

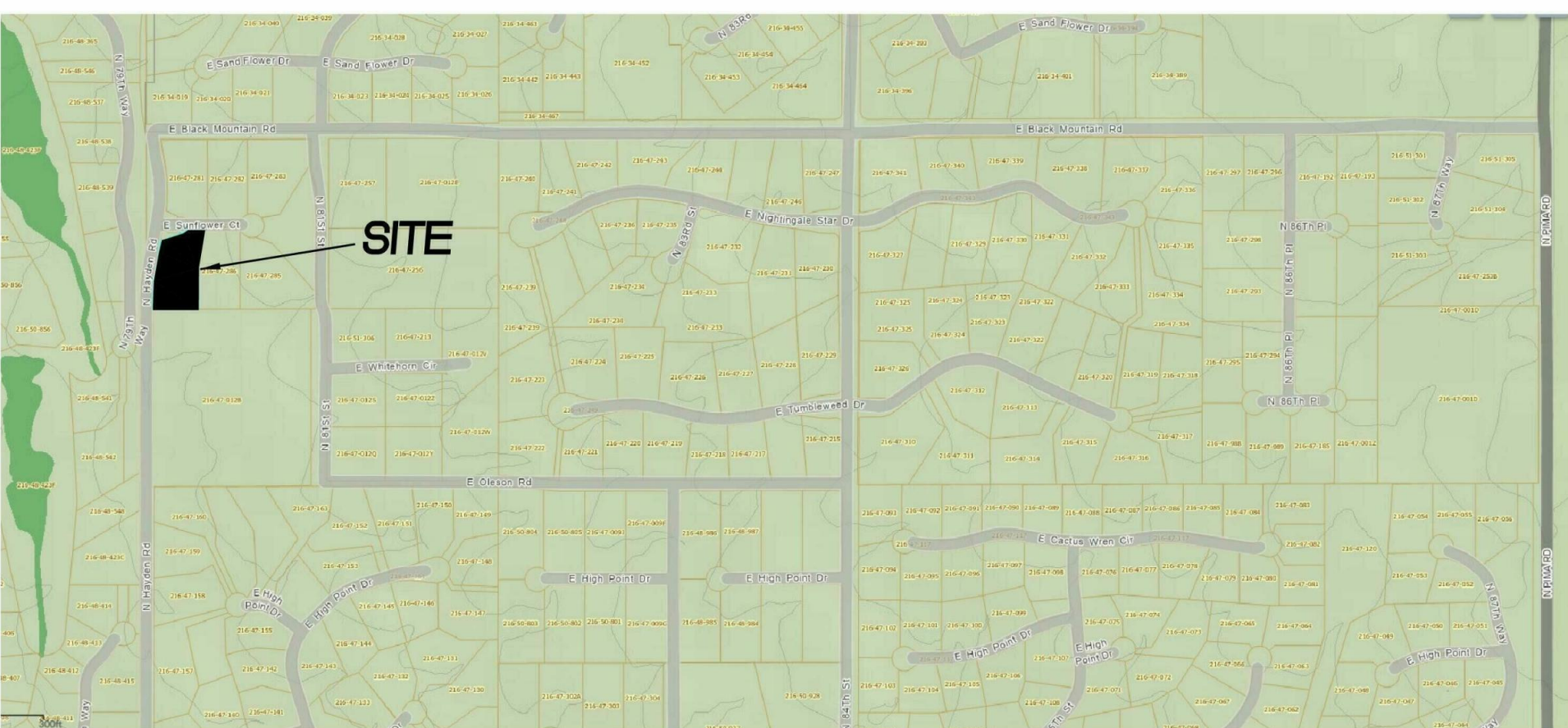
LEGEND

	PROPOSED ELEVATION
	EXISTING ELEVATION
F.F.	FINISHED FLOOR ELEVATION
L.F.	LOWEST FINISHED FLOOR ELEVATION
	FLOW DIRECTION
-----1928---	EXISTING CONTOUR
-----1258---	PROPOSED CONTOUR
EP	EDGE OF PAVEMENT
BC	BACK OF CURB
RW	RIGHT OF WAY
PUE	PUBLIC UTILITY EASEMENT
GPE	GENERAL PURPOSE EASEMENT
T/W	TOP OF SITE WALL
T/RW	TOP OF RETAINING WALL
T/F	TOP OF FOOTING
T/WI	TOP OF WROUGHT IRON FENCE
T/SW	TOP OF SITE WALL
T/C	TOP OF COLUMN
FG	FINISHED GRADE
FL	FLOWLINE
INV	INVERT
-----	CENTERLINE
-----	PROPERTY LINE
-----	NAOS BOUNDARY
-----	DFC EASEMENT
-----	HWSE LIMITS
-----SS-----	SANITARY SEWER LINE
-----W-----	WATER LINE
AB	ASBUILT
BSL	BUILDING SETBACK LINE
DFC	DRAINAGE AND FLOOD CONTROL
HWSE	HIGH WATER SURFACE ELEVATION
S.F.	SAFETY FACTOR
SDE	SIGHT DISTANCE EASEMENT

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER (PANEL DATE)	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AD. ZONE, USE DEPTH)
045012	891	M	7/20/21	X	N/A
	10/16/13				

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATIONS.



VICINITY MAP
NTS

GENERAL NOTES

- A registered surveyor shall stake the N.A.O.S. easement and the owner/contractor shall rope or fence the easement in accordance with the site plan and the easement legal description. The construction envelope and NAOS area staked must be the most restrictive in accordance with the Zoning Ordinance.
- 5 percent minimum slope away from the building for a minimum of 10 feet unless otherwise noted.
- All drainage protective devices such as swales, interceptor ditches, pipes, protective berms, concrete channels or other measures designed to protect buildings or property from storm runoff must be completed prior to any structure being built.
- All private water & sewer service lines to have a minimum of 1" horizontal separation per 2015 IRC. Private water line to be a minimum of 1" diameter; private sewer line to be a minimum of 4" diameter, unless otherwise noted.
- Any drainage structures: i.e. catch basins, culverts, channels or any other drainage related features will be maintained by the home owner.
- All driveways shall conform to the Fire Department Guidelines of Emergency Vehicle Access.
- Any wall adjacent to an area of pedestrian activity is to conform with Civil Standards. A block wall or wrought iron fence is required where drop-offs exceed 30 inches.
- All mechanical equipment concrete pads are to have a finished grade of 0.33' lower than the adjacent finished floor of the proposed structure in all flood zones other than A0; for A0 flood zones the mechanical pad elevation will be equal to the adjacent finished floor elevation, (UNLESS OTHERWISE NOTED).
- Contractor to verify slope of sewer inverts and elevations to verify use of gravity systems.
- Contractor to verify the location of all utilities prior to construction.
- Contractor to install sewer clean-outs on sewer service line every 100 feet per 2015 IRC.
- The contractor/owner shall not construct the walls shown on this plan until an approval and proper permits have been issued by the City of Scottsdale pertaining to this work. Approval from the Home Owners Association (if applicable) should be obtained prior to construction.
- Maximum driveway slope not to exceed 18% and 12% average along entire length of driveway.
- All exposed concrete to be integrally colored Pima Beige (or equivalent).
- Temporary/Security Fencing that is required or is optionally provided shall be in accordance with the Zoning Ordinance and the Design Standards and Policies Manual.
- Any slope shown on this grading plan that is greater than 5% must be stabilized by the contractor/owner with native rock (4" diameter minimum), vegetation or other approved soil stabilization method (i.e. filter fabric, soil cement, Geo Fabric, etc.). Surface erosion on slopes greater than 5% is normal and measures to minimize it is the responsibility of the contractor/owner.
- Any cut slope on this site with a slope greater than 4:1, a Geotechnical Engineer must certify the soil stability, or construct a stable slope using Soils Cement, Rip Rap, 6 inch thick 3000 p.s.i. natural colored shotcrete with welded fabric or any other approved equivalent method over the cut slope to provide stability.
- The Lowest Finish Floor Elevation for this site has been established according to the FEMA Base Flood Elevation requirements as well as any applicable City of Scottsdale requirements.

ESLO / FO NOTES:

55. Pools require separate approval and permit.
56. Pools shall not be emptied or backwashed into washes, streets, NAOS, scenic corridors, on to an adjacent lot, or tract of land. (ZO Sec. 6.1100.B.1.; and DS&PM 2-2.501.D.4.c.)
57. All mechanical equipment (air conditioner, pool equip. etc.) shall be screened a minimum of 1 foot above the highest portion of the equipment from all sides and shall be compatible with the adjacent building. Show location of equipment on site plan.
58. A guesthouse shall never be offered for rent. (ZO Sec. 5.012.A.6.c. and Sec. 5.102.A.6.c.)
59. A guesthouse shall not exceed a gross footprint size greater than 50% of the foot print size of the principal building. (ZO Sec. 5.012.A.6.b. and Sec. 5.102.A.6.b.)
60. Exterior materials and paint colors shall not exceed a value and/or chroma of 6 as indicated in the Munsell Book of Color on file in the City of Scottsdale's Planning & Development Department. The City may require color samples to verify compliance. (ZO Sec. 6.1070.G.1.h.)
61. Materials used for exterior surfaces of all structures shall blend in color, hue, and tone with the surrounding natural desert setting to avoid high contrast. (ZO Sec. 6.1070.G.1.c.)
62. Surface materials of walls, retaining walls or fences shall be similar to and compatible with those of the adjacent main buildings. (ZO Sec. 6.1070.G.1.d.)
63. Plant materials not indigenous to the ESL area shall be limited to enclosed yard areas and non-indigenous plants that have the potential of exceeding twenty (20) feet in height are prohibited. Turf shall be limited to enclosed areas not visible from a lower elevation. (ZO Sec. 6.1070.G.1.i-j.)
64. Reflective building materials are prohibited. (DS&PM 2-2.501.A.2.)
65. Reflective building and roofing materials (other than windows and solar panels) including materials with high gloss finishes and bright, unvarnished copper, aluminum, galvanized steel or other metallic surfaces, shall be textured or have a matte or non-reflective surface treatment to reduce the reflections of sunlight onto other property. (ZO Sec. 6.1070.G.1.b.)
66. Mirrored surfaces or any treatments that change ordinary glass into a mirrored surface are prohibited. (ZO Sec. 6.1070.G.1.a.)
67. The owner shall incorporate development design and construction techniques that blend in scale, form and visual character to minimize exposed scars to the satisfaction of the Planning & Development Department. (ZO Sec. 6.1070.G.1.e.)
68. Any proposed modifications to natural watercourses and all walls and fences crossing natural watercourses shall be designed in accordance with the standards and policies specified in chapter 37 (drainage and floodplain ordinance) of the Scottsdale Revised Code. (ZO Sec. 6.1070.G.1.l.)
69. Land designated as NAOS shall be permanently maintained as open space. The property owner shall maintain all designated NAOS. (ZO Sec. 6.1060.A.3-4 and Sec. 6.1100.B.1.)
70. All exterior lighting below 3 feet in height shall be fully shielded. All exterior lighting above 3 feet in height shall consist of horizontal full-cutoff fixtures and directed downward, except lights utilized for security purposes. (ZO Sec. 6.1070.G.1.f.)
71. All exterior lights including those mounted to buildings/structures and on poles shall not exceed a height of sixteen (16) feet. (ZO Sec. 6.1004.D.2). Exemption: Lights that are connected to a delay switch that do not stay on more than 15 minutes for security purposes shall not be required to be shielded or contain horizontal cutoffs. (ZO Sec. 6.1004.D.3.)
72. Exterior lighting should be low scale and directed downward, recessed or shielded so that the light source is not visible from residential developments in the area or from a public viewpoint. Exterior fixtures shall not generally exceed a height of 6 feet measured from the nearest adjacent grade to the top of the fixture (lower heights may be required by the Inspection or Code Enforcement staff). (ZO Sec. 6.1070.G.1.f.)
73. Where on-site walls are placed adjacent to NAOS areas at least 50 percent of the wall surface shall be a view fence. (DS&PM 2-2.501.B.2.b.)
74. Temporary/Security Fencing that is required or is optionally provided shall be in accordance with the Zoning Ordinance and the Design Standards and Policies Manual. (ZO Sec. 7.700 and Sec. 6.1071.A.6, and DS&PM 1-1.407)
75. In accordance with the Zoning Ordinance, a registered surveyor shall stake and rope the most restrictive area defined by the construction envelope and NAOS easement as shown on the site plan. (ZO Sec. 6.1070.A.5)
76. No point color or surface treatment shall be used which has a Light Reflective Value (LRV) greater than 35%. (ZO Sec. 6.1070.G.1.g.&k)
77. A registered surveyor shall stake and rope or fence the NAOS easement in accordance with the site plan and the easement legal description.
78. No point colors shall be used which have a Light Reflective Value (LRV) greater than 40%.

SITE PLAN

APPROVED

BY THE CITY OF SCOTTSDALE PLAN REVIEW DEPARTMENT

1606-21 RMA 12/01/2022
PLAN CHECK NUMBER STAFF INITIALS DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL

DISCLAIMER

The survey information on this plan was supplied by:
3 Engineering
Job Number: 5055B
Project Date: 12/31/20
Certified By: Mathew Mancini
RLS#: 45652
Summit Civil Group is not responsible for the accuracy of said information.

SCOTTSDALE FIRE DEPARTMENT

ACCESS GRADES FROM 0 TO 12% FOR ONE SINGLE FAMILY RESIDENCE			
Drive Length	Drive Width	Drive Surface	Turn-a-round Required
Less than 200 feet	2-12-2	AW	No
			More than 200 feet
			Yes
			Sprinkler Requirements
			Shall meet BBSFR 8.1.1.3

LEGAL DESCRIPTION

Lot 7 of Sunflower Estates as recorded in Book 672 of Maps, Page 46 of the Maricopa County Records, Maricopa County, Arizona.

SITE INFORMATION

Lot Area:	43,161 square feet
APN:	216-47-287
Desert Landform:	Upper Desert
NAOS Required:	20,268 square feet
NAOS Provided: (PER PLAT)	20,268 square feet
NAOS Released: (this submittal)	18,387 square feet
NAOS Provided: (this submittal)	18,387 square feet
Zoning:	R1-43 ESL
QS:	58-47

NAOS REVEG CALCULATIONS

Total NAOS Area:	20,268 sf
Total Reveg Area:	2,280 sf
Reveg Credit: (2,280 X 1.0) =	2,280 sf
Total NAOS Provided:	20,268 sf
% NAOS as Reveg:	11%

OWNER

Cesar & Delene Oyague
7428 East Via De Luna Drive
Scottsdale, AZ 85255

ARCHITECT/DESIGNER

Victor Black
Black Design Inc.
(602) 432-7620

CLIENT

Cesar & Delene Oyague
7428 East Via De Luna Drive
Scottsdale, AZ 85255

BENCHMARK

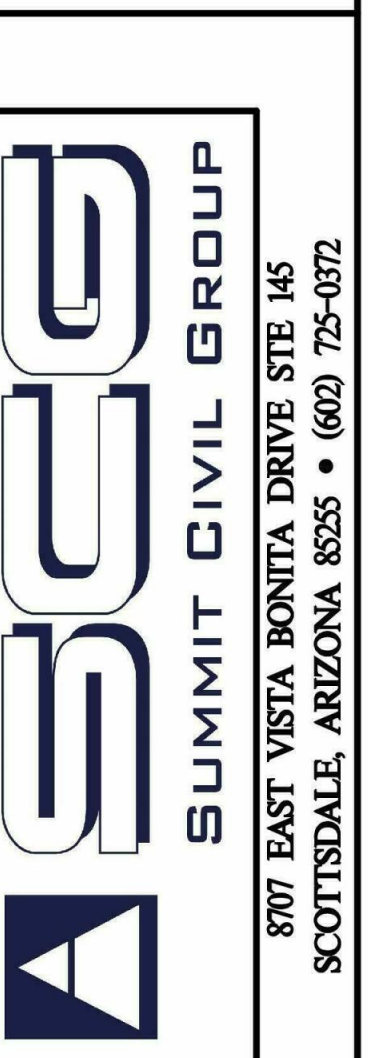
COS Benchmark No. 2151, Northwest corner of Section 14.
Elevation=1840.266 (NAVD88 Datum)

I hereby certify that all elevations represented on this plan are based on NAVD 1988 and meet the FEMA Benchmark Maintenance (BMM) Criteria.

CIVIL ENGINEER'S GENERAL NOTES

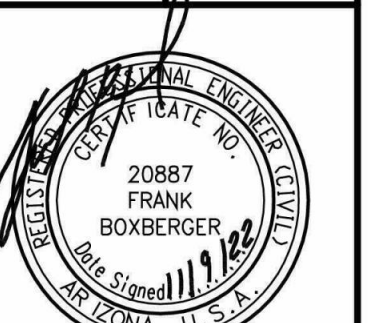
- IF A DISCREPANCY IS FOUND BETWEEN THE ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
- BEARINGS AND DISTANCES ARE BASED ON SECTIONAL BREAKOUT FROM PUBLISHED MCDOT CONTROL INFO.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CALL BLUE STAKE AT 263-1100.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.
- HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.
- ANY PROPOSED PIPES ON THIS SITE PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- ALL WALLS SHOWN ON THIS PLAN MUST BE SUBMITTED AND APPROVED BY THE REVIEWING MUNICIPALITY, HOA AND ARCHITECTURAL REVIEW COMMITTEE (IF APPLICABLE) PRIOR TO CONSTRUCTION.
- CLIENT/OWNER/BUILDER TO SECURE PROPER PLAN REVIEW AND PERMITS OF ALL FEDERAL, STATE, COUNTY, LOCAL AND HOA REVIEW AGENCIES PRIOR TO THE INSTALLATION OF CULVERTS, SITE GRADING OR CONSTRUCTION OF THIS PLAN IN ANY FORM.
- DRIVEWAY TO BE CONSTRUCTED OF ALL WEATHER MATERIAL TO WITHSTAND 83,000 LBS GVW (GROSS VEHICLE WEIGHT).
- DRIVEWAY SLOPE NOT TO EXCEED 18% MAX AND THE AVERAGE GRADE FOR THE LENGTH OF THE DRIVEWAY SHALL BE 12%.
- THE PAD ELEVATIONS OF ALL A/C AND/OR ELCTRO-MECHANICAL UNITS WILL BE SET REASONABLY HIGHER THAN THE ADJACENT GRADES TO PROVIDE FLOOD PROTECTION UNDER THE 100 YEAR STORM EVENT.

CITY OF SCOTTSDALE BUILDING PLANS
THESE PLANS HAVE BEEN REVIEWED AND ARE READY FOR A PERMIT.
THIS DOES NOT AUTHORIZE VIOLATIONS OF ANY CODE OR ORDINANCE.



REVISIONS

GRADING PLAN
LOT 7 SUNFLOWER ESTATES
8031 EAST SUNFLOWER COURT
SCOTTSDALE, ARIZONA



SHEET	1	OF	3
DATE	JULY 2022		
BD IN			
DESIGNED BY:	KR		
DRAWN BY:	KR		
JOB NUMBER	75E		
FILE NAME	75E		

1606-21

WALL/FENCE CALCULATIONS

Linear footage of fences (non-retaining): 0 linear feet
 Linear footage of retaining walls (w/out fences): 0 linear feet
 Linear footage of retaining walls with fences on top: 289 linear feet

NOTE: Wall lengths shown above are for permitting purposes only. Contractor/Owner is responsible for verifying accuracy of wall quantities as shown.

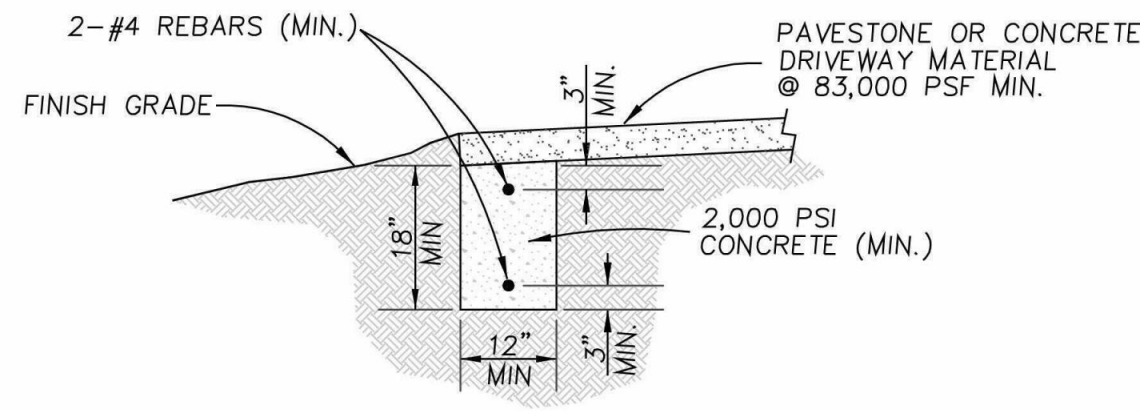
Refer to architectural drawings for site retaining wall details. See sheet D1 - DTL 10; D3 - DTL 1 & 2

CONSTRUCTION NOTES

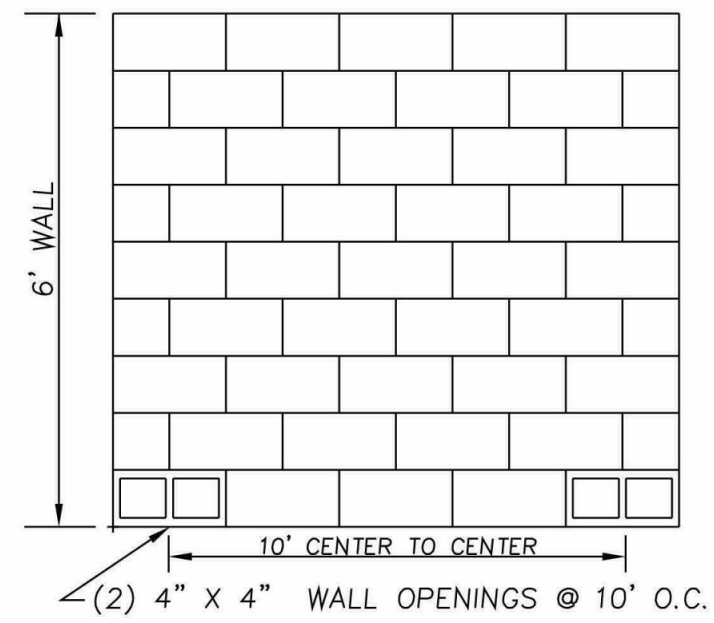
- 1 Construct wall openings 10' o.c. ((2) 4"x 4") (inverts to be level with adjacent grade)
- 2 Grade to drain
- 3 Waterproof walls with emulsified asphaltic coating to a minimum of one foot above outside grade and place 1/4" batter board from foundation to backfill grade level to protect waterproofing while backfilling.
- 4 Install concrete pavers @ 83,000 PSF GW minimum hard surface
- 5 Install 24" diameter catch basin
- 6 Install 18" HDPE
- 7 Install 24" diameter boulder headwall
- 8 Install d50=8" diameter native rock rip-rap; 2' min. thickness with filter fabric
- 9 No wall openings
- 10 Construct 12" wide, 18" deep concrete cutoff wall (see detail)
- 11 Construct extended stem wall
- 12 Install (5) 8"x16" wall openings; Invert=2399.5

NOTE:

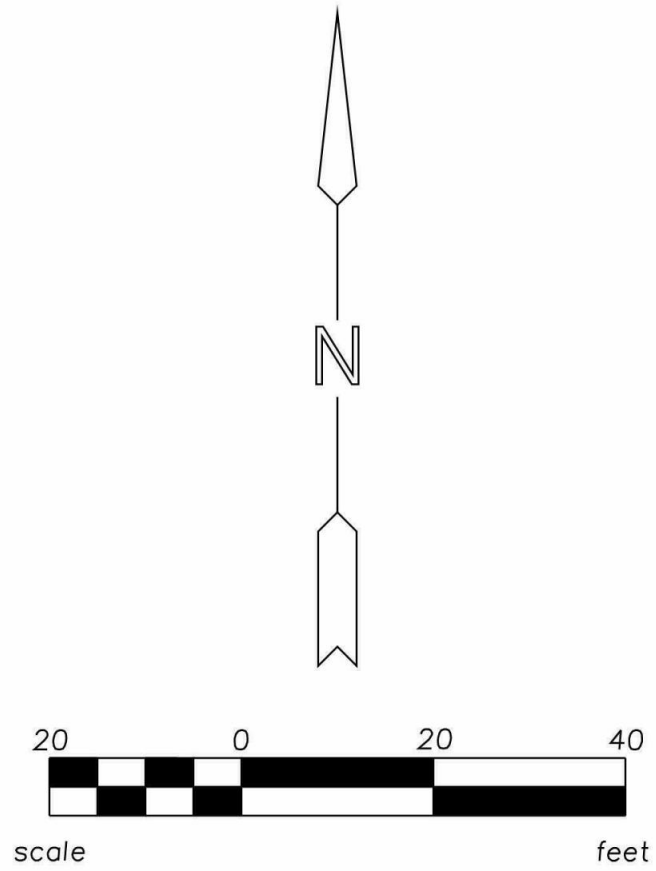
IF THE SQUARE FOOTAGE WITHIN EXTERIOR ENCLOSING WALLS UNDER ROOF EXCEEDS 12,000 SF, THE PROPOSED RESIDENCE FALLS UNDER THE "BIG BOX RESIDENTIAL HOME" CRITERIA AS OUTLINED IN SECTION 8.1.1.3 OF NFPA 13D, AS IT PERTAINS TO SPRINKLER PROTECTION. THIS REQUIRES A MINIMUM WATER METER SIZE OF 1-1/2", AND A MINIMUM SUPPLY FROM THE METER TO THE BUILDING SHALL BE NOT LESS THAN 2" ID PIPE.



10 CUTOFF WALL DETAIL
 Scale: 1/2" = 1'-0"



WALL OPENING DETAIL

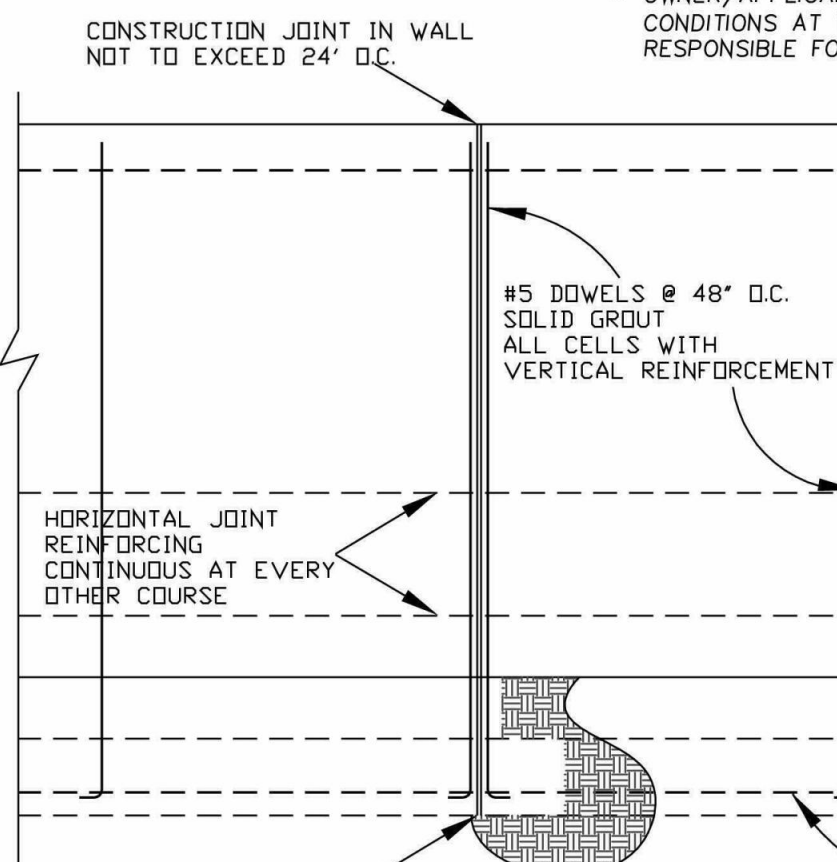


- THIS DETAIL SHALL APPLY TO WALLS 6'-0" OR LESS IN HEIGHT.
- SEPARATE APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED.
- SEPARATE APPROVAL BY THE STORMWATER DEPARTMENT IS REQUIRED.
- INDICATE DRAIN BLOCKS AT FINISH GRADE, AS REQUIRED, ON FINAL PLANS.

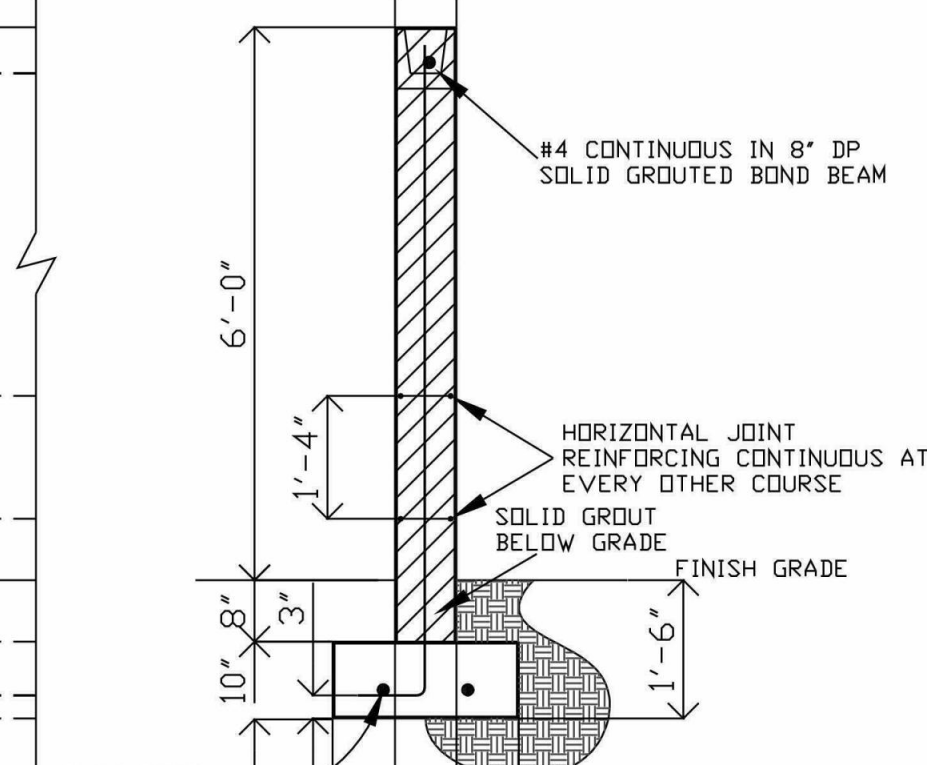
- THE CITY OF SCOTTSDALE MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY OR LIABILITY IN PROVIDING THIS STANDARD DETAIL. OWNERS, APPLICANTS AND PROFESSIONALS USING THIS DETAIL SHALL ASSUME FULL RESPONSIBILITY FOR ITS DESIGN.
- THE CITY OF SCOTTSDALE SHALL NOT ADDRESS ANY VARIATION OF THE DETAIL SHOWN BELOW.
- OWNERS/APPLICANTS ARE ENCOURAGED TO CONSULT WITH A PROFESSIONAL ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA REGARDING THE NEEDS FOR THEIR PROJECT. AN ENGINEER OR ARCHITECT LICENSED BY THE STATE OF ARIZONA COULD DETERMINE DIFFERENT DETAILS OR SPECIFICATIONS.
- OWNER/APPLICANT/BUILDER IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS AT THE FOOTING'S BEARING SURFACE AND IS SOLELY RESPONSIBLE FOR THE PERFORMANCE OF FOOTING.

8" MASONRY WALL PER 2015 IBC

WIND LOAD: 21 psf per ASCE 7-16
 CMU: f'm = 1900 psi - ASTM C90
 MORTAR: TYPE S - ASTM C270
 GRDUT: f'c = 2000 psi - ASTM C476
 REINFORCING: f'y = 60,000psi - ASTM A615
 CONCRETE: 2500psi
 LADDER REINFORCING: W1.7 LADDER TYPE
 f'y = 70,000 psi - ASTM A951



ELEVATION

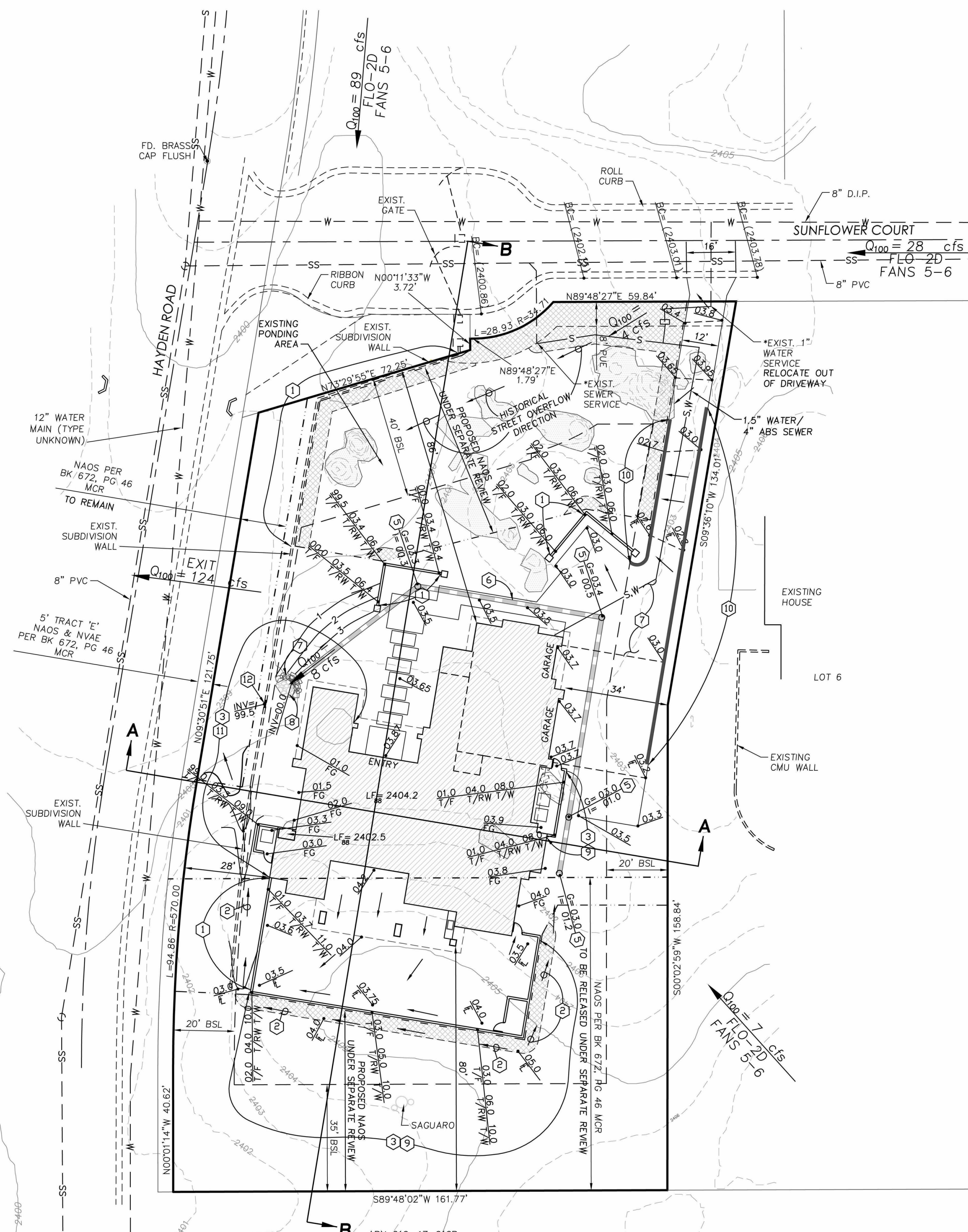


SECTION

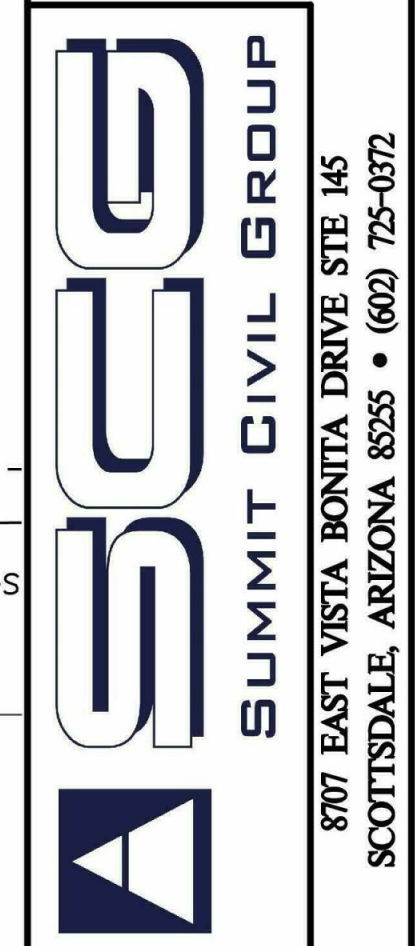
Revised: 10/04/2018

CITY OF SCOTTSDALE MINIMUM STANDARD

DISCLAIMER
 The survey information on this plan was supplied by:
 3 Engineering
 Job Number: 5055B
 Project Date: 12/31/20
 Certified By: Mathew Mancini
 RLS#: 45652
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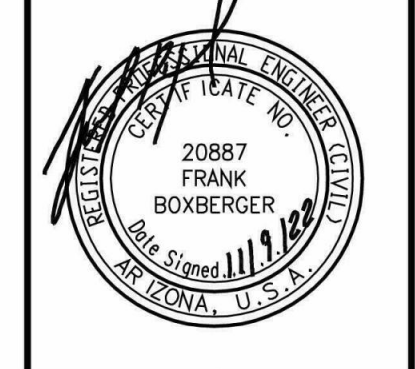


CITY OF SCOTTSDALE BUILDING PLANS
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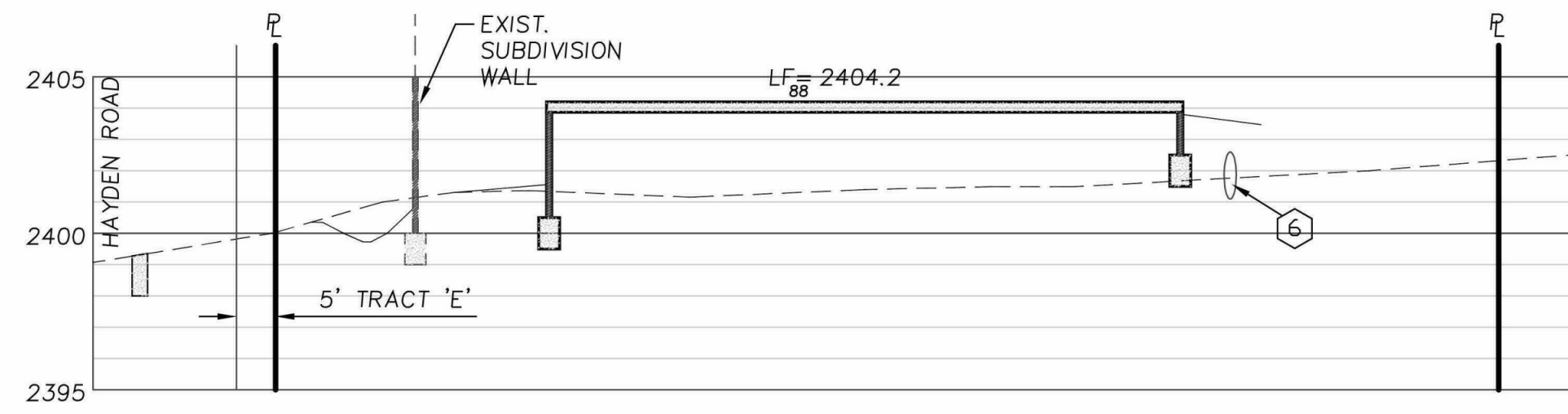
REVISIONS

GRADING PLAN
LOT 7 SUNFLOWER ESTATES
8031 EAST SUNFLOWER COURT
SCOTTSDALE, ARIZONA

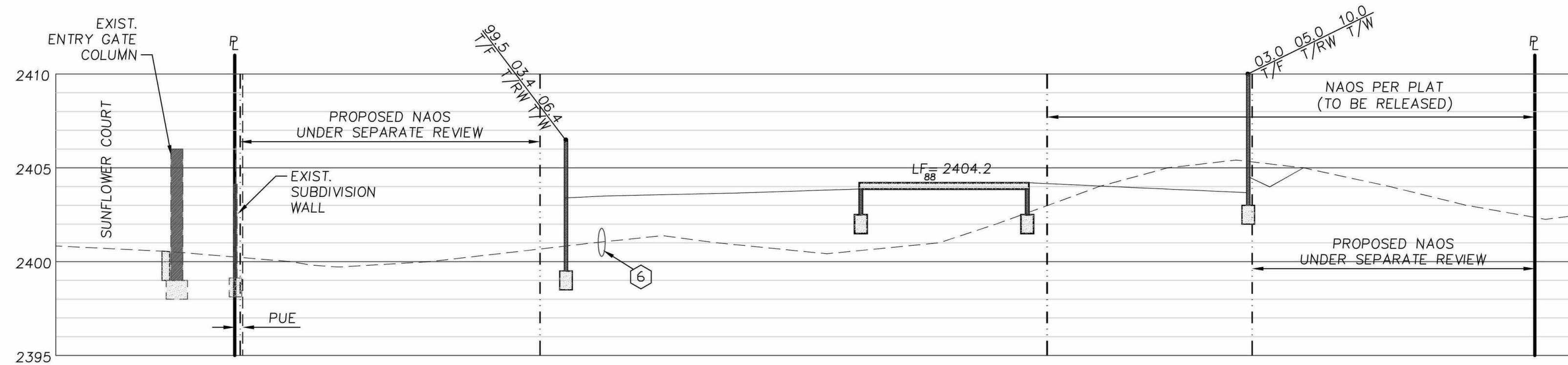


SHEET 2 OF 3
DATE JULY 2022
BD IN
DESIGNED BY: KR
DRAWN BY: KR
JOB NUMBER 75E
FILE NAME 75E

1606-21

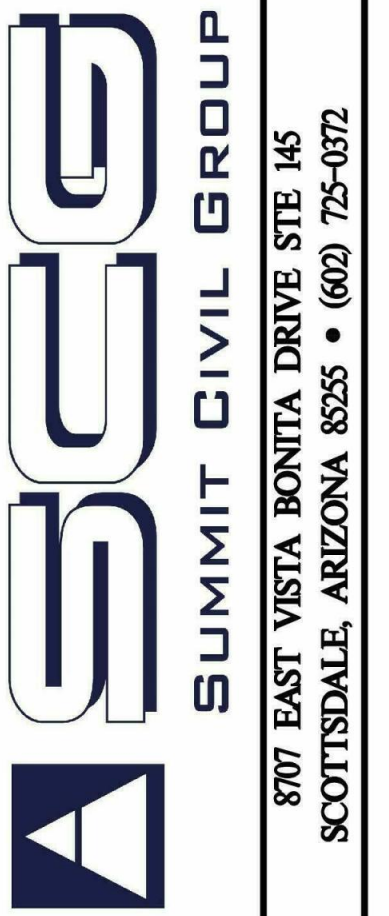


SECTION A-A
 HORIZ. SCALE: 1"=20'
 VERT. SCALE: 1"=5'



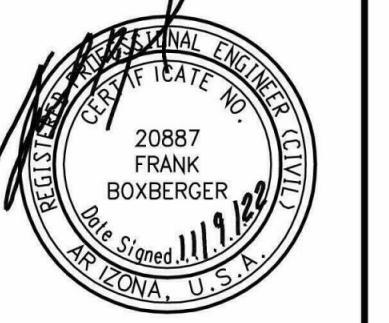
SECTION B-B
 HORIZ. SCALE: 1"=20'
 VERT. SCALE: 1"=5'

**CITY OF SCOTTSDALE
 BUILDING PLANS**
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 AND ARE READY FOR A PERMIT.
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REVISIONS

GRADING PLAN
 LOT 7 SUNFLOWER ESTATES
 8031 EAST SUNFLOWER COURT
 SCOTTSDALE, ARIZONA

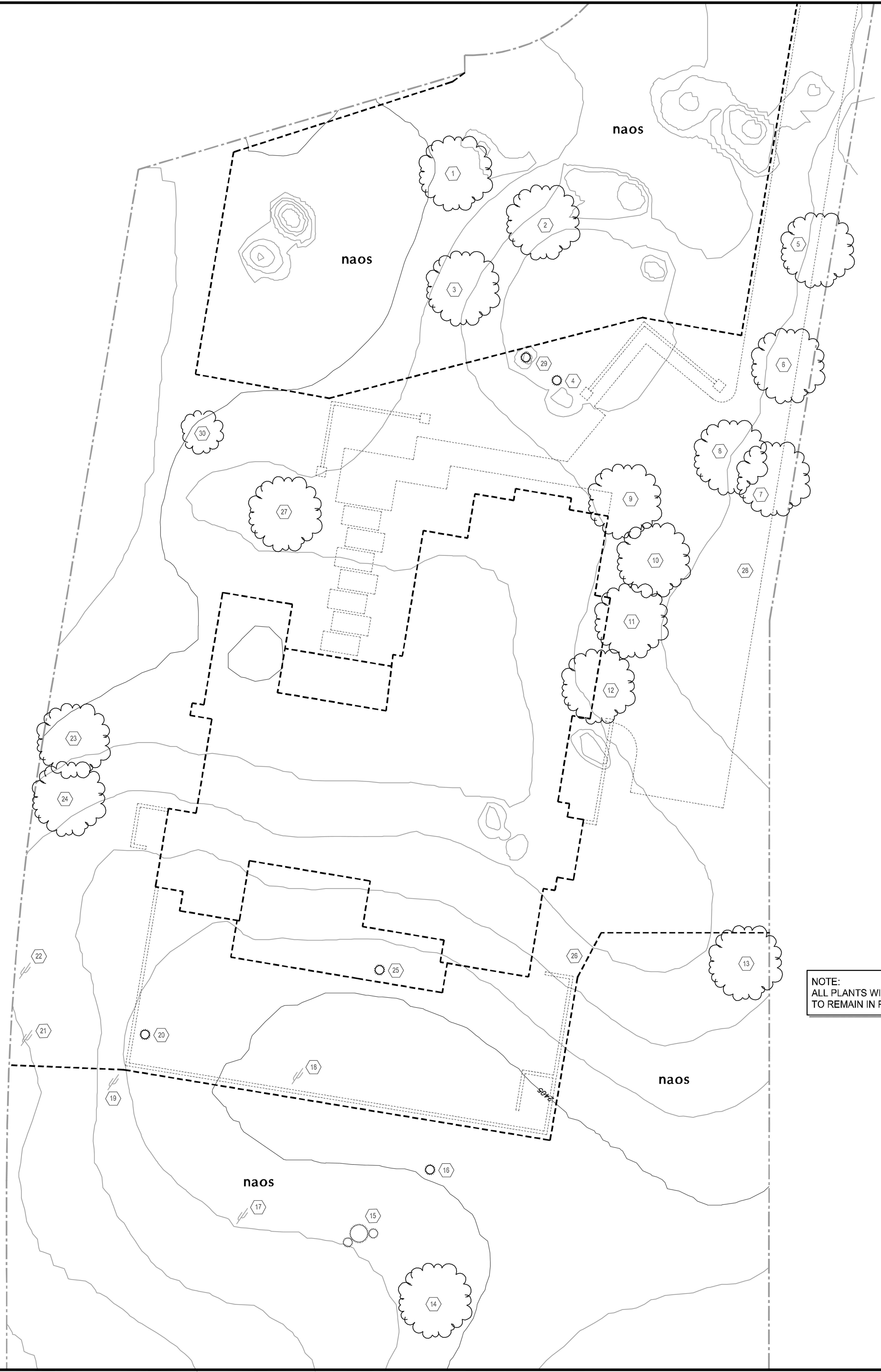


SHEET 3 OF 3
 DATE JULY 2022



BD IN
 DRAWN BY: KR
 JOB NUMBER 7SE

1606-21



NATIVE PLANT INVENTORY
 TREE RELOCATORS, INC.
 6502 N. 81st Place, Scottsdale, AZ 85250
 Office: 480-947-6118
 Neil Price: 602-376-9996
 Fax: 480-361-4824
 treerelocation@trco.com

To: Planning Department
 City of Scottsdale

Subject: Magnus Homes
 8031 E. Sunflower Court

Date: 12-26-2020

ORDERED BY: kwb

Tag Colors: Red - Salvage
 Blue - Unsalvageable
 White - Remain in Place

Tag#	Size	Species	Condition	Disposition	Approx. Height	Width	Comments
1	10"	Palo Verde	Poor	REMAIN IN PLACE			Buck
2	12"	Palo Verde	Poor	REMAIN IN PLACE			Mistletoe
3	12"	Palo Verde	Poor	REMAIN IN PLACE			Buck
4	4'	L.F. Barrel	Good	REMAIN IN PLACE			
5	12"	Palo Verde	Poor	UNREMOVABLE			
6	12"	Palo Verde	Poor	UNREMOVABLE			
7	8"	Mogwire	Good	SALVAGEABLE			
8	8"	Palo Verde	Good	Salvageable			
9	8"	Palo Verde	Poor	Unsalvageable			Lateral root
10	3"	Barrel	Good	Salvageable			
11	3"	Barrel	Good	Salvageable			
12	4"	Barrel	Good	Salvageable			
13	9"	Palo Verde	Fair	Remain in Place			
14	18"	Palo Verde	Poor	Remain in Place			
15	5'	L.F. Saguaro	Fair	Remain in Place	2		
16	4"	Barrel	Good	Remain in Place			
17	3"	Saguaro	Good	Remain in Place			
18	3"	Saguaro	Good	REMOVABLE SALVAGEABLE			
19	3"	Saguaro	Good	Remain in Place			
20	3"	Barrel	Good	REMOVABLE SALVAGEABLE			
21	3"	Saguaro	Good	Remain in Place			
22	6'	L.F. Saguaro	Fair	Remain in Place	4		
23	8"	Palo Verde	Poor	Remain in Place			
24	8"	Palo Verde	Poor	Remain in Place			
25	3"	Barrel	Good	REMOVABLE SALVAGEABLE			
26	8"	Yucca B.	Good	REMOVABLE SALVAGEABLE			
27	10"	Palo Verde	Poor	Unsalvageable			Die Bark
28	5"	Yucca B.	Good	Salvageable			
29	3"	Barrel	Poor	Unsalvageable			Buck
30	4"	Palo Verde	Fair	Remain in Place			

L.F. - Linear Foot

Native Plant Summary

Plant Totals	Tree	Cacti	Overall Totals
Remain in Place	8 57%	10 63%	Remain in Place 18
Salvage	1 7%	5 31%	Salvage 6
Destroy	5 36%	1 6%	Destroy 6
Total	14	16	Total 30

PLANT MATERIALS MUST BE TAGGED AND NUMBERED IN THE FIELD:
 WHITE TAPE - REMAIN IN PLACE
 RED TAPE - MOVED TO ANOTHER LOCATION
 BLUE TAPE - DESTROY

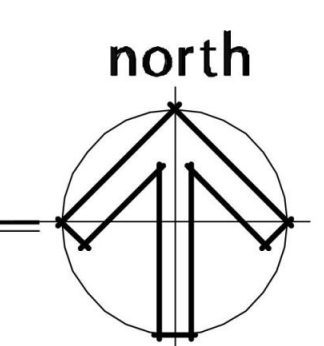
TAG NUMBERS THAT CORRESPOND TO THE SITE PLAN AND TO THE PLANT INVENTORY

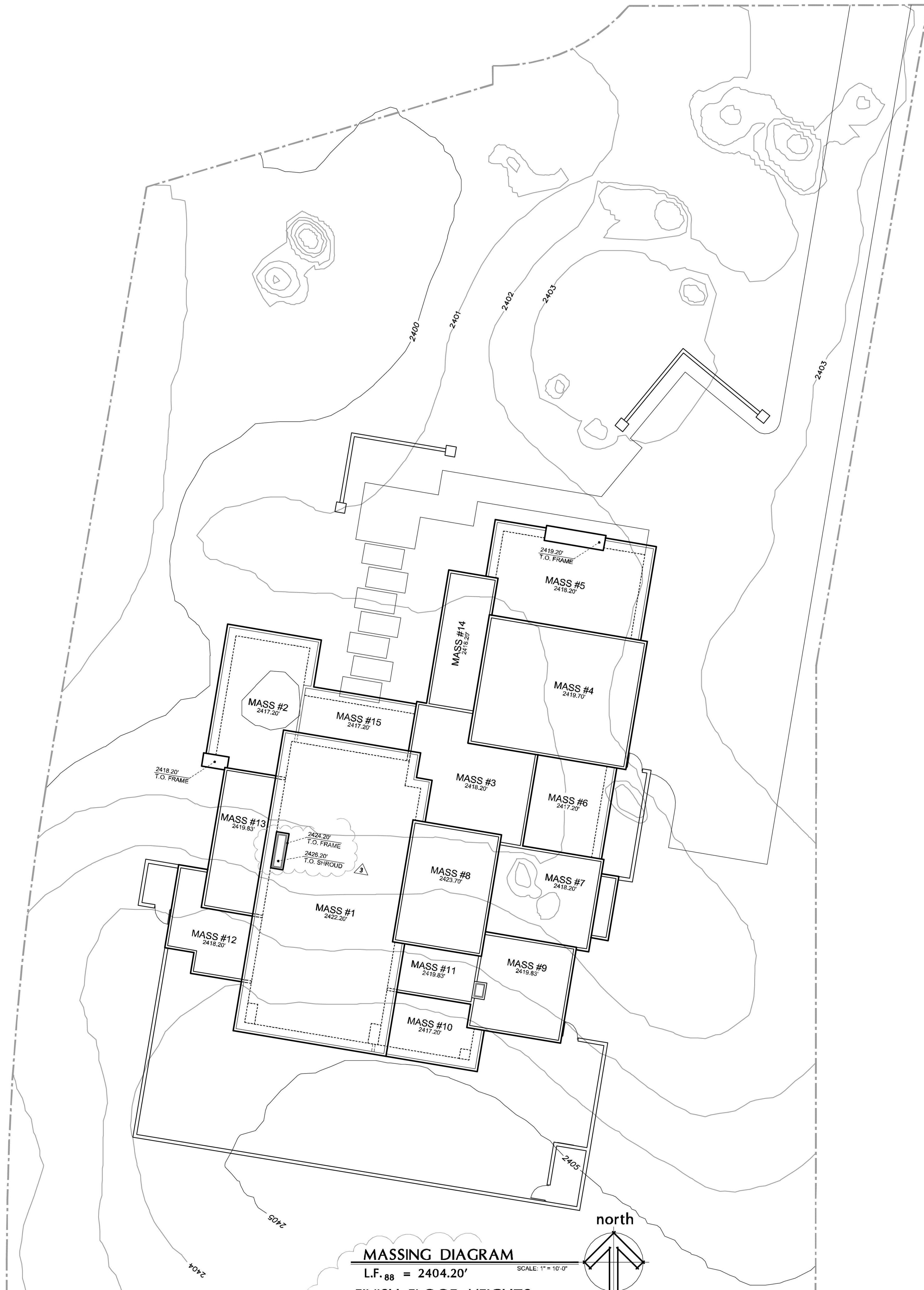
APPROVED
 NATIVE PLANT
S. Stinke 12/01/2022
 DATE

LOCATION OF TEMPORARY NURSERY

NOTE:
 ALL PLANTS WITHIN NAOS
 TO REMAIN IN PLACE

NATIVE PLANT INVENTORY
 SCALE: 1" = 10'-0"





MASSING DIAGRAM
 L.F. 88 = 2404.20' SCALE: 1" = 10'-0"
FINISH FLOOR HEIGHTS

PROPOSED	ACTUAL	DIFF.
2404.20'	-	-

RAISE FINISH FLOOR
 RAISE FINISH FLOOR

RAISE FINISH FLOOR
 RAISE FINISH FLOOR

ARCHITECTURAL ELEVATIONS
APPROVED
 BY THE CITY OF SCOTTSDALE PLANNING DEPARTMENT
 CASE NUMBER: cslwtkw APPROVED BY: DATE: 12/01/2022
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL.

SCOTTSDALE ROOF MASS HEIGHTS			
MASS	LOWEST ADJ. GRADE	MASS HEIGHT	HEIGHT DIFFERENCE
MASS No.1	2401.00'	2422.20'	21.20'
MASS No.2	2400.00'	2417.20'	17.20'
MASS No.3	2401.00'	2418.20'	17.20'
MASS No.4	2401.00'	2419.70'	18.70'
MASS No.5	2401.00'	2418.20'	17.20'
MASS No.6	2401.00'	2417.20'	16.20'
MASS No.7	2401.00'	2417.20'	16.20'
MASS No.8	2401.00'	2423.70'	22.70'
MASS No.9	2402.00'	2419.83'	17.83'
MASS No.10	2403.00'	2417.20'	14.20'
MASS No.11	2403.00'	2419.83'	16.83'
MASS No.12	2402.00'	2418.20'	16.20'
MASS No.13	2400.00'	2419.83'	19.83'
MASS No.14	2401.00'	2418.20'	17.20'
MASS No.15	2401.00'	2417.20'	16.20'