masonry, openings, windows, doors, utilities) caused by decades of extensive remodeling, vandalism, and deferred maintenance.
- Repair moderate damage and deterioration caused by water from the roof and pipes.

Alter/Add for New Use

- Because the rear façade is of low significance and integrity, and because it is in only fair condition, consider the rear façade as the best opportunity for adaptive use changes and visual enhancements.
- Introduce additions and alterations at the rear façade in compliance with The Secretary's Standards as an architectural expression that complements the character of the building yet differentiates between old and new features.
- Introduce new openings for access, light, and ventilation in a manner that will respect the historic pattern of fenestration cut into the concrete block wall.
- Select adaptive uses and code-compliant methods of second-floor access and emergency egress that avoid or minimize adverse effects to exterior character-defining elements. If installation of an elevator cannot be avoided, provide it on the interior rather than the exterior.
- Consider providing code-required emergency exit stairways inside the building shell. If interior stairways are not feasible, provide an exterior balcony and stairways on the rear façade. Under all circumstances, avoid providing exterior stairs on the front façade.

Decades of relocated doors and added pipes, conduits, vents, and equipment cover north façade.

Character-defining ornamental masonry panels flank the storefronts.

203 wall finishes

CONCRETE MASONRY WALLS AND ORNAMENTAL PANELS

Repair Deficiency

- Identify potential masonry reinforcing deficiencies by conducting non-intrusive electronic testing of the walls to determine patterns of rebar placement.
- If reinforcing and stabilization is required for code-compliant resistance of vertical and lateral loads, provide a structural design that upgrades the integrated masonry and framing systems in a manner that minimizes loss of visual character and architectural integrity.
- Protect and maintain the painted concrete masonry walls as typical construction of the historic period. Avoid covering the masonry wall finishes with stucco, siding, or sheathing.
- Protect and maintain the painted ornamental concrete masonry panels as character-defining elements and signature features of architect Ralph Haver. Avoid covering the ornamental panels finishes with stucco, siding, or sheathing.
- Prior to repainting the masonry surfaces, remove damaged or deteriorated paint only to the next sound layer using the gentlest means possible (e.g., hand-scraping). Apply compatible paint coating systems after proper surface preparation. Repaint with original colors or with those appropriate to the historic building style and period.

Standard concrete block walls enclose the side and rear elevations.

Painted gypsum board ceilings, concrete block walls, and non-historic outdoor carpeting are finishes in the second-floor breezeway. Steel doors have been relocated and added in the breezeway.

204 exterior ceilings and finishes

Retain and Maintain

- If feasible, retain surviving historic-period gypsum board ceilings at the roof and second-floor structures. (Verify if historic-period finish materials survive at the ceilings of the two breezeway levels, at the south balcony, or at the south porch.)

Repair Deficiency

- Remove suspended ceiling systems or veneers to reveal the original gypsum board ceiling finishes or levels under the sloped roof and level second-floor structures.
- Repair the damaged portions of the gypsum board ceilings in kind to match materials, textures, and finishes.

Alter/Add for New Use

- At new additions or alterations, provide exterior ceiling finishes that match or complement the historic-period painted gypsum board systems.

205 exterior doors

Retair Deficiency

- Repair the two, original mill-finish aluminum and glass doors at the storefronts. Replace the missing hardware to match the original style. Assure that the doors, emergency hardware, thresholds, and glass meet accessibility/safety standards for specific occupancy types (e.g., business, residential).

Repair Missing

- Remove non-original bronze-anodized aluminum and glass doors and headers. Replace existing post-historic period doors with mill-finish types to match original in the storefronts and to comply with code-required clearances. Coordinate door sizes and thresholds with the finished floor level of the tenant spaces and outdoor floor surface. Provide appropriate hardware for security and emergency exiting at business occupancies.

Alter/Add for New Use

- As is feasible, repair the historic-period service doors at rear façade, or replace them with new doors appropriate for new use yet complementary to historic character. Unlike the original solid-core steel-veneered service doors, new doors at the rear façade may have glass lights.

Bronze-anodized aluminum doors have replaced many of the original mill-finished aluminum doors in the wood storefronts.

206 exterior windows

206.1 WOOD STOREFRONTS

Be mindful that much of the wood storefront at the second floor was repaired or partially replaced in kind immediately following the summer storm of 2000 when a microburst ripped off the porch roof and severely damaged the storefront. The immediate repairs included replacing the original single-pane plate glass with dual-pane insulated tempered glass in about the same historic patterns of mullions, transoms, doors, and sidelights. Most mill-finish aluminum doors were replaced with bronze anodized aluminum. Some of the original mill-finish aluminum doors were painted at that time. The wood storefronts, nonetheless, retained their characteristic historic integrity.

Repair Deficiency

- Repair wood storefronts by reinforcing the historic materials. Repairs will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of storefronts.
- Improve thermal efficiency with weatherstripping, caulking, and interior shades.

Replace Deficiency

- If other insulation and retrofitting alternatives do not adequately achieve energy conservation standards, consider replacing the original single-layer plate glass of the storefronts with dual-pane insulated tempered glass to match the historic patterns of muntins, transoms, doors, and sidelights. Consider using lightly tinted glazing, but not dark or reflective materials.
- Provide a setback of at least 4 feet in the design of low ceilings when they are required for the new use to allow for the full height exposure of the window openings.

Compare loss of integrity where dark doors replace original mill-finished aluminum doors.

Expert workmanship survives in the joinery of the original wood storefronts.

206.2 STEEL CASEMENT WINDOWS

Although steel casement windows are common features of commercial buildings of this period, those on the rear elevation do not define the historic character of this building. Furthermore, the fenestration locations on the rear elevation have been so seriously altered by relocation, removal, replacement, infill, and interruption that the integrity of the façade has been lost. Thus, rehabilitation of the rear elevation may either preserve the existing windows and replace those missing or replace all the windows with new types that replicate or complement the industrial character of multi-light steel windows.

Repair Deficiency

- Repair window frames and sash by patching, splicing, consolidating, or otherwise reinforcing. Such repair may also include replacement in kind of those parts that are either extensively deteriorated or are missing.

Replace Deficiency

- Replace in kind an entire steel casement window that is too deteriorated to repair using the same sash and pane configuration and other design details. If using the same kind of material is not technically or economically feasible when replacing windows deteriorated beyond repair, then a compatible substitute material may be considered, e.g., aluminum. Historic pattern of integral muntins and retention of the same glass to frame ratio, matching of the historic reveal, and duplication of the frame width and depth should all be components in replacements of steel casement windows. New windows should retain the historic setback depth of the frame from the exterior face of the masonry wall.

Replace Missing

- Design and install new steel casement windows when the historic windows are completely missing. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the window openings and the historic character of the building.

Add/Alter for New Use

- Design and install additional or replacement windows on the rear elevation as required by the new use and energy conservation standards. New window openings may be cut into the rear wall. Such design must be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation, i.e., the wood storefronts.
- Provide a setback of at least 4 feet in the design of low ceilings when they are required for the new use to allow for the full height of the window openings.

Although typical of the period, steel casement windows on the rear façade are not considered character-defining elements.

207 roofing and roof features

Repair Deficiency

- Repair the existing built-up roofing by reinforcing the materials which comprise the roof and its features. Repairs may include limited replacement in kind—or with compatible substitute material—of those extensively deteriorated areas or missing parts.

Replace Deficiency

- Replace the roofing system if deterioration or damage is too severe or widespread for repair. If using the same kind of material is not technically or economically feasible, then consider using a compatible substitute material.

Add/Alter for New Use

- For the purposes of longevity and energy or resource conservation, the roofing system may be fully replaced with a new system and material that retains the general character of a homogeneous surface or of simple linear patterns. The color of the roofing should match or be a similar light tone. Avoid glaring reflectivity. Be mindful of the roof character as seen from nearby tall buildings.
- Retain the original roof slope and visual simplicity by avoiding additions or alterations that diminish or obscure the character-defining shape, profile, and silhouette of the building.
- In replacing or introducing roof features, locate them in keeping with the underlying geometric patterns and symmetry of the building. Like the front façade, the rooftop should be an artistic composition to the greatest degree possible.
- If the longevity and ease of maintenance of the roof is to be improved, install a new roofing system that minimizes the casting of shadows by tall standing seams and wide battens.
- If heat load resistance of the existing internal roof insulation must be improved, install additional insulation on the exterior of the roof to retain the historic ceiling surfaces and full-height storefronts.
- If roof drainage or rainwater harvesting is to be provided, install seamless aluminum gutters of rectilinear profile and color to match the fascia. Collection cisterns should be installed underground if feasible. If ground mounted, select rain storage containers that are compatible with the character of the building. Place them where unseen from the public right-of-way.
- Install mechanical and service equipment on the roof such as air conditioners, transformers, or solar collectors when required for the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.
- Because rooftop clutter is often more visually objectionable than are the individual mechanical units, consider placing rooftop equipment in a compatible composition as seen from ground level and from above. Minimize the need for equipment screens that can be more visually intrusive than the equipment they are meant to hide.
- If solar energy collection must be provided, consider installing photovoltaic panels integral with the roofing system in a location that avoids deepening the historic fascia boards.

210 porch

Note that most of the existing porch posts, roof and floor framing, ceilings, and floor decking are in-kind replacements for those severely damaged in the microburst windstorm during the 2000 monsoon.

Repair Deficiency

- Repair the wood porch structure by reinforcing the materials and by limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as railings, balustrades, and stairs.

Replace Deficiency

- Consider replacing in kind the entire concrete slab terrace that is too deteriorated or damaged to repair using the physical evidence as a model to reproduce the feature. Match original concrete color, surface finish, and joint profile. Replace the redwood headers in kind to preserve the slab pattern that integrates with the storefront mullions and porch posts. In replacing the slab, consider handicap accessibility between the parking surface and the building entrances.

Add/Alter for New Use

- Avoid enclosure of the open spaces within the wood porch structure.
- Avoid designing and installing new structures or stairs that would obscure the character-defining features and spaces of the front façade.

The character-defining concrete slab and redwood headers of the porch terrace have sustained staining, deterioration, and modification that affect their integrity of materials.

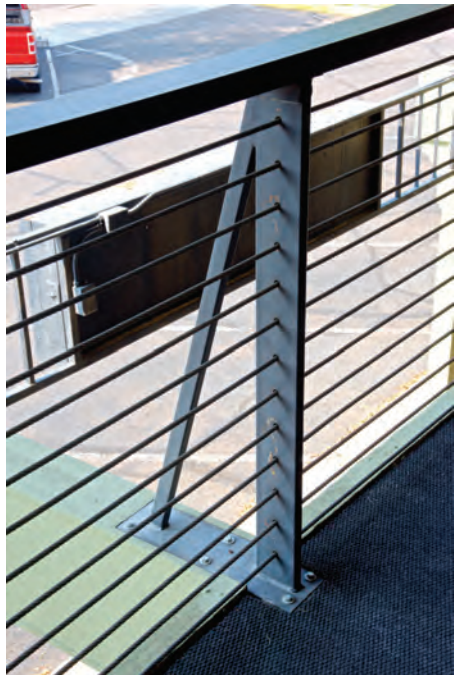
211 balconies

Note that the original balcony floor framing, decking, flooring, and ceilings, are in-kind replacements for those severely damaged in the microburst windstorm during the 2000 monsoon. The original cast iron decorative balustrade was replaced with a code-compliant guard system of aircraft tension cables and steel posts and railings compatible with the character of the building. A 16-foot-long remnant of the original cast iron railing survives at the small balcony on the rear façade.

Repair Deficiency

- Repair the post-historic-period wood balcony decking and flooring by reinforcing the materials and by limited replacement in kind—or with compatible substitute material—of those extensively deteriorated parts.
- Consider replacing missing parts of repeated features where there are surviving prototypes such as railings and balustrades. Modify the replacement replicas to meet current building code requirements.

The storm damage of 2000 resulted in the replacement of the original cast iron balcony guardrails with a new aircraft cable system.



Add/Alter for New Use

- Consider retaining the code-compliant aircraft cable guard and steel handrail that replaced the cast iron balustrade damaged by the 2000 windstorm. Minimize the visual impact to the south façade and storefront of any new features introduced to the existing balcony.
- If the rehabilitation plans retain the small wood balcony (not character-defining) at the north façade, repair its structure and finishes in kind. Retain the remnant original cast iron railing but modify the installation to comply with building code.
- If the rehabilitation plans do not retain the small wood balcony at the north façade, consider reinstalling the surviving original cast iron railing in an appropriate adaptive location to preserve the remnant as record of the original materials of the front balcony.

A remnant of the original cast iron balcony guardrails survives at the rear balcony.

212 breezeway and stairs

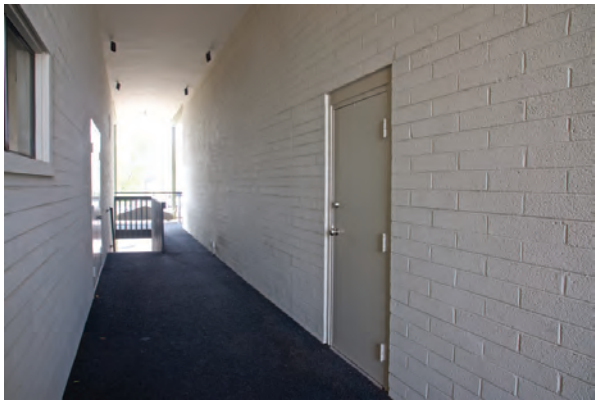
Repair Deficiency

- Replace in kind an entire interior feature or finish that is too deteriorated to repair, that is missing, or that has been incompatibly replaced (such as outdoor carpeting for flooring).

Add/Alter for New Use

- Retain the two-story volume of the open breezeway and repair features and finishes by reinforcing the historic materials or by limited replacement of materials in kind. Consider using a compatible substitute material for extensively deteriorated or missing parts that convey the visual appearance of the surviving parts of the breezeway.
- At the breezeway, remove mechanical equipment beneath the two wood stairways. Replace deteriorated wood stair treads, risers, and stringers with new materials and proportions to meet building code compliance. Reuse the decorative wood balusters (square spindles) that appear to suspend the stringers or replicate them with compatible new materials for a new design compatible with the historic character of the building.

The original wood stairways in the breezeway have been unclosed for mechanical equipment leaving the wood spindles to convey the Modern character.



213 insulation and weatherstripping

Add/Alter for New Use

- Install thermal insulation on the inside of masonry walls to increase energy efficiency where there are no character-defining interior features, finishes, and trim around windows or other interior architectural detailing. It is likely that the interior surfaces of concrete block walls were originally painted rather than left as natural finish.

215 light fixtures

Replace Missing

- Consider replacing in kind—or with a compatible substitute material—the globe light fixtures to replicate more accurately the missing character-defining fixtures replaced after the 2000 storm.

217 signage system

Repair Deficiency

- Repair or replace with parts in kind of the character-defining signage system of truss-like steel supports and backlighted box signs spanning between porch posts—or replace with compatible substitute materials.

Replace Missing

- Consider replacing the missing double-sided, round clock that was mounted on the porch post during the period of City Hall occupancy as seen in a 1960s newspaper photograph.

The signage system and globe light fixtures are character-defining features of the front façade.

301 interior spatial concept and features

Repair Deficiency

- If appropriate for the functional needs of adaptive uses at the first floor, consider preserving and refinishing the original stained concrete floor.
- Remove suspended ceiling grid systems and adhesive acoustical tiles to reveal the original gypsum board ceiling finishes under the sloped roof and level second-floor structures. (Important: Identify potential hazardous materials found in older adhesives and acoustical tile materials. The same concern exists for historic-period floor tiles. Remove and dispose of them in an appropriate manner complying with environmental regulations.)
- Repair the damaged portions of the gypsum board ceilings in kind to match materials, textures, and finishes. If feasible, retain surviving historic-period gypsum board ceilings.
- In selecting alternative materials, textures, and finishes to replace or add interior ceilings and soffits, introduce elements that complement yet differentiate from the original gypsum board finishes. Avoid the use of T-bar grid acoustical ceilings or adhesive acoustical tiles.
- Avoid suspending ceilings in a manner that physically engages with or visually conflicts with the full exposure of windows or of storefronts that extend up to the original ceiling. Keep ceilings of rooms adjacent to storefronts set back from the windows by at least 4 feet.

Ghosts of missing paired stairs seen on the concrete floor suggest an infilled atrium in the west half of the building.

Dropped t-grid acoustical ceilings interfere with the storefront glass and its indoor-outdoor intent.

An interior structural masonry wall has been partially removed from between the two easternmost bays to install base cabinets and countertops.

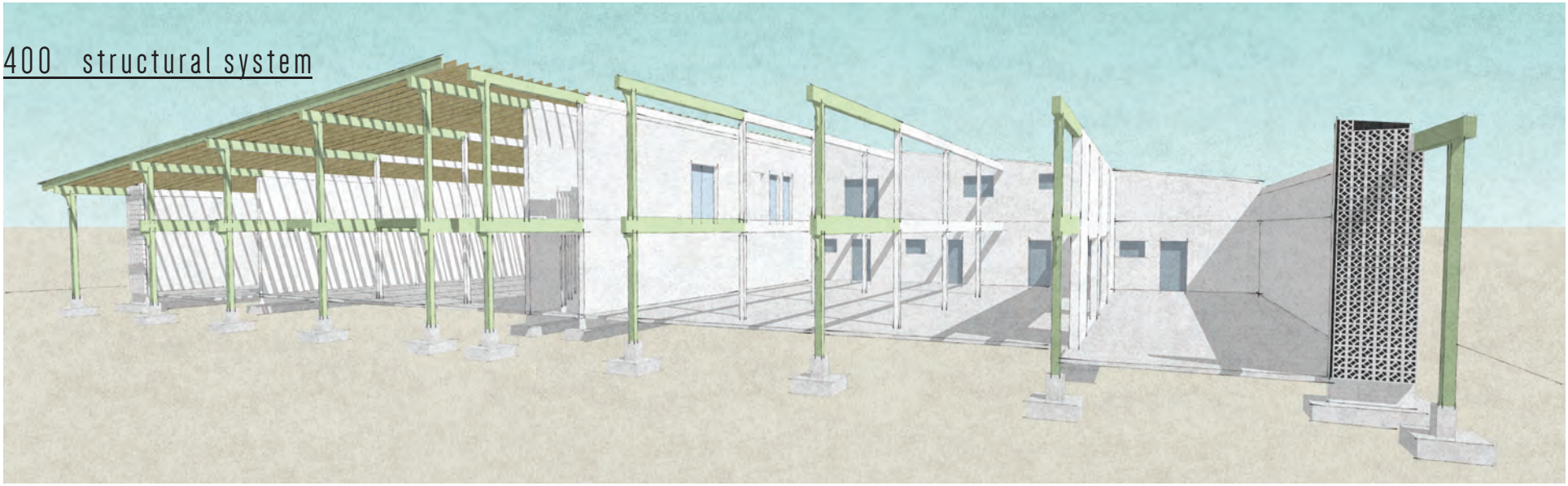
The end bays have a high ceiling at their entrances and a hidden loft above the original low ceiling.

Alter/Add for New Use

- Design and install tenant improvements in a manner that replicates the open, flowing, daylighted spaces that characterize the aesthetic sensibilities of the Modern Movement of architecture. Avoid clustered cellular rooms with doors cut into walls in favor of the overlapping play of solids and voids of planes in vertical and horizontal coordinates.
- Accommodate service functions such as restrooms, mechanical equipment, and electrical and communications equipment in secondary areas of the new floor plans.
- Install permanent and removable partitions to avoid destroying the sense of space conveyed by the building shell volumes, structural system, and storefront patterns.
- Install new code-required stairways or elevators in areas to avoid destroying the sense of space conveyed by the building shell volumes and storefront patterns.
- At new additions, alterations, or tenant improvements, provide interior ceiling finishes that match or complement the historic-period painted gypsum board systems.

Tenant improvements in several leased spaces (2020) appropriately interpret the open plan and daylighting feeling characteristic of the Modern period.

400 structural system



As an essential aspect of the building design for flexibility of tenant improvements, the structural system combining concrete block walls and post-and-beam framing is important in defining the building's overall historic character. The masonry and wood-framing components are significantly displayed on the front façade porch as an illustration of the structural concept within. It may be possible that the post-and-beam system here was either exposed or implied within the tenant improvement partitions and ceilings. The post-and-beam system is significant to the history of building technology for Contemporary-style architecture and as a signature element of design for architect Ralph Haver.

Repair Deficiency

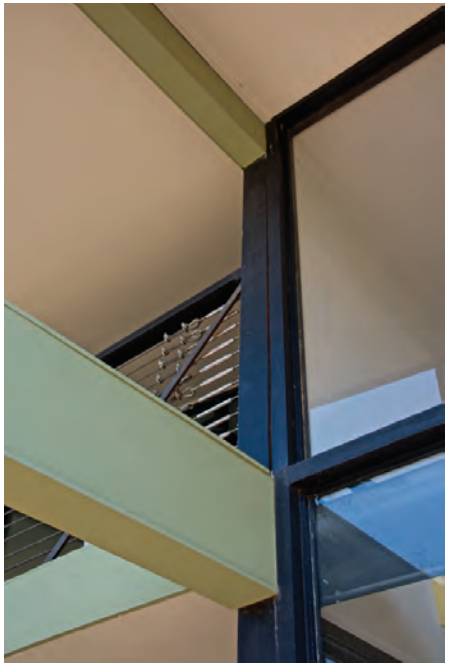
- Identify potential masonry reinforcing deficiencies by conducting non-intrusive electronic testing of the walls to determine patterns of rebar placement.
- If reinforcing and stabilization is required for code-compliant resistance of vertical and lateral loads, provide a structural design that upgrades the integrated masonry and framing systems in a manner that minimizes loss of visual character and architectural integrity.
- Repair the structural system by augmenting or upgrading individual parts or features.

Replace Deficiency

- Replace in kind—or with a substitute material—those portions or features of the structural system that are either extensively deteriorated or are missing when there are surviving prototypes to replicate. Substitute material should convey the same form, design, and overall visual appearance as the historic feature; and, at a minimum, equal its loadbearing capabilities.

The simple post-and-beam structural system characteristic of Contemporary-style homes and commercial buildings by architect Ralph Haver allow flexibility for tenant improvements without affecting design integrity.

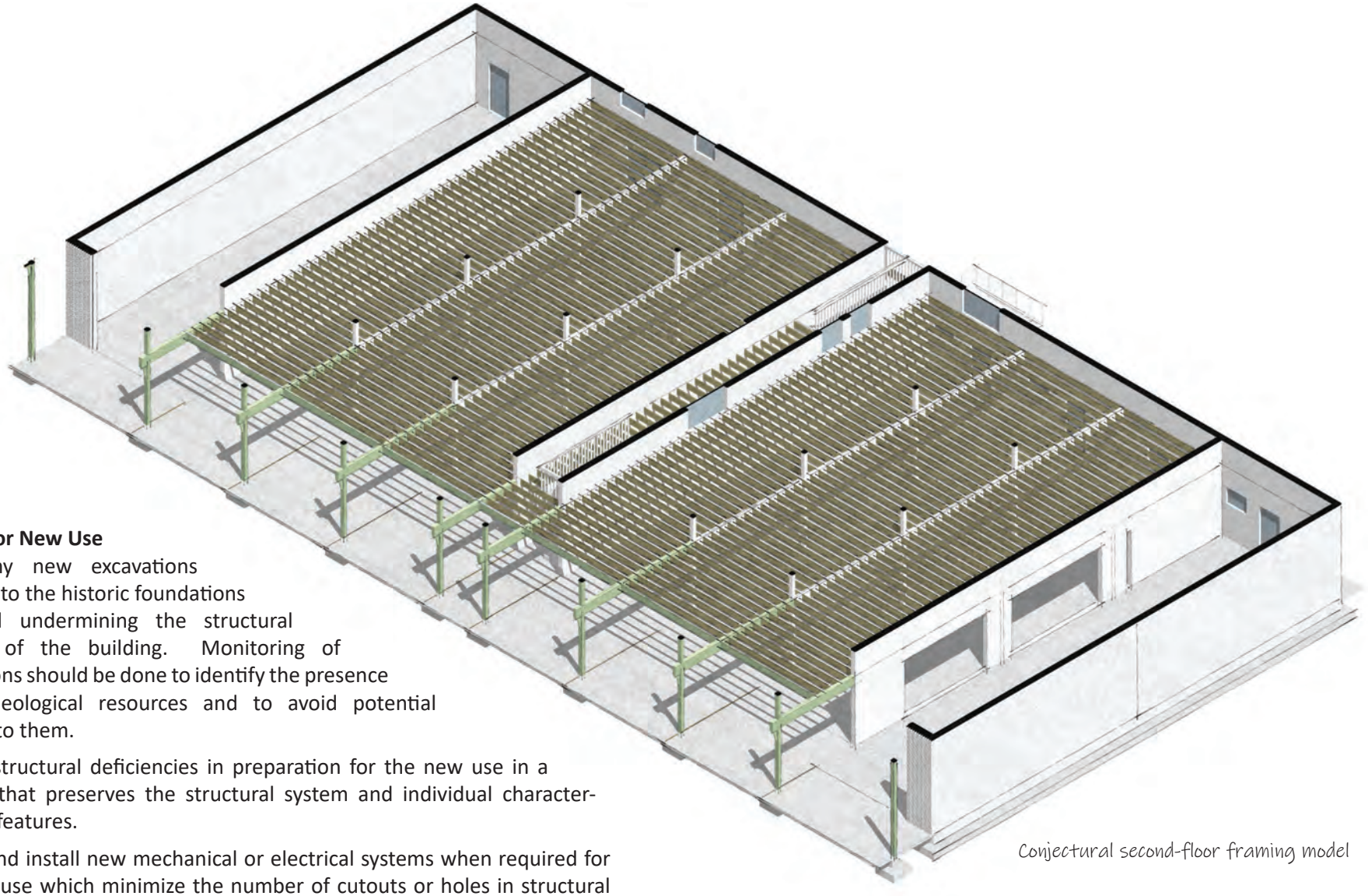
The original curved corbel design is an unusual detail for Contemporary-style beams that may be an architectural salute to the gable brackets of the earlier Kimsey farmhouse.



The economical laminated beams supporting the roof and second floor have been sheathed to protect from weather and to enhance their appearance.

Surprisingly, the beam connections at posts and walls have no visible metal connectors.

Construction photos from the roof and balcony repairs of 2000 disclose no clues of connectors.



Conjectural second-floor framing model

Add/Alter for New Use

- Limit any new excavations adjacent to the historic foundations to avoid undermining the structural stability of the building. Monitoring of excavations should be done to identify the presence of archaeological resources and to avoid potential damage to them.
- Correct structural deficiencies in preparation for the new use in a manner that preserves the structural system and individual character-defining features.
- Design and install new mechanical or electrical systems when required for the new use which minimize the number of cutouts or holes in structural members.
- If appropriate for the new uses, restore the missing atrium in a manner that assures the preservation of the structural system as well as character-defining interior spaces, features, and finishes.

500 building systems

many generations of electrical system modifications are evident on the rear elevation

In 2020, the mechanical and electrical systems of the Kimsey Building and its tenant improvements no longer fully complied with building code requirements and energy conservation regulations. The total rehabilitation of the building for adaptive uses provided the opportunity to replace the mechanical and electrical systems beginning at the service entrances and extending throughout the building shell and tenant spaces.

The building systems and the tenant improvements were not considered character-defining features. And thus, they could be fully replaced with safe and efficient systems and equipment for new adaptive uses without adversely affecting the interior of the historic building. Unlike in the historic period, building codes now require fire detection and suppression systems both inside and outside. In the 21st-century Digital Age, ever-changing data and communications systems must be accommodated by old and new buildings.

The impact of Modern industrial aesthetics on mid-20th-century building systems brought an increasingly high level of design and decorative art to the functional elements of mechanical, electrical, and plumbing systems. It is possible to introduce exposed mechanical and electrical systems as integral design features of tenant improvements.

Add/Alter for New Use

- Install a completely new mechanical, electrical, data, and fire suppression systems in a manner that causes the least alteration possible to the building's interior spatial concept, and exterior elevations, and the least damage to the historic building material.
- Provide adequate structural support for new mechanical equipment.
- Install air conditioning units in such a manner that historic features are not damaged or obscured, and that excessive moisture is not generated that will accelerate deterioration of historic materials.
- If air conditioning ducts, plumbing pipes, electrical conduits, and fire suppression systems cannot be concealed within the partitions, soffits, and spaces of the tenant improvements, consider designing and installing them in such a manner that they complement the interior spaces as appropriate for the characteristic Modern expression of structure and systems.

Round air ducts suspended in plain sighted within the vaulted ceilings retain the Modern spatial characteristics and systems honesty of Contemporary-style interiors.

600 green building considerations

"The Greenest Building is the One Already Built."
– Carl Elefante, AIA, LEED AP – President of AIA,
Forum Journal, Summer 2007, p. 26.

The International Green Construction Code (IgCC) integrates green building principles into the building code process with industry-wide uniform baseline measures. The IgCC and the International Energy Conservation Code (IECC) also interlock with the International Existing Building Code (IEBC) which is applicable to the rehabilitation of this building. The City of Scottsdale Green Building Program offers an alternative way for buildings to become "green designated." Existing buildings, and especially those "historic designated," often have energy conservation strategies built into their original design and construction.

The IgCC addresses energy conservation in several ways that differ somewhat in application between new buildings and existing buildings: 1) Heat Island Mitigation; 2) Energy Compliance Path (performance-based vs prescriptive-based); 3) On-site Renewable Energy Systems; 4) Refuse and Recycling Collection. The design considerations that may have the greatest impact on historic character are found in IgCC Section 605: BUILDING ENVELOPE SYSTEMS (Prescriptive Path), including insulation and fenestration, shading devices, solar collectors, and daylighting.

The life cycle energy conservation values of historic buildings must first consider their embodied energy of construction and inherent environmental design strategies. Only then, can the energy performance enhancement of proposed new technologies be considered, and the collective credits be given. Thus, careful consideration must be given in evaluating the inherent values of historic buildings and the potential impacts on character-defining features by code-required modifications for energy conservation. Multi-disciplinary consultation and compromise is sometimes needed to resolve potential conflicts among consideration for safety, energy, and character in the rehabilitation of historic buildings.

Some character-defining elements of a historic building or site (e.g., landscaping, building massing, solar and wind orientation, roof shapes, wall materials, window types and locations, porches, and breezeways) may contribute to energy conservation by using passive methods of cooling and heating before supplementing with mechanical and electrical systems. Before retrofitting the historic building to improve energy efficiency, identify and evaluate the existing historic features to assess their inherent energy-conserving potential. Any rehabilitation work to improve energy conservation by introducing plantings, architectural features, and building systems must be accomplished with great care to ensure the preservation of the character-defining elements of the historic building.

601 energy conservation

The following Recommendations compile those provided in previous discussions of building features.

Site

- Retain plant materials, trees, and landscape features, especially those which perform passive solar energy functions such as sun shading and wind breaks.
- Install freestanding or remote solar collectors in a manner that preserves the historic property's character-defining features.
- Design attached solar collectors so that the character-defining features of the property are preserved.

Porch, Balcony and Breezeway

- Utilize the inherent energy conserving features of the building by maintaining the porch and breezeway in good condition so that they can retain heat, block the sun, and provide natural ventilation.

Roof

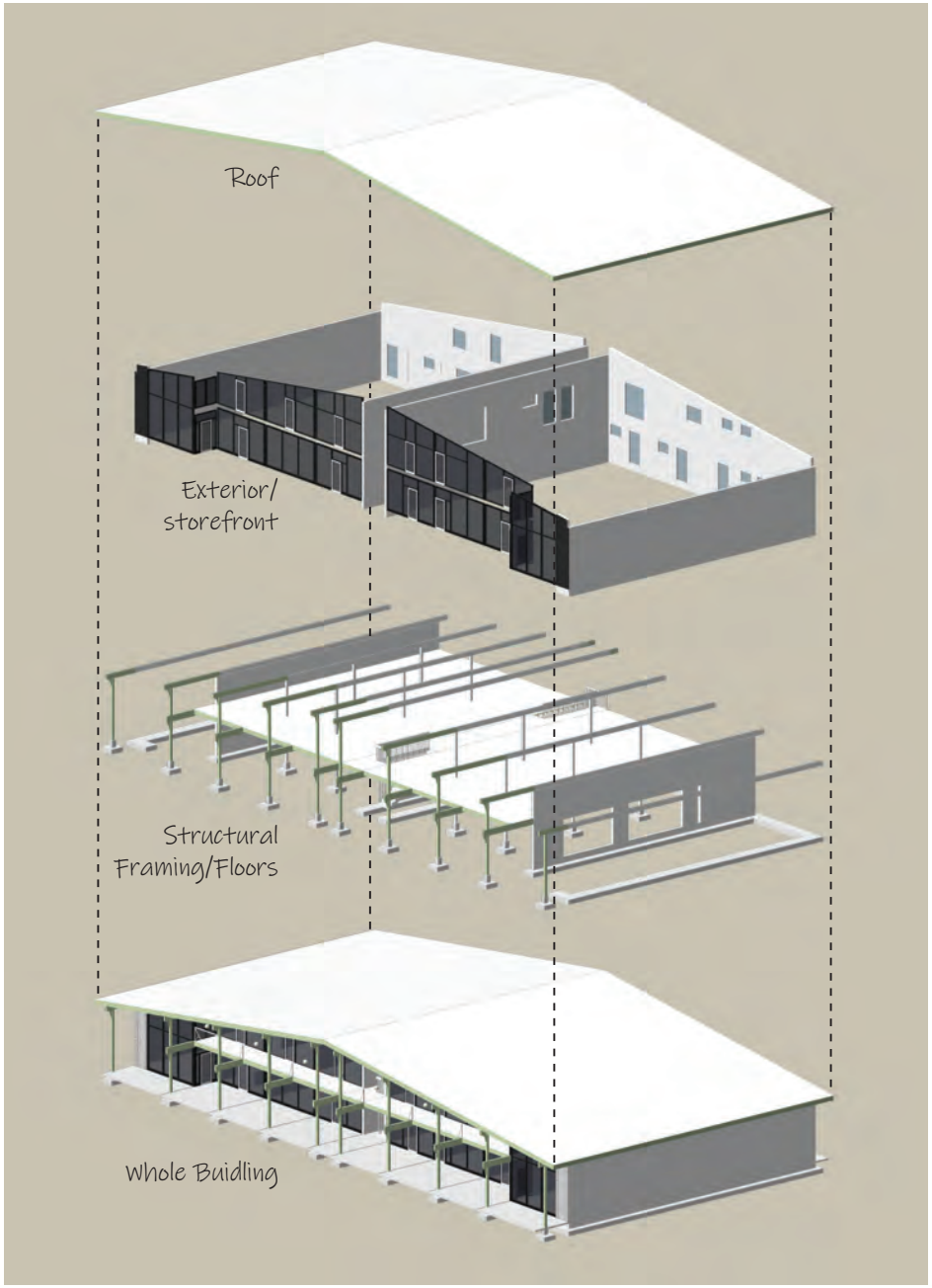
- Place solar collectors on non-character-defining roofs or roofs of non-historic adjacent buildings.

Masonry Walls

- Install thermal insulation on the inside face of masonry walls to increase energy efficiency where there is no character-defining interior molding around windows or other interior architectural detailing.

Windows

- Utilize the inherent energy conserving features of a building by maintaining windows in good operable condition for natural ventilation.
- Improve thermal efficiency with weatherstripping, caulking, interior shades, and if historically appropriate, blinds and awnings.
- Install removable interior insulative window panels to ensure proper maintenance and to avoid condensation damage to historic windows.
- Consider using lightly tinted glazing if other energy retrofitting alternatives are not possible.



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