

LEGAL DESCRIPTION

THAT PORTION OF LOTS 1 AND 2, OF SCOTTSDALE OSBORN PLAZA AMENDED, ACCORDING TO BOOK 179 OF MAPS, PAGE 45; THEREAFTER AFFIDAVIT OF CORRECTION RECORDED IN DOCKET 11372, PAGE 500 AND IN RECORDING NO. 2004-1449076, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2;

THENCE SOUTH 00 DEGREES 01 MINUTE 25 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 121.78 FEET;

THENCE SOUTH 89 DEGREES 58 MINUTES 35 SECONDS WEST, A DISTANCE OF 240.10 FEET TO THE SOUTHEAST CORNER OF THE PROPERTY DESCRIBED IN INSTRUMENT RECORDED IN DOCKET 11594, PAGE 834, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH, A DISTANCE OF 142.11 FEET ALONG THE EAST LINE OF THE LAST REFERENCED PROPERTY TO THE SOUTHWEST CORNER OF THE PROPERTY DESCRIBED IN DEED RECORDED IN DOCKET 12434, PAGE 816, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 89 DEGREES 58 MINUTES 35 SECONDS EAST, A DISTANCE OF 158.15 FEET ALONG THE SOUTH LINE OF THE LAST REFERENCED PROPERTY TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE NORTHEAST AND WHOSE RADIUS POINT BEARS NORTH 81 DEGREES 01 MINUTE 38 SECONDS EAST, A DISTANCE OF 45.00 FEET;

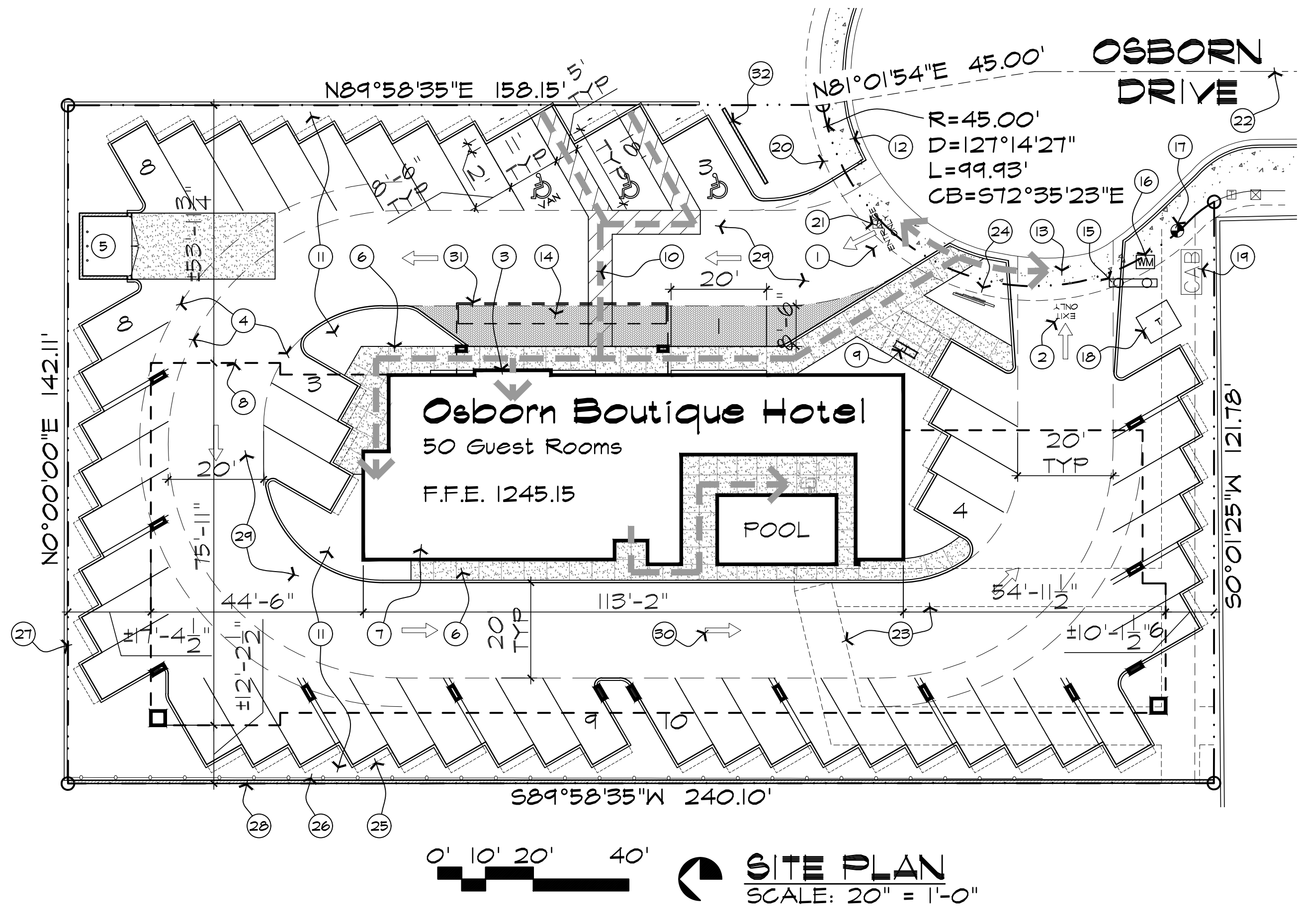
THENCE SOUTHEASTERLY ALONG THE ARC OF SAID LAST MENTIONED CURVE THROUGH A CENTRAL ANGLE OF 127 DEGREES 14 MINUTES 15 SECONDS, A DISTANCE OF 99.93 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST AND WHOSE RADIUS POINT BEARS SOUTH 46 DEGREES 12 MINUTES 37 SECONDS EAST, A DISTANCE OF 20.00 FEET;

THENCE NORTHEASTERLY ALONG THE ARC OF THE LAST MENTIONED CURVE THROUGH A CENTRAL ANGLE OF 18 DEGREES 15 MINUTES 25 SECONDS, A DISTANCE OF 6.37 FEET TO THE POINT OF BEGINNING.

APPLICABLE CODES

WITH CITY OF SCOTTSDALE AMENDMENTS;

- 2015 IFC - ORD. 4283
- 2015 IBC - ORD. 4284
- 2015 IRC
- 2015 IMC
- 2015 IFC
- 2015 IFGC
- 2015 IECC
- 2015 IEBC
- 2015 IGCC
- 2014 NEC



KEYNOTES

1. NEW ONE-WAY ENTRY DRIVE.
2. NEW ONW-WAY EXIT DRIVE.
3. MAIN LOBBY ENTRANCE.
4. FIRE TRUCK TURNING RADIUS 25' (INT'R), 49' RADIUS (EXT'R), 55' (BUCKET SWING).
5. REFUSE ENCLOSURE W/ OPAQUE GATE, PER COS DTL. 2146-1/SD501.
6. CONC. SIDEWALK (TYP).
7. FIRE RISER ROOM.
8. LINE OF SECOND FLOOR ABOVE.
9. BIKE PARKING FOR (6) BIKES, PER COS DTL. 2285/SD501.
10. SHADED DASHED LINE INDICATES ADA ACCESSIBLE ROUTE (TYP).
11. LANDSCAPE AREA (TYP).
12. (EX) STREET CONC SIDEWALK & CURB.
13. (EX) CONC DRIVEWAY TO BE REMOVED - FIELD VERIFY.
14. CONCRETE PAVING, SEE CIVIL DWGS.
15. (EX) BACKFLOW PREVENTER.
16. (EX) WATER METER.
17. (EX) FIRE HYDRANT.
18. NEW TRANSFORMER PAD.
19. (EX) ELEC CABINET.
20. (EX) 4' P.U.E.
21. (EX) TELEPHONE PEDESTAL TO BE RELOCATED.
22. CENTERLINE OF STREET.
23. (EX) 8' UTIL. EASEMENT TO BE ABANDONED.
24. NEW MONUMENT SIGN.

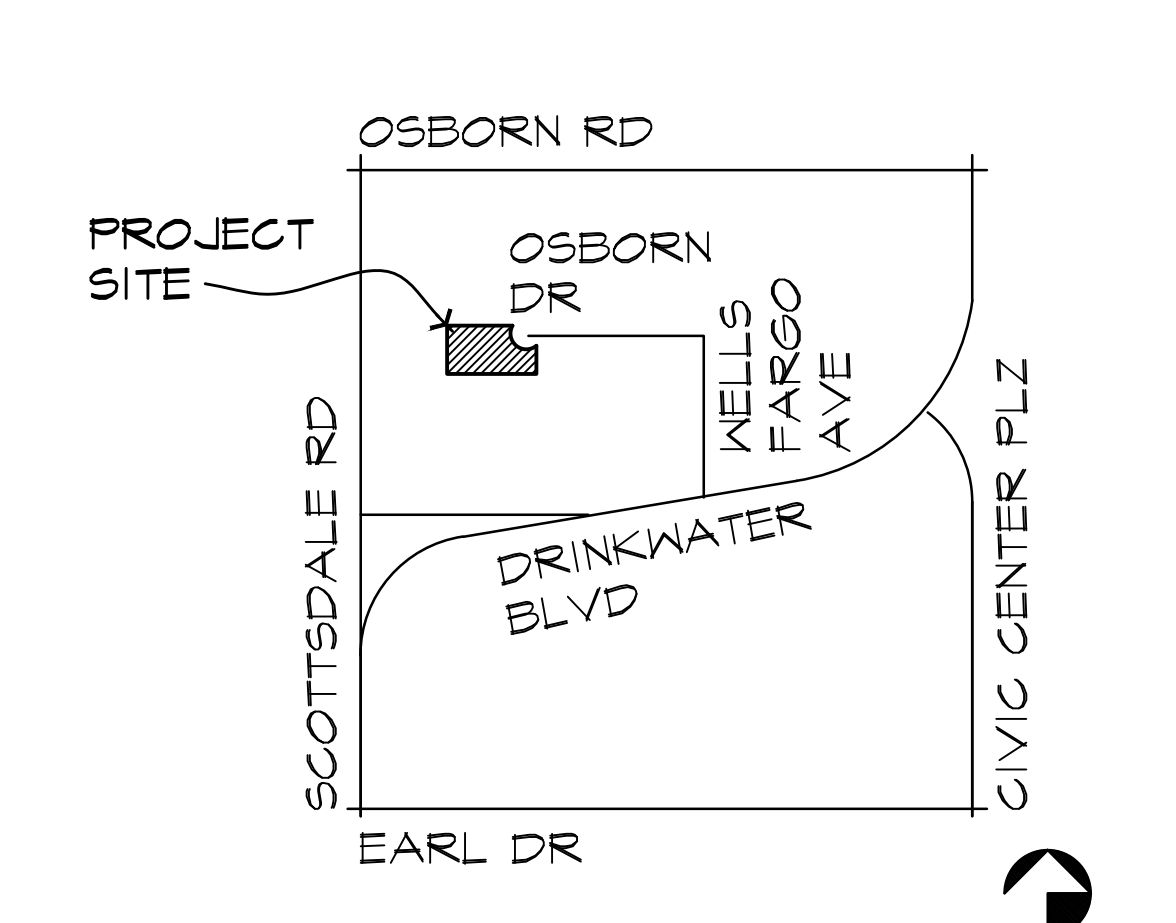
25. LINE OF PARKING OVERHANG.
26. (EX) CHAINLINK FENCE TO BE REMOVED.
27. (EX) 6' HIGH CMU SITE WALL TO REMAIN.
28. NEW 6' HIGH CMU SITE WALL TO MATCH (EX), PAINT COLOR TO MATCH BLDG.
29. ASPHALT DRIVEWAY.
30. PAINTED TRAFFIC DIRECTIONAL SYMBOL.
31. LINE OF PORTICO ABOVE.
32. 3' HIGH, 8" WIDE CMU W/ PAINTED STUCCO FINISH SCREEN WALL.

SITE DATA

OWNER:	JAY OLSON P.O. BOX 207 FLAGSTAFF, AZ 86002 PHONE: 928-380-0650 EMAIL: jolson1235@yahoo.com
PROJECT ADDRESS:	7321 E. OSBORN DRIVE SCOTTSDALE, ARIZONA 85251
PROJECT DESCRIPTION:	A NEW 50 GUEST ROOMS LIMITED SERVICE HOTEL, 3 STORY WOOD FRAMED CONSTRUCTION. BUILDING AMENITIES INCLUDE "FOR GUEST ONLY" - OUTDOOR POOL, SMALL MEETING RM, FITNESS, BUSINESS CENTER, LIVING/BREAKFAST AREA & BAR. A PRIVATE DECK W/ JACUZZI PROVIDED ON LEVEL 2.
PARCEL #	130-21-013E & 130-21-014D
ZONING:	C-3
GROSS SITE AREA:	31,641 S.F. OR 0.726 ACRES
NET SITE AREA:	31,641 S.F. OR 0.726 ACRES
OCCUPANCY CLASSIFICATION:	MIXED - SEPARATED
OCCUPANCY GROUPS:	R-1 (HOTEL-TRANSIENT), A-2, A-3, B, S-2
CONSTRUCTION TYPE:	VA (SPRINKLERED), NFPA 13, NFPA 72 (FIRE ALARM)
BUILDING AREA:	GROUND FLOOR = 3,483 S.F. 2nd FLOOR = 15,070 S.F. 3rd FLOOR = 12,081 S.F. TOTAL = 30,634 S.F.
	PORTICO = 652 S.F.
LOT COVERAGE:	= 15,070 + 652 = 15,722 / 31,641 = 49.69%
BUILDING HEIGHT:	3 STORIES (36'), 36' ALLOWED
F.A.R. ALLOWED:	= 0.8 OF NET SITE AREA = 0.8 x 31,641 = 25,313 S.F. MAX. = 30,634 / 31,641 = 0.97
PARKING REQUIRED:	= 1 PER GUEST ROOM = 1 x 50 = 50 SPACES
PARKING PROVIDED:	REGULAR 49 SPACES ACCESSIBLE 2 SPACE VAN ACCESSIBLE 1 SPACE TOTAL 52 SPACES
BIKE PARKING REQUIRED:	1 PER 10 = 52 / 10 = 5.2 SPACES
BIKE PARKING PROVIDED:	6 SPACES --> OK

VICINITY MAP

NOT TO SCALE



GERALD R. KESLER, INC.
ARCHITECTS

1823 E. Desert Lane
Phoenix, AZ 85042
Phone: 602-725-1083
Fax: 602-725-1080
Email: gk@grk.net

REGISTERED ARCHITECT
13452
GERALD
KESLER
State Seal of Arizona
ARIZONA, U.S.A.
EXP. 12/31/2024

Osborn Boutique Hotel
7321 E OSBORN DRIVE
SCOTTSDALE, ARIZONA

JOB NUMBER	1303
DATE	10/14/2020
REVISION	

SHEET TITLE
ARCHITECTURAL
SITE PLAN

SHEET NUMBER
SD101A