



Development Review (Minor) Staff Approval

22-SA-2022

Bro Office Tenant
Improvement

APPLICATION INFORMATION

LOCATION:	14644 N 74th St	APPLICANT:	Jeffrey Winter
PARCEL:	215-56-043B	COMPANY:	Escencia
Q.S.:	34-45	ADDRESS:	1743 E. Mcnair Dr., Suite 200 Tempe, AZ 85283
ZONING:	I-1	PHONE:	(480) 755-0959

Request: Request to replace existing stairwell with elevator and add new mechanical unit to roof.

STIPULATIONS

1. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Escencia, with a city staff date of 1/26/2022.
2. The location and configuration of all site improvements shall be consistent with the site plan submitted by Escencia, with a city staff date of 1/26/2022.

CONSTRUCTION DOCUMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

Submit one copy of this approval letter along with the following plan set(s) using the e-Services Planning Online Center for review:

Digital Plan submittals can be made using the City's e-Services at <https://eservices.scottsdaleaz.gov/bldgresources/plans> and should include one PDF copy of each of the required plans/documents identified below.

ARCHITECTURAL: ☒ Commercial Architectural Plans

PERMIT APPLICATION: ☒ **Completed Permit Application**

The permit application may be filled-out and submitted online at:

<https://eservices.scottsdaleaz.gov/bldgresources/plans>

Expiration of Development Review (Minor) Approval

This approval expires two (2) years from date of approval if a permit has not been issued, or if no permit is required, work for which approval has been granted has not been completed.

Staff Signature: _____

Date: _____

1/26/2022

Desirae Mayo, 480-312-4218

Planning and Development Services

7447 East Indian School Road, Suite 105, Scottsdale, Arizona 85251 • www.ScottsdaleAZ.gov

GENERAL NOTES:

1. WE CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF THAT THE DESIGN OF THIS PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS OF THE REQUIREMENTS SECTIONS 34-401 TO 34-411 INCLUSIVELY, TO THE STATUTES OF THE STATE OF ARIZONA (ARCHITECTURAL BARRIERS TO THE HANDICAPPED).
2. THE INTENT OF THESE DOCUMENTS IS TO PROVIDE INFORMATION FOR THE CONSTRUCTION OF THIS PROJECT, COMPLETE AND FUNCTIONAL IN ALL RESPECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS RESULT. THE OMISSION OF EXPRESS REFERENCE TO WORK NECESSARY, REASONABLE AND OR INCIDENTAL FOR THE COMPLETE CONSTRUCTION OF THE PROJECT SHALL NOT BE CONSTRUED AS RELEASING THE CONTRACTOR FROM THEIR RESPONSIBILITIES.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, CLEARANCES AND CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. FAILURE TO DO SO, CONSTITUTES ACCEPTANCE AND RESPONSIBILITY FOR ALL EXISTING CONDITIONS. THE CONTRACTOR WILL NOT BE ALLOWED ADJUSTMENTS IN TIME OR MONEY REQUIRED TO RECTIFY THE SITUATION.
4. DO NOT SCALE DRAWINGS. GIVEN DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS.
5. ALL EQUIPMENT, MATERIALS AND ARTICLES INCORPORATED INTO THE PROJECT SHALL BE NEW AND UNDAMAGED. ALL WORKMANSHIP SHALL BE WITHIN INDUSTRY STANDARDS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF DAMAGE TO AREAS CAUSED BY THEIR WORK AT NO ADDITIONAL COSTS TO THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY CONDITIONS RELATING TO JOB CONDITIONS RELATING TO JOB CONSTRUCTION INCLUDING A SAFE ENVIRONMENT FOR OCCUPANTS OF AREAS ADJACENT TO THE WORK AREA.
8. THE CONTRACTOR SHALL COORDINATE ALL FEES AND PAYMENTS WITH THE OWNER AS NECESSARY FOR PROPER COMPLETION OF WORK, UNLESS OTHERWISE NOTED.
9. SHOULD THE CONTRACTOR OBSERVE ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, HE SHALL PROMPTLY NOTIFY THE ARCHITECT REQUESTING CLARIFICATION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK AFFECTED BY SUCH ERRORS, DISCREPANCIES OR OMISSIONS WITHOUT RECEIVING CLARIFICATION. ADJUSTMENTS INVOLVING SUCH CONDITIONS MADE BY THE CONTRACTOR WITHOUT PRIOR CLARIFICATION BY THE ARCHITECT, SHALL BE AT THE CONTRACTOR'S OWN RISK. COMPLICATIONS ARISING FROM PROCEEDING WITHOUT CLARIFICATION SHALL BE RESOLVED AT THE CONTRACTOR'S EXPENSE.
10. ALL WORK PERFORMED ON THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES.

DRAWING INDEX:

NO.	DESCRIPTION
A-01	COVER SHEET & SITE PLAN
A-02	OVERALL PLAN & EXITING PLAN
A-10	ELEVATOR FLOOR PLAN AND SECTIONS
A-11	BUILDING SECTIONS
A-12	DETAILS
A-20	ELEVATOR ADDITION
A-21	ELEVATOR ADDITION
A-22	ELEVATOR ADDITION
I OF I	KONE ELEVATOR - REFERENCE ONLY
S 0.1	GENERAL STRUCTURAL NOTES & KEY PLAN
S 1.0	FOUNDATION, LANDING FRAMING & ROOF FRAMING PLAN
S 1.1	FOUNDATION PLAN
S 1.2	2ND FLOOR FRAMING PLAN
S 2.0	BUILDING SECTIONS
S 3.0	FOUNDATION & FRAMING DETAILS
S 3.1	FRAMING DETAILS
S 3.2	FRAMING DETAILS
S 3.3	FRAMING DETAILS
M-1.0	MECHANICAL FLOOR PLANS
M-1.1	ENLARGED MECHANICAL FLOOR PLAN
M-1.2	ENLARGED MECHANICAL FLOOR PLAN
M-2.0	MECHANICAL NOTES, SCHEDULES AND DETAILS
P-1.0	PLUMBING FLOOR PLANS
P-1.1	ENLARGED PLUMBING FLOOR PLAN
P-1.2	ENLARGED PLUMBING FLOOR PLAN
P-2.0	PLUMBING SCHEMATICS PLUMBING NOTES SCHEDULES AND DETAILS
P-3.0	DETAILS
E-1.0	ELECTRICAL SYMBOLS, SCHEDULES & IECC CALCULATIONS
E-2.0	ELECTRICAL OVERALL POWER PLAN
E-2.1	ELECTRICAL ENLARGED PLANS
E-3.0	ELECTRICAL ONE-LINE DIAGRAM, PANEL SCHED., CALC.
E-4.0	ELECTRICAL SPECIFICATIONS

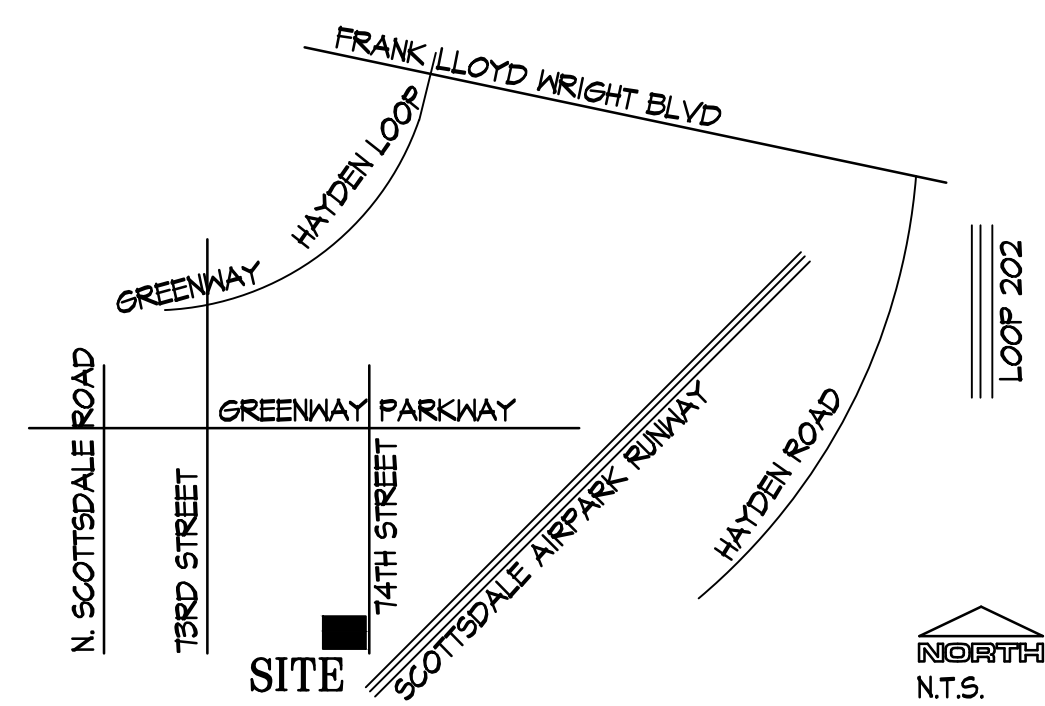
PROJECT TEAM

OWNER/REP:	BRO BROTHERS, LLC MR. KENT BRO 14644 N. 74TH STREET, SUITE 101 SCOTTSDALE, ARIZONA 85260 PHONE: 480-448-8586 FAX: 480-448-8586
ARCHITECT:	ESENCIA, L.L.C. JEFFREY WINTER, R.A. 1743 E. McNAIR DRIVE, #200 TEMPE, ARIZONA 85283 PHONE: (480) 755-0454
STRUCTURAL:	STARLINGS, MADISON, LOFQUIST, INC. TRES J. WARNER, PE 5224 SOUTH 34TH STREET PHOENIX, ARIZONA 85283 TEL: (602) 438-2500
ELECTRICAL:	SYSTEMS DESIGN ENGINEERING, INC. HAMID FARHADI, PE 325 E. SOUTHERN AVE., SUITE 118 TEMPE, AZ 85282 PHONE: (480) 466-1111 FAX: (480) 466-1212
GENERAL CONTRACTOR:	COCHISE CONTRACTORS, INC DAVE DEGROFF 333 N. BLACK CANYON ROAD PHOENIX, ARIZONA 85004 PHONE: (602) 212-0911 FAX: (602) 240-1580
BUILDING DEPARTMENT:	CITY OF SCOTTSDALE 1441 E. INDIAN SCHOOL ROAD SCOTTSDALE, ARIZONA 85281 PHONE: (480) 312-5000

PROJECT ANALYSIS

1. **PROJECT NAME:** BRO BROTHERS OFFICE BUILDING ELEVATOR
2. **PROJECT ADDRESS:** 14644 N. 74TH STREET
SCOTTSDALE, ARIZONA 85260
3. **PROJECT DATA:**
a. ZONING: I - 1 (NO CHANGE)
b. OCCUPANCY: B / S-1
c. OCCUPANCY: GENERAL OFFICE
d. OCCUPANCY: ONE AIRPLANE HANGER
e. CONSTRUCTION TYPE: III-B
f. FIRE SPRINKLERS: E.S.F.R. PER NFPA 13
4. **SITE AREA:**
a. SITE AREA: 33,546 S.F. (.7 ACRES)
5. **BUILDING HEIGHT:**
a. BUILDING HEIGHT: ± 40'-0" (EXISTING UN-CHANGED)
6. **BUILDING AREA:**
a. FIRST FLR. OFFICE: ± 5,201 S.F. (EXISTING UN-CHANGED)
b. FIRST FLR. STORAGE: ± 3,210 S.F.
c. 2ND. FLR. OFFICE: ± 3,224 S.F. (EXISTING UN-CHANGED)
d. 2ND. FLR. STORAGE (N): ± 1,131 S.F. (EXISTING UN-CHANGED)
e. 2ND. FLR. STORAGE (S): ± 2,746 S.F.
f. TOTAL SQ. FT.: ± 15,562 S.F. (EXISTING UN-CHANGED)
- g. AREA OF TOTAL IMPROVEMENT: ± 80 S.F. (EXTERIOR)
7. **OCCUPANT LOAD: (GENERAL)**
a. OFFICE AREA-1ST FLR. SOUTH: 2,535 S.F. /100 = 25 OCCUPANTS
b. OFFICE AREA-1ST FLR. NORTH: 2,408 S.F. /100 = 24 OCCUPANTS
c. OFFICE AREA-2ND FLR. SOUTH: 3,232 S.F. /100 = 32 OCCUPANTS
d. STORAGE - 2ND FLR. NORTH: 1,131 S.F. /500 = 3 OCCUPANTS
e. HANGER - 1ST FLR. WEST: 3,200 S.F. /500 = 6.4 OCCUPANTS
f. STORAGE - 2ND FLR. WEST: 2,712 S.F. /500 = 5.4 OCCUPANTS
g. TOTAL OCCUPANTS: 95.8 OCCUPANTS
8. **EXITING REQUIREMENTS:**
a. EXITS REQ'D: 2
b. EXITS PROVIDED: 11
c. EXIT WIDTH REQ'D: (46 OCC. X .15) = 14.4"
d. EXIT WIDTH PROVIDED: 346" (11) SEPARATE EXITS
9. **PARKING CALCULATIONS:**
EXISTING PARKING CALCULATIONS:
- | BUILDING | BUILDING S.F. | PARKING REQ'D |
|------------------|-----------------|---------------|
| OFFICE | 8,425 S.F. /300 | 28 SP |
| EXISTING STORAGE | 1,131 S.F. /800 | 2 SP |
| NEW ADD. STORAGE | 6,006 S.F. /800 | 8 SP |
| TOTAL REQUIRED: | | 38 SP |
- | | PARKING PROVIDED | ACCESSIBLE |
|-----------|------------------|------------|
| EXISTING: | 37 SP. | (2 SP.) |
| ADDITION: | 1 SP. | |
| TOTAL: | 38 SP. | |

VICINITY MAP



FIRE DEPT. NOTES

1. SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF EXISTING FIRE SPRINKLER SYSTEM AND COMPLY W/ NFPA 13 & LOCAL AMENDMENTS. IN LIGHT HAZARD OCCUPANCIES, EXISTING STANDARD RESPONSE SPRINKLER HEADS WITHIN TENANT SPACE SHALL BE CHANGED OUT TO QUICK RESPONSE WHEN SCOPE OF WORK WILL ADD AND/OR RELOCATE 50% OR MORE OF THE SPRINKLER HEADS.
2. ALL FIRE PROTECTION SYSTEMS SHALL REMAIN OPERATIONAL AND MODIFIED AS NECESSARY FOR CODE COMPLIANCE.
3. INSTALL FIRE EXTINGUISHERS PER IFC. FIRE EXTINGUISHER QUANTITY AND LOCATION(S) SHALL BE APPROVED BY FIRE INSPECTOR.
4. EXIT AND EMERGENCY LIGHTING SHALL COMPLY WITH CITY ORDINANCE AND I.F.C.
5. NUMERICAL PREMISES ID MUST BE LEGIBLE FROM STREET OR DRIVE. MINIMUM 12" NUMBERS FOR BUILDING AND 4" NUMBERS FOR SUITE.
6. SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF FIRE ALARM SYSTEM (IF EXISTING) TO COMPLY WITH NFPA 72 & LOCAL CODES.
7. NEW TYPE I HOOD SYSTEMS REQUIRE SUBMITTAL OF PLAN FOR AUTOMATIC HOOD EXTINGUISHING SYSTEMS IN COMPLIANCE WITH CURRENT U.L. 300 STDS. EXISTING TYPE I HOOD SYSTEMS SHALL BE UPGRADED TO COMPLY WITH CURRENT U.L. 300 STANDARDS.
8. WAREHOUSE RACKS FOR STORAGE OVER 12'-0" IN HEIGHT REQUIRE A SEPARATE SUBMITTAL FOR APPROVAL PRIOR TO INSTALLATION.
9. SEPARATE SUBMITTAL AND APPROVAL IS REQUIRED FOR MAG LOCKS.
10. COMPRESSED GAS STORAGE (CO-2) REQUIRES SEPARATE FIRE DEPARTMENT PERMIT.

LEGAL DESCRIPTION

LOT 43, OF THUNDERBIRD INDUSTRIAL AIRPARK #3
ASSESSORS PARCEL NO. 215-56-043B

GOVERNING CODES

BUILDING:	2015 EDITION I.B.C.
MECHANICAL:	2015 EDITION I.M.C.
PLUMBING:	2018 EDITION I.P.C.
ENERGY:	2015 EDITION I.E.C.C.
ELECTRICAL:	2014 N.E.C.
FUEL / GAS:	2015 EDITION I.F.G.
FIRE:	2015 EDITION I.F.C.
ACCESSIBILITY:	IBC CHAPTER 11 AMENDMENT - ADAAG 2010. ICC/ANSI A117.1-2003

SPECIAL INSPECTIONS

- A. STRUCTURAL STEEL
B. CONCRETE CONSTRUCTION
C. ANCHOR BOLTS

PROJECT SCOPE

TENANT IMPROVEMENT
INSTALL NEW EXTERIOR ELEVATOR AT EXISTING 2 STORY BUILDING.
REMOVE ONE EXTERIOR STAIRWAY. INSTALL NEW MEZZANINE INSIDE EXISTING HANGER WITH ADDITION OF NEW STAIRWAY LIFT STATION.
INSTALL NEW BATHROOM ON SECOND FLOOR OF EXISTING OFFICE SPACE.

DEFERRED SUBMITTALS

FIRE SPRINKLER APPROVALS ARE NOT INCLUDED IN THIS PERMIT.

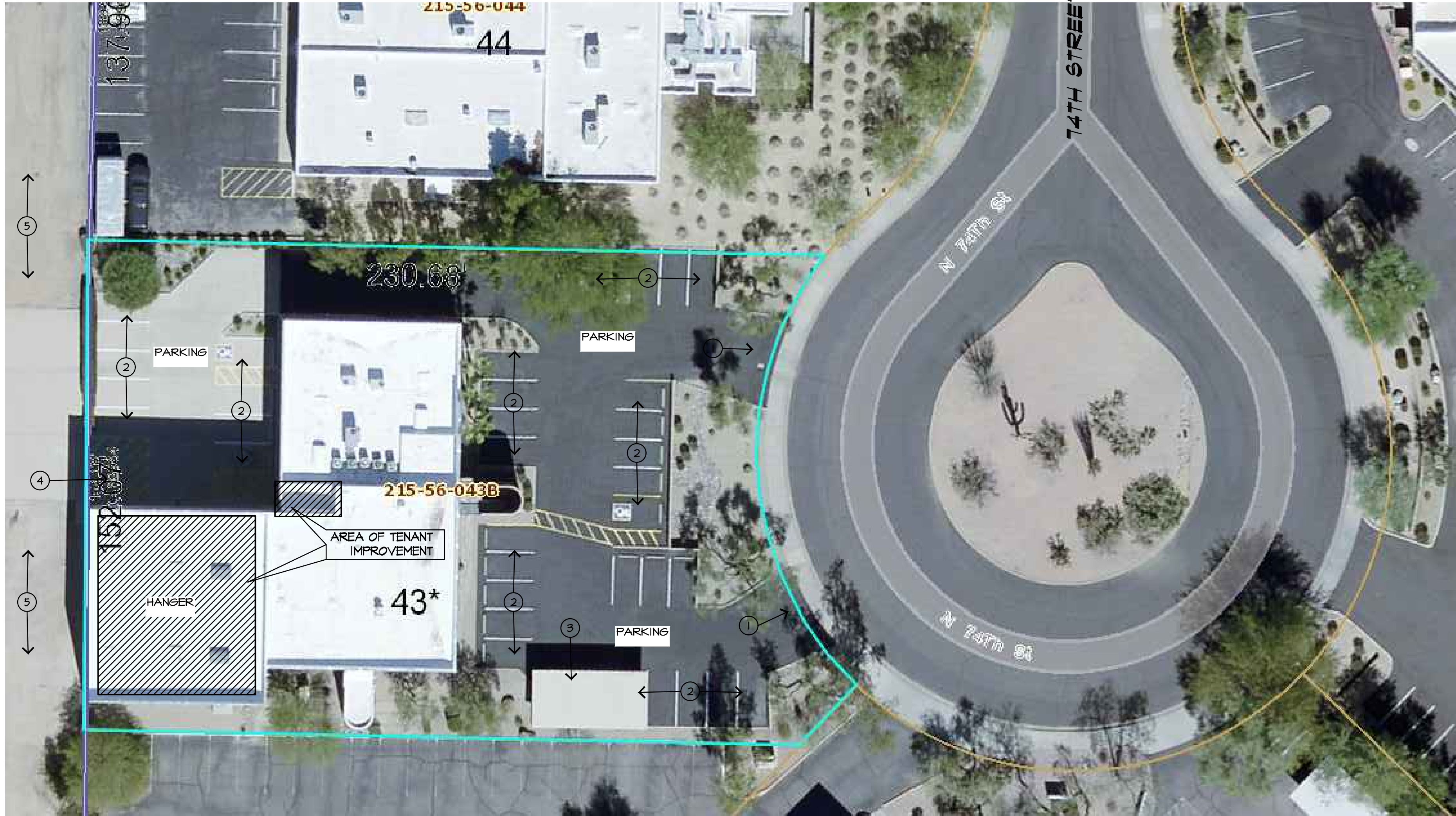
BEFORE COMMENCING ANY WORK ON THE SPRINKLER SYSTEM, PLANS MUST BE SUBMITTED AND APPROVED BY THE BUILDING SAFETY DIVISION. THE SYSTEM MUST BE INSPECTED AND APPROVED BY BUILDING SAFETY INSPECTION PRIOR TO A CERTIFICATE OF OCCUPANCY.

**STIPULATION SET
RETAIN FOR RECORDS
APPROVED**

01/26/2022
DATE
APPROVED BY

KEYNOTES

1. EXISTING DRIVEWAY TO REMAIN
2. EXISTING PARKING TO REMAIN
3. EXISTING CARPORT STRUCTURE TO REMAIN
4. AREA OF NEW PARKING SPACE. BLACK OUT EXISTING STRIPING AND STRIPE ONE ADDITIONAL PARKING SPACE TO MATCH EXISTING.
5. EXISTING AIRPORT TAXI WAY TO REMAIN.



1 SITE PLAN
SCALE: N.T.S.

esencia

1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
t. 480 - 755 - 0959

Project Manager JW	
Drawn By JM	
Checked By ES	
Project Number 21045	

BRO OFFICE BUILDING

14644 N. 74TH STREET
SUITE 101
SCOTTSDALE, AZ 85260

TENANT
IMPROVEMENT

Revisions	
Date	Issued for
12-17-21	SUBMITTAL

COVER SHEET - SITE PLAN

A-01

F:\Proj21

STIPULATION SET
RETAIN FOR RECORDS
APPROVED

01/26/2022
DATE

APPROVED BY

KEYNOTES

1. AREA OF NEW STORAGE MEZZANINE.
2. NEW GUARD RAIL OF NEW MEZZANINE
3. EXISTING CONDITION TO REMAIN.
4. EXISTING MASONRY DEMISING WALL TO REMAIN.

LEGEND

- EXISTING MTL. STUD PARTITION WALL
- EXISTING CONC. PANEL WALL.

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1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
t. 480 - 755 - 0959

Project Manager
JW

Drawn By
JM

Checked By
ES

Project Number
21045



BRO OFFICE BUILDING

14644 N. 74TH STREET
SUITE 101
SCOTTSDALE, AZ 85260

TENANT
IMPROVEMENT

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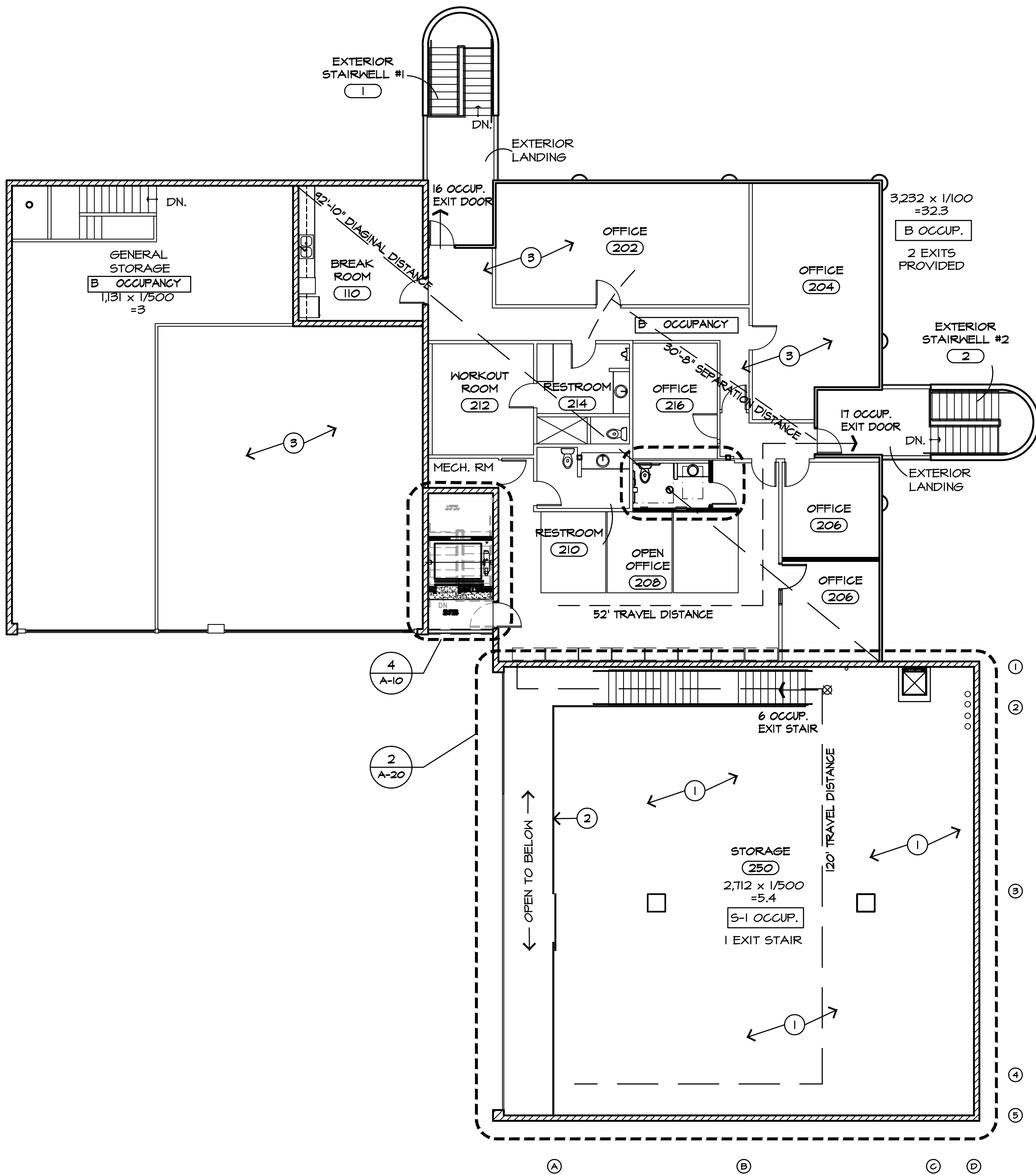
Revisions

Date
12-17-21

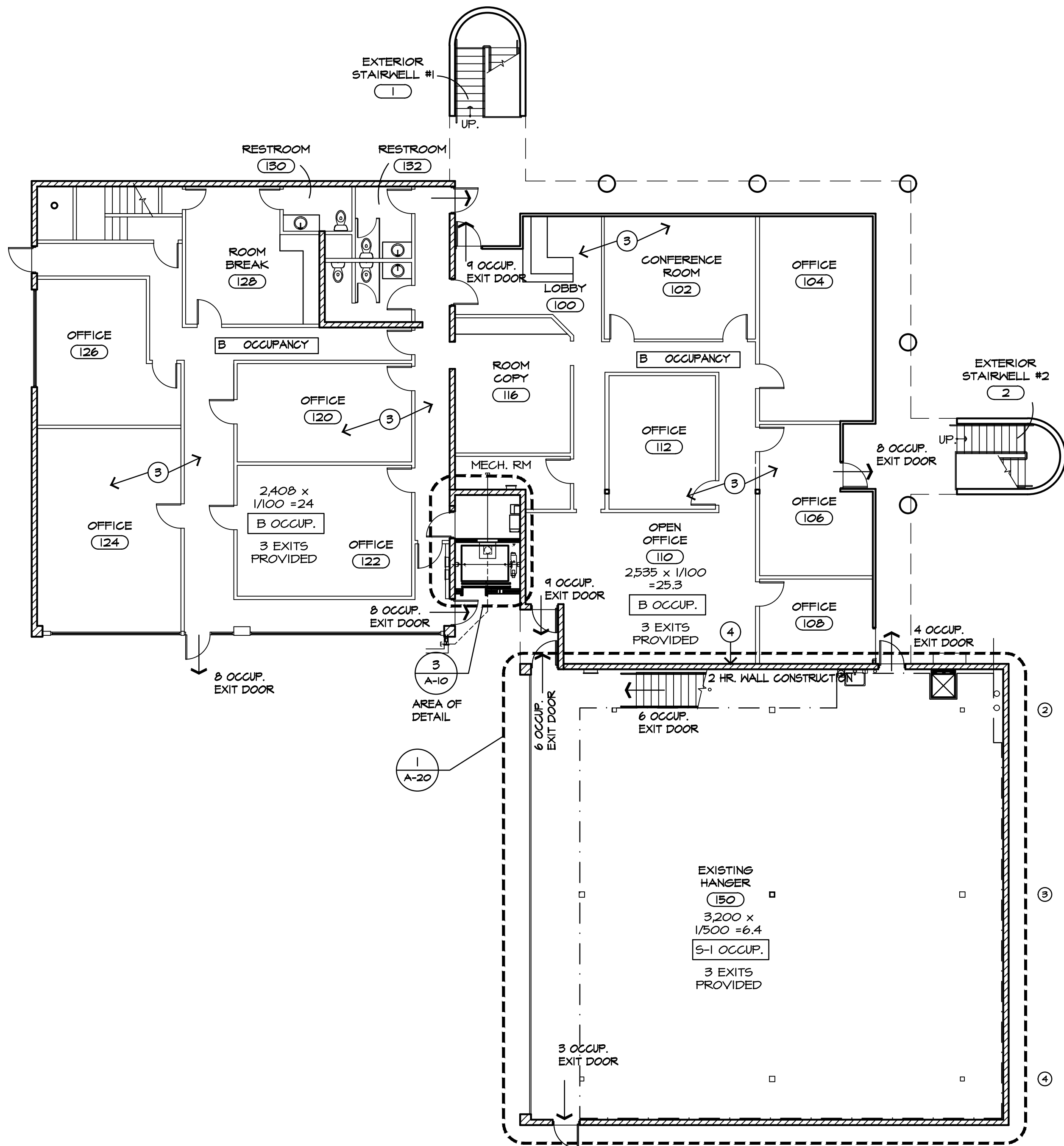
Issued for
SUBMITTAL

EXITING PLAN

A-02



2 EXITING FLOOR PLAN - SECOND FLOOR
SCALE: 1" = 20'-0"



1 EXITING FLOOR PLAN - FIRST FLOOR
SCALE: 1" = 20'-0"

SCALE: 1" = 10'-0"
0' 5' 10' 20'



11/20/2021

DOOR SCHEDULE

NUMBER	TYPE	MATL	SIZE	THICK	HARDWARE	FRAME TYPE	REMARKS
D 1	A	H.M.	3'-0" x 7'-0"	1-3/4"		H.M.	20 MIN. DOOR AND FRAME. PROVIDE DR. CLOSURE AT 15 LBS., SEALS AND BOTTOM SEAL/SWEEP.
D 2	B	ALUM.	3'-0" x 7'-0"	1-3/4"		ALUM.	TEMP. GLASS, 6" FRAME W/ 10" BASE
D 3	C	WD	3'-0" x 7'-0"	1-3/4"		H.M.	
E							EXISTING DOOR AND FRAME TO REMAIN.

ALL DOOR, LOCKS, AND LATCHES SHALL COMPLY WITH IBC SECTION 1008.1.8.3 AND ICC/ANSI A117.1-2003 SEC. 404.2.6

NOTE: EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.

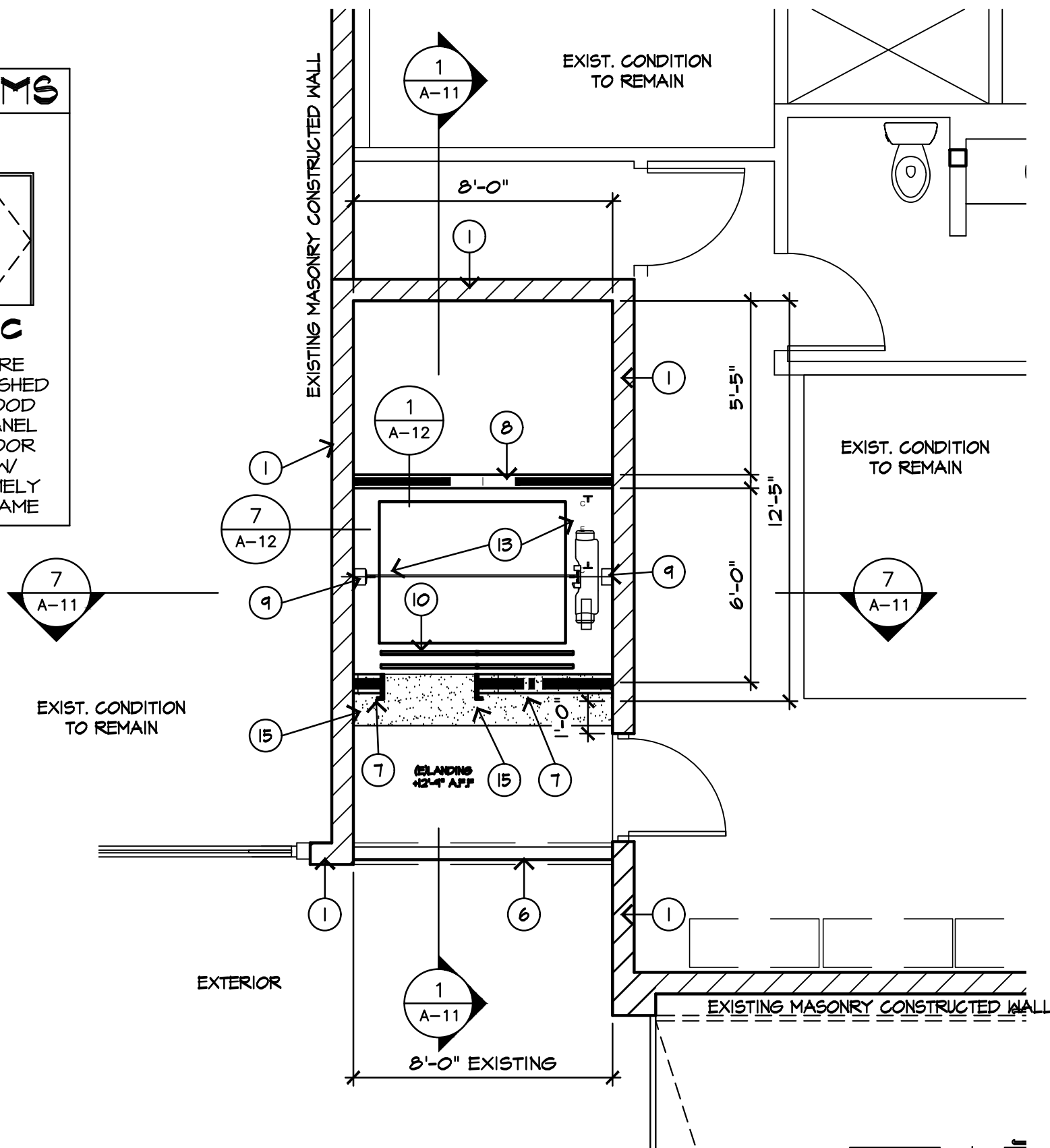
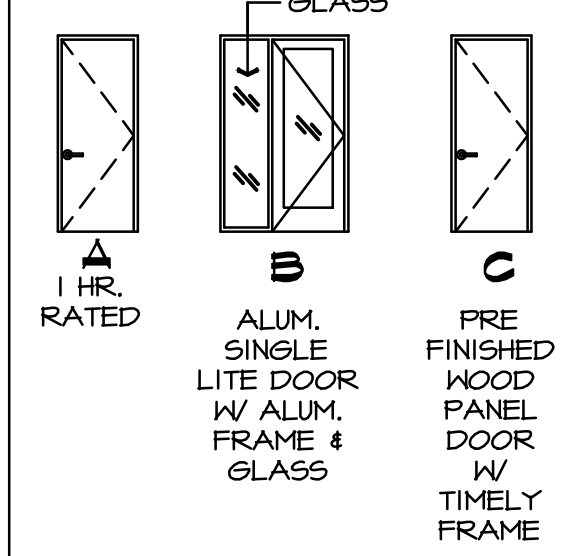
HARDWARE SCHEDULE

NOTE: HARDWARE TO BE PASSAGE LATCH SET OR LOCKSET WITH "SCHLAGE" LEVER HANDLE. INCLUDE 4 SETS OF HINGES AND WALL STOP PER DOOR.

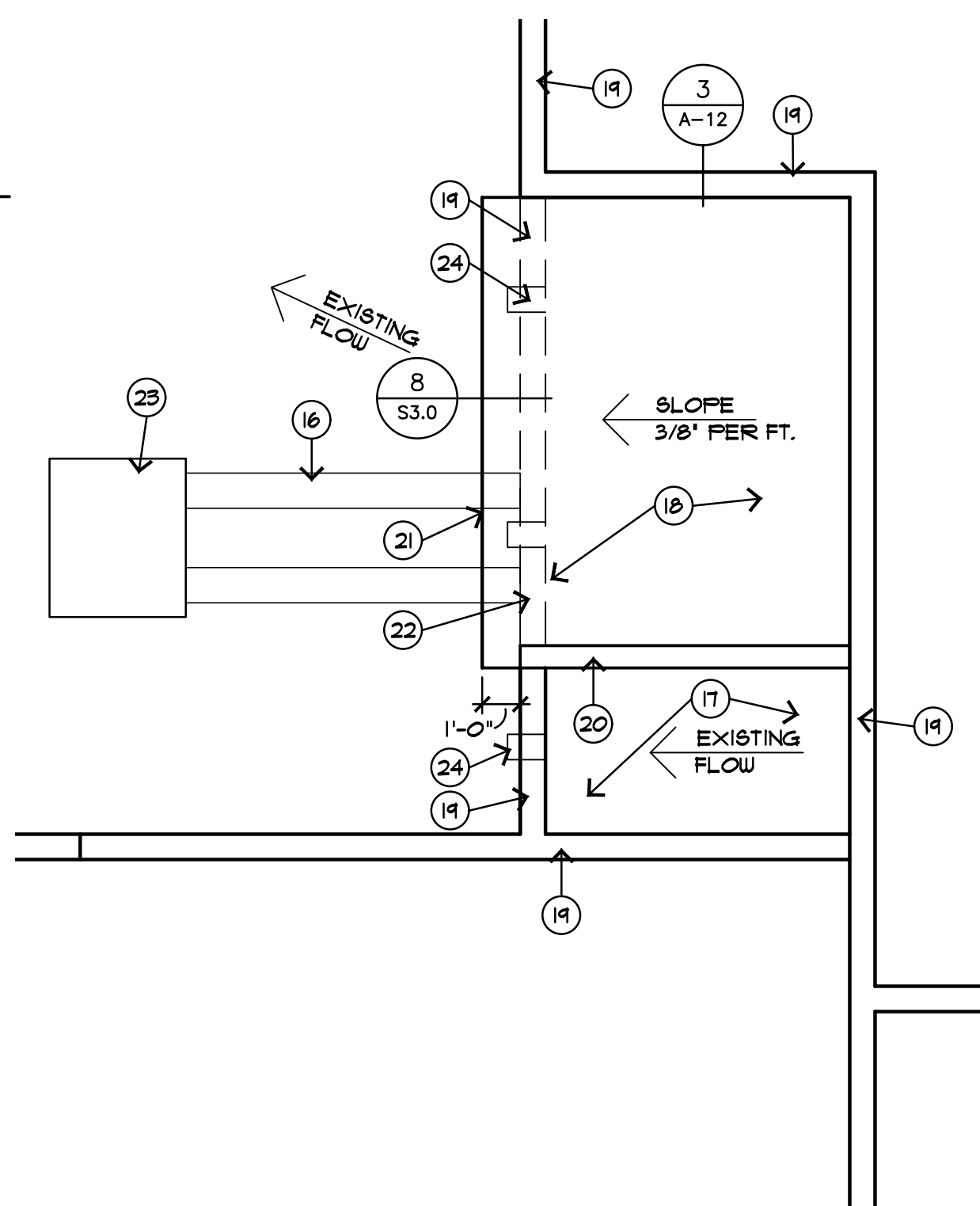
ALL LOCKSETS KEYED TO BUILDING SYSTEM. CYLINDERS SHALL BE SCHLAGE EVEREST C123. CONTRACTOR TO COORDINATE WITH PROPERTY MANAGER.

DOOR DIAGRAMS

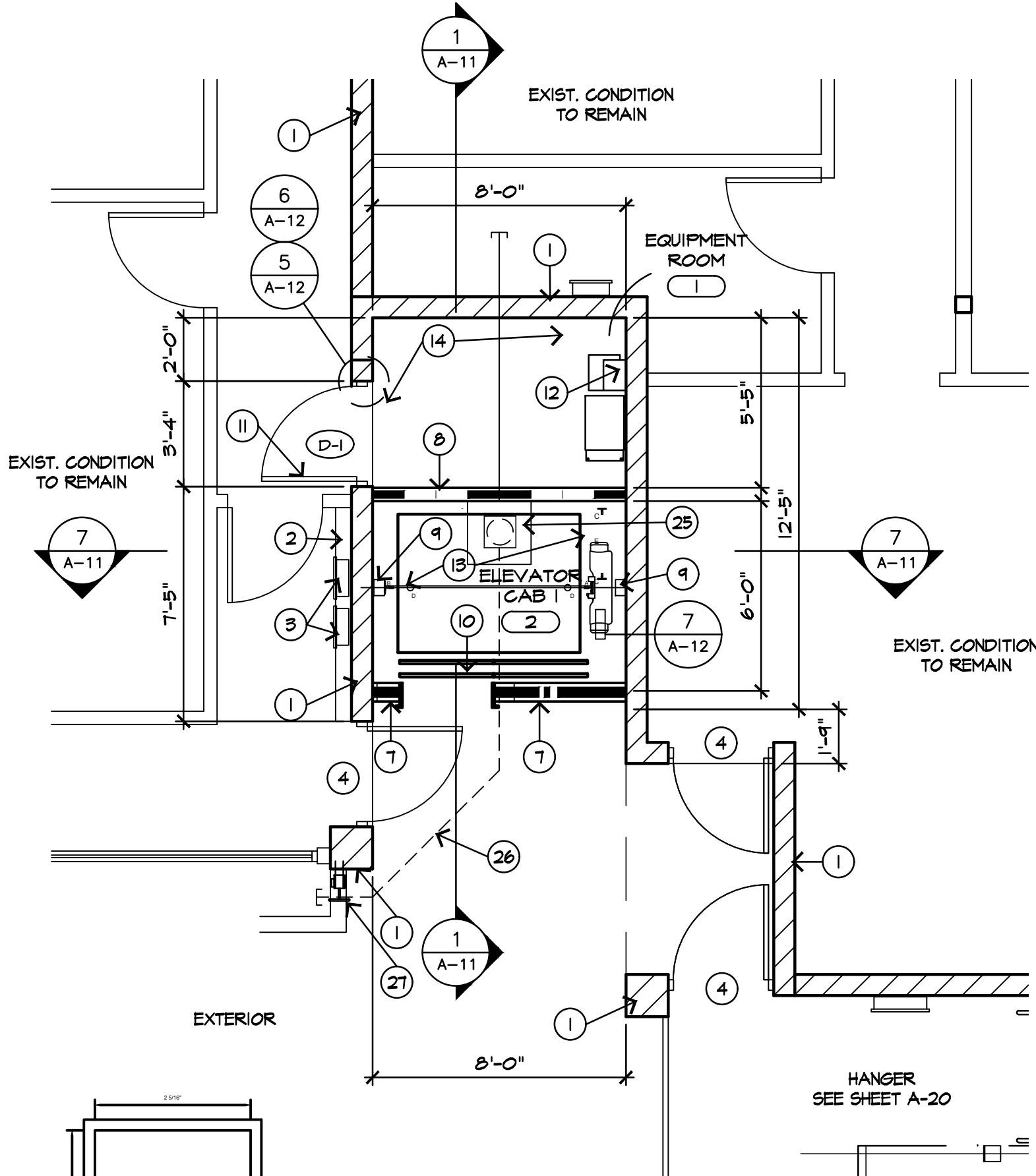
NOTE: -



4 PARTIAL FLOOR PLAN - SECOND FLOOR
SCALE: 1/4" = 1'-0"



3 PARTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"



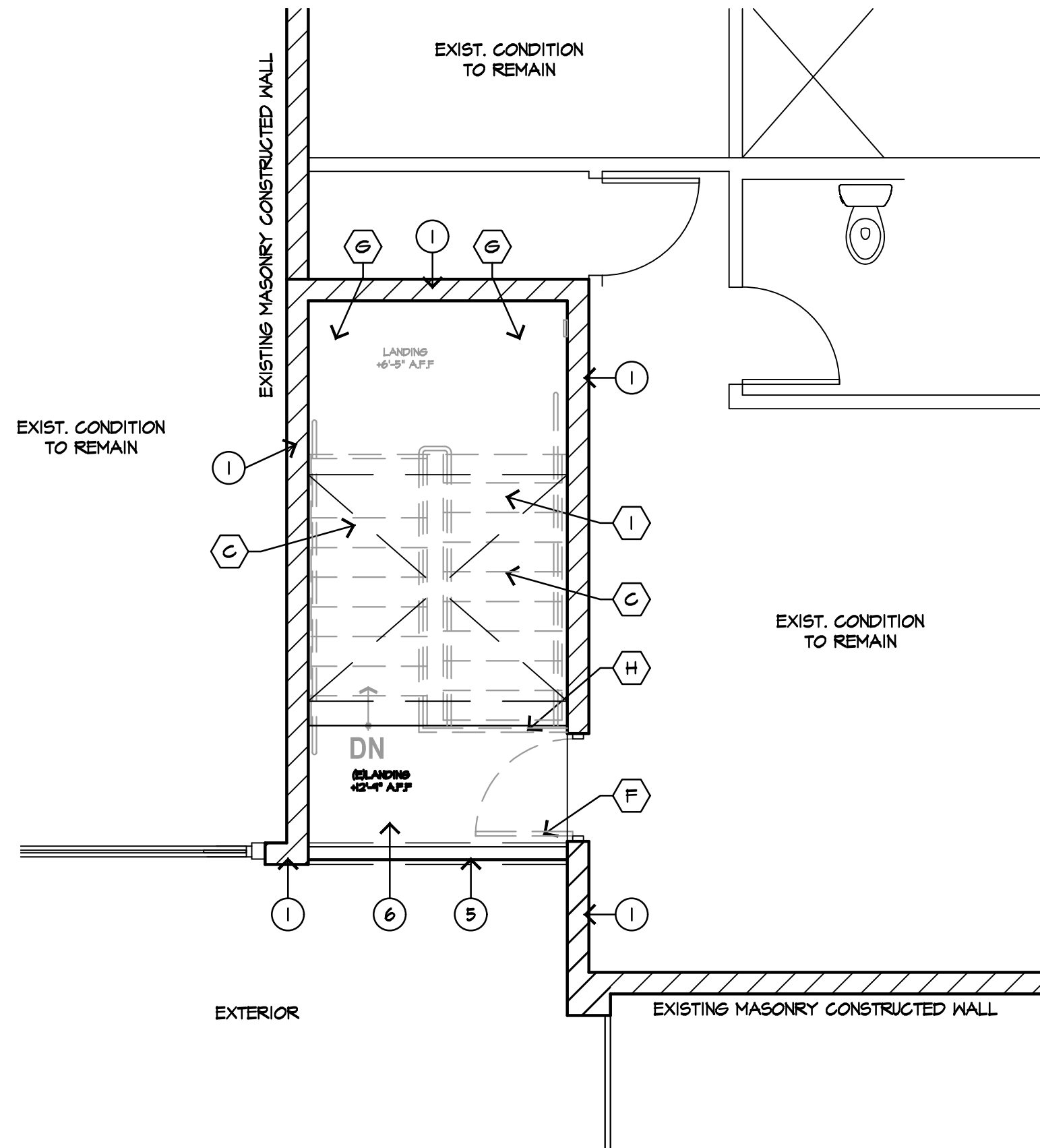
3 PARTIAL FLOOR PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

AS NOTED

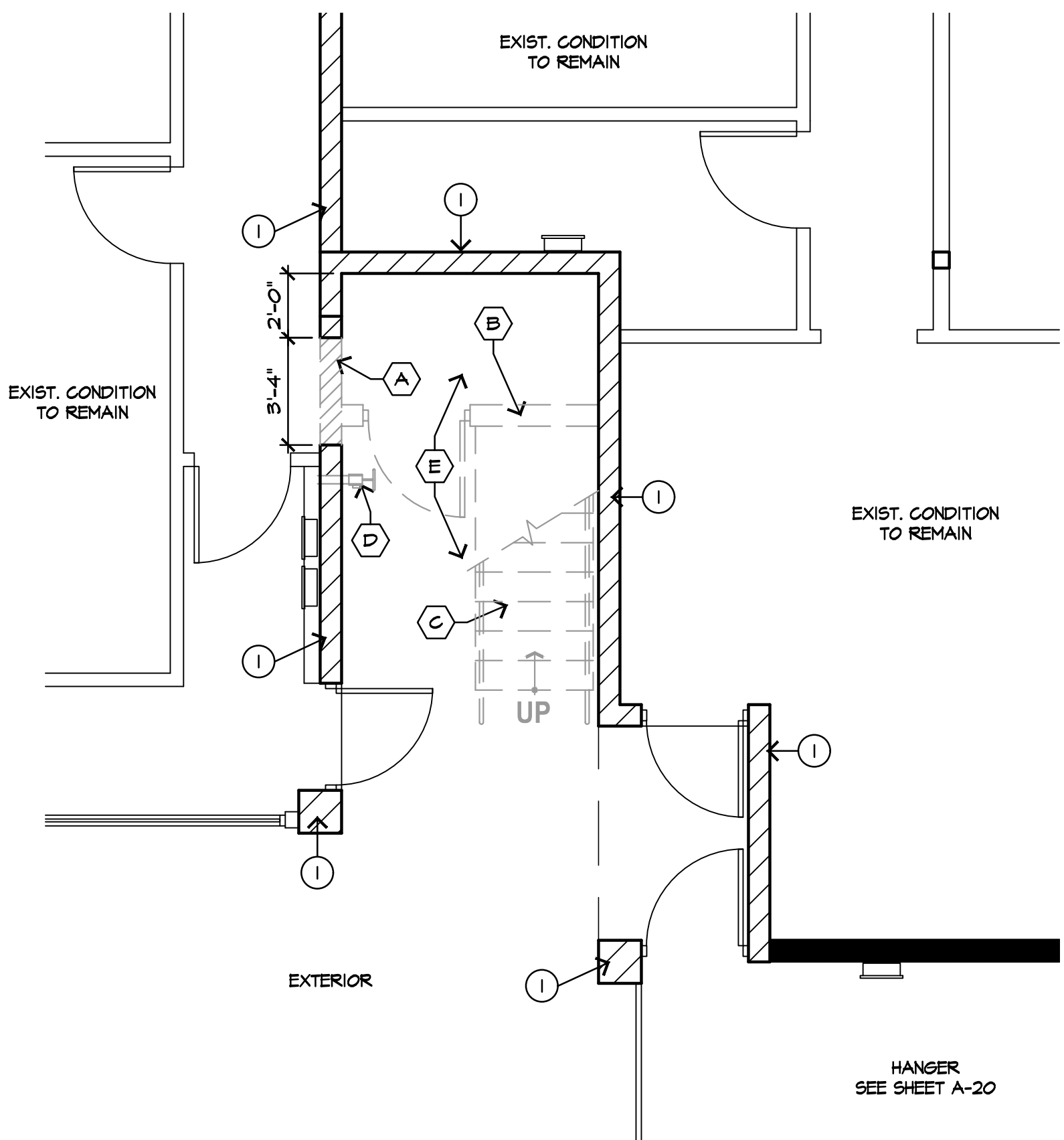
New mechanical unit to be screened by existing roof parapet. Elevations to be provided with final plans.

STIPULATION SET RETAIN FOR RECORDS APPROVED

01/26/2022 DATE APPROVED BY *Devina May*



2 PARTIAL DEMOLITION PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"



1 PARTIAL DEMOLITION PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"

KEYNOTES

- EXISTING 2 HOUR EXTERIOR MASONRY WALL TO REMAIN.
- EXISTING INTERIOR FURRING TO REMAIN
- EXISTING INTERIOR ELECTRICAL PANELS TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING STEEL FRAMED CONCRETE FILLED LANDING TO REMAIN.
- EXISTING STEEL GUARD RAILING TO REMAIN.
- NEW 2X8 AT 16" O.C. EXTERIOR FRAMED ONE HOUR WALL WITH STUCCO EXTERIOR FINISH SET ON NEW CONCRETE STEM. SEE STRUCTURAL DRAWINGS. PAINTED TO MATCH EXISTING.
- NEW 2X4 AT 16" O.C. METAL FRAMED 2 HOUR SEPARATION WALL SET ON NEW CONCRETE STEM. SEE STRUCTURAL DRAWINGS.
- NEW STRUCTURAL TUBE STEEL COLUMN SECURED TO EXISTING MASONRY WALL FOR MOUNTING OF TRACK. SEE STRUCTURAL.
- NEW ELEVATOR ENTRY DOORWAY SYSTEM. SEE ELEVATOR DRAWINGS.
- NEW 20 MIN. RATED STEEL DOOR AND FRAME SET IN NEW MASONRY OPENING.
- NEW ELEVATOR CONTROL EQUIPMENT. SEE ELEVATOR DRAWINGS.
- NEW ELEVATOR CAB. SEE ELEVATOR DRAWINGS.
- NEW 5" MIN. CONCRETE SLAB SET 4" MIN. BELOW FINISH FLOOR.
- NEW STEEL FRAMED LANDING EXTENSION TO EXISTING LANDING. PROVIDE EXTERIOR CONCRETE FILLED FLOOR TO MATCH EXISTING.
- ROOF MOUNTED SUPPLY AND RETURN DUCT WORK. SEE MECHANICAL PLANS.
- EXISTING SPRAY FOAM ROOF / MEMBRANE TO REMAIN. RE-SHAPE FOR NEW DRAIN SCUPPER AS REQUIRED.
- NEW ROOFING MEMBRANE OVER NEW ROOF FRAMING. SEE SECTIONS.
- EXISTING MASONRY PARAPET WALLS TO REMAIN
- NEW FRAMED PARAPET WALL WITH METAL FLASHING.
- PROVIDE CONT. DRIP EDGE AT OVERHANG
- LINE OF MASONRY PARAPET WALL BELOW TO REMAIN.
- PROVIDE AND INSTALL NEW MECHANICAL UNIT ON ROOF. PROVIDE SLEEPERS AS REQUIRED AND MAINTAIN WATER FLOW TO OUTLET. INSTALL PER MANUFACTURERS RECOMMENDATIONS. SEE MECHANICAL DRAWINGS.
- PROVIDE NEW 8" X 8" ROOF DRAIN OUTLET WITH GALV. SCUPPER WITH DRIP EDGE THROUGH EXISTING MASONRY WALL AT EXISTING ROOF LEVEL. MAINTAIN POSITIVE DRAINAGE AND DRIP EDGE AT SCUPPER.
- 18" X 18" SUMP PIT AND PUMP (SEE ELEC. FOR PUMP INFO) DRAIN TO DISCHARGE TO EXISTING SANITARY SEWER LINE. SUMP PUMP IS CONTROLLED BY OIL DETECTION DEVICE. UPON DETECTION OF OILS IN PIT SYSTEM TO NOTIFY OWNER OF DETECTION OF OIL AND OWNER IS TO MANUALLY INSPECT PIT FOR PRESENCE OF HAZARDOUS MATERIAL AND DISPOSE OF PROPERLY. PROV. AUDIO AND VISUAL ALARMS PER ELEC. AS REQUIRED BY CODE.
- ALTERNATE DRAIN DISCHARGE LOCATION TO EXISTING L/S PLANTER AS SHOWN W/ 6" A.F.S. AND TURN DOWNWARD.
- RELOCATED FIRE RISER TEST PORT LOCATION.

DEMOLITION KEYNOTES

- EXISTING MASONRY WALL TO BE REMOVED FOR NEW DOORWAY OPENING. SEE STRUCTURAL.
- EXISTING MTL. FRAMED WALL AND HALF HEIGHT DOORWAY/FRAME TO BE REMOVED.
- EXISTING EXTERIOR STEEL STAIRWELL, RAILING AND TREADS TO BE REMOVED.
- EXISTING FIRE RISER TEST PORT TO BE RELOCATED. EXTEND PIPING AS REQUIRED FOR NEW LOCATION.
- EXISTING CONCRETE SLAB TO BE REMOVED AS REQUIRED FOR NEW ELEV. PIT AND MECHANICAL ROOM.
- EXISTING ALUM. STOREFRONT DOOR TO BE REMOVED AND REUSED WITH DIFFERENT SWING.
- EXISTING STEEL FRAMED CONCRETE FILLED LANDINGS TO BE REMOVED.
- EXISTING STEEL GUARD RAIL TO BE REMOVED.
- AREA OF EXISTING ROOF AND FRAMING TO BE REMOVED FOR ELEVATOR SHAFT.

GENERAL NOTES

STUCCO: (3) COAT APPLICATION 7/8" CEMENT PLASTER- WITH MIX 1:4 FOR SCRATCH COAT AND 1:5 FOR BROWN COAT BY VOLUME CEMENT TO SAND MIXTURE. - SAND FINISH. PAINTED.

LEGEND

- NEW 2 HOUR FRAMED WALL
- EXISTING INTERIOR WALL
- EXISTING EXTERIOR MASONRY WALL.
- DOOR SCHEDULE SHT. A-10
- WALL TYPE. SEE WALL SECTION

SCALE: 1/4" = 1'-0"



esencia

1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
t. 480 - 755 - 0959

Project Manager

JW

Drawn By

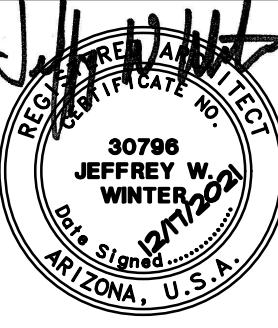
JM

Checked By

ES

Project Number

21045



BRO OFFICE BUILDING

14644 N. 74TH STREET
SUITE 101
SCOTTSDALE, AZ 85260

TENANT
IMPROVEMENT

Revisions

Date

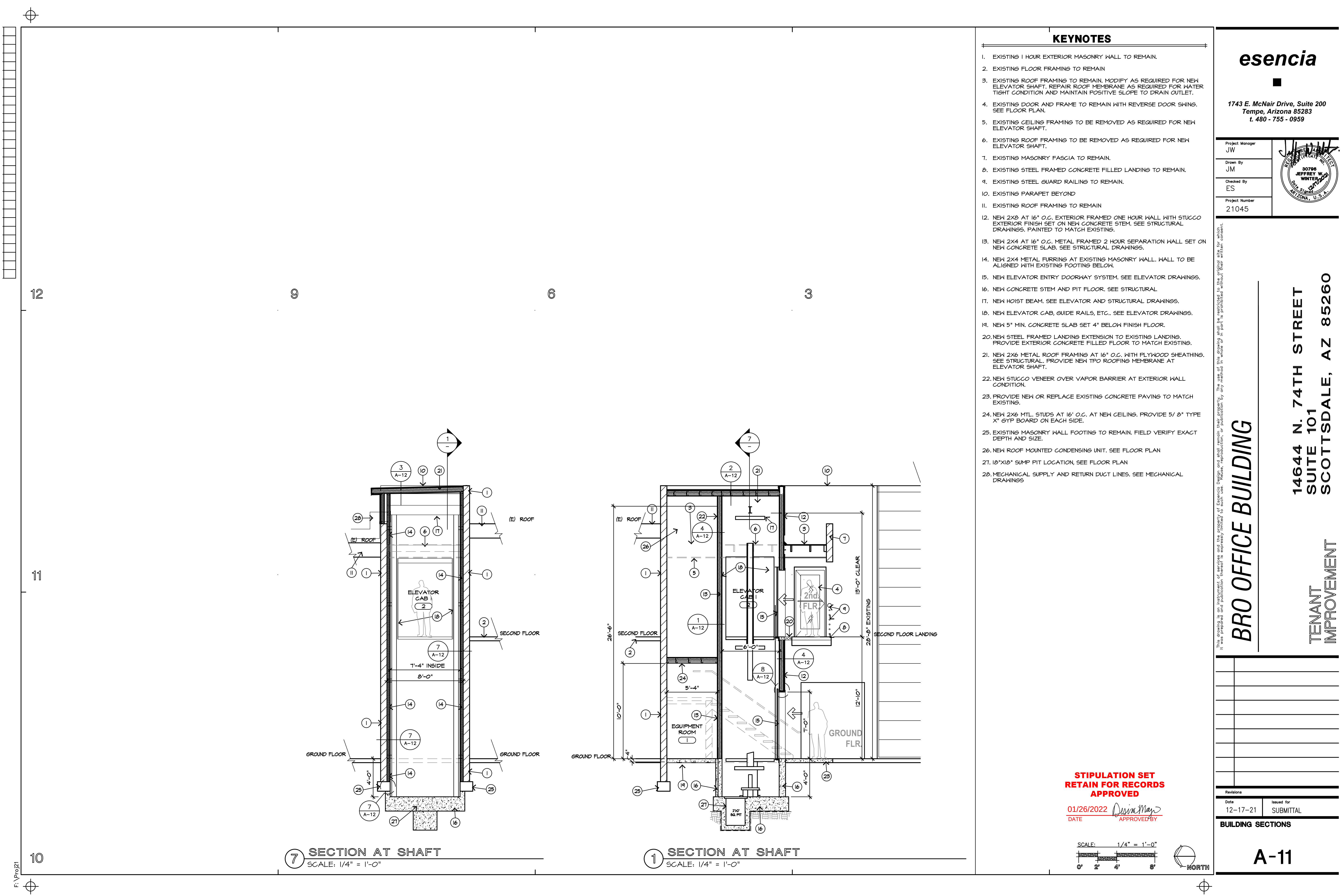
12-17-21

Issued for

SUBMITTAL

ENLARGED PLANS

A-10

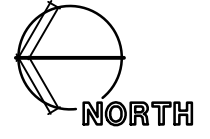
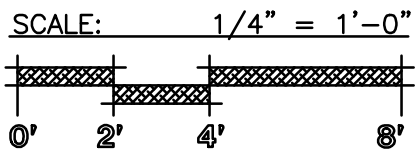


KEYNOTES

- EXISTING 1 HOUR EXTERIOR MASONRY WALL TO REMAIN.
- EXISTING FLOOR FRAMING TO REMAIN
- EXISTING ROOF FRAMING TO REMAIN. MODIFY AS REQUIRED FOR NEW ELEVATOR SHAFT. REPAIR ROOF MEMBRANE AS REQUIRED FOR WATER TIGHT CONDITION AND MAINTAIN POSITIVE SLOPE TO DRAIN OUTLET.
- EXISTING DOOR AND FRAME TO REMAIN WITH REVERSE DOOR SWING. SEE FLOOR PLAN.
- EXISTING CEILING FRAMING TO BE REMOVED AS REQUIRED FOR NEW ELEVATOR SHAFT.
- EXISTING ROOF FRAMING TO BE REMOVED AS REQUIRED FOR NEW ELEVATOR SHAFT.
- EXISTING MASONRY FASCIA TO REMAIN.
- EXISTING STEEL FRAMED CONCRETE FILLED LANDING TO REMAIN.
- EXISTING STEEL GUARD RAILING TO REMAIN.
- EXISTING PARAPET BEYOND
- EXISTING ROOF FRAMING TO REMAIN
- NEW 2X8 AT 16" O.C. EXTERIOR FRAMED ONE HOUR WALL WITH STUCCO EXTERIOR FINISH SET ON NEW CONCRETE STEM. SEE STRUCTURAL DRAWINGS. PAINTED TO MATCH EXISTING.
- NEW 2X4 AT 16" O.C. METAL FRAMED 2 HOUR SEPARATION WALL SET ON NEW CONCRETE SLAB. SEE STRUCTURAL DRAWINGS.
- NEW 2X4 METAL FURRING AT EXISTING MASONRY WALL. WALL TO BE ALIGNED WITH EXISTING FOOTING BELOW.
- NEW ELEVATOR ENTRY DOORWAY SYSTEM. SEE ELEVATOR DRAWINGS.
- NEW CONCRETE STEM AND PIT FLOOR. SEE STRUCTURAL
- NEW HOIST BEAM. SEE ELEVATOR AND STRUCTURAL DRAWINGS.
- NEW ELEVATOR CAB, GUIDE RAILS, ETC.. SEE ELEVATOR DRAWINGS.
- NEW 5" MIN. CONCRETE SLAB SET 4" BELOW FINISH FLOOR.
- NEW STEEL FRAMED LANDING EXTENSION TO EXISTING LANDING. PROVIDE EXTERIOR CONCRETE FILLED FLOOR TO MATCH EXISTING.
- NEW 2X6 METAL ROOF FRAMING AT 16" O.C. WITH PLYWOOD SHEATHING. SEE STRUCTURAL. PROVIDE NEW TPO ROOFING MEMBRANE AT ELEVATOR SHAFT.
- NEW STUCCO VENEER OVER VAPOR BARRIER AT EXTERIOR WALL CONDITION.
- PROVIDE NEW OR REPLACE EXISTING CONCRETE PAVING TO MATCH EXISTING.
- NEW 2X6 MTL. STUDS AT 16" O.C. AT NEW CEILING. PROVIDE 5/ 8" TYPE X" GYP BOARD ON EACH SIDE.
- EXISTING MASONRY WALL FOOTING TO REMAIN. FIELD VERIFY EXACT DEPTH AND SIZE.
- NEW ROOF MOUNTED CONDENSING UNIT. SEE FLOOR PLAN
- 18"X18" SUMP PIT LOCATION, SEE FLOOR PLAN
- MECHANICAL SUPPLY AND RETURN DUCT LINES. SEE MECHANICAL DRAWINGS

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Project Manager JW	
Drawn By JM	
Checked By ES	
Project Number 21045	

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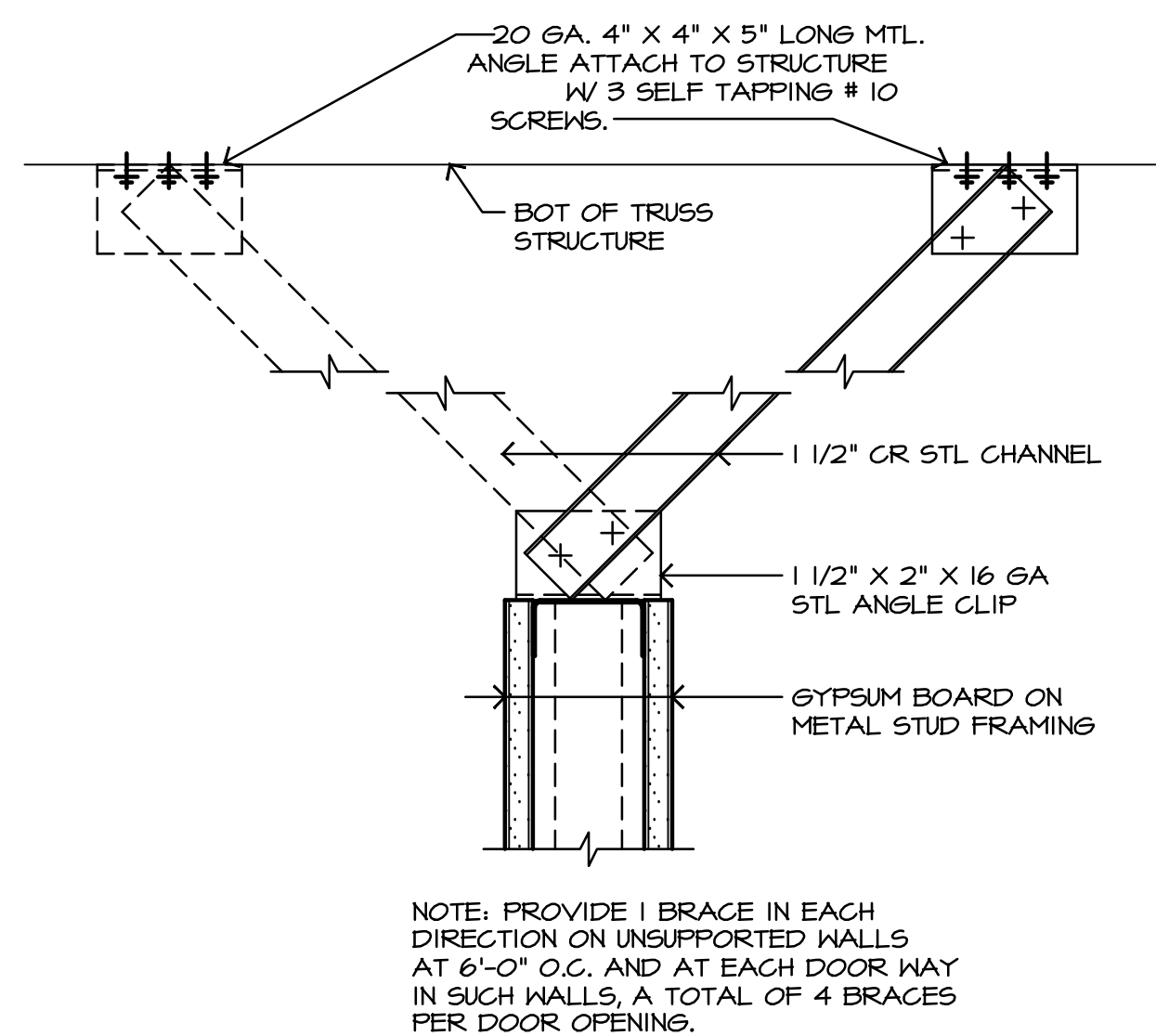
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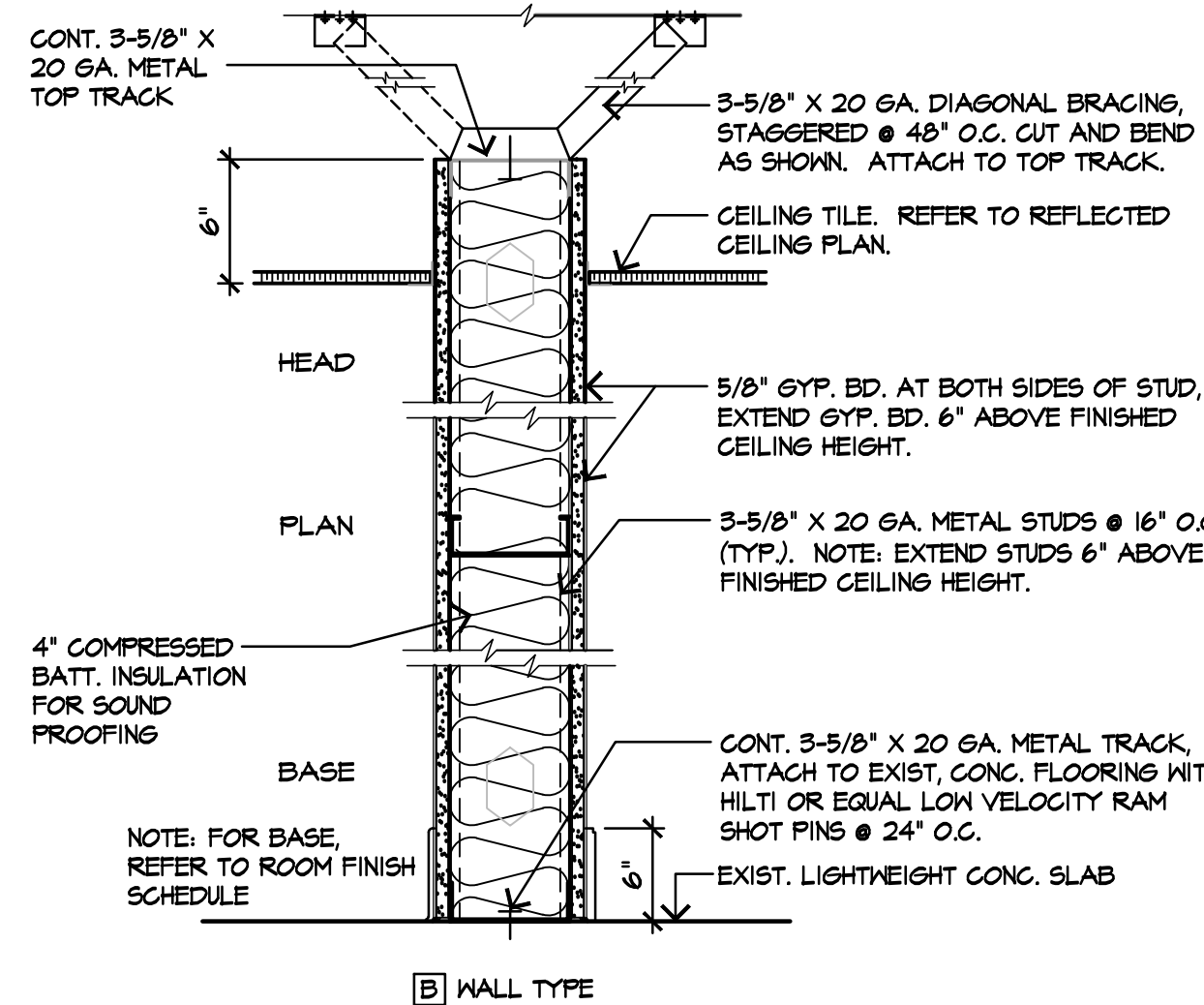
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BUILDING SECTIONS

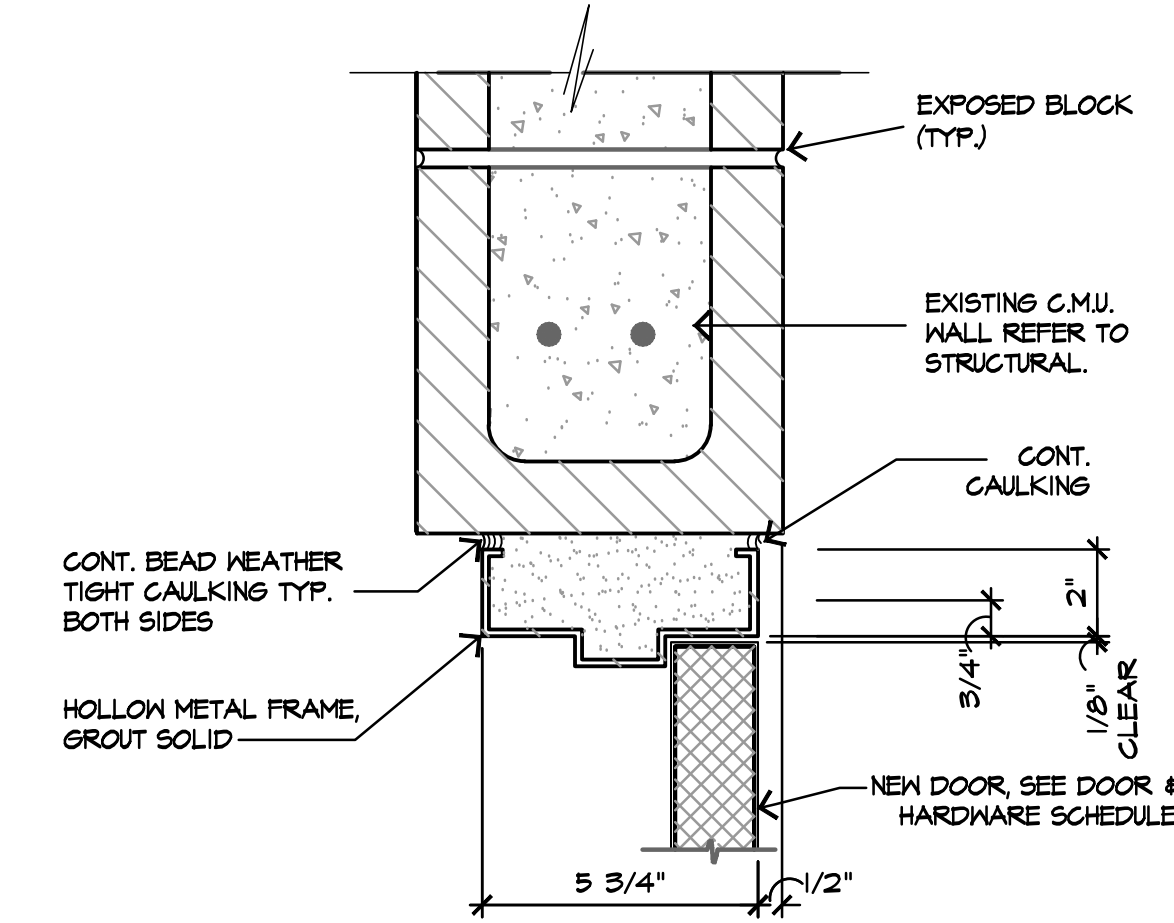
A-11



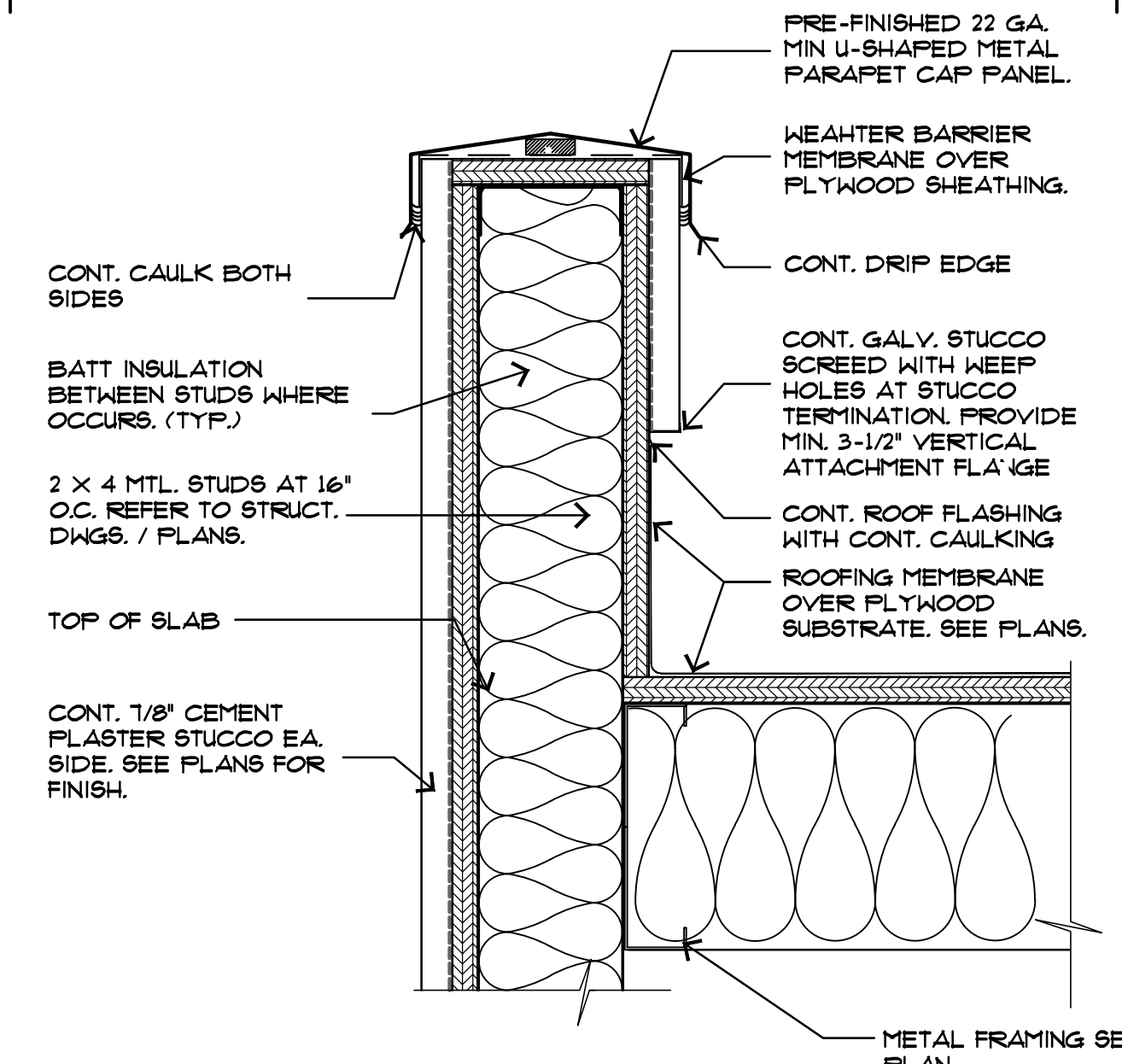
12 WALL BRACE/TOP
SCALE: 3" = 1'-0" SP-01



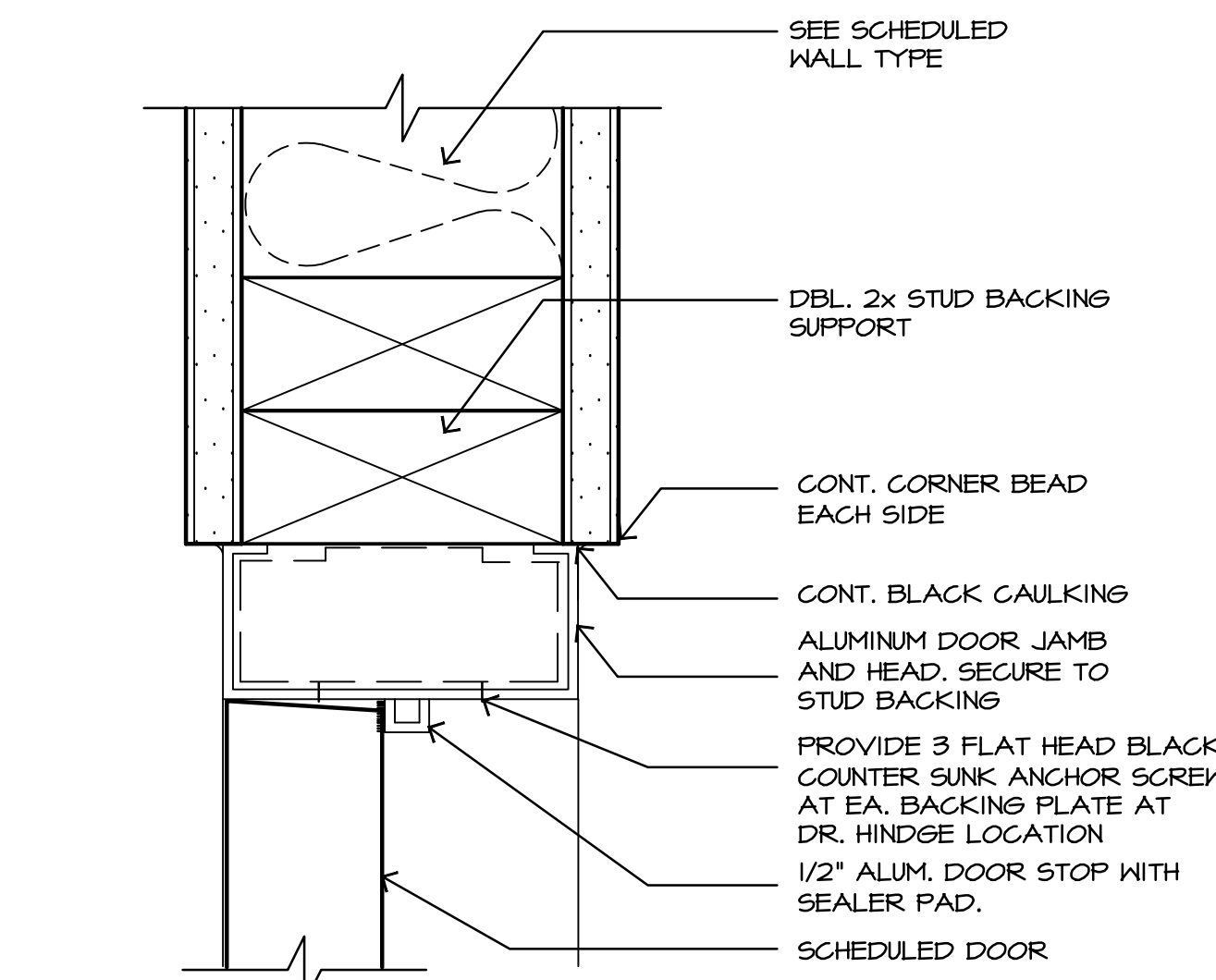
9 NEW TYP. NON-BEARING WALL PARTITION
SCALE: 1" = 1'-0" Typ. Non-bearing Wall Part.- B



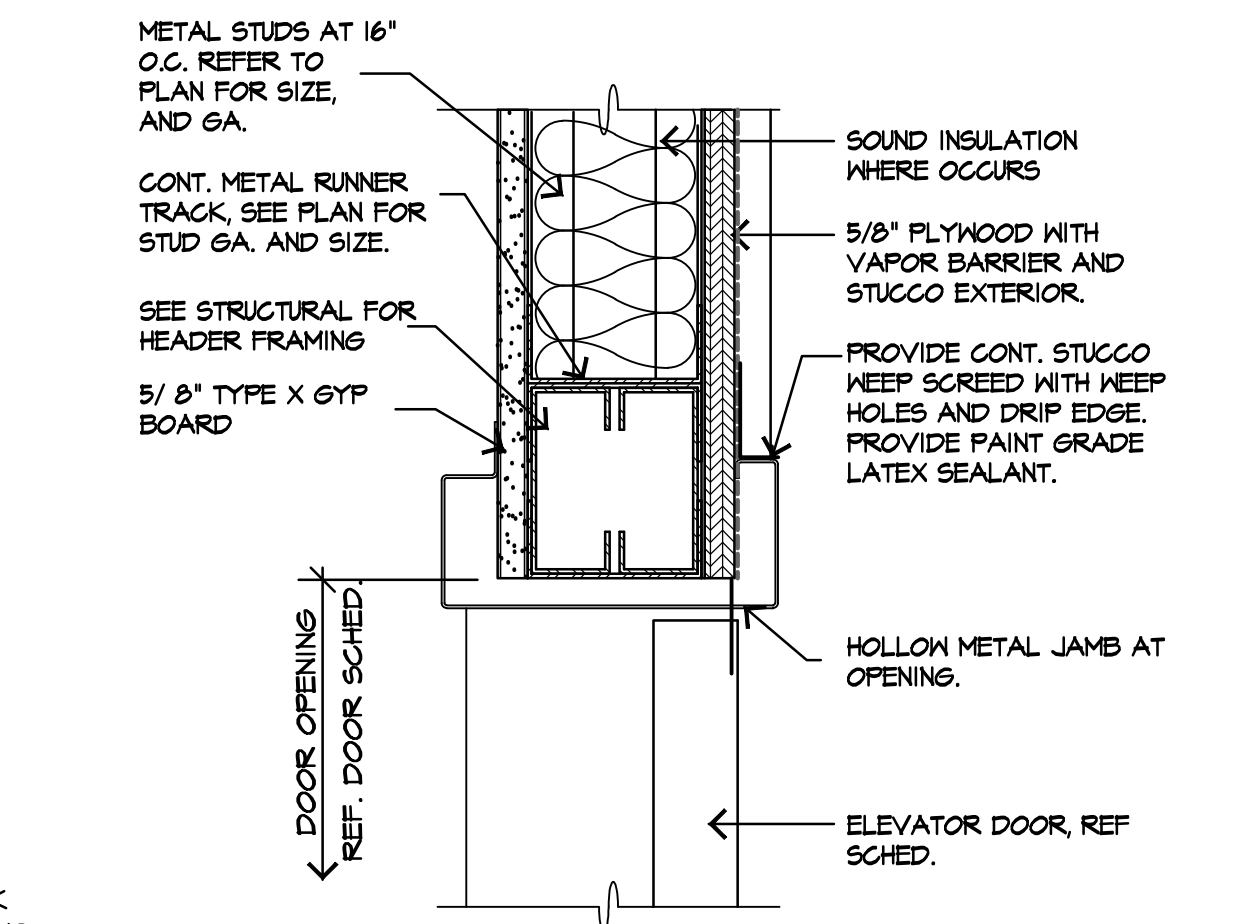
6 DOOR HEAD AT C.M.U. WALL
SCALE: 3" = 1'-0" 12-DOOR HEAD DETAIL AT C.M.U.



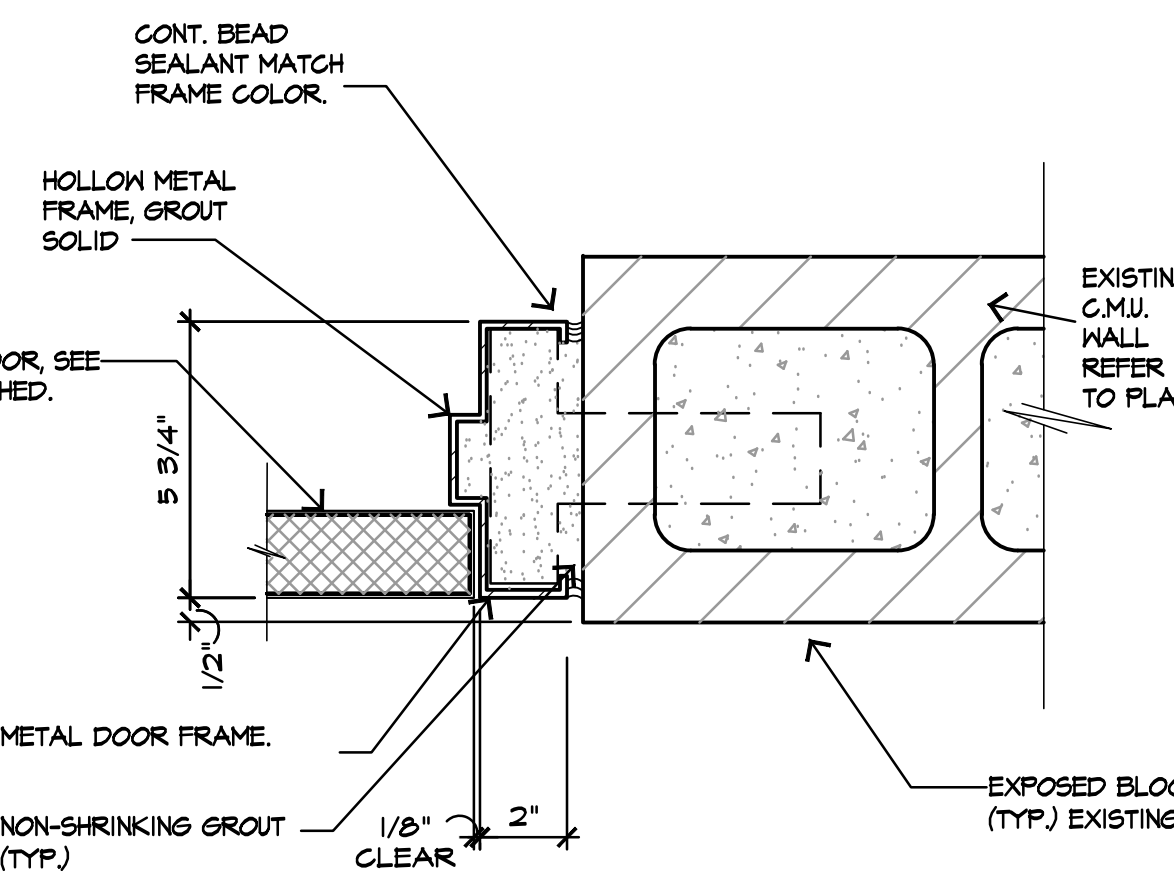
3 PARAPET WALL WITH CAP
SCALE: 3" = 1'-0" 15 PARAPET CAP



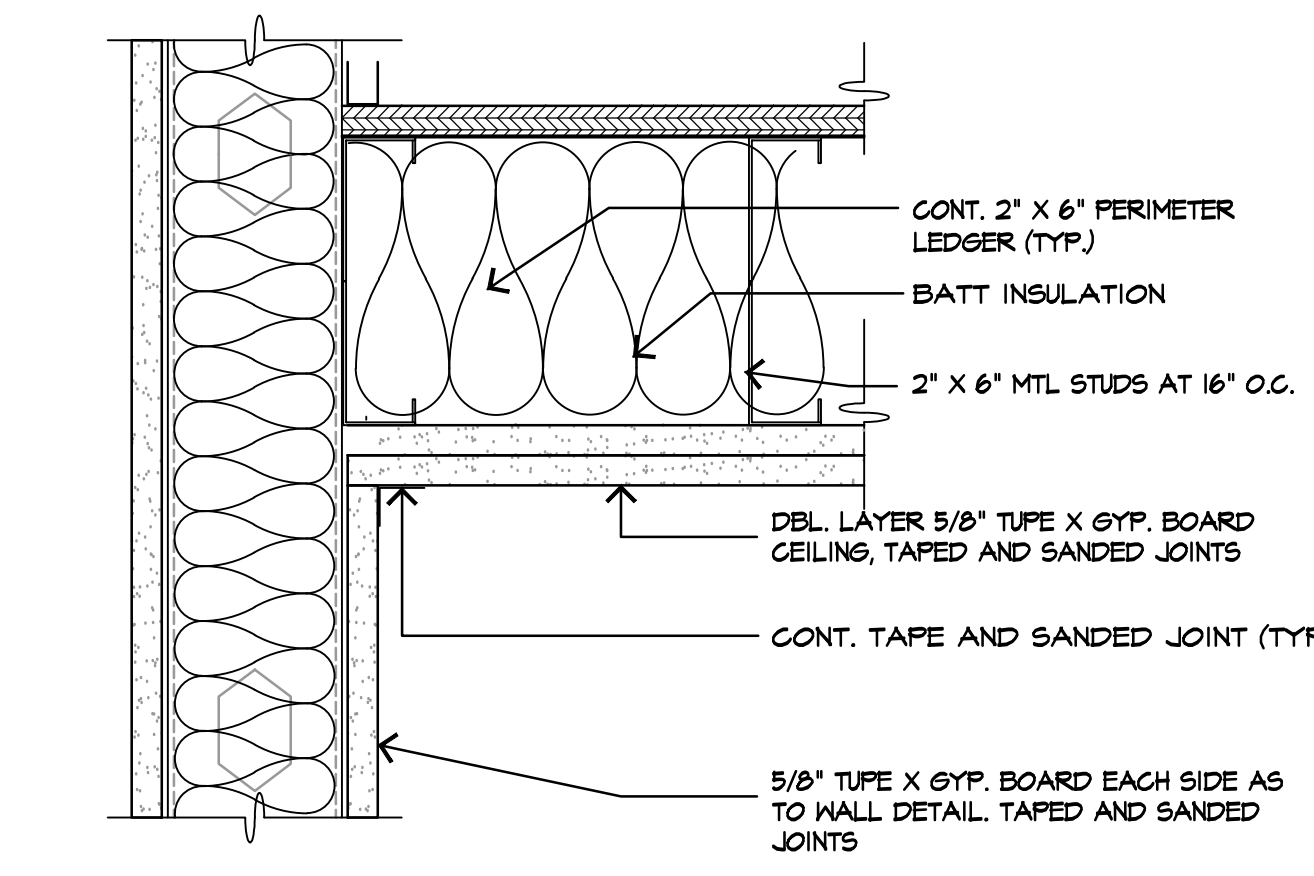
11 TYPICAL JAMB DETAIL (HEAD SIM)
SCALE: Half Size ALUM DR. JAMB



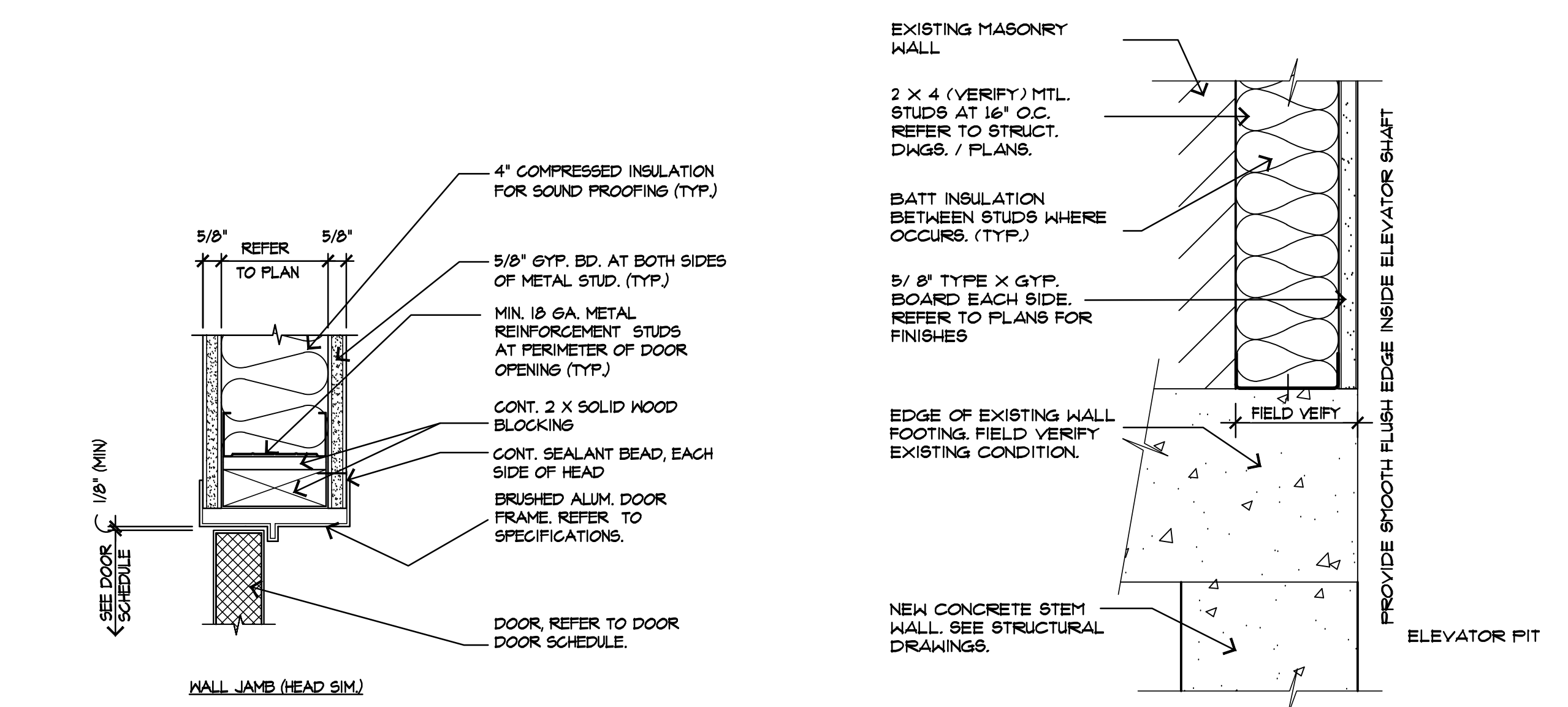
8 EXTERIOR DOOR JAMB HEAD DETAIL
SCALE: 3" = 1'-0" 61-EXTERIOR DOOR HEAD DETAIL



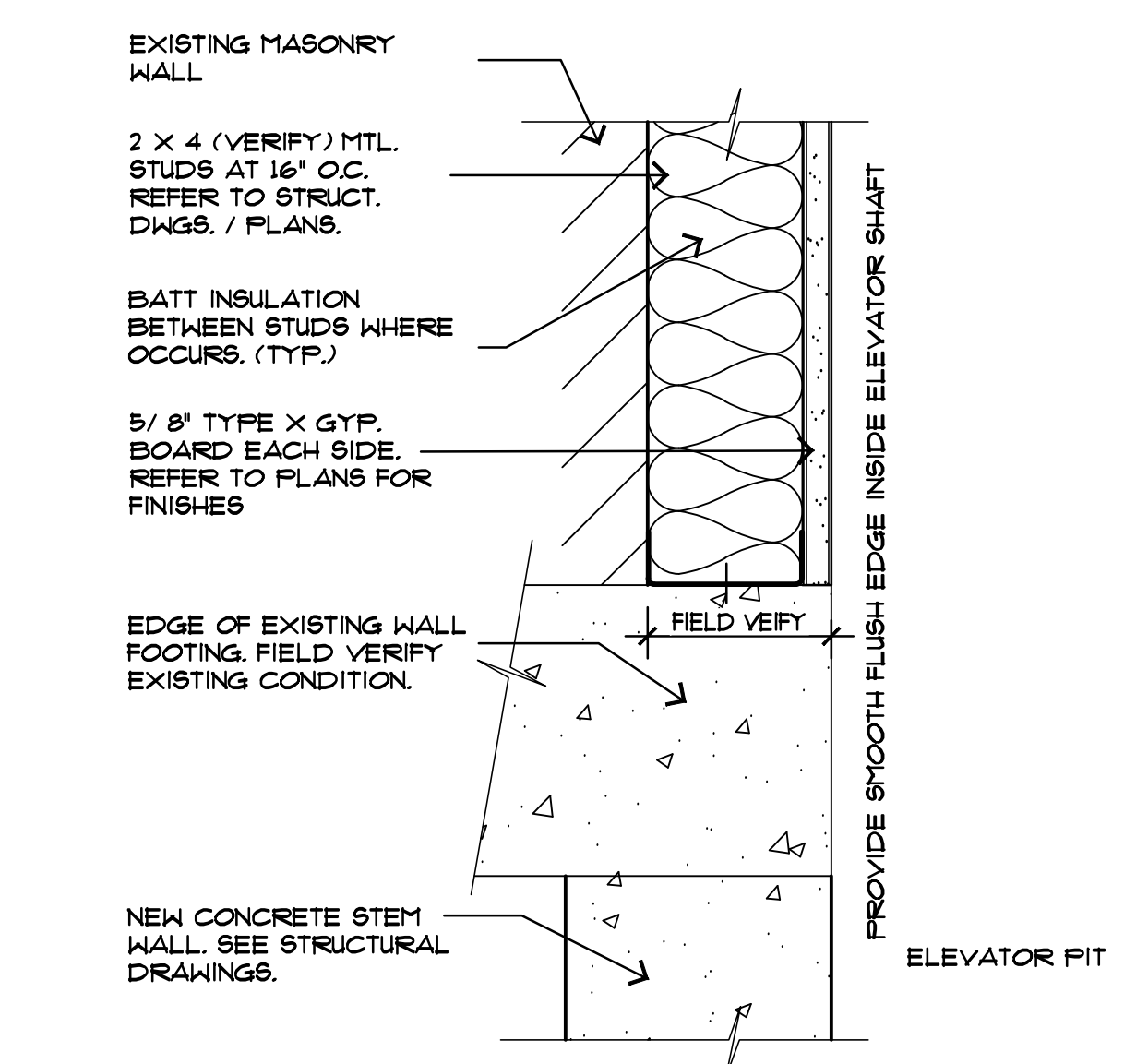
5 DOOR JAMB AT C.M.U. WALL
SCALE: 3" = 1'-0" 71-CMU DOOR JAMB DETAIL



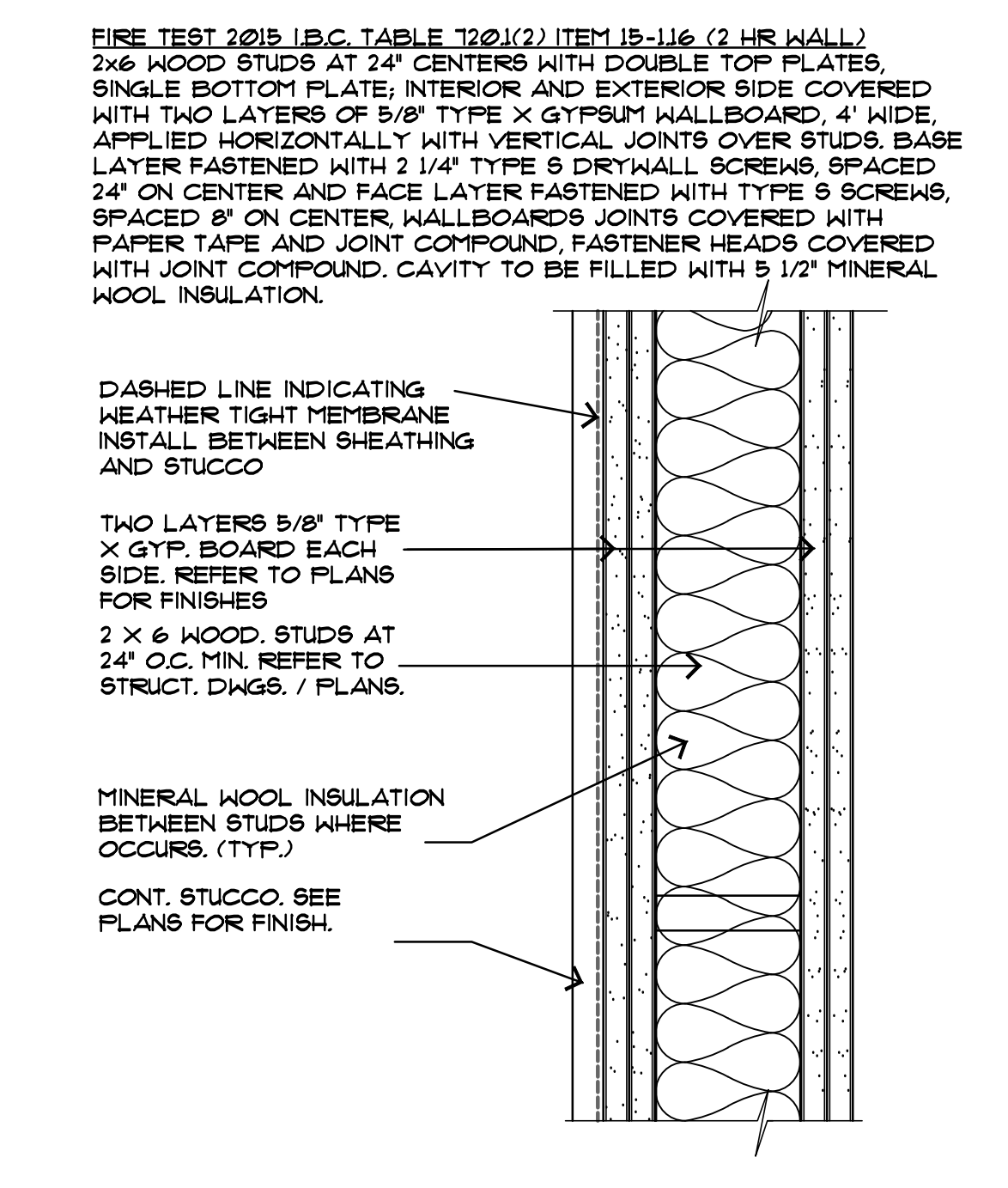
2 GYP. BD. CEILING AT PERIMETER WALL
SCALE: 3" = 1'-0" 09-Gyp. Bd. Ceiling at Perimeter Wall



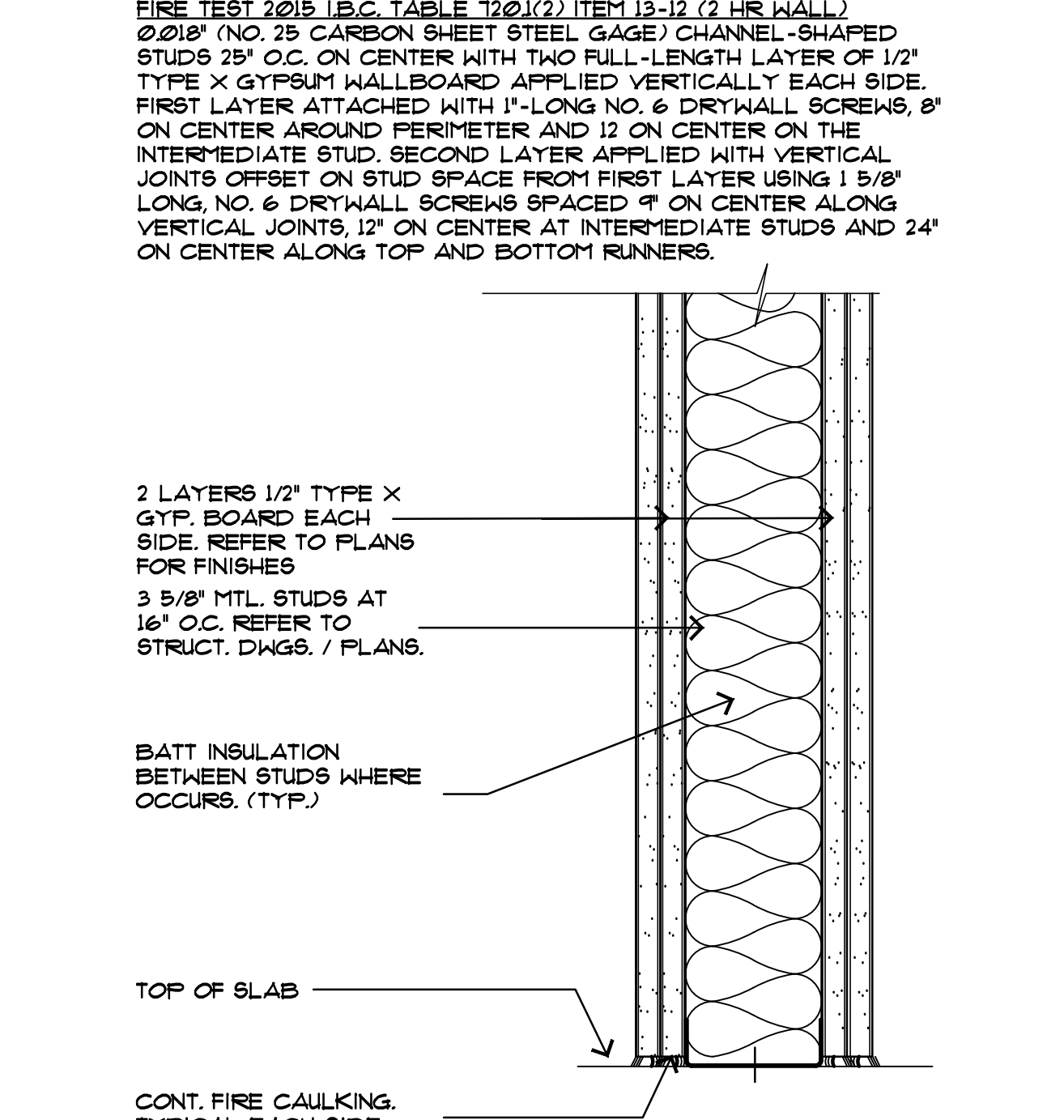
10 DOOR JAMB @ GYP. BD. WALL
SCALE: 3" = 1'-0" INT. JAMB-DETAIL



7 FURRING AT INT WALL DETAIL
SCALE: 3" = 1'-0" 66 INT. FURRING WALL



4 FRAMED WALL DETAIL - 2 HOUR EXT
SCALE: 3" = 1'-0" 64 EXT. FRAMED WALL 2 HR



1 FRAMED WALL DETAIL - 2 HR INTERIOR
SCALE: 3" = 1'-0" 65 INT. FRAMED WALL 2 HR

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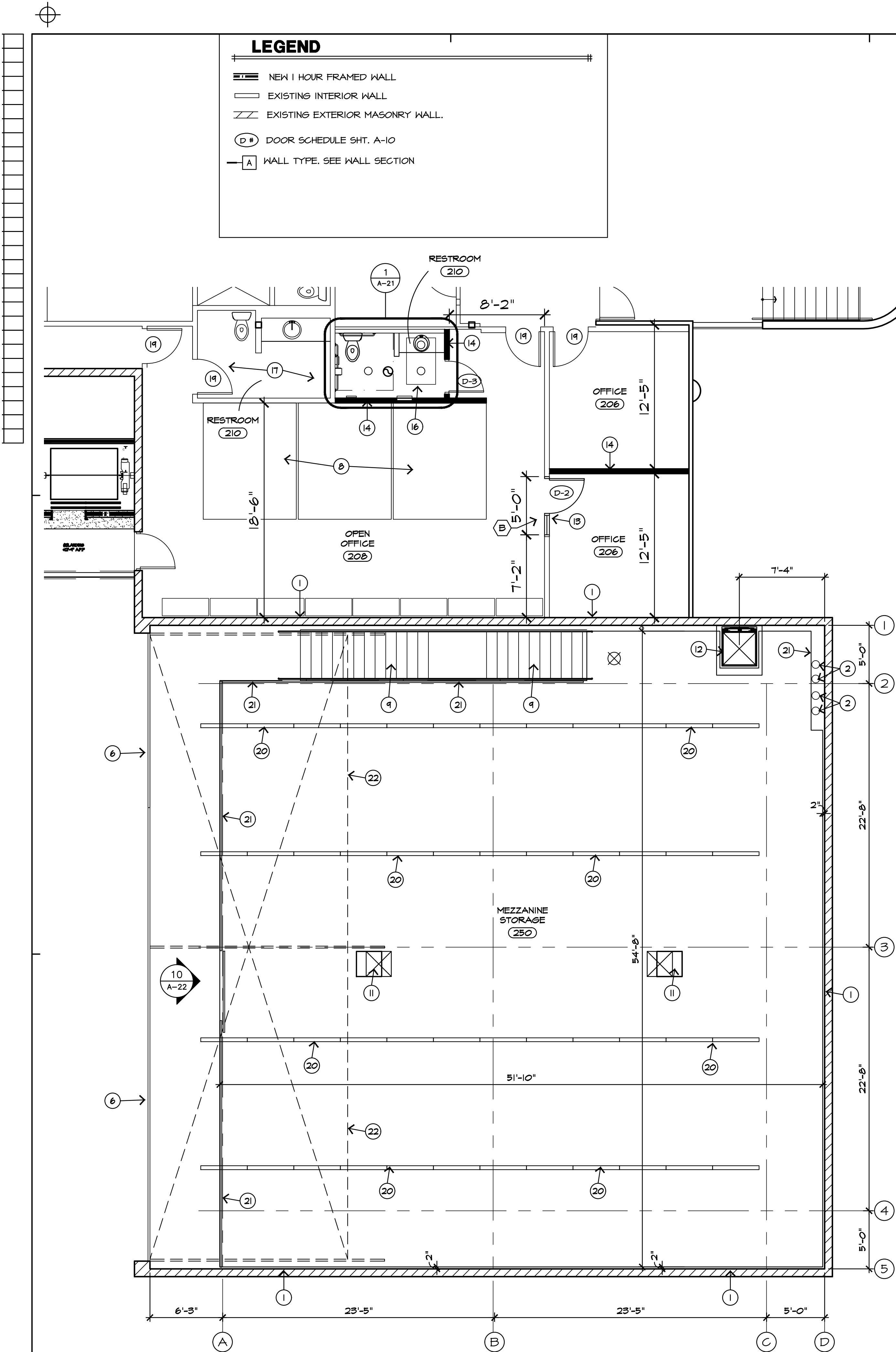
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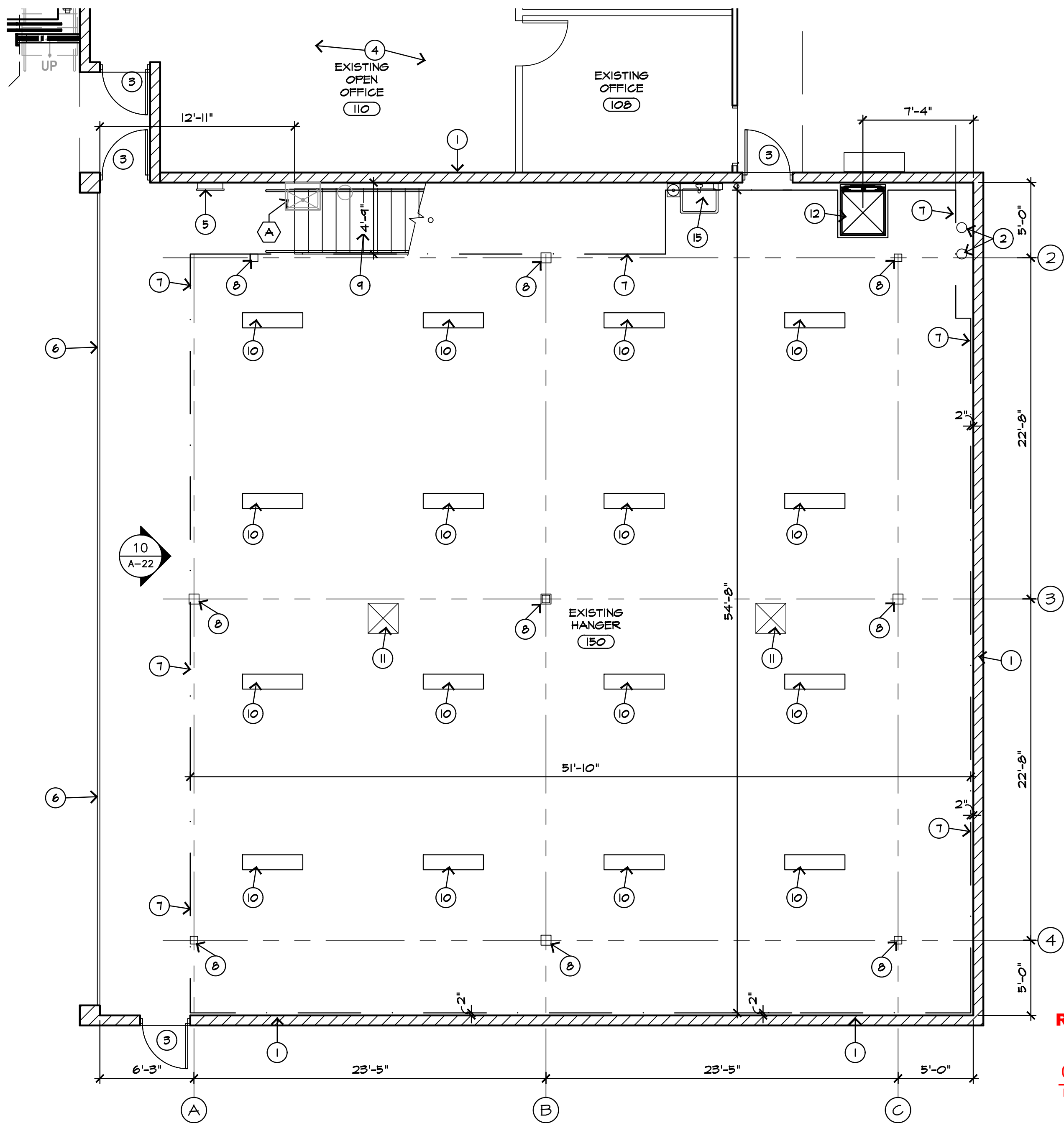
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DETAILS

A-12



2 PARTIAL GARAGE PLAN - SECOND FLOOR
SCALE: 3/16" = 1'-0"



1 PARTIAL GARAGE PLAN - FIRST FLOOR
SCALE: 3/16" = 1'-0"

LEGEND

- NEW 1 HOUR FRAMED WALL
- EXISTING INTERIOR WALL
- EXISTING EXTERIOR MASONRY WALL
- DOOR SCHEDULE SHT. A-10
- WALL TYPE. SEE WALL SECTION

KEYNOTES

- EXISTING MASONRY WALL TO REMAIN.
- EXISTING ROOF DRAINS TO REMAIN
- EXISTING EXIT DOORWAYS TO REMAIN
- EXISTING CONDITION TO REMAIN
- EXISTING ELECTRICAL PANEL TO REMAIN.
- EXISTING BI-FOLD HANGER GARAGE DOOR AND TRACKS TO REMAIN IN OPERATION.
- LINE OF NEW STEEL FRAMED MEZZANINE ABOVE. SEE STRUCTURAL
- NEW STEEL COLUMN AND FOOTING FOR 2ND LEVEL MEZZANINE.
- NEW STEEL STAIRCASE AND RAILING.. SEE STRUCTURAL
- NEW CHAIN HUNG HANGER LIGHTING FROM NEW STRUCTURE ABOVE.
- LINE OF NEW MECHANICAL SUPPLY DROPS THROUGH MEZZANINE. PROVIDE OPENING AS REQUIRED. ALIGN DUCT WORK WITH EXISTING OPENING ON ROOF AND FRAMING OF MEZZANINE
- NEW GROUND MOUNTED ELECTRIC VERTICAL BOX LIFT EXTENDED THROUGH MEZZANINE FRAMING. PFLOW INDUSTRIES B SERIES BOX LIFT OR EQUAL..
- NEW INTERIOR DOOR WITH FULL HEIGHT SIDE LITE PANEL. SEE DOOR SCHEDULE. DOOR FINISH TO MATCH EXISTING OFFICE STANDARDS.
- NEW 2X4 AT 16" O.C. METAL FRAMED INTERIOR WALL WITH GYP. BOARD FINISH ON EACH SIDE.
- AREA OF RELOCATED UTILITY SINK. SEE PLUMBING DRAWINGS.
- AREA OF NEW RESTROOM. SE ENLARGED PLAN.
- EXISTING RESTROOM TO REMAIN
- AREA OF PROPOSED FURNITURE WORK STATION.
- EXISTING INTERIOR DOOR AND FRAME TO REMAIN.
- EXISTING CEILING MOUNTED LIGHTING TO REMAIN. SEE ELECTRICAL DRAWINGS
- NEW 42" HIGH GUARD RAILING AT EDGE OF MEZZANINE.
- LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION. PROVIDE PERMANENT STOP ON TRACK TO PREVENT GARAGE DOOR FROM OPENING TO FAR.

DEMOLITION KEYNOTES

- EXISTING UTILITY SINK TO BE REMOVED AND RELOCATED. SEE PLUMBING..
- PROVIDE OPENING IN EXISTING METAL FRAMED WALL FOR NEW DOORWAY AND SIDELITE.

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SCALE: 3/16" = 1'-0"
0' 3' 6' 12'

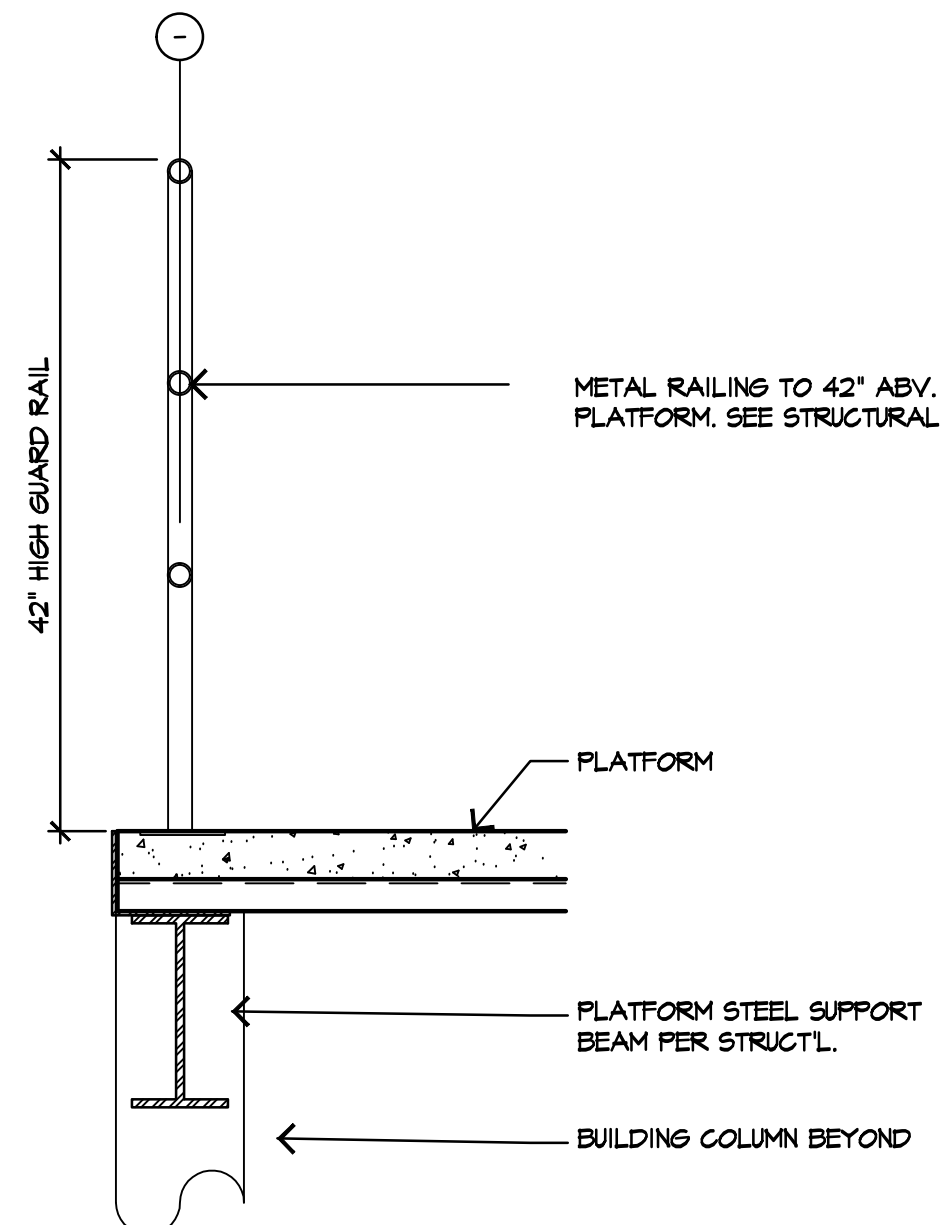


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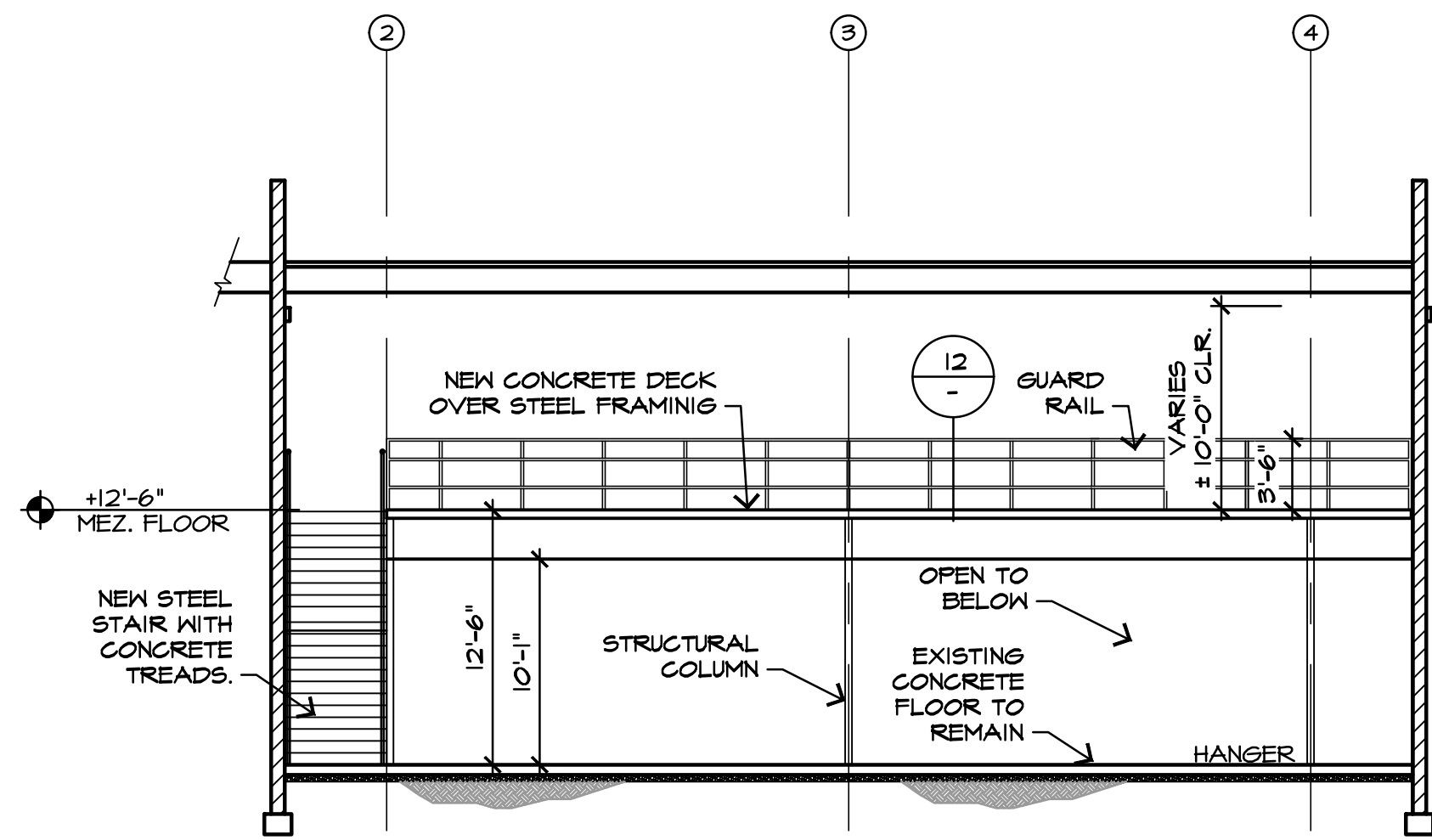
ENLARGED GARAGE PLANS

A-20

11



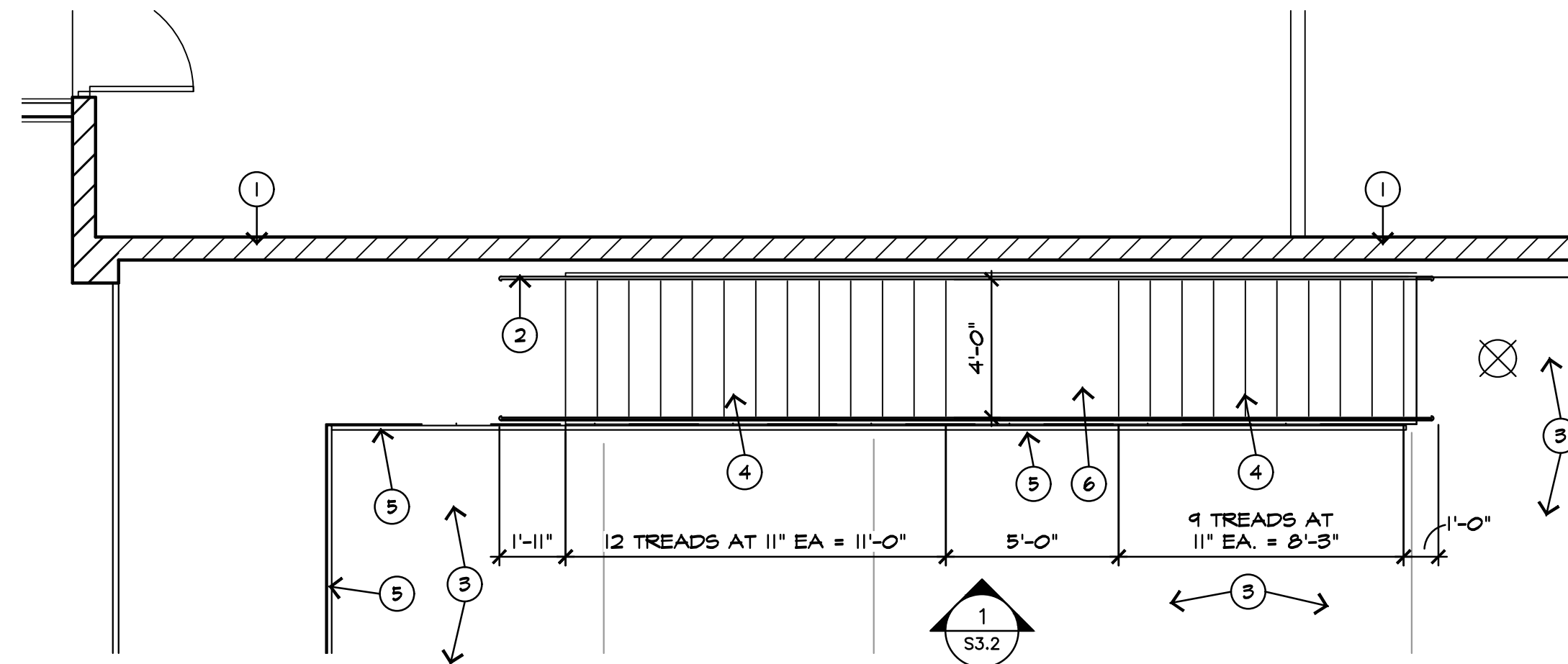
12 MEZZANINE RAILING
SCALE: 1" = 1'-0" MEZZ RAILING 02



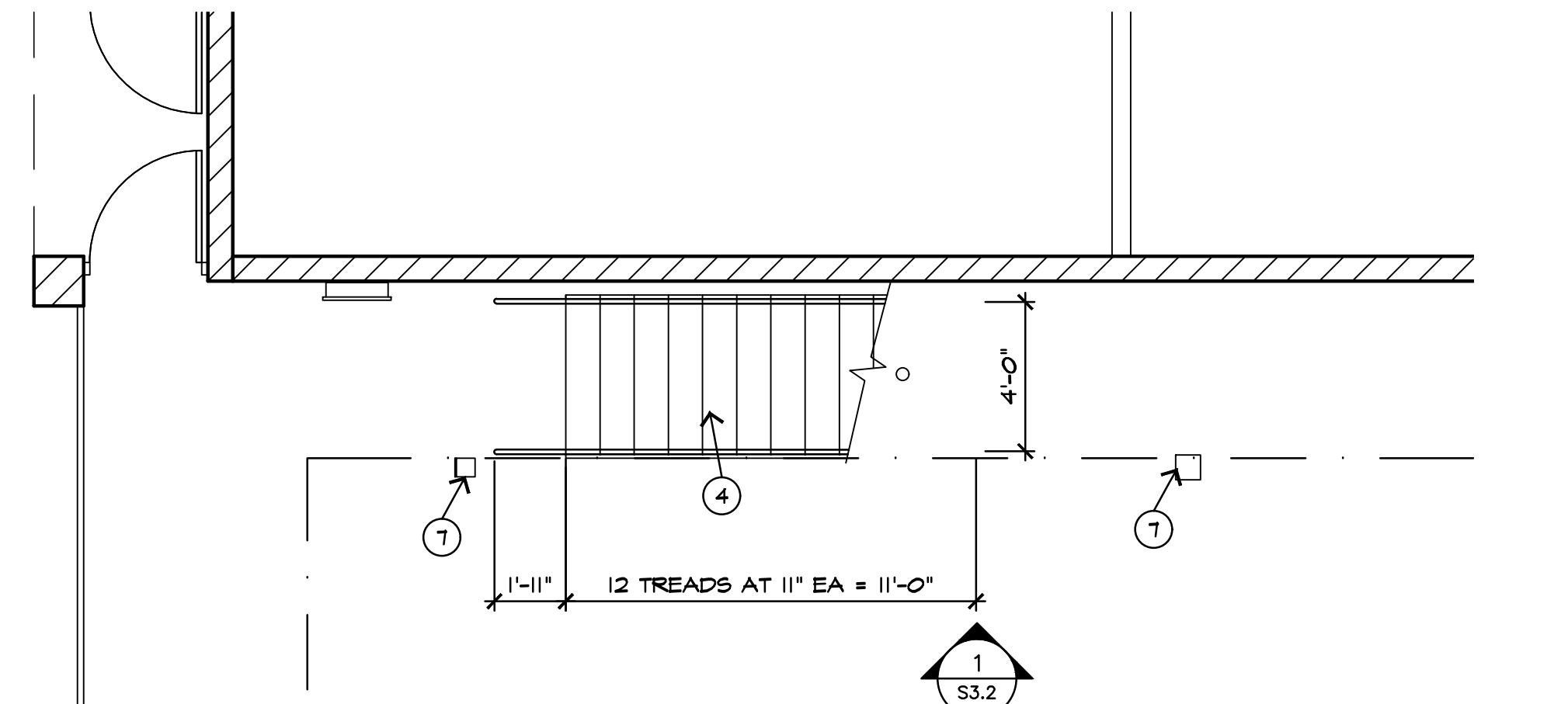
10 ELEVATION AT PLATFORM STRAIRS
SCALE: 1/8" = 1'-0" 12-MECH ELEV

6

3



2 ENLARGED PLAN - STAIR #1 - SECOND LEVEL
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - STAIR #1 - GROUND FLOOR
SCALE: 1/4" = 1'-0"

KEYNOTES

- EXISTING MASONRY WALL TO REMAIN.
- NEW CONTINUOUS HAND RAIL AT 34" HEIGHT.
- NEW MEZZANINE CONCRETE FLOOR. SEE STRUCTURAL DRAWINGS.
- PRE-FAB STEEL ACCESS STAIR AND RAILING FOR MEZZANINE ACCESS. 12" STAIR TREADS TO BE NON-SLIP CONCRETE FILLED PAN WITH RUBBER MAT FINISH. SEE STRUCTURAL DRAWINGS AND SHOP DRAWINGS AT TIME OF FABRICATION.
- CONT. 42" HIGH STEEL GUARD RAIL. PROVIDE SLIDING ACCESS GATE AT EDGE FOR EQUIPMENT/SUPPLY LOADING. SEE STRUCTURAL DRAWINGS FOR CONNECTION. G.C. TO PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.
- STAIR LANDING. SEE STRUCTURAL DRAWINGS.
- STRUCTURAL STEEL COLUMN. PAINTED

GENERAL NOTES

- A. SAW CUT AND REMOVAL: ANY TRENCHING OR CONCRETE REPLACEMENT SHALL BE RE-POURED WITH 4,000 PSI CONCRETE FLUSH WITH SURROUNDING SURFACES. PROVIDE #4 DOWELS AT 24" O.C. WITH 4" MIN. EMBEDMENT INTO NEIGHBORING SLABS TO PREVENT SETTLING.

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SCALE: 3/16" = 1'-0"
0' 3' 6' 12'



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ENLARGED PLAN - STAIR #1

A-22