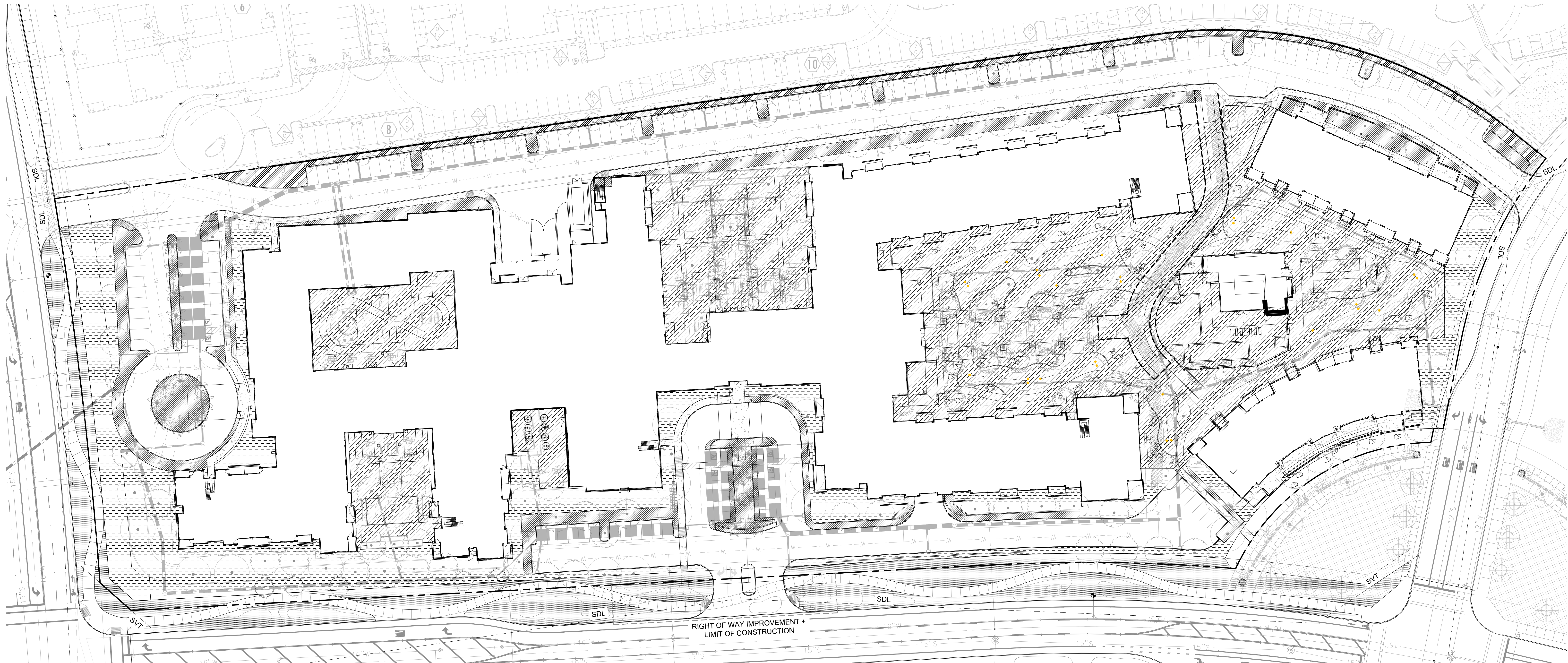


VI AT CAVASSON

PROJECT INFORMATION
GROSS LOT AREA: 490,871 SF
NET LOT AREA: 254,235 SF
PARKING LOT AREA:

OPEN SPACE REQUIRED: 63,588 SF (25% OF NET AREA)
OPEN SPACE PROVIDED: 111,618 SF

- FRONT YARD 50% OF REQUIRED (OPEN SPACE): 31,799 SF (50% OF REQ. OPEN SPACE)
- FRONT YARD PROVIDED: 143,141 SF
- BUFFER: NOT REQUIRED

PARKING LOT LANDSCAPE REQUIRED (15% OF TOTAL PARKING LOT AREA): 67,400 SF
PARKING LOT LANDSCAPE PROVIDED: 16,600 SF

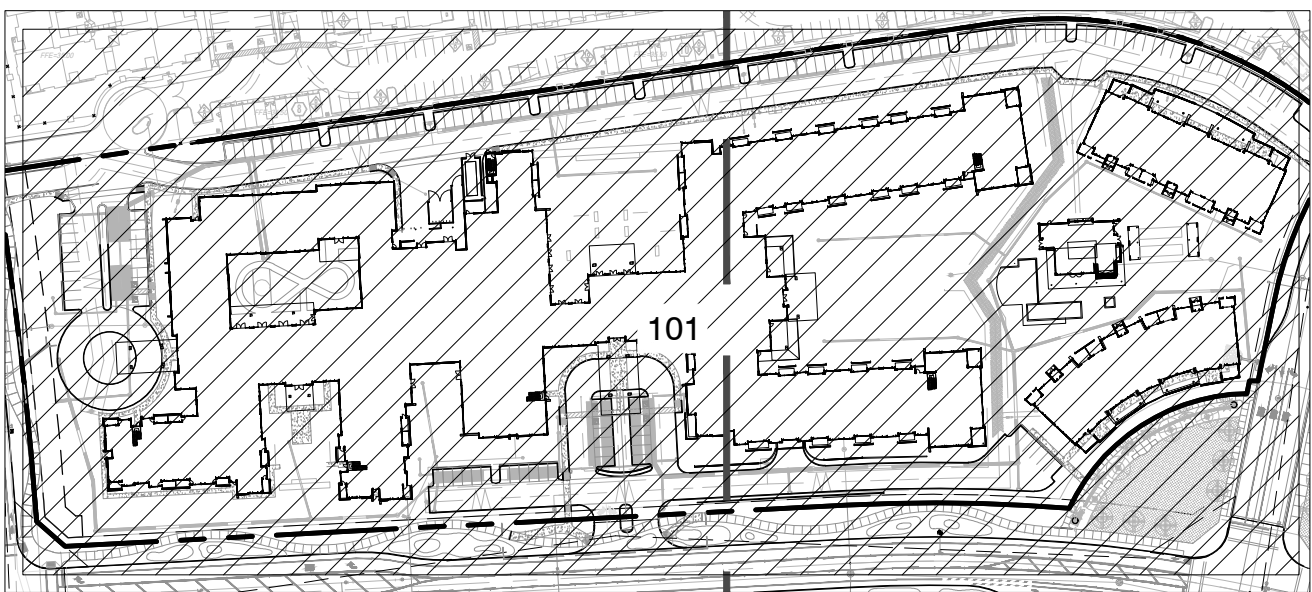
RIGHT OF WAY LANDSCAPE AREA: EXISTING

LANDSCAPE ZONE	
SYMBOL	DESCRIPTION
	RIGHT OF WAY AREA
	FRONT YARD LANDSCAPE AREA
	PARKING LOT LANDSCAPE AREA
	OPEN SPACE
NOT REQ.	INTERIOR OPEN SPACE
NOT REQ.	PERIMETER BUFFER

LAYOUT LEGEND

SYMBOL	DESCRIPTION
	STREET SIGN BY CIVIL
	EXISTING STREET LIGHT TO REMAIN
	PARCEL LINE
	LIMIT OF WORK
	PUBLIC UTILITY EASEMENT (PUE)
	RIGHT OF WAY (ROW)
	CENTER LINE (ROADWAY)
	MATCHLINE

KEY MAP:



Vi Living
Vi at Cavasson

NEC MILLER RD. AND CAVASSON BLVD. SCOTTSDALE, ARIZONA 85255

orcutt|winslow

ARCHITECTURE PLANNING INTERIOR DESIGN

Dig
Studio

OPEN SPACE
PLAN

OSP101