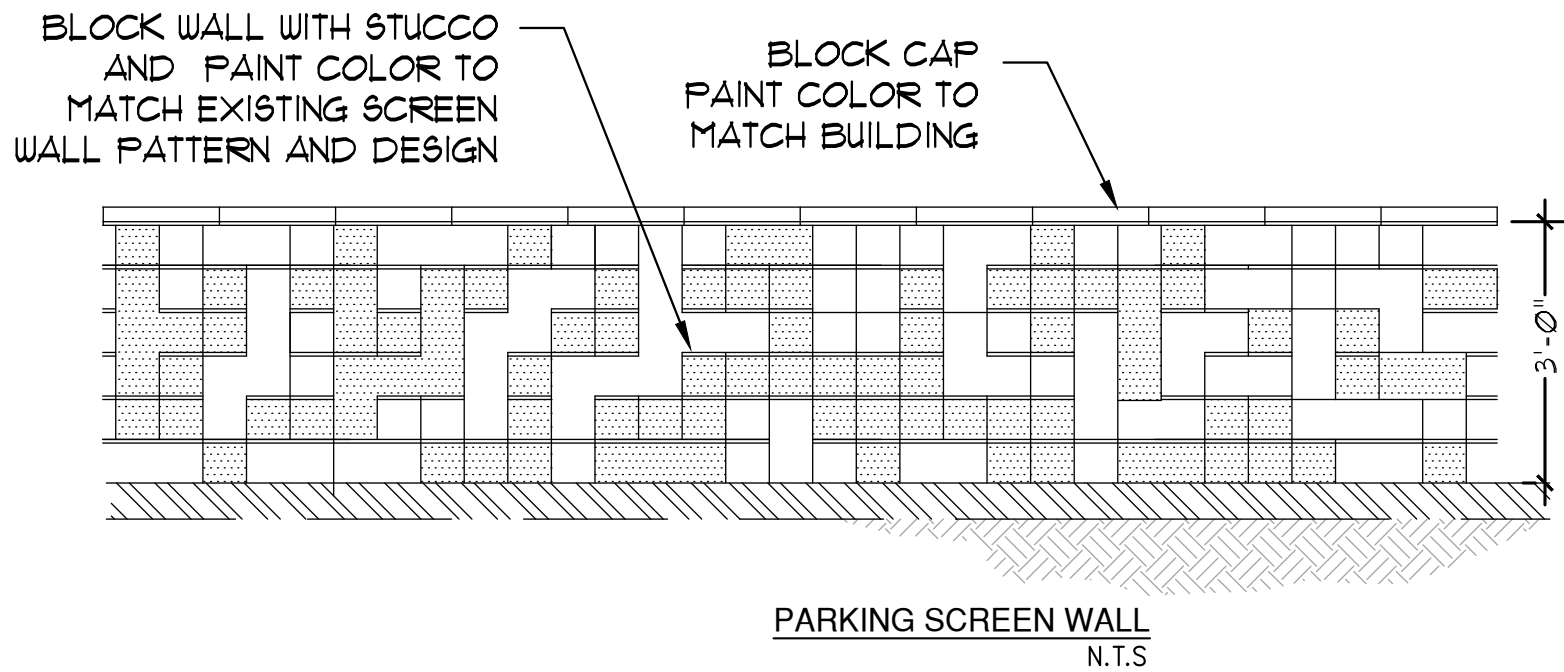


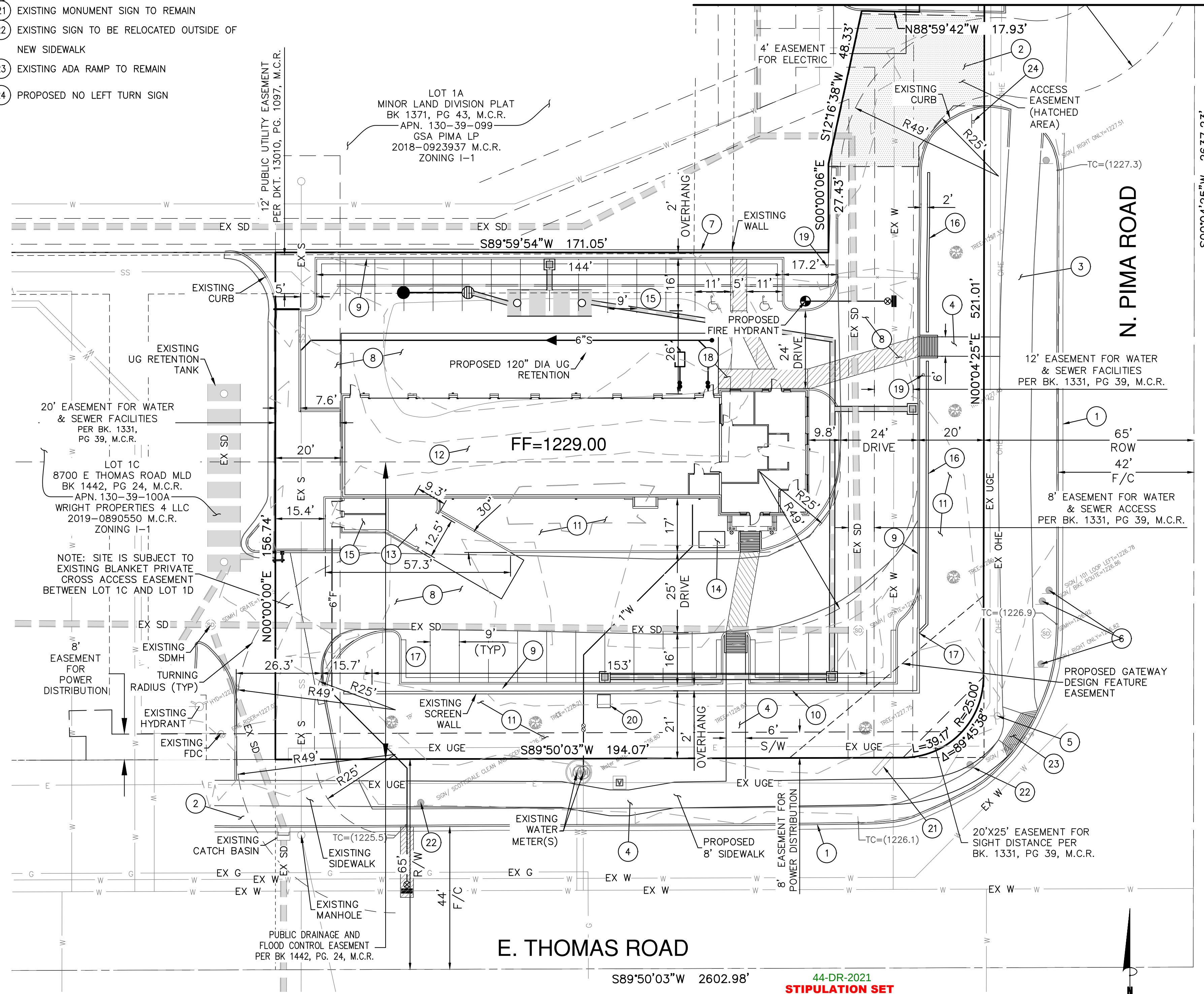
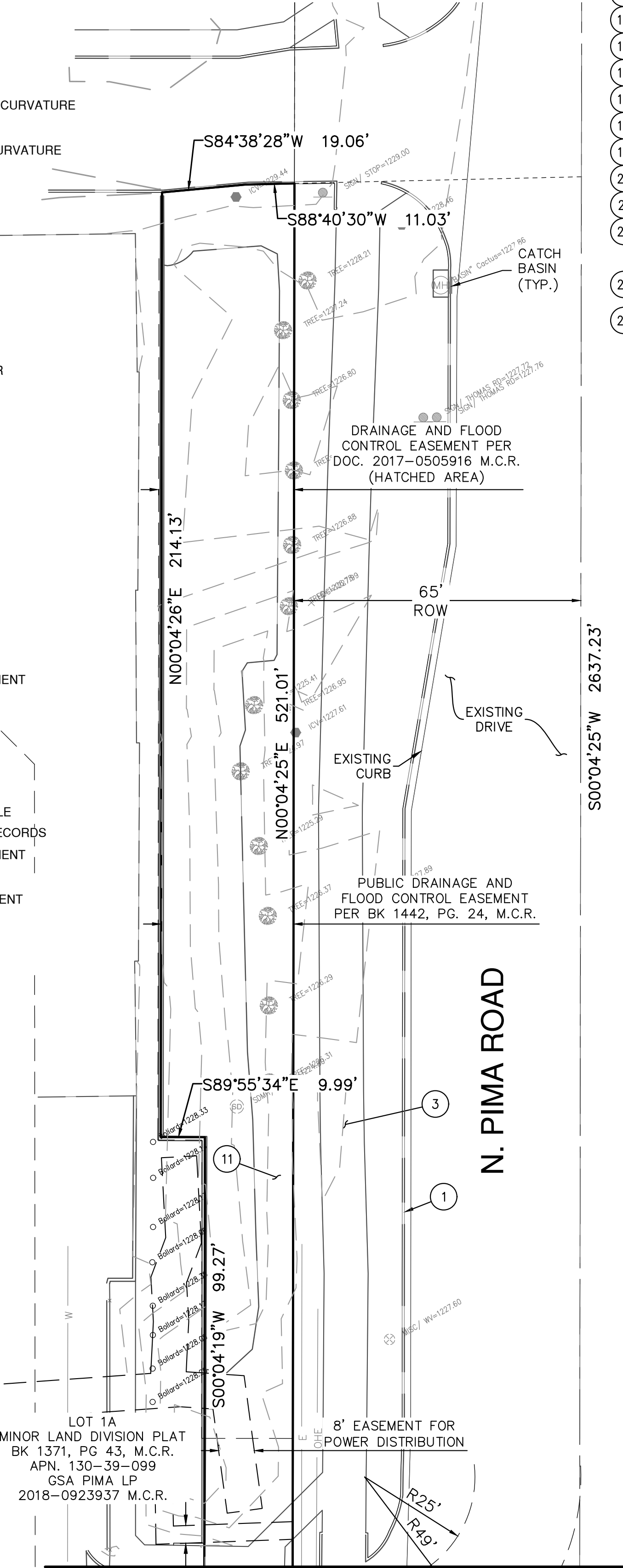
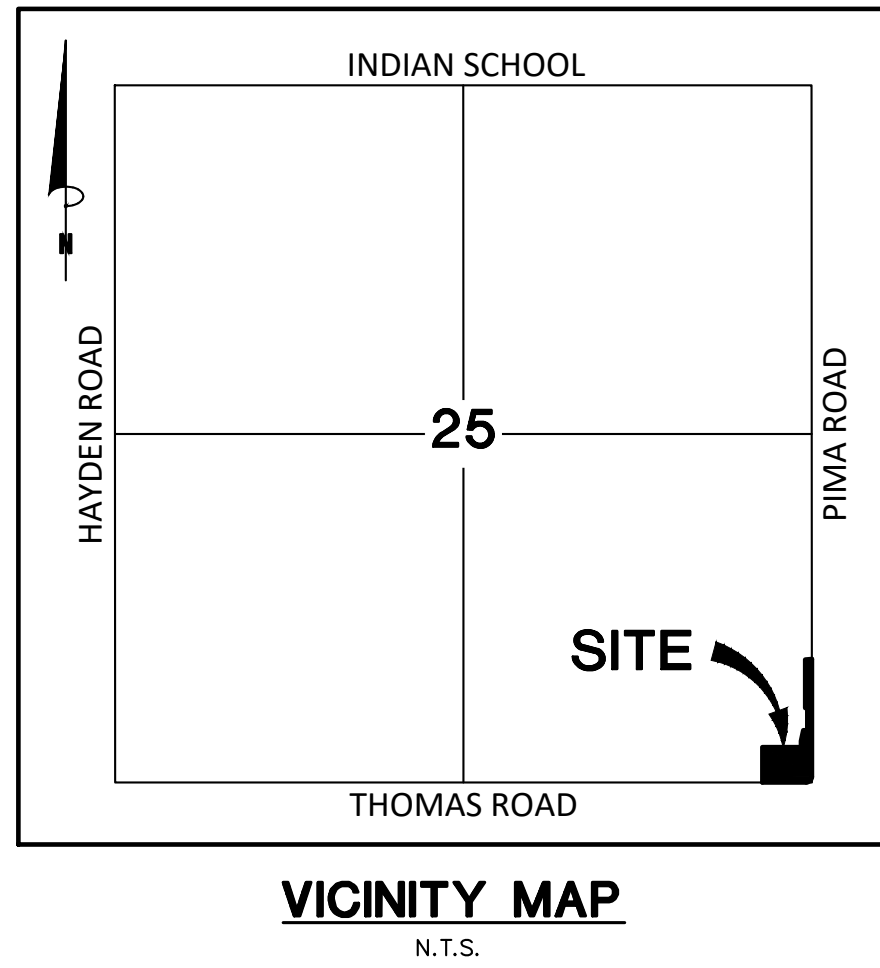
LEGEND

	BUILDING LINE	R	RIGHT
	BOUNDARY LINE	L	LEFT
	LOT LINE	PC	POINT OF CURVATURE
	SURVEY MARKER	PCC	POINT OF COMPOUND CURVATURE
	CENTER LINE	PL	PROPERTY LINE
	EASEMENT	PRC	POINT OF REVERSE CURVATURE
	RIGHT-OF-WAY	PT	POINT OF TANGENCY
	EXISTING CONTOUR	GB	GRADE BREAK
	SECTION LINE	STA=	STATION
	PROPOSED CONTOUR	INV	INVERT ELEVATION
	FOUND MONUMENT AS NOTED	VG	VALLEY GUTTER
	FOUND BRASS CAP IN HANDHOLE	FL	FLOW LINE
	ELECTRIC CABINET	TC	TOP OF CURB
	EXISTING LIGHT POLE	TL	TRUE LENGTH
	EXISTING TELCO RISER	P	PAVEMENT
	EXISTING WATER VALVE	C1	CURVE TABLE NUMBER
	EXISTING BACKFLOW PREVENTER	L1	LINE TABLE NUMBER
	EXISTING WATER METER	LF	LINEAR FEET
	EXISTING FIRE HYDRANT	SF	SQUARE FEET
	EXISTING SANITARY SEWER MANHOLE	SY	SQUARE YARDS
	EXISTING CATCH BASIN	CY	CUBIC YARDS
	EXISTING DRYWELL/INTERCEPTOR	EA	EACH
	EXISTING SIGN	EX	EXISTING
	EXISTING BOLLARD	R/W	RIGHT-OF-WAY
	RETAINING WALL	CL	CENTER LINE
	WATER LINE	B/C	BACK OF CURB
	FIRE HYDRANT	S/W	SIDEWALK
	WATER VALVE	C&G	CURB & GUTTER
	AIR RELEASE VALVE	EOP	EDGE OF PAVEMENT
	WATER METER BOX	PUE	PUBLIC UTILITY EASEMENT
	REDUCER	SC	SCUPPER
	SEWER LINE	CB	CATCH BASIN
	SEWER MANHOLE	W=	WIDTH
	FLOW DIRECTION	MH#	SEWER MANHOLE
	GRADE BREAK	SD	STORM DRAIN
	STREET SIGN POST	SD MH	STORM DRAIN MANHOLE
	DRYWELL	M.C.R.	MARICOPA COUNTY RECORDS
	STORM DRAIN	PUE	PUBLIC UTILITY EASEMENT
	EXISTING GAS MANHOLE	R/W	RIGHT-OF-WAY
	EXISTING SANITARY SEWER MANHOLE	WME	WATER METER EASEMENT
	EXISTING ELECTRICAL PULL BOX		
	EXISTING TELEPHONE PEDESTAL		
	EXISTING GUY WIRE		
	EXISTING POWER POLE		
	EXISTING WATER		
	EXISTING SEWER		
	EXISTING GAS		
	EXISTING OVERHEAD UTILITY LINES		



- KEY NOTES
- EXISTING CUBR AND GUTTER TO REMAIN
 - EXISTING DRIVEWAY TO REMAIN
 - EXISTING SIDEWALK TO REMAIN
 - PROPOSED CONCRETE SIDEWALK
 - EXISTING ELECTRIC POLE TO REMAIN
 - EXISTING SIGN TO REMAIN
 - EXISTING WALL TO REMAIN
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CURB
 - EXISTING SCREEN WALL TO REMAIN
 - LANDSCAPE AREA
 - PROPOSED BUILDING
 - PROPOSED REFUSE ENCLOSURE
 - PROPOSED BICYCLE PARKING PAD
 - FIRE RISER ROOM
 - PROPOSED SCREEN WALL - SEE DETAIL THIS SHEET
 - CONNECT TO EXISTING SCREEN WALL
 - 6' WIDE STRIPED PEDESTRIAN ZONE
 - PROPOSED PEDESTRIAN CROSSING SIGN
 - PROPOSED TRANSFORMER LOCATION
 - EXISTING MONUMENT SIGN TO REMAIN
 - EXISTING SIGN TO BE RELOCATED OUTSIDE OF NEW SIDEWALK
 - EXISTING ADA RAMP TO REMAIN
 - PROPOSED NO LEFT TURN SIGN

PROJECT:	CHRISTIAN BROTHERS AUTOMOTIVE
ADDRESS:	8700 EAST THOMAS ROAD
DEVELOPER:	CHRISTIAN BROTHERS AUTOMOTIVE CORPORATION
	17725 KATY FREEWAY, SUITE 200
	HOUSTON, TX 77094
	CONTACT - JONATHAN WAKEFIELD
	PHONE 281-675-6120
SCOPE:	CONSTRUCTION OF A NEW 4915 SF LIGHT AUTOMOTIVE REPAIR FACILITY
LEGAL DESCRIPTION:	LOT 1D OF MINOR LAND DIVISION PLAT 8700 EAST THOMAS ROAD AS RECORDED IN BOOK 1442 PAGE 24 MCR
ASSESSOR PARCEL NO.	130-39-100B
MAXIMUM BUILDING HEIGHT:	24'-10"
OCCUPANCY:	23
CONSTRUCTION:	TYPE V-B
REQUIRED F.A.R.	MAX ALLOWED 0.8x45,928 SF = 36,742 SF
PROVIDED F.A.R.	4915 SF / 45,928 SF = 0.11
BUILDING AREA:	4915 SF
EXISTING ZONING:	C-2
SITE AREA:	1.05 ACRES (45,928 SF)
LANDSCAPE AREA:	14,385 SF
LANDSCAPE COVERAGE:	31.3%
PARKING REQUIRED:	1/250 SF = 19.7
PARKING PROVIDED:	33



Bowman
CONSULTING

Bowman Consulting Group, Ltd.
1285 West Washington, Ste 108
Tempe, Arizona 85281
Phone: (480) 629-8830
www.bowmanconsulting.com
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SITE PLAN
CHRISTIAN BROTHERS AUTOMOTIVE
SCOTTSDALE
MARICOPA COUNTY
SCOTTSDALE, AZ.

PROJECT NUMBER	
DATE	DESCRIPTION
JMB	JMB JSR
DESIGN	DRAWN CHKD
SCALE	H: 1"=20'
	V: NONE
JOB No.	050840-01-001
DATE :	1/19/2022
SP01	
SHEET	1 OF 1