



JURISDICTION SPECIAL NOTES

- STIPULATIONS:
1. ARCHITECTURAL ELEMENTS, INCLUDING DIMENSIONS, MATERIALS, FORM, COLOR, AND TEXTURE, SHALL BE CONSTRUCTED TO BE CONSISTENT WITH THE BUILDING ELEVATIONS SUBMITTED BY VERIZON AND YOUNG DESIGN CORP.
 2. THE LOCATION AND CONFIGURATION OF ALL SITE IMPROVEMENTS SHALL BE CONSISTENT WITH THE SITE PLAN SUBMITTED BY VERIZON AND YOUNG DESIGN CORP.
 3. PRIOR TO FINAL PLANS SUBMITTAL, THE DEVELOPER SHALL OBTAIN A ROW, NON-SYSTEM ADDRESS FROM A CITY'S RECORD DEPARTMENT FOR THE SUBJECT LIGHT POLE OR ELECTRICAL METER, AND THIS ADDRESS SHALL APPEAR ON THE CONSTRUCTION DRAWINGS.
 4. EXISTING LIGHT SHALL REMAIN IN OPERATION UNTIL NEW STREET LIGHT POLE IS ON OPERATION. AT THAT TIME, OLD POLE SHALL BE REMOVED. COORDINATE WITH INSPECTION SERVICES.
 5. REPLACEMENT STREET LIGHT POLE TO BE UNPAINTED CONCRETE. ANTENNAS TO BE PAINTED 2X PRIMER SATIN GRANITE OR EQUIVALENT.
 6. REPLACEMENT STREET LIGHT POLE SHALL BE TAPERED IN TWO LOCATIONS, TO MATCH THE DESIGN OF THE EXISTING STREETLIGHT POLE. WITH THE FINAL PLANS SUBMITTAL, REVISE BUILDING ELEVATIONS TO REFLECT THE USE OF A TAPERED POLE.
 7. ON THE FINAL PLANS SUBMITTAL, THE APPLICANT SHALL DRAW SIGHT VISIBILITY TRIANGLES FROM THE EXISTING DRIVEWAYS PURSUANT TO THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL TO ENSURE METER IS NOT LOCATED WITHIN SIGHT VISIBILITY TRIANGLE.
 8. ON THE FINAL PLANS SUBMITTAL, THE APPLICANT SHALL SUBMIT A DETAIL OF THE REQUIRED EMERGENCY SITE MARKER OR PLAQUE, SHOWING CONFORMANCE WITH ZONING ORDINANCE REQUIREMENTS. THE SITE PLAN AND ELEVATIONS SHALL CLEARLY IDENTIFY THE LOCATION OF THE MARKER / PLAQUE AND IT SHALL LIST THE SERVICE PROVIDER NAME AND EMERGENCY CONTACT NUMBER.
 9. WITH THE FINAL PLANS SUBMITTAL, THE DEVELOPER SHALL SUBMIT A COMPLETED ANTENNA SITE RIGHT-OF-WAY LICENSE AGREEMENT (ARLA) DOCUMENT THAT HAS BEEN APPROVED BY THE CITY'S TELECOMMUNICATIONS POLICY COORDINATOR. ACCOMPANYING THE ARLA SHALL BE A CURRENT CERTIFICATE OF INSURANCE.
 10. PRIOR TO CONSTRUCTION, THE APPLICANT SHALL OBTAIN PERMISSION TO WORK IN THE RIGHT-OF-WAY (ENCROACHMENT PERMIT) FROM THE CITY OF SCOTTSDALE. SUBMITTAL FOR THIS PERMIT SHALL INCLUDE A BARRICADE AND TRAFFIC CONTROL PLAN.
 11. PRIOR TO ANY CONSTRUCTION, SCHEDULE A PRE-CONSTRUCTION MEETING WITH INSPECTION SERVICES BY CALLING 480-312-5750. THIS NOTE SHALL APPEAR ON THE COVER SHEET OF THE CONSTRUCTION DRAWINGS.
 12. PRIOR TO OR DURING THE ISSUANCE OF PERMITS, THE APPLICANT SHALL PAY THE FIRST YEAR RENT FOR THE ANTENNA SITE RIGHT-OF-WAY LICENSE AGREEMENT (ARLA) TO THE ONE STOP SHOP.

NOTE: SCHEDULE A PRE-CONSTRUCTION MEETING WITH INSPECTION SERVICES BY CALLING 480-312-5796 OR 480-312-5750 OR SCHEDULE ON-LINE AT [HTTPS://ESERVICES.SCOTTSDALEAZ.GOV/BLDGRESOURCES](https://eservices.scottsdaleaz.gov/BLDGRESOURCES)

PER STIP #11 332-SA-2017

NOTE: BARRICADE AND TRAFFIC CONTROL PLAN SHALL BE APPROVED BY INSPECTION SERVICES.

GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION

1. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
2. THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
3. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR RE-APPROVAL.
4. A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
5. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
6. ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
7. ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.

CONSTRUCTION NOTES

1. REFER TO CITY OF SCOTTSDALE WATER SEPARATION DETAIL 2372.
2. REFER TO CITY OF SCOTTSDALE SEWER SEPARATION DETAIL 2401.
3. REFER TO CITY OF SCOTTSDALE PAVEMENT REPLACEMENT DETAIL 2200.
4. REFER TO CITY OF SCOTTSDALE TRENCH BACKFILL DETAIL 2201.

Contact Arizona 811 at least two full working days before you begin excavation



Call 811 or click Arizona811.com

VERIZON WIRELESS SITE ID:
PHO_SHADOWS 1_SC (706383)
LIGHT POLE NUMBER:
#75514

JURISDICTIONAL PERMIT NUMBER:

METER & POLE ADDRESS:
4940 N. SCOTTSDALE ROAD

PROJECT SYMBOL LEGEND

	LEASE LINE
	PROPERTY LINE
	CHAIN LINK FENCE LINE
	BLOCK WALL
	ELEVATION DATUM A.F.F.
	UNDERGROUND ELECTRICAL
	OVERHEAD ELECTRICAL
	FIBER OPTIC CONDUIT
	WATER LINE
	TELEPHONE CONDUIT
	UNDERGROUND GAS LINE
	NEW VERIZON WIRELESS FIBER VAULT
	NEW VERIZON WIRELESS ELECTRICAL METER
	EXISTING ELECTRICAL TRANSFORMER
	EXISTING ELECTRICAL J-BOX
	EXISTING FIRE HYDRANT
	REVISION
	NORTH ARROW
	DETAIL IDENTIFICATION
	STREET LIGHT

PROJECT DESCRIPTION & DATA

- SCOPE OF WORK:
- REMOVE EXISTING 25'-10" STREET LIGHT POLE & PARTIAL REMOVAL OF EXISTING FOUNDATION.
 - INSTALL NEW LIGHT POLE WITH FOUNDATION
 - INSTALL (1) NEW ANTENNA ON TOP OF POLE
 - INSTALL (2) NEW EQUIPMENT CANISTERS ON TOP OF POLE
 - INSTALL (3) NEW TECH. ANTENNAS ON NEW POLE.
 - INSTALL (1) NEW ELECTRICAL METER.
 - INSTALL NEW UNDERGROUND POWER & FIBER CONDUITS.

- PROJECT AREA:
- POLE / FOUNDATION AREA: 2.5' x 2.5' = 6.25 SQ. FT.
 - VAULT AREA: 2' x 3' = 6.00 SQ. FT. * (2)
 - TOTAL PROJECT AREA: 18.25 SQ. FT

- CUBIC FOOTAGE SUMMARY:
- VERIZON ANTENNA CANISTER CUBIC FOOTAGE SUMMARY: 3.49 CU. FT. (8" RADIUS' X 11 X 30" HIGH) / 1728 = 3.49 CU. FT.
 - VERIZON 5G ANTENNA BAY CUBIC FOOTAGE SUMMARY: 1.38 CU. FT. (7.9" WIDE X 5" DEEP X 20.2" HIGH) / 1728 = .46 CU. FT. * (3)

TOTAL ANTENNA VOLUME: 4.87 CU. FT.

- VERIZON EQUIPMENT CANISTER CUBIC FOOTAGE SUMMARY: 10.60 CU. FT. (9" RADIUS' X 11 X 36" HIGH) / 1728 = 5.30 CU. FT. * (2)

TOTAL EQUIPMENT VOLUME: 10.60 CU. FT.

PROJECT DATA

DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT WILL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

- APN: R.O.W.
- ZONING: N/A
- JURISDICTION: CITY OF SCOTTSDALE
- COUNTY: MARICOPA
- BUILDING CODES: 2015 IBC W/ LOCAL AMENDMENTS
2015 IMC W/ LOCAL AMENDMENTS
2015 IFC W/ LOCAL AMENDMENTS
2014 NEC W/ LOCAL AMENDMENTS

CLIENT

VERIZON WIRELESS
126 W. GEMINI DR.
TEMPE, AZ. 85283

REAL ESTATE MANAGER
CONTACT: JAMISON TYLER
PHONE: (602) 228-7830
EMAIL: JAMISON.TYLER@VERIZONWIRELESS.COM

CONSTRUCTION MANAGER
CONTACT: ARFI FAKHRUDDEN
PHONE: (602) 228-3687
EMAIL: FAKHRUDEN.ARFI@VERIZONWIRELESS.COM

REAL ESTATE ESCALATION CONTACT
CONTACT: NICK MAGNONE
PHONE: (602) 909-0787
EMAIL: NICK.MAGNONE@VERIZONWIRELESS.COM

CONSTRUCTION ESCALATION CONTACT
CONTACT: ADAM FINK
PHONE: (602) 320-0053
EMAIL: ADAM.FINK@VERIZONWIRELESS.COM

10.60 CU. FT.

10.60 CU. FT.

OWNER

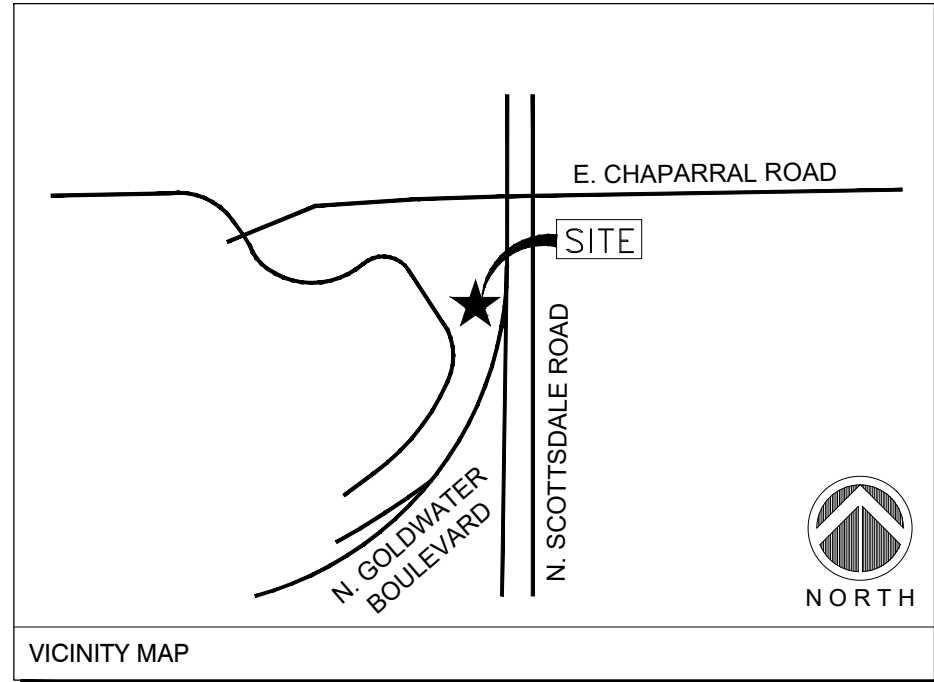
CITY OF SCOTTSDALE
7447 E. INDIAN SCHOOL RD, STE 205
SCOTTSDALE, AZ 85251
CONTACT: KEITH NIEDER
PHONE: (480) 312-2953

SITE PHOTO



SHEET INDEX

- T-1 PROJECT INFORMATION AND DATA
- LS-1 TOPOGRAPHICAL SURVEY
- A-1 OVERALL SITE PLAN
- A-1.1 ENLARGED EQUIPMENT PLAN
- A-2 ELEVATIONS



GENERAL NOTES

1. THIS WIRELESS TELECOMMUNICATIONS FACILITY WILL MEET THE HEALTH AND SAFETY STANDARDS FOR ELECTROMAGNETIC FIELD EMISSIONS AS ESTABLISHED BY THE FEDERAL COMMUNICATIONS COMMISSION OR ANY SUCCESSOR THEREOF, AND ANY OTHER FEDERAL OR STATE AGENCY.
2. THIS WIRELESS TELECOMMUNICATIONS FACILITY WILL MEET THE REGULATIONS OF THE FEDERAL COMMUNICATIONS COMMISSION REGARDING PHYSICAL AND ELECTROMAGNETIC INTERFERENCE.
3. LIGHTING OR SIGNS WILL BE PROVIDED ONLY AS REQUIRED BY FEDERAL OR STATE AGENCIES.
4. DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT WILL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
5. EXISTING PARKING IS NOT AFFECTED BY THIS PROJECT.

GEODETIC COORDINATES

- LATITUDE: 33° 30' 32.974" NORTH (NAD83) [33.509159°]
- LONGITUDE: 111° 55' 34.496" WEST (NAD83) [-111.926249°]
- GROUND ELEVATION: 1288.5' (NAVD88)

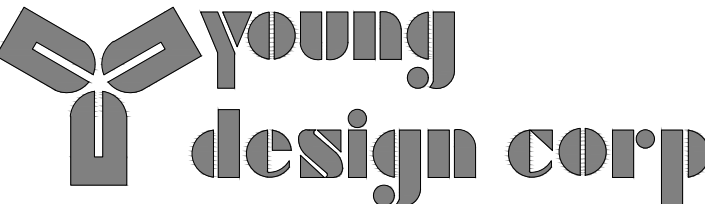
CLIENT

verizon

126 W. GEMINI DR.
TEMPE, AZ 85283

INTERNAL REVIEW	DATE
CONSTRUCTION SIGNATURE	
RF SIGNATURE	
FACILITIES SIGNATURE	
REAL ESTATE SIGNATURE	

PLANS PREPARED BY



architecture / project management
10245 E. Via Linda, Scottsdale, AZ 85258
ph: 480 451 9609 fax: 480 451 9608
e mail: corporate@ydcoffice.com

SEAL

This drawing is copyrighted and the property of Young Design Corporation (YDC) & produced solely by YDC and affiliates. reproduction or use of this drawing and/or the information contained hereon is forbidden without written permission by Young Design Corporation.

PRELIMINARY
FOR REVIEW
ONLY

PRELIMINARY UNLESS SIGNED

NO.	DATE	DESCRIPTION
1	12/10/2021	LEASE EXHIBIT
2	1/5/2022	FINAL CD's
3	2/2/2022	REVISED LE
4	2/15/22	REVISED FINAL CD's

ARCHITECTS JOB NO.

YDC-9251

PROJECT INFORMATION

PHO_SHADOWS 1_SC

5G SMALL CELL

4940 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85253

SHEET TITLE

**PROJECT INFORMATION
AND DATA**

JURISDICTION APPROVAL

SHEET NUMBER

T-1

SURVEYOR NOTES

- A TITLE REPORT WAS NOT PROVIDED AT THE TIME OF THE SURVEY.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN *NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)* ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 12B SEPARATIONS CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM *ARIZONA STATE PLANE COORDINATE ZONE CENTRAL*, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 11/30/21.

FLOOD ZONE DESIGNATION

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04013C1770M DATED 09/18/2020.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

LESSOR'S LEGAL DESCRIPTION

MARICOPA COUNTY, STATE OF ARIZONA, CITY OF SCOTTSDALE RIGHT-OF-WAY.

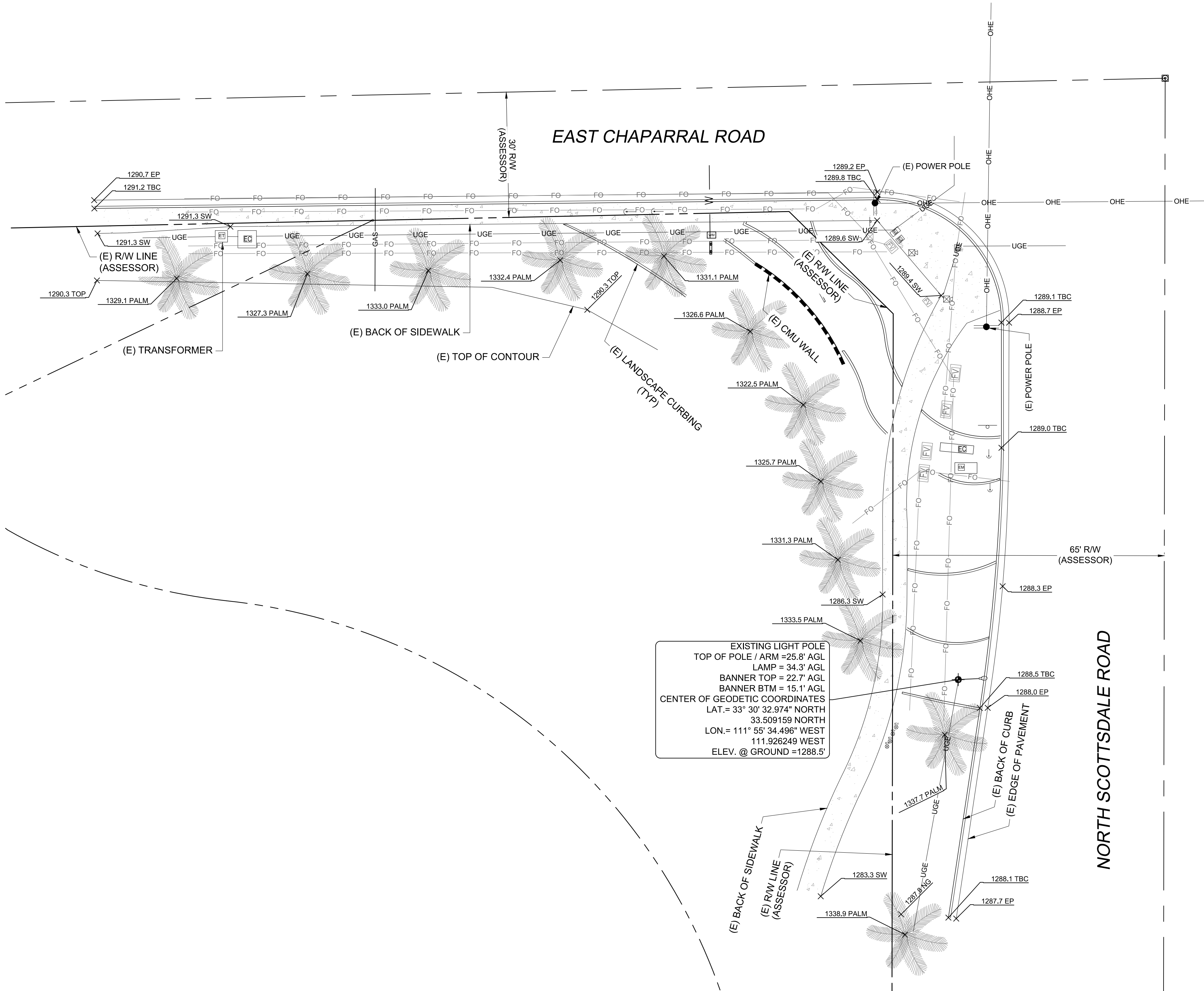
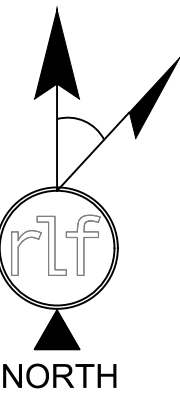
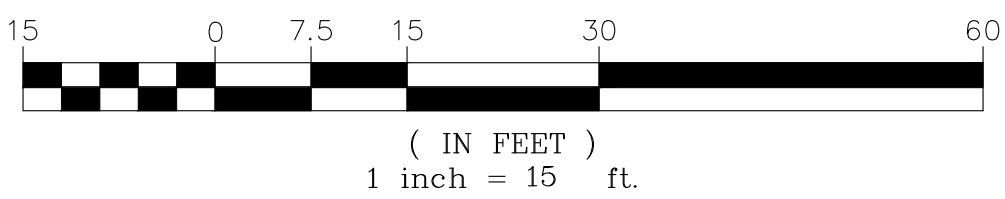


VICINITY MAP
N.T.S.

LEGEND

- BRASS CAP IN HANDHOLE
- ELECTRICAL PULL BOX
- ELECTRIC METER
- ELECTRICAL TRANSFORMER
- ELECTRIC CABINET
- FIBER VAULT
- TRAFFIC SIGNAL
- TELEPHONE PEDESTAL
- POWER POLE
- DOWN GUY
- STREET LIGHT W/ MAST ARM
- WATER METER
- BACKFLOW PREVENTER
- IRRIGATION CONTROL VALVE
- PALM TREE
- SIGN
- SPOT ELEVATION
- POSITION OF GEODETIC COORDINATES
- PROPERTY LINE (OTHER)
- RIGHT-OF-WAY LINE
- MONUMENT LINE
- OVERHEAD ELECTRIC LINE
- U/G ELECTRIC LINE
- U/G FIBER OPTIC LINE
- U/G GAS LINE
- WATER LINE

GRAPHIC SCALE



EXISTING LIGHT POLE
TOP OF POLE / ARM = 25.8' AGL
LAMP = 34.3' AGL
BANNER TOP = 22.7' AGL
BANNER BTM = 15.1' AGL
CENTER OF GEODETIC COORDINATES
LAT. = 33° 30' 32.974" NORTH
33.509159 NORTH
LON. = 111° 55' 34.496" WEST
111.926249 WEST
ELEV. @ GROUND = 1288.5'

verizon
126 W. GEMINI DR.
TEMPE, AZ 85283

**Young
design corp**

architecture / project management
10245 E. Via Linda, Scottsdale, AZ 85258
ph: 480 451 9609 fax: 480 451 9608
e mail: corp@ydcoffice.com

FIELD BY:	JMM
DRAWN BY:	RDG
CHECKED BY:	RLF

REVISIONS

NO.	DATE	DESCRIPTION
0	12/08/21	PRELIMINARY



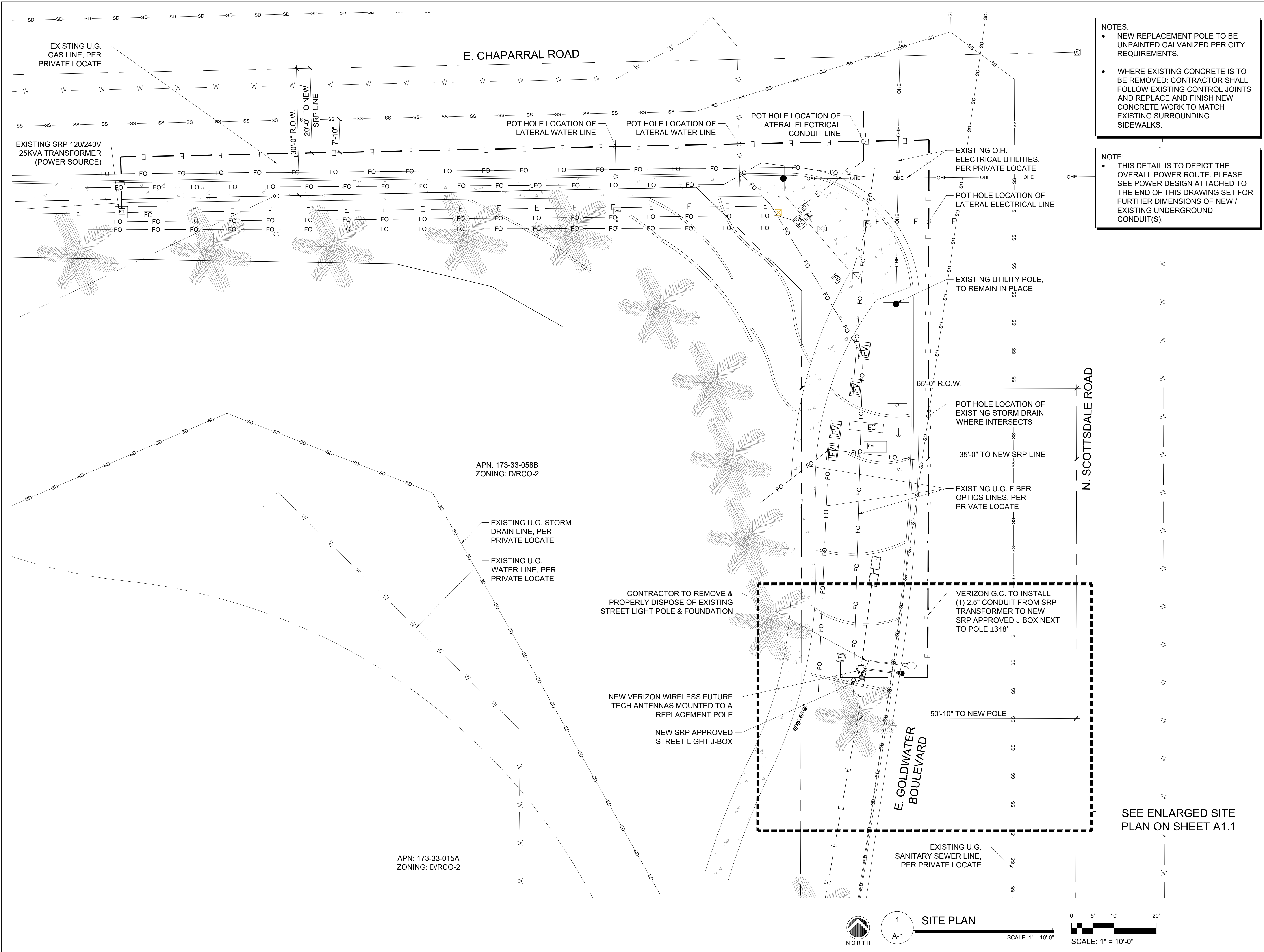
REUSE OF DOCUMENT
THE IDEAS & DESIGN INCORPORATED HEREON, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF RLF CONSULTING, LLC & IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF RLF CONSULTING, LLC.

PROJECT No.
090062028
SITE NAME:
PHO SHADOWS 1

SITE ADDRESS:
SCOTTSDALE RD & CHAPARRAL RD
SCOTTSDALE, AZ 85253

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO.
LS-1
REVISION:



- NOTES:
- NEW REPLACEMENT POLE TO BE UNPAINTED GALVANIZED PER CITY REQUIREMENTS.
 - WHERE EXISTING CONCRETE IS TO BE REMOVED: CONTRACTOR SHALL FOLLOW EXISTING CONTROL JOINTS AND REPLACE AND FINISH NEW CONCRETE WORK TO MATCH EXISTING SURROUNDING SIDEWALKS.
- NOTE:
- THIS DETAIL IS TO DEPICT THE OVERALL POWER ROUTE. PLEASE SEE POWER DESIGN ATTACHED TO THE END OF THIS DRAWING SET FOR FURTHER DIMENSIONS OF NEW / EXISTING UNDERGROUND CONDUIT(S).

CLIENT

126 W. GEMINI DR.
TEMPE, AZ 85283

INTERNAL REVIEW

DATE

CONSTRUCTION SIGNATURE

RF SIGNATURE

FACILITIES SIGNATURE

REAL ESTATE SIGNATURE

PLANS PREPARED BY

architecture / project management
10245 E. Via Linda, Scottsdale, AZ 85258
ph: 480 451 9609 fax: 480 451 9608
e mail: corporate@ydcoffice.com

SEAL

This drawing is copyrighted and the property of Young Design Corporation (YDC) & produced solely by YDC and affiliates. reproduction or use of this drawing and/or the information contained hereon is forbidden without written permission by Young Design Corporation.

PRELIMINARY FOR REVIEW ONLY

PRELIMINARY UNLESS SIGNED

NO.	DATE	DESCRIPTION
1	12/10/2021	LEASE EXHIBIT
2	1/5/2022	FINAL CD's
3	2/2/2022	REVISED LE
4	2/15/22	REVISED FINAL CD's

ARCHITECTS JOB NO.

YDC-9251

PROJECT INFORMATION

PHO_SHADOWS 1_SC

5G SMALL CELL

4940 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85253

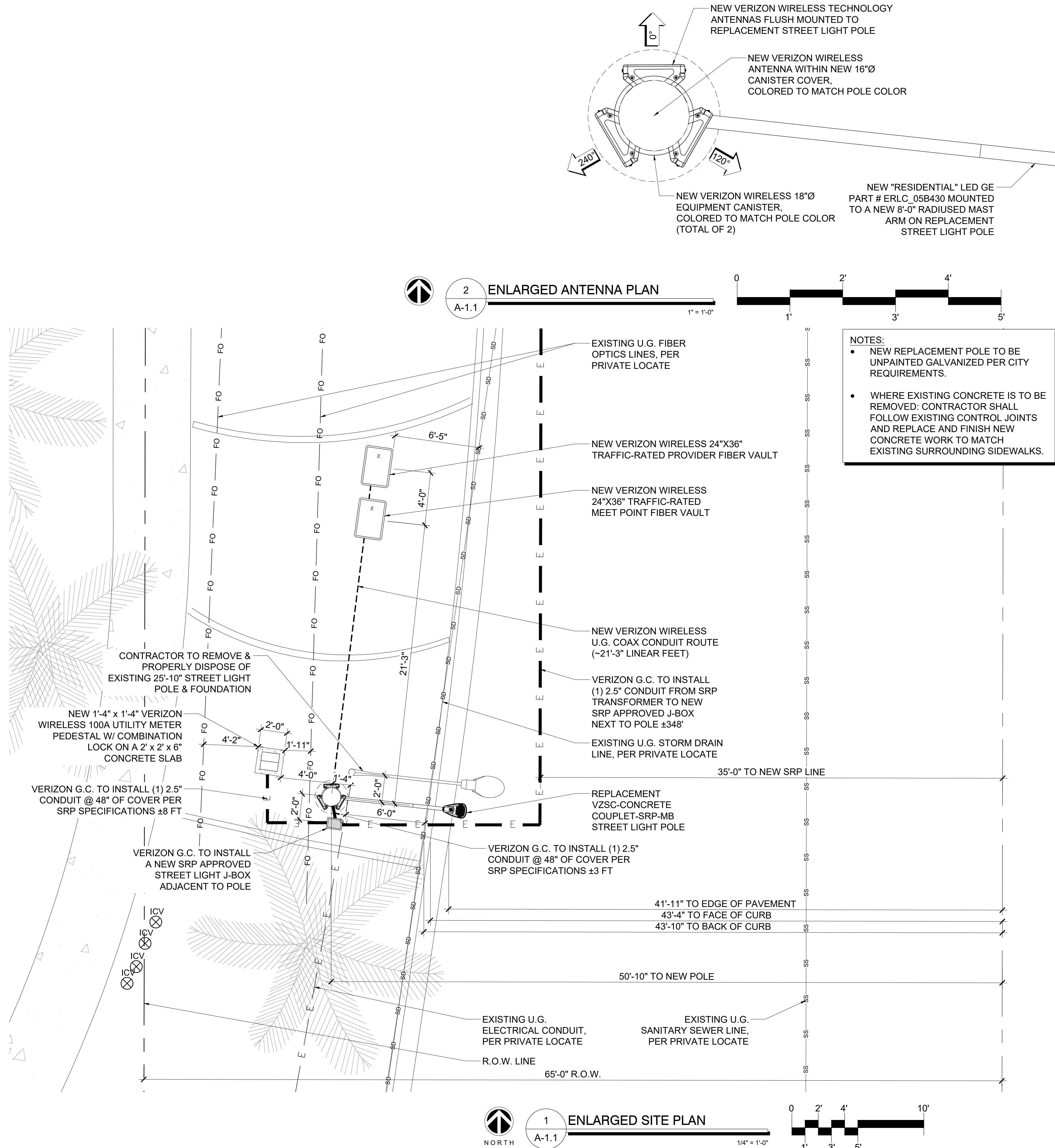
SHEET TITLE

SITE PLAN

JURISDICTION APPROVAL

SHEET NUMBER

A-1



CLIENT

verizon
126 W. GEMINI DR.
TEMPE, AZ 85283

INTERNAL REVIEW	DATE
CONSTRUCTION SIGNATURE	
RF SIGNATURE	
FACILITIES SIGNATURE	
REAL ESTATE SIGNATURE	

PLANS PREPARED BY
young design corp
architecture / project management
10245 E. Via Linda, Scottsdale, AZ 85258
ph: 480 451 9609 fax: 480 451 9608
e mail: corporate@ydcoffice.com

SEAL
This drawing is copyrighted and the property of Young Design Corporation (YDC) & produced solely by YDC and affiliates. reproduction or use of this drawing and/or the information contained hereon is forbidden without written permission by Young Design Corporation.

PRELIMINARY
FOR REVIEW
ONLY

PRELIMINARY UNLESS SIGNED		
NO.	DATE	DESCRIPTION
1	12/10/2021	LEASE EXHIBIT
2	1/5/2022	FINAL CD's
3	2/2/2022	REVISED LE
4	2/15/22	REVISED FINAL CD's

ARCHITECTS JOB NO.
YDC-9251

PROJECT INFORMATION
PHO_SHADOWS 1_SC
5G SMALL CELL
4940 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85253

SHEET TITLE
**ENLARGED EQUIPMENT
PLAN AND DETAILS**

JURISDICTION APPROVAL

SHEET NUMBER
A-1.1

- NOTES:
- LUMINAIRE FIXTURES
1. ALL REPLACEMENT POLES SHALL HAVE THE CITY STANDARD LIGHT-EMITTING DIODE (LED) LIGHT FIXTURE INSTALLED, UNLESS STAFF DIRECTS OTHERWISE THAT THE EXISTING LUMINAIRE CAN BE REUSED.
 2. ALL REPLACEMENT LIGHT FIXTURES SHALL HAVE A NEW CITY STANDARD PHOTO-CELL OR SENSOR PROVIDED BY THE WIRELESS PROVIDER.

PAINTING ANTENNAS AND MOUNTING EQUIPMENT

1. ALL ANTENNA MOUNTING BRACKETS AND HARDWARE, ANTENNA MOUNTING POSTS, CABLES, SHROUDS AND OTHER EQUIPMENT MOUNTED ON A NEW OR REPLACEMENT UNPAINTED GALVANIZED POLE SHALL BE PAINTED A 2X PRIMER SATIN GRANITE COLOR OR EQUIVALENT UNLESS SPECIFIED OTHERWISE BY THE CITY.
2. ALL ANTENNA MOUNTING BRACKETS AND HARDWARE, ANTENNA MOUNTING POSTS, CABLES, SHROUDS AND OTHER EQUIPMENT MOUNTED ON A PAINTED, NEW, OR REPLACEMENT POLE SHALL BE PAINTED A COLOR SPECIFIED BY THE CITY.
3. WIRELESS PROVIDER SHALL INSTALL POLE NUMBERS ON EACH REPLACEMENT POLE (TO MATCH THE NUMBER ON THE EXISTING STREETLIGHT POLE BEING REPLACED).

WIRELESS FACILITY IDENTIFICATION INFORMATION

1. A FOUR (4) INCH BY SIX (6) INCH RADIO FREQUENCY SAFETY NOTICE MAY BE MOUNTED NO LESS THAN TWENTY-FOUR (24) INCHES FROM THE BOTTOM OF THE ANTENNA, FACING AWAY FROM TRAFFIC.
2. NO WIRELESS PROVIDER SIGNS MAY BE PLACED ON A STREETLIGHT, TRAFFIC SIGNAL POLE, WIRELESS SUPPORT STRUCTURE, OR A NEW OR REPLACEMENT POLE EXCEPT TO THE EXTENT REQUIRED BY LOCAL, STATE OR FEDERAL LAW OR REGULATIONS.

REMOVAL OF ORIGINAL POLE, EQUIPMENT AND POLE FOUNDATION

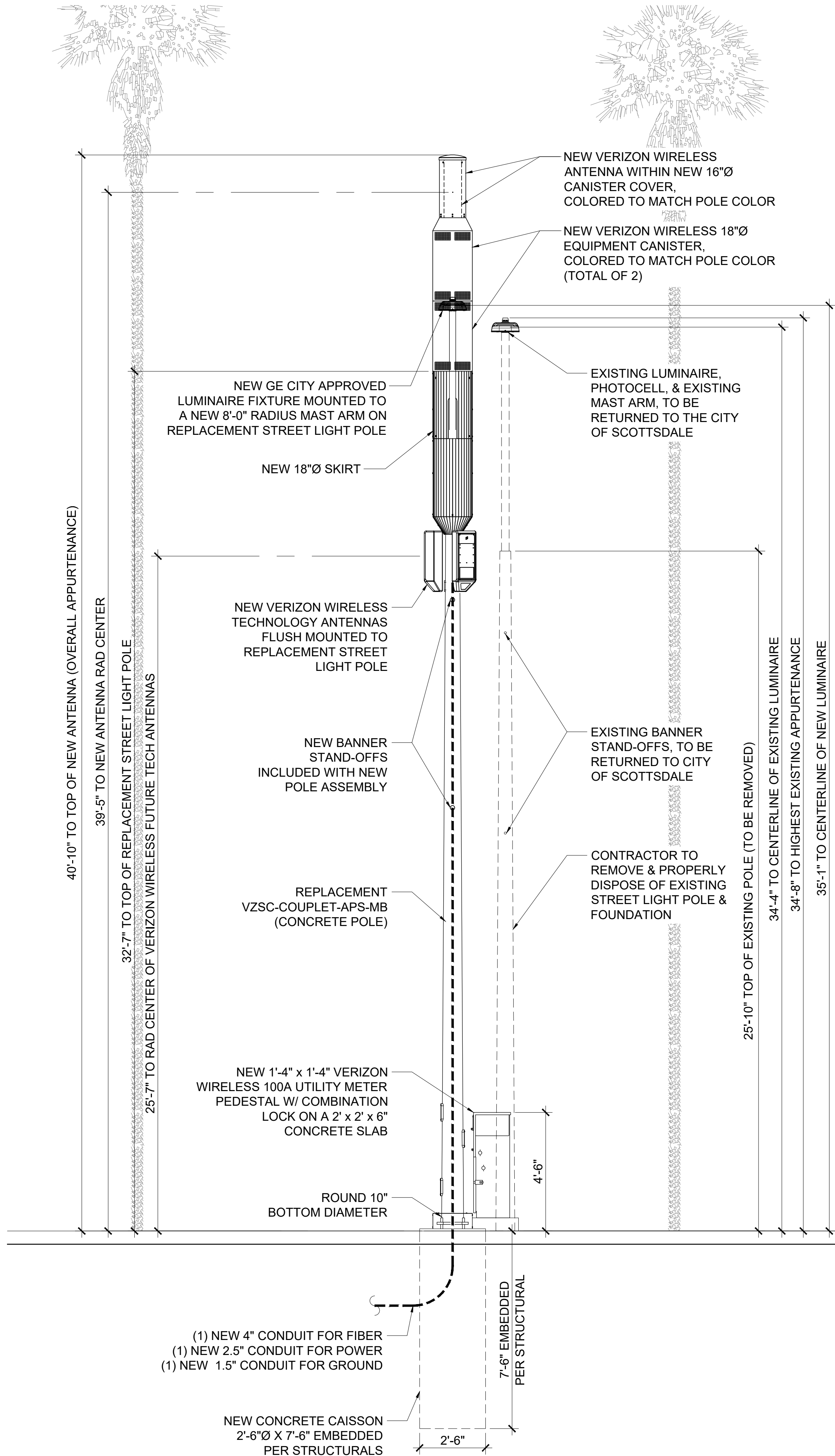
1. REMOVAL OF ORIGINAL SIGNAL POLE, MAST ARM, SIGNAL HEADS, AND LUMINAIRE
 - a. THE CITY SHALL DETERMINE WHAT ORIGINAL COMPONENTS (E.G., ORIGINAL POLE, MAST ARM, SIGNAL HEADS AND LUMINAIRE, ETC.) SHALL BE DELIVERED AT NO COST TO THE CITY, TO THE CITY'S STREET TRANSPORTATION OPERATIONS YARD BY THE WIRELESS PROVIDER.
 - b. IF THE CITY ACCEPTS SOME OF THE ORIGINAL COMPONENTS, THEN ONLY THOSE COMPONENTS SHALL BE DELIVERED BY THE WIRELESS PROVIDER TO THE CITY' STREET TRANSPORTATION OPERATIONS YARD AND THE REMAINING COMPONENTS SHALL BE DISCARDED BY THE WIRELESS PROVIDER.
2. REMOVAL OF ORIGINAL STREETLIGHT OR TRAFFIC SIGNAL POLE FOUNDATION
THE CONCRETE POLE FOUNDATION FOR THE ORIGINAL STREETLIGHT OR TRAFFIC SIGNAL POLE SHALL BE REMOVED BY THE WIRELESS PROVIDER AS INSTRUCTED BY THE CITY:
 - a. PARTIAL REMOVAL
THE ORIGINAL POLE FOUNDATION SHALL BE TAKEN BACK TO A LEVEL THAT IS TWELVE (12) INCHES BELOW EXISTING GRADE AND COVERED WITH FOUR (4) INCHES OF ONE-HALF (1/2") INCH TO THREE (3/4") QUARTER INCH ROCK MATERIALS. THE REMAINING EIGHT (8) INCHES SHALL BE NATIVE SOIL.

ANTENNA MOUNTING POSTS AND BRACKETS

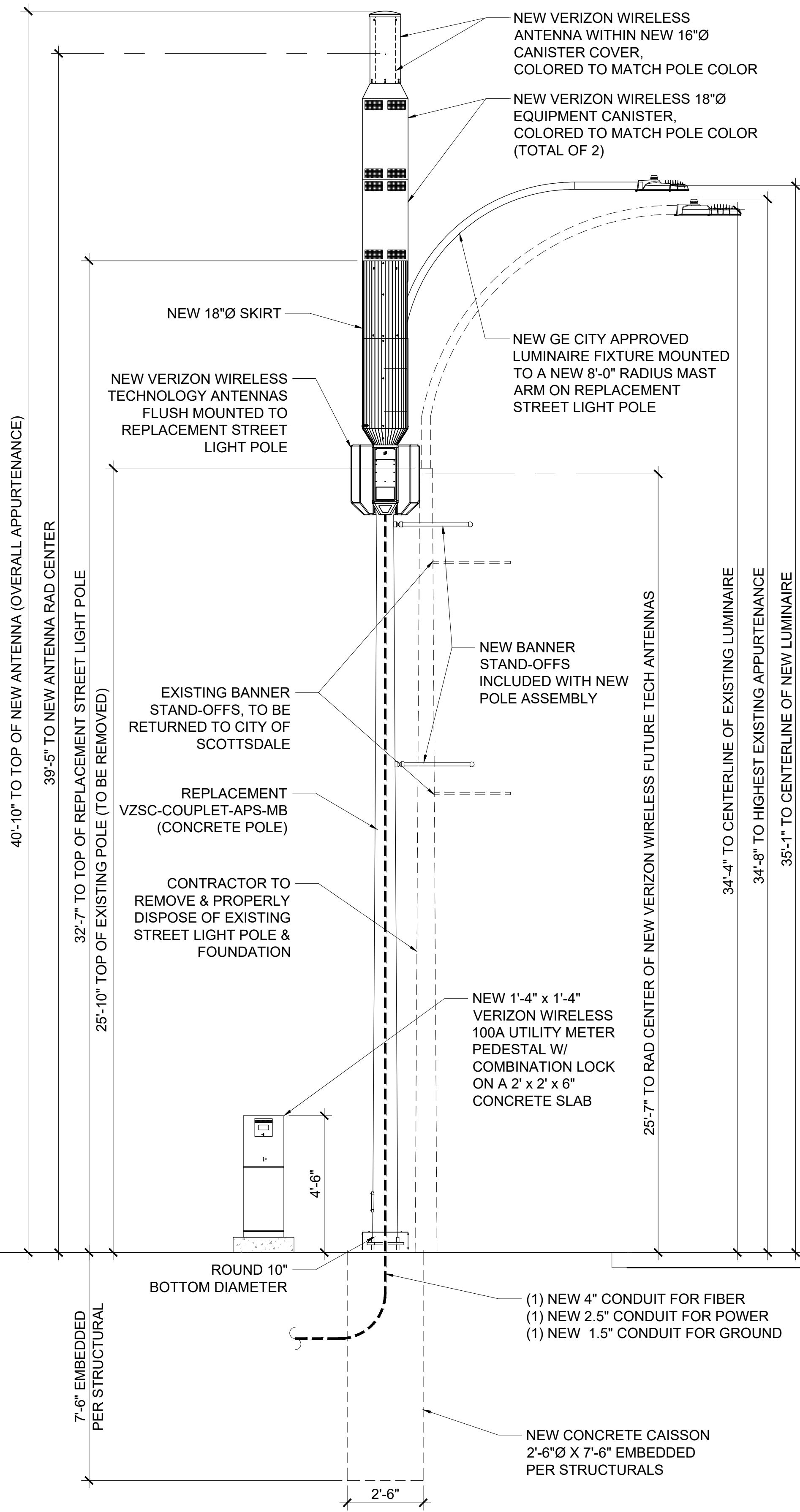
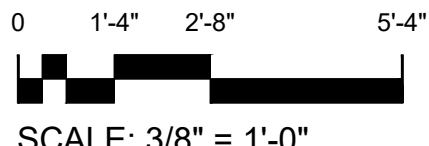
1. ALL PANEL ANTENNAS SHALL BE SNUG MOUNTED DIRECTLY TO THE POLE OR ONTO A MOUNTING POLE SO THAT THE DISTANCE FROM THE "FACE" OF THE STREETLIGHT POLE TO THE BACK OF THE ANTENNA DOES NOT EXCEED EIGHT (8) INCHES.
2. ALL POLE ATTACHED WIRELESS EQUIPMENT MUST BE A MINIMUM OF TEN (10) FEET ABOVE THE SIDEWALK ELEVATION TO THE BOTTOM OF THE EQUIPMENT.

NOTES:

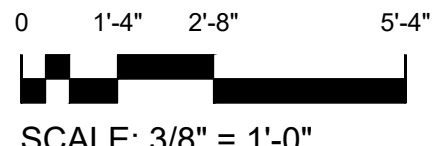
- NEW REPLACEMENT POLE TO BE UNPAINTED CONCRETE PER CITY REQUIREMENTS.
- WHERE EXISTING CONCRETE IS TO BE REMOVED: CONTRACTOR SHALL FOLLOW EXISTING CONTROL JOINTS AND REPLACE AND FINISH NEW CONCRETE WORK TO MATCH EXISTING SURROUNDING SIDEWALKS.



2 EAST ELEVATION
A-2
SCALE: 3/8" = 1'-0"



1 SOUTH ELEVATION
A-2
SCALE: 3/8" = 1'-0"



CLIENT

verizon
126 W. GEMINI DR.
TEMPE, AZ 85283

INTERNAL REVIEW	DATE
CONSTRUCTION SIGNATURE	
RF SIGNATURE	
FACILITIES SIGNATURE	
REAL ESTATE SIGNATURE	

PLANS PREPARED BY

young design corp

architecture / project management
10245 E. Via Linda, Scottsdale, AZ 85258
ph: 480 451 9609 fax: 480 451 9608
e mail: corporate@ydcoffice.com

SEAL

This drawing is copyrighted and the property of Young Design Corporation (YDC) & produced solely by YDC and affiliates. reproduction or use of this drawing and/or the information contained hereon is forbidden without written permission by Young Design Corporation.

PRELIMINARY
FOR REVIEW
ONLY

PRELIMINARY UNLESS SIGNED

NO.	DATE	DESCRIPTION
1	12/10/2021	LEASE EXHIBIT
2	1/5/2022	FINAL CD's
3	2/2/2022	REVISED LE
4	2/15/22	REVISED FINAL CD's

ARCHITECTS JOB NO.

YDC-9251

PROJECT INFORMATION

PHO_SHADOWS 1_SC
5G SMALL CELL
4940 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85253

SHEET TITLE

ELEVATIONS

JURISDICTION APPROVAL

SHEET NUMBER

A-2