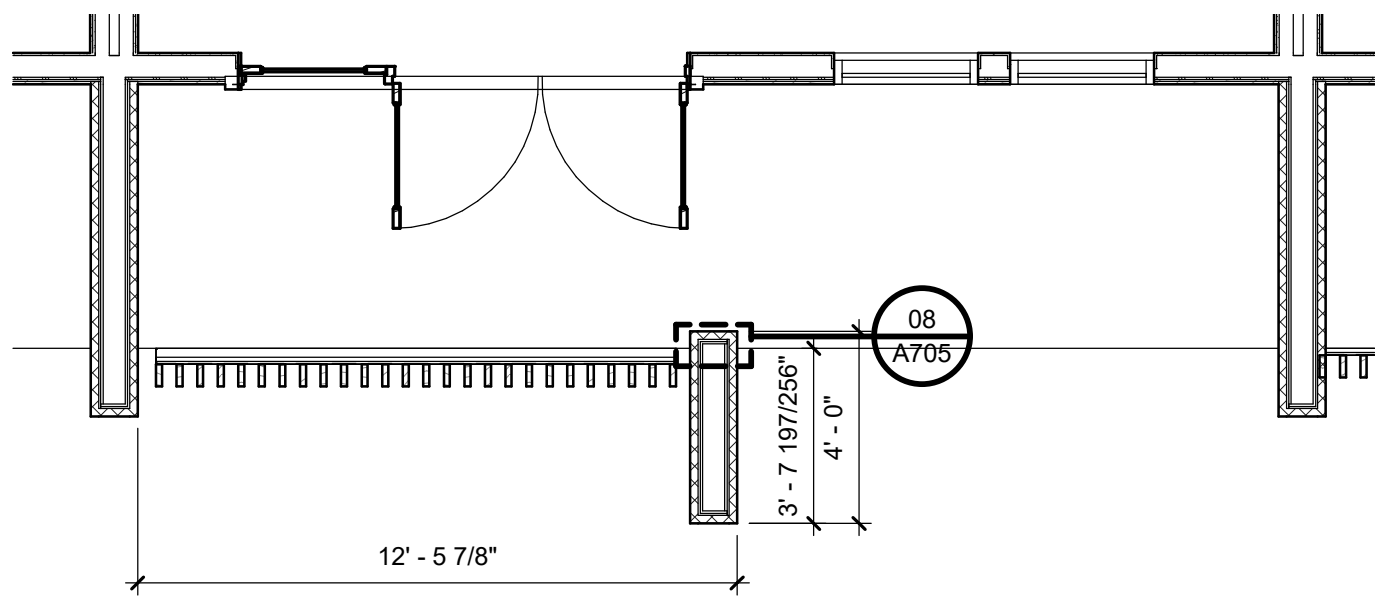
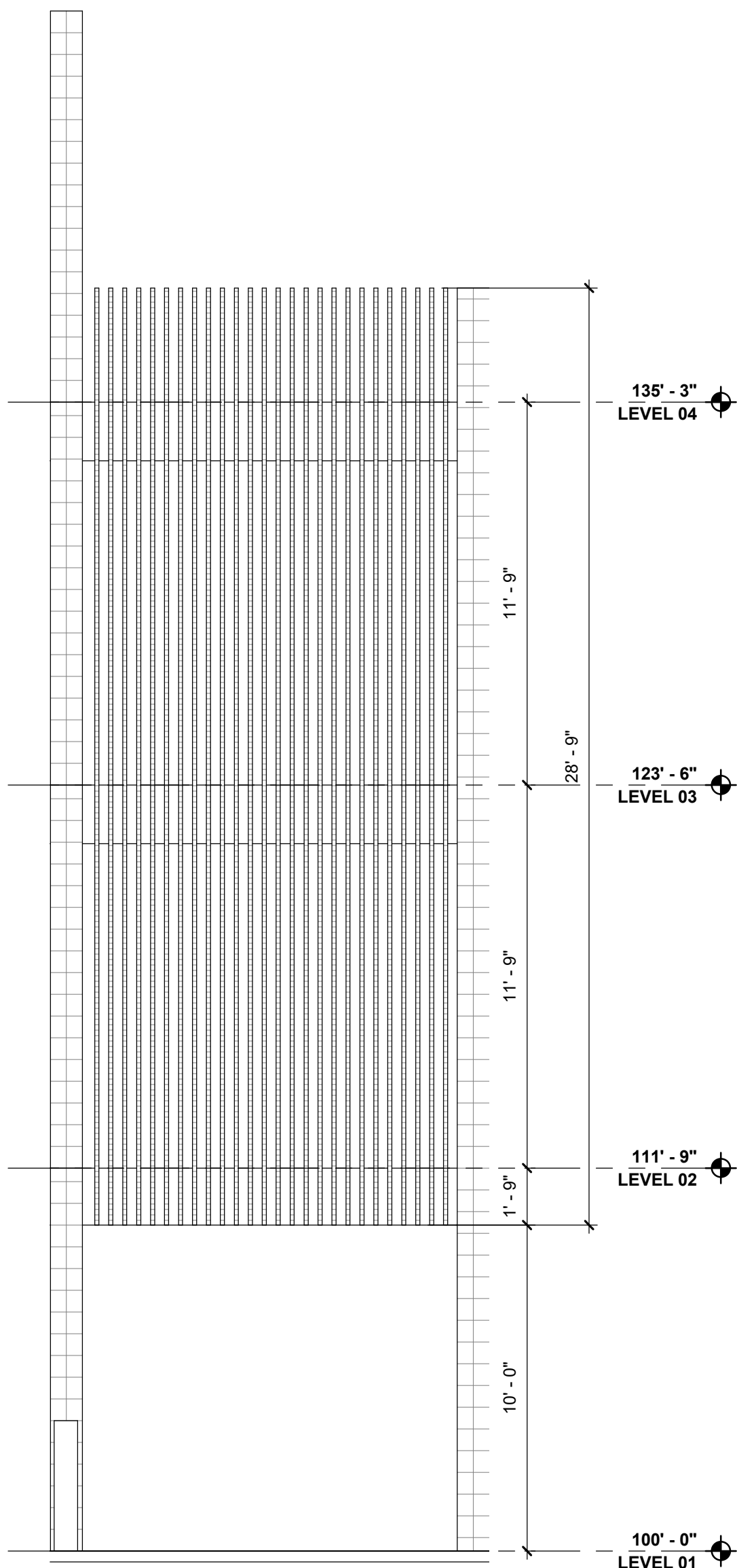




02 SCREEN PLAN

SCALE: 1/4" = 1'-0"

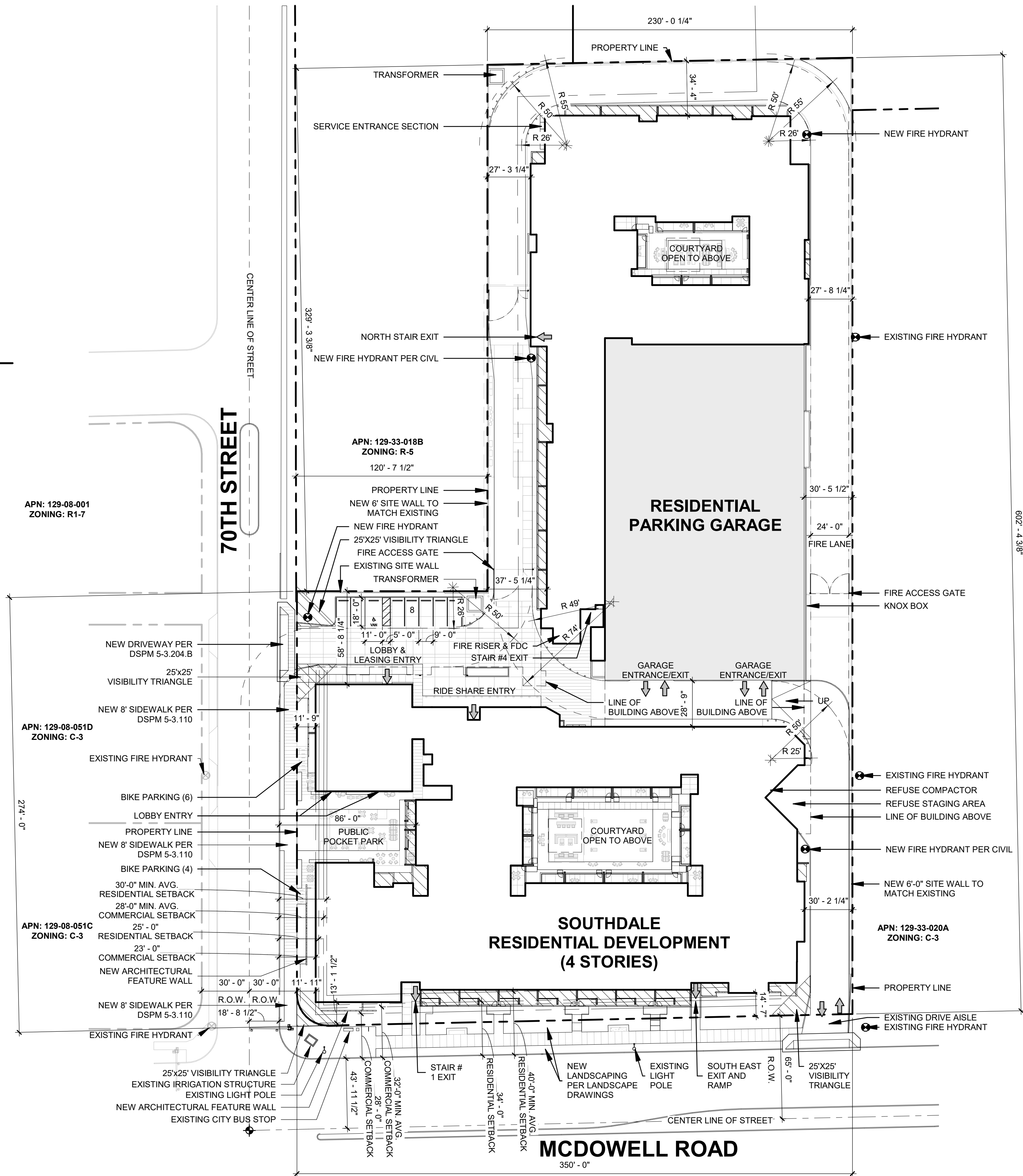
REF:



01 SCREEN ELEVATION

SCALE: 1/4" = 1'-0"

REF: 01 / A206



01 SITE PLAN

SCALE: 1" = 40'-0"



PROJECT INFORMATION

PROJECT NAME: SOUTHDALE
PARCEL ADDRESS: 7000 E. McDOWELL ROAD
SCOTTSDALE, AZ 85257
PARCEL NUMBER: 129-33-001S
PRE-APP NUMBER: 225-PA-2020
ZONING CASE: 5-ZN-2021
DRB NUMBER:

PROJECT DATA

CURRENT ZONING:	PUD
GROSS SITE AREA:	4.7 ACRES (204,732 SF)
NET LOT AREA:	3.8 ACRES (165,528 SF)
ALLOWABLE GFAR:	0.8
PROPOSED GFAR:	0.57
ALLOWABLE BUILDING HEIGHT:	48' + 10' MECHANICAL @ 30%
PROPOSED HEIGHT:	48' + 10' MECHANICAL @ 30%
ALLOWABLE DENSITY:	PER DEV. PLAN
PROPOSED DENSITY:	56.8 DU/AC
REQUIRED OPEN SPACE:	20,473 SF (0.10 x GSA)
PROVIDED OPEN SPACE:	38,133 SF (0.18 x GSA)
PUBLIC OPEN SPACE REQUIRED:	3,600 SF
PUBLIC OPEN SPACE PROVIDED:	3,600 SF
MCDOWELL RD. SETBACKS	
REQUIRED COMMERCIAL	28' MIN. / 32' MIN. AVG.
PROVIDED COMMERCIAL	28' MIN. / 32' MIN. AVG.
REQUIRED RESIDENTIAL	34' MIN. / 40' MIN. AVG.
PROVIDED RESIDENTIAL	34' MIN. / 40' MIN. AVG.
70TH STREET SETBACKS	
REQUIRED COMMERCIAL	23' MIN. / 28' MIN. AVG.
PROVIDED COMMERCIAL	23' MIN. / 28' MIN. AVG.
REQUIRED RESIDENTIAL	25' MIN. / 30' MIN. AVG.
PROVIDED RESIDENTIAL	25' MIN. / 28' MIN. AVG.
NON-STREET FRONTAGE SETBACKS	
ABUTTING RESIDENTIAL	20' MIN.
PROVIDED	27'-1" MIN.
TOTAL UNITS:	267

GROSS AREA TABULATIONS	
COMMERCIAL OFFICE	3,900 SF
MARKET	1,300 SF
COMMUNITY ROOM	900 SF
RESIDENTIAL	287,800 SF
TOTAL	293,900 SF
PARKING GARAGE	105,528 SF
TOTAL GSF W/ PARKING	399,428 SF

PARKING TABULATIONS (Table 9.103.A)

MULTI-FAMILY: 267 UNITS	
1.25 / EFFICIENCY (52 DU @ 1.25)	65.0 SPACES
1.3 / ONE-BEDROOM (147 DU @ 1.3)	191.1 SPACES
1.7 / TWO-BEDROOM (68 DU @ 1.7)	115.6 SPACES
TOTAL REQUIRED	372 SPACES

NON-RESIDENTIAL	
1/300 GSF OFFICE (3,900/300)	13 SPACES

TOTAL REQUIRED	372 SPACES
* APPLYING THE CITY OF SCOTTSDALE CODE OF ORDINANCE'S SHARED PARKING REQUIREMENTS.	

PARKING PROVIDED:	
SURFACE:	8 SPACES
GARAGE UNSECURED:	19 SPACES
GARAGED SECURED:	365 SPACES

TOTAL PARKING PROVIDED 392 SPACES

ACCESSIBLE PARKING REQUIRED (4%) 16 SPACES
(392 x .04)

ACCESSIBLE PARKING PROVIDED 16 SPACES
(13 + 3 VAN ACCESSIBLE)

REQUIRED BICYCLE PARKING (1/10 CARS) 40 SPACES
PROVIDED BICYCLE PARKING 41 SPACES

VICINITY MAP

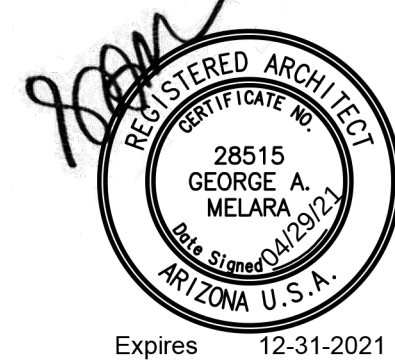


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COMMERCIAL DEVELOPERS

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Hawkins Companies
7000 EAST McDOWELL ROAD
SCOTTSDALE, AZ 85257

DRB #

ZONING # 5-ZN-2020

PRE-APP # 225-PA-2020

OWNER
Hawkins Companies
Commercial Developers
4700 S. McClintock Drive
Ste 160
Tempe, AZ 85282

ARCHITECT
Nelsen Partners
15210 N. Scottsdale Road
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Scottsdale, AZ 85254
Attn: Jeff Brand

Date
April 29, 2021

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Project No.
319084

A122
SITE PLAN