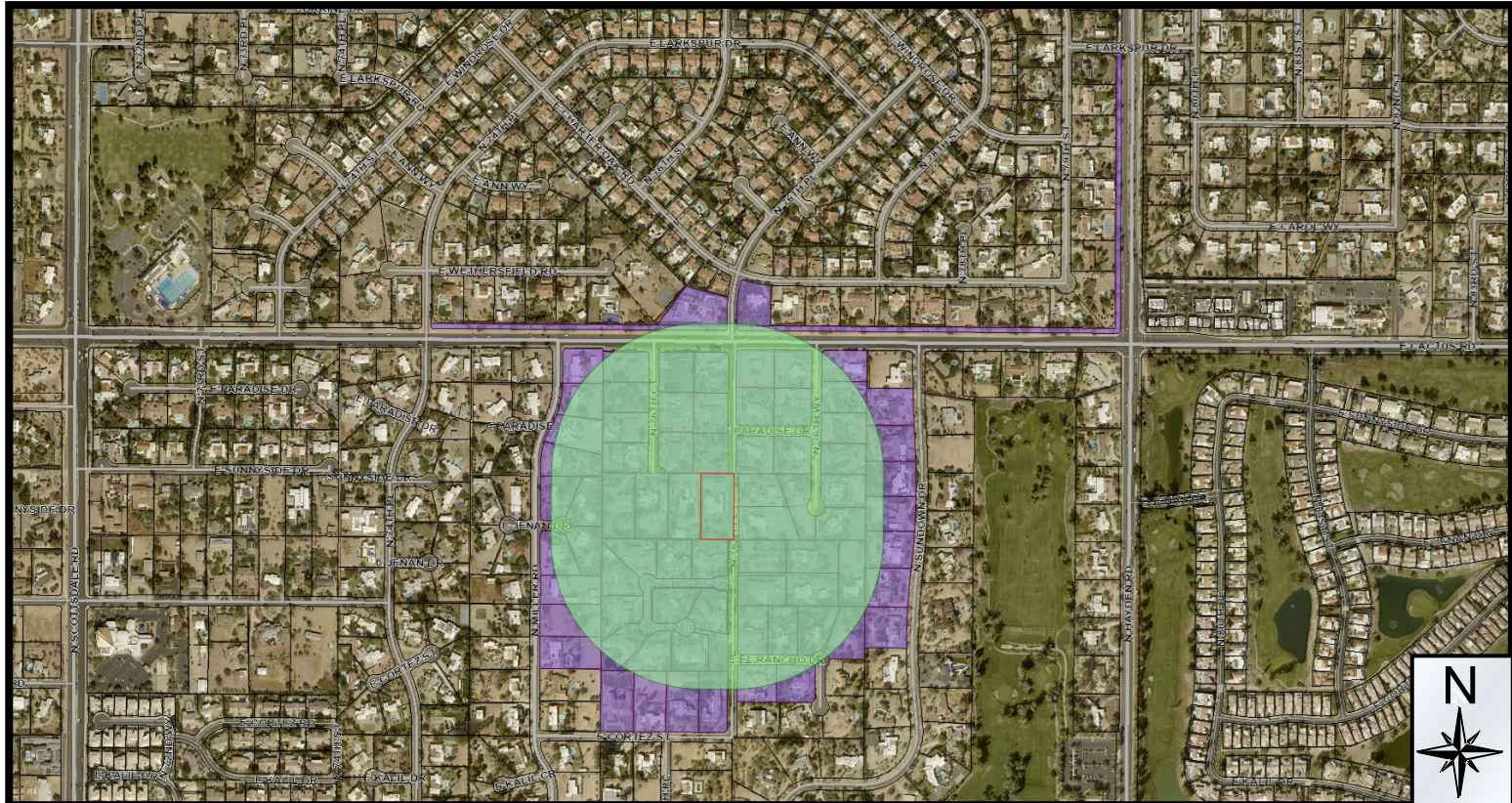


APN	Owners Name	Site Address	Zip Code
175-16-052	PORTALES DEL SOL HOMEOWNERS ASSOC	11720 N 76TH PL	85260
175-16-036	MURPHY DANIEL D/KATHLEEN M	12075 N 76TH CT	85260
175-15-009	11634 SUNDOWN LLC	11634 N SUNDOWN DR	85260
175-16-010B	CLAUS SCOT/WENDY	11811 N 76TH PL	85260
175-15-015	HALLIGAN LOIS B TR	12030 N SUNDOWN DR	85260
175-17-018B	DAVIS LOUIS I/LYNN M	11841 N MILLER RD	85260
175-16-049	JEFFREY AND TANYA THIESSEN FAMILY TRUST	7647 E POINSETTIA DR	85260
175-16-027	PERRY BRENT A/JO B	7641 E PARADISE DR	85260
175-16-024	JOHN AND GAIL MAHLER TRUST	12015 N 76TH WY	85260
175-16-050	J & L GEMS WHOLESALE INC	7652 E POINSETTIA DR	85260
175-16-034	CONNORS FAMILY TRUST	12100 N 76TH CT	85260
175-16-009G	ONEILL JOSEPH EUGENE TR	11836 N 76TH WY	85260
175-16-010M	JOHNSTON STEPHANIE	11815 N 76TH PL	85260
175-16-055	PORTALES DEL SOL HOMEOWNERS ASSOC	0 N 76TH CT	85260
175-16-030	SONDERS FAMILY TRUST	7655 E CACTUS RD	85260
175-16-012C	FIORENZA IGNATIUS C/MARLENE D TR	11990 N 76TH CT	85260
175-09-183	HOLMES FAMILY TRUST	12210 N 76TH PL	85260
175-15-053	FINGER REVOCABLE TRUST	7696 E EL RANCHO DR	85260
175-17-006	NEWMAN PAUL/STACEY	12001 N MILLER RD	85260
175-16-012B	MIAD INVESTMENTS LLC	7627 E SUNNYSIDE DR	85260
175-15-051	LANE FAMILY LIVING TRUST	7666 E EL RANCHO DR	85260
175-17-003	HOWELL WILBUR W/JEAN M	12039 N MILLER RD	85260
175-16-029	SEARLES CRHISTOPHER M/LORA S TR	7620 E PARADISE DR	85260
175-16-009E	KUMAR RAJESH/SISAUDIA ALICIA P	11823 N 76TH WY	85260
175-16-043	HOFFMAN LOUIS J/KATHY J TR	7638 E CHOLLA DR	85260
175-16-051	WILLIAMS LIVING TRUST	7640 E POINSETTIA DR	85260
175-15-011	ADARMES DEMITRI A	11822 N SUNDOWN DR	85260
175-16-045	PETERSON MARK/CHANTEL	11794 N 76TH CT	85260
175-16-010K	WISSER HARRY J/CHARLENE I	11805 N 76TH PL	85260
175-15-052	BROUHARD JAMES A/EDRA K	7686 E EL RANCHO DR	85260
175-16-040	MIAD INVESTMENTS LLC	12120 N 76TH PL	85260
175-15-012	RAY FAMILY TRUST	11834 N SUNDOWN DR	85260
175-16-041	RAGSDALE LINCOLN JR TR	12070 N 76TH PL	85260
175-16-028	HOGG FAMILY TRUST	7602 E PARADISE DR	85260
175-17-022	ANDERSON RICHARD L/CHERYL L	11801 N MILLER RD	85260
175-16-009J	FISHER FAMILY TRUST	11835 N 76TH PL	85260
175-16-010L	HANNA MICHAEL W/JUANITA L	11819 N 76TH PL	85260
175-17-004	EVERLASTING DEVELOPERS LLC	12027 N MILLER RD	85260
175-16-023	RAMSAY DOUGLAS G/SHERI R	12027 N 76TH WY	85260
175-15-048C	RANDY AND TERESA COOPER FAMILY TRUST	7602 E CORTEZ ST	85260
175-16-035	WEISS JONATHAN M/ALICIA TR	12070 N 76TH CT	85260
175-28-068	PREZKOP THOMAS/STRAUEL KURTIS/JENNIFER A	11649 N MILLER RD	85260
175-15-048H	MCDANIEL R WARD	7622 E CORTEZ ST	85260
175-09-182	JEFFREY IAN F/ASHLEY ANGELA F TR	7711 E CHARTER OAK RD	85260
175-16-048	BUTT MICHAEL W/ALICIA E TR	7635 E POINSETTIA DR	85260
175-16-032	CHOE FAMILY TRUST	12180 N 76TH CT	85260

175-16-033	BEACH JEFFREY A	12140 N 76TH CT	85260
175-16-044	BLOU TRUST	7626 E CHOLLA DR	85260
175-16-053	PORTALES DEL SOL HOMEOWNERS ASSOC	0 N 76TH CT	85260
175-17-021	WILLIAM L BROWN REVOCABLE TRUST	7611 E JENAN DR	85260
175-16-025	CHASE DOUGLAS G/PAULINE F	12001 N 76TH WY	85260
175-16-012A	CHILDS STEVEN S/SEIFRIED NANCY	11850 N 76TH PL	85260
175-09-261	SCOTTSDALE CITY OF	E CACTUS RD	85260
175-16-010N	DEMARK EVAN R/GINNELLI DELROSARIO-	11801 N 76TH PL	85260
175-16-022	SPRENGER MARNIE A	7667 E CACTUS RD	85260
175-15-048G	LN4 HOLDINGS LLC/6438 LLC	7650 E CORTEZ ST	85260
175-16-026	SCHAFFNER DONALD L TR	7655 E PARADISE DR	85260
175-16-039	ATALLAH DEIF N/HOBIN KAREN L	12170 N 76TH PL	85260
175-15-058	TANASY DIMITRY/ADUTA	7665 E EL RANCHO DR	85260
175-17-005	BLOUM CECE	12015 N MILLER RD	85260
175-17-020	JACKSON GREG THOMAS	7601 E JENAN DR	85260
175-16-054	PORTALES DEL SOL HOMEOWNERS ASSOC	0 N 76TH PL	85260
175-16-012D	JPP TRUST	12050 N 76TH CT	85260
175-16-031	BRANSKI BARTOSZ/HASIC JARINA	12187 N 76TH PL	85260
175-16-037	SCHOLLENBERGER EDWARD/PATRICIA	12125 N 76TH CT	85260
175-16-038	KEHL GARY R/NANCY	12165 N 76TH CT	85260
175-16-042	JORDAN AND BRENDA THIESSEN FAMILY TRUST	7650 E CHOLLA DR	85260
175-09-262	SCOTTSDALE CITY OF	E CACTUS RD	85260
175-16-009K	FISHER FAMILY TRUST	11825 N 76TH PL	85260
175-15-013	BB BENTLEY HOLDINGS INC	12004 N SUNDOWN DR	85260
175-16-047	FRAME DARREN R/REBECCA L TR	11730 N 76TH CT	85260
175-17-019B	TRAVELLE CHRISTOPHER J/KATHRYN E	7612 E JENAN DR	85260
175-15-047E	SUSAN C SCHIRM TRUST	7676 E EL RANCHO DR	85260
175-15-010	DICKERSON FAMILY TRUST	11804 N SUNDOWN DR	85260
175-16-046	STAMATIS FAMILY TRUST	11762 N 76TH CT	85260
175-16-009D	MCDONALD ROSS A/MARJEANNE G	11835 N 76TH WY	85260
175-28-070	MINKLE WILLIAM E/JILL E	11633 N MILLER RD	85260
175-15-048E	RILEY ROBERT D/EIKE K	7636 E CORTEZ ST	85260
175-15-057	PHILIPS JOHN C & PAMELA K TR	7675 E EL RANCHO DR	85260
175-15-014	ZUBICK DAVID THOMAS	12018 N SUNDOWN DR	85260

City Notifications – Mailing List Selection Map

Childs Variance Request



Additional Notifications:

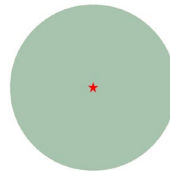
Interested Parties List
Adjacent HOA's
P&Z E-Newsletter
Facebook
Nextdoor.com
City Website-Projects in the hearing process

Pulled Labels
June 15, 2022

Map Legend:



Site Boundary



Properties within 750-feet

Postcards: **294**

4-BA-2022



Affidavit of Posting

Office of the City Clerk

STATE OF ARIZONA)
) ss
COUNTY OF MARICOPA)

I, Caitlyn Gulsvig, being first duly sworn, depose and say:

That on June 21, 2022, I posted notification poster(s) for the properties indicated below.

Site(s) must be posted on or before: June 21, 2022

Case No.	Description and Location of Project	No. of Signs	Date Posted
3-BA-2022	Jahaans Variance Request, 5625 N Woodmere Fairway	1	06/21/22
4-BA-2022	Childs Variance Request, 11850 N 76 th Pl	1	06/21/22
5-BA-2022	Koo Variance Request, 13647 N 87th St	1	06/21/22

Date of Board of Adjustment Public Meeting: July 6, 2022, AT 6:00 P.M.

Caitlyn Gulsvig
(Signature)

Acknowledged this 21st day of JUNE 2022.

Lorraine Castro
(Notary Public)
My commission expires 11/15/2024



Planning and Development Services

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088

PUBLIC HEARING NOTICE

REQUEST: Request by owner for variances to the City of Scottsdale Zoning Ordinance Section 5.204.A pertaining to the minimum lot area and Section 5.204.E.3 pertaining to the required rear yard setback, for a property located at 13647 N. 87th Street, with Single-family Residential (R1-35) zoning.

CASE#: 5-BA-2022

DATE: July 6, 2022

HEARING DATES AND LOCATIONS ARE SUBJECT TO CHANGE. PLEASE CHECK OUR WEBSITE FOR LATEST INFORMATION.

HEARING WILL BE HELD AT:

COMMUNITY DESIGN STUDIO
7506 E. INDIAN SCHOOLS RD.

YOUR COMMENTS ABOUT THIS REQUEST MUST BE MADE 24 HOURS PRIOR TO THE ABOVE DATE. IF YOU WISH TO SPEAK AT THIS MEETING, PLEASE ARRIVE EARLY TO FILL OUT A COMMENT CARD TO SPEAK.

<https://www.scottsdale.gov/boardofadjustment>



480-312-7767

POSTING DATE:

JUNE 21, 2022

6:00 P.M.

BOARD OF ADJUSTMENT

<https://eservices.scottsdale.gov/boardsandcommittees/Cases>

PUBLIC HEARING NOTICE

REQUEST:

Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.204.E.1.a, pertaining to the required front yard setback, Section 5.204.E.3, pertaining to the required rear yard setback, and Section 5.204.G, pertaining to the allowable wall height within a required front yard setback on a property located at 11850 N. 76th Place with Single-family Residential (R1-35) zoning.



Scan and view request

CASE#: 4-BA-2022

DATE: July 6, 2022

HEARING WILL BE HELD AT:

COMMUNITY DESIGN STUDIO
7506 E. INDIAN SCHOOLS RD.

HEARING DATES AND LOCATIONS ARE
SUBJECT TO CHANGE. PLEASE CHECK OUR
WEBSITE FOR LATEST INFORMATION.

YOUR COMMENTS ABOUT THIS REQUEST MUST BE SUBMITTED PRIOR TO THE HEARING DATE.
IF YOU WISH TO SPEAK AT THE HEARING, PLEASE ARRIVE EARLY TO GET OUT A COMMENT CARD
TO SPEAK.

<https://www.scottsdale.gov/boardofadjustment>



480-312-7767

6:00 P.M.

POSTING DATE:

JUNE 21, 2022

BOARD OF ADJUSTMENT

<https://www.scottsdale.gov/boardofadjustment>

PUBLIC HEARING NOTICE

REQUEST: Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.404.E.1.a, pertaining to the required front yard setback, as previously amended under case 3-MN-2022, for a garage enlargement at a property with Single-family Residential (R1-10) zoning located at 5265 N. Woodmere Fairway.



CASE#: 3-BA-2022

HEARING WILL BE HELD AT:

DATE: July 6, 2022

**COMMUNITY DESIGN STUDIO
7506 E. INDIAN SCHOOL RD.**

HEARING DATES AND LOCATIONS ARE
SUBJECT TO CHANGE. PLEASE CHECK OUR
WEBSITE FOR LATEST INFORMATION.

YOUR COMMENTS ABOUT THIS REQUEST MUST BE MADE 24 HOURS PRIOR TO THE HEARING DATE.
IF YOU WISH TO SPEAK AT THIS MEETING, PLEASE ARRIVE EARLY TO FILE OUT A COMMENT CARD
TO SPEAK.

<https://www.scottsdale.gov/boards/board-of-adjustment>



480-312-7767

6:00 P.M.

BOARD OF ADJUSTMENT

POSTING DATE:

JUNE 21, 2022

<https://eservices.scottsdale.gov/boards/boards/Cases>

AFFP

07062022 - Caitlyn

Affidavit of Publication

STATE OF ARIZONA }
COUNTY OF MARICOPA }

SS

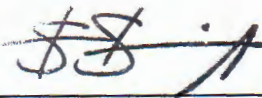
Steve Strickbine, being duly sworn, says:

That he is Steve Strickbine of the Scottsdale Progress, a weekly newspaper of general circulation, printed and published in Scottsdale, Maricopa County, Arizona; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:

June 19, 2022

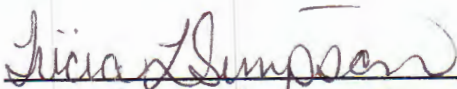
That said newspaper was regularly issued and circulated on those dates.

SIGNED:



Steve Strickbine

Subscribed to and sworn to me this 19th day of June 2022.



Tricia L. Simpson, Office Admin, Maricopa County,

My commission expires: October 14, 2025

00004233 00047318

Lorraine Castro
City of Scottsdale
7447 E Indian School Rd
Scottsdale, AZ 85251



NOTICE OF BOARD OF ADJUSTMENT HEARING

NOTICE IS HEREBY GIVEN the Board of Adjustment of the City of Scottsdale, Arizona, will hold a public hearing on July 6, 2022, at 6:00 P.M in the Community Design Studio, 7506 E. Indian School Road, Scottsdale, Arizona for the purpose of hearing all persons who wish to comment on the following:

3-BA-2022 (Jahaans Variance Request) Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.404.E.1.a, pertaining to the required front yard setback, as previously amended under case 3-MN-2022, for a garage enlargement at a property with Single-family Residential (R1-10) zoning located at 5265 N. Woodmere Fairway. Staff contact person is Wayland Barton, (480) 312-2817. Applicant contact person is Sapna Kochuparambil, (480) 861-4033.

4-BA-2022 (Childs Variance Requests) Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.204.E.1.a, pertaining to the required front yard setback, Section 5.204.E.3, pertaining to the required rear yard setback, and Section 5.204.G, pertaining to the allowable wall height within a required front yard setback on a property located at 11850 N. 76th Place with Single-family Residential (R1-35) zoning. Staff contact person is Wayland Barton, (480) 312-2817. Applicant contact person is Steven Childs, (602) 369-8164.

5-BA-2022 (Koo Variance Request) Request by owner for variances to the City of Scottsdale Zoning Ordinance Section 5.204.A pertaining to the minimum lot area and Section 5.204.E.3 pertaining to the required rear yard setback, for a property located at 13647 N. 87th Street, with Single-family Residential (R1-35) zoning. Staff contact person is Jeff Barnes, (480) 312-2376. Applicant contact person is Tim LaSota, 602-515-2649.

For additional information visit our web site at www.scottsdaleaz.gov search "Scottsdale Planning Case Files" or in your URL search bar you can type in <https://eservices.scottsdaleaz.gov/bldgresources/Cases/>.

A COPY OF A FULL AGENDA, INCLUDING ITEMS CONTINUED FROM PREVIOUS MEETINGS AND ANY MEETING LOCATION UPDATES, IS AVAILABLE AT LEAST 24 HOURS PRIOR TO THE MEETING AT THE FOLLOWING Online at: <https://www.scottsdaleaz.gov/boards/board-of-adjustment>

ALL INTERESTED PARTIES ARE INVITED TO LISTEN/VIEW THIS MEETING.

CHAIRMAN
BOARD OF ADJUSTMENT
Attest

Caitlyn Gulsvig
Planning Specialist

PERSONS WITH A DISABILITY MAY REQUEST A REASONABLE ACCOMMODATION BY CONTACTING THE CLERK'S OFFICE AT (480-312-2412). REQUESTS SHOULD BE MADE 24 HOURS IN ADVANCE, OR AS EARLY AS POSSIBLE TO ALLOW TIME TO ARRANGE ACCOMMODATION. FOR TTY USERS, THE ARIZONA RELAY SERVICE (1-800-367-8939) MAY CONTACT THE CLERK'S OFFICE AT (480-312-2412).

Published: The Scottsdale Progress, Jun 19, 2022 / 47318

THE ARIZONA REPUBLIC

PO Box 194, Phoenix, Arizona 85001-0194
Phone 1-602-444-7315 Fax 1-877-943-0443

STATE OF WISCONSIN

SS.

COUNTY OF BROWN

CITY OF SCOTTSDALE
City Clerk's Office
3939 N DRINKWATER BLVD
SCOTTSDALE, AZ 85251

I, being first duly sworn, upon oath deposes and says: That I am the legal clerk of the Arizona Republic, a newspaper of general circulation in the counties of Maricopa, Coconino, Pima and Pinal, in the State of Arizona, published weekly at Phoenix, Arizona, and that the copy hereto attached is a true copy of the advertisement published in the said paper on the dates indicated.

Publication: Arizona Republic Zone 8

Ad number: GCI0899924

PO Field: Board of Adjustment Hearing

Published Date(s):

06/18/2022

Manah Verhage

Sworn to before me this

18th day of
June, 2022

Notary Public

My Commission Expires on

9/19/25

VICKY FELTY
Notary Public
State of Wisconsin

AFFIDAVIT OF PUBLICATION

NOTICE OF BOARD OF ADJUSTMENT HEARING

NOTICE IS HEREBY GIVEN the Board of Adjustment of the City of Scottsdale, Arizona, will hold a public hearing on July 6, 2022, at 6:00 P.M. in the Community Design Studio, 7506 E. Indian School Road, Scottsdale, Arizona for the purpose of hearing all persons who wish to comment on the following:

3-BA-2022 (Jahaans Variance Request) Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.404.E.1.a, pertaining to the required front yard setback, as previously amended under case 3-MN-2022, for a garage enlargement at a property with Single-family Residential (R1-10) zoning located at 5265 N. Woodmere Fairway. Staff contact person is Wayland Barton, (480) 312-2817. Applicant contact person is Sapna Kochuparambil, (480) 861-4033.

4-BA-2022 (Childs Variance Requests) Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.204.E.1.a, pertaining to the required front yard setback, Section 5.204.E.3, pertaining to the required rear yard setback, and Section 5.204.G, pertaining to the allowable wall height within a required front yard setback on a property located at 11850 N. 76th Place with Single-family Residential (R1-35) zoning. Staff contact person is Wayland Barton, (480) 312-2817. Applicant contact person is Steven Childs, (602) 369-8164.

5-BA-2022 (Koo Variance Request) Request by owner for variances to the City of Scottsdale Zoning Ordinance Section 5.204.A pertaining to the minimum lot area and Section 5.204.E.3 pertaining to the required rear yard setback, for a property located at 13647 N. 87th Street, with Single-family Residential (R1-35) zoning. Staff contact person is Jeff Barnes, (480) 312-2376. Applicant contact person is Tim LaSota, 602-515-2649.

For additional information visit our web site at www.scottsdaleaz.gov/search/ScottsdalePlanningCaseFiles/ or in your URL search bar you can type in <https://eservices.scottsdaleaz.gov/bldgresources/Cases/>.

A COPY OF A FULL AGENDA, INCLUDING ITEMS CONTINUED FROM PREVIOUS MEETINGS AND ANY MEETING LOCATION UPDATES, IS AVAILABLE AT LEAST 24 HOURS PRIOR TO THE MEETING AT THE FOLLOWING

Online at: <https://www.scottsdaleaz.gov/boards/board-of-adjustment>

ALL INTERESTED PARTIES ARE INVITED TO LISTEN/VIEW THIS MEETING.

CHAIRMAN
BOARD OF ADJUSTMENT

Attest
Caitlyn Gulsvig
Planning Specialist

For additional information visit our web site at www.scottsdaleaz.gov/boards/board-of-adjustment

 Persons with a disability may request a reasonable accommodation such as a sign language interpreter, by contacting Staff at 480-312-7767. Requests should be made as early as possible to allow time to arrange accommodations. For TTY users, the Arizona relay service (1-800-367-8939) may contact Staff at 480-312-7767.

AP-GCI0899924-01



NOTICE OF BOARD OF ADJUSTMENT HEARING

NOTICE IS HEREBY GIVEN the Board of Adjustment of the City of Scottsdale, Arizona, will hold a public hearing on July 6, 2022, at 6:00 P.M in the Community Design Studio, 7506 E. Indian School Road, Scottsdale, Arizona for the purpose of hearing all persons who wish to comment on the following:

- 3-BA-2022** (Jahaans Variance Request) Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.404.E.1.a, pertaining to the required front yard setback, as previously amended under case 3-MN-2022, for a garage enlargement at a property with Single-family Residential (R1-10) zoning located at 5265 N. Woodmere Fairway. Staff contact person is Wayland Barton, (480) 312-2817. **Applicant contact person is Sapna Kochuparambil, (480) 861-4033.**
- 4-BA-2022** (Childs Variance Requests) Request by owner for a variance to the City of Scottsdale Zoning Ordinance, Section 5.204.E.1.a, pertaining to the required front yard setback, Section 5.204.E.3, pertaining to the required rear yard setback, and Section 5.204.G, pertaining to the allowable wall height within a required front yard setback on a property located at 11850 N. 76th Place with Single-family Residential (R1-35) zoning. Staff contact person is Wayland Barton, (480) 312-2817. **Applicant contact person is Steven Childs, (602) 369-8164.**
- 5-BA-2022** (Koo Variance Request) Request by owner for variances to the City of Scottsdale Zoning Ordinance Section 5.204.A pertaining to the minimum lot area and Section 5.204.E.3 pertaining to the required rear yard setback, for a property located at 13647 N. 87th Street, with Single-family Residential (R1-35) zoning. Staff contact person is Jeff Barnes, (480)312-2376. **Applicant contact person is Tim LaSota, 602-515-2649.**

For additional information visit our web site at www.scottsdaleaz.gov search "Scottsdale Planning Case Files" or in your URL search bar you can type in <https://eservices.scottsdaleaz.gov/bldgresources/Cases/>.

A COPY OF A FULL AGENDA, INCLUDING ITEMS CONTINUED FROM PREVIOUS MEETINGS AND ANY MEETING LOCATION UPDATES, IS AVAILABLE AT LEAST 24 HOURS PRIOR TO THE MEETING AT THE FOLLOWING

Online at: <https://www.scottsdaleaz.gov/boards/board-of-adjustment>

ALL INTERESTED PARTIES ARE INVITED TO LISTEN/VIEW THIS MEETING.

CHAIRMAN
BOARD OF ADJUSTMENT

Attest
Caitlyn Gulsvig
Planning Specialist

For additional information visit our web site at www.scottsdaleaz.gov/boards/board-of-adjustment



Persons with a disability may request a reasonable accommodation such as a sign language interpreter, by contacting Staff at 480-312-7767. Requests should be made as early as possible to allow time to arrange accommodations. For TTY users, the Arizona relay service (1-800-367-8939) may contact Staff at 480-312-7767.